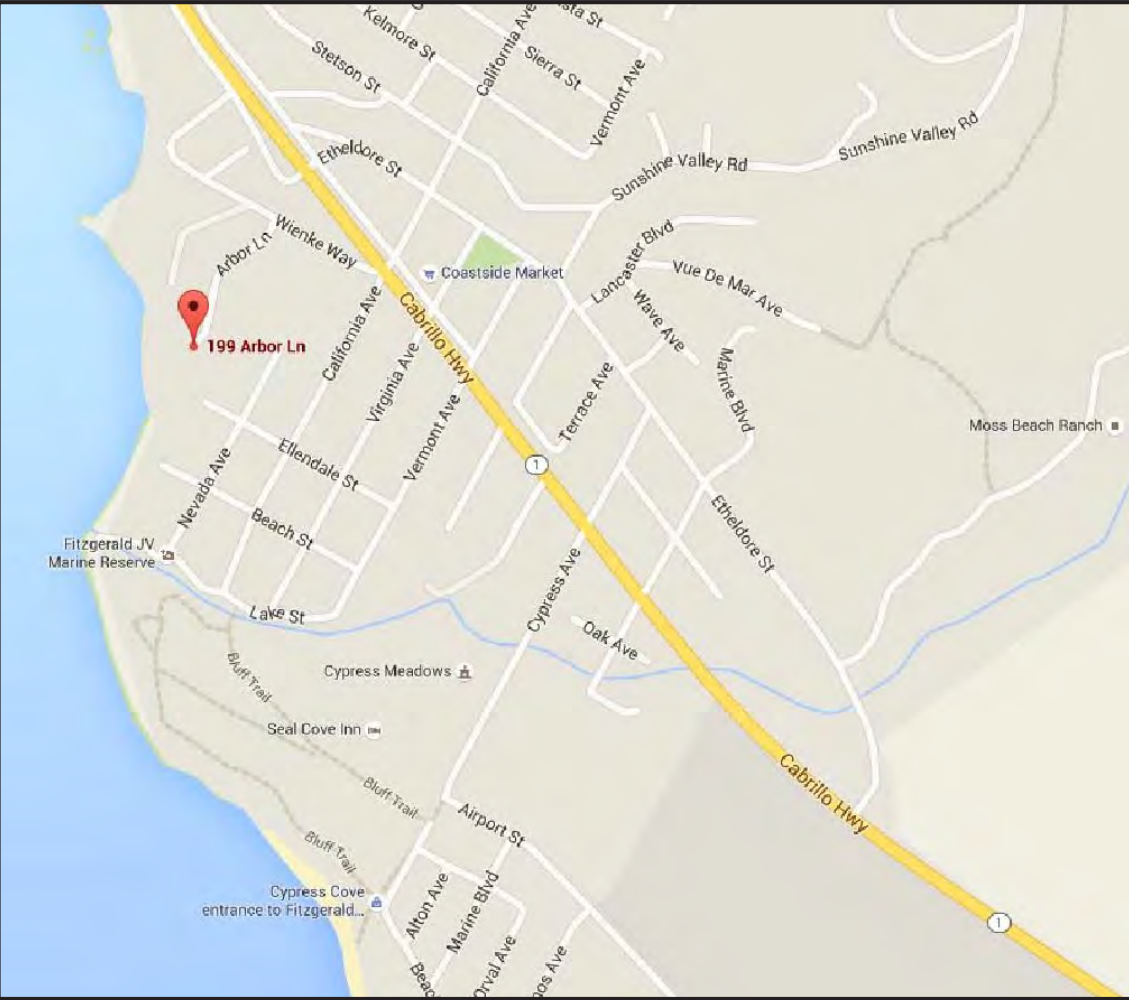


ARBOR RESIDENCE

199 ARBOR LANE MOSS BEACH, CA 94038

PROJECT TEAM	SHEET INDEX	BUILDING ANALYSIS	VICINITY MAP
<p>OWNER: ZUBAR LLC 1309 MAIN STREET VENICE, CA 90291</p> <p>ARCHITECT: CARLOS ZUBIETA ARCHITECTURE 310-827-8195 1725-A ABBOT KINNEY BLVD. VENICE, CA 90291</p> <p>SURVEYOR: LEA & BRAZE ENGINEERING INC 510-887-4086 26229 EDEN LANDING ROAD, SUITE 2 HAYWARD, CA 94545</p> <p>CIVIL ENGINEER: BERRY & ASSOCIATES 650-368-0750 1733 WOODSIDE ROAD, SUITE 335 REDWOOD CITY, CA 94061</p> <p>GEOTECHNICAL ENGINEER: MICHELUCCI & ASSOCIATES 650-692-0163 1801 MURCHISON DRIVE, SUITE 88 BURLINGAME, CA 94010</p> <p>BIOLOGICAL CONSULTANT: KOPITOV ENVIRONMENTAL LLC 206-456-4088 220 ATLANTIC AVE, SUITE 312 SANTA CRUZ, CA 95060</p> <p>STRUCTURAL ENGINEER: ---</p>	<p>ARCHITECTURAL SHEETS:</p> <p>A-0.0 COVER SHEET - INDEX - ZONING - VICINITY MAP PR-1.0 PROJECT DESCRIPTION + MATERIALS PR-1.1 EXTERIOR ELEVATIONS + MATERIALS PR-1.2 EXTERIOR ELEVATIONS + MATERIALS PR-1.3 BUILDING SECTIONS + MATERIALS PR-1.4 SURROUNDING NEIGHBORHOOD + ROOF TYPES SU-1.0 TOPOGRAPHIC SURVEY A-1.0 SITE PLAN A-3.0 FIRST FLOOR PLAN A-3.1 SECOND FLOOR PLAN A-3.2 ROOF PLAN LT-1.0 LIGHTING PLAN L-1.0 LANDSCAPE PLAN</p> <p>CIVIL SHEETS:</p> <p>C-1 SITE GRADING, DRAINAGE & UTILITY PLAN C-2 EROSION CONTROL PLAN C-3 BMPS</p>	<p>LEGAL DESCRIPTION:</p> <p>ADDRESS 199 ARBOR LANE MOSS BEACH, CA 94038</p> <p>LOT: 12 TRACT: TR 864 BLOCK: NONE ASSESSOR'S P.N.: 037-123-430 BUILDING CODE: 2017 EDITION OF CA BUILDING CODE</p> <p>PLANNING AND ZONING:</p> <p>OCCUPANCY TYPE: SINGLE FAMILY RESIDENTIAL ZONING: R-1/S-17/DR/CD EXISTING LAND USE: UNDEVELOPED PROPOSED BUILDING: SINGLE FAMILY RESIDENCE NUMBERS OF STORIES NEW BUILDING: 2 COASTAL DEVELOPMENT DISTRICT: YES DESIGN REVIEW DISTRICT: YES SCENIC VIEW CORRIDOR: YES</p> <p>BUILDING + LOT SUMMARY</p> <p>PARCEL AREA: 14,320 SF</p> <p>PROPOSED FLOOR AREA: FIRST FLOOR 2,510 SF SECOND FLOOR 688 SF TOTAL HABITABLE SF: 3,198 SF</p> <p>COVERED PORTION OF ENTRY PORCH 58 SF COVERED PORTION OF REAR PORCH 82 SF COVERAGE PORCHES 140 SF</p> <p>2- CAR GARAGE 468 SF TOTAL BUILDING FLOOR AREA: 3,806 SF</p> <p>MAXIMUM BUILDING FLOOR AREA (PER SECTION 6300.2.5A): PARCEL SIZE OVER 11,698 SF = 6,200 SF</p> <p>PROPOSED BUILDING HEIGHT AT HIGHEST POINT: 24'-3 7/8"</p> <p>BUILDING TO BE PROTECTED BY AN AUTOMATED FIRE SPRINKLER SYSTEM.</p> <p>SAN MATEO COUNTY ZONING REGULATIONS PER CHAPTER 20 SECTION 6300.2 FOR DISTRICT S-17:</p> <p>MAX ALLOWABLE HEIGHT (PER SECTION 6300.2.6) = 28'-0"</p> <p>PARCEL COVERAGE FOR STRUCTURES > 16'-0" IN HEIGHT (PER SECTION 6300.2.4): 14,320 SF (LOT AREA) X .35 (35%) = 5,012 SF PROPOSED PARCEL COVERAGE = 3,994 SF</p> <p>REQUIRED BUILDING SETBACKS (PER SECTION 6300.2.3): FRONT = 20'-0" REAR = 20'-0" (MINIMUM) SIDE = 5'-0" (STRUCTURES OVER 16'-0" IN HEIGHT) SIDE = COMBINED TOTAL OF 15'-0" (MIN OF 5'-0" EACH SIDE)</p> <p>MAXIMUM IMPERVIOUS SURFACE AREA (PER SECTION 6300.2.7): MAX PARCEL AREA COVERED BY IMPERVIOUS STRUCTURES LESS THAN 18" IN HEIGHT IS LIMITED TO 10% OF THE PARCEL AREA, BUT IS NOT TO EXCEED 1,170 SF FOR RESIDENTIAL USES. 10% OF 14,320 SF = 1,432 SF THEREFORE THE MAX IMPERVIOUS SURFACE AREA = 1,170 SF PROPOSED IMPERVIOUS SURFACE AREA = 82 SF</p>	



3 REVISIONS PER CDRC HEARING COMMENTS 07.24.17

ASSESSOR'S PARCEL NUMBER:
037-123-430

PROJECT ADDRESS:
199 ARBOR LANE, MOSS BEACH, SAN MATEO COUNTY, CA

A-0.0

COVER SHEET



GOOGLE MAPS VIEW:

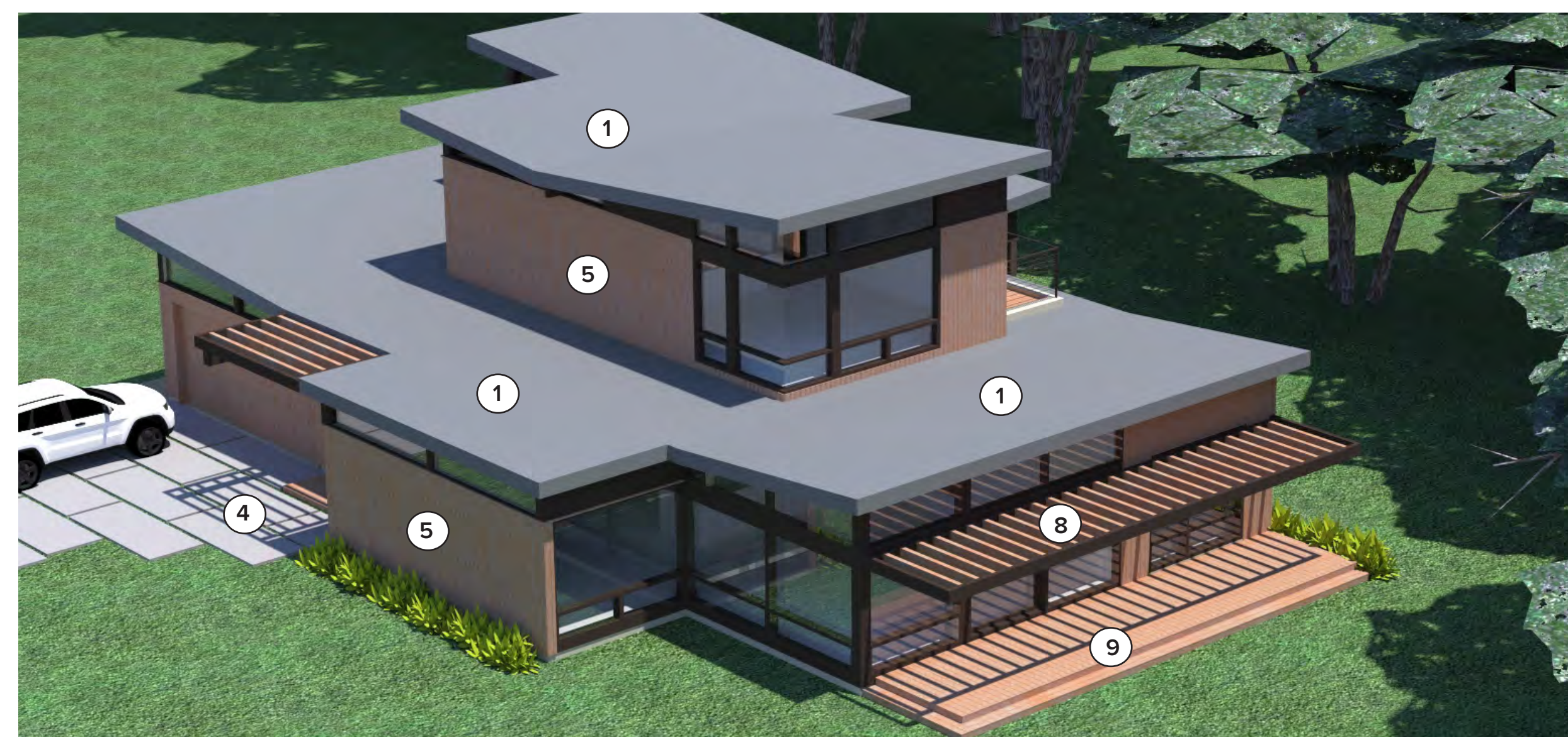
PROJECT LOCATION:

The project is located on a Cul-de sac approximately .17 miles West of Highway 1 in Moss Beach along the San Mateo County coastline. The coastal bluff is approximately 50 feet away from the property and overlooks the Fitzgerald Marine Reserve. The immediate surroundings of the project includes single family residences including one single family home to the immediate east and a vacant property owned by the home owners association to the North. The size of the site measures approximately 14,000 SF.

PROJECT DESCRIPTION:

The proposed project is of a new single family residence covering an estimated area of 3,200 square feet with an attached two car garage. The design and scale of the project was strategized to relate to the immediate neighborhood while the new structure uses contemporary strategies for incorporating passive solar, opening up the house to the outdoor spaces and retaining the native surrounding habitat as recommended by the biology report obtained. From the street the project scale is kept low to create visibility and reduce solid two-story wall surfaces.

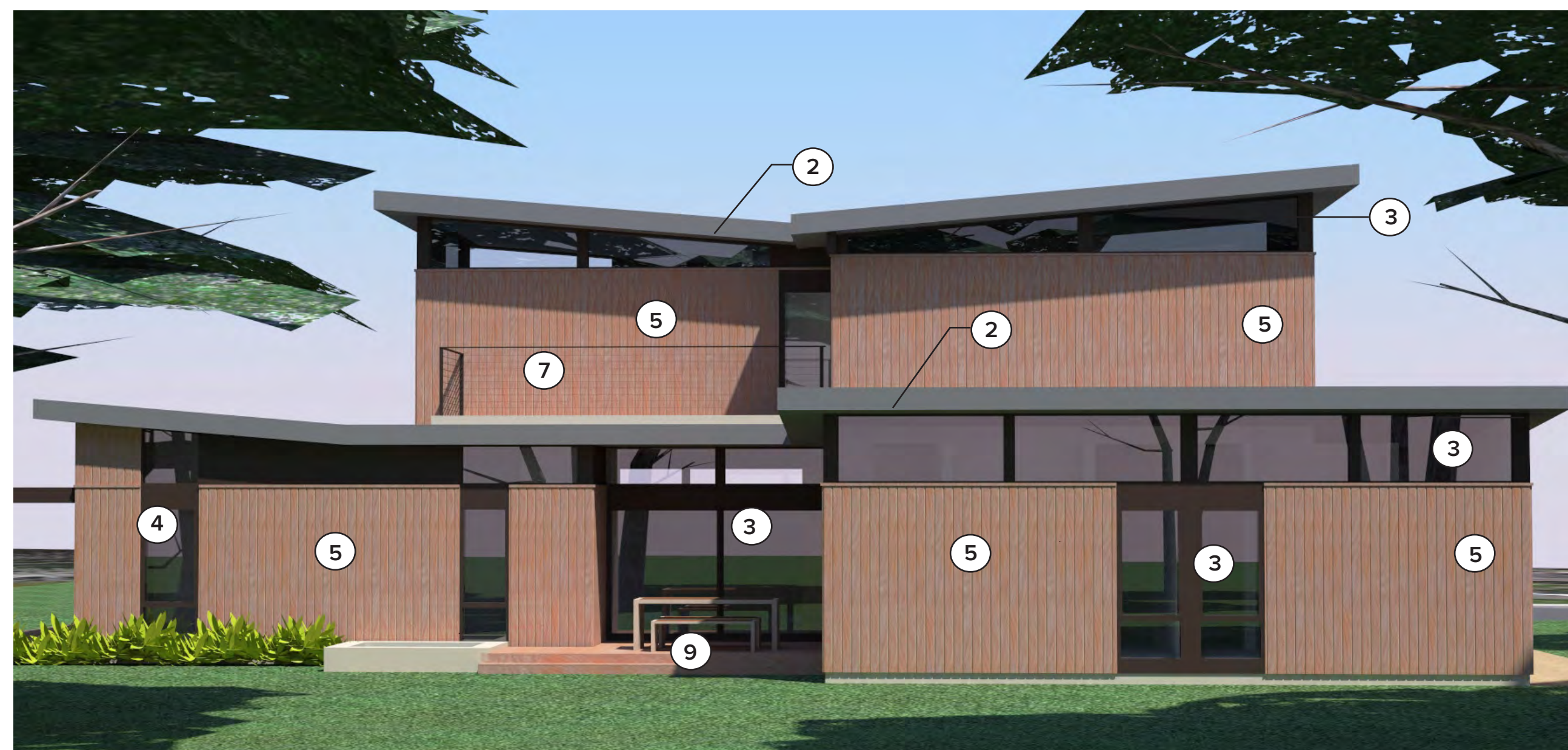
The use of environmentally conscious materials throughout the house helps to emphasize the warmth and character as well as blend with the natural surrounding landscape. Western red cedar exterior walls, are reminiscent of Sea Ranch and the the surrounding materials. Large South facing windows will open to the views of the surrounding landscape while also providing passive solar heating within the home. Varying roof slopes allow the house to be nested into the low-lying neighborhood, while the granite on the exterior roofing reflects the rocks along the cliff.



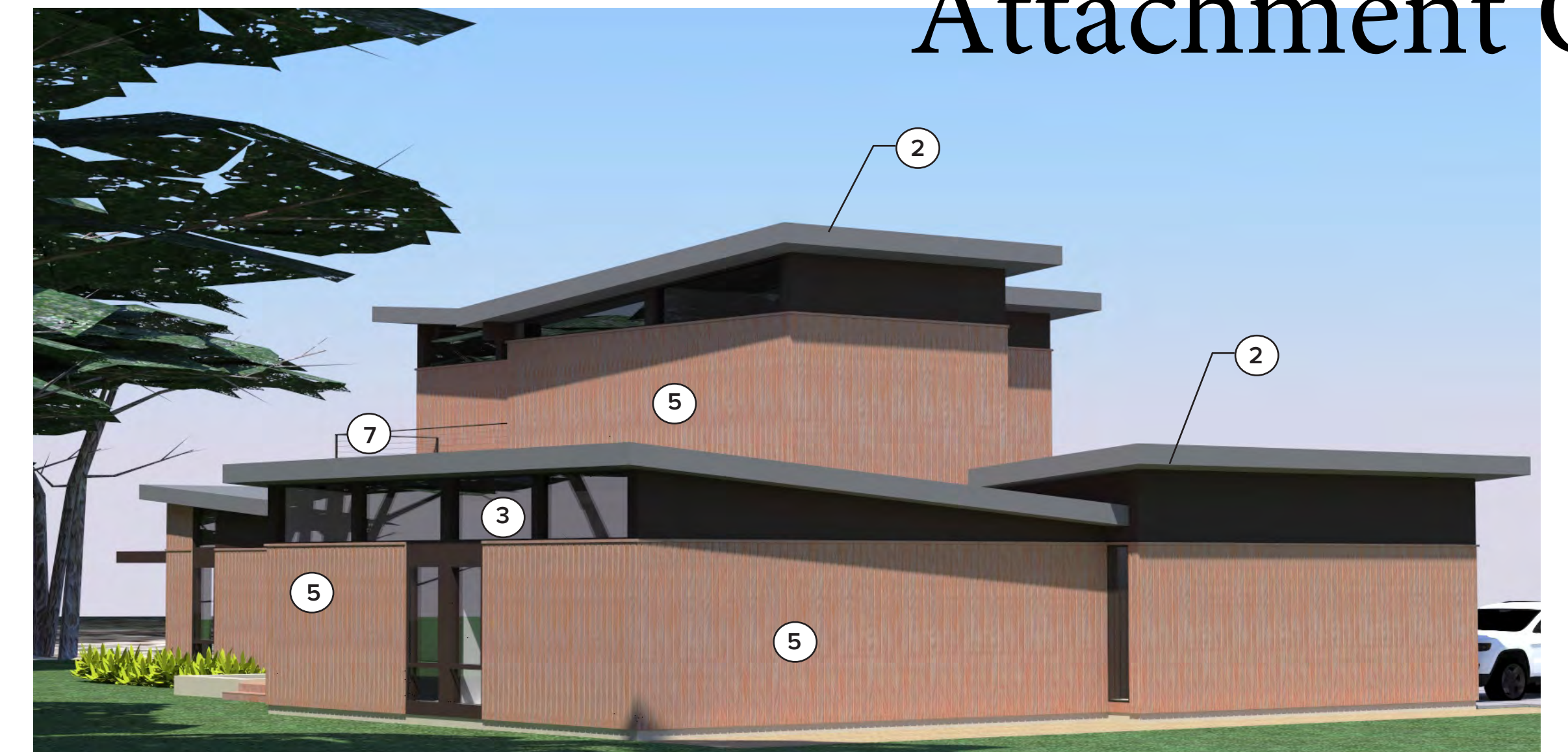
TOP VIEW:



NORTH ELEVATION VIEW: ARBOR LANE



SOUTH ELEVATION VIEW: OCEAN FACING

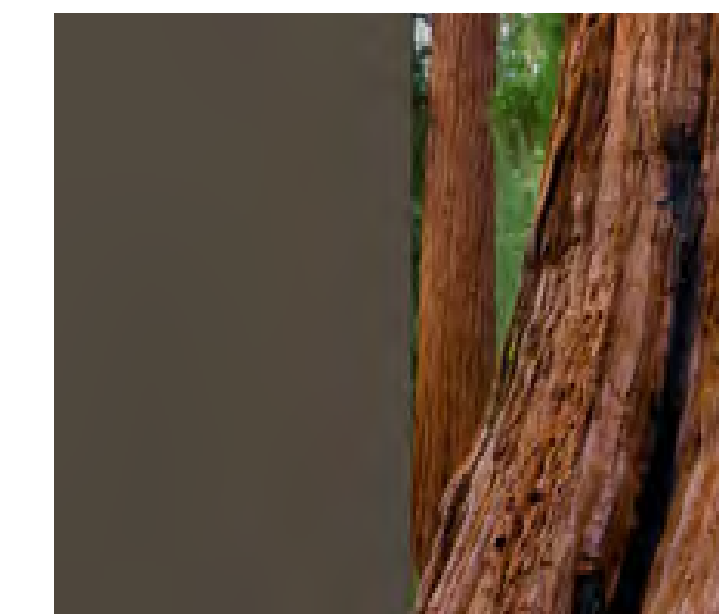


EAST ELEVATION VIEW:

MATERIALS AND FINISHES LEGEND:



1. ROOFING: Class A 4 Ply Built up roofing finished with a layer of rock - Granite No. 4 by A1 Grit Company



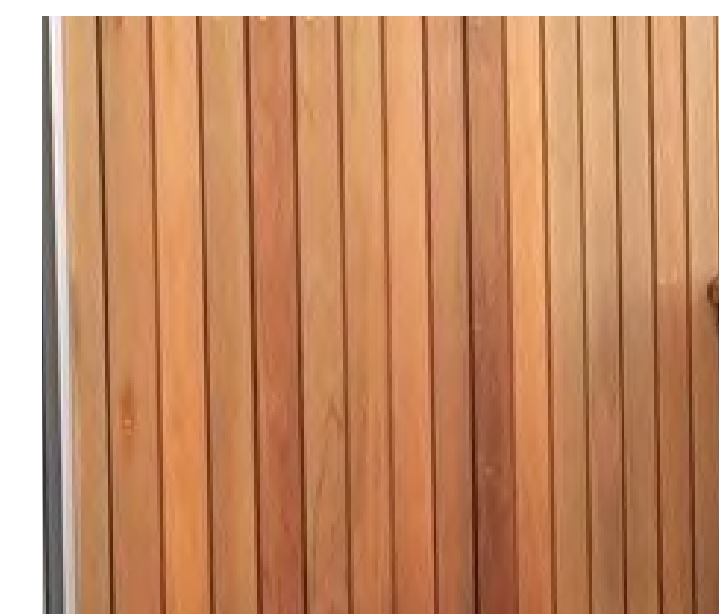
2. EXTERIOR TRIM: VM ZINC PIGMENTO zinc flat panels in "brown"



3. WINDOWS: Milgard Windows Aluminum Frame - color: dark bronze



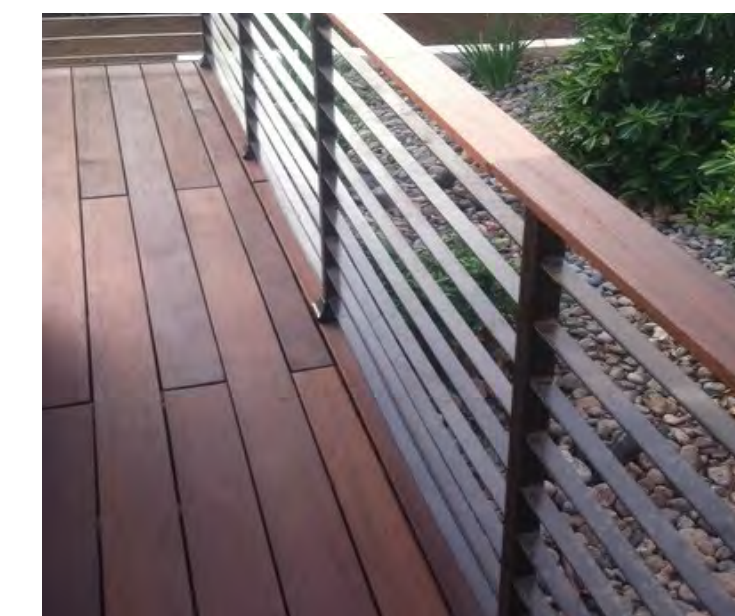
4. EXPOSED AGGREGATE CONCRETE: Site concrete at driveway and pavers for pathways



5. EXTERIOR WALLS: Natural wood siding in 4" wide -Western Red Cedar siding - Benjamin Moore ARBORCOAT waterborne exterior stain semi-solid 639



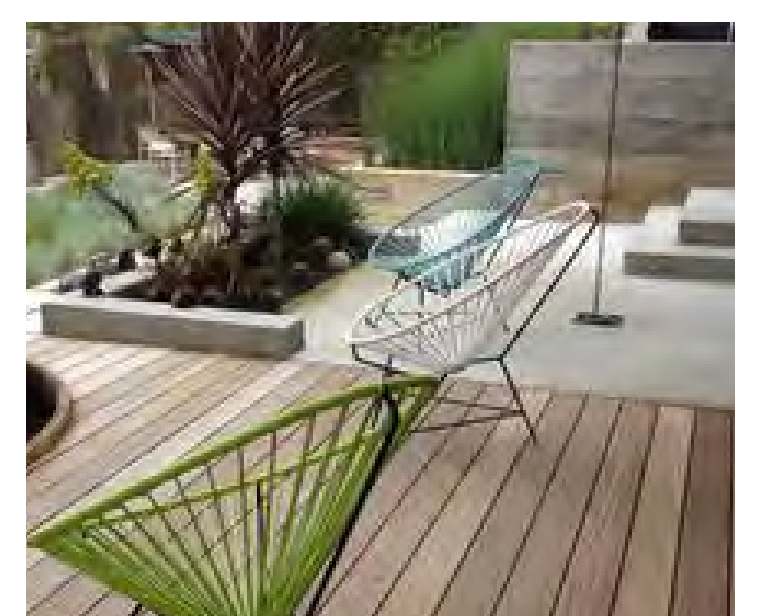
6. GARAGE DOORS: Natural wood Roll up doors - Western Red Cedar - Clr. polyurethane finish



7. RAILINGS / BALCONY: Powder coated steel and natural wood top - bronze color to doors and windows and clr. polyurethane finish



8. OVERHANGS: Natural wood trellis- 4x12 douglas fir beams with clear polyurethane finish

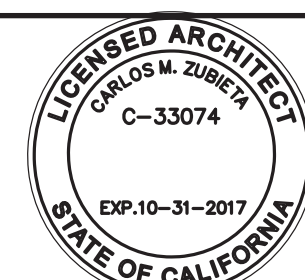


9. HARDSCAPE / DECKS: poured concrete and natural wood decks - 2x6 teak clr. polyurethane finish

ASSESSOR'S PARCEL NUMBER:
037-123-430

PROJECT ADDRESS:
199 ARBOR LANE, MOSS BEACH, SAN MATEO COUNTY, CA

PR-10

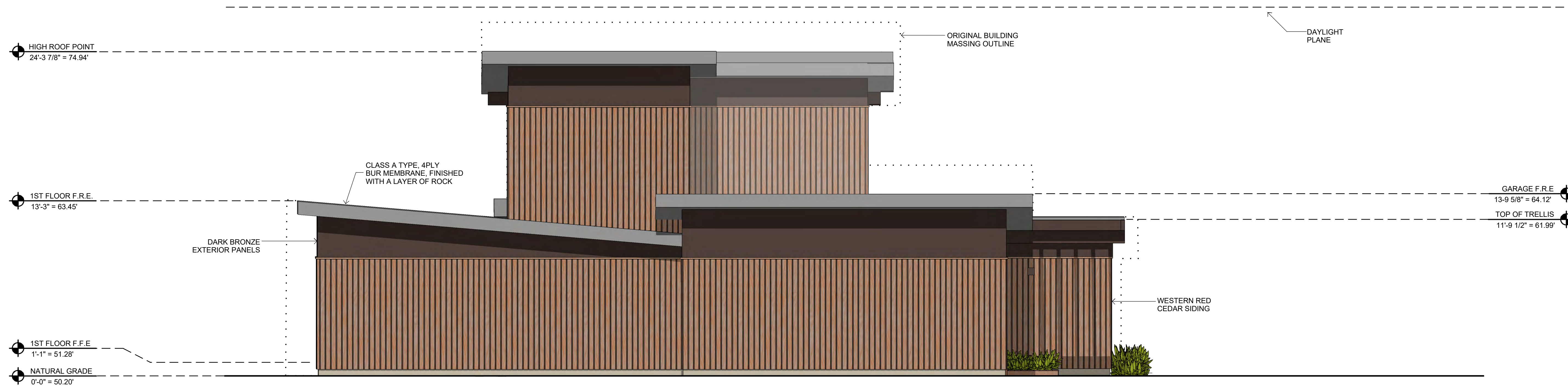


REVISIONS PER CDRC HEARING COMMENTS 07.24.17

PROJECT RENDERINGS AND MATERIALS



NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0" 1



EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0" 2

SEE CORRESPONDING MATERIALS AND FINISHES
LEGEND ON PAGE PR-1.0



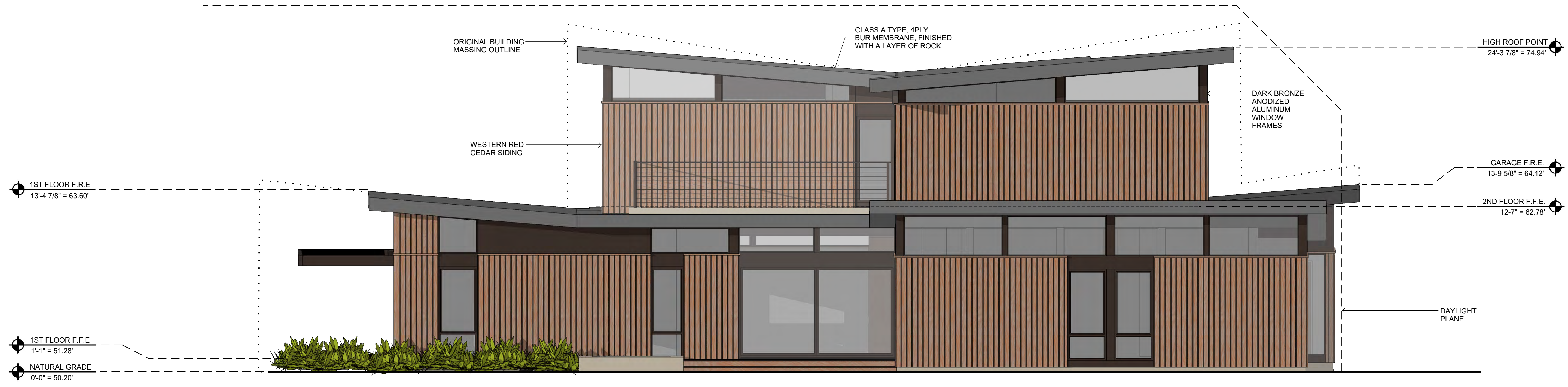
3 REVISIONS PER CDRC HEARING COMMENTS 07.24.17

ASSESSOR'S PARCEL NUMBER:
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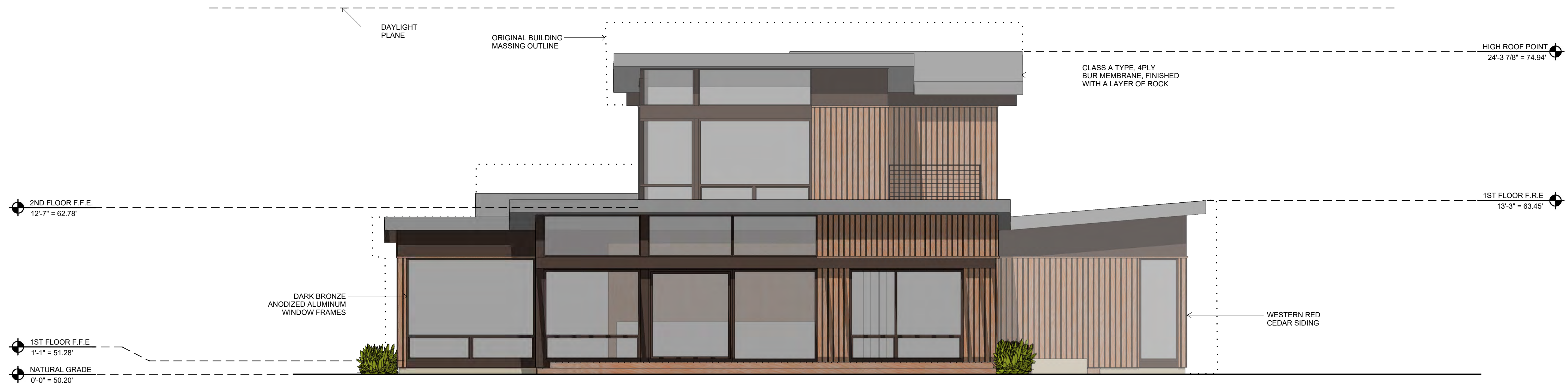
PROJECT ADDRESS:
199 ARBOR LANE, MOSS BEACH, SAN MATEO COUNTY, CA

PR-11

EXTERIOR ELEVATIONS WITH MATERIALS

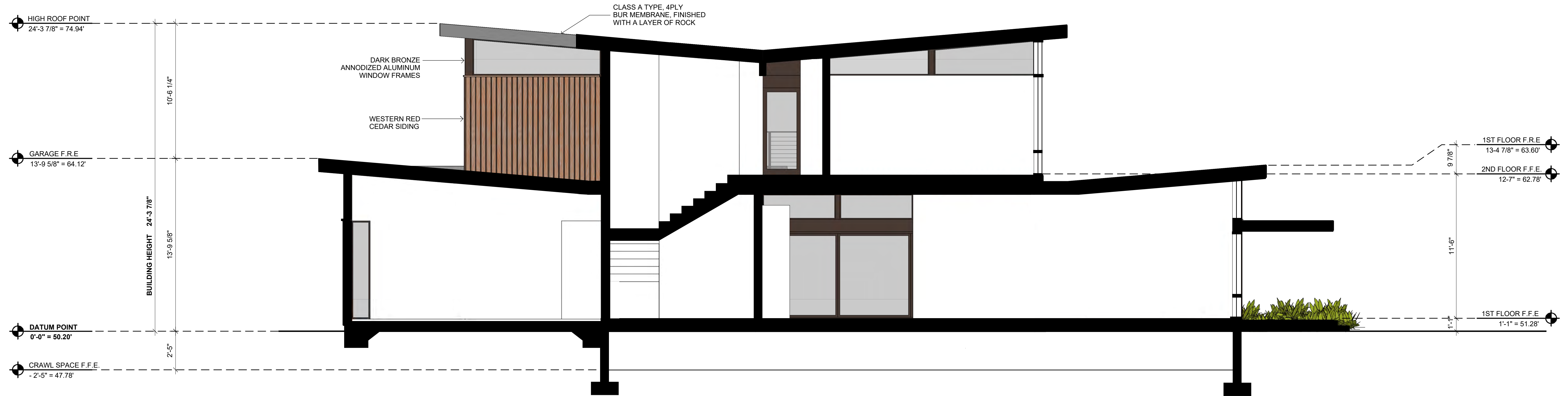


SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0" 1

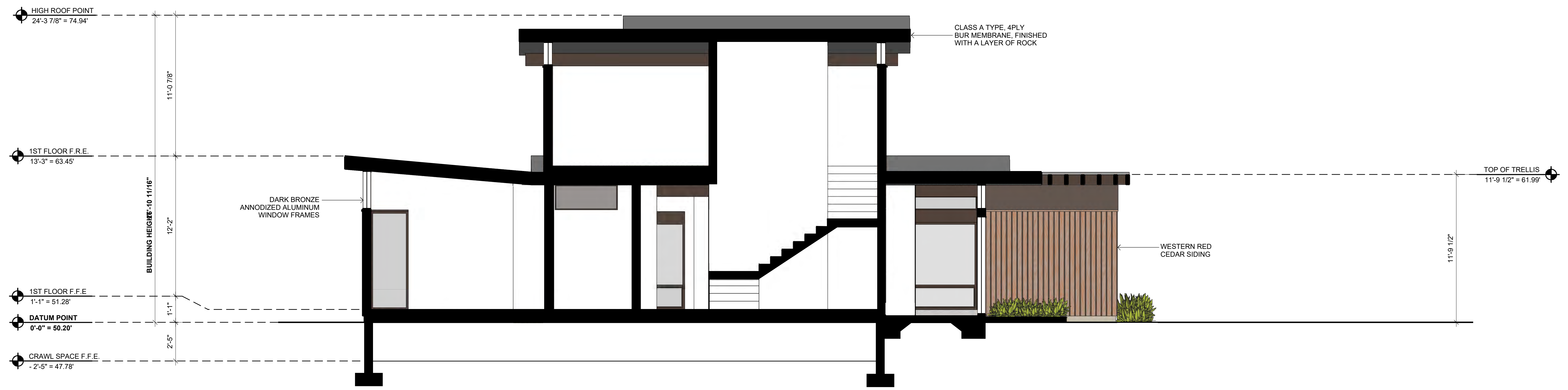


WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0" 2

SEE CORRESPONDING MATERIALS AND FINISHES
LEGEND ON PAGE PR-1.0



LONG BUILDING SECTION 1
SCALE: 1/4" = 1'-0"



SHORT BUILDING SECTION 2
SCALE: 1/4" = 1'-0"

SEE CORRESPONDING MATERIALS AND FINISHES
LEGEND ON PAGE PR-1.0



REVISIONS PER CDRC HEARING COMMENTS 07.24.17

ASSESSOR'S PARCEL NUMBER:
037-123-430

PROJECT ADDRESS:
199 ARBOR LANE, MOSS BEACH, SAN MATEO COUNTY, CA

PR-1.3

BUILDING SECTIONS



199 ARBOR LANE - PROJECT SITE (VIEW TOWARDS ARBOR LANE)



191 ARBOR LANE - EXISTING HOUSE (EAST SIDE) ONLY IMMEDIATE NEIGHBOR



191 ARBOR LANE - EXISTING LOT - NORTH SIDE OF PROPERTY

NEIGHBORHOOD CONTEXT:

The homes on Arbor Lane, a cul-de-sac are one and two stories in height. The homes are a mix of similar style ranch homes built at the same time with newer second floor additions in a mix of colors and materials. All of the homes have the garages that face Arbor Lane, with varied roof lines that range from pitched to gabled. The proposed residence will be contemporary similar in materials and look and feel as some of the newer developments occurring in other neighborhoods in Moss Beach.



EXISTING ADJACENT HOUSE ON THE NORTH SIDE



181 ARBOR LANE - EXISTING ADJACENT HOUSE ON THE SOUTH SIDE

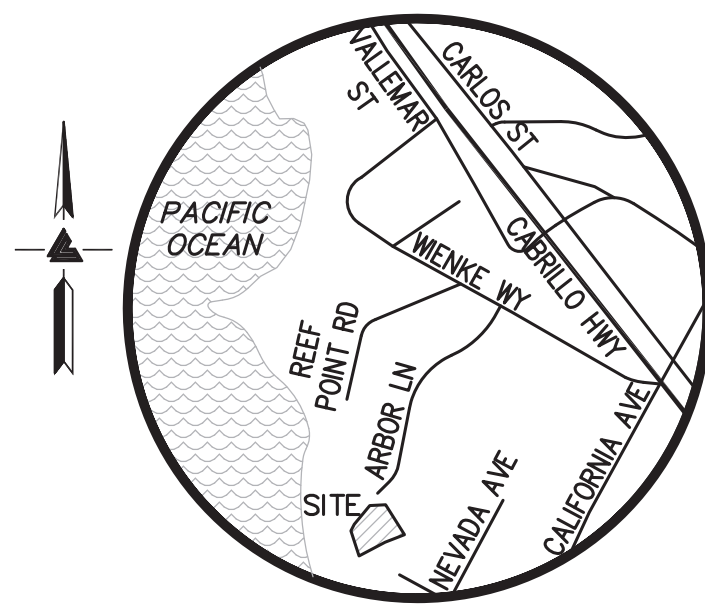


CONTEMPORARY PROJECT IN MOSS BEACH



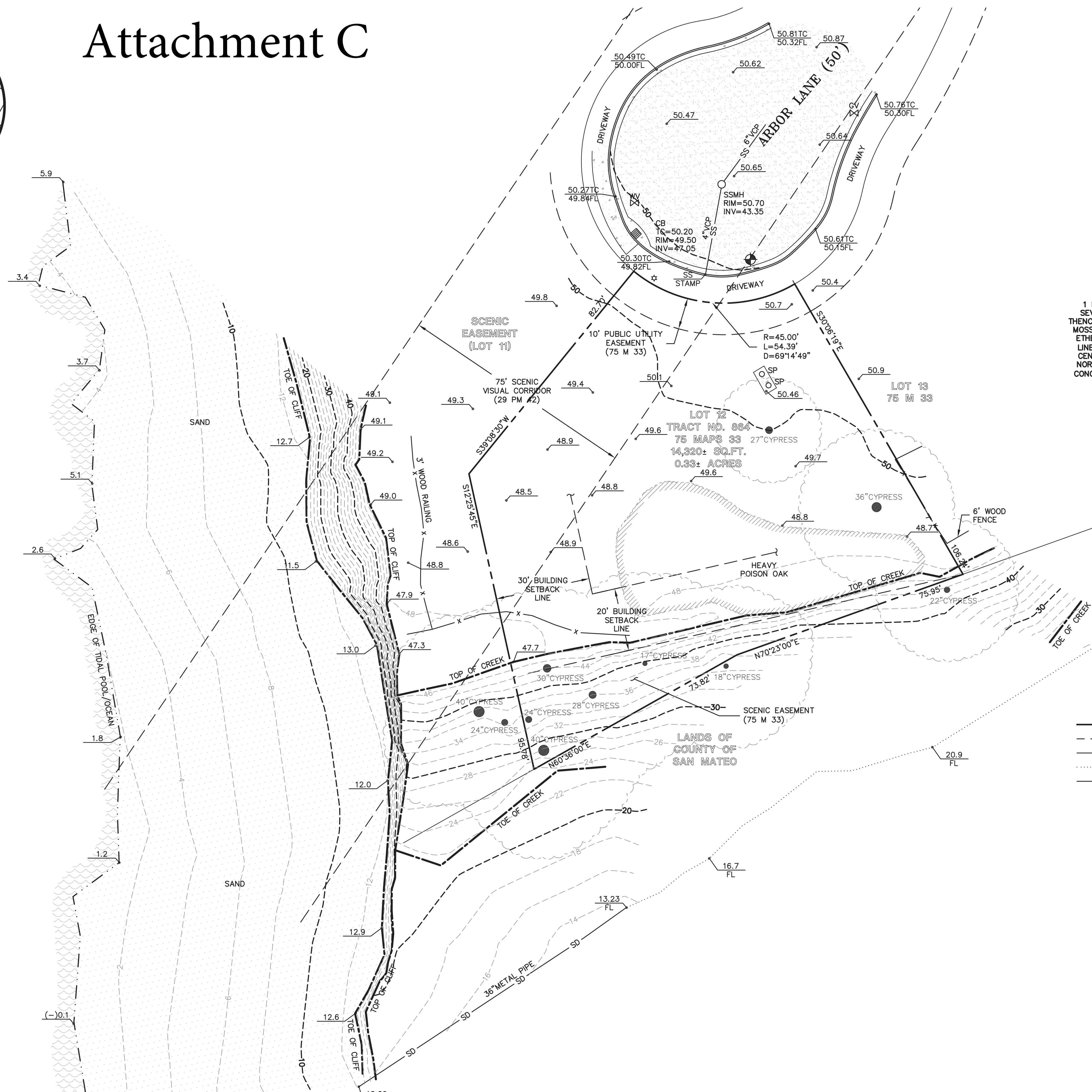
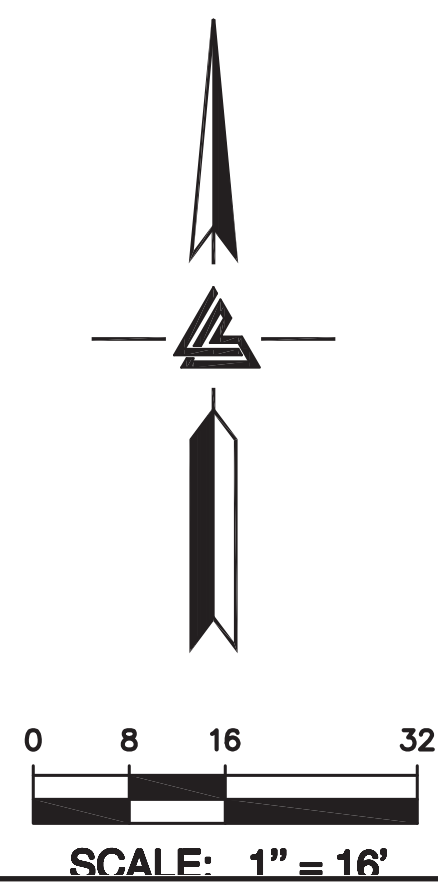
CONTEMPORARY PROJECT IN MOSS BEACH

Attachment C



VICINITY MAP
NO SCALE

PACIFIC
OCEAN



NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.
UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.
BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR)

EASEMENT NOTE

EASEMENTS SHOWN PER POLICY OF TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE COMPANY, POLICY NO. SM-327955, DATED APRIL 23, 1987. DUE TO DATE OF TITLE REPORT, EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

BENCHMARK

MOSS BEACH/NGS BENCHMARK 1812
1 MI S FROM MONTARA, 0.05 MILE NORTHWEST ALONG SEVENTH STREET FROM THE POST OFFICE AT MONTARA, THENCE 1.00 MILES SOUTHWEST ALONG STATE HIGHWAY 1, AND ETHELDRE STREET, 35 FEET NORTHEAST OF THE CENTER LINE OF THE HIGHWAY, 47 1/2 FEET SOUTHWEST OF THE CENTER LINE OF THE STREET, IN THE TOP AND 1.2 FEET NORTHWEST OF THE SOUTHWEST END OF THE NORTHEAST CONCRETE HEADWALL OF A 24 INCH PIPE CULVERT 35/29, AND ABOUT 1 FOOT LOWER THAN THE HIGHWAY.
ELEVATION = 60.91
(NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 50.20'
(NAVD 88)

LEGEND AND NOTES

- BOUNDARY LINE
- - - EASEMENT
- x - FENCE LINE
- ... FLOW LINE
- SS SANITARY SEWER LINE
- ⊕ BENCHMARK
- CB CATCH BASIN
- CO CLEAN-OUT BOX
- ⊗ FIRE HYDRANT
- FL FLOW LINE
- GM GAS METER
- ⊗ GV GAS VALVE
- INV INVERT
- SSMH SANITARY SEWER MANHOLE
- SP STANDPIPE
- ☆ STREET LIGHT
- TC TOP OF CURB
- VCP VITRIFIED CLAY PIPE
- ⊗ WV WATER VALVE
- XXX.XX SPOTGRADE
- ASPHALT
- CONCRETE
- SAND



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
SACRAMENTO REGION
3075 DOUGLAS BLVD., # 300
ROSELAND, CA 95661
P (916) 966-1336
F (916) 966-1338
WWW.LEABRAZE.COM

199 ARBOR LANE
MOSS BEACH
CALIFORNIA

TOPOGRAPHIC
SURVEY

REVISIONS	BY

JOB NO: 2150245
DATE: 5-16-16
SCALE: 1" = 16'
FIELD BY: DR
DRAWN BY: DB
SHEET NO:

ASSESSOR'S PARCEL NUMBER:
037-123-430

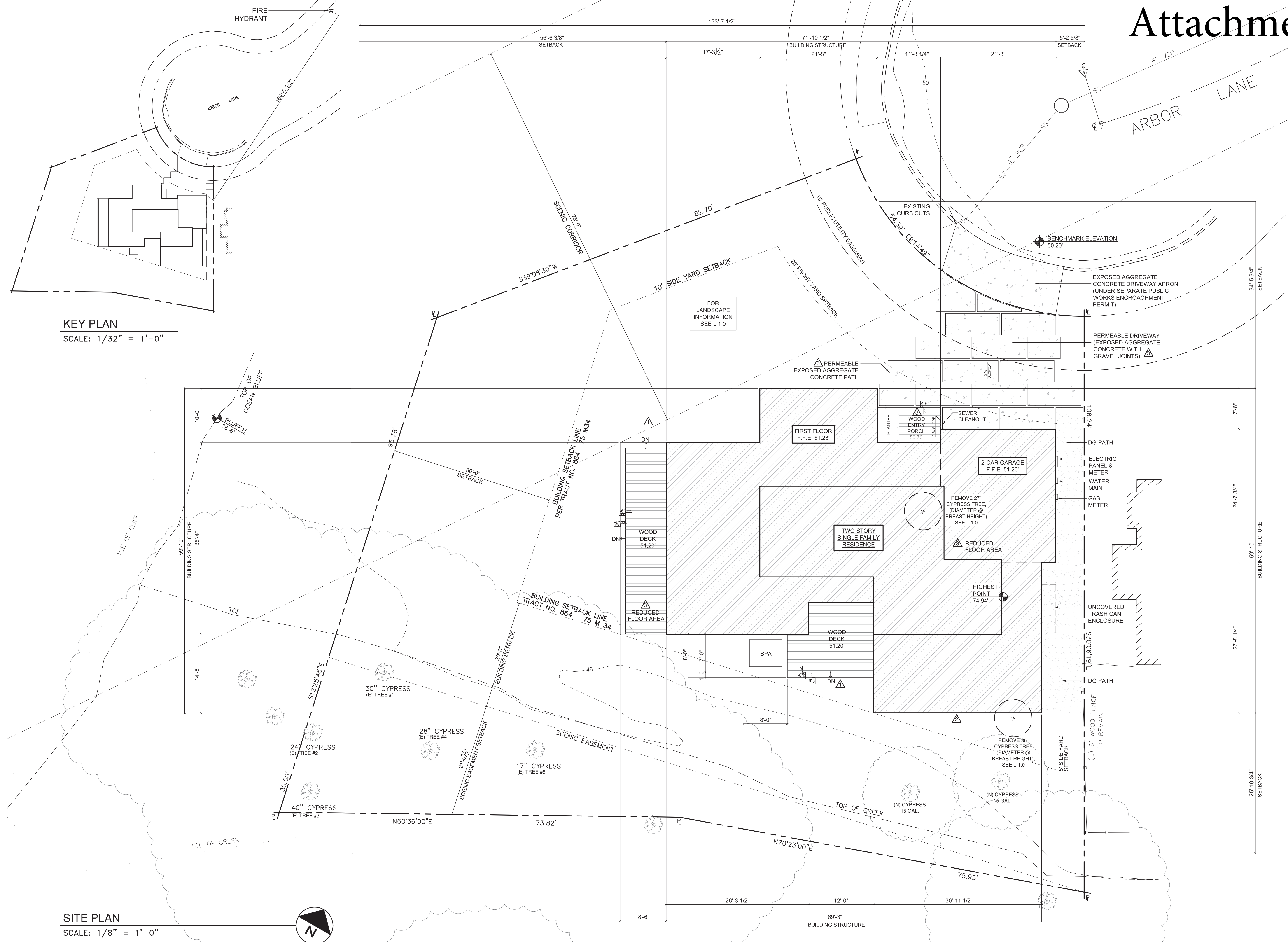
PROJECT ADDRESS:
199 ARBOR LANE, MOSS BEACH, SAN MATEO COUNTY, CA

SU-1.0

REVISIONS PER CDRC HEARING COMMENTS 07.24.17

TOPOGRAPHIC SURVEY





KEY PLAN
SCALE: 1/32" = 1'-0"

SITE PLAN
SCALE: 1/8" = 1'-0"



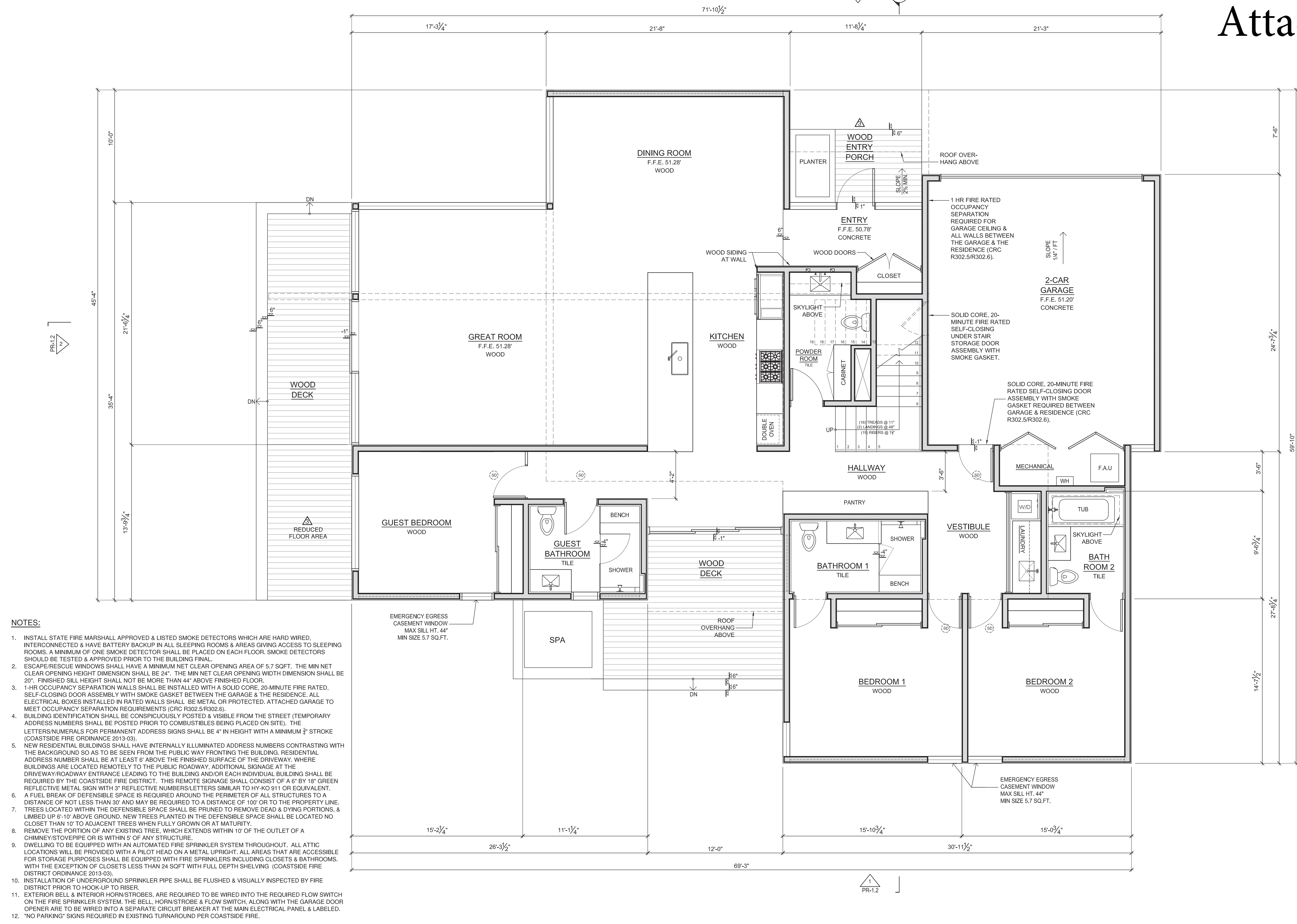
REVISIONS PER CDRC HEARING COMMENTS 07.24.17

ASSESSOR'S PARCEL NUMBER:
037-123-430

PROJECT ADDRESS:
199 ARBOR LANE, MOSS BEACH, SAN MATEO COUNTY, CA

SITE PLAN

A1.0



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



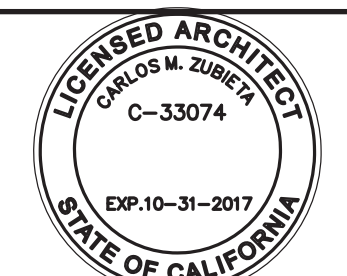
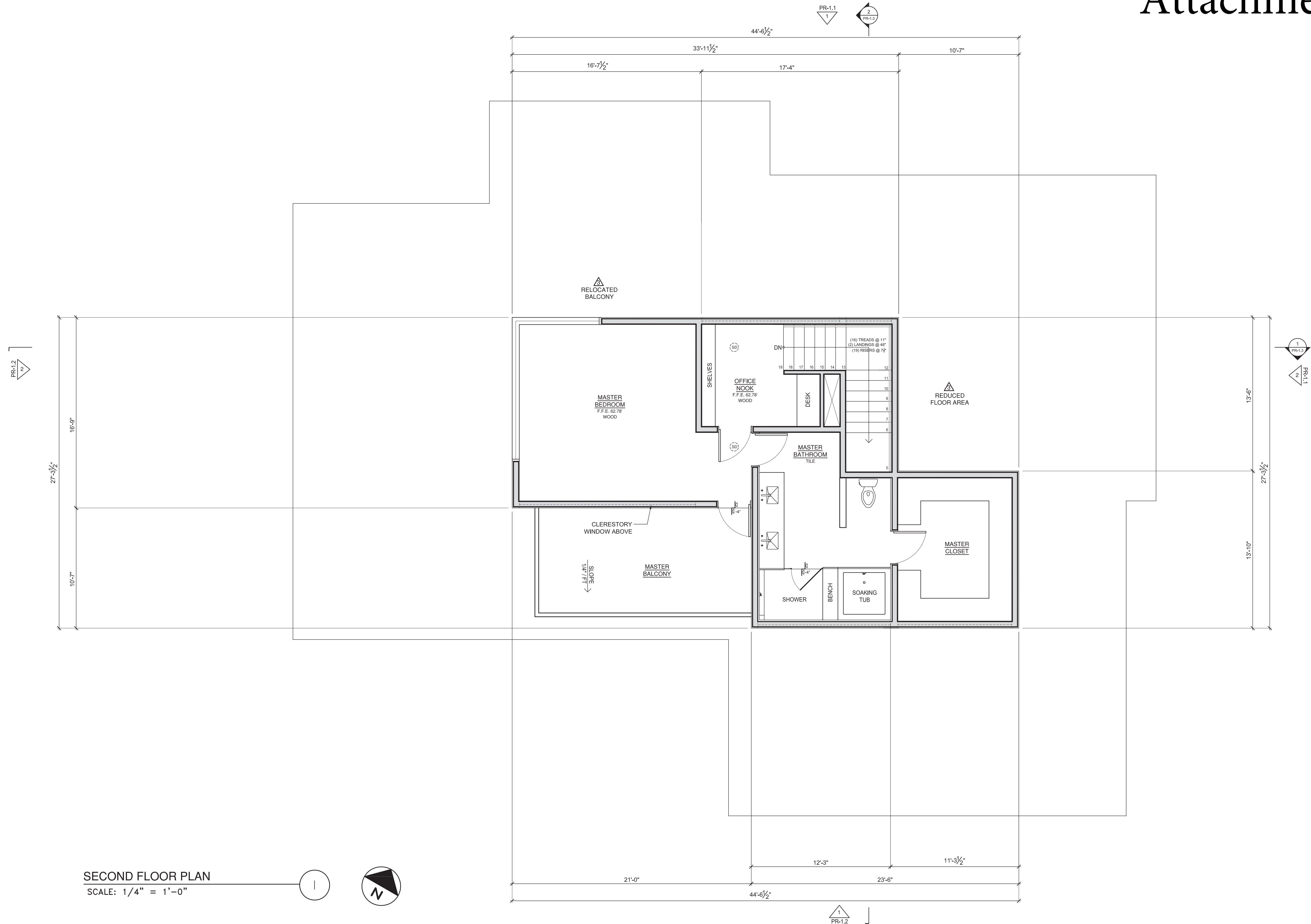
3 REVISIONS PER CDRC HEARING COMMENTS 07.24.17

ASSESSOR'S PARCEL NUMBER:
037-123-430

PROJECT ADDRESS:
199 ARBOR LANE, MOSS BEACH, SAN MATEO COUNTY, CA

A3.0

FIRST FLOOR PLAN



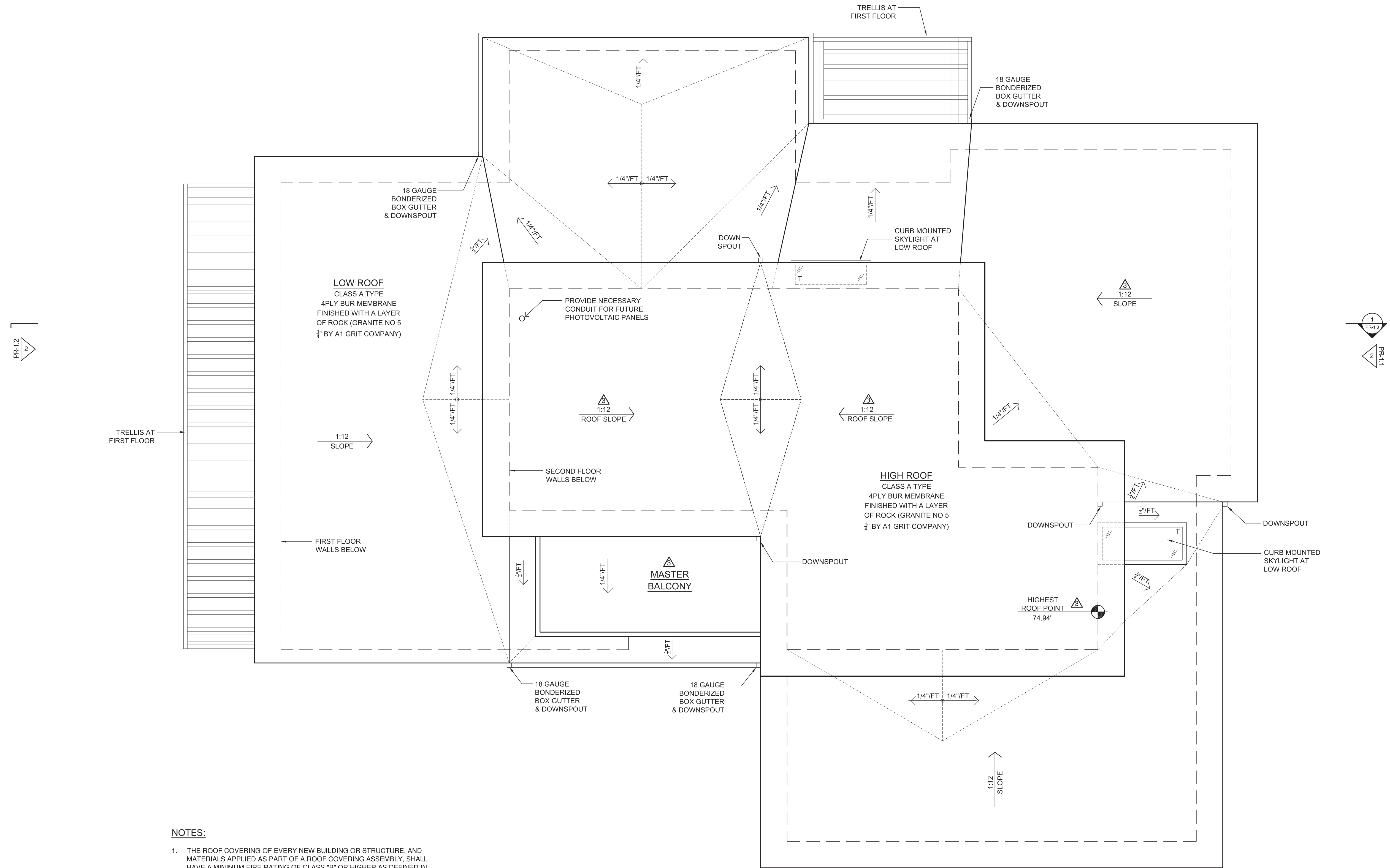
REVISIONS PER CDRC HEARING COMMENTS 07.24.17

ASSESSOR'S PARCEL NUMBER:
037-123-430

PROJECT ADDRESS:
199 ARBOR LANE, MOSS BEACH, SAN MATEO COUNTY, CA

SECOND FLOOR PLAN

A3.1



- NOTES:**
1. THE ROOF COVERING OF EVERY NEW BUILDING OR STRUCTURE, AND MATERIALS APPLIED AS PART OF A ROOF COVERING ASSEMBLY, SHALL HAVE A MINIMUM FIRE RATING OF CLASS "B" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE.

PR-12

ROOF PLAN
SCALE: 1/4" = 1'-0"



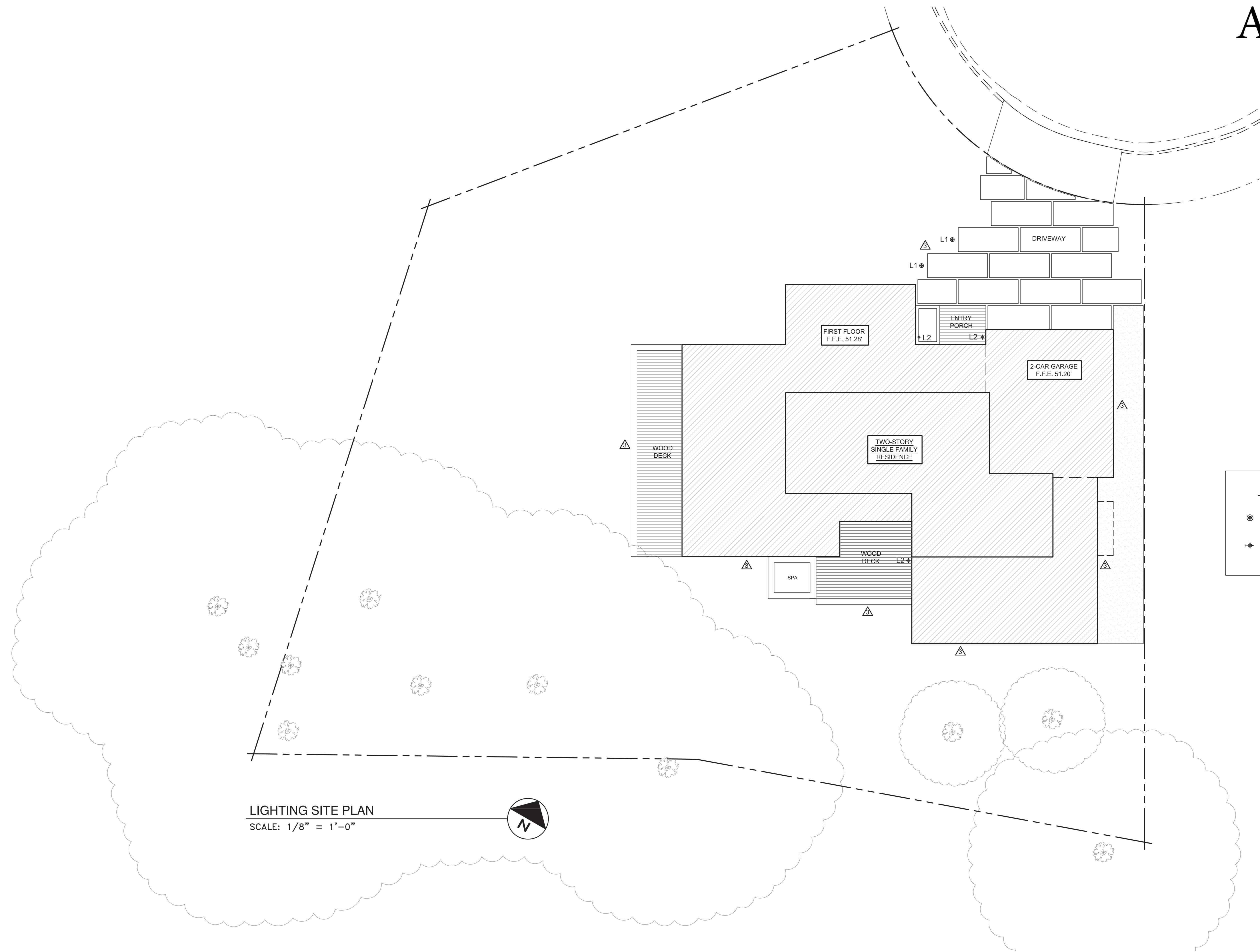
3 REVISIONS PER CDRC HEARING COMMENTS 07.24.17

ASSESSOR'S PARCEL NUMBER:
037-123-430

PROJECT ADDRESS:
199 ARBOR LANE, MOSS BEACH, SAN MATEO COUNTY, CA

ROOF PLAN

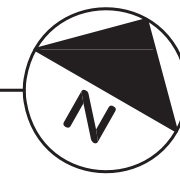
A3.2



LIGHTING LEGEND

- L1 = LED PATH LIGHT HEVI LITE HL-6500
- ◆ L2 = LED WALL SCONCE LIGMAN UGI-31591

LIGHTING SITE PLAN
SCALE: 1/8" = 1'-0"

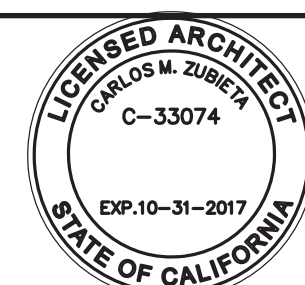


SEE CORRESPONDING LIGHTING SPECS IN SPEC BOOK PAGE 25-27

ASSESSOR'S PARCEL NUMBER:
037-123-430

PROJECT ADDRESS:
199 ARBOR LANE, MOSS BEACH, SAN MATEO COUNTY, CA

LT-1.0



REVISIONS PER CDRC HEARING COMMENTS 07.24.17

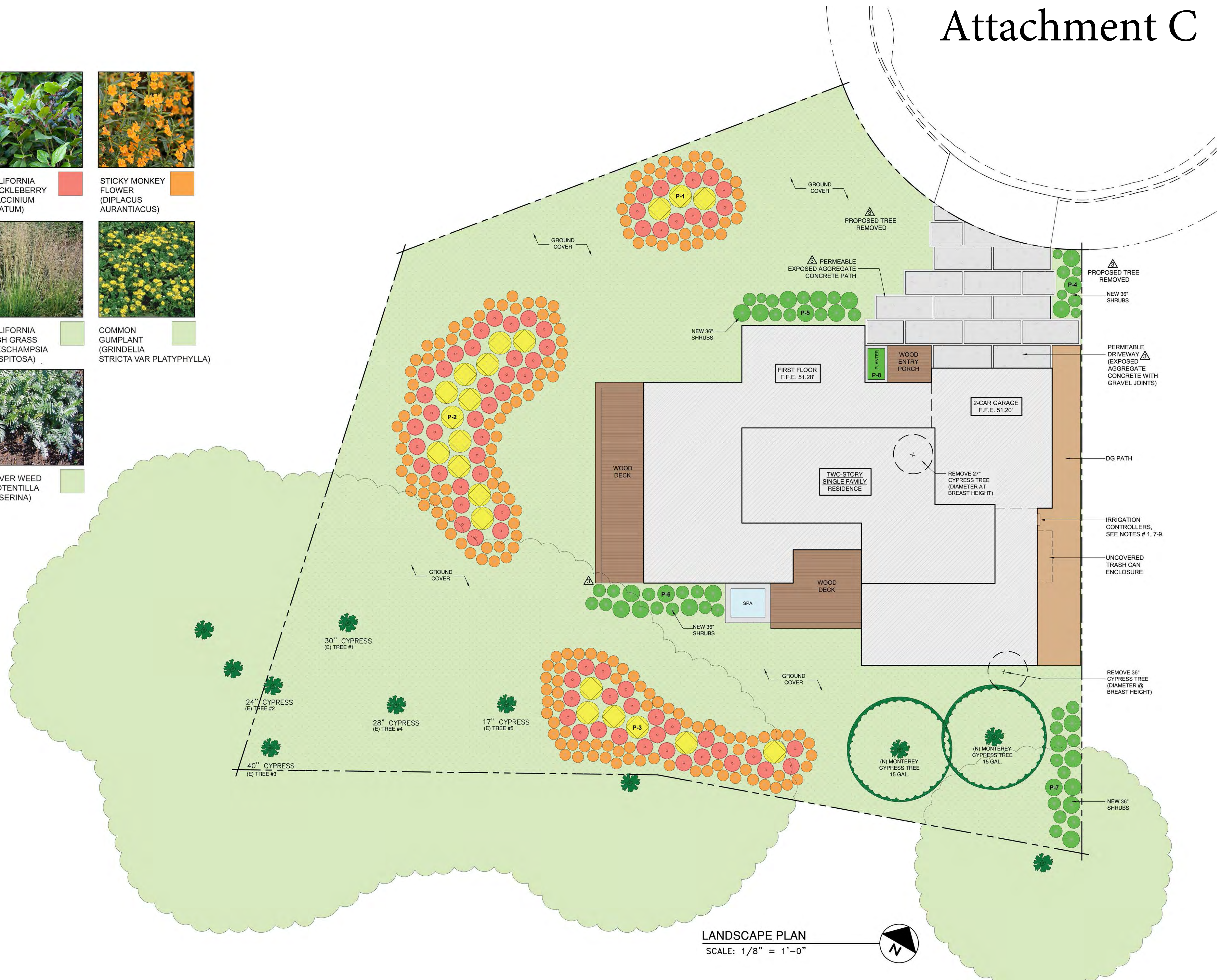
LIGHTING SITE PLAN

NATIVE CALIFORNIA PLANTS (TO ENHANCE SITE BIODIVERSITY)



NOTES:

- 1- SPRINKLER SYSTEM TO BE DRIP IRRIGATION.
- 2- ALL PLANTING UTILIZED IS NATIVE AND EXISTING IN AREA (CLIMATE ADAPTED).
- 3- 2,400 SF OF IRRIGATED PLANTING BEDS (P-1 - P-8) WITH NATIVE PLANTING.
- 4- AREAS DISTURBED BY CONSTRUCTION ACTIVITY OUTSIDE OF PLANTING BEDS WILL BE RESEEDED WITH NATIVE GROUND COVER AS SPECIFIED.
- 5- COMPOST INCORPORATED IN PLANTING BEDS P-1 THROUGH P-8, AT A RATE OF AT LEAST 4 CUBIC YARDS PER 1,000 SF TO A DEPTH OF 6" INTO LANDSCAPE AREA.
- 6- A MIN 3" LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS IN PLANTING BEDS P-1 THROUGH P-8.
- 7- IRRIGATION CONTROLLERS USE EVAPOTRANSPIRATION OR SOIL MOISTURE DATA & UTILIZE A RAIN SENSOR.
- 8- IRRIGATION CONTROLLER PROGRAM DATA WILL NOT BE LOST DUE TO AN INTERRUPTION IN PRIMARY POWER SOURCE.
- 9- AREAS LESS THAN 10' IN ANY DIRECTION UTILIZE SUB-SURFACE OR DRIP IRRIGATION THAT PREVENTS OVERSPRAY OR RUN OFF.



ASSESSOR'S PARCEL NUMBER:
037-123-430

PROJECT ADDRESS:
199 ARBOR LANE, MOSS BEACH, SAN MATEO COUNTY, CA

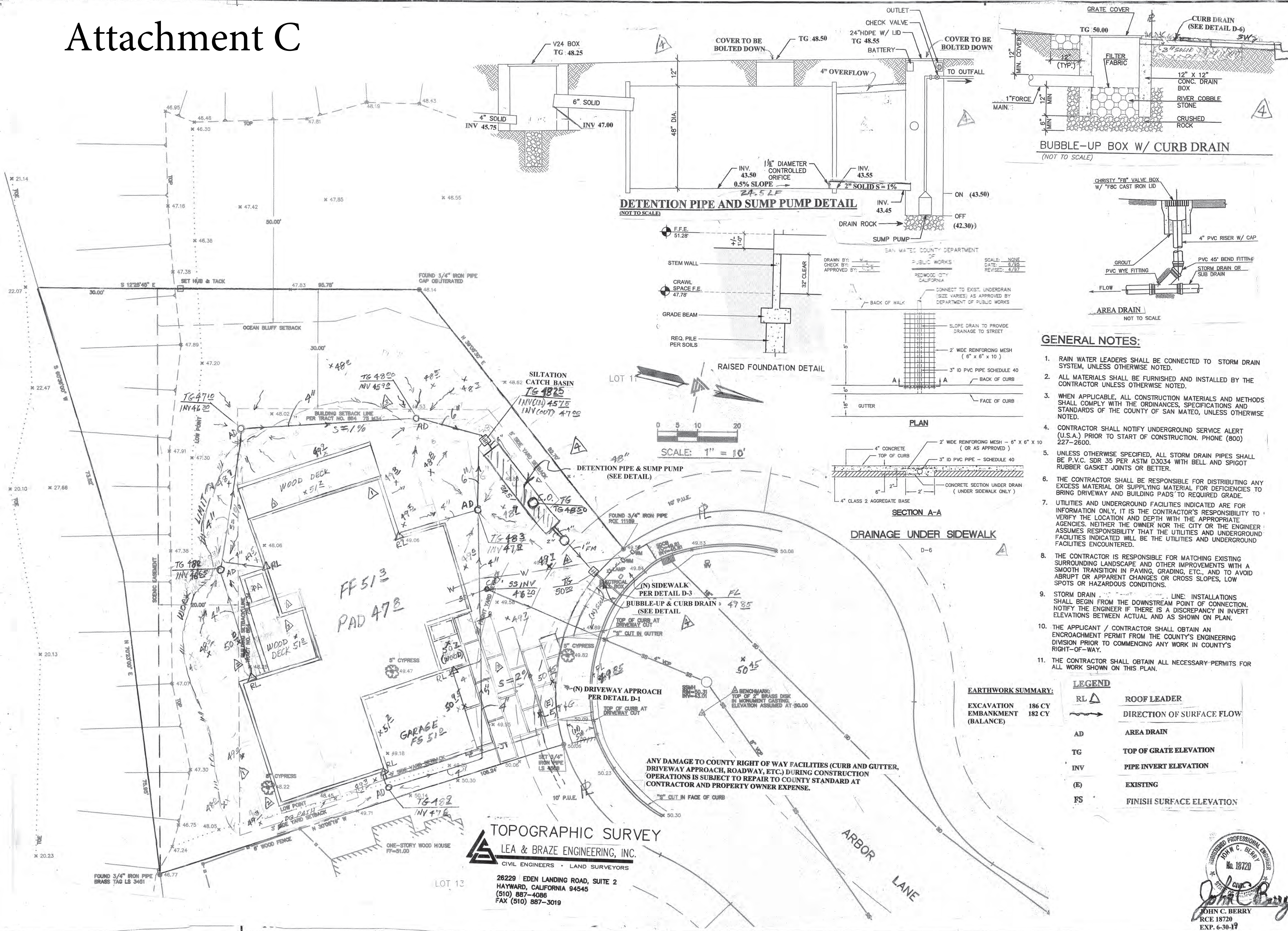
L-1.0



3 REVISIONS PER CDRC HEARING COMMENTS 07.24.17

LANDSCAPE PLAN

Attachment C



- GENERAL NOTES:**
- RAIN WATER LEADERS SHALL BE CONNECTED TO STORM DRAIN SYSTEM, UNLESS OTHERWISE NOTED.
 - ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
 - WHEN APPLICABLE, ALL CONSTRUCTION MATERIALS AND METHODS SHALL COMPLY WITH THE ORDINANCES, SPECIFICATIONS AND STANDARDS OF THE COUNTY OF SAN MATEO, UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) PRIOR TO START OF CONSTRUCTION. PHONE (800) 227-2600.
 - UNLESS OTHERWISE SPECIFIED, ALL STORM DRAIN PIPES SHALL BE P.V.C. SDR 35 PER ASTM D3034 WITH BELL AND SPIGOT RUBBER GASKET JOINTS OR BETTER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLYING MATERIAL FOR DEFICIENCIES TO BRING DRIVEWAY AND BUILDING PADS TO REQUIRED GRADE.
 - UTILITIES AND UNDERGROUND FACILITIES INDICATED ARE FOR INFORMATION ONLY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES. NEITHER THE OWNER NOR THE CITY OR THE ENGINEER ASSUMES RESPONSIBILITY THAT THE UTILITIES AND UNDERGROUND FACILITIES INDICATED WILL BE THE UTILITIES AND UNDERGROUND FACILITIES ENCOUNTERED.
 - THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, GRADING, ETC., AND TO AVOID ABRUPT OR APPARENT CHANGES OR CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.
 - STORM DRAIN SYSTEM LINE: INSTALLATIONS SHALL BEGIN FROM THE DOWNSTREAM POINT OF CONNECTION. NOTIFY THE ENGINEER IF THERE IS A DISCREPANCY IN INVERT ELEVATIONS BETWEEN ACTUAL AND AS SHOWN ON PLAN.
 - THE APPLICANT / CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE COUNTY'S ENGINEERING DIVISION PRIOR TO COMMENCING ANY WORK IN COUNTY'S RIGHT-OF-WAY.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ALL WORK SHOWN ON THIS PLAN.

EARTHWORK SUMMARY:

EXCAVATION	186 CY
EMBANKMENT	182 CY
(BALANCE)	

LEGEND:

RL	ROOF LEADER
→	DIRECTION OF SURFACE FLOW
AD	AREA DRAIN
TG	TOP OF GRATE ELEVATION
INV	PIPE INVERT ELEVATION
(E)	EXISTING
FS	FINISH SURFACE ELEVATION

TOPOGRAPHIC SURVEY
LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 26229 EDEN LANDING ROAD, SUITE 2
 HAYWARD, CALIFORNIA 94545
 (510) 887-4086
 FAX (510) 887-3019

REGISTERED PROFESSIONAL ENGINEER
 JOHN C. BERRY
 No. 18720
 EXP. 6-30-19

BERRY & ASSOCIATES
 1733 WOODSIDE ROAD, SUITE 335
 REDWOOD CITY, CA 94061
 PHONE: 650/368-0750 FAX: 650/368-1810

SITE GRADING, DRAINAGE & UTILITY PLAN
 199 ARBOR LANE
 MOSS BEACH, CA

DATE: 10/12/16
 DRAWING NO. 3010
 SHEET C-1
 1 OF 1

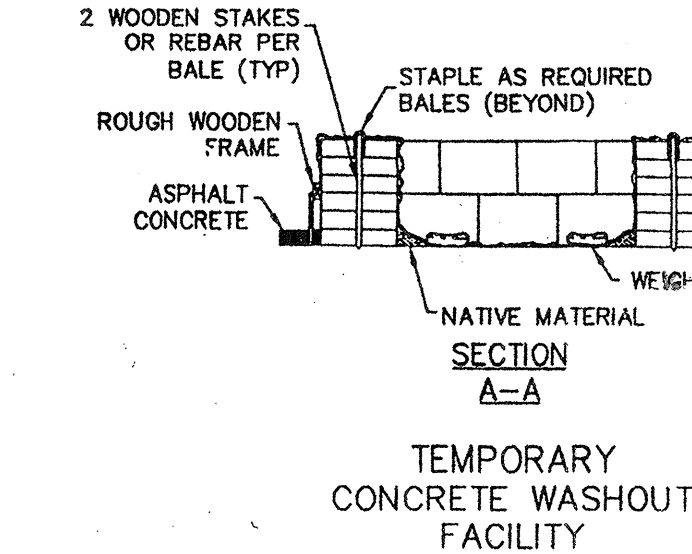
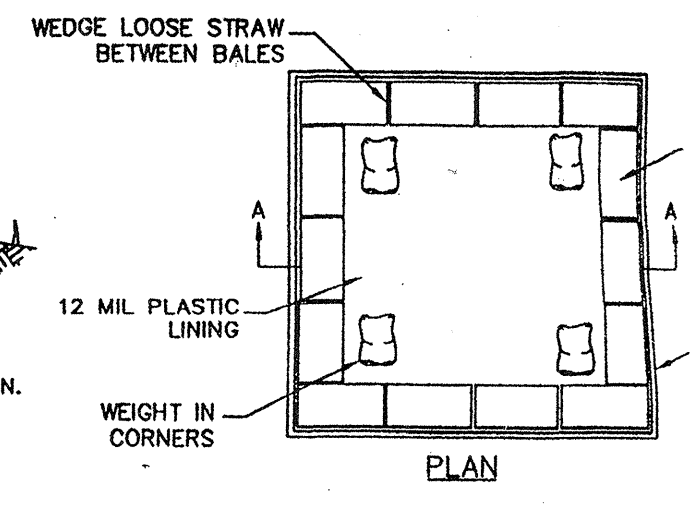
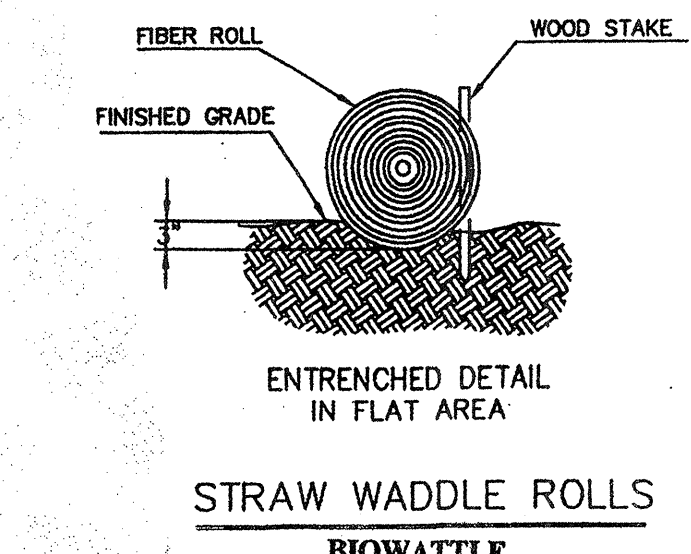
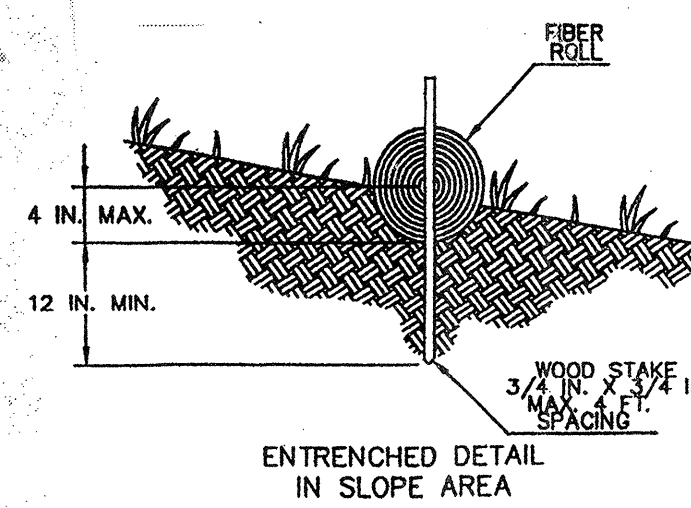
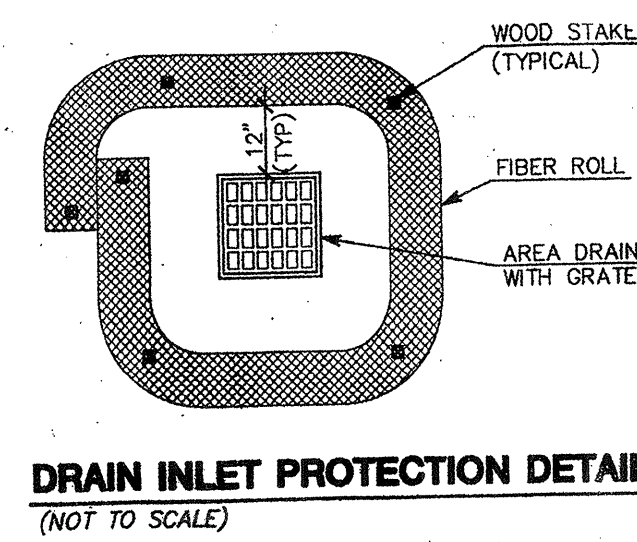
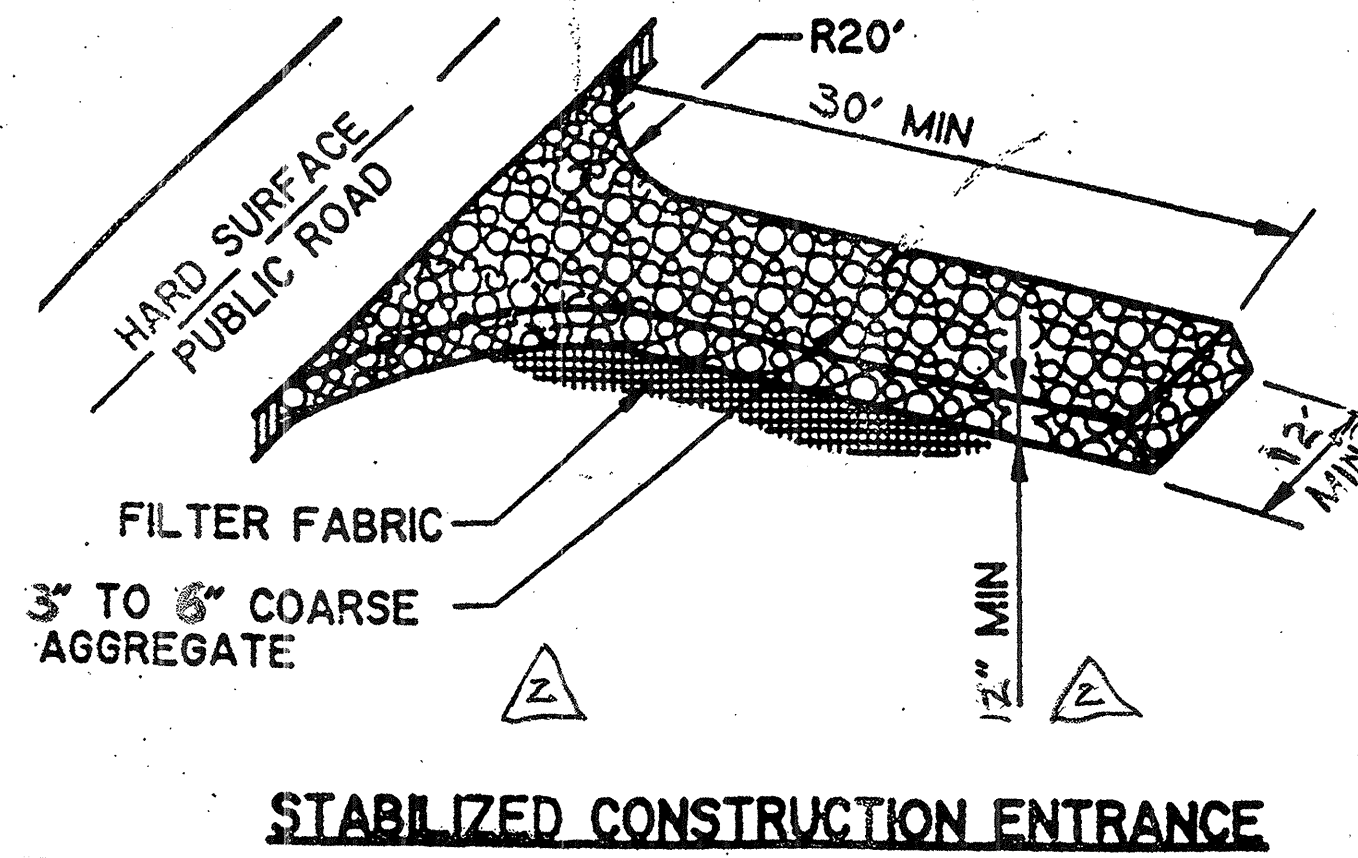
Attachment C

BEST MANAGEMENT PRACTICES (BMP's)
THE CONTRACTOR SHALL TO ADHERE TO
BEST MANAGEMENT PRACTICES (BMP's)
FOR STORM WATER POLLUTION PREVENTION
IN ALL CONSTRUCTION OPERATIONS.

EROSION CONTROL
 POINT OF CONTACT

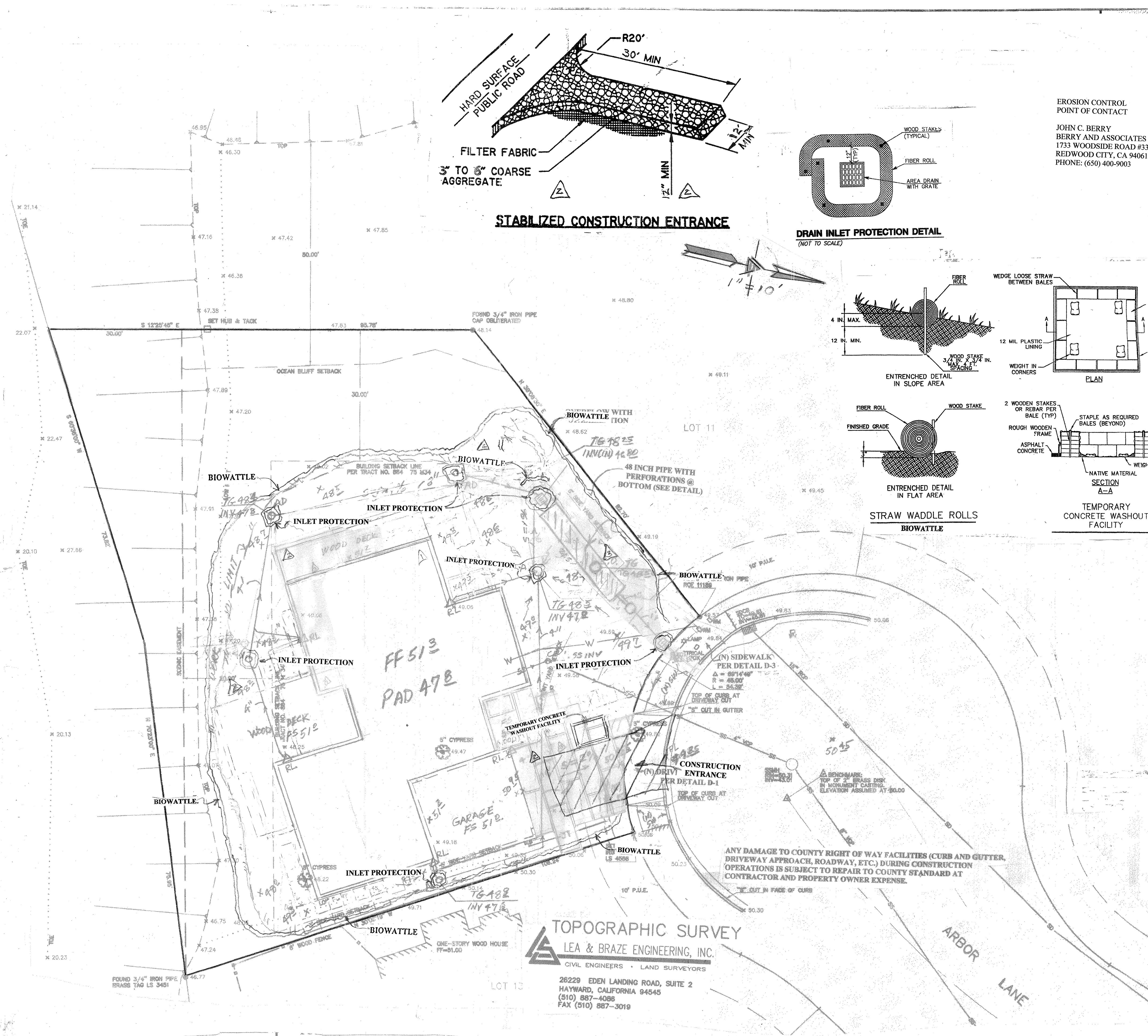
JOHN C. BERRY
 BERRY AND ASSOCIATES
 1733 WOODSIDE ROAD #335
 REDWOOD CITY, CA 94061
 PHONE: (650) 400-9003

Prior to issuance of the grading permit "hard card," the property owner shall submit a schedule of all grading operations to the Current Planning Section, subject to review and approval by the Current Planning Section. Along with the "hard card" application, the applicant shall submit a letter to the Current Planning Section, at least two (2) weeks prior to commencement of grading, stating the date when grading operations will begin, anticipated end date of grading operations, including dates of revegetation, and estimated date of establishment of newly planted vegetation. If the schedule of grading operations calls for the grading to be completed in one grading season, then the winterizing plan shall be considered a contingent plan to be implemented if work falls behind schedule.



GENERAL EROSION CONTROL NOTES:

1. THE INTENT OF THE EROSION CONTROL PLAN IS TO MINIMIZE ANY WATER QUALITY IMPACTS IN THE FORM OF SEDIMENT POLLUTION TO MAIN CREEK & TRIBUTARIES.
2. A CONSTRUCTION ENTRANCE WILL BE INSTALLED PRIOR TO OF GRADING. LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR TO FACILITATE GRADING OPERATIONS. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE CONSTRUCTION ENTRANCE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITION DEMAND, AND REPAIR OF ANY MEASURES USED TO SEDIMENTS.
3. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH THE USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
4. THE EROSION AND SEDIMENT CONTROL MEASURES WILL BE OPERABLE ALL YEAR LONG, UNTIL GRADING AND INSTALLATION OF STORM DRAINAGE AND PERMANENT EROSION AND SEDIMENT CONTROL FACILITIES WILL BE COMPLETED. NO GRADING WILL OCCUR BETWEEN OCTOBER 1 AND APRIL 15 UNLESS AUTHORIZED BY THE CITY REPRESENTATIVE.
5. DURING THE RAINY SEASON, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE WILL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LOADED RUNOFF ENTERS THE STORM DRAINAGE SYSTEM.
6. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL FIELD MANUAL OF THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, 4TH EDITION, DATED AUGUST 2002.
7. AREAS DESIGNATED FOR PARKING OF CONSTRUCTION VEHICLES SHALL USE AGGREGATE OVER GEO-TEXTILE FABRIC.
8. LOCATE PORTABLE TOILETS AWAY FROM SURFACE WATER LOCATIONS AND STORM DRAIN INLETS.
9. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
10. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL BARE AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
11. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
12. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
13. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
14. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
15. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
16. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
17. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE. CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
18. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
19. PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS IS REQUIRED ON WEEKENDS AND DURING RAIN EVENTS AS SHOWN ON PLAN.
20. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC., SHALL NOT BE ENLARGED OR RUN OVER.
21. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
22. DUST CONTROL IS REQUIRED YEAR-ROUND.
23. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
24. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
25. THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING OR GRUBBING IS STARTED.
26. CONSTRUCTION DURATION IS ANTICIPATED TO BE APPROXIMATELY 12 MONTHS. (BEGINNING APRIL 30, 2017)



TOPOGRAPHIC SURVEY
LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 26229 EDEN LANDING ROAD, SUITE 2
 HAYWARD, CALIFORNIA 94545
 (510) 887-4098
 FAX (510) 887-3019

KEY

	BIOWATTLES
	STABILIZED CONSTRUCTION ENTRANCE
	INLET PROTECTION

ASSIGNED PROFESSIONAL SEAL
 No. 18720
 JOHN C. BERRY
 RCE 18720
 EXP. 6-30-17

DATE: _____
BY: _____
DESCRIPTION: _____
REV: _____
DATE: _____
BY: _____
DESCRIPTION: _____
REV: _____
DATE: _____
BY: _____
DESCRIPTION: _____
REV: _____

BERRY & ASSOCIATES
 1733 WOODSIDE ROAD, SUITE 335
 REDWOOD CITY, CA 94061
 PHONE: 650/368-0750 FAX: 650/368-1810

EROSION CONTROL PLAN
 MOSS BEACH, CA

199 ARBOR LANE

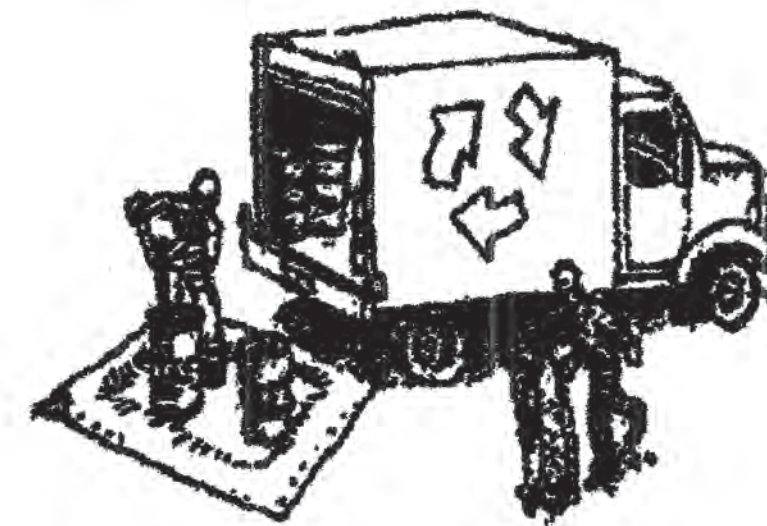
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 DESIGNED BY: _____
 CHECKED BY: _____
 SCALE: 1" = 10'
 DATE: 12/12/16
 DRAWING NO. 3070
 SHEET C-2



Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number. 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

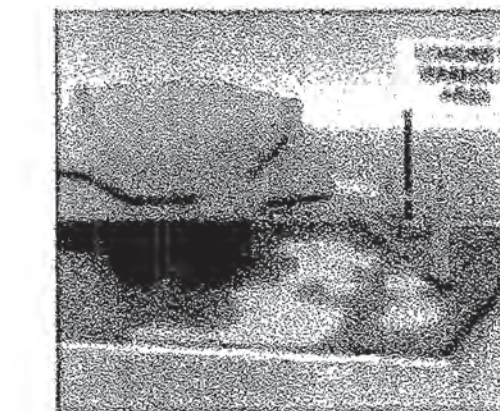


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



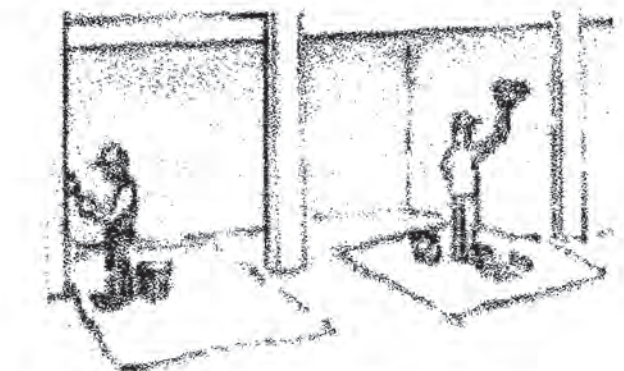
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

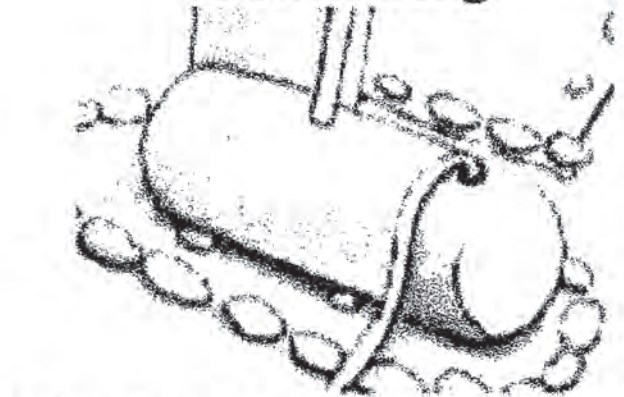
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!