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GENERAL NOTES:

EXISTING CONDITIONS:
1. VERIFY ALL EXISTING CONDITIONS ON SITE.
2. NOTIFY THE ARCHITECT IF EXISTING CONDITIONS DIFFER FROM THE DRAWINGS.
3. VERIFY ALL DIMENSIONS ON SITE.
4. DO NOT SCALE FROM THE DRAWINGS.
5. CONTRACTOR/OWNER RESPONSIBLE FOR INSTALLING A COMPLETE SYSTEM TO EXECUTE THE APPROVED DESIGN INTENT, AS SHOWN.

SCOPE OF THE WORK:
6. THE WORK SHALL CONFORM TO ALL CURRENT GOVERNING CODES AND ORDINANCES.
7. THE SCOPE OF WORK IS OUTLINED IN THE 'PROJECT DESCRIPTION' AND DEPICTED IN THE 'CONSTRUCTION DRAWINGS'.
8. THE DRAWINGS ARE THOROUGH; HOWEVER, ADDITIONAL ITEMS MAY BE REQUIRED TO INSTALL A COMPLETE SYSTEM, INCLUDING ADDITIONAL PERMITS AND/OR INSPECTIONS.
9. NOTIFY THE ARCHITECT IF EXISTING CONDITIONS PREVENT COMPLETION, OF ANY PORTION OF THE STATED SCOPE OF THE WORK AS DESCRIBED IN THE DRAWINGS.

CONSTRUCTION & DEMOLITION WASTE:
10. CONSTRUCTION WASTE MANAGEMENT PLAN NOT REQUIRED FOR THIS PROJECT; HOWEVER, CONTRACTOR/OWNER TO ENDEAVOR RECYCLING, REUSE, COMPOST, OR OTHER APPROVED METHOD TO DIVERT LANDFILL WASTE AS REQUIRED BY THE 2019 CA GREEN BLDG. STANDARDS CODE, SECTION 4.408.1 & SECTION 5.408.1.

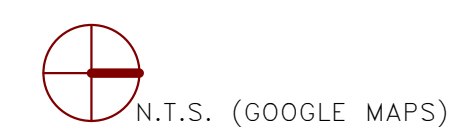
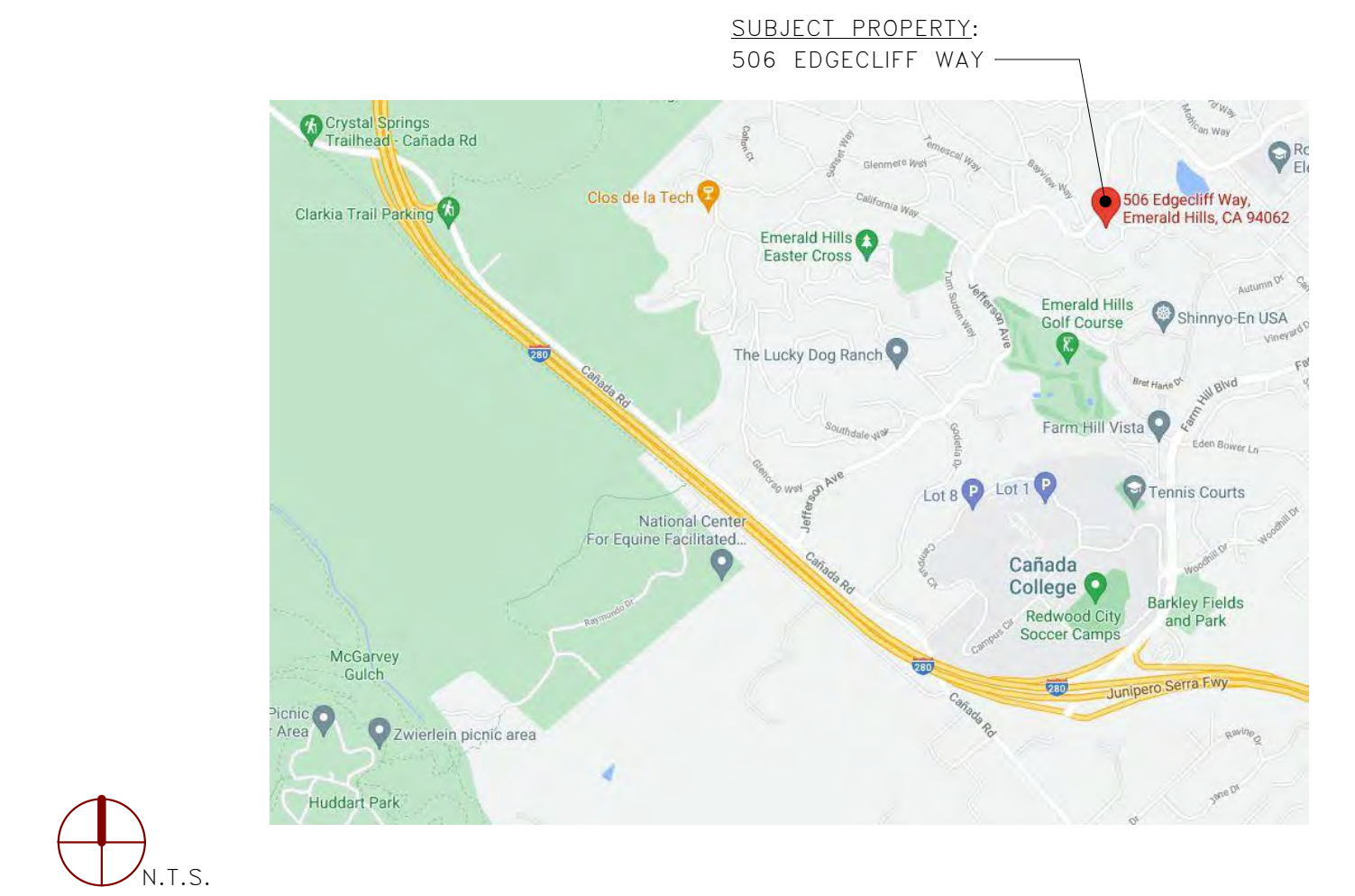
11. NOTES WITHIN THE CONSTRUCTION DRAWINGS MAY SUGGEST ITEMS TO BE RE-USED IN THE NEW WORK, AS APPROPRIATE.
12. CONTRACTOR/OWNER TO RECORD AND TRACK MEANS & METHODS OF HANDLING LANDFILL WASTE, AS REQUIRED.
13. CONTRACTOR/OWNER RESPONSIBLE FOR WASTE & RECYCLING PERMITS, AS REQUIRED.
14. CONTRACTOR/OWNER RESPONSIBLE FOR DAILY INTERIOR & EXTERIOR SITE CLEAN-UP.
15. NO VISIBLE CONSTRUCTION DEBRIS OR WASTE TO BE ALLOWED OUTSIDE ON-SITE AT THE END OF EACH WORKING DAY.

MATERIALS, FIXTURES, FINISHES & EQUIPMENT:
16. COORDINATE MATERIAL STORAGE WITH OWNER, IF ADDITIONAL SPACE IS REQUIRED ON SITE.
17. CONTRACTOR/OWNER TO PROVIDE LABOR & MATERIALS TO COMPLETE THE SCOPE OF THE WORK AS SHOWN IN THE DRAWINGS, U.O.N.
18. OWNER TO SPECIFY WHICH MATERIALS, FIXTURES, FINISHES, OR EQUIPMENT TO BE 'OWNER-PROVIDED' FOR THE PROJECT.
19. CONTRACTOR/OWNER TO PROVIDE LABOR TO INSTALL 'OWNER-PROVIDED' ITEMS.
20. CONTRACTOR/OWNER TO PROTECT AREAS ADJACENT TO THE SCOPE OF THE WORK.
21. CONTRACTOR/OWNER TO PATCH AND/OR REPAIR DAMAGE TO FINISHES ADJACENT TO THE SCOPE OF WORK.
22. CONTRACTOR/OWNER TO INTEGRATE SYSTEMS OR FINISHES THAT INCORPORATE THE SCOPE OF THE WORK.
23. CONTRACTOR/OWNER TO NOTIFY ARCHITECT IF THERE ARE DEFECTS UNCOVERED IN ADJACENT MATERIALS, FIXTURES, FINISHES, AND/OR EQUIPMENT DURING THE PROJECT.

TOLERANCE & CRAFTSMANSHIP:
24. CONTRACTOR/OWNER TO ADHERE TO PERMITTED DOCUMENTS & DRAWINGS AS APPROVED BY SAN MATEO COUNTY.
25. CONTRACTOR/OWNER TO EXECUTE & WARRANTY WORK AND THE WORK OF EACH SUB-TRADE, AS REQUIRED BY CALIFORNIA CONTRACT LAW.
26. ALL ITEMS TO BE STORED AND INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
27. ALL CLEAR DIMENSIONS SHALL BE EXACT WITHIN 1/8" TOLERANCE ALONG THE FULL HEIGHT AND FULL WIDTH OF THE WALLS.
28. 'ALIGN' MEANS TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
29. ALL HEIGHTS ARE DIMENSIONED FROM THE TOP OF THE FINISHED FLOOR (AFF); U.O.N.
30. RESOLUTION OF ALL QUESTIONS SHALL BE ADDRESSED TO THE ARCHITECT AND CONFIRMED IN WRITTEN FORM AND/OR EMAIL.

CALGREEN NOTES:
31. REFER SAN MATEO COUNTY & CALGREEN MANDATORY RESIDENTIAL SUSTAINABILITY MEASURES.

PROJECT LOCATION:



1 PROPOSED LIVING PORCH & BEDROOM SUITE ADDITION :

SCALE: N.T.S.

SPECIAL INSPECTION:

- SPECIAL INSPECTIONS REQUIRED:
[] REINFORCING STEEL PLACEMENT
[] HOLDOWN INSTALLATION
[] SHEAR WALL CONSTRUCTION & NAILING

HERS VERIFICATION:

- [] INDOOR AIR QUALITY VERIFICATION NOT REQ'D.
[] AIR FLOW IN HABITABLE ROOMS PLANNED w/ SPLIT-UNIT HEAT PUMP
[] REFER TO T24-1 FOR ADDITIONAL REQUIREMENTS

DESIGN REVIEW SHEETS:

- GENERAL:
G0.00 COVER SHEET
G0.01 GEN. NOTES, SYMBOLS & ABBREV'
G0.02 GEOTECH' ENGINEER REVIEW LETTER & REDWOOD CITY WATER SERVICE MAP BOUNDARY & TOPOGRAPHIC SURVEY
SU1
G1.02 BMPs - "BLUEPRINT FOR A CLEAN BAY"
G1.03 FIRE DEPT. REVIEW, FIRE FLOW & WUI MAP

ARCHITECTURAL / DESIGN REVIEW:

- DR.01 SITE COVERAGE CALC'S / EXISTING PLOT PLAN
DR.02 SITE COVERAGE CALC'S / NEW PLOT PLAN
DR.03 DESIGN REVIEW / DEMO PLOT PLAN
DR.04 DESIGN REVIEW / NEW PLOT PLAN
DR.05 ESCP & DEMO GRADING PLAN
DR.06 ESCP & POST-CONSTRUCTION GRADING PLAN
DR.11 DESIGN REVIEW / S.M.Co. BMP DETAILS
DR.12 DESIGN REVIEW / S.M.Co. BMP NOTES
DR.13 SAN MATEO COUNTY - DETAILS & NOTES
DR.14 SAN MATEO COUNTY - DRYWELL DETAILS
DR.20 DESIGN REVIEW / TREE PLAN & NOTES
DR.21 DESIGN REVIEW / LANDSCAPE PLAN & NOTES
A0.00 EXISTING / DEMO - BASEMENT FLOOR PLAN
A0.01 EXISTING / DEMO - 1st LEVEL FLOOR PLAN
A1.00 NEW - BASEMENT FLOOR PLAN
A1.01 NEW - 1st LEVEL FLOOR PLAN
A1.02 NEW - 2nd LEVEL FLOOR PLAN
A1.42 NEW - ROOF PLAN
DR.31 DESIGN REVIEW / EXISTING ELEVATIONS
DR.32 DESIGN REVIEW / EXISTING ELEVATIONS
DR.33 DESIGN REVIEW / NEW ELEVATIONS
DR.34 DESIGN REVIEW / NEW ELEVATIONS
DR.51 DESIGN REVIEW / BUILDING SECTIONS
DR.90 DESIGN REVIEW / EXTERIOR VISUALIZATIONS
DR.91 DESIGN REVIEW / MATERIAL BOARD

- A8.01 DETAILS
A8.02 OUTDOOR PATIO HEATER BY 'SOLAIRA'
A8.03 VENTED NATURAL LOG SET BY 'REAL FRYE'
A8.04 SITE-BUILT FIREBOX BY 'ISOKERN'

F.A.R. CALC'S:

Table with columns for FLOOR AREA RATIO (F.A.R.) CALC'S, (E)F.A.R., (N)F.A.R., and (N)F.A.R. with values and percentages.

Design Review Set

506 Edgecliff Way
Redwood City, CA 94062

PERMIT#:
BLD2021-02495 &...96

inf3

sensible | modern
architecture & design™

www.inf3.com

architect:
Bryan J. Hassemer, AIA

250 Lorraine Blvd.
San Leandro, CA 94577

bryan@inf3.com
530.448.0909

client:
Lucas & Jacqui Buchanan

506 Edgecliff Way
Redwood City, CA 94602

consultant:
CHG Engineering, Inc.

9425 Sage Creek Ct.
Elk Grove, CA 95624

209.450.9066

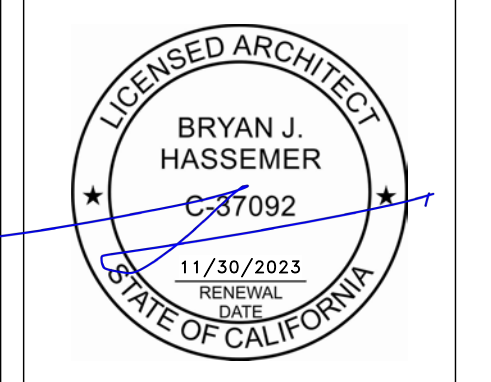
consultant:
GeoForensics, Inc.

303 Vintage Park Dr., #220
Foster City, CA 94404

650.349.3369

revisions:

Table with columns: No., Description, Date. Lists revisions from T24/ENERGY COORD to DESIGN REVIEW PACKAGE.



Bryan J. Hassemer, AIA
bryan@inf3.com
530.448.0909

506 EDGECLIFF
REDWOOD CITY, CA
LIVING PORCH
& BEDROOM SUITE

DESIGN REVIEW
COVER SHEET

inf3#: 20-015-01
date: 04/25/22
drawn: BJH
page#: 01 of 35

GO.00

scale:

CONTACT INFORMATION:

CLIENT/OWNERS: JACQUI & LUCAS BUCHANAN
ADDRESS: 506 EDGECLIFF WAY
REDWOOD CITY, CA 94062
PHONE:
EMAIL: lucasbuchanan@hotmail.com
jacquibuchanan@gmail.com

ARCHITECT: inf3 | in feet cubed
ADDRESS: 250 LORRAINE BOULEVARD
SAN LEANDRO, CA 94577

CONTACT: BRYAN J. HASSEMER, AIA
CA LIC.#: C-37092, RENEW: 11/30/2023

PHONE: (530) 448-0909
EMAIL: bryan@inf3.com
WEB: www.inf3.com

ENGINEER: CHG ENGINEERING, INC.
ADDRESS: 9425 SAGE CREEK CT.
ELK GROVE, CA 95624

CONTACT: ZHIGUO GONG, P.E.
CA LIC.#: 73373, EXPIRES: 12/31/2022

PHONE: (209) 450-9066
EMAIL: ziggy.gong@gmail.com
WEB: www.chgengineering.com

GENERAL CONTRACTOR: TBD
ADDRESS:

CA LIC.#:

CONTACT: TBD
PHONE:
EMAIL:
WEB:

PROJECT INFORMATION:

ADDRESS: 506 EDGECLIFF WAY
REDWOOD CITY, CA 94062
PARCEL #: 068-192-020
PARCEL AREA: 14,925 SF
PLANNING DIST: RESIDENTIAL HILLSIDE
NEIGHBORHOOD: EMERALD LAKE HILLS
YEAR BUILT: 1946

ZONING: RH/DR
R3 & U
OCCUPANCY: SINGLE-FAMILY RESIDENTIAL
CONST. TYPE: V-B
COVERAGE MAX.: 25% MAX. @ 3,731 SF
F.A.R. MAX.: 30% MAX. @ 4,478 SF

FLOORS: 2 LEVELS
EXISTING: 3 LEVELS
POST-RENO: SPLIT-LEVEL

BLDG. COVERAGE: 2,735 SF
WOOD DECKS: 864 SF

GROSS AREA: 2,887 SF
CONDITIONED: 4,388 SF
F.A.R.: .193(19.3%)

BED/BATH: 4BD/3BA
HEIGHT: ~19'-1"

PROJECT C&D WASTE:

SCOPE OF WORK PROPOSES GRADING & EXCAVATION TO EXISTING RESIDENTIAL PARCEL, ADJACENT TO AN EXISTING, ONE-STORY+BASEMENT, SINGLE-FAMILY RESIDENCE. ADDITION TO BE PLACED UPON PREVIOUSLY LANDSCAPED AREA w/ MINIMAL CONCRETE OR PAVEMENT DEBRIS TO REMOVE.
CONTRACTOR / OWNER TO ENDEAVOR RECYCLING, REUSE, COMPOST, OR OTHER APPROVED METHOD TO DIVERT WASTE FROM THE LOCAL LANDFILL. REFER TO 2019 CA GREEN BLDG. STANDARDS CODE, SECTION 4.408.1 & 5.408.1.
GREEN HALO TRACKING ID#: GH902-010-8376

FIRE SPRINKLERS:

- [] NONE PRESENT IN EXISTING RESIDENCE.
[] FIRE SPRINKLERS REQUIRED WITH SCOPE OF WORK: PROVIDE NFPA 13R SYSTEM, AS REQ'D.
[] FIRE SPRINKLER DESIGN TO BE SUBMITTED FOR DEFERRED APPROVAL BY WOODSIDE FIRE PROTECTION DISTRICT w/ SCOPE OF WORK.

APPLICABLE CODES:

- 2019 CALIFORNIA BUILDING CODE + SAN MATEO COUNTY AMENDMENTS
2019 CALIFORNIA RESIDENTIAL BUILDING CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA REFERENCED STANDARDS CODE

WATER SERVICE & FIRE SPRINKLER INSTALL:

IF A LARGER WATER SERVICE LATERAL IS REQUIRED TO SUPPLY FIRE SPRINKLERS, A LICENSED 'CLASS-A' CONTRACTOR SHALL APPLY FOR AN ENCROACHMENT PERMIT FROM REDWOOD CITY ENGINEERING DIVISION. THE APPLICANT SHALL PROVIDE ALL REQUIRED BONDS, DEPOSITS, FEES AND INSURANCE AS DESCRIBED IN THE ENCROACHMENT PERMIT APPLICATION.

COVERAGE CALC'S:

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS / NOTES:]

** REFER TO DETAILED EXISTING & POST-RENOVATION AREA BREAKDOWNS ON SHEET DR.01 & SHEET DR.02 **

POST-RENOVATION SITE/COVERAGE CALC'S:

Table with columns for PERMEABLE LANDSCAPE, PERMEABLE WOOD DECK, IMPERMEABLE HARDSCAPE, IMPERMEABLE BUILDING, and TOTAL SITE AREA with values and percentages.

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® & #	ACI	ACT	ADA	AFF	ALUM	ANOD	B.O.	B.O.F.	B.O.W.	BOT	BSMT	BYND	CHNL	CIP	CJ	CL	CLG	CLO	CLR	CMU	CO	COL	COMPR	CONC	CONT	CPT	CT	CTYD	CU.FT.	CU.YD.	CW	DBL	DEMO	DIA	DIM	DIMS	DN	DR	DWG	EA	ED	EF	EJ	EL	ELEC	ELEV	EPDM	EQ	EXIST	EXP JT	EXT	FACP	FACR	FAO	FD	FEC	FIXT	FL	FLR	FM	FND	FO	FS	GA	GALV	GFCI	GPM	GT	GWB	GYP	HB	HC	HI	HM	HP	HR	HRS	HV	HVAC	HW	IAW	ID	IE	ILO	IN	INSUL	INT	IRGWB	J-BOX	JST	LFT	LH	LL	LO	LVL	MAX	MECH	MEMBR	MFG	MIN	NO	MRCWB	MTL	NEC
AT AND POUND OR NUMBER	AMERICAN CONCRETE INSTITUTE	ACOUSTIC CEILING TILE	AREA DRAIN	AMERICANS W/ DISABILITIES ACT	ABOVE FINISHED FLOOR	ALUMINUM	ANODIZED	BOTTOM OF FOOTING	BOTTOM OF WALL	BOTTOM	BASEMENT	BEYOND	CHANNEL	CAST IN PLACE	CONTROL JOINT	CENTERLINE	CEILING	CLOSET	CLEAR	CONCRETE MASONRY UNIT	CLEANOUT	COLUMN	COMPRESSIBLE	CONCRETE	CONTINUOUS	CARPET	CERAMIC TILE	COURTYARD	CUBIC FEET	CUBIC YARD	COLD WATER	DOUBLE	DEMOLISH / DEMOLITION	DIAMETER	DIMENSION	DIMENSIONS	DOWN	DOOR	DRAWING	EACH	EDGE DISTANCE	EXHAUST FAN	EXPANSION JOINT	ELEVATION	ELECTRICAL	ELEVATOR OR ELEVATION	ETHYLENE PROPYLENE DIENE M-CLASS	EQUAL	EXISTING	EXPANSION JOINT	EXTERIOR	FIRE ALARM CONTROL PANEL	FIRE ALARM CONTROL ROOM	FINISH ALL OVER	FLOOR DRAIN OR FIRE DEPARTMENT	FIRE EXTINGUISHER CABINET	FIXTURE	FLOOR / FLOOR LEVEL	FLOOR	FILLED METAL	FOUNDATION	FACE OF	FIRE SPRINKLER	GAUGE	GALVANIZED	GROUND FAULT CIRCUIT INTERRUPTER	GALLONS PER MINUTE	GLAZED TILE	GYPSON WALL BOARD	GYPSON WALL BOARD	HOSE BIB	HOLLOW CORE	HIGH	HOLLOW METAL	HIGH POINT	HOOR	HOT ROLLED STEEL	HIGH VOLTAGE	HEATING, VENTILATING & AIR COND.	HOT WATER	IN ACCORDANCE WITH	INNER DIAMETER	INVERT ELEVATION	IN LIEU OF	INCH	INSULATED OR INSULATION	INTERIOR	IMPACT RESISTANT GYP BD	JUNCTION BOX	JOIST	LINEAR FEET	LEFT HAND	LIVE LOAD	LOW	LAMINATED VENEER LUMBER	MAXIMUM	MECHANICAL	MEMBRANE	MANUFACTURER	MINIMUM	MASONRY OPENING	MOISTURE-RESISTANT GYP BD	METAL	NATIONAL ELECTRICAL CODE

6 - ABBREVIATIONS :
SCALE: N.T.S.

NG	NIC	NIS	NO	NOM	NRC	OAL	OC	OD	OH	OPP	OZ	P.L.	PCC	PLUMB	PLYWD	PNT	PSF	PSI	PT	PTD	PVC	QTY	R-	R.O.W.	RBR	RC	RCP	RD	REBAR	REQD	RH	RM	RO	SAN	SD	SECT	SF	SIM	SPEC	SPK	SQ.FT.	SSD	SSTL	STC	STL	STRUCT	T.O.	T.O.B.	T.O.F.	T.O.J.	T.O.M.	T.O.W.	T/D	T&G	TELE	TME	TOC	TOS	TPD	TYP	U.O.N.	U/S	V.B.	V.I.F.	VA	VP	W/	W/O	WC	WD	WDW	WH	WIC	WL	WP	WS	WT
NATURAL GAS	NOT IN CONTRACT	NOT IN SCOPE	NUMBER	NOMINAL	NOISE REDUCTION COEFFICIENT	OVERALL LENGTH	ON CENTER	OUTSIDE DIAMETER	OVERHANG	OPPOSITE	OUNCE	PROPERTY LINE	PRE-CAST CONCRETE	PLUMBING	PLYWOOD	PAINT OR PAINTED	POUNDS PER SQUARE FOOT	POUNDS PER SQUARE INCH	PRESSURE TREATED	PAINTED	POLYVINYL CHLORIDE	QUANTITY	INSULATION VALUE	RIGHT OF WAY	RUBBER	REINFORCED CONCRETE	REFLECTED CEILING PLAN	ROOF DRAIN	REINFORCING STEEL BAR	REQUIRED	RIGHT HAND	ROOM	ROUGH OPENING	SANITARY	SMOKE DETECTOR	SECTION	SQUARE FEET	SIMILAR	SPECIFICATION	SPEAKER	SQUARE FEET	SEE STRUCTURAL DRAWINGS	STAINLESS STEEL	SOUND TRANSMISSION COEFFICIENT	STEEL	STRUCTURE OR STRUCTURAL	TOP OF	TOP OF BEAM	TOP OF FOOTING	TOP OF JOIST	TOP OF MASONRY	TOP OF WALL	TELEPHONE/DATA	TONGUE AND GROOVE	TELEPHONE	TO MATCH EXISTING	TOP OF CONCRETE	TOP OF STEEL	TOILET PAPER DISPENSER	TYPICAL	UNLESS OTHERWISE NOTED	UNDERSIDE	VAPOR BARRIER	VERIFY IN FIELD	VOLTAGE	VISION PANEL	WITH	WITHOUT	WATR CLOSET	WOOD	WINDOW	WATER HEATER	WALK-IN CLOSET	WATER LEVEL	WEATHERPROOF	WEATHERSTRIPPING	WEIGHT

- VENTILATION NOTES (CONTINUED):**
- BATHROOM FAN IS REQUIRED REGARDLESS OF THE PRESENCE OF A WINDOW. (CRC R303.3)
 - ALL EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. (CenC 150(k)2B)
- EMERGENCY ALARM, & FIRE PROTECTION NOTES:**
- REPLACED. REFER TO SECTION R314 & UL 217 FOR SMOKE ALARM REQUIREMENTS, TYP.
 - EXISTING CARBON MONOXIDE ALARM TO BE REPLACED. REFER TO SECTION CRC 315.1 & UL 2034 FOR CARBON MONOXIDE ALARM REQUIREMENTS, TYP.
- RECEPTACLE (OUTLET) NOTES:**
- RECEPTACLE SPACING PER 2019 CEC, ARTICLE 210, SECTION 210.50.
 - RECEPTACLE INSTALLATION PER 2019 CEC, ARTICLE 406.
 - RECEPTACLE SPACING ALONG WALLS @ 6"-0" HORIZONTAL DISTANCE, MAX. (CEC 210.52)
 - RECEPTACLE SPACING ABOVE COUNTERTOPS ALONG WALLS, 2"-0" HORIZ. DISTANCE, MAX. (CEC 210.52(C)1)

5 - GENERAL NOTES :
SCALE: N.T.S.

CALIFORNIA CIVIL CODE, ARTICLE 1101.4:

(A) ON / AFTER 01/01/2014, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO SINGLE-FAMILY RESIDENTIAL REAL PROPERTY, AS A CONDITION FOR ISSUANCE OF CERTIFICATE OF FINAL COMPLETION & OCCUPANCY / FINAL PERMIT APPROVAL BY LOCAL BUILDING DEPT., THE PERMIT APPLICANT SHALL **REPLACE ALL NON-COMPLIANT PLUMBING FIXTURES W/ WATER-CONSERVING PLUMBING FIXTURES & FITTINGS (CALGREEN 4.303.1)**

(B) ON / BEFORE 01/01/2017, NONCOMPLIANT PLUMBING FIXTURES IN ANY SINGLE-FAMILY RESIDENTIAL REAL PROPERTY **SHALL BE REPLACED** BY THE PROPERTY OWNER WITH WATER-CONSERVING PLUMBING FIXTURES.

(C) ON / AFTER 01/01/2017, A SELLER OR TRANSFEROR OF SINGLE-FAMILY RESIDENTIAL REAL PROPERTY **SHALL DISCLOSE IN WRITING** TO THE PROSPECTIVE PURCHASER OR TRANSFEREE THE REQUIREMENTS OF SUBDIVISION (B) AND WHETHER THE REAL PROPERTY INCLUDES ANY NONCOMPLIANT PLUMBING FIXTURES.

5 - CA CIVIL CODE :

SYMBOL:	DESCRIPTION:
---	(D) WALL TO BE REMOVED
---	(E) NON-RATED WALL
---	(N) NON-RATED WALL
---	(E) 1-HR RATED WALL
---	(E) 2-HR RATED WALL
⚡	WALL TYPE; SEE DETAILS
CR	ELECTRONIC ACCESS CONTROL / CARD READER
ER	ELECTRONIC DOOR-RELEASE BUTTON
FEC	FIRE EXTINGUISHER / EXTINGUISHER CABINET
[X]	(N) MILLWORK
101B	DOOR & WALL TO REMAIN DOOR TAG
101	DOOR TO BE REMOVED
[32" CLR]	RESIDENTIAL EGRESS: MIN. 32" CLEAR WIDTH, PER 2019 CRC, R311.2 NON-RESIDENTIAL: MINIMUM CLEAR WIDTH @ ALL DOORWAYS, PER 2019 CBC, 11B-404.2.3
(E) (N)	ALIGN FINISHES
CL	CENTER LINE
ROOM 101 150 SF	ROOM NAME ROOM # ROOM AREA
ⓘ A101	DETAIL CALL-OUT & SHEET #
[Grey Hatch]	NOT IN PROJECT SCOPE OF WORK (LT. GREY HATCH)
---	REVISION, AS NOTED

4 - SYMBOLS LEGEND :
SCALE: N.T.S.

- FOOTING & STEM WALL FOUNDATION NOTES:**
- SEE STRUCTURAL DRAWINGS (SSD) FOR FOUNDATION, FLOOR FRAMING, & ROOF FRAMING DESIGN & CALCULATIONS.
 - FOOTINGS (CRC, R403) & BASE (CRC, R403.1)
 - PER SECTION R403.1.2, EXTERIOR WALLS OF BUILDINGS LOCATED IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2 SHALL BE SUPPORTED BY CONTINUOUS SOLID OR FULLY GROUTED MASONRY OR CONCRETE FOOTINGS. OTHER FOOTING MATERIALS OR SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.
 - CONCRETE FOOTINGS LOCATED IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2, AS ESTABLISHED IN TABLE R301.2(1), SHALL HAVE MINIMUM REINFORCEMENT IN ACCORDANCE WITH SECTION R403.1.3 AND FIGURE R403.1.3. REINFORCEMENT SHALL BE INSTALLED WITH SUPPORT AND COVER IN ACCORDANCE WITH SECTION R403.1.3.5.
 - REINFORCEMENT REQUIREMENTS (CRC, R403.1.3.5)
 - SILL ATTACHMENT (CRC, R403.1.6)
 - FOUNDATION & RETAINING WALLS (CRC, R404)
 - SILL REQUIREMENTS (CRC, R404.3)
 - UNDER-FLOOR VENTILATION & ACCESS REQUIREMENTS (CRC, R408)
 - VAPOR BARRIER REQUIREMENTS (CRC, R506.2.3)
- UNDER-FLOOR SPACE NOTES:**
- UNDER-FLOOR SPACE BETWEEN B.O. FLOOR JOISTS AND EARTH UNDER ANY BUILDING (EXCEPT SPACE OCCUPIED BY A BASEMENT) SHALL HAVE VENTILATION OPENINGS THROUGH FOUNDATION WALLS OR EXTERIOR WALLS. MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN **1 SQUARE FOOT FOR EACH 150 SQUARE FEET** OF UNDER-FLOOR AREA, UNLESS GROUND SURFACE IS COVERED BY A CLASS 1 VAPOR RETARDER MATERIAL (SECTION R408.1)
 - ONE VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF BUILDING. VENTILATION OPENINGS SHALL BE COVERED FOR HEIGHT AND WIDTH USING ANY SCREENING MATERIAL LISTED, PROVIDED THAT THE LEAST DIMENSION OF SCREENED MATERIAL DOES NOT EXCEED 1/4 INCH. (SECTION R408.2)
 - ACCESS TO ALL UNDER-FLOOR AREAS SHALL BE PROVIDED EITHER THROUGH THE **FLOOR** (18"x24" MIN. OPENING) OR A **PERIMETER WALL** (16"x24" MIN. OPENING). THROUGH-WALL ACCESS SHALL NOT BE LOCATED UNDER A DOOR TO THE RESIDENCE. (SECTION R408.4)
- EMERGENCY ESCAPE & RESCUE OPENING REQ'S:**
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. REFER TO CRC SECTION R310.
 - WHERE DWELLING **ADDITIONS** OCCUR THAT CONTAIN SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE PROVIDED IN EACH NEW SLEEPING ROOM. (CRC R310.5)
 - NET CLEAR HEIGHT OPENING NOT LESS THAN 24" & NET CLEAR WIDTH NOT LESS THAN 20". (CRC 310.2.1)
 - GRADE FLOOR OR BELOW GRADE OPENINGS** SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.0 SQUARE FEET, OTHERWISE, OPENINGS SHALL HAVE 5.7 SF AREA.
 - BOTTOM OF CLEAR WINDOW SILL OPENING NOT GREATER THAN 44 INCHES, MEASURED ABOVE FLOOR; WHERE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3.
 - WHERE SECURITY BARS (BURGLAR BARS) ARE INSTALLED ON EMERGENCY EGRESS AND RESCUE WINDOWS OR DOORS, **ON OR AFTER JULY 1, 2006**, SUCH DEVICES SHALL COMPLY W/ CALIFORNIA BUILDING STANDARDS CODE, PART 12, CHAPTER 12-3 & OTHER APPLICABLE PROVISIONS. (CRC 310.4)
 - DWELLINGS TO BE PROVIDED WITH A MEANS OF EGRESS AND PROVIDE CONTINUOUS, UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF DWELLING TO REQUIRED EGRESS DOOR **WITHOUT** REQUIRING TRAVEL THROUGH A GARAGE. EGRESS DOOR (32" CLEAR WIDTH, MIN.) SHALL OPEN DIRECTLY TO A PUBLIC WAY, YARD OR COURT THAT OPENS TO A PUBLIC WAY. (CRC R311.1)

3 - GENERAL NOTES :
SCALE: N.T.S.

- RECEPTACLE (OUTLET) NOTES: (CONTINUED)**
- ALL 125V, 15A & 20A RECEPTACLE SHALL BE LISTED TAMPER RESISTANT. (CEC 406.12)
 - AT LEAST ONE (1) OUTLET INSTALLED WITHIN 3'-0" OF BASIN. AT LEAST ONE (1) 20A BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM OUTLETS. BATHROOM OUTLETS TO HAVE GFCI PROTECTION. (CEC 210.52(D), 210.11(C)(3), & 210.8(A)(1))
- LIGHTING & SWITCHING NOTES:**
- SWITCHES PER 2019 CEC, ARTICLE 404.
 - ALL INSTALLED LIGHTING SHALL BE HIGH EFFICACY & CONTAIN BULBS THAT ARE LABELED AS JAB-2016. SCREW-BASE BULBS ARE **NOT PERMITTED** IN RECESSED LIGHTING. (CenC 150.0(k))
 - RECESSED LIGHT FIXTURES IN INSULATED CEILINGS SHALL BE APPROVED, LISTED, ZERO-CLEARANCE INSULATION COVER (IC) TYPE, CERTIFIED AIR TIGHT AT/AND SEALED w/ A GASKET OR CAULKED BETWEEN HOUSING & CEILING. (CenC 150.1(k)1C)
 - IN BATHROOMS AT LEAST ONE (1) LIGHT FIXTURE SHALL BE CONTROLLED BY A VACANCY SENSOR SWITCH. ALL OTHER LIGHTING SHALL BE CONTROLLED BY A VACANCY SENSOR OR DIMMER. (CenC 150.0(k))
- PLUMBING FIXTURE & FITTING NOTES:**
- ALL PLUMBING FIXTURES PER 2019 CPC SHALL BE WATER-CONSERVING TYPE FIXTURES. INSTALLED TO MEET BACKFLOW PREVENTION REQUIREMENTS. (CPC 402.9 & CALGREEN 4.303.1)
 - LAVATORY CONSTRUCTION & INSTALLATION (CPC 407.0) w/ FAUCETS, MIN. FLOW > 0.8 GPM @ 20 psi & MAX. FLOW < 1.2 GPM @ 60 psi (CALGREEN 4.303.1.4.1)
 - SHOWER CONSTRUCTION & INSTALLATION (CPC 408.0) w/ SINGLE SHOWERHEADS, MAX. FLOW < 1.8 GPM @ 80 psi (CALGREEN 4.303.1.3)
 - SHOWER SLOPE TO DRAIN @ MIN. 1/4" & MAX. 1/2" PER FOOT. (CPC 408.5)
 - WATER CLOSET CONSTRUCTION & INSTALLATION (CPC 411.0) w/ MAX. 1.28 GALLONS PER FLUSH (CALGREEN 4.303.1.1)
 - DISHWASHING MACHINES SHALL COMPLY WITH 'UL 749' (CPC 414.0)
 - FOOD WASTE DISPOSERS SHALL COMPLY WITH 'UL 430' & 'ASSE 1008' (CPC 419.0)
 - KITCHEN FAUCETS SHALL HAVE A MAX. FLOW < 1.8 GPM @ 60 psi - KITCHEN FAUCET MAY TEMPORARILY INCREASE FLOW UP TO 2.2 GPM @ 60 psi, AND MUST DEFAULT TO MAX. FLOW < 1.8 GPM @ 60 psi (CALGREEN 4.303.1.4.4)
- FINISH NOTES:**
- GYPSON BOARD, 1/2" THICK, MINIMUM. INSTALL WATER-RESISTANT GYPSON BOARD SUBSTRATE WHERE ADJACENT TO PLUMBING FIXTURES. (CRC TABLE 702.3.5)
 - 5/8" THICK, TYPE-X REQUIRED AT GARAGE CEILING IF BENEATH HABITAL ROOMS. (CRC TABLE 702.3.5)
 - GYPSON BOARD AS BASE OR BACKER FOR ADHESIVE APPLICATION OF CERAMIC TILE OR OTHER REQUIRED NON-ABSORBENT FINISH MATERIAL SHALL CONFORM TO ASTM C1396, C1178 OR C1278. (CRC R702.3.7)
 - BACKER BOARD MATERIALS PER TABLE R702.4.2
 - OTHER WALL FINISHES PER R702.5 WHERE PORTION OF EXISTING EXTERIOR WALL MODIFIED, INSTALL REQUIRED INSUL. @ R=13, MINIMUM, PER CenC 150(c)1.
 - FLAME SPREAD & SMOKE-DEVELOPED PER CRC R302.10
 - PROVIDE SAFETY GLAZING @ SHOWER ENCLOSURE WHERE BOTTOM EXPOSED GLAZING EDGE LESS THAN 60" ABOVE STANDING SURFACE AND DRAIN INLET. (CRC R308.4.5)
- FLOORS & LANDINGS @ EXTERIOR DOORS:**
- THERE SHALL BE LANDING OR FLOOR EA. SIDE, EA. EXTERIOR DOOR. LANDING WIDTH NOT LESS THAN DOOR SERVED. LANDING SHALL EXTEND NOT LESS THAN 36", MEASURED IN THE DIRECTION OF TRAVEL. SLOPE AT EXTERIOR LANDINGS TO NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT). (CRC R311.3)
 - LANDINGS OR FINISHED FLOORS AT REQ'D EGRESS DOOR NOT MORE THAN 1.5" LOWER THAN T.O. THRESHOLD - EXCEPTION: LANDING OR FLOOR ON EXTERIOR SIDE SHALL BE NOT MORE THAN 7-3/4" BELOW T.O. THRESHOLD PROVIDED DOOR DOES NOT SWING OVER LANDING OR FLOOR.

2 - GENERAL NOTES :
SCALE: N.T.S.

- GENERAL NOTES:**
- REFER TO THE 2019 CALIFORNIA BUILDING STANDARDS CODE FOR **SPECIFIC SECTIONS & CODE EXCERPTS.**
 - SCOPE OF WORK MAY REQUIRE REFERENCE TO CODE-RELATED EXCEPT(S) NOT LISTED HEREIN. GENERAL CONTRACTOR RESPONSIBLE FOR COMPLETE SYSTEM IN ACCORDANCE W/ ALL APPLICABLE FEDERAL LAWS, STATE CODES & LOCAL JURISDICTION REQUIREMENTS.
- FRAMING NOTES, SEE STRUCTURAL DRAWINGS (SSD):**
- WOOD GIRDSERS & FLOOR JOISTS PER TABLE R502.3.1(1) & R502.3.1(2) - LAP JOIST 3", MIN. OR SPLICE PER SECTION R502.6.1
 - WOOD FLOOR SHEATHING PER TABLE R503.2.1.1(1)
 - WOOD FLOOR BLOCKING PER SECTION R502.7 & BRIDGING PER SECTION R502.7.1
 - WOOD FLOOR JOIST DRILLING & NOTCHING LIMITATIONS (CRC, R502.8)
 - WOOD WALL FRAMING (CRC, R602)
 - NAILING & FASTENING (TABLE R602.3(1))
 - CORNER & PARTITION POSTS (FIG. R602.3(2))
 - STEEL STRAP @ CUT TOP PLATE, (FIG. R602.6.1)
 - NOTCHING & BORED HOLE LIMITATIONS FOR **EXTERIOR** WALLS & BEARING WALLS, PER FIGURE 602.6(1)
 - NOTCHING & BORED HOLE LIMITATIONS FOR **INTERIOR** NONBEARING WALLS, PER FIGURE 602.6(2)
 - GIRDER SPANS & HEADER SPANS FOR EXTERIOR WALLS PER TABLE R602.7(1) RE: SCOPE OF WORK:
 - SUPPORTS ROOF & CEILING ONLY
 - GROUND SNOW LOAD < 30 psf
 - BUILDING WIDTH = **24'-0"**
 - SINGLE-MEMBER HEADERS, WHERE SHOWN, INSTALLED PER SECTION R602.7.1
 - MIN. FULL-HEIGHT STUDS @ EACH END OF HEADER IN EXTERIOR WALL PER SECTION R602.7.2 & TABLE R602.7.5
 - NONBEARING WALL HEADERS (CRC, R602.7.4)
 - FIRE BLOCKING (CRC, R602.8)
 - CRIPPLE WALLS (CRC, R602.9)
 - REPLACEMENT GLAZING (CRC, R308)
- VENTILATION NOTES:**
- EACH BATHROOM CONTAINING A BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED. FANS MUST HAVE A HUMIDITY CONTROL SENSOR (HUMIDISTAT). THE HUMIDITY CONTROL SENSOR MAY BE A SEPARATE COMPONENT OR INTEGRAL TO THE EXHAUST FAN. (CMC 402.5, CALGREEN 4.506)
 - EXHAUST FAN MUST VENT TO THE OUTDOORS IN AN APPROD DUCT. TERMINATE THE OUTLET A MINIMUM OF 3'-0" FROM AN OPENING OR PROPERTY LINE. (CMC 504.5)
 - AIR EXHAUST OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS OR GRILLES HAVING AN OPENING SIZE OF NOT LESS THAN 1/4" AND A MAXIMUM OPENING SIZE OF 1/2", IN ANY DIMENSION. PROTECT OPENINGS AGAINST LOCAL WEATHER CONDITIONS. (CRC R303.6)

1 - GENERAL NOTES :

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]



architect:

Bryan J. Hassemer, AIA
250 Lorraine Blvd.
San Leandro, CA 94577
bryan@inf3.com
530.448.0909

client:

Lucas & Jacqui Buchanan
506 Edgecliff Way
Redwood City, CA 94602

consultant:

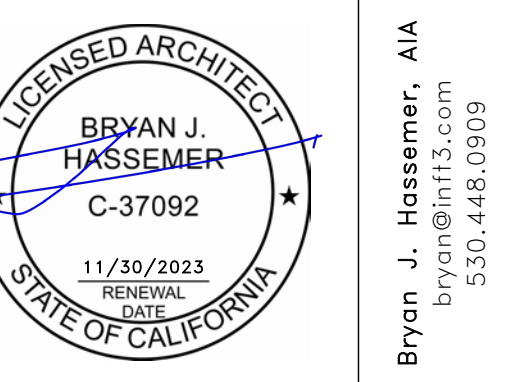
CHG Engineering, Inc.
9425 Sage Creek Ct.
Elk Grove, CA 95624
209.450.9066

consultant:

GeoForensics, Inc.
303 Vintage Park Dr., #220
Foster City, CA 94404
650.349.3369

revisions:

No.	Description	Date
	DRAFT / BID SET	07/02/21
	FOR PERMIT	10/08/21
4	DESIGN REVIEW PACKAGE	04/25/22



506 EDGECLIFF REDWOOD CITY, CA
LIVING PORCH & BEDROOM SUITE

GENERAL NOTES

inf3#:	20-015-01
date:	04/25/22
drawn:	BJH
page#:	02 of 35
scale:	As indicated

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RECORDING REQUESTED BY:
Fidelity National Title Company
Escrow No: 10-5017399-LK
Locate No: CANT0941-0941-0008-0005017399
Title No: 10-5017399

When Recorded Mail Document and Tax Statement To:
Mr. and Mrs. Lucas Buchanan
506 Edgecliff Way
Redwood City, CA 94062

2010-052032
FIDELITY NATIONAL TITLE
08:00am 05/13/10 DE Fee: 24.00
Count of pages 4 non-dis
Recorded in Official Records
County of San Mateo
Assessor-County Clerk-Recorder
Warren Slocum

Escrow No.: 10-5017399-LK
Locate No.: CANT0941-0941-0008-0005017399
Title No.: 10-5017399

EXHIBIT "A"

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA, COUNTY OF SAN MATEO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:
Lots 3 and 4 in Block 301 as shown on that certain map entitled, "HIGHLANDS OF THE EMERALD LAKE SUBDIVISION THREE, SAN MATEO COUNTY, CALIFORNIA", filed in the office of the County Recorder of San Mateo, State of California on November 15, 1926, in Book 14 of Maps at pages 47, 48, 49 and 50.

JPN 068-019-192-02
APN: 068-192-020

APN: 068-192-020

GRANT DEED
(COMMUNITY PROPERTY WITH RIGHT OF SURVIVORSHIP)

THE UNDERSIGNED GRANTOR(S) DECLARE(S):
DOCUMENTARY TRANSFER TAX IS \$ 17,950.00 (To be shown for R & T Code 11932)
 computed on full value of property conveyed, or
 computed on full value less value of liens or encumbrances remaining at time of sale or transfer,
 Unincorporated Area: City of Redwood City and
 Check when grantees are expressly declaring that the transfer of the property is to be community property with right of survivorship.

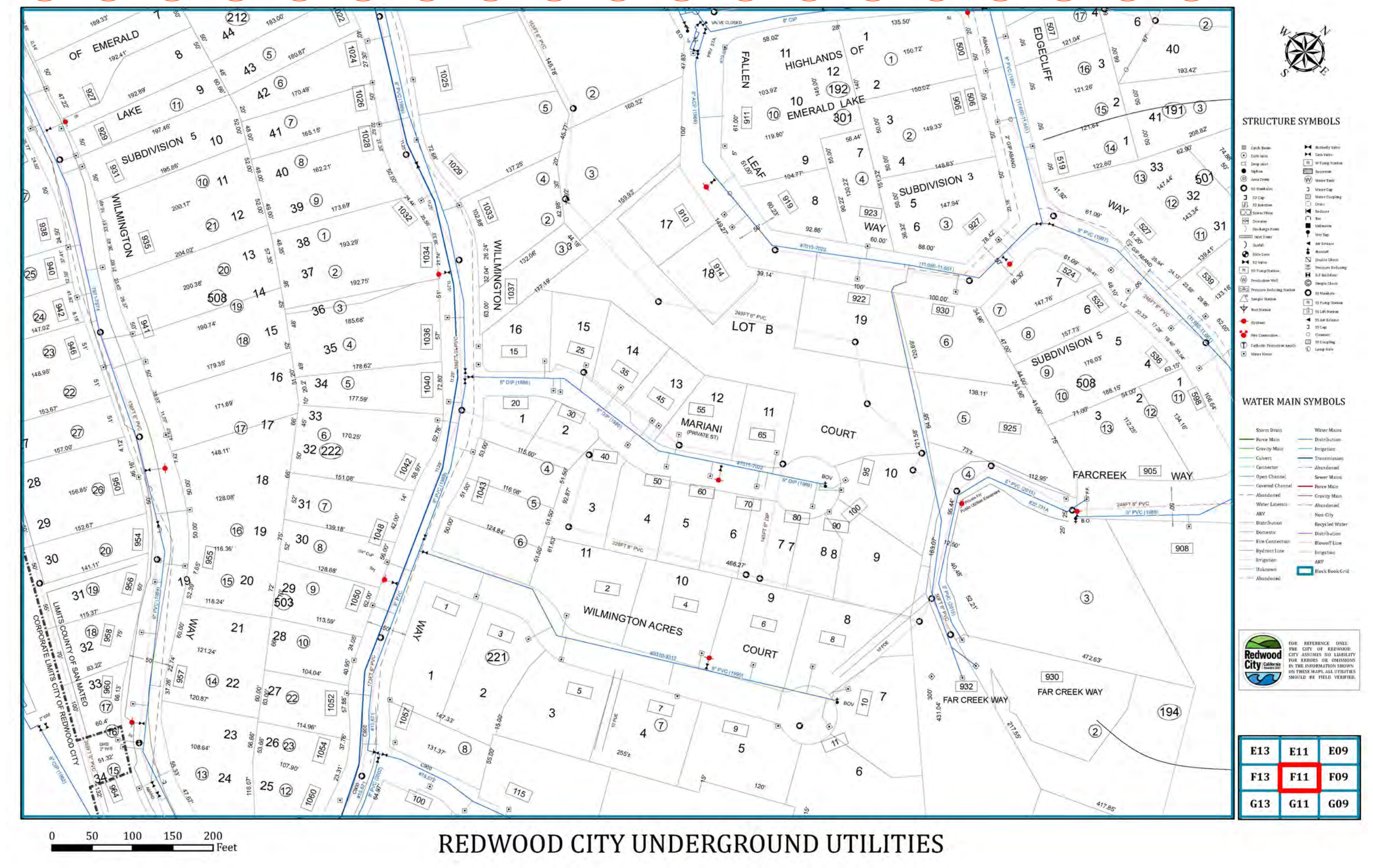
FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
William D.A. Stephens and Suzanne S. Stephens, his wife as joint tenants
herby GRANT(s) to **Lucas Buchanan and Jacqueline Buchanan, husband and wife as community property with right of survivorship**

the following described real property in the City of **Redwood City**, County of **San Mateo**, State of **California**:
SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

Grantor:
William D.A. Stephens Date: 5/10/10
Suzanne S. Stephens Date: 5/10/10

(grants)(06-09) GRANT DEED - Community Property WROS Page 1 of 2

3 GRANT DEED - 506 EDGECLIFF WAY (APN 068-192-020)
12" = 1'-0"



2 REDWOOD CITY - WATER SERVICE MAP
12" = 1'-0"

GEOFORENSICS INC. Consulting Soil Engineering

303 Vintage Park Dr., Suite 220, Foster City, CA 94404 Phone: (650) 349-3369 Fax: (650) 571-1878

File: 220244
November 15, 2021

Mr. and Mrs. Buchanan
506 Edgecliff Way
Redwood City, CA 94062

Subject: **Buchanan Property**
506 Edgecliff Way
Redwood City, California
REVIEW OF STRUCTURAL PLANS

Mr. and Mrs. Buchanan:

This letter has been prepared to document that we have reviewed the structural plans prepared for the construction of the proposed new addition for the existing residence.

Plans Reviewed

The structural plans were prepared by CHG Engineering, and are dated 6/23/21. These plans are identified as sheets S1.0 through S3.3.

Plan Review Comments

We have reviewed the above-listed plans for their conformance with the geotechnical recommendations and parameters provided in our soils report (dated 12/18/20), and good geotechnical engineering practice. Based upon our review, we have the following comments/corrections:

Sheet S3.0 - Detail 10 shows the proposed new office floor slab adjacent to the interior strip footing. It would be prudent to either include a perimeter subdrain along the crawl space side of the footing, or an even better alternative would be to provide a perforated collection pipe system under the floor slab to preclude any seepage up through the floor slab in the future.

In general, we find that these plans appear to have been prepared in substantial conformance with the intents of the recommendations within our report and good geotechnical engineering practice. The above comment is considered to be a suggestion only, and does not require any changes to be made to the plans. *Therefore, these plans may be submitted for permit without further review by our office.*

It is the owner's and addressee's responsibility to make sure that the comment above is made known to the appropriate parties, likely including the contractor and city.

File: 220244
November 15, 2021

Should you have any questions, please contact the undersigned.

Respectfully Submitted,
GeoForensics, Inc.

Daniel F Dyckman, PE, GE
Senior Geotechnical Engineer, GE 2145

Email cc: 1 to addressee; CHG; inf3



1 GEOTECH - REVIEW LETTER
12" = 1'-0"

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]



www.inf3.com

architect:

Bryan J. Hassemer, AIA

250 Lorraine Blvd.
San Leandro, CA 94577

bryan@inf3.com
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client:

Lucas & Jacqui Buchanan

506 Edgecliff Way
Redwood City, CA 94602

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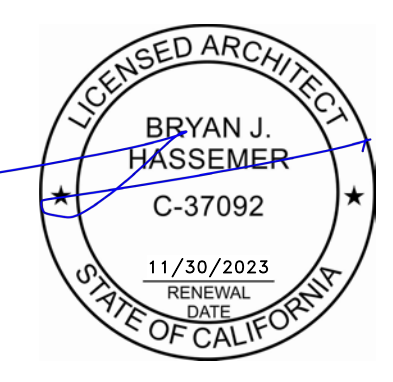
GeoForensics, Inc.

303 Vintage Park Dr., #220
Foster City, CA 94404

650.349.3369

revisions:

No.	Description	Date
2	FOR PERMIT_rev2	11/10/21
4	DESIGN REVIEW PACKAGE	04/25/22



Bryan J. Hassemer, AIA
bryan@inf3.com
530.448.0909

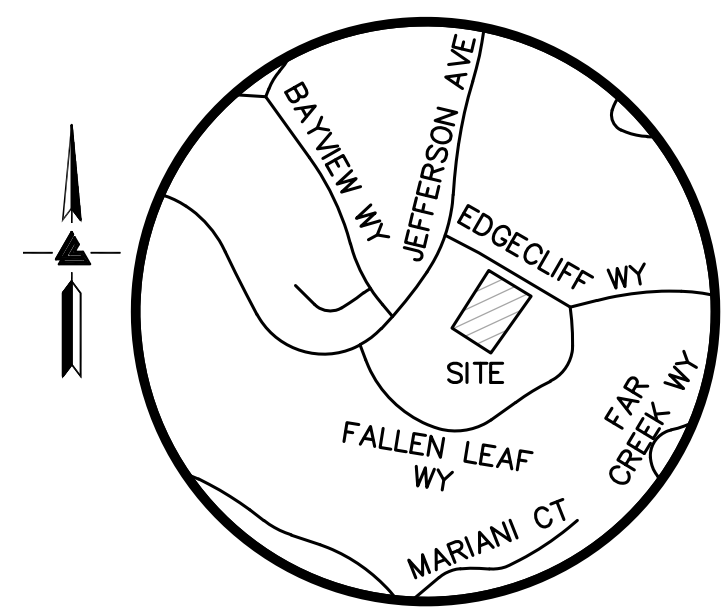
**506 EDGECLIFF
REDWOOD CITY, CA**
LIVING PORCH
& BEDROOM SUITE

**GEOTECH' REVIEW LETTER
& WATER SERVICE MAP**

inf3#: 20-015-01
date: 04/25/22
drawn: BJH
page#: 03 of 35

GO.02

scale: 12" = 1'-0"



VICINITY MAP
NO SCALE

LANDS OF REDWOOD PARENTS NURSERY SCHOOL

NOTES

- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
- BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.
- FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
- THE AREA OF THE SURVEYED LOT IS 14,925± SQUARE FEET / 0.34± ACRES

EASEMENT NOTE

NO EASEMENTS ARE LISTED IN TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE COMPANY, ORDER NO. 10-5017599, DATED AUGUST 11, 2010.

FEMA FLOOD NOTE

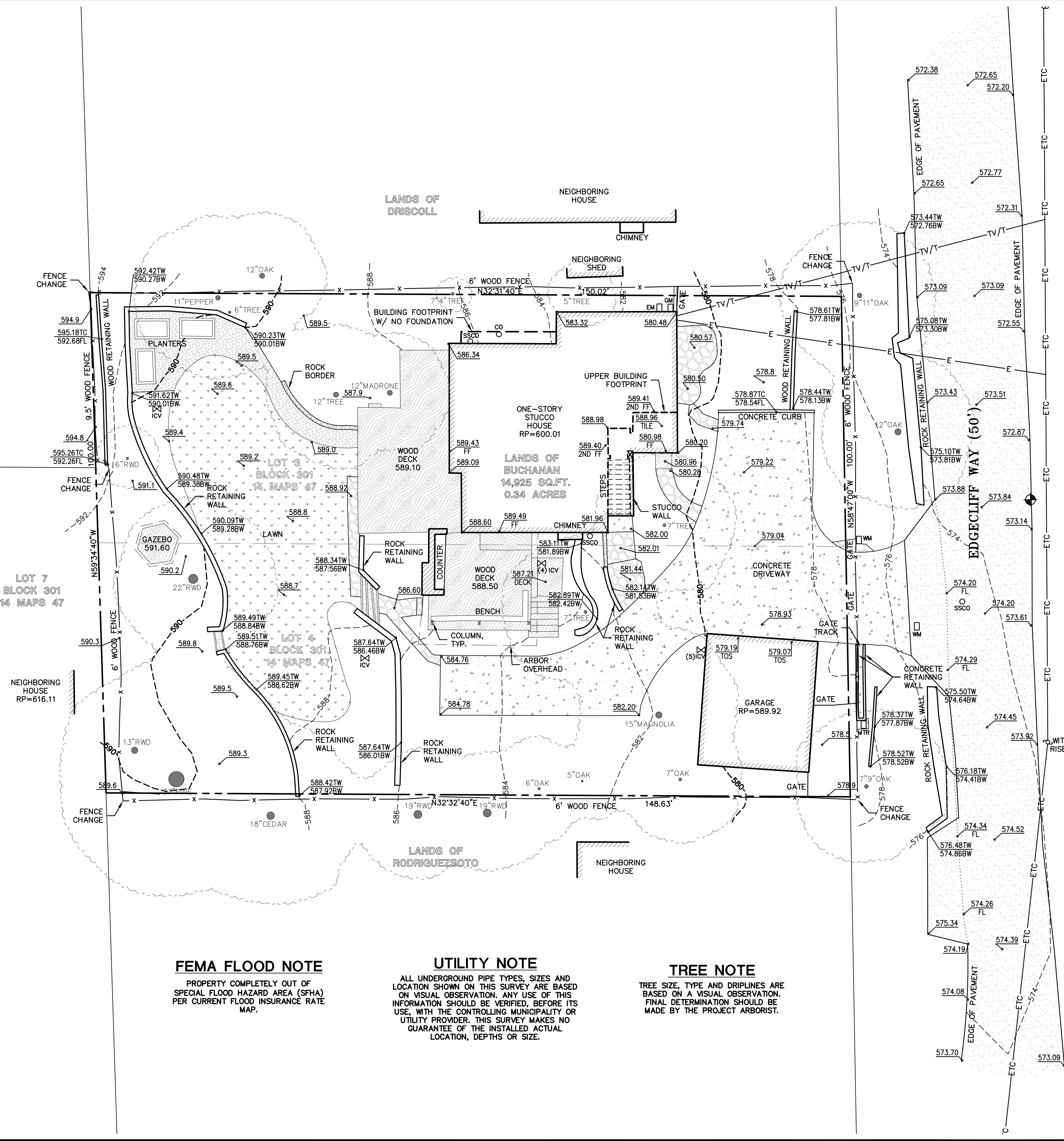
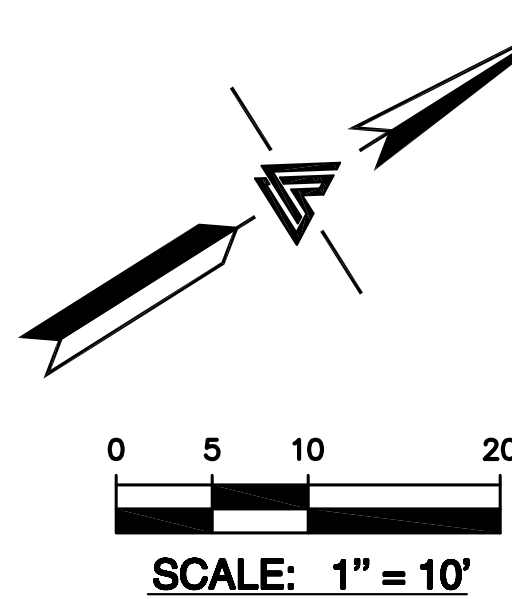
PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA) PER CURRENT FLOOD INSURANCE RATE MAP.

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

TREE NOTE

TREE SIZE, TYPE AND DRUPLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.



BENCHMARK
REDWOOD CITY BENCHMARK BM72
BRET HARTE DR AT CAMBRIDGE RD - TOP OF DISC ON CURB, ON BRET HARTE, NW SIDE OF STREET, 25' NORTH OF INTERSECTION.
ELEVATION = 446.263'
(NAVD 88 DATUM)

SITE BENCHMARK
SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 573.02'
(NAVD 88 DATUM)

LEGEND AND NOTES

- BOUNDARY LINE
- BUILDING OVERHANG LINE
- ETC ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- E ELECTRICAL OVERHEAD LINE
- TV/T CABLE TV/TELEPHONE OVERHEAD LINE
- FENCE LINE
- FLOW LINE
- SS SANITARY SEWER LINE
- BENCHMARK
- BW BOTTOM RETAINING WALL
- EM ELECTRICAL METER
- FF FINISH FLOOR
- FH FIRE HYDRANT
- FL FLOW LINE
- GM GAS METER
- MTR GATE MOTOR
- INV INVERT
- ICV IRRIGATION CONTROL VALVE
- J JOINT POLE
- M- MULTI-TRUNK TREE
- RWD REDWOOD
- RP ROOF PEAK
- SSCO SANITARY SEWER CLEAN-OUT
- SSMH SANITARY SEWER MAINTENANCE HOLE
- TC TOP OF CURB
- TW TOP OF RETAINING WALL
- TOS TOP OF SLAB
- WM WATER METER
- WV WATER VALVE
- XXX.XX SPOTGRADE
- ASPHALT
- CONCRETE
- GRAVEL
- LAWN
- RIVER ROCK
- STONE
- WOOD



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS - LAND SURVEYORS
REGIONAL OFFICES:
SAN FRANCISCO, CA 94102
DUBLIN, CA 94568
SAN JOSE, CA 95128
SAN JOSE, CA 95128
(415) 897-4086
WWW.LEABRAZE.COM

506 EDGECLIFF WAY
REDWOOD CITY
CALIFORNIA

TOPOGRAPHIC SURVEY

REVISIONS	BY

JOB NO: 2201482
DATE: 12-8-20
SCALE: 1"=10'
FIELD BY: AO
DRAWN BY: DB
SHEET NO: 1



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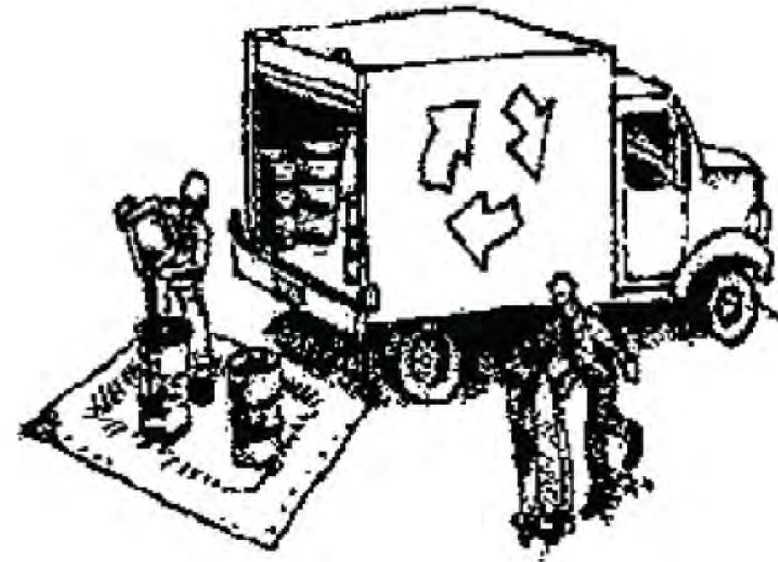


SAN MATEO COUNTYWIDE
Water Pollution
Prevention Program
 Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



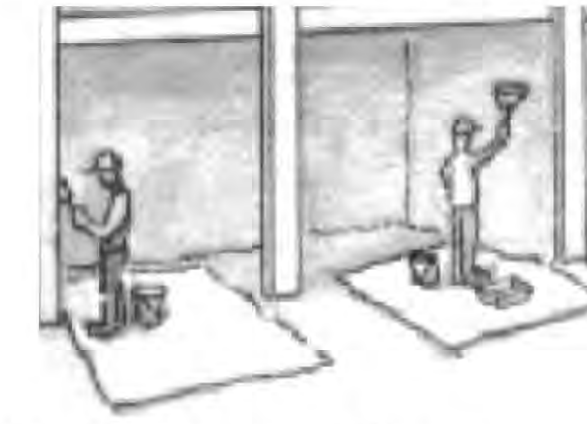
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

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architect:

Bryan J. Hassemer, AIA

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San Leandro, CA 94577

bryan@inf3.com
530.448.0909

client:

Lucas & Jacqui Buchanan

506 Edgecliff Way
Redwood City, CA 94602

consultant:

CHG Engineering, Inc.

9425 Sage Creek Ct.
Elk Grove, CA 95624

209.450.9066

consultant:

GeoForensics, Inc.

303 Vintage Park Dr., #220
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650.349.3369

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	FOR PERMIT	10/08/21
4	DESIGN REVIEW PACKAGE	04/25/22



Bryan J. Hassemer, AIA
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530.448.0909

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REDWOOD CITY, CA
LIVING PORCH
& BEDROOM SUITE

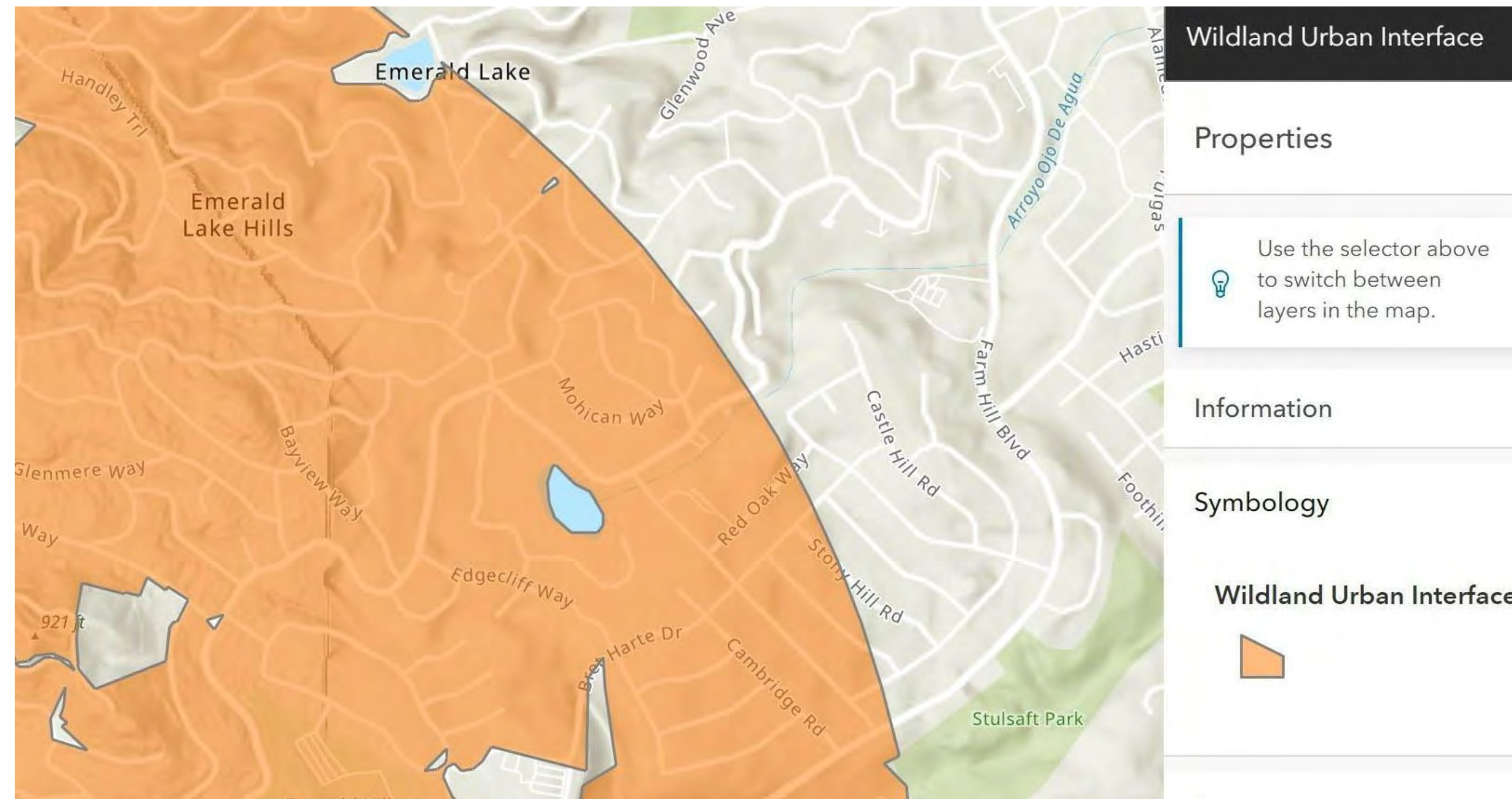
BMPs - BLUEPRINT FOR
A CLEAN BAY

inf3#: 20-015-01
date: 04/25/22
drawn: BJH
page#: 05 of 35

G1.02

scale:

Storm drain polluters may be liable for fines of up to \$10,000 per day!



3 WUI MAP – EMERALD LAKE HILLS
12" = 1'-0"

COMMUNITY DEVELOPMENT AND TRANSPORTATION DEPARTMENT
Engineering and Transportation Division
www.redwoodcity.org

1017 Middlefield Road
P.O. Box 391
Redwood City, CA 94064
Telephone: 650.780.7360
Facsimile: 650.780.7309

FIRE HYDRANT FLOW TEST

Date and Time:	December 6, 2021
Project Site Address:	506 Edgecliff Way
(Subject Property)	Unincorporated San Mateo County
APN	068-192-020
Customer Name:	Bryan Hassemer Phone: 530-448-0909
RWC Engineering Contact:	Paolo Baltar Phone: 650-780-7258
Public Works Contact:	Phone:
Fire Authority and Contact:	Phone:
Test Conducted By:	Paolo Baltar
Payment Amount:	Not Established Account: Not Established
Received by:	n/a

READINGS	F.H. ADDRESS	PRESSURE ZONE	SHGL
Static Pressure (S) At [model node for] Test Hydrant or Blow-off Valve, nearest to the subject property	78 PSI 500 Edgecliff Way [J-CAL-18432]	California	695'
Residual Pressure (R1) At [model node for] Test Hydrant or Blow-off Valve, nearest to the subject property	20 PSI 500 Edgecliff Way [J-CAL-18432]		
Flow (Q1) At Flow Hydrant or model node	2330 GPM 500 Edgecliff Way [J-CAL-18432]		
**Fire Hydrant Nozzle Coefficient (F) Field measurements by hydrant diffusers (e.g. Pollard or Hose Monster)	1 Flow Gauge		
Calculated Flow (Q2) for R2= 20 PSI 2330 GPM***			

*Formula

$$Q2=FCQ1(S-R2)/(S-R1)^0.54$$

Compiled by:
Paolo Baltar
Water Purveyor Representative (Paolo Baltar)



*From "Test of Water Supplies", p17-105.

**From: "Water Supply Testing - American Mutual Insurance Alliance"

***Regardless of the results of this test, Redwood City Water Utility Division assumes no liability for normal pressure fluctuations from time to time as a result of normal operation of the system.

2 REDWOOD CITY – FIRE FLOW TEST
12" = 1'-0"

WOODSIDE FIRE PROTECTION DISTRICT
Prevention Division
808 Portola Rd. Portola Valley, CA ~ www.woodsidefire.org ~ Fire Marshal Don Bullard 650-851-1594
ALL CONDITIONS MUST MEET WFPD SPECIFICATIONS go to www.woodsidefire.org for more info

BDLG & SPRINKLER PLAN CHECK AND INSPECTIONS

PROJECT LOCATION: 506 Edgecliff	Jurisdiction: SMCO
Owner/Architect/Project Manager: Hassemer	Permit#: BLD2021-02495
PROJECT DESCRIPTION: Addition to residence in SMCO	
Fees Paid: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO See Fee Comments	Date: 11/1/21
Fee Comments: CH#183...\$225.00 (plan check fee) paid by: Buchanan 11/8/21 MH	
BUILDING PLAN CHECK COMMENTS/CONDITIONS: THE FOLLOWING REQUIREMENTS MUST BE MET IN ORDER TO PASS FINAL FIRE INSPECTION: 1. At start of construction a 2' x 3' address sign will be posted in front of project. 2. At time of final the permanent address will be mounted and clearly visible from street w/minimum of 4" numbers on contrasting background. 3. 100' defensible space from structure required prior to start of construction. 4. Upon final inspection 30' perimeter property line defensible space will be required per WFPD ordinance section 304.1.2.A 5. Approved spark arrestor will be required on all installed chimneys including outside fireplaces. 6. Install Smoke and CO detectors per 2019 CBC. 7. NFPA 130 Fire Sprinkler System to be installed. Sprinkler plans/calculations to be submitted separately to WFPD. Advise Owner/Contractor that they are responsible for getting the correct water flow data and that Cal-Water requires a backflow device that can decrease the water flow pressure by 12-15 PSI due to friction loss of the backflow device. 8. Driveway as proposed must meet WFPD standards. If driveway dimensions are revised during construction, it must maintain compliance with WFPD standards.	
Reviewed by: M. Hird	Date: 10/25/21
<input type="checkbox"/> Resubmit <input checked="" type="checkbox"/> Approved with Conditions <input type="checkbox"/> Approved without conditions	
Sprinkler Plans Approved: NO	Date: Fees Paid: \$450 <input checked="" type="checkbox"/> See Fee Comments
As Built Submitted: -----	Date: As Built Approved Date:
Fee Comments:	
Rough/Hydro Sprinkler Inspection By: -----	Date:
Sprinkler Inspection Comments:	
Final Bldg and/or Sprinkler Insp By: -----	Date:
Comments:	

***FIRE SPRINKLER NOTES:**
1. NEW FIRE SPRINKLERS ARE REQUIRED WITH SCOPE OF WORK.
2. GC TO REVIEW (E)WATER SERVICE LATERAL AND (E)WATER METER SIZE W/ SPRINKLER SUBCONTRACTOR.
3. COORDINATE MUNICIPAL WATER SERVICE SUPPLY WITH NEW FIRE SPRINKLER DESIGN, AS REQUIRED.

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

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Bryan J. Hassemer, AIA
bryan@inf3.com
530.448.0909

**506 EDGECLIFF
REDWOOD CITY, CA**
LIVING PORCH
& BEDROOM SUITE

**FIRE DEPT. REVIEW,
FIRE FLOW & WUI MAP**

inf3#:	20-015-01
date:	04/25/22
drawn:	BJH
page#:	06 of 35

G1.03

scale: 12" = 1'-0"

1 WOODSIDE FIRE PROTECTION DIST. CONDITIONAL APPROVAL
12" = 1'-0"

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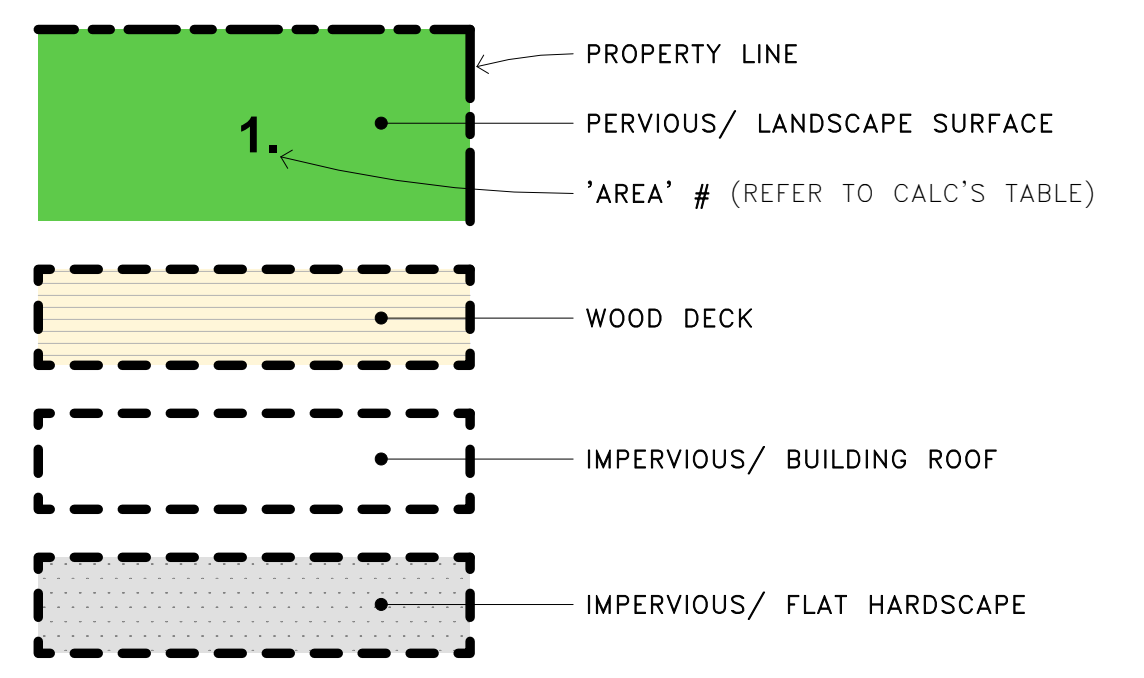
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1 EXISTING PLOT PLAN
1" = 10'-0"

SURFACES KEY:

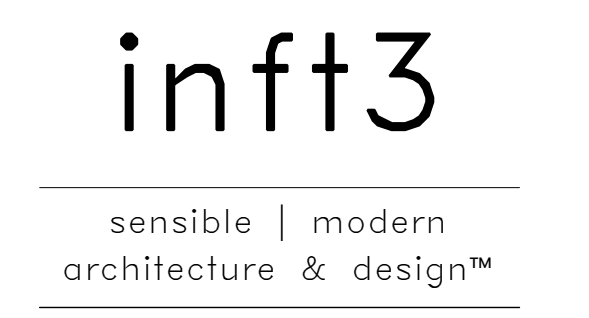


IMPERVIOUS & PERVIOUS SURFACE CALC'S:

EXISTING:	#:	AREA:	PROPOSED:	#:	AREA:	CHANGES TO:
(E)PERVIOUS/ LANDSCAPE	1	8,958 SF	SUBTOTAL NO CHANGE	5 6 8 11 18 21 22 23 24 25 26 27 28	26 SF 21 SF 12 SF 18 SF 124 SF 39 SF 10 SF 18 SF 15 SF 2 SF 7 SF 57 SF 160 SF	(N)FLAT IMPERVIOUS/ SITE (N)FLAT IMPERVIOUS/ SITE (N)FLAT IMPERVIOUS/ SITE (N)FLAT IMPERVIOUS/ SITE (N)ROOF (N)ROOF (N)ROOF (N)ROOF (N)PERVIOUS/ LANDSCAPE (N)ROOF (N)WOOD DECK (N)WOOD DECK
				SUBTOTAL	509 SF	SUBTOTAL, CHANGED
					NO CHANGE	NO CHANGE
(E)PERVIOUS WOOD DECK	1a	923 SF	SUBTOTAL NO CHANGE	9 10 12 13 14 17 20	23 SF 2 SF 2 SF 32 SF 95 SF 269 SF 80 SF	(N)PERVIOUS/ LANDSCAPE (N)FLAT IMPERVIOUS/ SITE (N)FLAT IMPERVIOUS/ SITE (N)PERVIOUS/ LANDSCAPE (N)ROOF (N)ROOF (N)ROOF
				SUBTOTAL	503 SF	SUBTOTAL, CHANGED
					NO CHANGE	NO CHANGE
(E)ROOF IMPERVIOUS	2	2,572 SF	SUBTOTAL NO CHANGE	15 16	24 SF 139 SF	(N)ROOF (N)ROOF
				SUBTOTAL	163 SF	SUBTOTAL, CHANGED
					NO CHANGE	NO CHANGE
(E)FLAT IMPERVIOUS/ SITE	3	2,472 SF	SUBTOTAL NO CHANGE	4 7 19	219 SF 220 SF 20 SF	(N)FLAT IMPERVIOUS/ SITE (N)FLAT IMPERVIOUS/ SITE (N)ROOF
				SUBTOTAL	459 SF	SUBTOTAL, CHANGED
					NO CHANGE	NO CHANGE
SITE AREAS CHANGED:					1,634 SF	
TOTAL PARCEL AREA:		14,925 SF			14,925 SF	

AFTER RENOVATION TOTALS:	
PERVIOUS/ LANDSCAPE	8,519 SF
PERVIOUS WOOD DECK	644 SF
ROOF IMPERVIOUS	3,229 SF
FLAT IMPERVIOUS/ SITE	2,533 SF
TOTAL PARCEL AREA:	14,925 SF

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]



www.inf3.com

architect:

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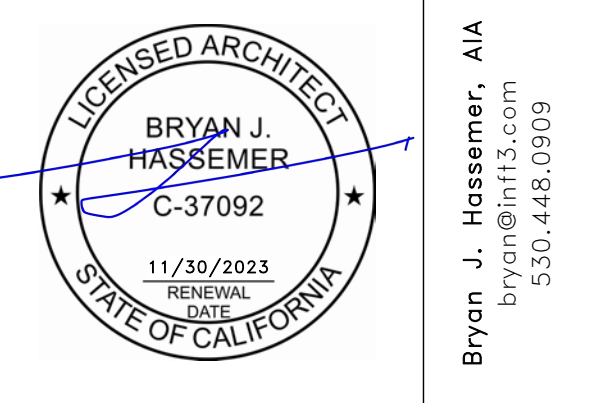
GeoForensics, Inc.

303 Vintage Park Dr., #220
Foster City, CA 94404

650.349.3369

revisions:

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4	DESIGN REVIEW PACKAGE	04/25/22



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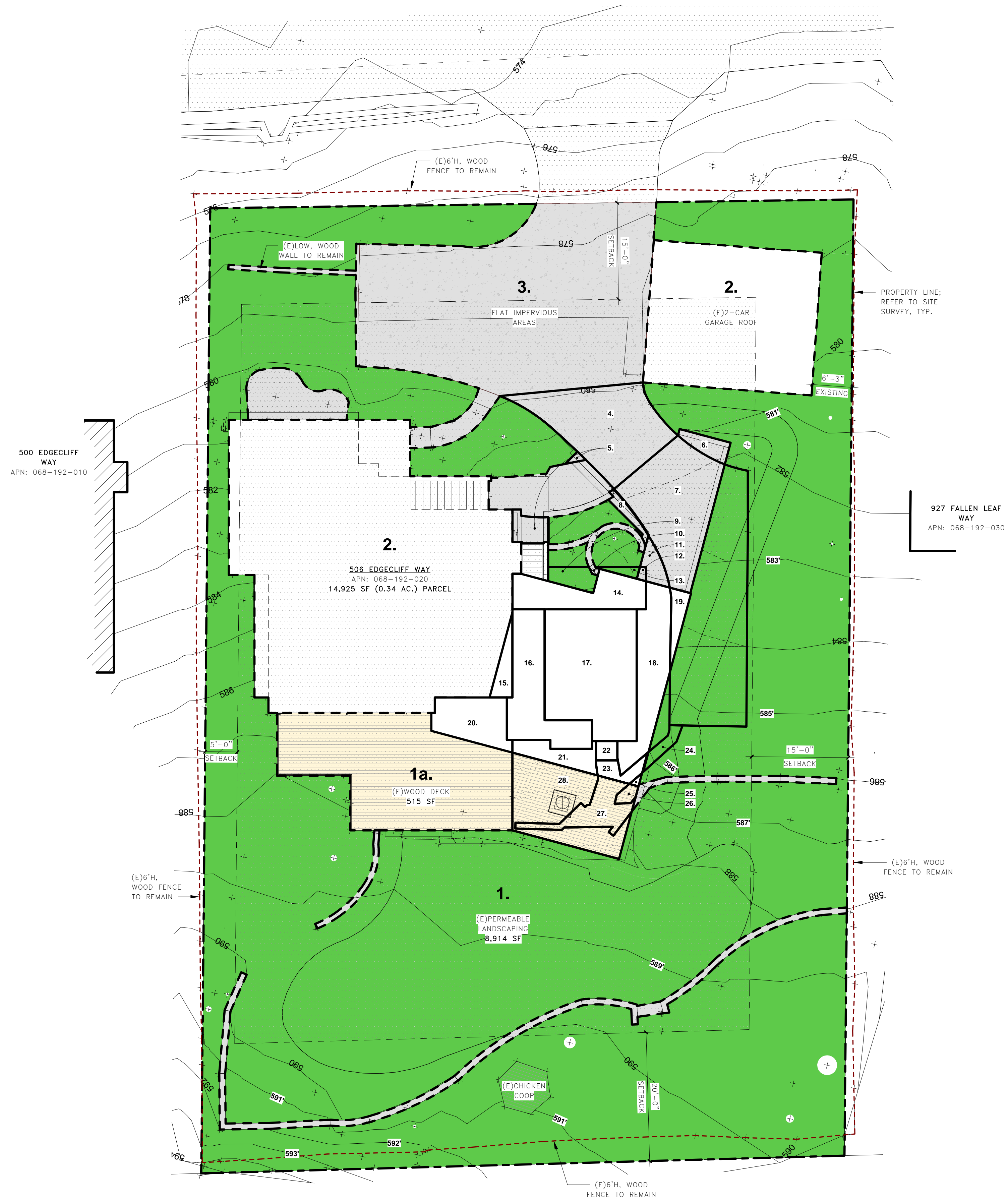
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& BEDROOM SUITE

SITE COVERAGE /
EXISTING PLOT PLAN

inf3#: 20-015-01
date: 04/25/22
drawn: BJH
page#: 07 of 35

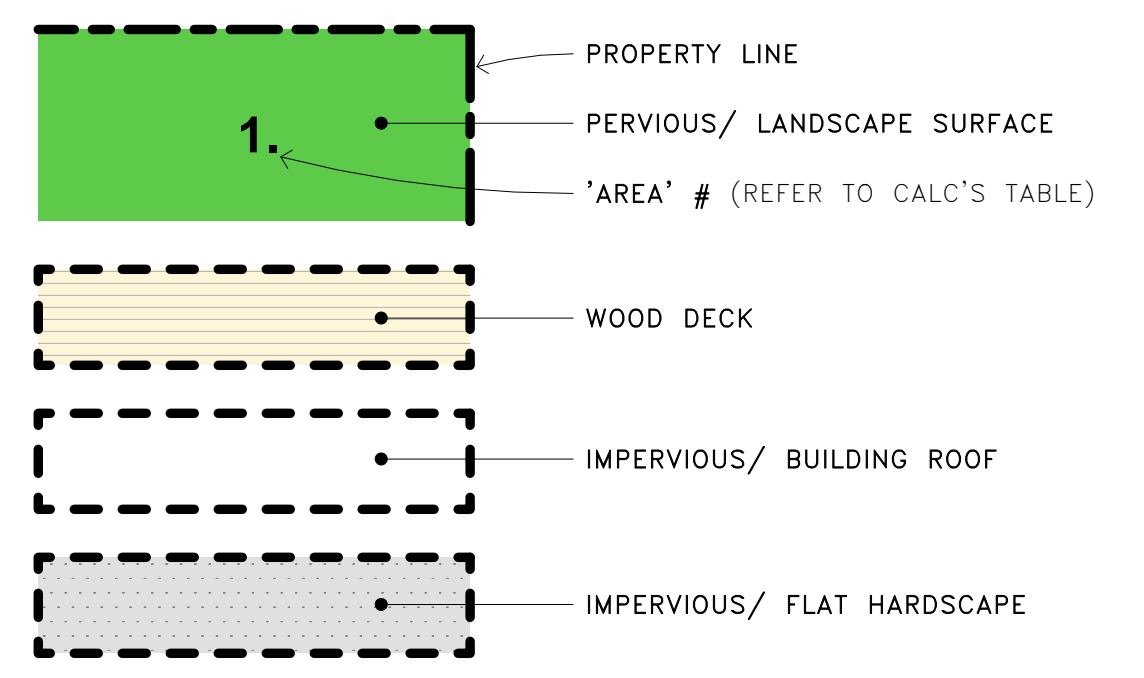
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1 PROPOSED PLOT PLAN
1" = 10'-0"

SURFACES KEY:



IMPERVIOUS & PERVIOUS SURFACE CALC'S:

EXISTING:		PROPOSED:			
#:	AREA:	#:	AREA:	CHANGES TO:	
(E)PERVIOUS/ LANDSCAPE	1	8,958 SF	5 26 SF 6 21 SF 8 12 SF 11 18 SF 18 124 SF 21 39 SF 22 10 SF 23 18 SF 24 15 SF 25 2 SF 26 7 SF 27 57 SF 28 160 SF	509 SF	(N)FLAT IMPERVIOUS/ SITE (N)FLAT IMPERVIOUS/ SITE (N)FLAT IMPERVIOUS/ SITE (N)FLAT IMPERVIOUS/ SITE (N)ROOF (N)ROOF (N)ROOF (N)ROOF (N)PERVIOUS/ LANDSCAPE (N)ROOF (N)WOOD DECK (N)WOOD DECK
			SUBTOTAL	SUBTOTAL, CHANGED	
			NO CHANGE	NO CHANGE	
(E)PERVIOUS WOOD DECK	1a	923 SF	9 23 SF 10 2 SF 12 2 SF 13 32 SF 14 95 SF 17 269 SF 20 80 SF	503 SF	(N)PERVIOUS/ LANDSCAPE (N)FLAT IMPERVIOUS/ SITE (N)FLAT IMPERVIOUS/ SITE (N)PERVIOUS/ LANDSCAPE (N)ROOF (N)ROOF (N)ROOF
			SUBTOTAL	SUBTOTAL, CHANGED	
			NO CHANGE	NO CHANGE	
(E)ROOF IMPERVIOUS	2	2,572 SF	15 24 SF 16 139 SF	163 SF	(N)ROOF (N)ROOF
			SUBTOTAL	SUBTOTAL, CHANGED	
			NO CHANGE	NO CHANGE	
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			SUBTOTAL	SUBTOTAL, CHANGED	
			NO CHANGE	NO CHANGE	
SITE AREAS CHANGED:				1,634 SF	
TOTAL PARCEL AREA:		14,925 SF		14,925 SF	

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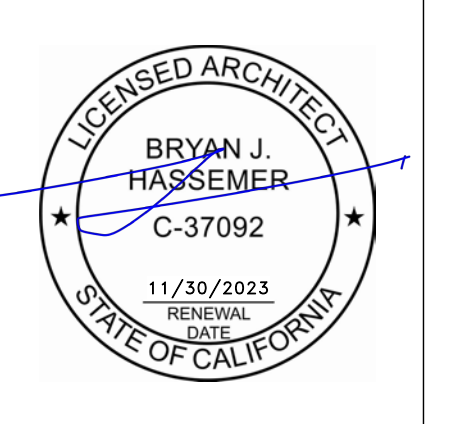
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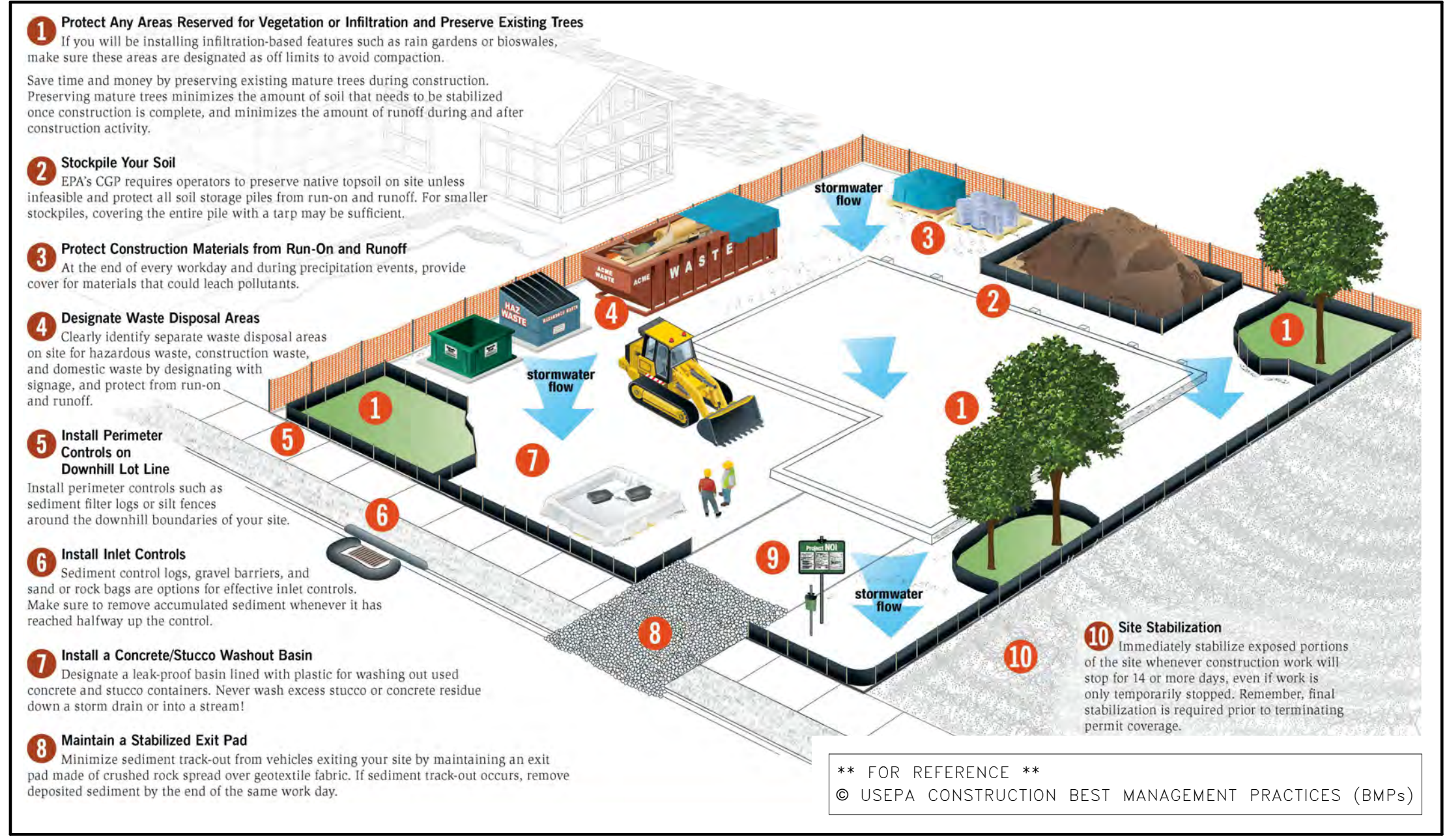
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SITE COVERAGE /
NEW PLOT PLAN

inf3#: 20-015-01
date: 04/25/22
drawn: BJH
page#: 08 of 35

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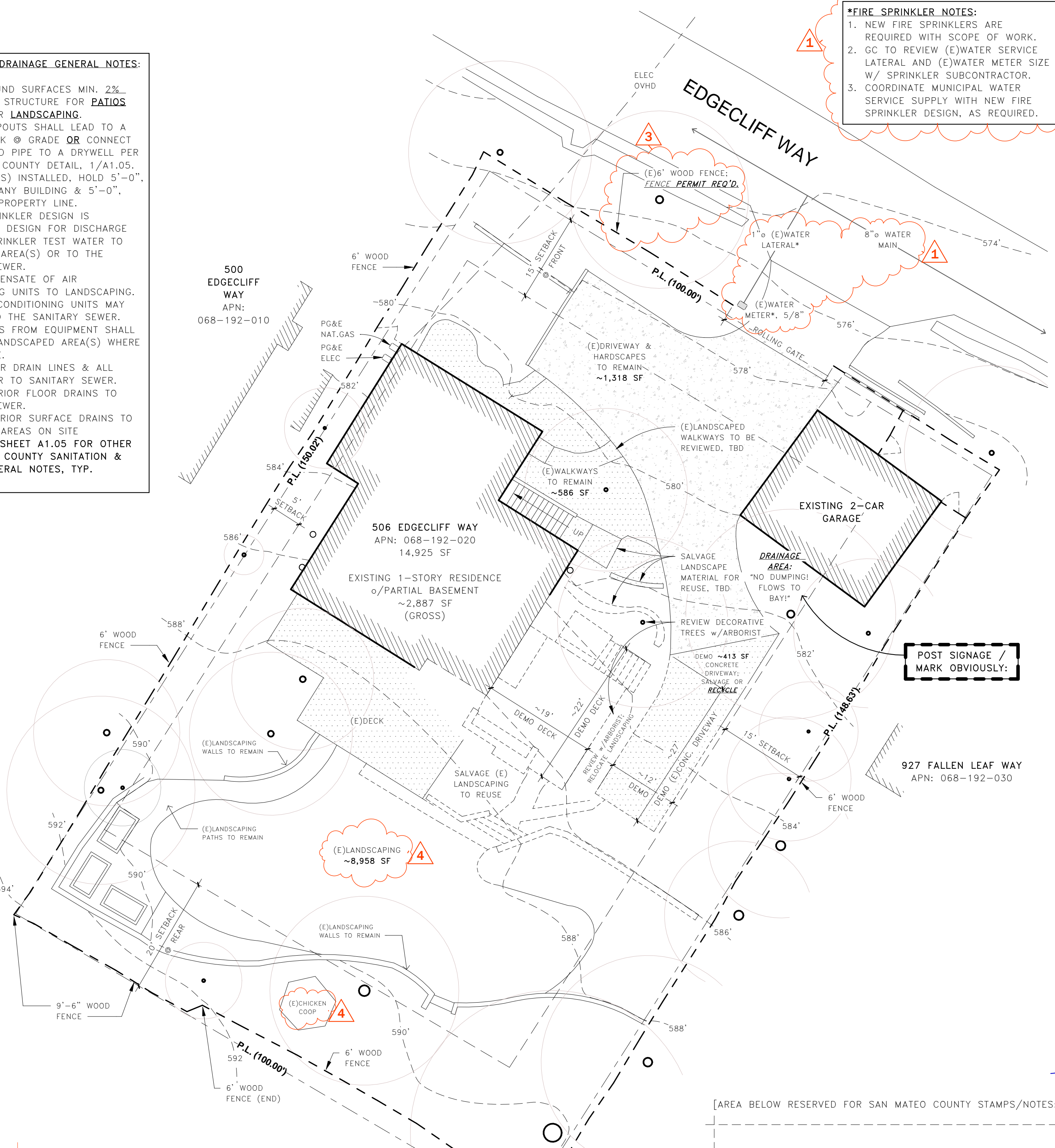
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- PROVIDE TEMPORARY EROSION CONTROLS** TO STABILIZE ALL DENUED AREAS (FROM OCT. 1st-APRIL 30th), OR UNTIL PERMANENT CONTROLS ARE ESTABLISHED. (SEE ALSO SHEET G1.02)
- PROTECT ALL STORM DRAIN INLETS** USING BERMS, FIBER ROLLS, OR FILTERS.
- DO NOT** PERFORM CLEARING OR EARTH MOVING DURING RAIN OR WET CONDITIONS.
- DELINEATE AREA OF WORK w/ MARKERS; SHOW CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE / CRITICAL AREAS, BUFFER ZONES, TREES, & DRAINAGE COURSES.
- IMPLEMENT SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING; OBTAIN ALL NECESSARY PERMITS, AS REQUIRED.
- DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS & TRAP SEDIMENT ON-SITE; DIVERT OFF-SITE RUNOFF AROUND THE SITE. (SWALES/DIKES)
- PROTECT ADJACENT PROPERTIES** & UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS:
 - VEGETATIVE BUFFER STRIPS / SILT FENCE SEDIMENT BARRIER / BIO FILTERS / FIBER ROLLS / GRAVEL BAGS / SAND BAGS / MULCHING, ETC.
- LIMIT CONSTRUCTION ACCESS ROUTES** & STABILIZE DESIGNATED ACCESS POINTS w/ GRAVEL ROCK.
- IMPLEMENT THE FOLLOWING:**
 - CONSTRUCTION EROSION & SEDIMENT CONTROL - INSPECT: WEEKLY & AFTER EACH RAIN EVENT(S).
 - GRADING & EXCAVATION, FILLING, CLEARING OF SITE TO OCCUR: DAYTIME HOURS, DURING DRY PERIOD(S) & PERIODS OF NO RAIN.
 - STORAGE OF ESCAVATED MATERIAL TO BE PLACED w/ STAKED, SILT FENCE PERIMETER ON-SITE, COVERED IF RAIN IS EXPECTED.
 - DISPOSAL OF CLEARED MATERIALS SHALL BE TAKEN TO: "RECOLOGY SAN MATEO COUNTY" (OR OTHER APPROVED)
 - ADDRESS: 225 SHOREWAY ROAD SAN CARLOS, CA 94070
- VEGETATIVE COVER SHALL BE REPLACED; FOCUS ON NATIVE, LOW-WATER PLANTS & MULCH COVER.
- REFER TO INDIVIDUAL VEGETATION PLANTING INSTRUCTIONS FOR PLANTS' FEEDING & CARE.
- GENERAL CONTRACTOR** TO BE "EROSION CONTROL POINT OF CONTACT":
NAME: _____
TITLE: _____
EMAIL: _____
PHONE: _____
- DO NOT** CLEAN, FUEL, OR MAINTAIN VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
- STORE, HANDLE, & DISPOSE OF CONSTRUCTION MATERIALS / WASTES PROPERLY TO PREVENT CONTACT WITH STORMWATER.
- OWNER/GENERAL CONTRACTOR SHALL TRAIN** AND PROVIDE INSTRUCTION TO ALL WORKERS / SUB-CONTRACTORS RE: CONSTRUCTION BMPs.
- CONTROL & PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, RINSE WATER FROM ARCHITECTURAL COPPER, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- DELINEATE WITH FIELD MARKERS:** CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES, AND DRAINAGE COURSES.

SANITATION & DRAINAGE GENERAL NOTES:

- SLOPE GROUND SURFACES MIN. 2% AWAY FROM STRUCTURE FOR PATIOS AND 5% FOR LANDSCAPING.
- ALL DOWNSPOUTS SHALL LEAD TO A SPLASHBLOCK @ GRADE OR CONNECT w/4"Ø SOLID PIPE TO A DRYWELL PER SAN MATEO COUNTY DETAIL, 1/A1.05.
- IF DRYWELL(S) INSTALLED, HOLD 5'-0", MIN. FROM ANY BUILDING & 5'-0", MIN. FROM PROPERTY LINE.
- IF FIRE SPRINKLER DESIGN IS REQUIRED - DESIGN FOR DISCHARGE OF FIRE SPRINKLER TEST WATER TO LANDSCAPE AREA(S) OR TO THE SANITARY SEWER.
- DRAIN CONDENSATE OF AIR CONDITIONING UNITS TO LANDSCAPING. LARGE AIR CONDITIONING UNITS MAY CONNECT TO THE SANITARY SEWER.
- ROOF DRAINS FROM EQUIPMENT SHALL DRAIN TO LANDSCAPED AREA(S) WHERE PRACTICABLE.
- DRAIN BOILER DRAIN LINES & ALL WASH WATER TO SANITARY SEWER.
- PLUMB INTERIOR FLOOR DRAINS TO SANITARY SEWER.
- PLUMB EXTERIOR SURFACE DRAINS TO LANDSCAPE AREAS ON SITE.
- REFER TO SHEET A1.05 FOR OTHER SAN MATEO COUNTY SANITATION & SEWER GENERAL NOTES, TYP.



DEMO PLOT PLAN
1" = 1'-0"

SITE PREP & LANDSCAPING GENERAL NOTES:

- RETAIN EXISTING VEGETATION AS PRACTICABLE.
- SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST-AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS.
- MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
- USE EFFICIENT IRRIGATION SYSTEM; DESIGN TO MINIMIZE RUN-OFF.
- LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS ARE REQUIRED ON WEEKENDS AND DURING RAIN EVENTS:**
 - DOWNSLOPE AREA OF DRIVEWAY, NEAR LANDSCAPING
 - SURROUNDING "DRAINAGE AREA" - NOTE SIGNAGE, "NO DUMPING, DRAINS TO BAY!"
- THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
- CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
- DUST CONTROL IS REQUIRED YEAR-ROUND.
- EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- TREE PROTECTION** SHALL BE IN PLACE BEFORE ANY DEMOLITION, GRADING, EXCAVATING OR GRUBBING IS STARTED.

***FIRE SPRINKLER NOTES:**

- NEW FIRE SPRINKLERS ARE REQUIRED WITH SCOPE OF WORK.
- GO TO REVIEW (E)WATER SERVICE LATERAL AND (E)WATER METER SIZE W/ SPRINKLER SUBCONTRACTOR.
- COORDINATE MUNICIPAL WATER SERVICE SUPPLY WITH NEW FIRE SPRINKLER DESIGN, AS REQUIRED.

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LICENSED ARCHITECT
BRYAN J. HASSEMER
C-37092
11/30/2023
RENEWAL DATE
STATE OF CALIF.
Bryan J. Hassemer, AIA
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DEMO PLOT PLAN
inf3#: 20-015-01
date: 04/25/22
drawn: BJH
page#: 09 of 35
DR.03
scale: As indicated

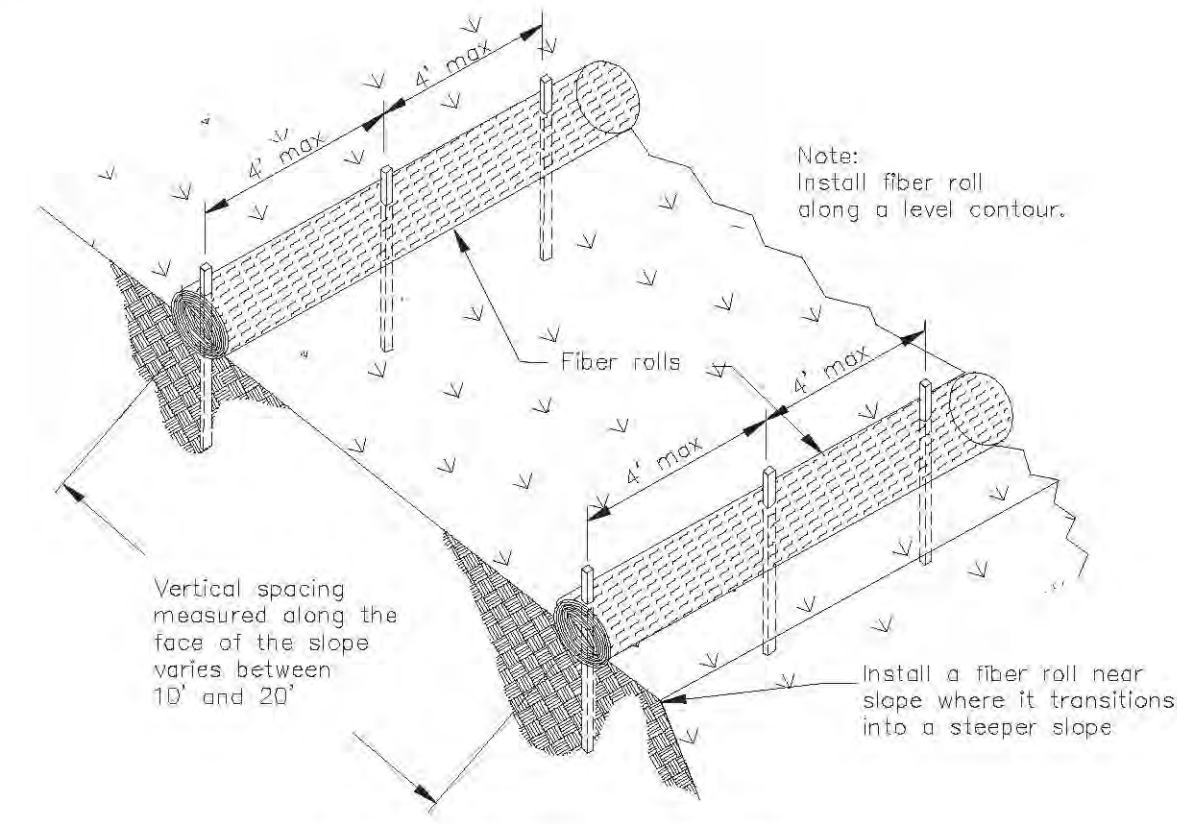
2 BMP PLAN & GENERAL NOTES
NOT TO SCALE

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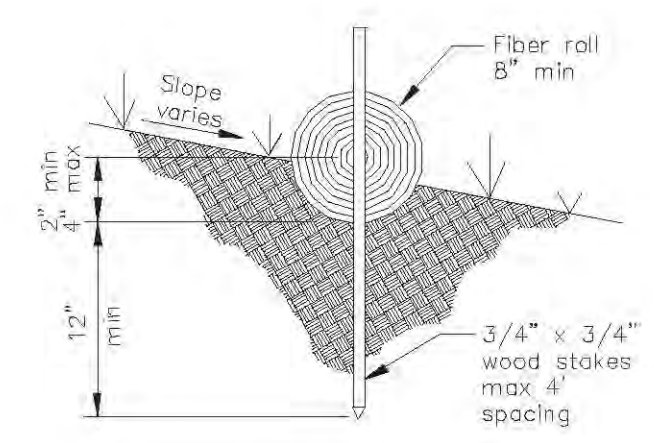
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Fiber Rolls

SE-5



TYPICAL FIBER ROLL INSTALLATION
N.T.S.



ENTRENCHMENT DETAIL
N.T.S.

NOTES:
If more than one fiber roll is placed in a row, the rolls must be overlapped, not abutted.
Turn the ends of the fiber roll up-slope to prevent runoff from going around the roll.

July 2012 California Stormwater BMP Handbook Portal Construction www.cesqa.org 5 of 5

2 SAN MATEO CO. - FIBER ROLLS

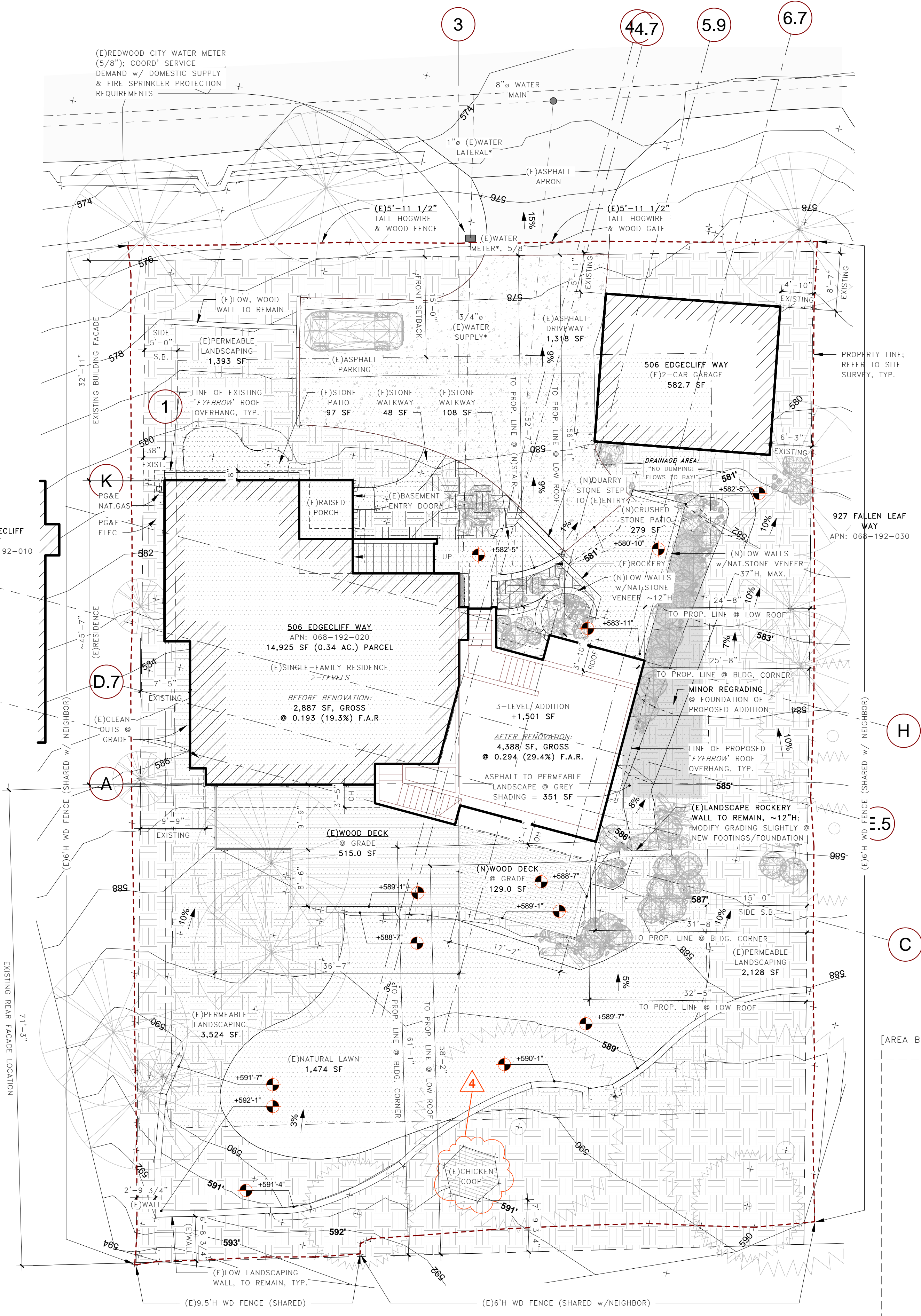
12" = 1'-0"

SITE PREP & LANDSCAPING GENERAL NOTES:

- RETAIN EXISTING VEGETATION AS PRACTICABLE.
- SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST-AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS.
- MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
- USE EFFICIENT IRRIGATION SYSTEM; DESIGN TO MINIMIZE RUN-OFF.
- LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS ARE REQUIRED ON WEEKENDS AND DURING RAIN EVENTS:**
 - DOWN-SLOPE AREA OF DRIVEWAY, NEAR LANDSCAPING
 - SURROUNDING "DRAINAGE AREA" - NOTE SIGNAGE, "NO DUMPING, DRAINS TO BAY!"
- THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
- CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
- DUST CONTROL IS REQUIRED YEAR-ROUND.
- EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- TREE PROTECTION** SHALL BE IN PLACE BEFORE ANY DEMOLITION, GRADING, EXCAVATING OR GRUBBING IS STARTED.

SANITATION & DRAINAGE GENERAL NOTES:

- SLOPE GROUND SURFACES MIN. 2% AWAY FROM STRUCTURE FOR PATIOS AND 5% FOR LANDSCAPING.
- ALL DOWNSPOUTS SHALL LEAD TO A SPLASHBLOCK @ GRADE OR CONNECT W/4" SOLID PIPE TO A DRYWELL PER SAN MATEO COUNTY DETAIL, 1/A1.05.
- IF DRYWELL(S) INSTALLED, HOLD 5'-0", MIN. FROM ANY BUILDING & 5'-0", MIN. FROM PROPERTY LINE.
- IF FIRE SPRINKLER DESIGN IS REQUIRED - DESIGN FOR DISCHARGE OF FIRE SPRINKLER TEST WATER TO LANDSCAPE AREA(S) OR TO THE SANITARY SEWER.
- DRAIN CONDENSATE OF AIR CONDITIONING UNITS TO LANDSCAPING. LARGE AIR CONDITIONING UNITS MAY CONNECT TO THE SANITARY SEWER.
- ROOF DRAINS FROM EQUIPMENT SHALL DRAIN TO LANDSCAPED AREA(S) WHERE PRACTICABLE.
- DRAIN BOILER DRAIN LINES & ALL WASH WATER TO SANITARY SEWER.
- PLUMB INTERIOR FLOOR DRAINS TO SANITARY SEWER.
- PLUMB EXTERIOR SURFACE DRAINS TO LANDSCAPE AREAS ON SITE
- REFER TO SHEET A1.05 FOR OTHER SAN MATEO COUNTY SANITATION & SEWER GENERAL NOTES, TYP.



***FIRE SPRINKLER NOTES:**

- NEW FIRE SPRINKLERS ARE REQUIRED WITH SCOPE OF WORK.
- GO TO REVIEW (E)WATER SERVICE LATERAL AND (E)WATER METER SIZE W/ SPRINKLER SUBCONTRACTOR.
- COORDINATE MUNICIPAL WATER SERVICE SUPPLY WITH NEW FIRE SPRINKLER DESIGN, AS REQUIRED.

PROPOSED SITE COVERAGE CALC'S:

LANDSCAPE COVERAGE	
A.	1,393 SF (FRONT)
B.	2,128 SF (SIDE)
C.	3,524 SF (REAR)
D.	1,474 SF (LAWN)
SUBTOTAL 8,519 SF	

WOOD DECK COVERAGE	
A.	515 SF (E)DECK
B.	129 SF (N)DECK
SUBTOTAL 644 SF	

HARDSCAPE COVERAGE	
A.	1,318 SF (DRIVEWAY)
B.	97 SF (STONE PATIO)
C.	48 SF (STONE WALK)
D.	108 SF (STONE WALK)
E.	683 SF (STONE/WALLS)
F.	279 SF (N)FRONT PATIO
SUBTOTAL 2,533 SF	

BUILDING COVERAGE	
A.	1,861 SF (E)HOUSE
B.	583 SF (E)GARAGE
C.	785 SF (N)ADDITION
SUBTOTAL 3,229 SF	

TOTAL COVERAGE: 14,925 SF

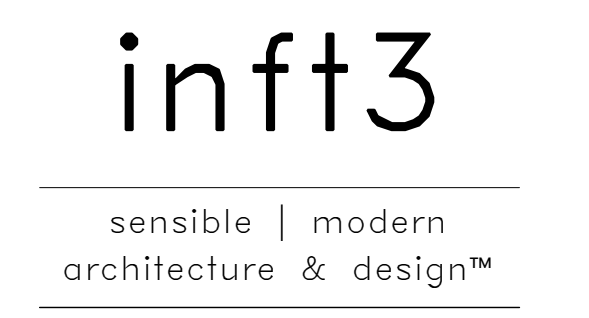
FLOOR AREA RATIO (F.A.R.) CALC'S:

(E)BASEMENT:	728 SF
(E)1st FLOOR:	1,576 SF
(E)GARAGE:	583 SF
TOTAL (E)F.A.R.:	2,887 SF
(2,887 SF / 14,925 SF = 0.1934 = 19.3%)	

(E)F.A.R.:	19.3% @ 2,887 SF
(N)BASEMENT LEVEL:	243 SF
(N)1st FLOOR LEVEL:	673 SF
(N)2nd FLOOR LEVEL:	585 SF
TOTAL (N)F.A.R.:	4,388 SF
(4,388 SF / 14,925 SF = 0.294 = 29.4%)	

1 NEW - PLOT PLAN

1" = 10'-0"



www.inf3.com

architect:

Bryan J. Hassemer, AIA
250 Lorraine Blvd.
San Leandro, CA 94577

bryan@inf3.com
530.448.0909

client:

Lucas & Jacqui Buchanan
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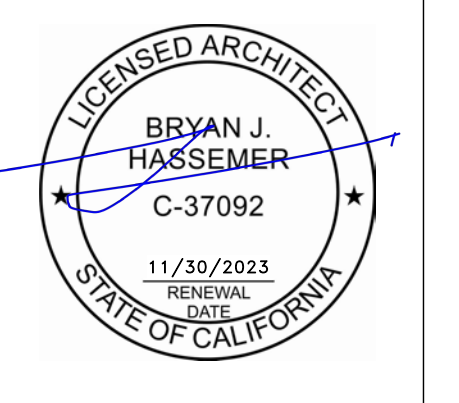
consultant:

GeoForensics, Inc.
303 Vintage Park Dr., #220
Foster City, CA 94404

650.349.3369

revisions:

No.	Description	Date
1	FOR PERMIT	10/08/21
2	PLANNING DEPT. REVIEW	12/27/21
3	DESIGN REVIEW PACKAGE	04/25/22
4		
5		



Bryan J. Hassemer, AIA
bryan@inf3.com
530.448.0909

506 EDGECLIFF
REDWOOD CITY, CA
LIVING PORCH
& BEDROOM SUITE
DESIGN REVIEW /
NEW PLOT PLAN

inf3#:	20-015-01
date:	04/25/22
drawn:	BJH
page#:	10 of 35

scale: As indicated

DIM. @ LEFT = 1" : DRAWING TO SCALE

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County of San Mateo
Planning and Building Department

General Erosion and Sediment Control Plan Guidelines
(Best Management Practices to be used during Site Preparation and Construction)

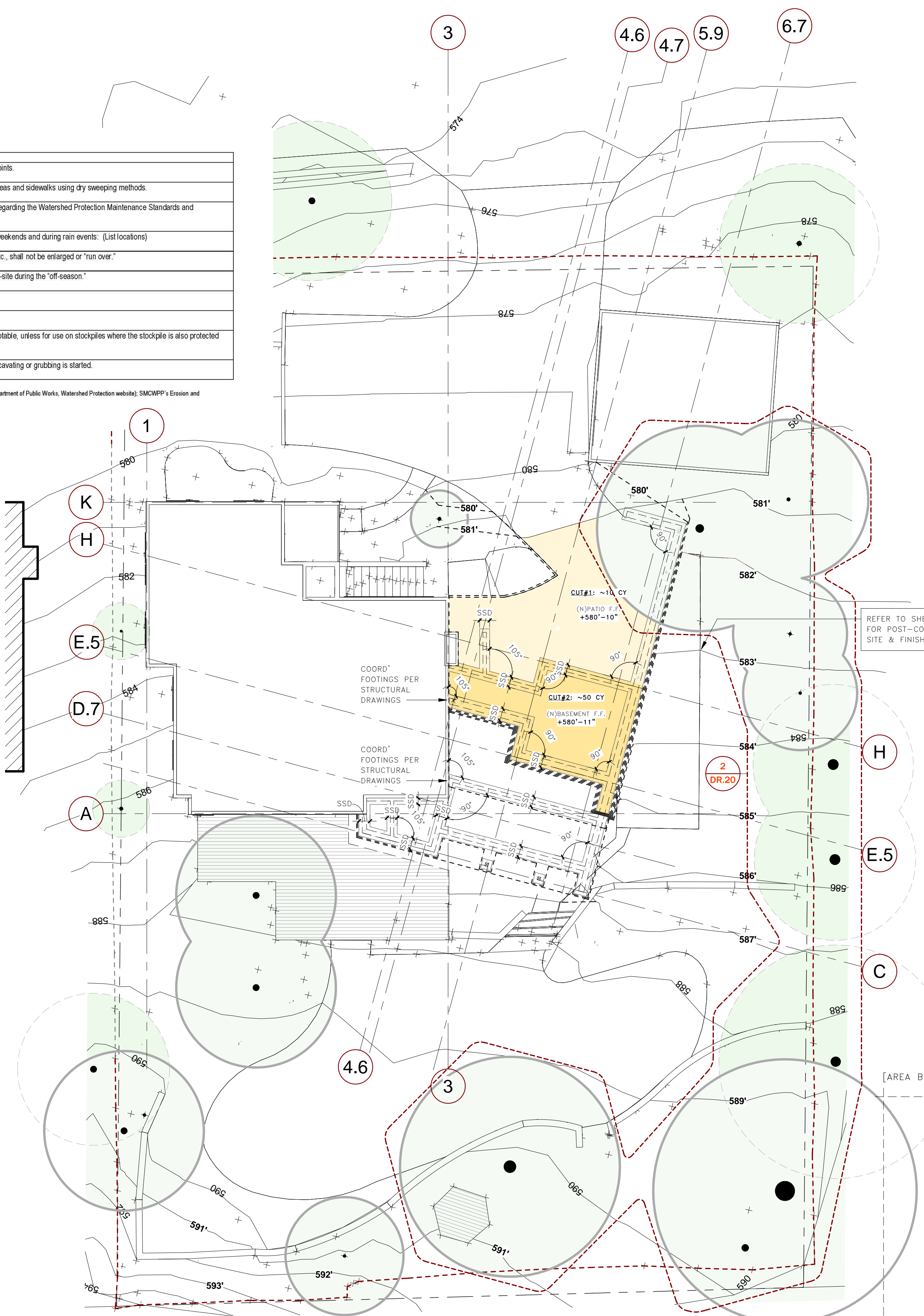
A complete Erosion and Sediment Control Plan (EC Plan) should include the following (as applicable to the site and project):

- Delineation of Area of Work**
 - For projects, including those requiring a Grading Permit, separate erosion and sediment control plan sheets are required to show the measures to be implemented at the grading stage (e.g., grading, foundation/retaining walls) and at the construction stage. For difficult projects only, additional plan sheets are required for each of the following phases: Grading and retaining wall phase, foundation and construction phase.
 - Show all areas of construction, including but not limited to: areas to be graded as shown on a grading plan, areas to be cleared, as well as structures, retaining walls, roads, drives, utilities, trenches, scaffolds, catch basins, etc. These areas should be consolidated and located outside steep or sensitive areas.
 - Protect surface water locations, providing primary control measures (e.g., silt fence along outer buffer zone of creek; do not disturb riparian areas) and secondary control measures (e.g., fiber rolls) in disturbed areas sloping toward the creek/ocean.
 - Protect storm drain inlets using fiber rolls, permeable rock sacks, or other measures that keep sediment from entering the drain. Show inlet locations and protection measure details on the EC Plan. Include on the EC Plan that filter fabric or filter baskets shall be installed in the drains and cleaned out after each rain event, or as needed to function properly. Do not use sand bags as these tear and can result in sand entering the storm drains.
 - Maximize and protect areas to be undisturbed (including sensitive areas and buffer zones), using a vegetative buffer strip or 6 ft. fence/barrier. Show the "limits of work" on the EC Plan and barriers along the "limit". Forbid work, storage, earth moving, vegetation clearing, and other disturbances outside of the "limit". Do not use hay bales as these can easily fall apart.
 - Provide a separate Tree Protection Plan to identify and protect trees, using fencing placed along driplines. An arborist report is required for those trees where work will encroach into the dripline. See separate Tree Protection Plan Guidelines.
 - Prevent runoff to off-site areas using perimeter controls (diversion berms, silt fencing, and/or fiber rolls). Silt fencing is preferred, but fiber rolls may work in some instances. Where the site is flat or the slope is gentle, installing these measures on the property line should be adequate. On slopes greater than 3:1, the measures must be installed along contour lines.
- Prevent Erosion of Unstable or Denuded Areas**
 - Show all proposed retaining walls in the EC Plan, including areas that will be used for stockpiling earth and storing construction materials.
 - Indicate the location and method for stabilizing disturbed bare earth areas. Use seeding and/or mulching and the following, as necessary:
 - For slopes less than 3:1, provide silt fencing or fiber rolls along contour lines.
 - For slopes greater than 3:1, anchored erosion blankets (rice, straw, or coconut) and fiber rolls or silt fencing at the crest are required. Jute netting is preferred when used with seeding.
 - Use diversion berms to divert water from unstable or denuded areas (e.g., top and base of a disturbed slope, grade breaks where slopes transition to a steeper slope).
 - Direct water from construction areas to designated temporary filtration/detention areas. Show any temporary detention areas for stormwater and stabilization of those areas.
- Show Locations of Logistics Areas**
 - Show location of office trailer(s), storage sheds, temporary power pole, scaffold footprint, and other temporary installations on the EC Plan. Show how they will be accessed and show protection of the access routes.
 - Show location of utility trenches, indicate utility types, and identify timing of installation.

- Construction Access Routes**
 - Use stabilized designated access points for entrance onto the property using 3"-6" fractured aggregate over geo-textile fabric over the first 20 feet of the property. If using an existing paved driveway, identify on EC Plan. Where vehicles or equipment will travel from an existing paved driveway to unpaved areas within the property, a stabilized transition point is required that meets the above standards.
 - Provide designated area(s) for parking of construction vehicles, using aggregate over geo-textile fabric.
 - Show all access roads/ramps and access points used by excavation equipment, trucks, or fork lifts/crane access (second floor construction). For unpaved routes, use ridges running diagonally across the road that run to a stabilized outlet. The type of materials used for stabilization and their locations shall be indicated on the EC Plan. Materials for this purpose are required to be stored on-site.
- Containment of Construction Materials and Waste**
 - Show location, installation and maintenance of a concrete/stucco mixer, washout, and pits. No concrete, mortar, or stucco washout is allowed to be placed directly on the soil/ground. Specify the method used to contain the washout.
 - Show location of portable toilets away from surface water locations and storm drain inlets.
 - Show storage location and containment of construction materials during work, as well as afterhours/weekends. Show the location of lumber, gravel, and materials storage areas on the EC Plan. Show how they will be accessed and show protection of the access routes.
 - Show areas and proposed protection of temporary stockpiles using anchored-down plastic sheeting in dry weather. The use of plastic sheeting during the wet season, Oct 1 through April 30, is not allowed, unless the stockpile is also protected with fiber rolls containing the base of the stockpile. Alternatively, in wet weather, or for longer storage, use seeding and mulching, soil blankets or mats.
 - Indicate the location of refuse piles and debris box locations on the EC Plan. Show how they will be accessed and show protection of the access routes.
- Construction Schedule**
 - Provide an anticipated construction schedule and/or construction duration (in weeks or months).
- Other Required Permits/Inspections**
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Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
Limit and time applications of pesticides and fertilizers to prevent polluted runoff.

Limit construction access routes to stabilized, designated access points.
Avoid tracking dirt or other materials off-site, clean off-site paved areas and sidewalks using dry sweeping methods.
Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and Construction Best Management Practices.
Placement of erosion materials at these locations are required on weekends and during rain events: (List locations)
The areas delineated on the plans for parking, grubbing, storage, etc., shall not be enlarged or "run over."
Construction sites are required to have erosion control materials on-site during the "off-season."
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ESCP GUIDELINES
12" = 1'-0"

1 ESCP - DEMO / GRADING PLAN
1" = 10'-0"

inf13
sensible | modern
architecture & design™

www.inf13.com

architect:

Bryan J. Hassemer, AIA

250 Lorraine Blvd.
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bryan@inf13.com
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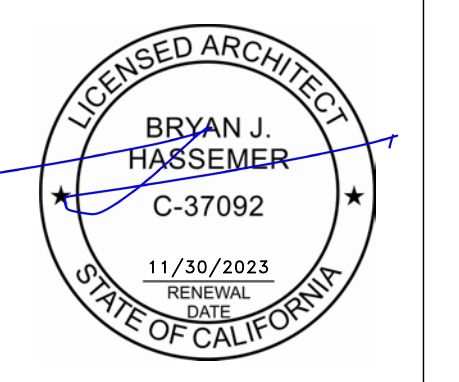
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4	DESIGN REVIEW PACKAGE	04/25/22



Bryan J. Hassemer, AIA
bryan@inf13.com
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506 EDGECLIFF
REDWOOD CITY, CA
LIVING PORCH
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EROSION & SEDIMENT
CONTROL PLAN

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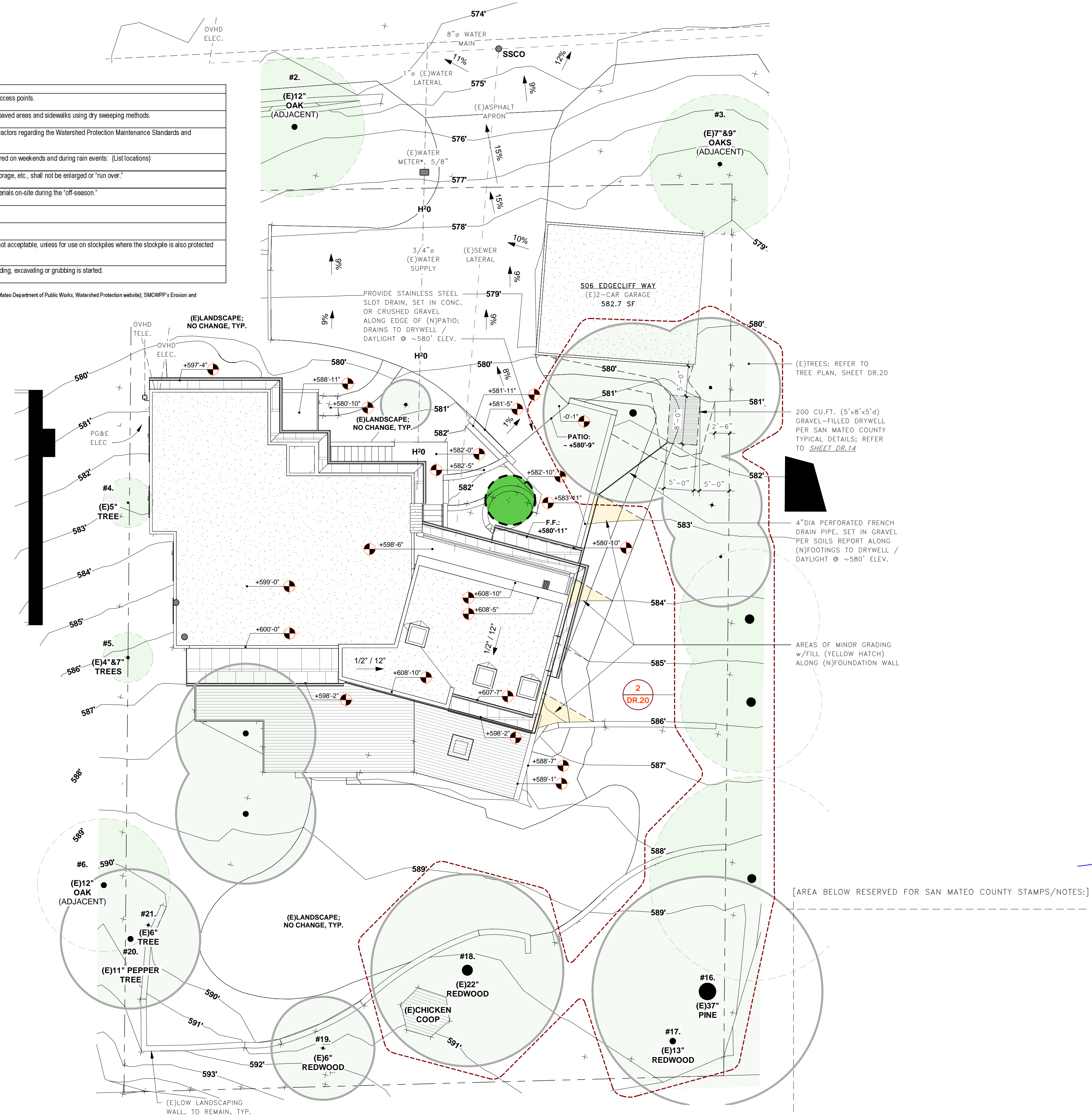
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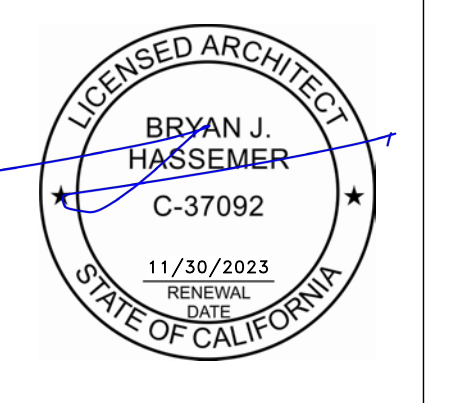
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No.	Description	Date
4	DESIGN REVIEW PACKAGE	04/25/22



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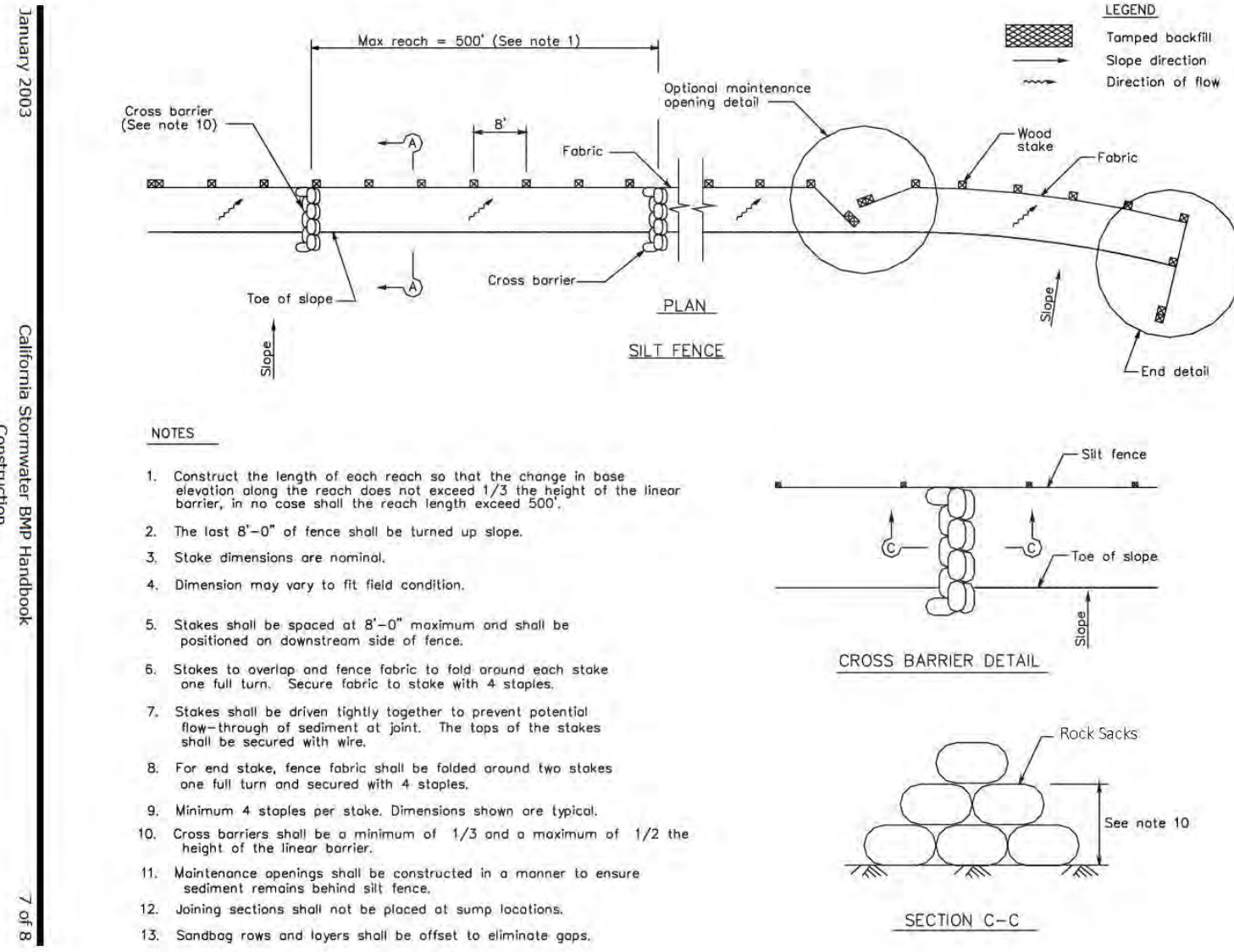
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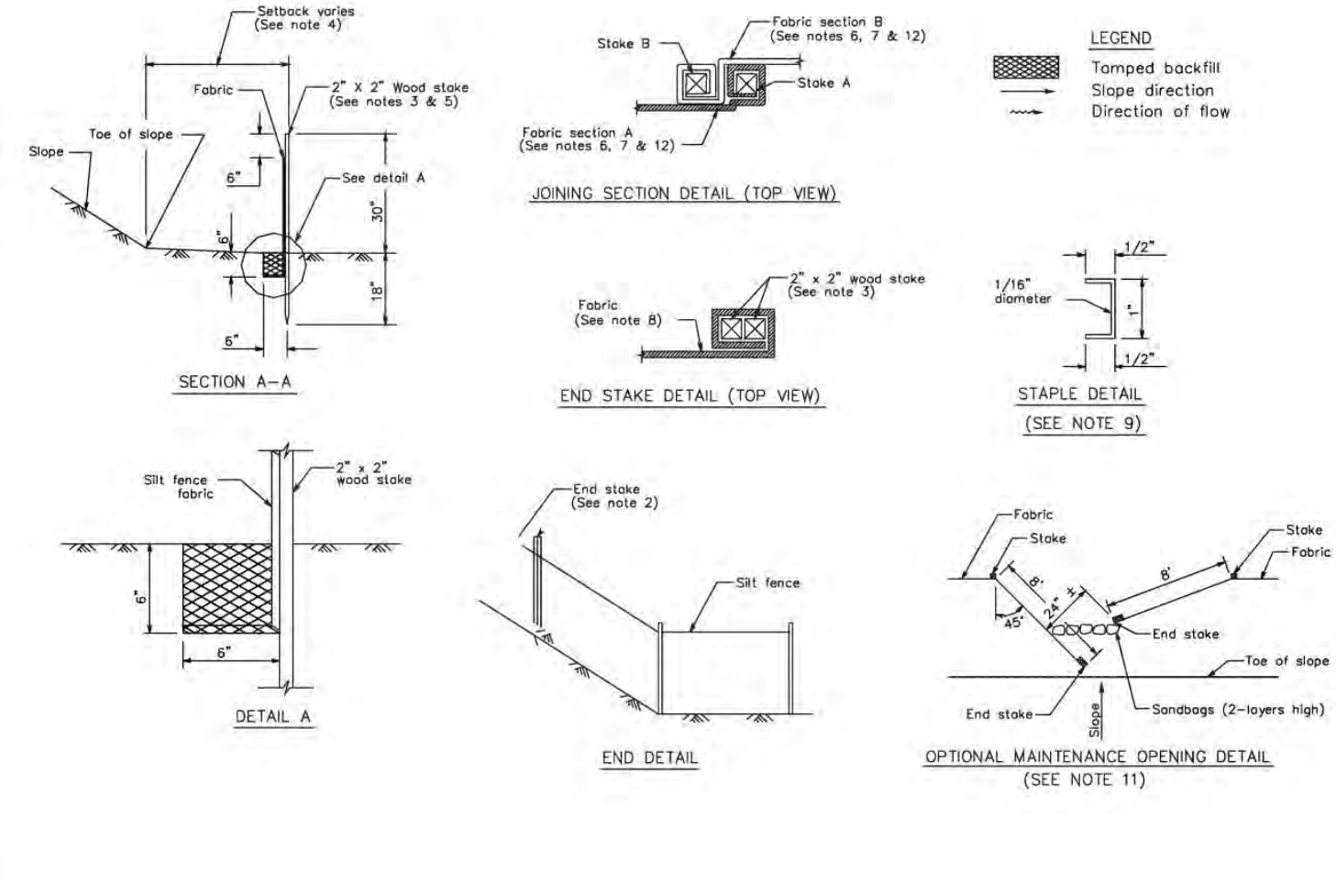
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Silt Fence

SE-1

California Stormwater BMP Handbook
 Construction
 www.casqa.org
 January 2003

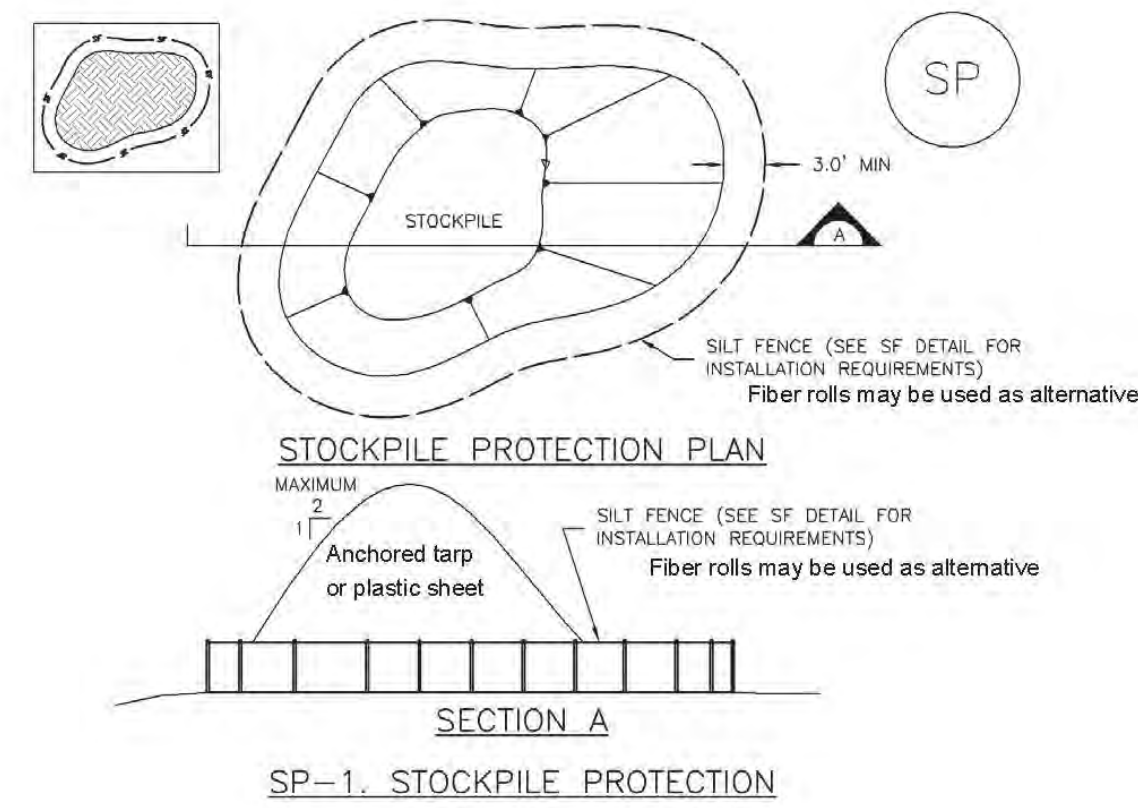


SE-1

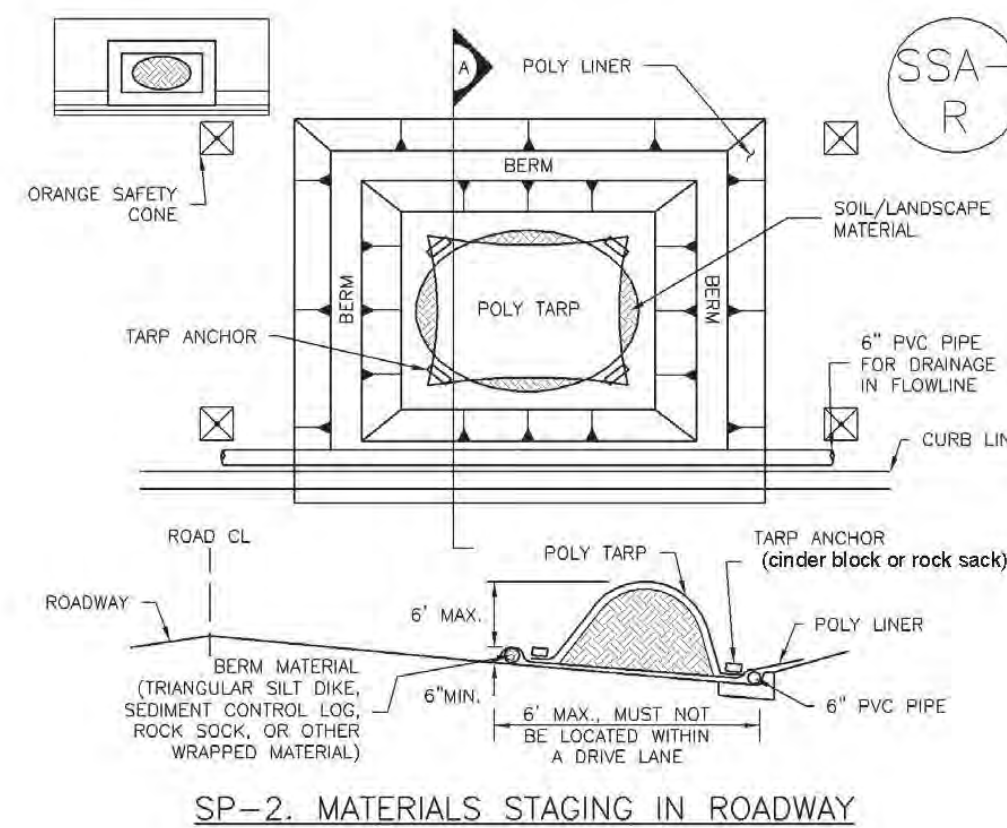
Silt Fence

3 SAN MATEO CO. - SILT FENCE
 12" = 1'-0"

Stockpile Management (SP)



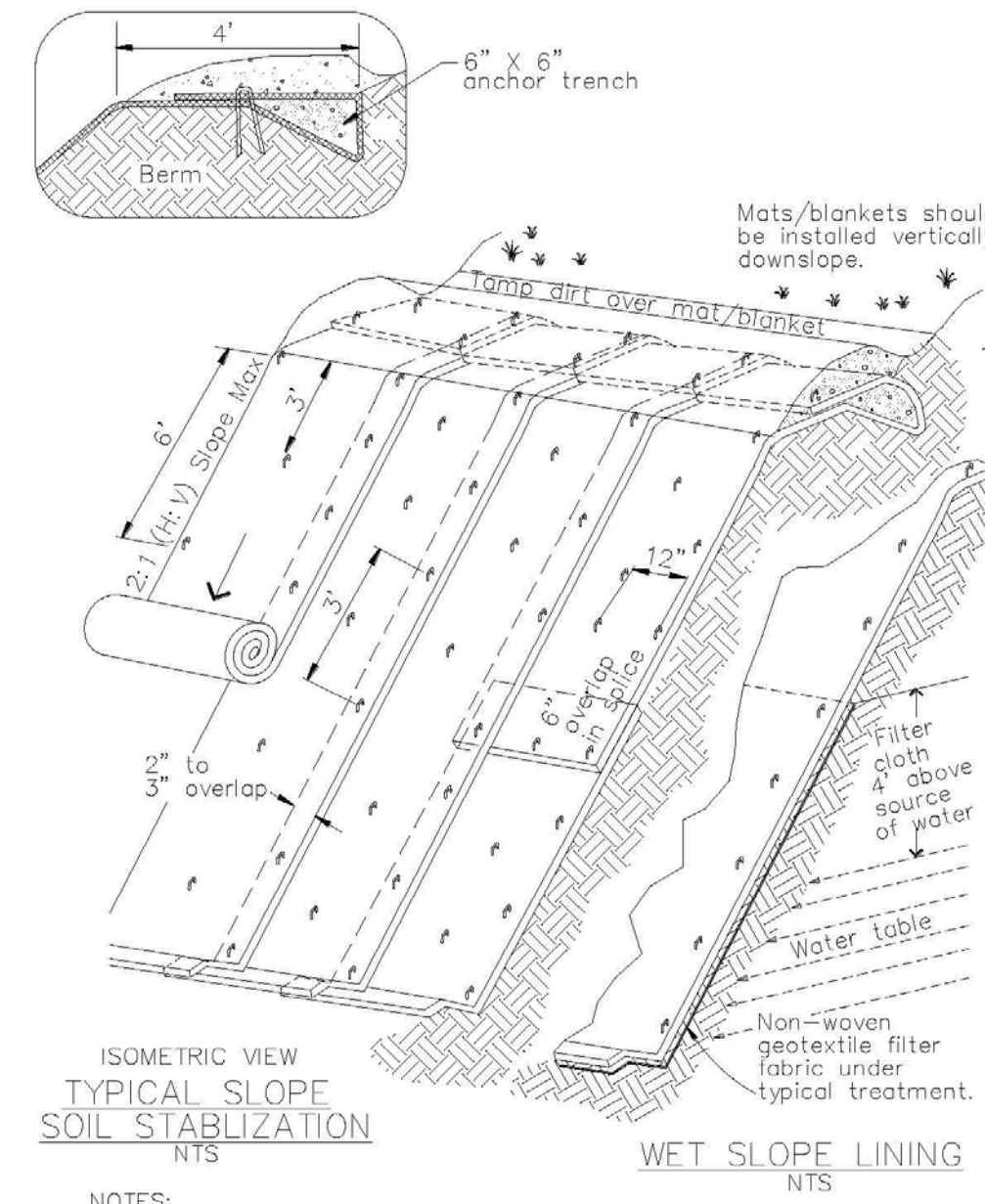
Stockpile Management (SP)



2 SAN MATEO CO. - STOCKPILE MGMNT.
 12" = 1'-0"

Geotextiles and Mats

EC-7



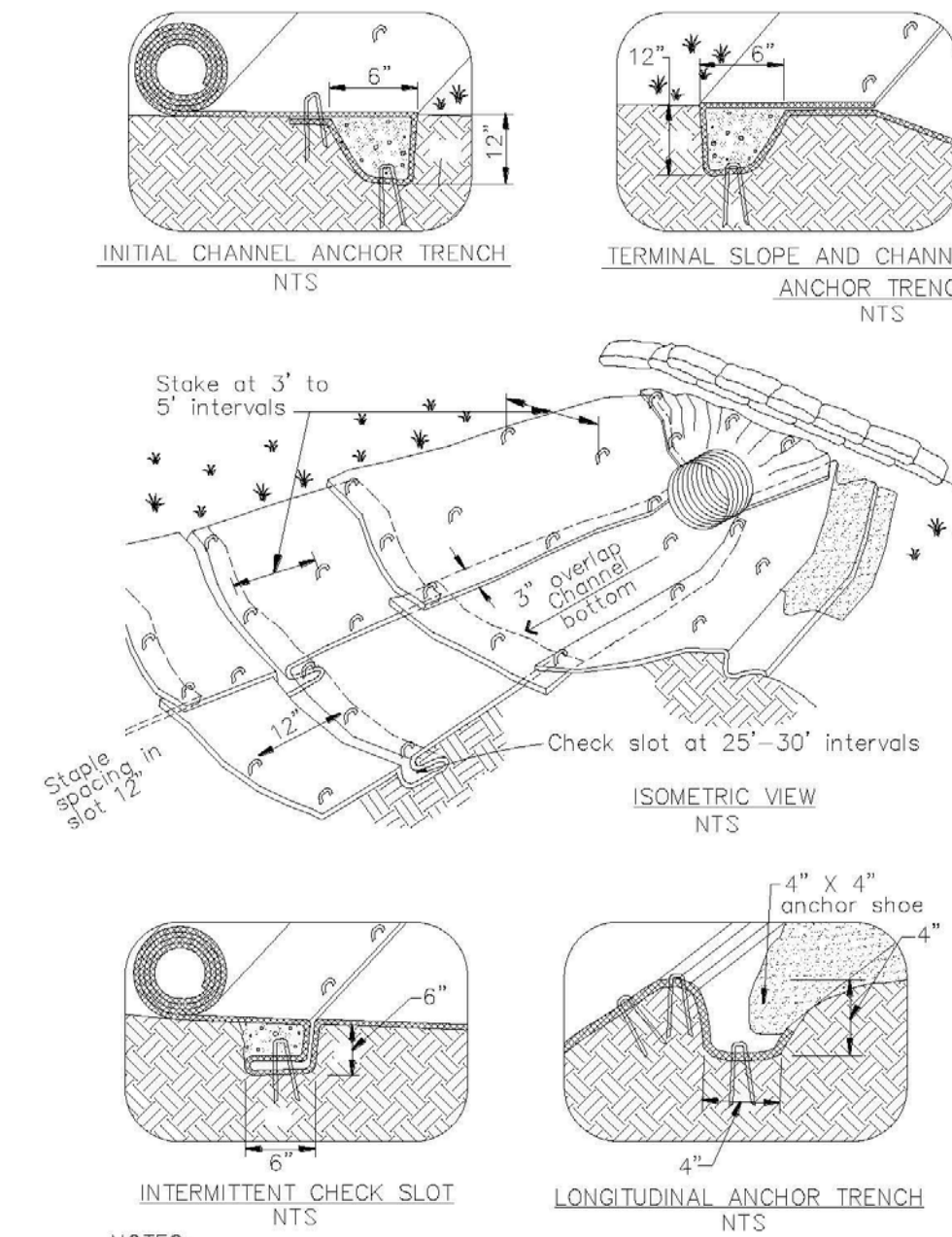
- NOTES:**
 1. Slope surface shall be free of rocks, clods, sticks and grass. Mats/blankets shall have good soil contact.
 2. Lay blankets loosely and stake or staple to maintain direct contact with the soil. Do not stretch.
 3. Install per manufacturer's recommendations

TYPICAL INSTALLATION DETAIL

July 2012 California Stormwater BMP Handbook Construction www.casqa.org 11 of 12

Geotextiles and Mats

EC-7



- NOTES:**
 1. Check slots to be constructed per manufacturer's specifications.
 2. Staking or stapling layout per manufacturer's specifications.
 3. Install per manufacturer's recommendations

TYPICAL INSTALLATION DETAIL

July 2012 California Stormwater BMP Handbook Construction www.casqa.org 12 of 12

1 SAN MATEO CO. - GEOTEXTILES & MATS
 12" = 1'-0"

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architect:

Bryan J. Hassemer, AIA

250 Lorraine Blvd.
 San Leandro, CA 94577

bryan@inf3.com
 530.448.0909

client:

Lucas & Jacqui Buchanan

506 Edgecliff Way
 Redwood City, CA 94602

consultant:

CHG Engineering, Inc.

9425 Sage Creek Ct.
 Elk Grove, CA 95624

209.450.9066

consultant:

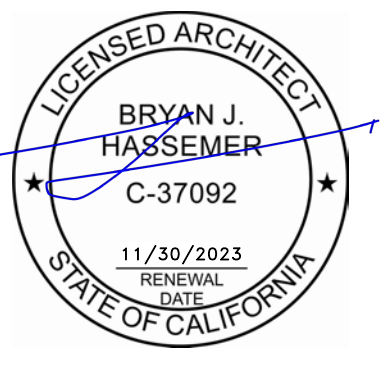
GeoForensics, Inc.

303 Vintage Park Dr., #220
 Foster City, CA 94404

650.349.3369

revisions:

No.	Description	Date
4	DESIGN REVIEW PACKAGE	04/25/22



Bryan J. Hassemer, AIA
 bryan@inf3.com
 530.448.0909

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

**506 EDGECLIFF
 REDWOOD CITY, CA
 LIVING PORCH
 & BEDROOM SUITE**

DESIGN REVIEW /
 SM Co. BMP DETAILS

inf3#: 20-015-01
 date: 04/25/22
 drawn: BJH
 page#: 4 of 13

DR.11

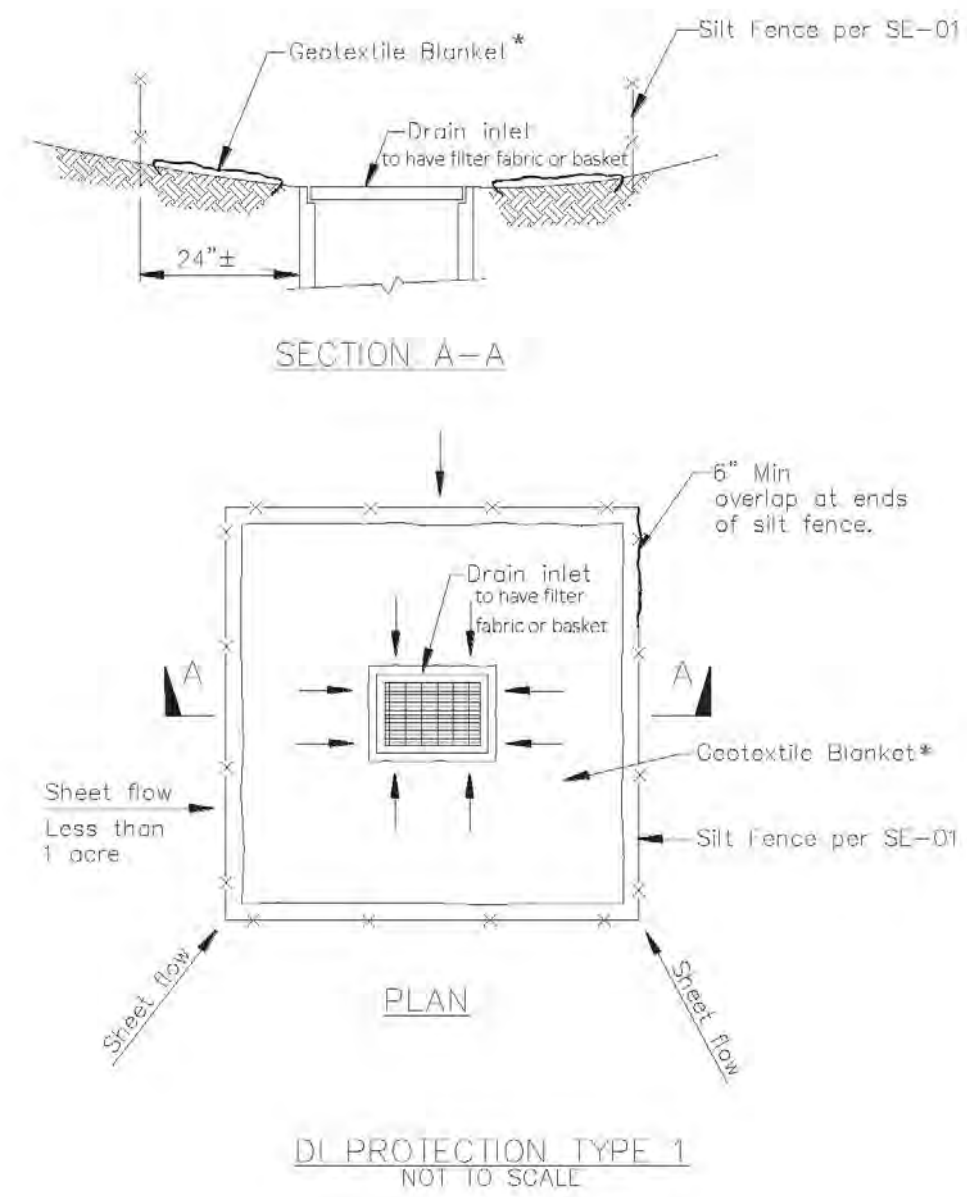
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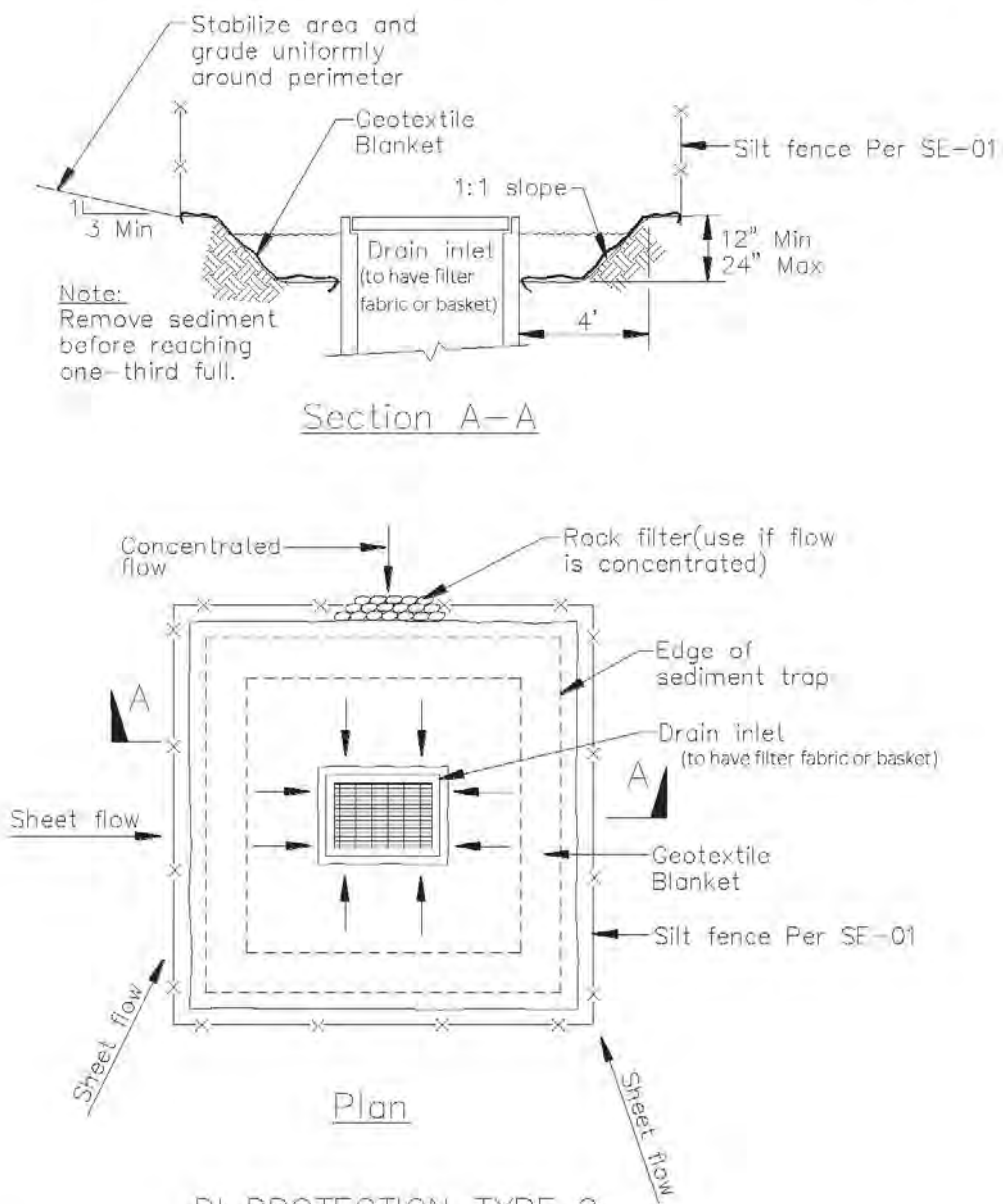
Storm Drain Inlet Protection SE-10



DI PROTECTION TYPE 1
NOT TO SCALE

NOTES:
1. For use in areas where grading has been completed and final soil stabilization and seeding are pending.
2. Not applicable in paved areas.
3. Not applicable with concentrated flows.

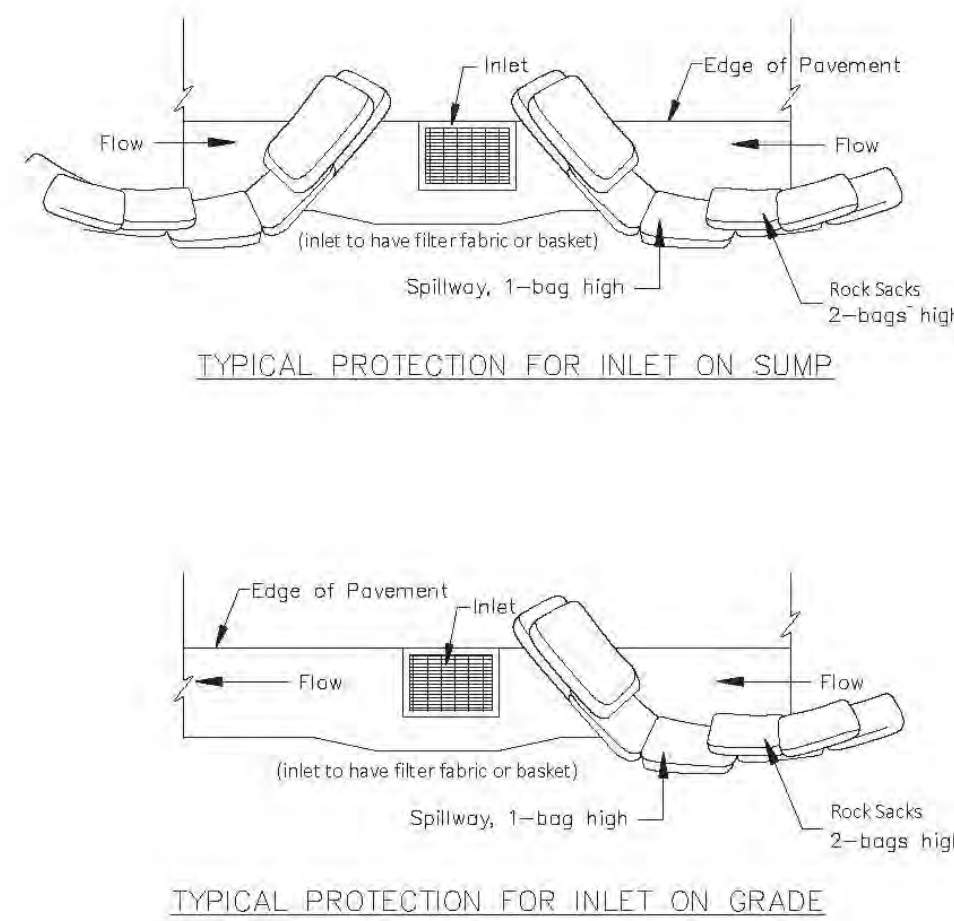
Storm Drain Inlet Protection SE-10



DI PROTECTION TYPE 2
NOT TO SCALE

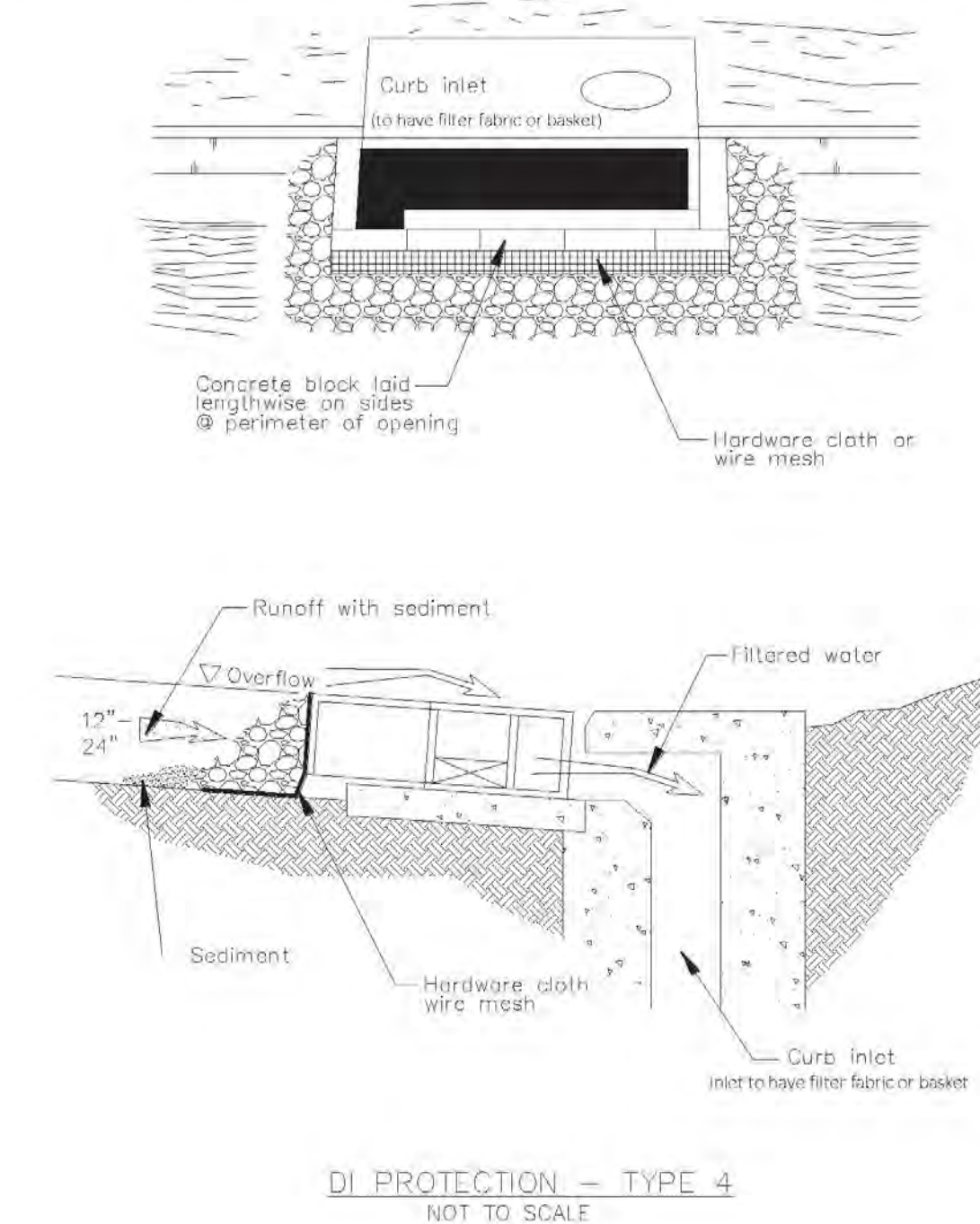
Notes:
1. For use in cleared and grubbed and in graded areas.
2. Shape basin so that longest inflow area faces longest length of trap.
3. For concentrated flows, shape basin in 2:1 ratio with length oriented towards direction of flow.

Storm Drain Inlet Protection SE-10



NOTES:
1. Intended for short-term use.
2. Use to inhibit non-storm water flow.
3. Allow for proper maintenance and cleanup.
4. Bags must be removed after adjacent operation is completed.
5. Not applicable in areas with high silts and clays without filter fabric.
6. Protection can be effective even if it is not immediately adjacent to the inlet provided that the inlet is protected from potential sources of pollution.

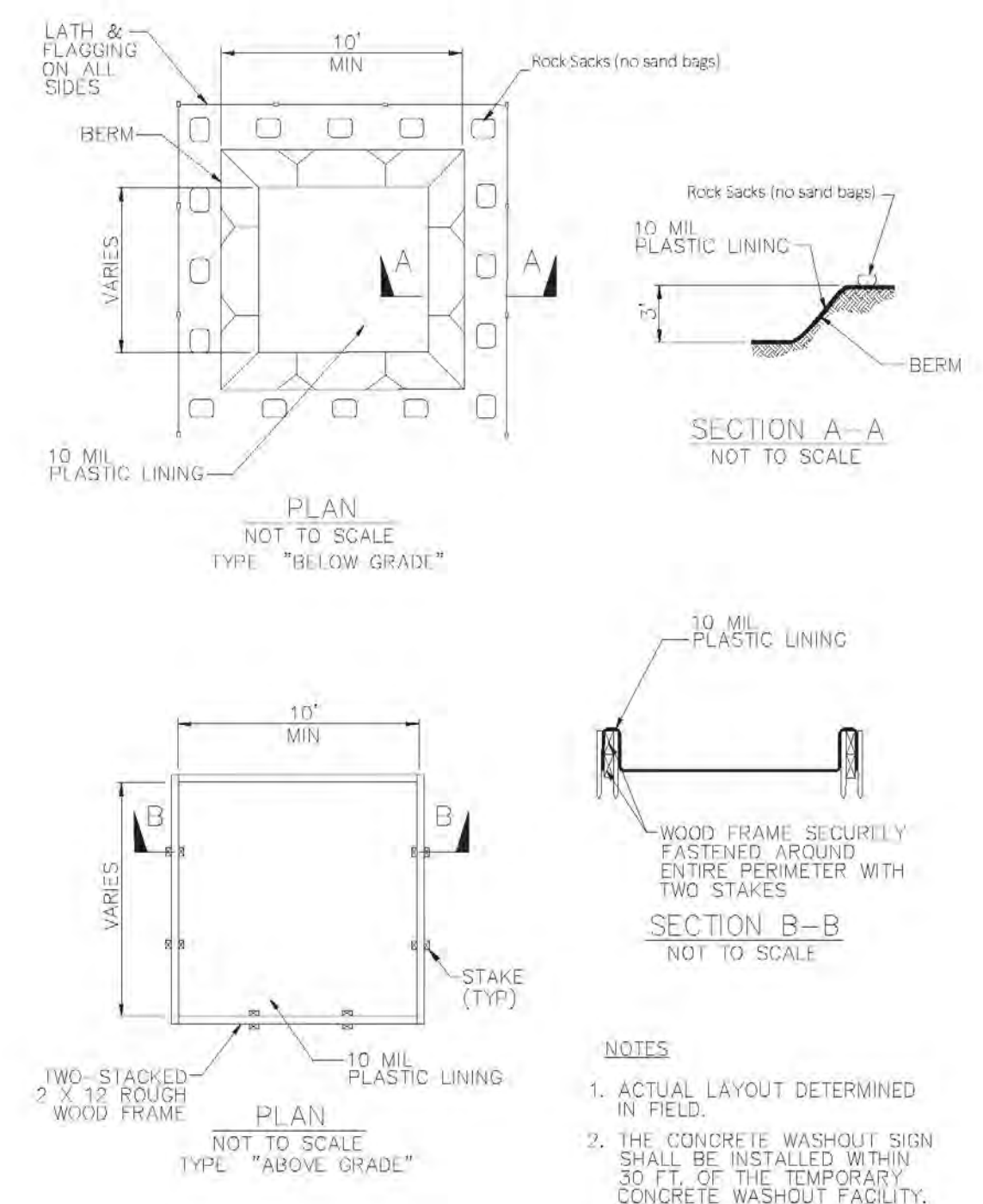
Storm Drain Inlet Protection SE-10



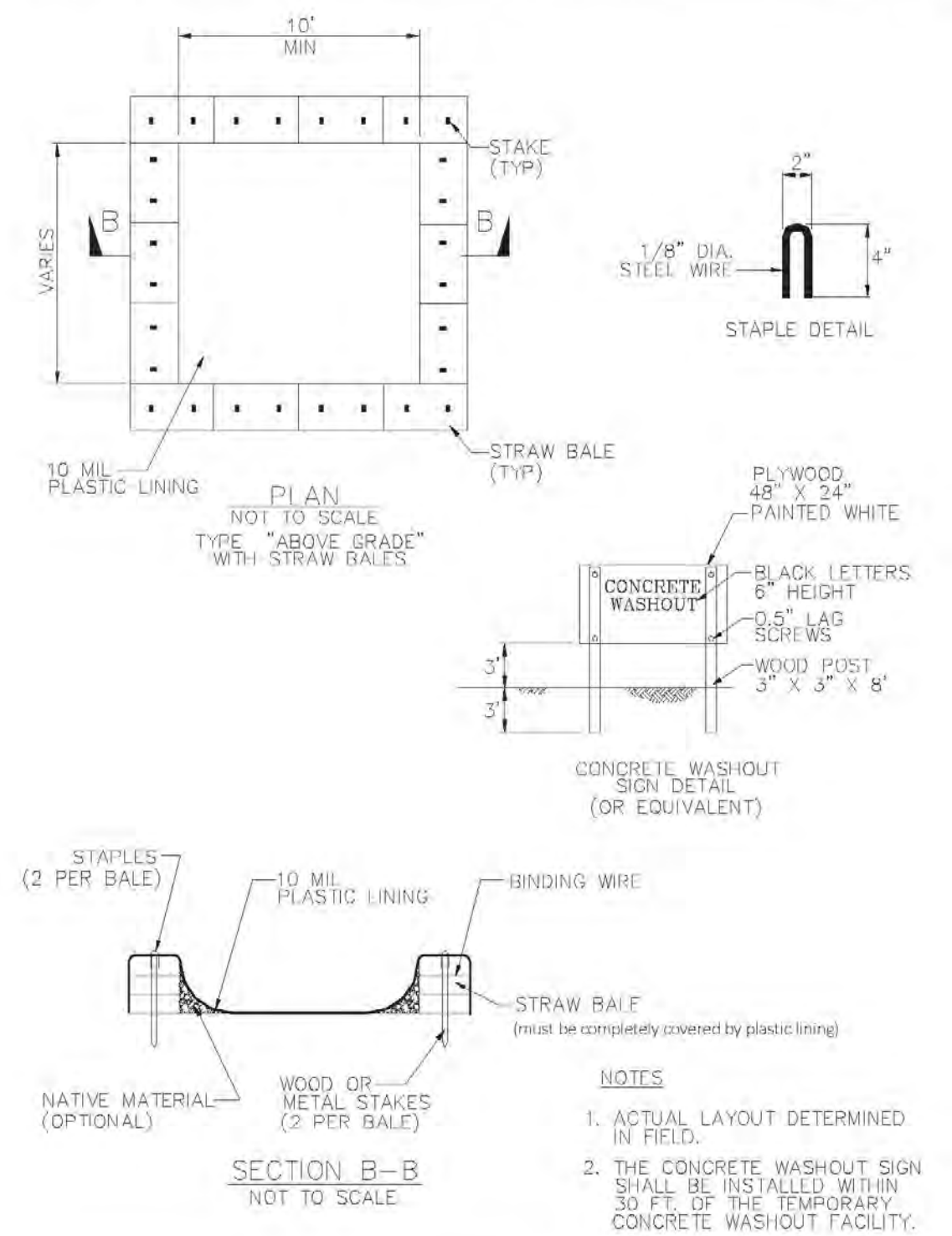
DI PROTECTION - TYPE 4
NOT TO SCALE

3 SAN MATEO CO. - STORM DRAIN INLET MGMNT.
12" = 1'-0"

Concrete Waste Management WM-8

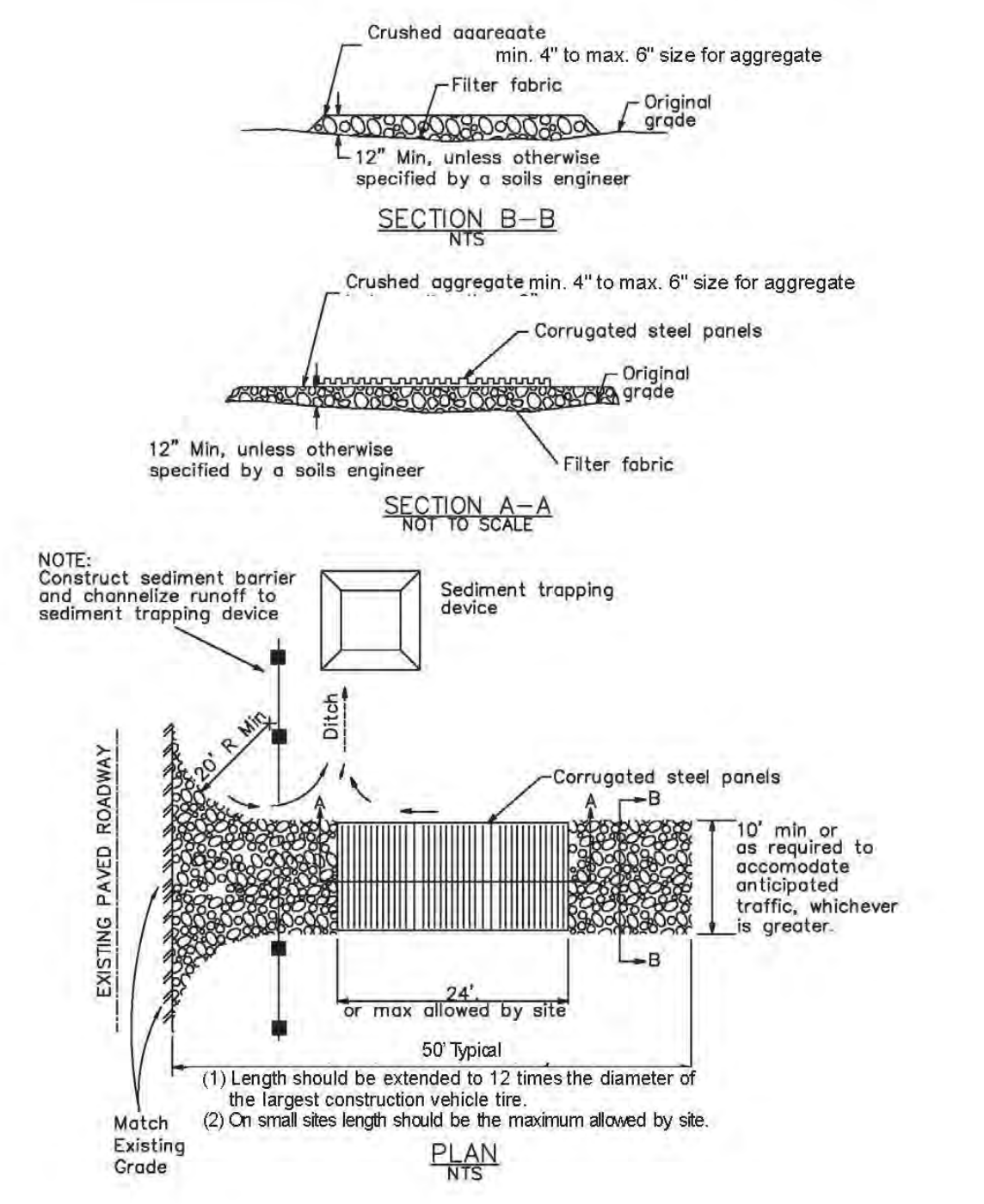


Concrete Waste Management WM-8



2 SAN MATEO CO. - CONC. WASHOUT MGMNT.
12" = 1'-0"

Stabilized Construction Entrance/Exit TC-1



1 SAN MATEO CO. - STABILIZED SITE ACCESS
12" = 1'-0"

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www.inf3.com

architect:

Bryan J. Hassemer, AIA

250 Lorraine Blvd.
San Leandro, CA 94577

bryan@inf3.com
530.448.0909

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consultant:

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Elk Grove, CA 95624

209.450.9066

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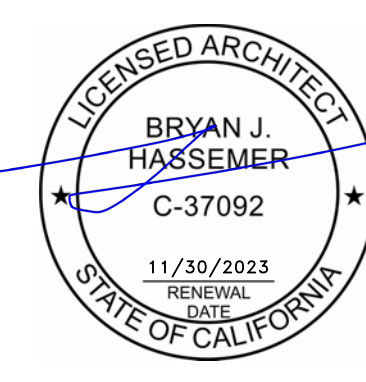
GeoForensics, Inc.

303 Vintage Park Dr., #220
Foster City, CA 94404

650.349.3369

revisions:

No.	Description	Date
4	DESIGN REVIEW PACKAGE	04/25/22



Bryan J. Hassemer, AIA
bryan@inf3.com
530.448.0909

**506 EDGECLIFF
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& BEDROOM SUITE**

DESIGN REVIEW /
SM Co. BMP NOTES

inf3#: 20-015-01
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CHECK BY: R.O. DATE: 6/95
APPROVED BY: N.R.C. REVISED: _____

**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
STANDARD SPECIFICATIONS**

GENERAL NOTES

- ALL REFERENCES TO "DISTRICT" IN THESE GENERAL NOTES SHALL MEAN THE APPROPRIATE COUNTY SEWER OR SANITATION DISTRICT.
- THE APPROVAL OF THESE PLANS BY THE DISTRICT SHALL BE INTERPRETED TO MEAN THAT THE SANITARY SEWER DESIGN SHOWN ON THESE PLANS MEETS THE DISTRICT'S STANDARDS. THE DISTRICT'S APPROVAL IN NO WAY GUARANTEES ANY OTHER ASPECT OF THIS PLAN OR ITS ACCURACY RELATIVE TO ACTUAL FIELD CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE DISTRICT AT 363-4765 OR 363-4100 TWO (2) WORKING DAYS IN ADVANCE OF BEGINNING ANY SANITARY SEWER WORK. THE CONTRACTOR SHALL THEREAFTER KEEP THE INSPECTOR FOR THE DISTRICT INFORMED OF HIS SCHEDULE FOR SANITARY SEWER WORK.
- ALL SANITARY SEWER WORK CONSTRUCTED WITHOUT INSPECTION BY THE DISTRICT SHALL BE REMOVED AND RECONSTRUCTED WITH INSPECTION.
- THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FORTY-EIGHT (48) HOURS IN ADVANCE OF BEGINNING ANY WORK.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE BEGINNING ANY EXCAVATING.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE COUNTY OR CITY BEFORE BEGINNING ANY SANITARY SEWER WORK.
- UPON THE COMPLETION OF CONSTRUCTION A COMPLETE SET OF REPRODUCIBLE "AS-CONSTRUCTED" PLANS SHALL BE PROVIDED TO THE DISTRICT.
- SANITARY SEWER SERVICE SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL USE WHATEVER MEANS ARE NECESSARY (E.G. PUMPS, ETC.) TO MAINTAIN THIS SERVICE DURING CONSTRUCTION.
- PRIOR TO COMMENCING ANY SANITARY SEWER WORK IN OFF-SITE EASEMENTS THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH ADEQUATE EVIDENCE THAT ALL AFFECTED PROPERTY OWNERS (AND TENANTS WHERE APPLICABLE) WERE NOTIFIED WELL IN ADVANCE OF THE DATE WORK IN THESE EASEMENTS WAS TO BEGIN AND THAT THEY HAVE UPDATED THAT NOTICE IN A TIMELY MANNER WHEN THOSE DATES HAVE CHANGED.

C-13

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**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
STANDARD SPECIFICATIONS**

PIPE AND FITTINGS

POLYVINYL CHLORIDE PIPE (PVC)

- ALL PIPE AND FITTINGS SHALL CONFORM TO ASTM SPECIFICATIONS D3034, SDR 35.
- ALL JOINTS SHALL BE A BELL AND SPIGOT ASSEMBLY WITH ELASTOMERIC SEALING GASKETS. SEALING GASKETS SHALL MEET THE REQUIREMENTS OF ASTM SPECIFICATION D1869. SOLVENT CEMENT JOINTS ARE NOT PERMITTED.
- ALL PIPE ENTERING OR LEAVING A CONCRETE STRUCTURE SHALL HAVE A RUBBER WATERSTOP GASKET ATTACHED TO IT. THE WATERSTOP GASKET SHALL CONFORM TO THE PIPE MANUFACTURER'S SPECIFICATIONS. THE WATERSTOP GASKET SHALL BE SEATED FIRMLY AROUND THE PIPE EXTERIOR AND BE CAST INTO THE CONCRETE STRUCTURE.
- ALL PIPE JOINTS SHALL BE MADE USING MANUFACTURED PVC COUPLINGS. BAND TYPE COMPRESSION COUPLINGS ARE NOT PERMITTED.

DUCTILE IRON PIPE (DIP)

- ALL PIPE SHALL BE THICKNESS CLASS 50 (FOUR INCH PIPE SHALL BE THICKNESS CLASS 51) IN ACCORDANCE WITH ANSI SPECIFICATIONS A21.51. FITTINGS SHALL BE IN ACCORDANCE WITH ANSI SPECIFICATION A21.10.
- JOINTS SHALL BE PUSH-ON TYPE OR MECHANICAL JOINT TYPE IN ACCORDANCE WITH ANSI SPECIFICATION A21.11. RUBBER GASKETS FOR PUSH-ON JOINTS SHALL BE IN ACCORDANCE WITH ANSI SPECIFICATIONS HEREIN.
- PIPE AND FITTINGS SHALL HAVE A BITUMINOUS COATING OUTSIDE IN ACCORDANCE WITH ASTM SPECIFICATION A746-86, UNLESS OTHERWISE SPECIFIED HEREIN.
- PIPE AND FITTINGS SHALL HAVE A 1/16" (ONE-SIXTEENTH INCH) CEMENT-MORTAR LINING WITH AN ASPHALTIC SEAL COAT.

VITRIFIED CLAY PIPE (VCP)

- PIPE AND FITTINGS SHALL BE EXTRA STRENGTH, UNGLAZED, BELL AND SPIGOT, CONFORMING TO THE LATEST REVISION OF ASTM SPECIFICATION C700.
- JOINTS SHALL BE A BELL AND SPIGOT ASSEMBLY WITH FACTORY INSTALLED FLEXIBLE COMPRESSION TYPE GASKETS MADE OF PLASTICIZED POLYVINYL OR POLYURETHANE CONFORMING TO THE LATEST REVISION OF ASTM SPECIFICATIONS C425. BAND TYPE COUPLINGS ARE NOT ALLOW.

C-14

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**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
STANDARD SPECIFICATIONS**

PIPE AND FITTINGS

LATERAL CONNECTION INSTALLATION DETAIL ON EXISTING PIPE

C-8

SAN MATEO CO. SEWER NOTES:

SANITATION & DRAINAGE GENERAL NOTES:

- SLOPE GROUND SURFACES MIN. 2% AWAY FROM STRUCTURE FOR PATIOS AND 5% FOR LANDSCAPING.
- ALL DOWNSPOUTS SHALL LEAD TO A SPLASHBLOCK @ GRADE OR CONNECT w/4"o SOLID PIPE TO A DRYWELL PER SAN MATEO COUNTY DETAIL. 1/1A1.05.
- IF DRYWELL(S) INSTALLED, HOLD 5'-0", MIN. FROM ANY BUILDING & 5'-0", MIN. FROM PROPERTY LINE.
- GENERAL CONTRACTOR TO EXTEND SANITARY SEWER CONNECTION FROM NEW BATHROOM TO EXISTING MUNICIPAL SEWER SYSTEM LATERAL: 4"o CAST IRON (2% SLOPE) w/CLEANOUT - CONFIRM BACKFLOW PREVENTER IF MANHOLE RIM ELEVATION IS LESS THAN 12" BELOW BASEMENT LEVEL FIN. FLOOR ELEVATION.
- EXISTING WATER SERVICE AND WATER METER SIZE SHALL BE COORDINATED W/ FIRE SPRINKLER DESIGN (IF REQUIRED), SUBMITTED FOR DEFERRED REVIEW AND APPROVAL BY WOODSIDE FIRE PROTECTION DISTRICT.
- EXISTING UNDERGROUND UTILITIES TO BE REFERENCED FROM REDWOOD CITY, MAP ____ (TBD).
- SANITARY SEWER CONNECTION AND TESTING MUST BE MADE IN THE PRESENCE OF A SEWER DISTRICT REPRESENTATIVE.
- THE SEWER DISTRICT OFFICE SHALL BE CONTACTED (650-363-4100) TO SCHEDULE INSPECTIONS. INSPECTIONS MUST BE SCHEDULED A MINIMUM OF ONE WORKING DAY PRIOR TO THE INSPECTION. NO INSPECTIONS SHALL OCCUR ON FRIDAYS, WEEKENDS OR HOLIDAYS UNLESS SPECIAL ARRANGEMENTS ARE MADE WITH THE SEWER DISTRICT.
- CARE MUST BE TAKEN TO PROTECT THE EXISTING SEWER DISTRICT FACILITIES WHEN A NEW SEWER LATERAL AND CONNECTION IS INSTALLED. ANY DAMAGE TO THE SEWER DISTRICT FACILITIES DURING THE INSTALLATION OF THIS NEW LATERAL SHALL BE REPAIRED BY THE APPLICANT PER THE SEWER DISTRICT STANDARD DETAILS AND AT THE APPLICANT'S EXPENSE. THE SEWER DISTRICT MUST BE NOTIFIED OF ANY DAMAGES TO THE SANITARY SEWER FACILITIES AND ANY REPAIRS MUST BE INSPECTED BY A SEWER DISTRICT REPRESENTATIVE.
- A VIDEO INSPECTION OF THE SEWER MAIN (MANHOLE TO MANHOLE) WHERE THE NEW LATERAL CONNECTS TO THE SEWER DISTRICT MAIN OR THE EXISTING CONNECTION IS TO BE REMOVED SHALL BE PERFORMED BY THE APPLICANT OR CONTRACTOR AND SUBMITTED TO THE SEWER DISTRICT FOR REVIEW AFTER LATERAL CONNECTION HAS BEEN MADE OR THE MAIN REPAIRED. THE VIDEO INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS DESCRIBED IN THE SPECIAL PROVISIONS FOR CLOSED CIRCUIT TELEVISION INSPECTION OF SANITARY SEWER MAINS (A COPY CAN BE OBTAINED FROM OUR WEBSITE AT [HITE://PUBLICWORKS.SMCGOV.ORG/SEWER-SERVICES](http://PUBLICWORKS.SMCGOV.ORG/SEWER-SERVICES)). THE SEWER DISTRICT WILL REVIEW THE VIDEO INSPECTION TO DETERMINE WHETHER THE WORK PERFORMED IS ACCEPTABLE. ALL UNACCEPTABLE WORK SHALL BE CORRECTED TO THE SEWER DISTRICT'S SATISFACTION AT THE APPLICANT'S EXPENSE.

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architect:

Bryan J. Hassemer, AIA

250 Lorraine Blvd.
San Leandro, CA 94577

bryan@inf3.com
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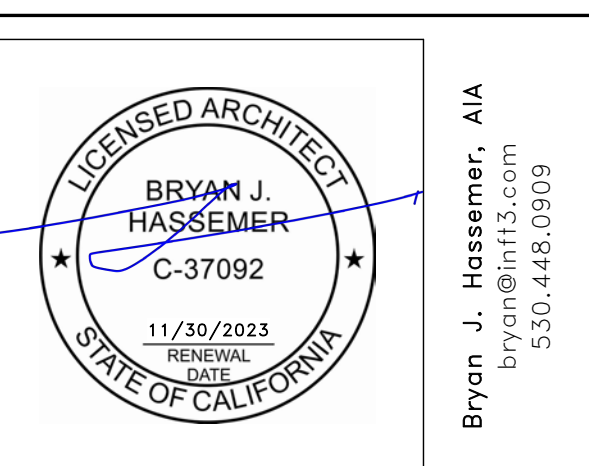
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Foster City, CA 94404

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4	DESIGN REVIEW PACKAGE	04/25/22



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**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
STANDARD SPECIFICATIONS**

TESTING REQUIREMENTS

- ALL REFERENCES TO "DISTRICT" IN THESE TESTING REQUIREMENTS SHALL MEAN THE APPROPRIATE COUNTY SEWER OR SANITATION DISTRICT.
- ALL REQUIRED CLEANING AND TESTING OF SANITARY SEWER MAINS AND LATERALS SHALL BE PERFORMED IN THE PRESENCE OF A REPRESENTATIVE OF THE DISTRICT.
- ALL SANITARY SEWER MAINS BEING CONSTRUCTED SHALL BE CLEANED BY MEANS OF A HIGH SPEED JET RODDER PRIOR TO TESTING. VCP AND DIP SHALL BE TESTED FOR OBSTRUCTION BY BALL ROLLING.
- ALL SANITARY SEWER MAINS BEING CONSTRUCTED SHALL PASS A LOW PRESSURE AIR TEST. EACH SECTION OF MAIN SHALL BE TESTED BETWEEN SUCCESSIVE MANHOLES. THE LOW PRESSURE AIR TEST SHALL BE CONDUCTED IN THE FOLLOWING MANNER.

A COMPRESSED AIR SUPPLY SHALL BE ATTACHED TO AN AIR FITTING ON THE MAIN AND THE AIR PRESSURE WITHIN THE LINE INCREASED TO FOUR (4) POUNDS PER SQUARE INCH. (PSI). AFTER THE AIR SUPPLY IS SECURELY TURNED OFF OR DISCONNECTED, THERE SHALL BE A TWO (2) MINUTE WAITING PERIOD BEFORE THE ACTUAL TEST PERIOD BEGINS TO ALLOW STABILIZATION OF AIR WITHIN THE MAIN.

IN NO CASE SHALL THE AIR PRESSURE WITHIN THE LINE BE LESS THAN 3.5 PSI AT THE BEGINNING OF THE TEST PERIOD. REFER TO THE CHART WHICH FOLLOWS FOR THE LENGTH OF THE TEST PERIOD. THE MINIMUM LENGTH OF TEST IS TWO (2) MINUTES. THE ALLOWABLE AIR PRESSURE LOSS DURING THE TEST PERIOD SHALL BE 1.0 PSI. A WRITTEN RECORD OF THE TEST SHALL BE SUBMITTED TO THE DISTRICT BY THE CONTRACTOR.

NOMINAL PIPE SIZE (inches)	LENGTH OF LINE (feet)	LENGTH OF TEST (minutes)
4	ALL	2
6	0 - 300	2
6	300 - 370	2 1/2
6	370 AND GREATER	3
8	0 - 170	2
8	170 - 210	2 1/2
8	210 - 250	3
8	250 - 290	3 1/2
8	290 AND GREATER	3 3/4
10	0 - 110	2
10	110 - 165	3
10	165 - 215	4
10	215 AND GREATER	4 3/4

C-15

SAN MATEO COUNTY DEPARTMENT
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CALIFORNIA

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APPROVED BY: N.R.C. REVISED: _____

- A TELEVISION INSPECTION SHALL BE MADE OF ALL SANITARY SEWER MAINS BEING CONSTRUCTED. IMMEDIATELY PRIOR TO TELEVISIONING THE SEWER, AN AMOUNT OF WATER ACCEPTABLE TO THE DISTRICT'S REPRESENTATIVE SHALL BE INTRODUCED INTO THE SEWER MAIN BEING INSPECTED.

A VIDEO TAPE IN VHS FORMAT AT SP, OR EQUIVALENT, SPEED SHALL BE MADE OF THE INSPECTION AND DELIVERED ALONG WITH A TYPED LOG OF THE INSPECTION TO THE DISTRICT (SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS) FOR REVIEW AND ACCEPTANCE.

SUBMITTED VIDEO TAPES SHALL INCLUDE A CONTINUOUS ON-SCREEN DISPLAY WHICH CONTAINS, AS A MINIMUM, THE DATE OF THE FILMING, IDENTIFICATION OF THE LINE AND SEGMENT (REACH) OF THE LINE BEING VIEWED, AND A READOUT, IN FEET, SHOWING THE DISTANCE TO THE ENTRY POINT.

IF, IN THE OPINION OF THE DISTRICT, THE SUBMITTED VIDEO TAPES ARE OF POOR QUALITY, THE DISTRICT MAY REJECT THE VIDEO TAPES AND REQUIRE THE VIDEO INSPECTION TO BE REPEATED AND NEW VIDEO TAPES SUBMITTED TO THE DISTRICT FOR REVIEW AND ACCEPTANCE. ALL VIDEO TAPES SHALL BECOME THE PROPERTY OF THE DISTRICT.

- DEFLECTION TESTING OF POLYVINYL CHLORIDE (PVC) SEWER MAINS SHALL BE PERFORMED AFTER THE PLACEMENT OF ALL TRENCH BACKFILL. PIPE DEFLECTION SHALL BE TESTED BY PULLING BY HAND A GO/NO-GO MANDREL THROUGH THE INSTALLED SECTIONS OF SEWER MAIN.

THE MANDREL USED SHALL HAVE A MINIMUM LENGTH EQUAL TO ITS DIAMETER. THE MANDREL SHALL BE CONSTRUCTED WITH A MINIMUM OF NINE (9) RIBS FABRICATED PARALLEL TO ITS LONGITUDINAL AXIS. BOTH THE DESIGN OF THE MANDREL AND THE FABRICATED MANDREL ITSELF SHALL BE INSPECTED AND APPROVED BY THE DISTRICT WELL IN ADVANCE OF THE DEFLECTION TEST.

THE MANDREL DIAMETER SHALL BE 95% OF THE PIPE'S AVERAGE INSIDE DIAMETER AS DEFINED BY ASTM SPECIFICATION D3034, AND AS DETAILED IN THE FOLLOWING TABLE:

NOMINAL PIPE SIZE (inches)	AVERAGE INSIDE DIAMETER (inches)	MINIMUM MANDREL DIAMETER (inches)
6	5.893	5.598
8	7.891	7.497
10	9.864	9.371

NOTE: AVERAGE INSIDE DIAMETER = AVERAGE OUTSIDE DIAMETER - 2(1.06)T; WHERE T = MINIMUM WALL THICKNESS AS DEFINED BY ASTM SPECIFICATION D3034.

C-16

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**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
STANDARD SPECIFICATIONS**

OVERFLOW AND BACKFLOW DEVICE DETAIL

C-9

3 SAN MATEO CO. - SEWER & SANITATION STANDARD SPEC'S
12" = 1'-0"

1 SAN MATEO CO. - BACKFLOW DETAIL
12" = 1'-0"

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

**506 EDGECLIFF
REDWOOD CITY, CA**

LIVING PORCH
& BEDROOM SUITE

SAN MATEO COUNTY -
DETAILS & NOTES

inf3#: 20-015-01
date: 04/25/22
drawn: BJH
page#: 15 of 35

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scale: 12" = 1'-0"

**506 EDGECLIFF
REDWOOD CITY, CA**

LIVING PORCH
& BEDROOM SUITE

SAN MATEO COUNTY -
DETAILS & NOTES

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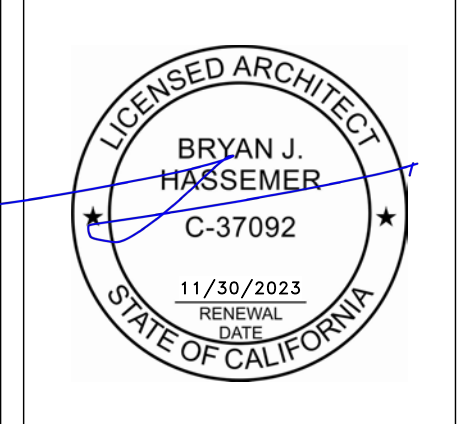
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Bryan J. Hassemer, AIA
bryan@inf3.com
530.448.0909

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SAN MATEO COUNTY -
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PRESCRIPTIVE DRAINAGE REQUIREMENTS

PRESCRIPTIVE DRAINAGE REQUIREMENTS

Prescriptive Design Measure Fact Sheet Dry Well

Design Checklist

- When installing a dry well, the following design criteria shall be followed:
 - Dry well is located at least 5 feet from property lines, 10 feet from building foundations, and 25 feet from septic tanks and dispersal fields.
 - In areas where information about the depth to groundwater is unknown, the maximum depth of the dry well shall be 5'.
 - Dry well is installed to intercept and collect runoff via a downspout from a roof or adjacent impervious area.
 - Utilities have been located before digging by calling USA North 811 at (800) 642-2444 or www.usanorth811.org at least two days before digging.
 - The soil under the dry well has been over-excavated to at least one foot in depth. The soil has been replaced uniformly without compaction, or amended with 15-30% of coarse sand and replaced without compaction.
 - Dry well is appropriately sized in accordance with the sizing table shown.
 - For dry wells with gravel fill use 2" diameter or greater stone.
 - A sedimentation basin or debris box has been installed, and a fine mesh screen has been installed on the inlet to prevent sediment and debris from entering the dry well.
 - An overflow has been incorporated in the dry well such that excess water will flow into the storm drain system or another pervious area and away from any nearby foundations or neighboring properties. Optional: An observation well consisting of a slotted or perforated pipe (typically PVC), 4 - 6 inches in diameter, capped with an above-ground, sealable lid has been incorporated into the dry well.

In the following table, fill in the contributing area that will be draining to the dry well and the volume of the dry well you are proposing to install at your property.

Project Contributing Area (sq. ft.)	Dry Well Type (with or without fill)	Dry Well Volume (cubic ft.)
830 SQ.FT.	WITH FILL	200 CU.FT.

Project Information

Owner Certification
As the owner of the project property, I hereby acknowledge that the above information is true, accurate and complete, to the best of my knowledge.
Signature: _____ Date: _____

December 2019

Prescriptive Design Measure Fact Sheet Dry Well

Operations & Maintenance

- Once a dry well is installed, the following maintenance criteria shall be followed in order to allow the measure to function properly:
 - Water level, drawdown time, and evidence of clogging will be monitored monthly during the rainy season.
 - Standing water will not remain above the dry well for more than 4 days. Extended periods of flooding may result in the breeding of mosquitoes or other vectors.
 - If roof downspouts are connected to the dry well, rain gutters and downspouts will be inspected and cleaned at least twice annually.
 - If the dry well ever becomes plugged and overflows on a continual basis, the dry well will be repaired or replaced as necessary, and gravel media fill will be cleaned or replaced to enhance the infiltration capacity.

Is a Dry Well Feasible at My Project?

Dry wells are appropriate where the following site characteristics are present:

- Roof areas with downspouts or other impervious areas can be connected to the dry well.
- Dry wells should be installed at least 5 feet from property lines, 10 feet from building foundations, and 25 feet from septic tanks and dispersal fields.
- Overflow from the dry well can be directed to a pervious area or storm drain system such that excess water will not flow towards any nearby foundations or neighboring properties.

How large does my dry well need to be?

A dry well should be sized to capture the runoff produced from the design storm over the connected impervious area, with account taken for any gravel or fill material that is used. This will ensure the capture and infiltration of the design storm volume. The following table should be used as minimum sizing guidance for dry wells.

Contributing Area (sq. ft.)	Dry Well Volume Without Fill (cubic ft)	Dry Well with Gravel Fill (cubic ft)
≤500	35	100
501 - 1,000	70	200
1,001 - 1,500	105	300
1,501 - 2,000*	140	400

* Projects adding roof or impervious areas in excess of 2,000 sq ft shall add 35 cubic ft of dry well volume (without fill) or 100 cubic ft of dry well volume (with gravel fill) per every 500 sq ft of additional area.

December 2019

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

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www.inf3.com
architect:
Bryan J. Hassemer, AIA
250 Lorraine Blvd.
San Leandro, CA 94577
bryan@inf3.com
530.448.0909

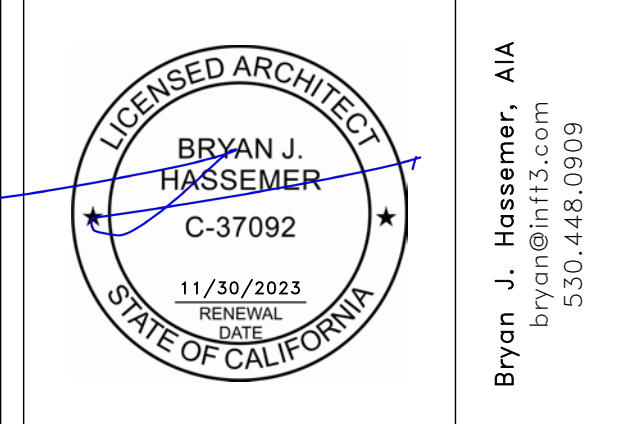
client:
Lucas & Jacqui Buchanan
506 Edgecliff Way
Redwood City, CA 94602

consultant:
CHG Engineering, Inc.
9425 Sage Creek Ct.
Elk Grove, CA 95624
209.450.9066

consultant:
GeoForensics, Inc.
303 Vintage Park Dr., #220
Foster City, CA 94404
650.349.3369

revisions:

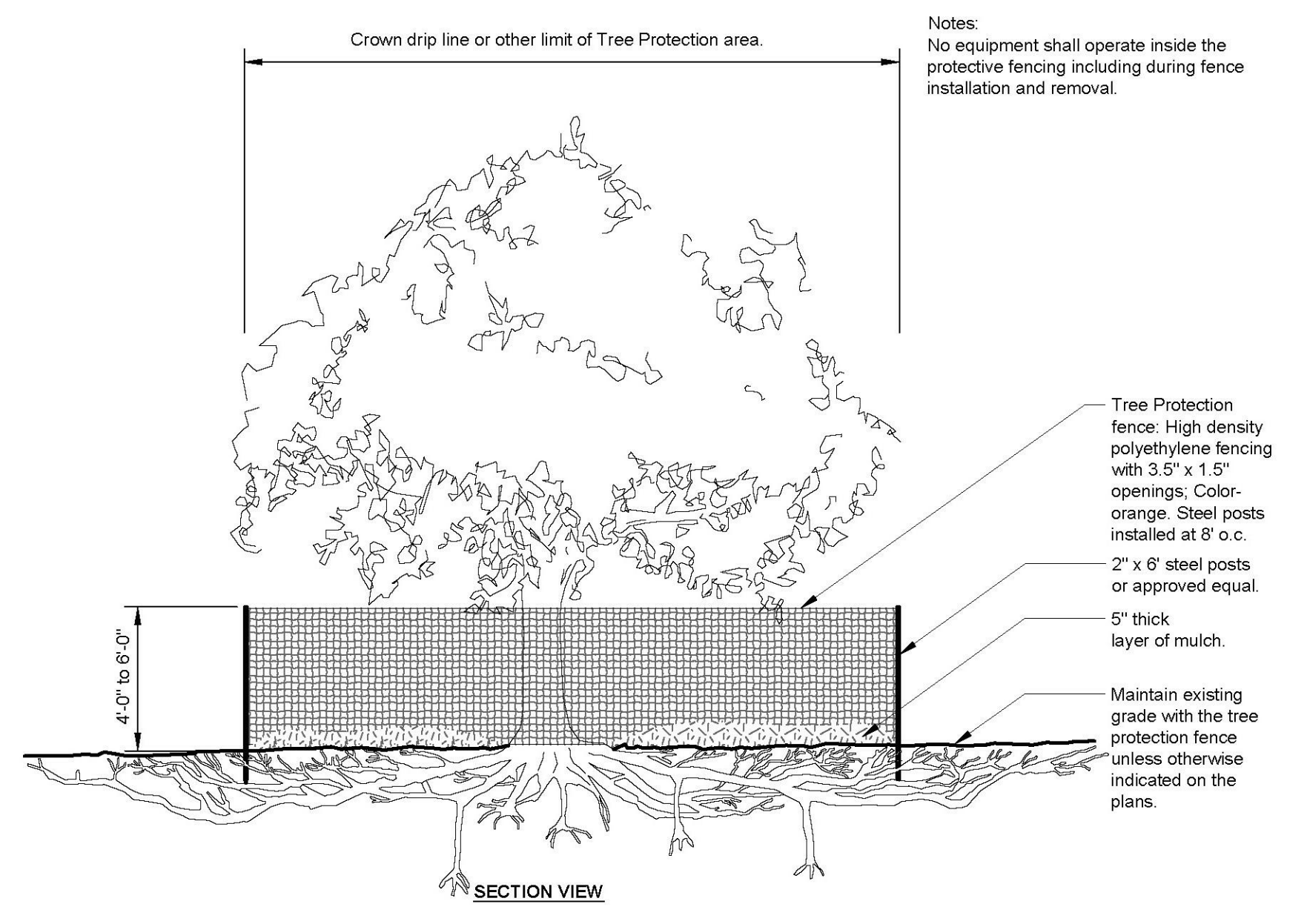
No.	Description	Date
4	DESIGN REVIEW PACKAGE	04/25/22



**506 EDGECLIFF
REDWOOD CITY, CA**
LIVING PORCH
& BEDROOM SUITE

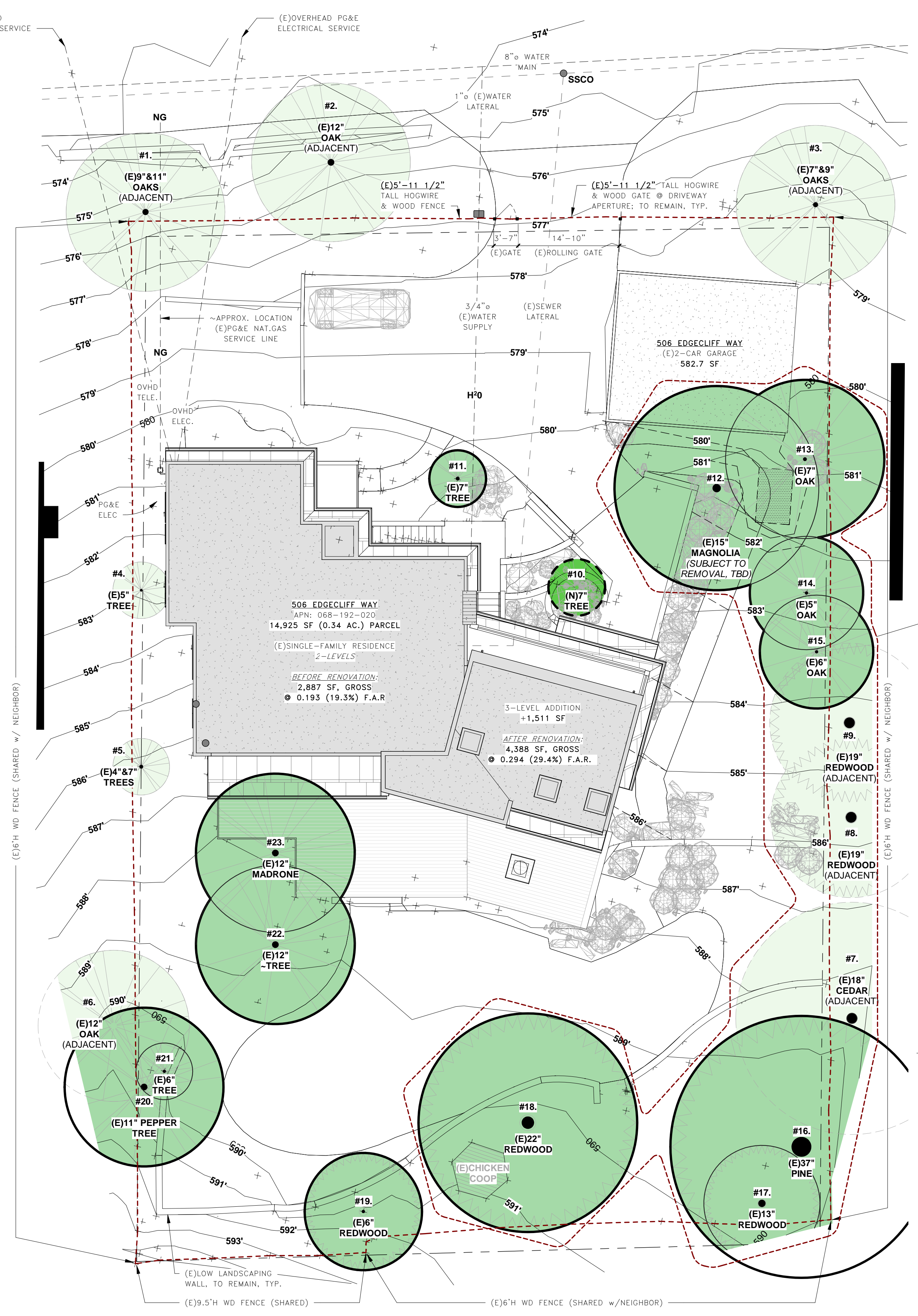
**DESIGN REVIEW /
TREE PLAN & NOTES**

inf3#:	20-015-01
date:	04/25/22
drawn:	BJH
page#:	17 of 35
scale:	As indicated



2 SAN MATEO CO. - TREE PROTECTION
1/2" = 1'-0"

NO.	(E)/(N)	TRUNK SIZE (DBH)	GENUS	SPECIES	COMMON NAME
#1	(E)	9" & 11"	QUERCUS	AGRIFOLIA	COAST LIVE OAK
#2	(E)	12"	QUERCUS	AGRIFOLIA	COAST LIVE OAK
#3	(E)	7" & 9"	QUERCUS	AGRIFOLIA	COAST LIVE OAK
#4	(E)	5"	UNKNOWN		
#5	(E)	4" & 7"	UNKNOWN		
#6	(E)	12"	QUERCUS	AGRIFOLIA	COAST LIVE OAK
#7	(E)	18"	THUJA	PLICATA	WESTERN RED CEDAR
#8	(E)	19"	SEQUOIA	SEMPERVIRENS	COAST REDWOOD
#9	(E)	19"	SEQUOIA	SEMPERVIRENS	COAST REDWOOD
#10	(N)	7"	TBD		
#11	(E)	7"	UNKNOWN		
#12	(E)	15"	MAGNOLIA	GRANDIFLORA	
#13	(E)	7"	QUERCUS	AGRIFOLIA	COAST LIVE OAK
#14	(E)	5"	QUERCUS	AGRIFOLIA	COAST LIVE OAK
#15	(E)	6"	QUERCUS	AGRIFOLIA	COAST LIVE OAK
#16	(E)	37"	PINUS	PONDEROSA	PONDEROSAL PINE
#17	(E)	13"	SEQUOIA	SEMPERVIRENS	COAST REDWOOD
#18	(E)	22"	SEQUOIA	SEMPERVIRENS	COAST REDWOOD
#19	(E)	6"	SEQUOIA	SEMPERVIRENS	COAST REDWOOD
#20	(E)	6"	SCHINUS	MOLLE	PEPPERTREE
#21	(E)	6"	UNKNOWN		
#22	(E)	12"	UNKNOWN		
#23	(E)	12"	ARBUTUS	MENZIESII	PACIFIC MADRONE



[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

1 EXISTING / NEW - TREE PLAN & SCHEDULE
1" = 10'-0"

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PRESCRIPTIVE APPROACH
(For 500 - 2,500 sq ft of new landscape area or aggregate new and rehabilitated landscape area OR 2,500 sq ft of rehabilitated landscape area)

Plant Material (Title 23, Chapter 2.7, Appendix D (b) (3))

- For residential areas, 75% of landscape, excluding edibles and areas using recycled water, shall consist of plants that average a WUCOLS plant factor of 0.3. WUCOLS plants database can be found online at: <http://ucanr.edu/sites/WUCOLS/>
- For non-residential areas, 100% of the plants, excluding edibles and areas using recycled water, shall consist of plants that average a WUCOLS plant factor of 0.3.
- Pools and water features are included in landscape square footage for one-family and two-family dwellings
- The following WUCOLS plant factors shall be used in calculating the average WUCOLS plant factor:
 - Very low = .1
 - Low = .2
 - Moderate = .5
 - High = .85
- The following formula shall be used to calculate the average WUCOLS factor:
 $[(\# \text{ of Very low water use plants} \times 0.1) + (\# \text{ of Low water use plants} \times 0.2) + (\# \text{ of Moderate water use plants} \times 0.5) + (\# \text{ of High water use plants} \times 0.85)] / \text{Total number of plants} = \text{WUCOLS average for project}$
- Include a landscape and irrigation design plan.
- Include square footages of new landscaping and rehabilitated landscaping.
- Include a plant list on the landscape plan that identifies all plant material by botanical names and common names, WUCOLS factor, Sunset and/or USDA Hardiness zone, and the total quantity of each plant.
 - The average spread of each tree shall be noted on the plant list.
- Add note to plans: "A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated."

Turf (Title 23, Chapter 2.7, Appendix D (b) (4))

- Turf is considered living plant material. MVELO regulations do not apply to artificial turf.
- Note areas of existing turf and new turf and the square footage of each.
- Add note to plans: "Turf shall not exceed 25% of the landscape area in residential areas."
- Add note to plans: "No turf permitted in non-residential areas."
- Add note to plans: "Turf not permitted on slopes greater than 25%."
- Add note to plans: "Turf is prohibited in parkways less than 10 feet wide."

Irrigation (Title 23, Chapter 2.7, Appendix D (b) (5))

- The irrigation plans, at a minimum, shall contain the following:
 - Location and size of water meters for landscape (if a separate water meter is installed)
 - Location, type, and size of all components of the irrigation system, including, at a minimum, main and lateral lines
- Add note to plans: "Automatic weather-based or soil-moisture based irrigation controllers shall be installed on the irrigation system."
- Add note to plans: "Pressure regulators shall be installed on the irrigation system to ensure dynamic pressure of the system is within the manufacturer's recommended pressure range."
- Add note to plans: "Manual-shut-off valves shall be installed as close as possible to the point of connection of the water supply."
- Add note to plans: "Areas less than 10-feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray."
- Add note to plans: "For non-residential projects with landscape areas of 1,000 sq. ft. or more, private sub-meter(s) to measure landscape water use shall be installed."
- Add note to plans: "At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance."
- Add note to plans: "Unless contradicted by a soils test, compost at a rate of a minimum of four cubic yards per 1,000 sq. ft. of permeable area shall be incorporated to a depth of six inches into the soil."

2 CA WATER BOARD - LANDSCAPE / PRESCRIPTIVE APPROACH

12" = 1'-0"

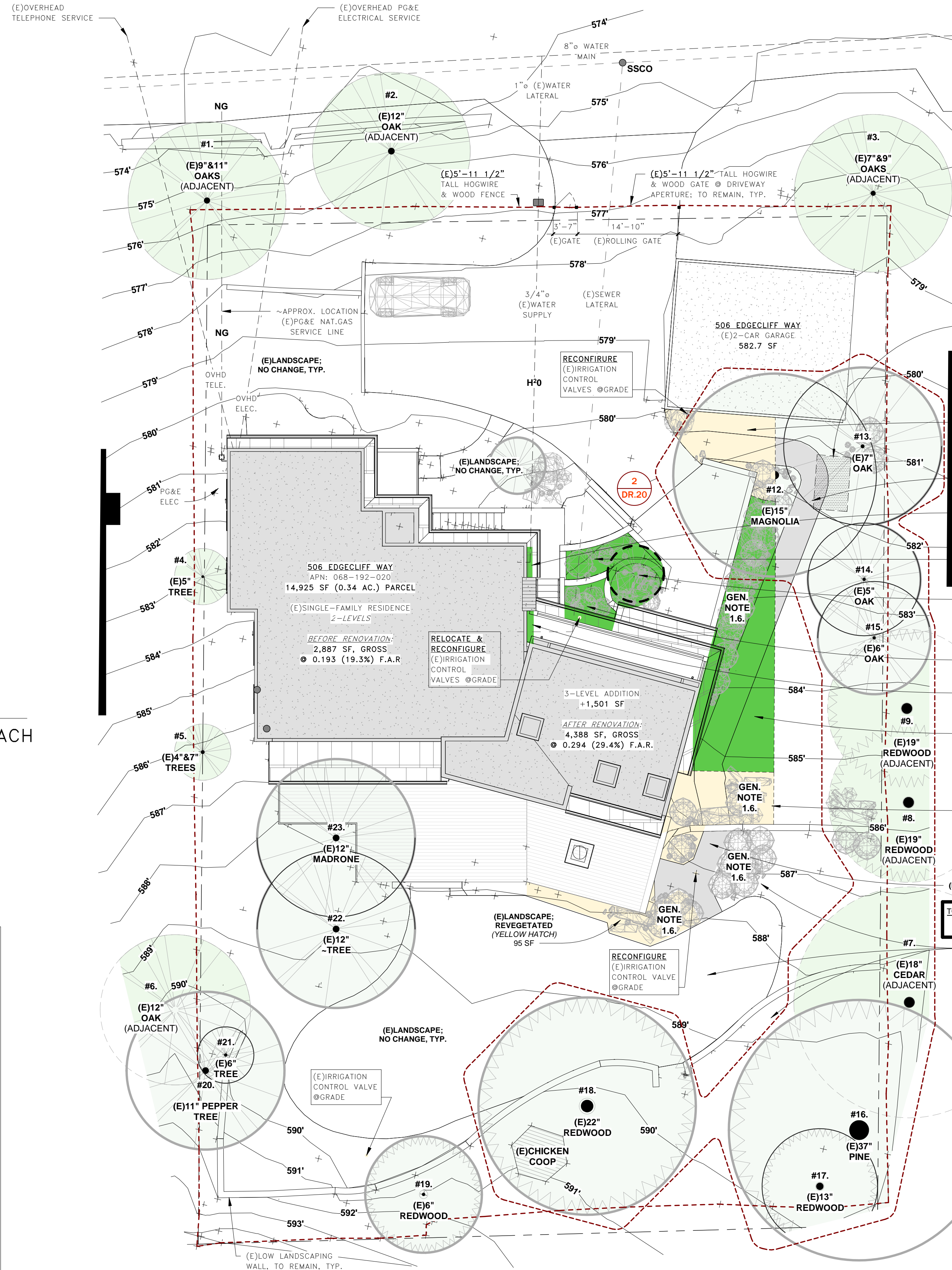
LANDSCAPE WATER-EFFICIENCY (MVELO) APPENDIX - D CHECKLIST:

(CAN ONLY BE USED WHEN AGGREGATE LANDSCAPE AREAS ARE 2,500 SQUARE FEET OR LESS)

- COMPOST:** INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1,000 SQ.FT. TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA (UNLESS CONTRADICTED BY A SOILS TEST).
- WATER USE:** RESIDENTIAL: INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLANT FACTOR 0.3) FOR 75% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER.
- MULCH:** A MINIMUM 3-INCH LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT IN AREAS OF TURF OR CREEPING OR ROOTING GROUNDCOVERS.
- TURF:**
 - TOTAL TURF AREA SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA.
 - TURF (IF UTILIZED) IS LIMITED TO SLOPES NOT EXCEEDING 25% AND IS NOT USED IN PARKWAYS LESS THAN 10 FEET IN WIDTH.
 - TURF, IF UTILIZED IN PARKWAYS IS IRRIGATED BY SUB-SURFACE IRRIGATION OR OTHER TECHNOLOGY THAT PREVENTS OVERSPRAY OR RUNOFF.
- IRRIGATION SYSTEM:**
 - IRRIGATION CONTROLLERS USE EVAPOTRANSPIRATION OR SOIL MOISTURE DATA AND UTILIZE A RAIN SENSOR.
 - IRRIGATION CONTROLLER PROGRAMMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION IN THE PRIMARY POWER SOURCE.
 - AREAS LESS THAN 10 FEET IN ANY DIRECTION UTILIZE SUB-SURFACE IRRIGATION OR OTHER TECHNOLOGY THAT PREVENTS OVERSPRAY OR RUNOFF.

1 EXISTING / NEW - LANDSCAPE PLAN & NOTES

1" = 10'-0"



LANDSCAPE GENERAL NOTES / PRESCRIPTIVE:

- FOR RESIDENTIAL AREAS, 75% OF LANDSCAPE, EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER, SHALL CONSIST OF PLANTS THAT AVERAGE A WUCOLS PLANT FACTOR OF 0.3.
- ONLY PLANTS OF "VERY LOW" & "LOW" WATER USE TO BE UTILIZED; REFER TO SHEETS DR.22 & DR.23 FOR AVAILABLE PLANTINGS (~1,300); SPECIFIC PLANTS HAVE NOT BEEN SELECTED.
 - PROJECT NOTE **
- AUTOMATIC WEATHER-BASED OR SOIL MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON IRRIGATION SYSTEM.
- PRESSURE REGULATORS SHALL BE INSTALLED ON IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF SYSTEM WITHIN MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
- MANUAL-SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
- AREAS LESS THAN 10- FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
- UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

- 200 CU.FT. (8'x8'x5') GRAVEL-FILLED DRYWELL, FINAL LOCATION, TBD (SEE DR.06)
- LANDSCAPED OR REVEGETATED AREAS:
- (E)LANDSCAPE; REVEGETATED (YELLOW HATCH) 123 SF
- (N)CRUSHED GRAVEL WALKWAY, TBD 100 SF
- (N)RAISED PLANTER (BENEATH ROOF) 4 SF
- (N)LANDSCAPE, TBD 45 SF
- (N)TREE W/LANDSCAPING, TBD 37 SF
- (N)LANDSCAPE, TBD 40 SF
- (N)RAISED PLANTER (BENEATH ROOF) 5 SF
- (N)LAWN/LANDSCAPE @ REVEGETATED DRIVEWAY 351 SF
- (E)LANDSCAPE; REVEGETATED (YELLOW HATCH) 147 SF
- (N)CRUSHED GRAVEL WALKWAY 70 SF
- TOTAL AFFECTED LANDSCAPING / (INCL. REVEGETATION) = 1,017 SF

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

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architecture & design™

www.inf3.com

architect:

Bryan J. Hassemer, AIA

250 Lorraine Blvd.
San Leandro, CA 94577

bryan@inf3.com
530.448.0909

client:

Lucas & Jacqui Buchanan

506 Edgecliff Way
Redwood City, CA 94602

consultant:

CHG Engineering, Inc.

9425 Sage Creek Ct.
Elk Grove, CA 95624

209.450.9066

consultant:

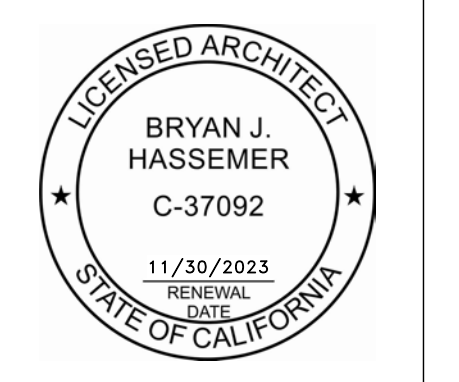
GeoForensics, Inc.

303 Vintage Park Dr., #220
Foster City, CA 94404

650.349.3369

revisions:

No.	Description	Date
4	DESIGN REVIEW PACKAGE	04/25/22



Bryan J. Hassemer, AIA
bryan@inf3.com
530.448.0909

**506 EDGECLIFF
REDWOOD CITY, CA**
LIVING PORCH
& BEDROOM SUITE

DESIGN REVIEW /
LANDSCAPE & NOTES

inf3#: 20-015-01
date: 05/04/22
drawn: BJH
page#: 4 of XX

DR.21
scale: As indicated

Table with 5 columns: Type, Botanical Name, Common Name, Water Use, WUCOLS Plant Factor. Lists various plants like Abies concolor, Abutilon patens, Acaja boemari, etc.

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1 WUCOLS 'VERY LOW' WATER PLANTS

12" = 1'-0"

Table with 5 columns: Type, Botanical Name, Common Name, Water Use, WUCOLS Plant Factor. Lists various plants like Actinophytum edmondii, Actinophytum edmondii 'Big Star', etc.

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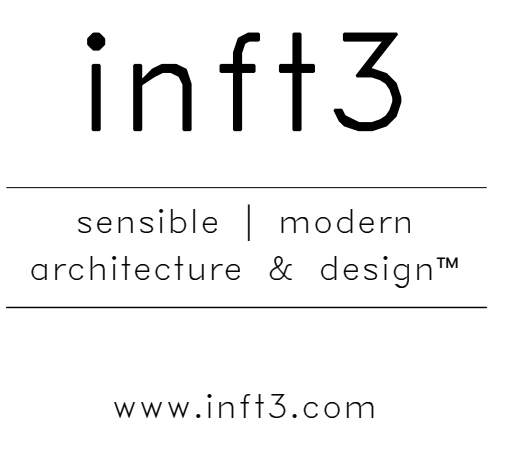
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2 WUCOLS 'LOW' WATER PLANTS - PG.01

12" = 1'-0"

12" = 1'-0"

12" = 1'-0"



architect: Bryan J. Hassemer, AIA 250 Lorraine Blvd. San Leandro, CA 94577 bryan@inf3.com 530.448.9099

client: Lucas & Jacqui Buchanan 506 Edgecliff Way Redwood City, CA 94602

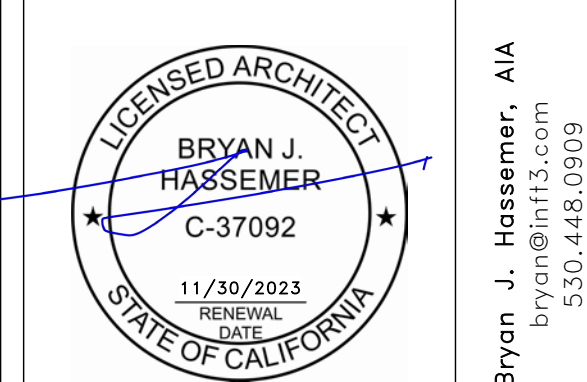
consultant: CHG Engineering, Inc. 9425 Sage Creek Ct. Elk Grove, CA 95624 209.450.9066

consultant: GeoForensics, Inc. 303 Vintage Park Dr., #220 Foster City, CA 94404

650.349.3369

revisions:

Table with 3 columns: No., Description, Date. Revision 4: DESIGN REVIEW PACKAGE 04/25/22



506 EDGECLIFF REDWOOD CITY, CA LIVING PORCH & BEDROOM SUITE WUCOLS 'VERY LOW' & 'LOW' WATER PLANTS

inf3#: 20-015-01 date: 05/04/22 drawn: BJH page#: 1

DR.22

scale: 12" = 1'-0"

Table with 4 columns: Type, Botanical Name, Common Name, Water Use, WUCOLS Plant Factor. Lists various plants like Eriogonum fasciculatum, Eriogonum sp., and others.

Table with 4 columns: Type, Botanical Name, Common Name, Water Use, WUCOLS Plant Factor. Lists various plants like Ficus microcarpa, Ficus virens, and others.

Table with 4 columns: Type, Botanical Name, Common Name, Water Use, WUCOLS Plant Factor. Lists various plants like Ficus virens, Ficus microcarpa, and others.

Table with 4 columns: Type, Botanical Name, Common Name, Water Use, WUCOLS Plant Factor. Lists various plants like Ficus virens, Ficus microcarpa, and others.

Table with 4 columns: Type, Botanical Name, Common Name, Water Use, WUCOLS Plant Factor. Lists various plants like Nerium oleander, Nerium dodecandrum, and others.

Table with 4 columns: Type, Botanical Name, Common Name, Water Use, WUCOLS Plant Factor. Lists various plants like Proteasanthus dentata, Proteasanthus ovata, and others.

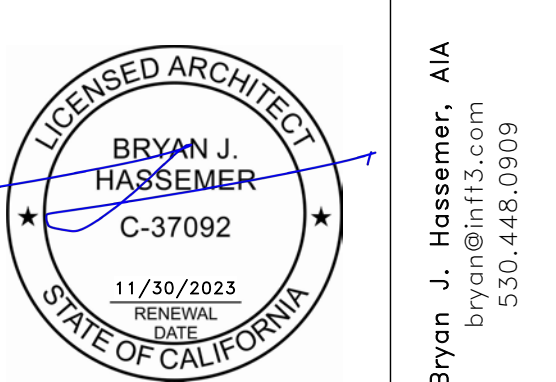
Table with 4 columns: Type, Botanical Name, Common Name, Water Use, WUCOLS Plant Factor. Lists various plants like Salvia athena, Salvia roemeriana, and others.

Table with 4 columns: Type, Botanical Name, Common Name, Water Use, WUCOLS Plant Factor. Lists various plants like Salvia roemeriana, Salvia athena, and others.

inf3 logo with tagline 'sensible | modern architecture & design™'. Includes contact information for architect Bryan J. Hassemmer, AIA, at 250 Lorraine Blvd, San Leandro, CA 94577.

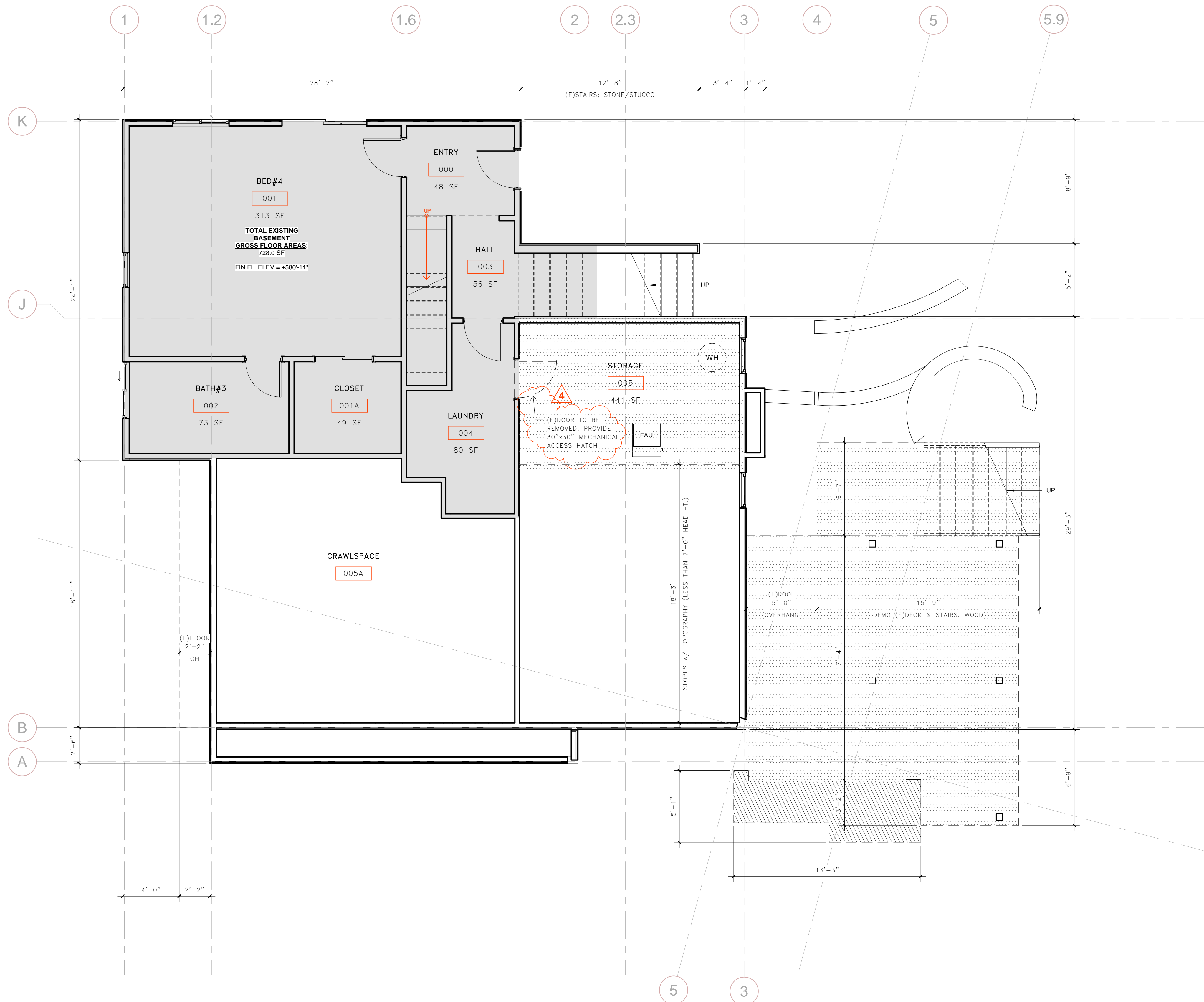
Geoforensics, Inc. contact information at 303 Vintage Park Dr., #220 Foster City, CA 94404. Phone: 650.349.3369.

Table with 3 columns: No., Description, Date. Row 4: DESIGN REVIEW PACKAGE, 04/25/22.



Project details for 506 EDGECLIFF REDWOOD CITY, CA LIVING PORCH & BEDROOM SUITE. WUCOLS 'LOW' WATER PLANTS. Scale: 1/2" = 1'-0". Date: 05/04/22. Drawing by: BJH.

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PLAN LEGEND :

- EXISTING PARTITION WALL TO REMAIN
- PARTITION WALL TO BE DEMOLISHED
- EXISTING DOOR TO BE REMOVED
- NEW PARTITION WALL

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

1 EXISTING / DEMO - BASEMENT
1/4" = 1'-0"

inf3

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www.inf3.com

architect:

Bryan J. Hassemer, AIA

250 Lorraine Blvd.
San Leandro, CA 94577

bryan@inf3.com
530.448.0909

client:

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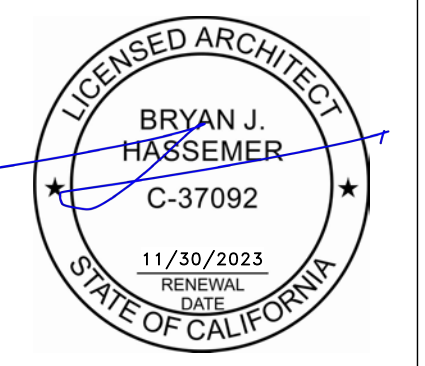
GeoForensics, Inc.

303 Vintage Park Dr., #220
Foster City, CA 94404

650.349.3369

revisions:

No.	Description	Date
T24	ENERGY COORD	05/12/21
	DRAFT / BID SET	07/02/21
	FOR PERMIT	10/08/21
3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



Bryan J. Hassemer, AIA
bryan@inf3.com
530.448.0909

**506 EDGECLIFF
REDWOOD CITY, CA
LIVING PORCH
& BEDROOM SUITE**

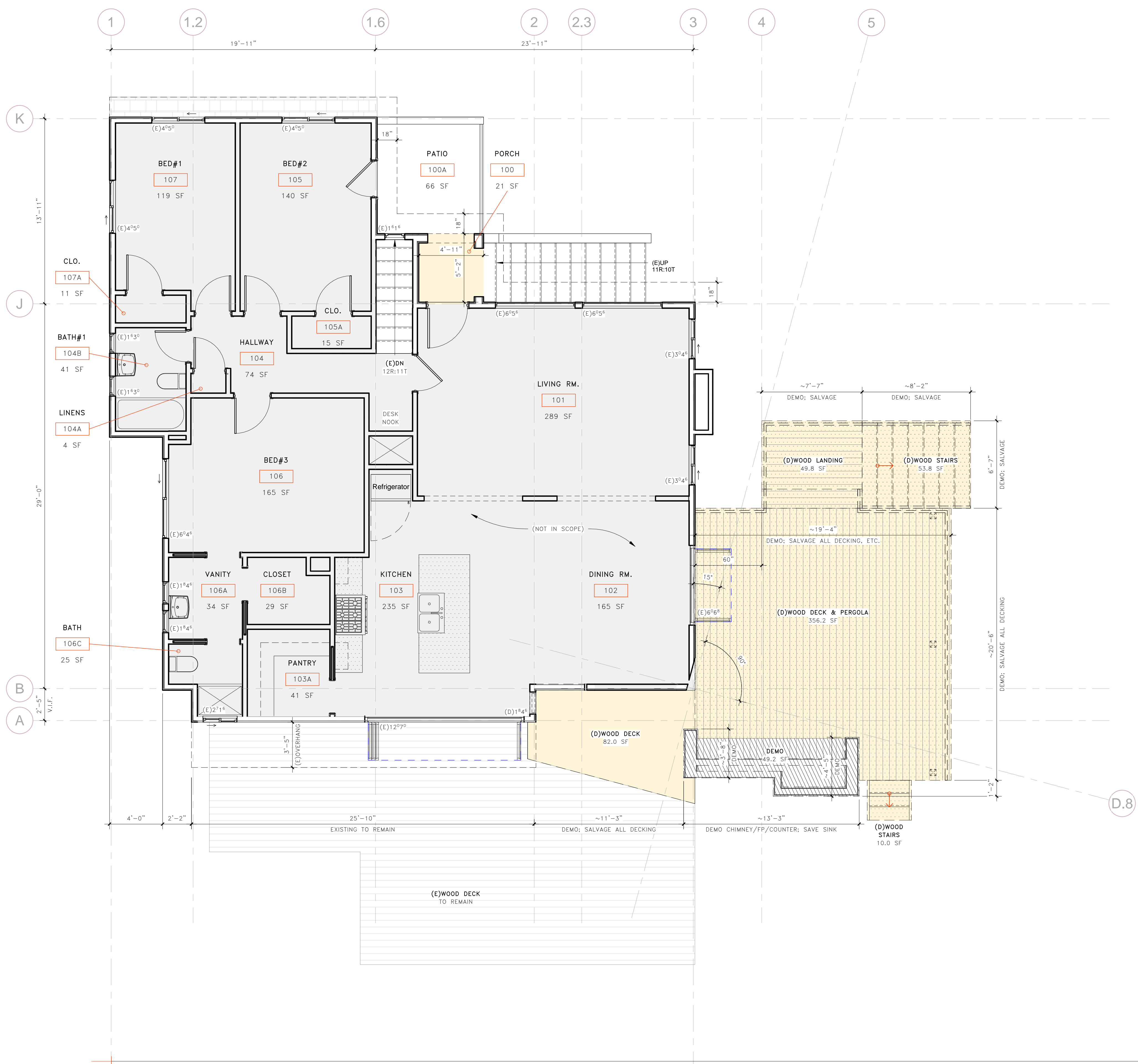
EXISTING / DEMO
BASEMENT PLAN

inf3#: 20-015-01
date: 04/25/22
drawn: BJH
page#: 19 of 35

A0.00

scale: 1/4" = 1'-0"

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PLAN LEGEND :

- EXISTING PARTITION WALL TO REMAIN
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- EXISTING DOOR TO BE REMOVED
- NEW PARTITION WALL

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

1 EXISTING / DEMO - 1st FLOOR
1/4" = 1'-0"

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architect:

Bryan J. Hassemer, AIA

250 Lorraine Blvd.
San Leandro, CA 94577

bryan@inf3.com
530.448.0909

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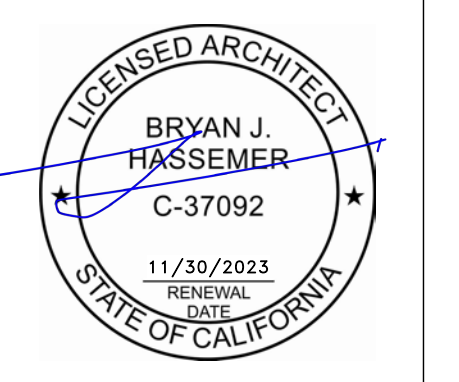
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650.349.3369

revisions:

No.	Description	Date
	EXISTING CONDITIONS	07/27/20
	S.E. COORD_v4	05/28/21
	DRAFT / BID SET	07/02/21
	FOR PERMIT	10/08/21
3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



Bryan J. Hassemer, AIA
bryan@inf3.com
530.448.0909

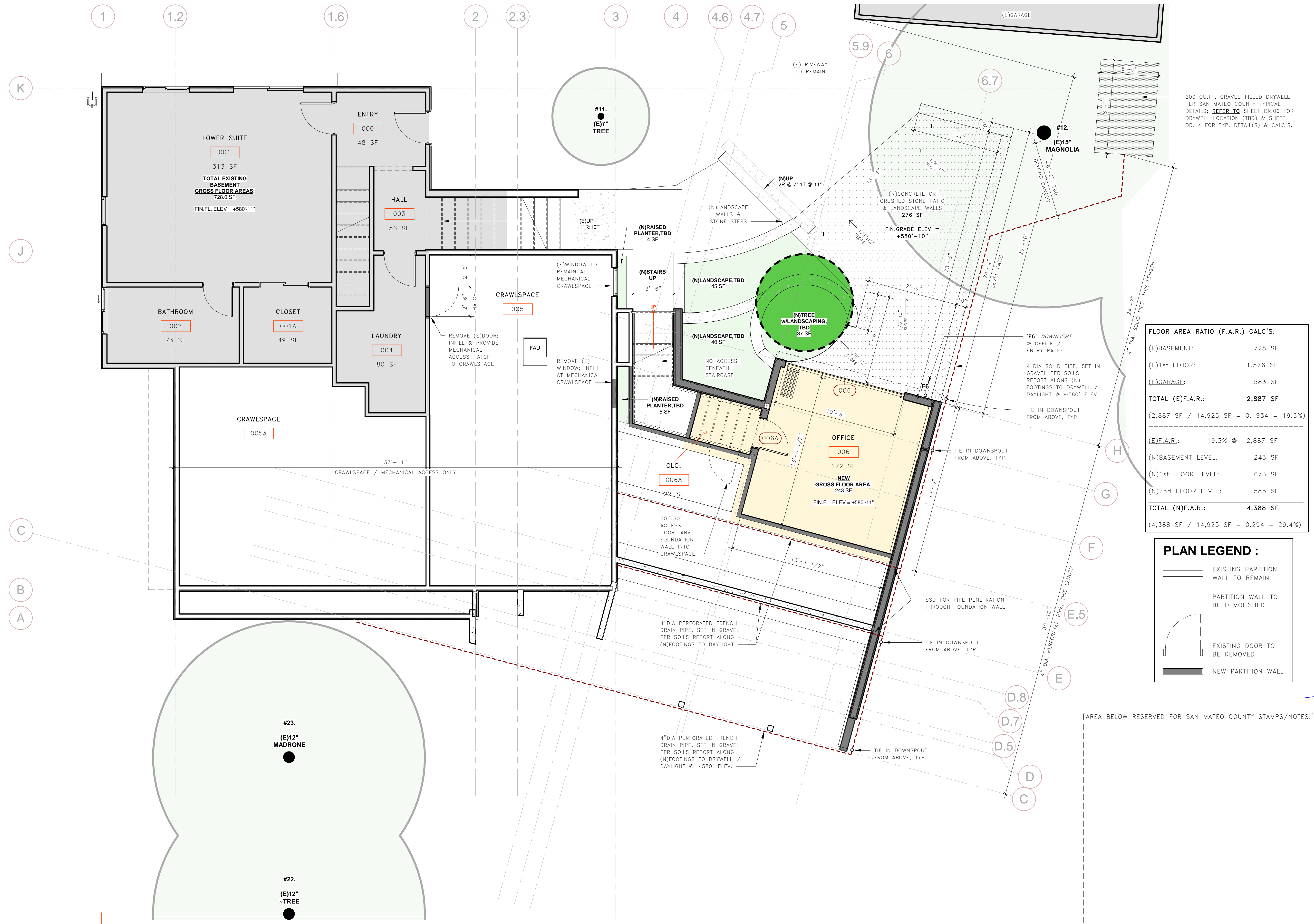
506 EDGECLIFF
REDWOOD CITY, CA
LIVING PORCH
& BEDROOM SUITE

EXISTING / DEMO
1st FLOOR PLAN

inf3#:	20-015-01
date:	04/25/22
drawn:	BJH
page#:	20 of 35

A0.01
scale: 1/4" = 1'-0"

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1 NEW - BASEMENT
1/4" = 1'-0"

FLOOR AREA RATIO (F.A.R.) CALC'S:

(E)BASEMENT:	728 SF
(E)1st FLOOR:	1,576 SF
(E)GARAGE:	583 SF
TOTAL (E)F.A.R.:	2,887 SF
(2,887 SF / 14,925 SF = 0.1934 = 19.3%)	
(E)F.A.R.:	19.3% @ 2,887 SF
(N)BASEMENT LEVEL:	243 SF
(N)1st FLOOR LEVEL:	673 SF
(N)2nd FLOOR LEVEL:	585 SF
TOTAL (N)F.A.R.:	4,388 SF
(4,388 SF / 14,925 SF = 0.294 = 29.4%)	

PLAN LEGEND :

	EXISTING PARTITION WALL TO REMAIN
	PARTITION WALL TO BE DEMOLISHED
	EXISTING DOOR TO BE REMOVED
	NEW PARTITION WALL

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

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architect:

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250 Lorraine Blvd.
San Leandro, CA 94577
bryan@inf13.com
530.448.0909

client:

Lucas & Jacqui Buchanan
506 Edgecliff Way
Redwood City, CA 94602

consultant:

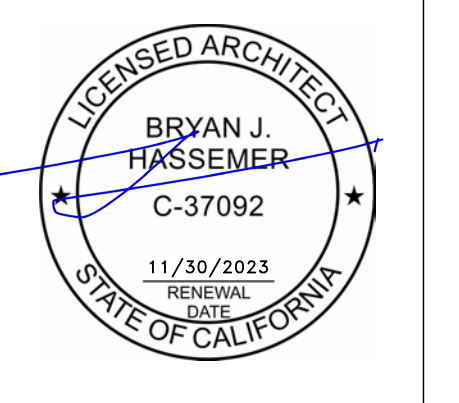
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consultant:

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Foster City, CA 94404
650.349.3369

revisions:

No.	Description	Date
1	FOR PERMIT	10/08/21
3	PLANNING DEPT. REVIEW	12/27/21
	DESIGN REVIEW DRAFT	02/25/22
4	DESIGN REVIEW PACKAGE	04/25/22



Bryan J. Hassemer, AIA
bryan@inf13.com
530.448.0909

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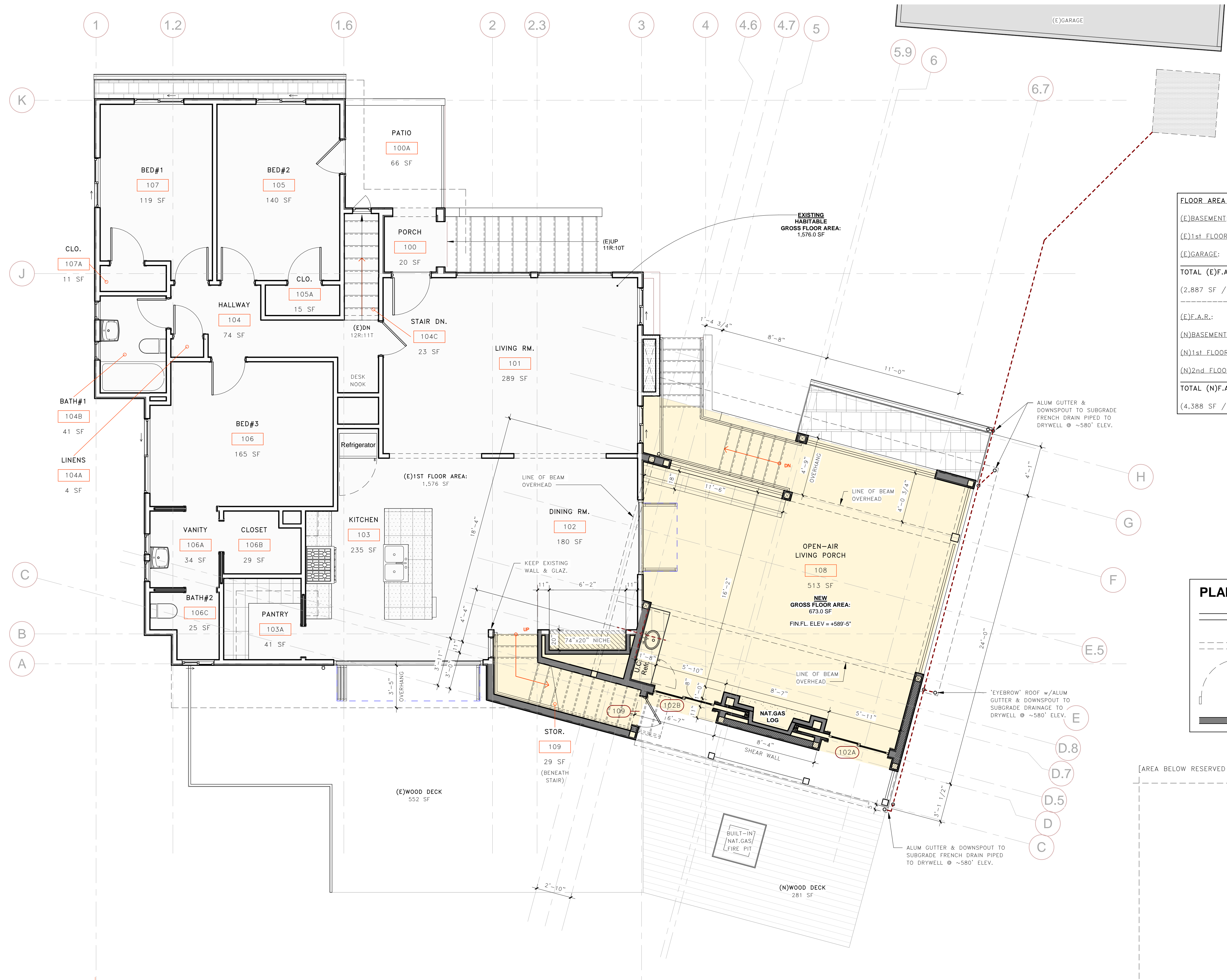
NEW - BASEMENT
FLOOR PLAN

inf13#:	20-015-01
date:	04/25/22
drawn:	BJH
page#:	21 of 35

scale: 1/4" = 1'-0"

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FLOOR AREA RATIO (F.A.R.) CALC'S:

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PLAN LEGEND :

	EXISTING PARTITION WALL TO REMAIN
	PARTITION WALL TO BE DEMOLISHED
	EXISTING DOOR TO BE REMOVED
	NEW PARTITION WALL

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architect:

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250 Lorraine Blvd.
San Leandro, CA 94577
bryan@inf13.com
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Redwood City, CA 94602

consultant:

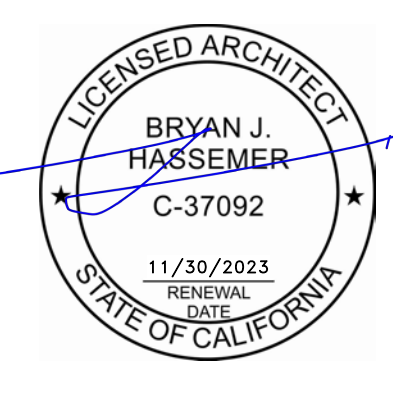
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209.450.9066

consultant:

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Foster City, CA 94404
650.349.3369

revisions:

No.	Description	Date
FOR PERMIT		10/08/21
3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



Bryan J. Hassemer, AIA
bryan@inf13.com
530.448.0909

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NEW - 1st LEVEL
FLOOR PLAN

inf13#:	20-015-01
date:	04/25/22
drawn:	BJH
page#:	22 of 35

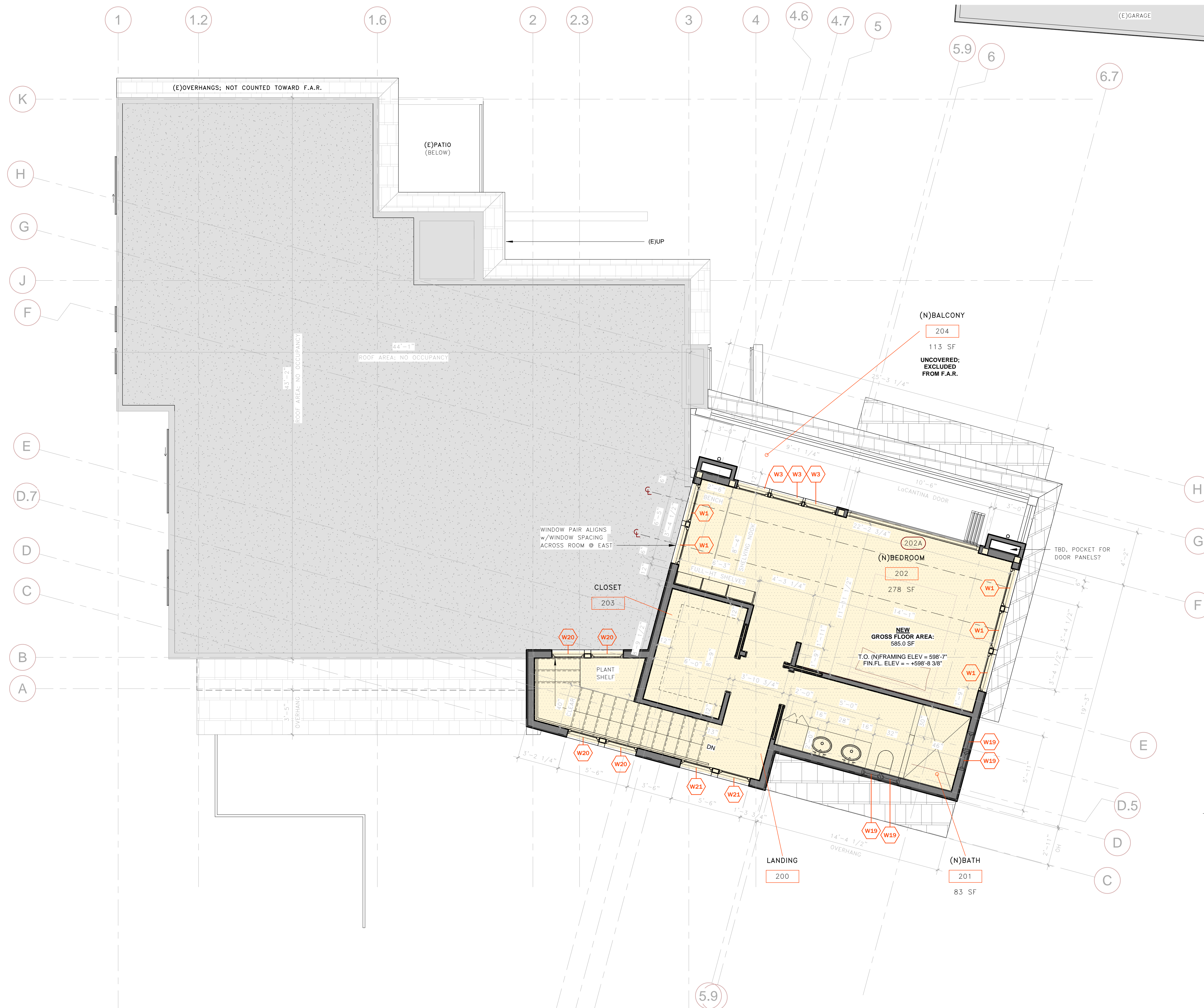
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1 NEW - 1st FLOOR
1/4" = 1'-0"

1" DIM. @ LEFT = 1" : DRAWING TO SCALE

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FLOOR AREA RATIO (F.A.R.) CALC'S:

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PLAN LEGEND :

	EXISTING PARTITION WALL TO REMAIN
	PARTITION WALL TO BE DEMOLISHED
	EXISTING DOOR TO BE REMOVED
	NEW PARTITION WALL

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1 NEW - 2nd FLOOR
1/4" = 1'-0"

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architect:

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San Leandro, CA 94577
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Lucas & Jacqui Buchanan
506 Edgecliff Way
Redwood City, CA 94602

consultant:

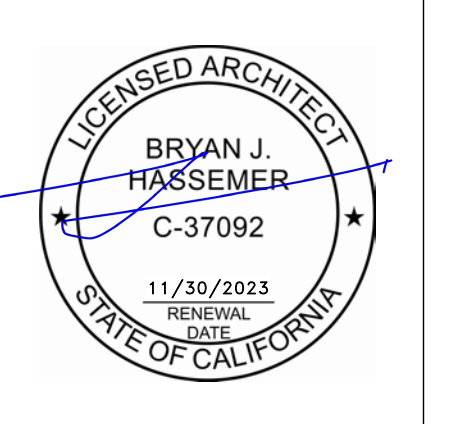
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consultant:

GeoForensics, Inc.
303 Vintage Park Dr., #220
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650.349.3369

revisions:

No.	Description	Date
1	T24/ENERGY COORD	05/12/21
2	FOR PERMIT	10/08/21
3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



Bryan J. Hassemer, AIA
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530.448.0909

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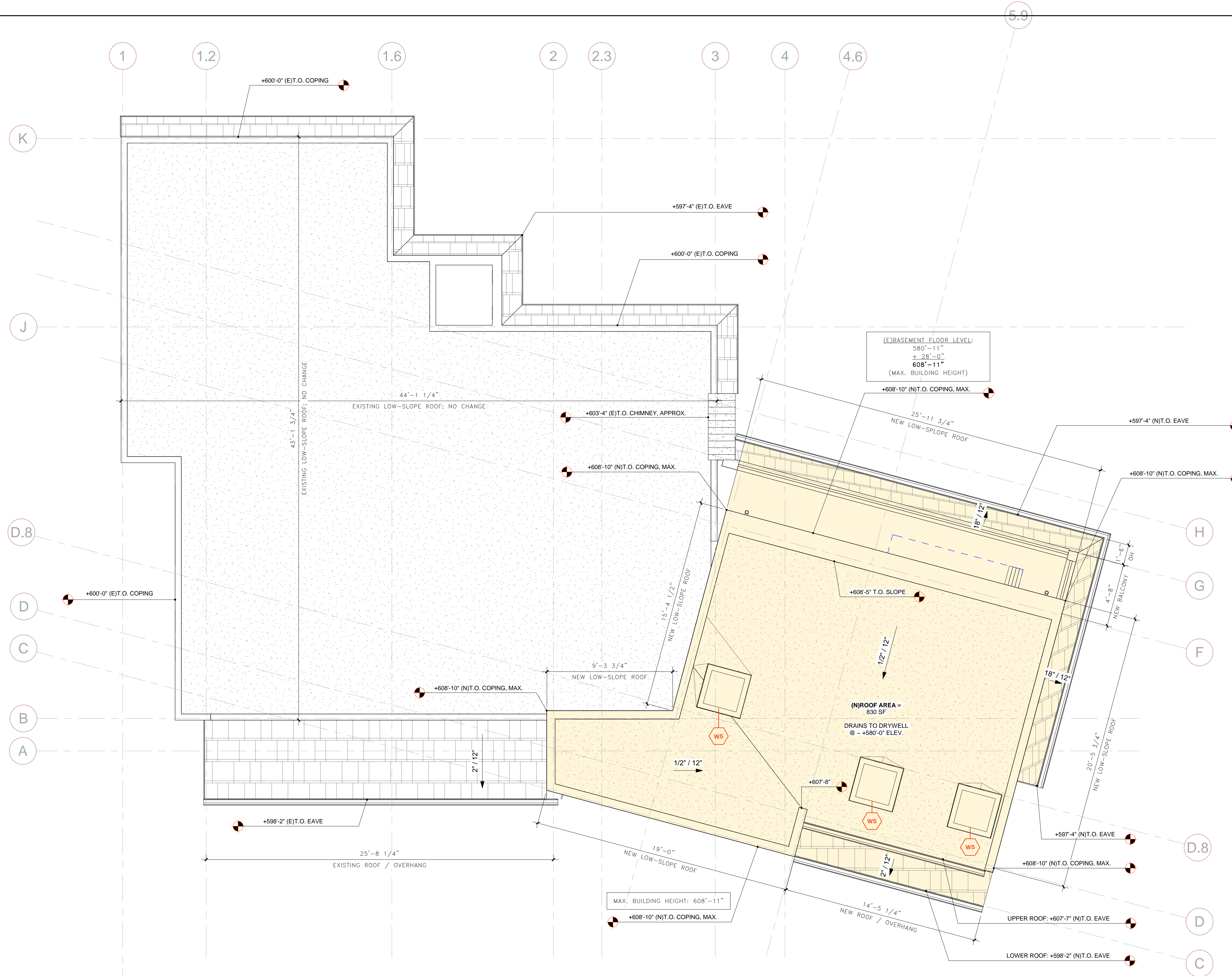
NEW - 2nd LEVEL
FLOOR PLAN

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drawn:	BJH
page#:	23 of 35

A1.02
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PLAN LEGEND :

- EXISTING PARTITION WALL TO REMAIN
- PARTITION WALL TO BE DEMOLISHED
- EXISTING DOOR TO BE REMOVED
- NEW PARTITION WALL

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1 NEW - ROOF PLAN
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Lucas & Jacqui Buchanan
506 Edgecliff Way
Redwood City, CA 94602

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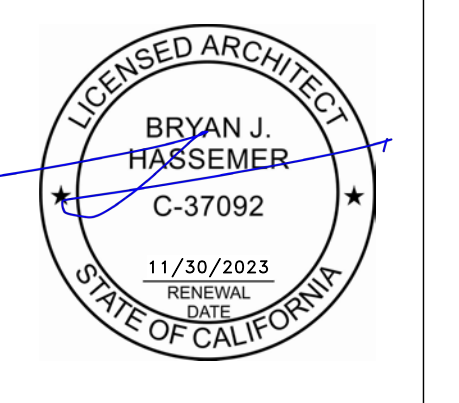
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revisions:

No.	Description	Date
T24	ENERGY COORD	05/12/21
	DRAFT / BID SET	07/02/21
	FOR PERMIT	10/08/21
3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



Bryan J. Hassemer, AIA
bryan@inf13.com
530.448.0909

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NEW - ROOF PLAN

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date:	04/25/22
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A1.42
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architect:

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San Leandro, CA 94577

bryan@inft3.com
530.448.0909

client:

Lucas & Jacqui Buchanan

506 Edgecliff Way
Redwood City, CA 94602

consultant:

CHG Engineering, Inc.

9425 Sage Creek Ct.
Elk Grove, CA 95624

209.450.9066

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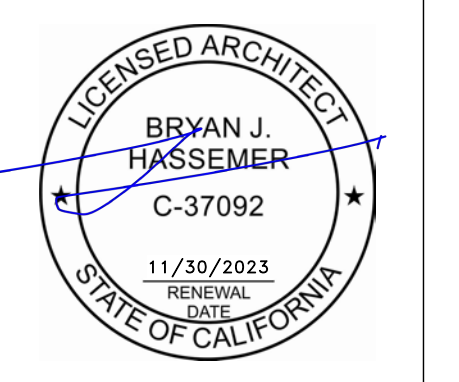
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No.	Description	Date
3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



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530.448.0909

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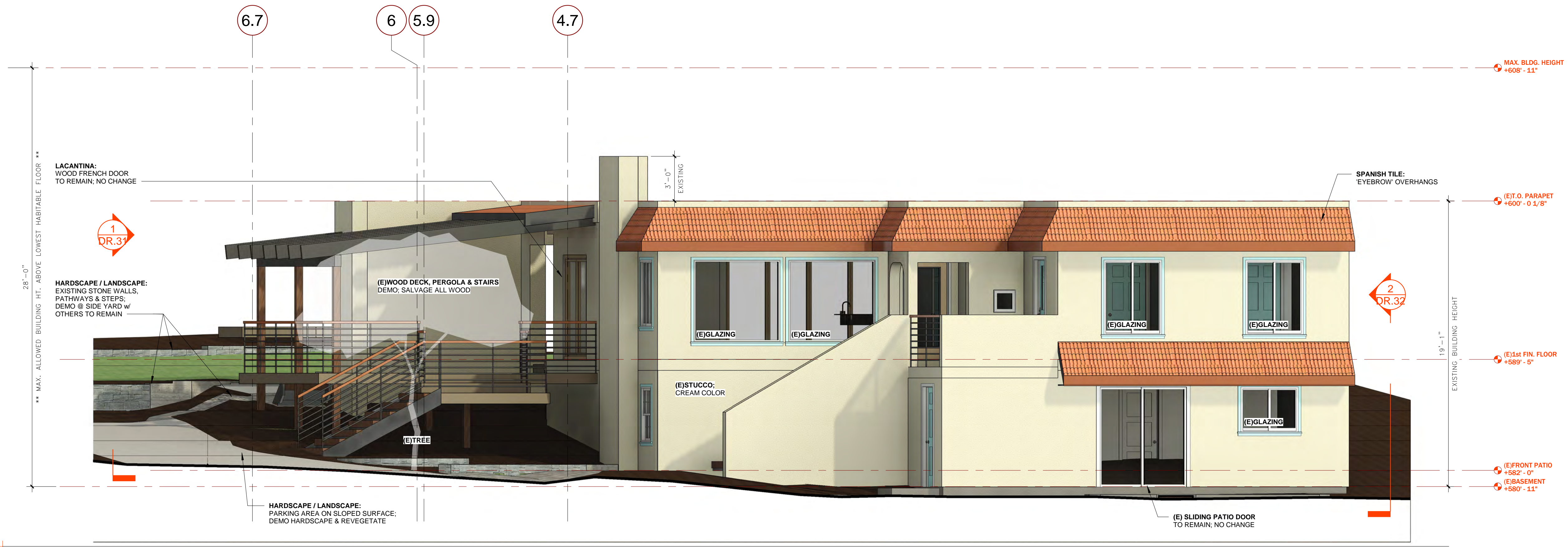
DESIGN REVIEW /
EXISTING ELEVATIONS

inft3#:	20-015-01
date:	04/25/22
drawn:	BJH
page#:	25 of 35

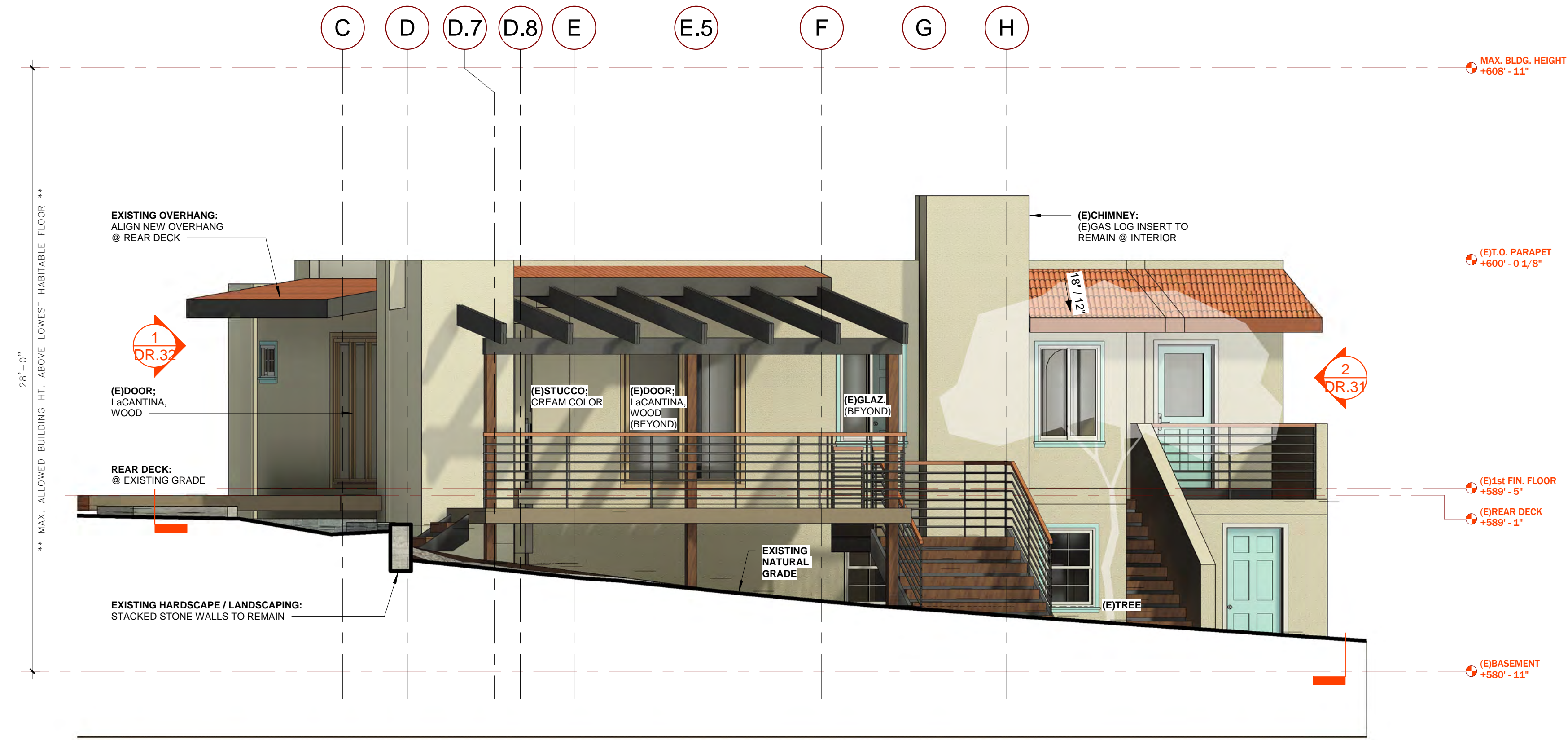
DR.31

scale: As indicated

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2 DESIGN REVIEW – EXISTING FRONT ELEVATION (NORTH)
1/4" = 1'-0"



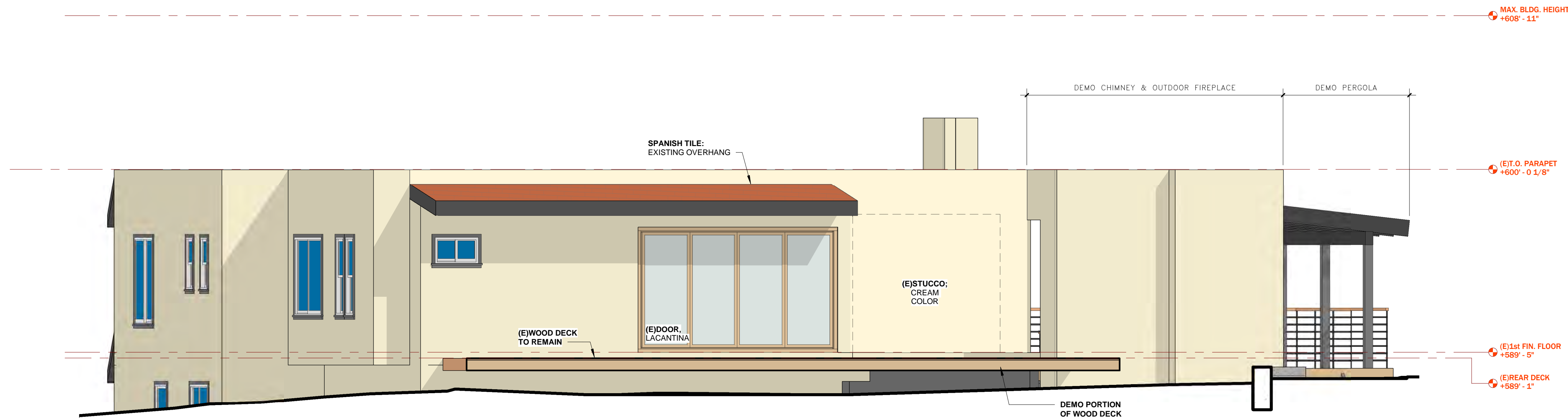
1 DESIGN REVIEW – EXISTING SIDE ELEVATION (EAST)
1/4" = 1'-0"

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2 DESIGN REVIEW – EXISTING SIDE ELEVATION (WEST)
1/4" = 1'-0"



1 DESIGN REVIEW – EXISTING REAR ELEVATION (SOUTH)
1/4" = 1'-0"

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architect:

Bryan J. Hassemer, AIA

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bryan@inf3.com
530.448.0909

client:

Lucas & Jacqui Buchanan

506 Edgecliff Way
Redwood City, CA 94602

consultant:

CHG Engineering, Inc.

9425 Sage Creek Ct.
Elk Grove, CA 95624

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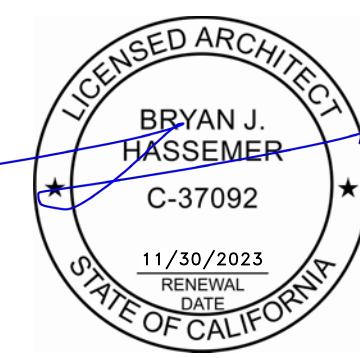
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No.	Description	Date
3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



Bryan J. Hassemer, AIA
bryan@inf3.com
530.448.0909

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DESIGN REVIEW /
EXISTING ELEVATIONS

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page#: 26 of 35

DR.32

scale: 1/4" = 1'-0"

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architect:

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Elk Grove, CA 95624

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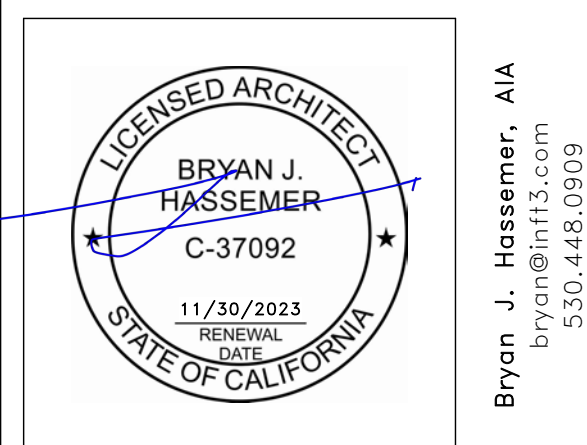
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3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



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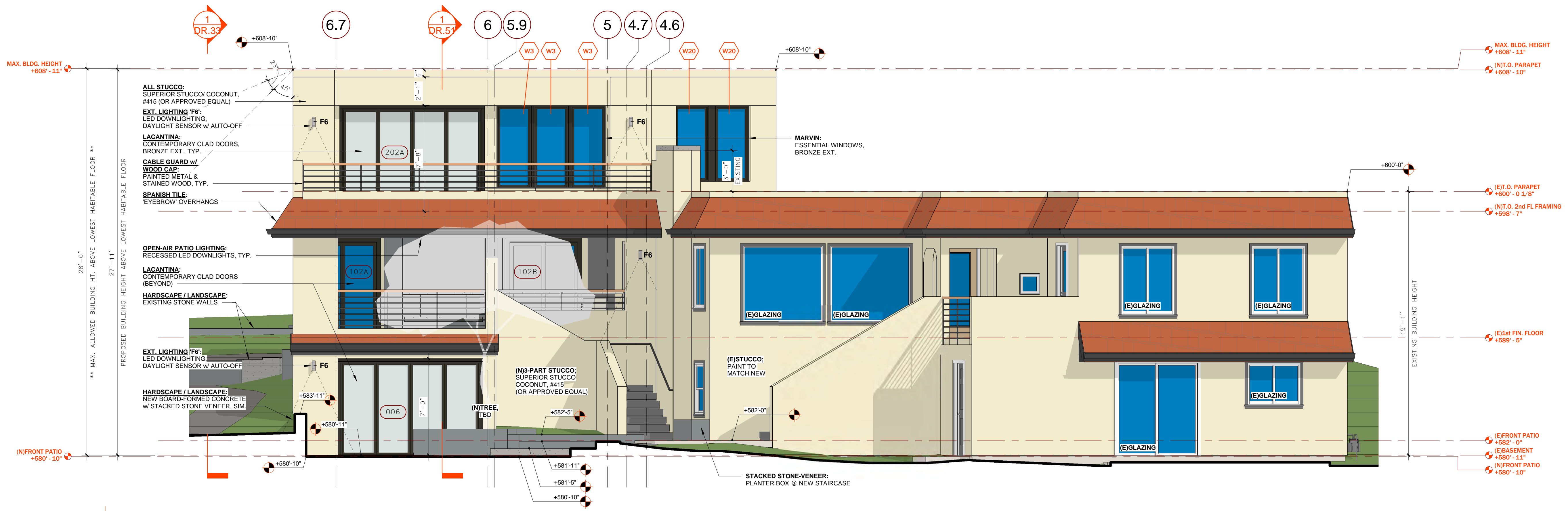
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DESIGN REVIEW /
NEW ELEVATIONS

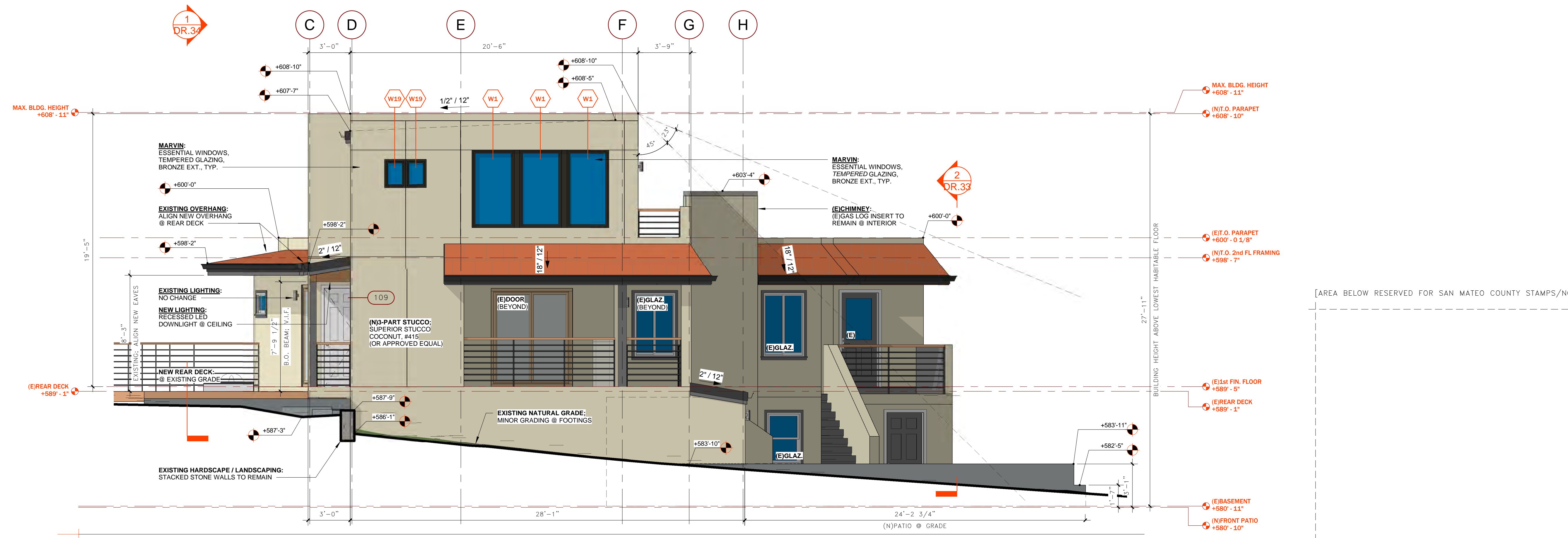
inf3#: 20-015-01
date: 04/25/22
drawn: BJH
page#: 27 of 35

DR.33

scale: 1/4" = 1'-0"



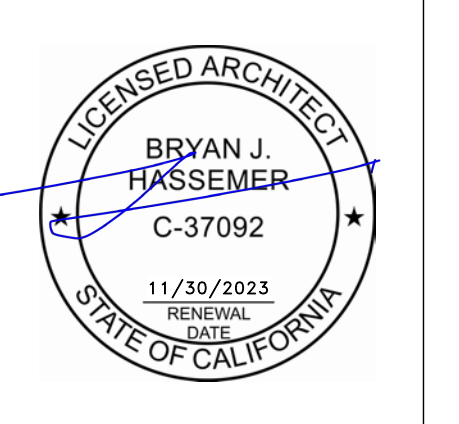
2 DESIGN REVIEW - NEW FRONT ELEVATION (NORTH)
1/4" = 1'-0"



1 DESIGN REVIEW - NEW SIDE ELEVATION (EAST)
1/4" = 1'-0"

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3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



Bryan J. Hassemer, AIA
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DESIGN REVIEW /
 NEW ELEVATIONS

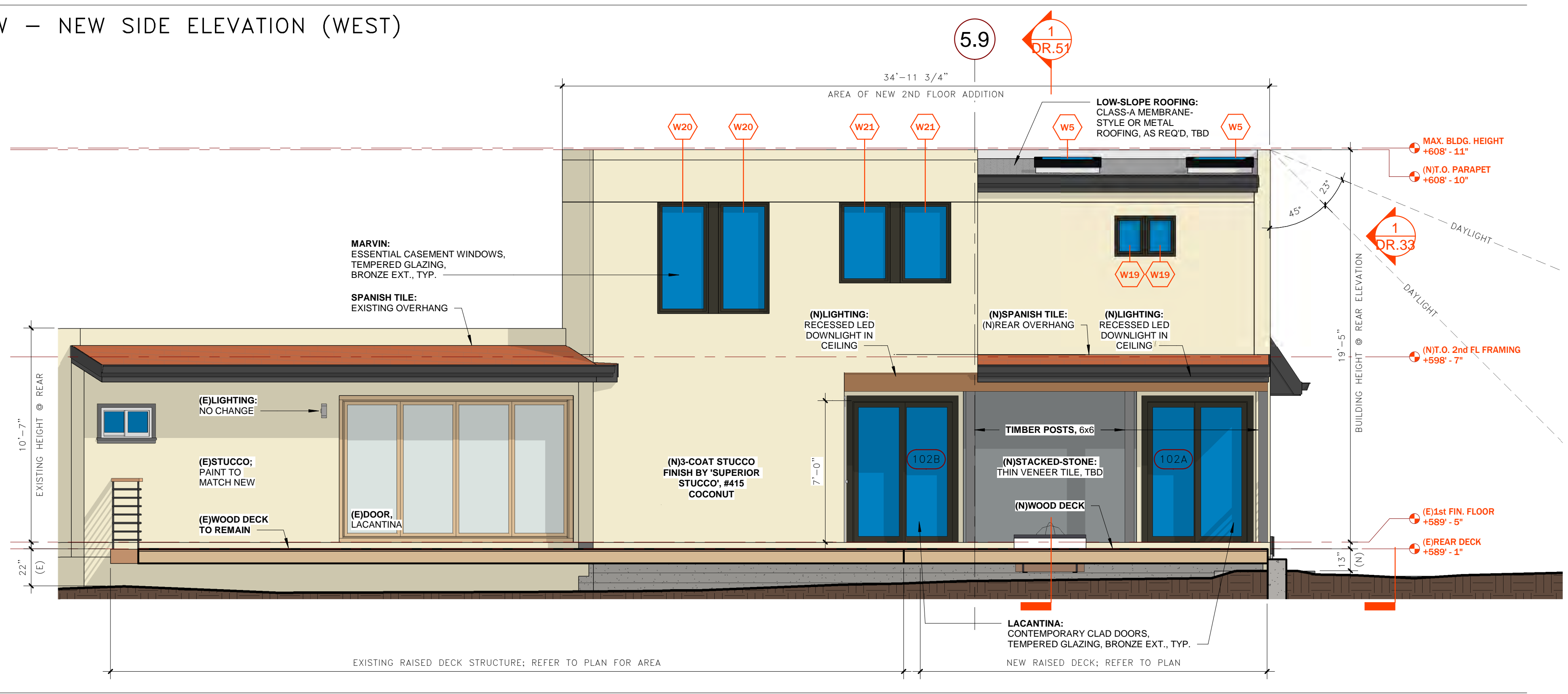
inf3#: 20-015-01
 date: 04/25/22
 drawn: BJH
 page#: 28 of 35

DR.34

scale: 1/4" = 1'-0"



2 DESIGN REVIEW - NEW SIDE ELEVATION (WEST)
 1/4" = 1'-0"



1 DESIGN REVIEW - NEW REAR ELEVATION (SOUTH)
 1/4" = 1'-0"

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San Leandro, CA 94577

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No.	Description	Date
4	DESIGN REVIEW PACKAGE	04/25/22



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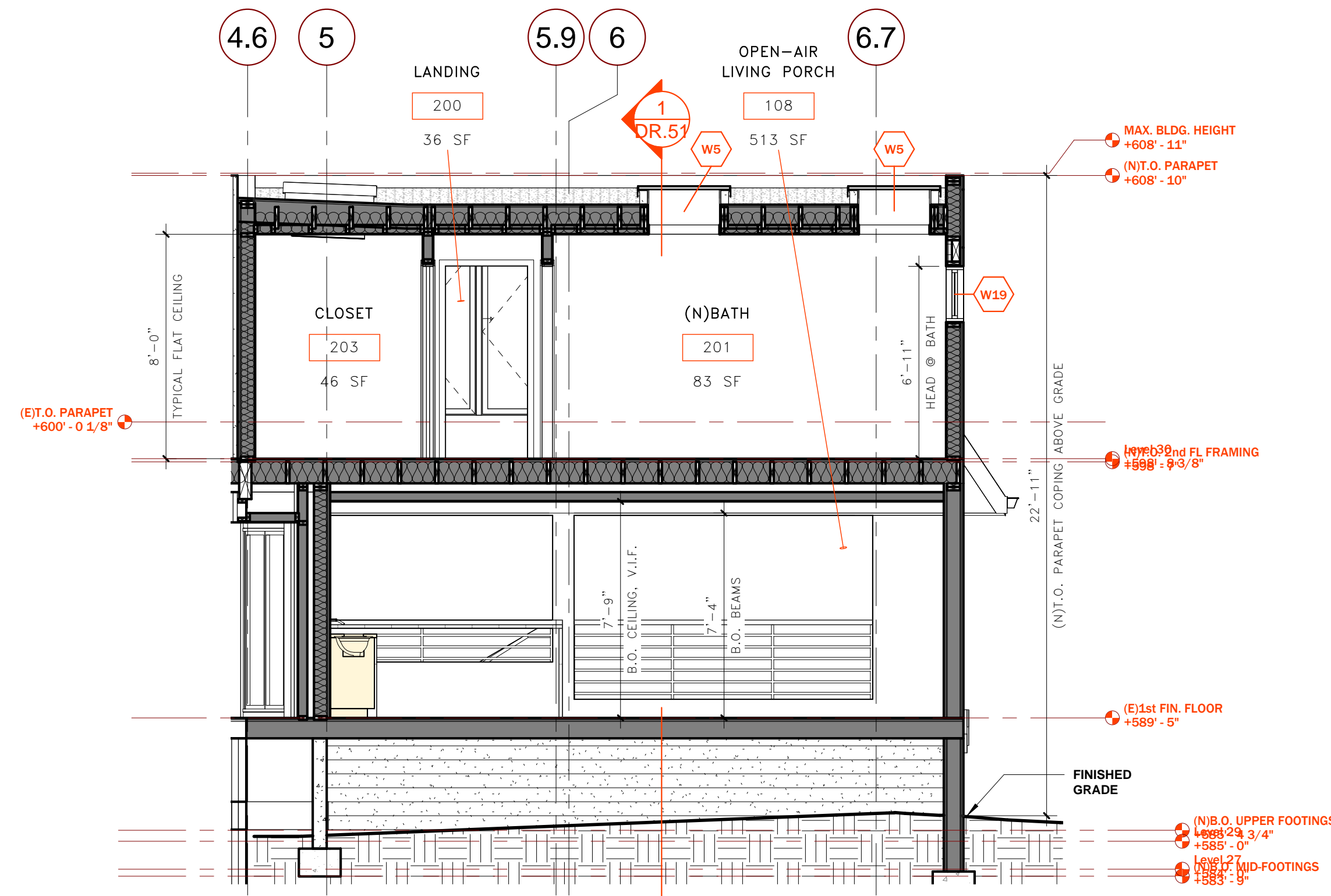
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DESIGN REVIEW /
BUILDING SECTIONS

inf3#: 20-015-01
date: 04/25/22
drawn: BJH
page#: 29 of 35

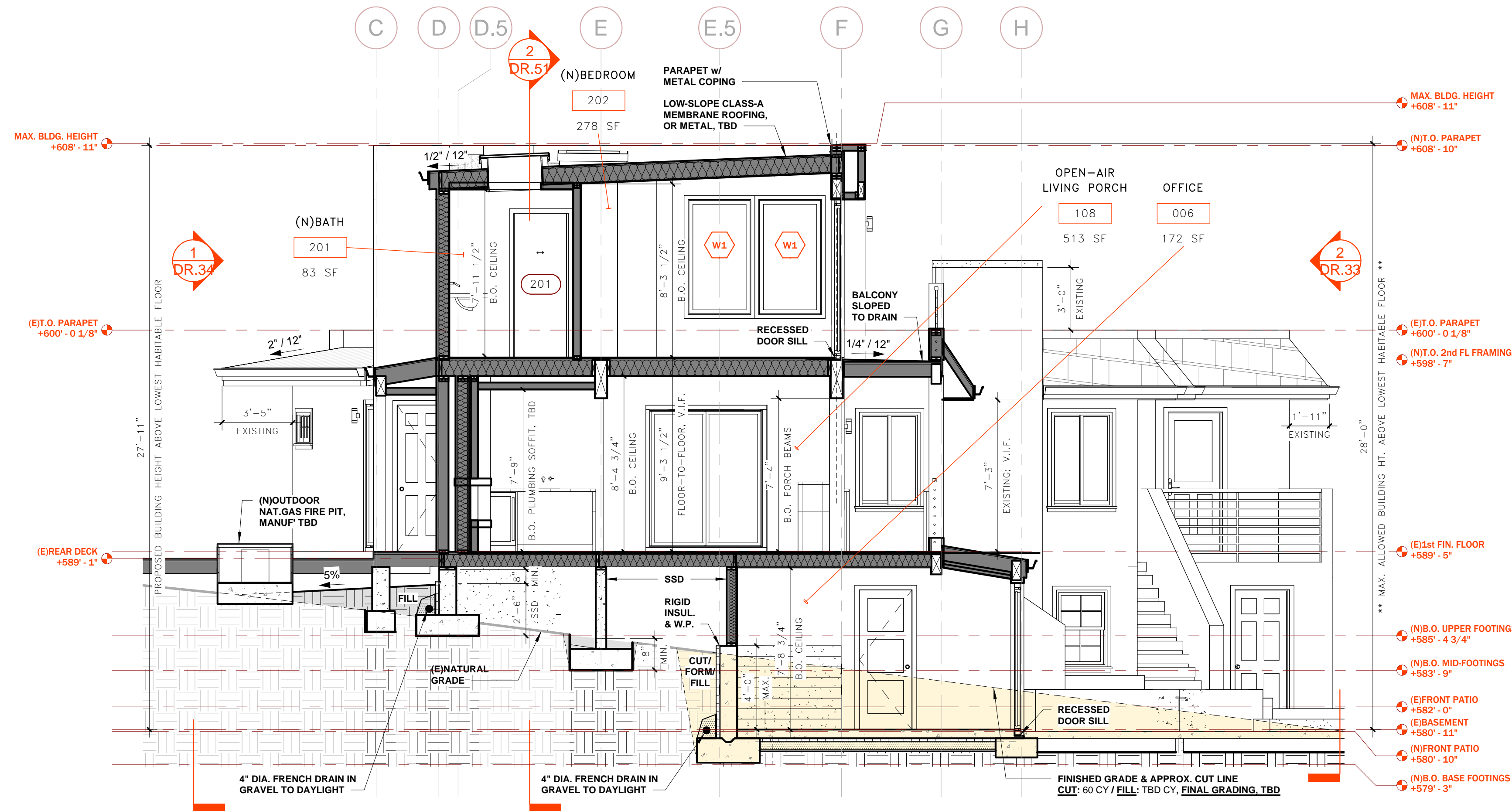
DR.51

scale: 1/4" = 1'-0"



2 DESIGN REVIEW - SECTION CUT (EAST/WEST)

1/4" = 1'-0"



1 DESIGN REVIEW - SECTION CUT (NORTH/SOUTH)

1/4" = 1'-0"

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architect:

Bryan J. Hassemer, AIA

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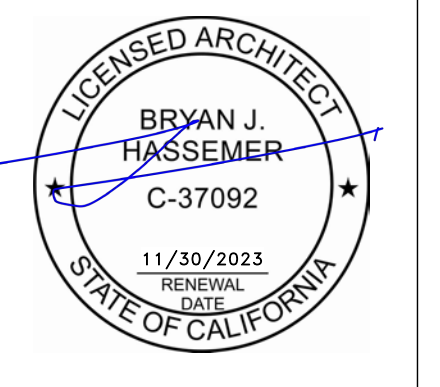
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No.	Description	Date
3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



Bryan J. Hassemer, AIA
bryan@inft3.com
530.448.0909

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DESIGN REVIEW /
EXTERIOR VISUALIZATIONS

inft3#: 20-015-01
date: 04/25/22
drawn: BJH
page#: 30 of 35

DR.90

scale:

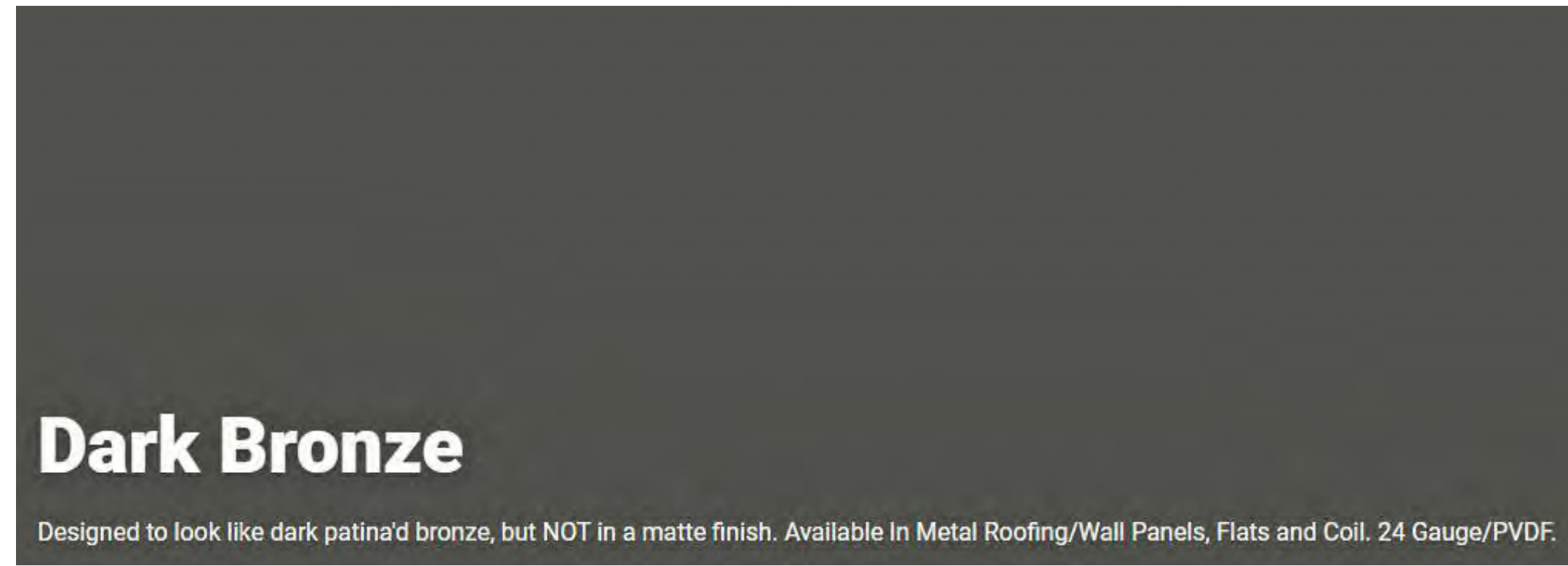
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LOW-SLOPE ALTERNATE

WESTERN STATES METAL ROOFING :



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NO GLAZING SEPARATIONS PROPOSED

MARVIN WINDOWS :



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- ** FINAL, INSTALLED COLOR MAY VARY SLIGHTLY **



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LaCANTINA MULTI-PANEL DOORS :



#415 COCONUT
BASE A LRV 74

SUPERIOR STUCCO (BRAND) :



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- EXTERIOR STUCCO, TEXTURE SAMPLE ONLY

OVERHANGS, TBD

CLAY TILE ROOFING :



SPANISH TILE
© 'EYEBROW' OVERHANGS

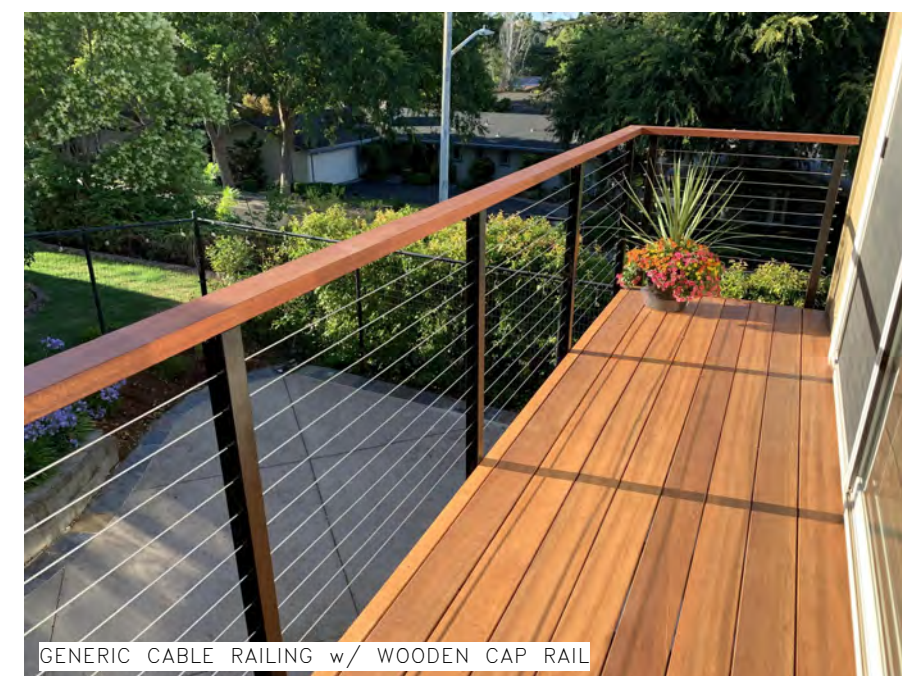
[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]



GENERIC CABLE RAILING w/ WOODEN CAP RAIL

GENERAL CONTRACTOR,

CABLE RAILING w/ WOOD CAP :



GENERIC CABLE RAILING w/ WOODEN CAP RAIL



NON-STRUCTURAL
STACKED STONE LANDSCAPE WALLS

NON-STRUCTURAL
STACKED STONE LANDSCAPE STEPS

LANDSCAPE WALLS :

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architect:

Bryan J. Hassemer, AIA

250 Lorraine Blvd.
San Leandro, CA 94577

bryan@inf3.com
530.448.0909

client:

Lucas & Jacqui Buchanan

506 Edgecliff Way
Redwood City, CA 94602

consultant:

CHG Engineering, Inc.

9425 Sage Creek Ct.
Elk Grove, CA 95624

209.450.9066

consultant:

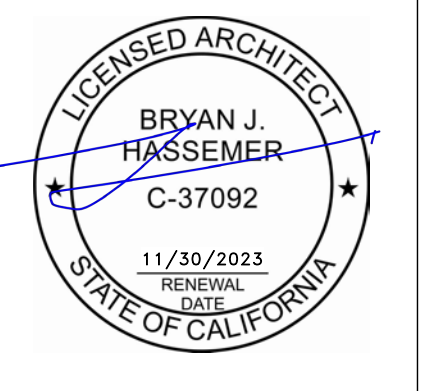
GeoForensics, Inc.

303 Vintage Park Dr., #220
Foster City, CA 94404

650.349.3369

revisions:

No.	Description	Date
3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



Bryan J. Hassemer, AIA
bryan@inf3.com
530.448.0909

506 EDGECLIFF
REDWOOD CITY, CA
LIVING PORCH
& BEDROOM SUITE

DESIGN REVIEW /
MATERIAL BOARD

inf3#: 20-015-01
date: 04/25/22
drawn: BJH
page#: 31 of 35

DR.91

scale:

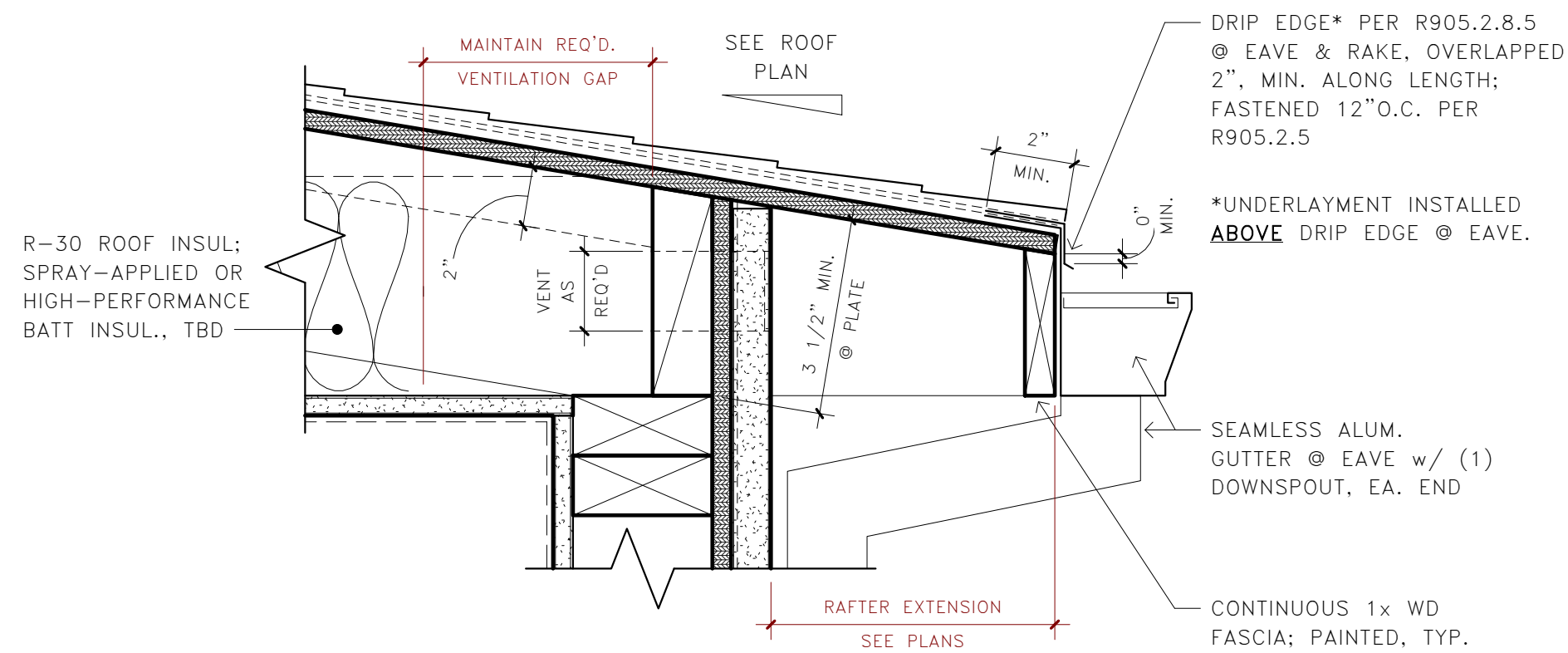
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GENERAL NOTES:

1. REFER TO SHEETS G0.00, G0.01, G0.02 FOR GENERAL NOTES RELATED TO THE SCOPE OF WORK.
2. UNLESS NOTED OTHERWISE, ALL DIMENSIONS SHOWN ARE TO FACE OF FINISH MATERIAL OR EDGE / CENTERLINE OF OPENING, TYP.
3. REFER TO OTHER FRAMING NOTES, SPECIFICATIONS, & DETAILS.
4. EMERGENCY ESCAPE WINDOWS TO COMPLY WITH REQUIREMENTS OF SECTION R310.
5. ALL GYPSUM BOARD ATTACHED w/ SCREWS PER SECTION R702.3.5.1
6. REFER TO TABLE R302.6 FOR REQ'S AT ADJACENT DWELLING & GARAGE WALLS.
7. ALL ATTACHMENTS PER 2019 CRC, TABLE R602.3(1), TABLE R602.3(2) & MANUFACTURER INSTALLATION INSTRUCTIONS, TYP.

12 DETAIL NOTES

3" = 1'-0"



9 TYP. ROOF EAVE & GUTTER

3" = 1'-0"

R703.7 - EXTERIOR PLASTER:

INSTALLATION PER ASTM C926, ASTM C1063 & THE CA BLDG STANDARDS CODE.

(2)-LAYERS GRADE 'D' BUILDING PAPER / WEATHER & WATER-RESISTIVE BARRIER O/WD SHEATHING (R703.6.3)

GALVANIZED, M-TYPE CONTROL JOINT, WHERE REQ'D; WIRE-TIE CONTROL JOINT TO LATH

EXPANDED METAL LATH OR WOVEN WIRE, ATTACHED w/ 1-1/2" LONG, 11-GA NAILS w/ 7/16" HEAD OR 7/8" LONG, 16-GA STAPLES, SPACED @ 6" O.C.

3-COAT PORTLAND CEMENT PLASTER EXTERIOR FINISH PER R703.6.2; THICKNESS PER TABLE R702.1(1). AGG' & CEMENT MIXTURE PER TABLE R702.1(3). PAINT FINISH: COLOR, TBD

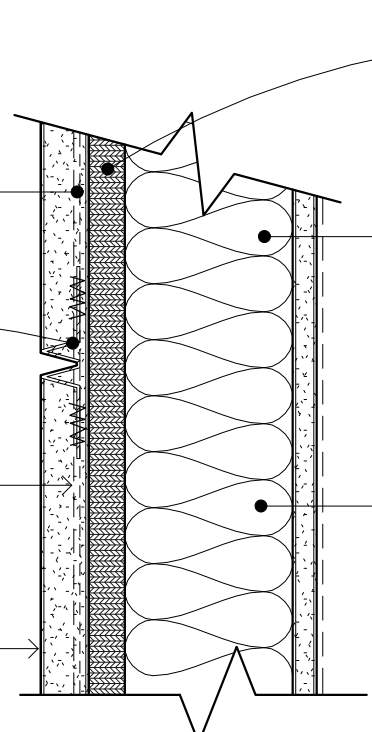
'CLIMATE ZONE 3'

PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS; ATTACHED PER TABLE R602.3(1)

WOOD STUDS; REFER TO WALL TYPE DETAILS, TYP.

2x6 EXTERIOR WALL w/ R-21 MINERAL WOOL INSULATION

*FLAME SPREAD & SMOKE-DEVELOPED PER CRC R302.10



5 EXT. WALL - STUCCO EXP' JOINT

3" = 1'-0"

R703.7 - EXTERIOR PLASTER:

1. INSTALLATION PER ASTM C926, ASTM C1063 & THE CA BLDG STANDARDS CODE.
2. FLASHING, WHERE OCCURS & REQ'D, PER R703.4
3. CRAWL SPACE ACCESS PER R408.4 (18"x24" @ FLOOR)
4. IF UNVENTED CRAWL SPACE, PER R408.3

(2)-LAYERS GRADE 'D' BUILDING PAPER / WEATHER & WATER-RESISTIVE BARRIER O/WD SHEATHING (R703.6.3)

EXPANDED METAL LATH OR WOVEN WIRE, ATTACHED w/ 1-1/2" LONG, 11-GA NAILS w/ 7/16" HEAD OR 7/8" LONG, 16-GA STAPLES, SPACED @ 6" O.C.

WEEP SCREED, PER R703.6.2.1, NO. 26 GALVANIZED SHEET STEEL OR PLASTIC IN ACCORDANCE w/ ASTM C926. WEATHER-RESISTANT BARRIER SHALL LAP ATTACHMENT FLANGE, TYP.

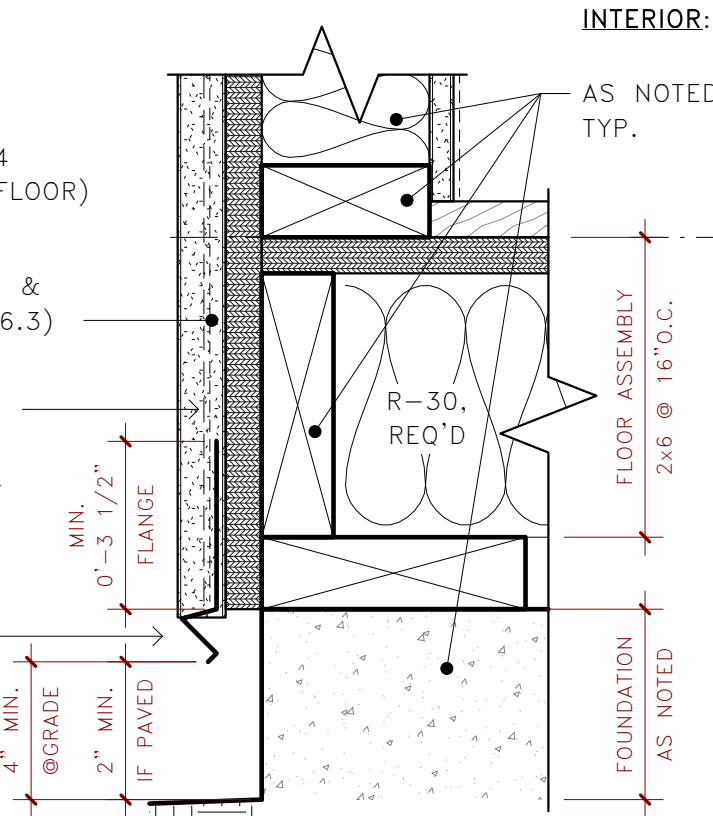
INTERIOR:

AS NOTED, TYP.

R-30, REQ'D

FLOOR ASSEMBLY 2x6 @ 16" O.C.

FOUNDATION AS NOTED



2 EXT. WALL - STUCCO @ BASE

3" = 1'-0"

8 TYP. ROOF RAKE

3" = 1'-0"

EXTERIOR

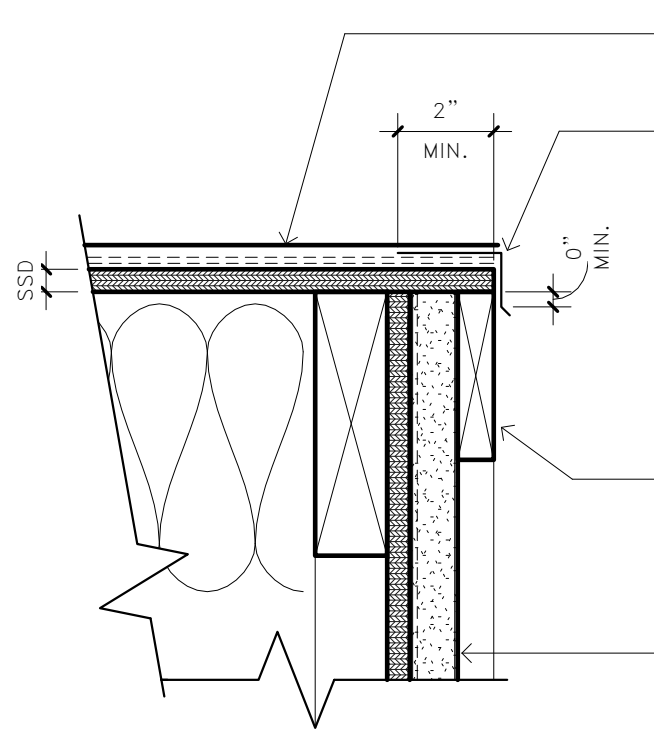
(N) ROOFING MATERIAL, AS SPECIFIED, TYP.

DRIP EDGE* (R905.2.8.5) AT EAVE & RAKE, OVERLAPPED 2" MIN. ALONG LENGTH; FASTENED 12" O.C. (R905.2.5)

*UNDERLAYMENT INSTALLED BELOW DRIP EDGE ALONG RAKE.

CONTINUOUS 1x FASCIA - REFER TO ROOF PLAN FOR OVERHANG DIMS. & SSD FOR FRAMING; PAINTED, TYP.

EXTERIOR SIDING / STUCCO, AS SPECIFIED; REFER TO ELEVATIONS, TYP.



4 TYP. SHINGLE ROOF ASSEMBLY

3" = 1'-0"

'CLIMATE ZONE 3':

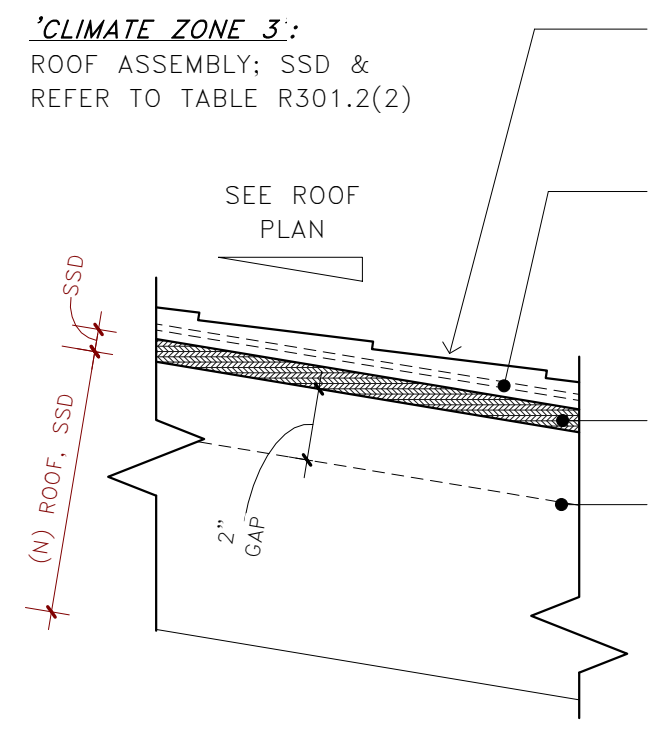
ROOF ASSEMBLY; SSD & REFER TO TABLE R301.2(2)

MEDITERRANEAN CLAY TILES OR ASPHALT SHINGLES, PER R905.2; 40-YR, INSTALLED PER MANUF' INSTRUCTIONS, TYP.

2-LAYERS ROOF UNDERLAYMENT PER R905.1.1; APPLIED PER TABLE R905.1.1(2) & ATTACHED PER TABLE R905.1.1(3)

ROOF SHEATHING; SSD

RADIANT BARRIER PER 2019 CenC, SECTION 110.8 & REFERENCE RESIDENTIAL APPENDIX RA4



3 TILE @ VANITY

3" = 1'-0"

7 WALL TYPE 'N4'

3" = 1'-0"

ACOUSTICAL INSULATION AT INTERIOR WALLS, WHERE DESIRED

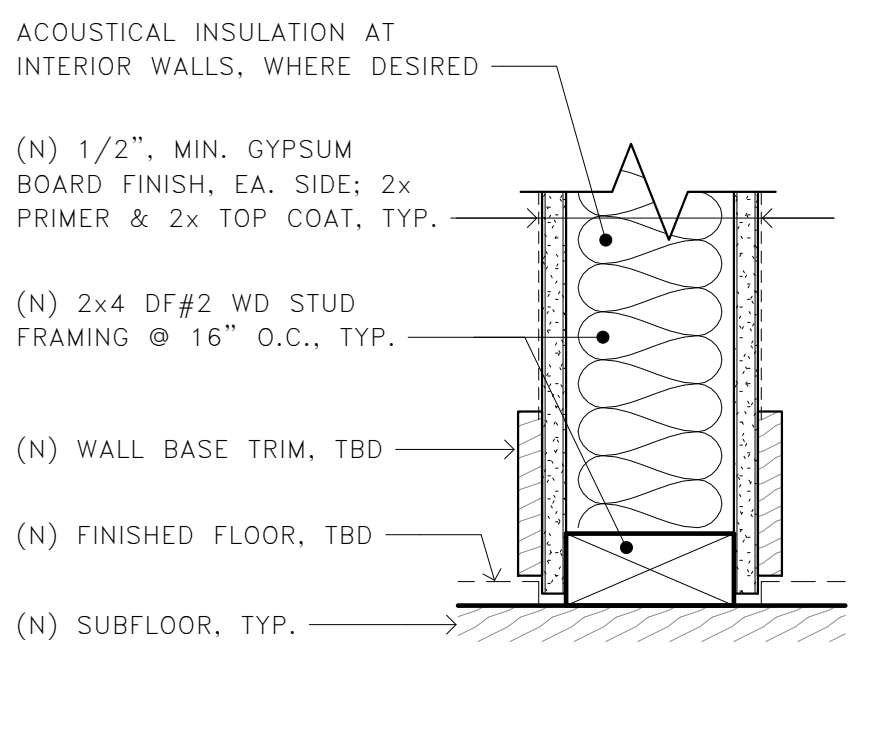
(N) 1/2", MIN. GYPSUM BOARD FINISH, EA. SIDE; 2x PRIMER & 2x TOP COAT, TYP.

(N) 2x4 DF#2 WD STUD FRAMING @ 16" O.C., TYP.

(N) WALL BASE TRIM, TBD

(N) FINISHED FLOOR, TBD

(N) SUBFLOOR, TYP.



10 WALL TYPE 'F4'

3" = 1'-0"

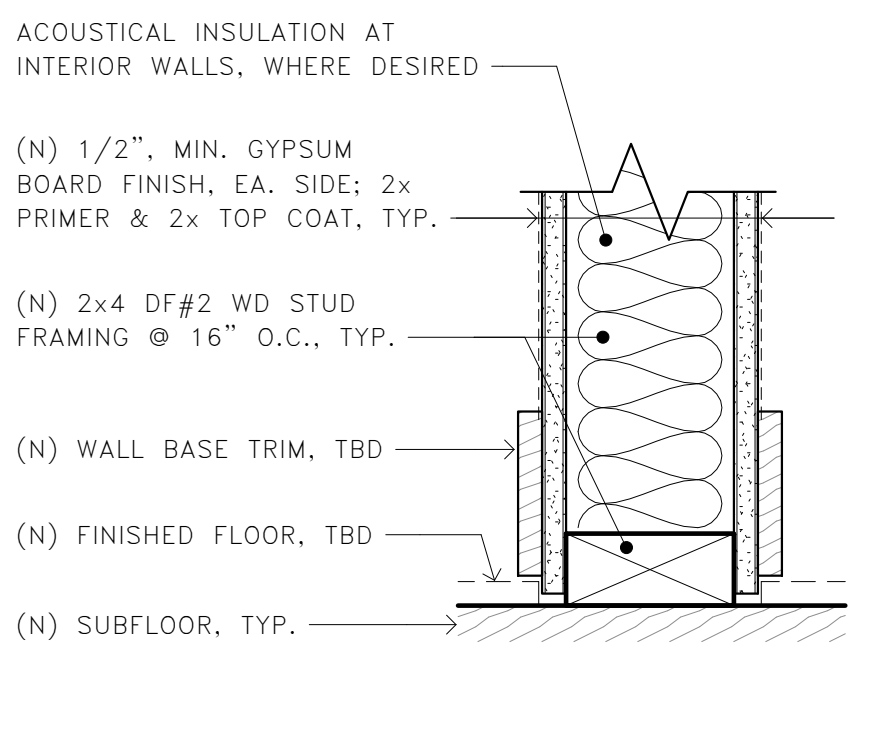
(N) 1/2", MIN. GYPSUM BOARD FINISH; 2x PRIMER & 2x TOP COAT, TYP.

(N) 2x4 DF#2 WD STUD FRAMING @ 16" O.C., TYP.

(N) MOISTURE-RESISTANT, NON-ABSORBANT WALL BASE, TBD

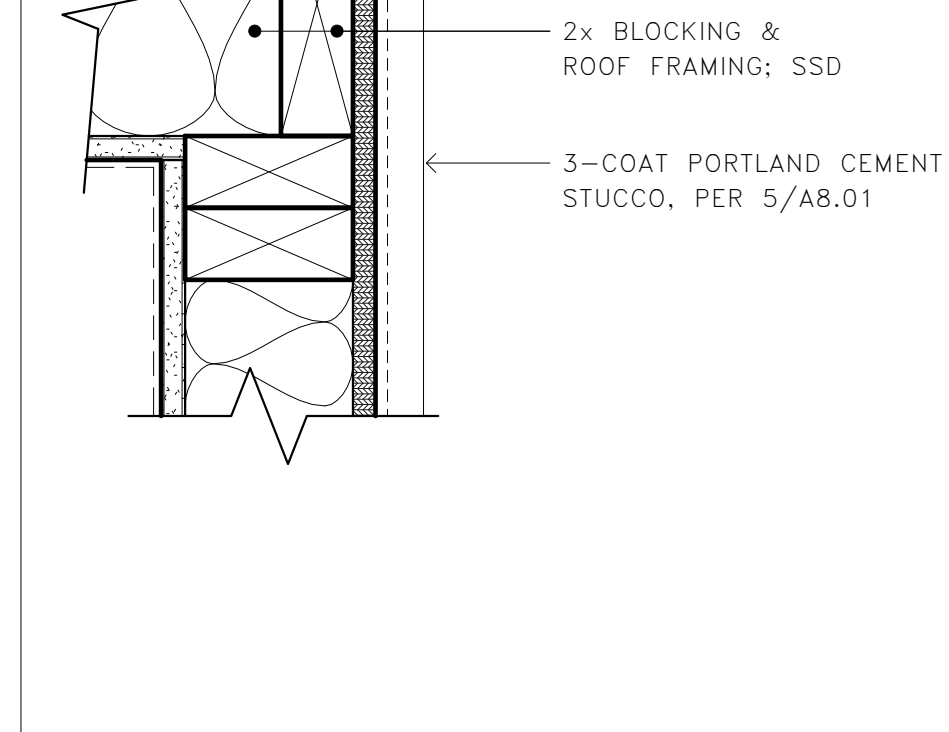
(N) FINISHED FLOOR, TBD

(N) SUBFLOOR, TYP.



6 TYP. ROOF COPING

3" = 1'-0"

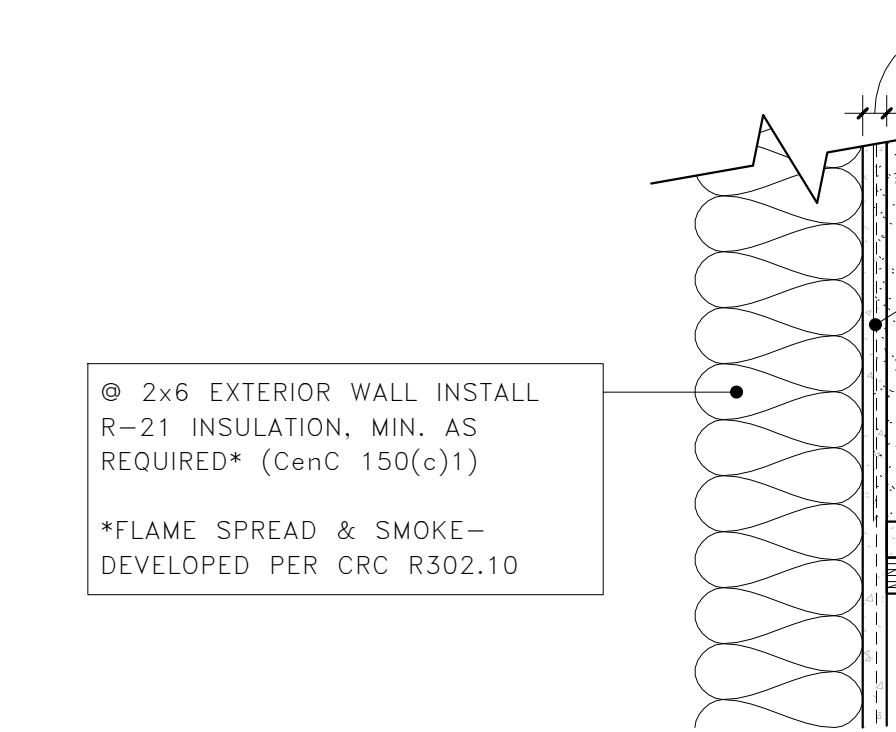


3 TILE @ VANITY

3" = 1'-0"

@ 2x6 EXTERIOR WALL INSTALL R-21 INSULATION, MIN. AS REQUIRED* (CenC 150(c)1)

*FLAME SPREAD & SMOKE-DEVELOPED PER CRC R302.10



BATHROOM SIDE

(N) TILE; THINSET PER MANUF. INSTALLATION INSTRUCTIONS. TILE SIZE, FINISH, & COLOR, TBD. STAIN-RESISTANT ADMIX w/ GROUT, TYP.

(N) MONOLITHIC, LIQUID-APPLIED WATERPROOFING MEMBRANE O/ 1/2" CEMENT BACKER @ WALLS; SEAL ALL SEAMS ABOVE COUNTERS, PER MANUF. INSTALLATION INSTRUCTIONS, TYP.

(N) SOLID SURFACE COUNTERTOP o/ PLYWOOD o/ MILLWORK BY OTHERS

(N) MILLWORK BY OTHERS

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]



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architect:

Bryan J. Hassemer, AIA

250 Lorraine Blvd.
San Leandro, CA 94577

bryan@inf3.com
530.448.0909

client:

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506 Edgecliff Way
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consultant:

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9425 Sage Creek Ct.
Elk Grove, CA 95624

209.450.9066

consultant:

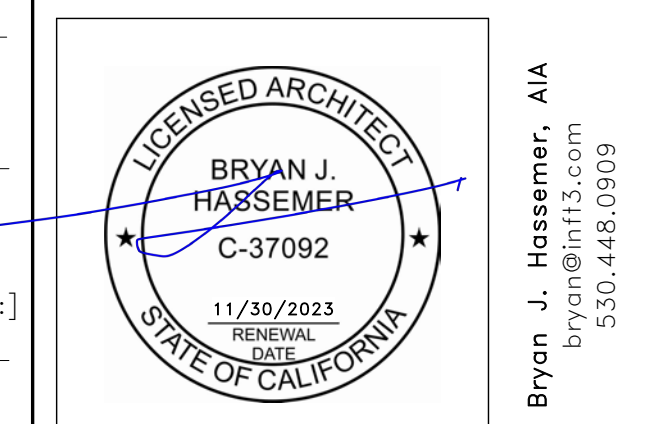
GeoForensics, Inc.

303 Vintage Park Dr., #220
Foster City, CA 94404

650.349.3369

revisions:

No.	Description	Date
1	DRAFT / BID SET	07/02/21
2	FOR PERMIT	10/08/21
4	DESIGN REVIEW PACKAGE	04/25/22



506 EDGECLIFF
REDWOOD CITY, CA
LIVING PORCH
& BEDROOM SUITE

DETAILS

inf3#:	20-015-01
date:	04/25/22
drawn:	BJH
page#:	32 of 35

A8.01

scale: 3" = 1'-0"

DIM. @ LEFT = 1" : DRAWING TO SCALE

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www.inf3.com

architect:

Bryan J. Hassemer, AIA

250 Lorraine Blvd.
San Leandro, CA 94577

bryan@inf3.com
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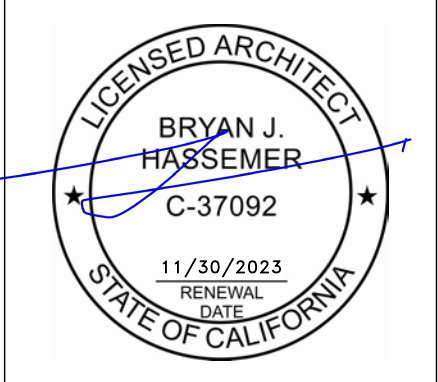
GeoForensics, Inc.

303 Vintage Park Dr., #220
Foster City, CA 94404

650.349.3369

revisions:

No.	Description	Date
2	FOR PERMIT_rev2	11/10/21
4	DESIGN REVIEW PACKAGE	04/25/22



Bryan J. Hassemer, AIA
bryan@inf3.com
530.448.0909

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REDWOOD CITY, CA
LIVING PORCH
& BEDROOM SUITE

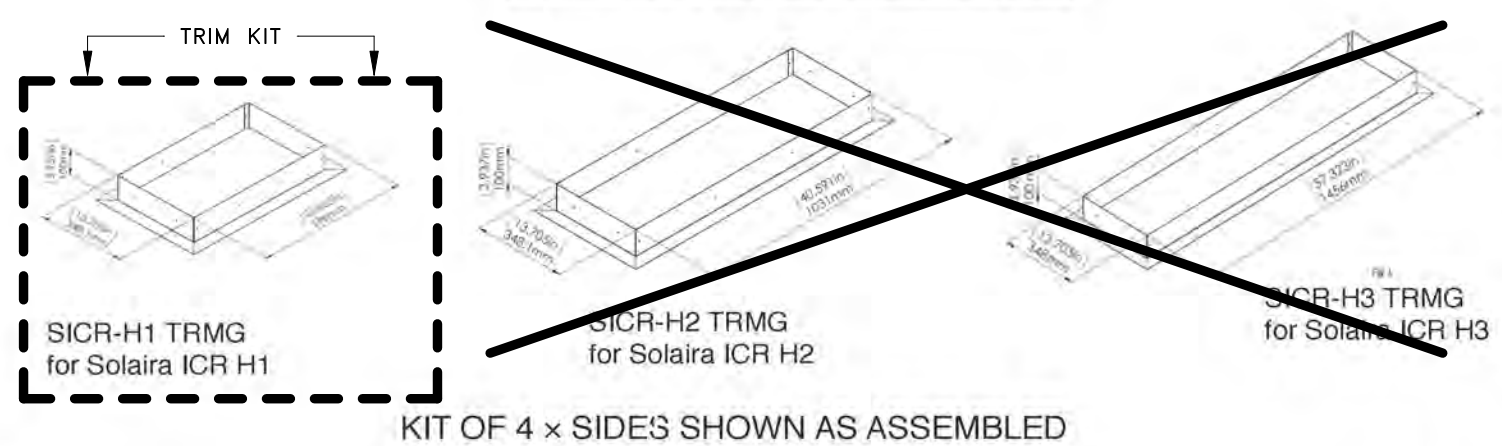
OUTDOOR PATIO HEATER
BY 'SOLAIRA'

inf3#: 20-015-01
date: 04/25/22
drawn: BJH
page#: 33 of 35

A8.02

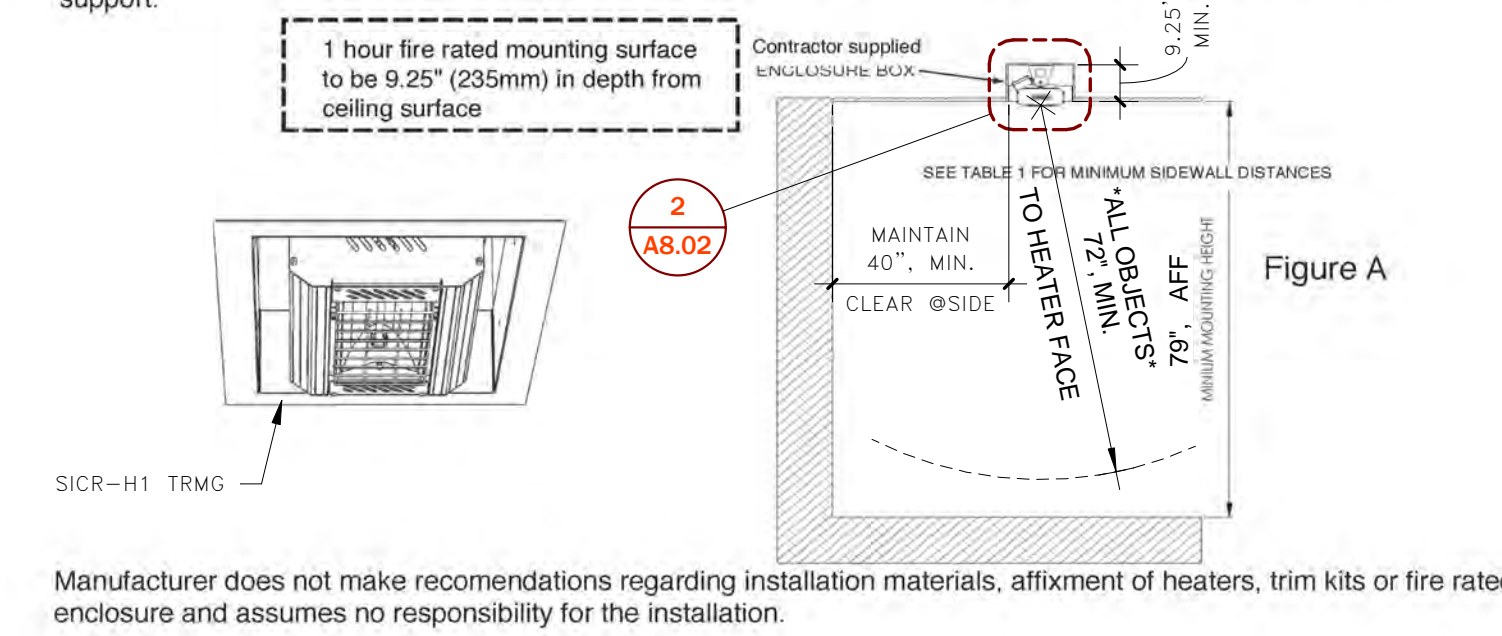
scale: As indicated

SOLAIRA ICR SERIES TRIM KIT DIMENSIONS
FOR ENCLOSURE BOX (CONTRACTOR SUPPLIED)
FOR RECESS APPLICATIONS ONLY



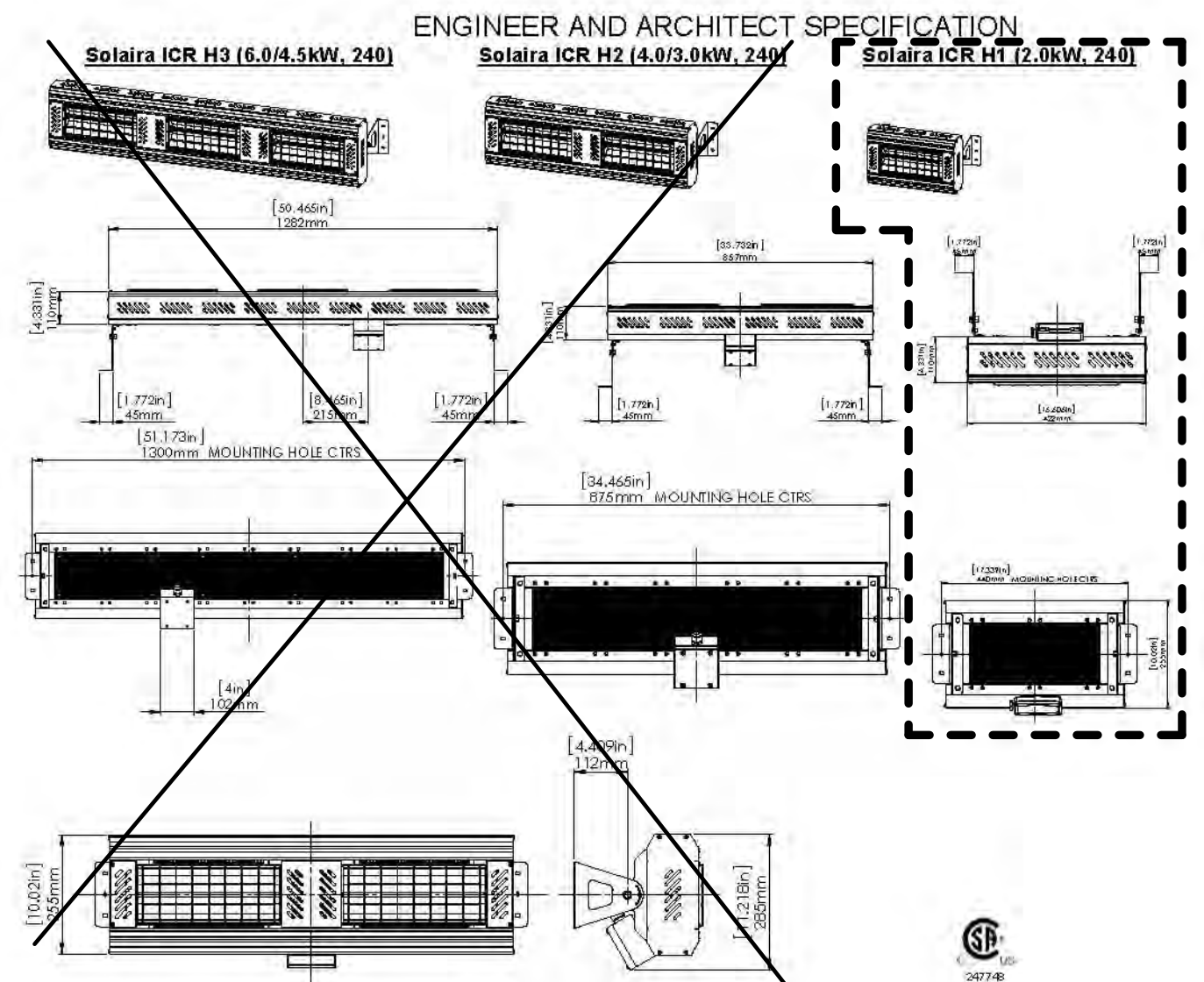
WARNING: RISK OF FIRE

- Installation of Trim Kit, Enclosure Box and associated wiring procedures should only be performed by qualified, licensed contractors to National Electrical Code (NEC), local code and applicable building code.
- Refer to applicable (H1, H2 or H3), approved Solaira ICR Series Instruction manual for cCSAus approved Safety and Installation information. THIS DOCUMENT IS NOT A SUBSTITUTE FOR APPROVED MANUAL. Failure to follow instruction manual may cause fire, electric shock or injury to persons.
- See Figure A, below for typical recessed mounting arrangement.
- Please refer to Table 1 of applicable (H1, H2 or H3), approved Solaira ICR Series Instruction manual for recommended positioning of heater with regards to minimum clearances to floor, sidewalls. DO NOT INSTALL IN CORNER! If installing near a corner, always ensure minimum sidewall distances are observed.
- Do not position heater near flammable materials such as furniture or curtains as this would present a fire hazard.
- When recess mounting the heater, it MUST be accompanied with FLANGE KIT and an enclosure box (SUPPLIED BY CERTIFIED INSTALLING CONTRACTOR) made from a suitable material with 1 HOUR FIRE RATING.
- Enclosure box, heater and flange weight MUST be considered by contractor to ensure adequate structural support.



Manufacturer does not make recommendations regarding installation materials, affixment of heaters, trim kits or fire rated enclosure and assumes no responsibility for the installation.

Solaira® ICR SERIES



TECHNICAL SPECIFICATION

MODEL	Total Power (WATTS)	Voltage (Volt)	Total Current (Amps)	Minimum Recommended height from floor (inches/cm)	Clearance to Ceiling	Clearance to side wall	Weight	Replacement Emitter	
SICR2024G	2000/1500	240/208	8.3/7.2	78/79"	20(1/2)"/1cm	6" (15 cm)	40" (100cm)	8 lbs (3.6kg)	WIRE15240

NOTE: All models come standard with Low Glare Lamps, models marked (LL) are available with ultra Low Glare Candel® emitters

SOLAIRA ICR SERIES SUBMITTAL

JOB NAME	506 EDGECLIFF WAY / LIVING PORCH	JOB LOCATION	EMERALD HILLS, CA
ARCHITECT	BRYAN J. HASSEMER, AIA / inf3	ENGINEER	N/A
CONTRACTOR	TBD	SUBMITTED BY	inf3
ITEM SPEC	SICR2024G	QTY	4, V.I.F.
		CONTROLS	TBD
		DATE	12/14/21

Solaira® is a registered trademark of Infrared Consumer Products Inc.
Canada: 135 Trades Blvd #4, Mississauga, Ontario
Phone: 866-321-8273 local 905-568-7856 Fax: 905-568-7921 web: www.solairah heaters.com email: info@solairah heaters.com

Solaira® ICR SERIES

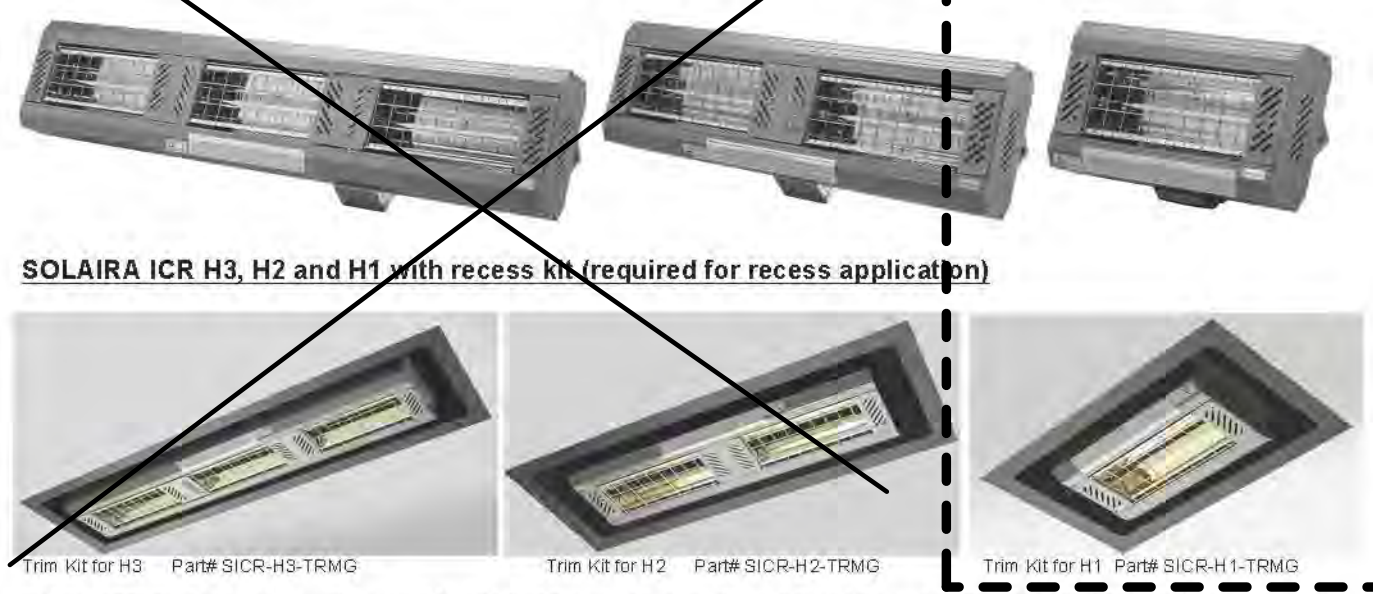
ENGINEER AND ARCHITECT SPECIFICATION

ICR SERIES are engineered for:

- COMMERCIAL HIGH OUTPUT RADIANT HEAT
- LOW MOUNTING CLEARANCE TO CEILING (6" min)
- RECESS APPLICATION
- HIGH MOUNTING HEIGHT
- CEILING SUSPENDED OR WALL MOUNT

Solaira high performance, waterproof, shortwave infrared heaters are certified and suitable for outdoor/indoor use in commercial/industrial applications and outdoor residential applications. Solaira shortwave technology is ideal for environments that require high radiant heating efficiency or outdoor environments.

SOLAIRA ICR H3 Form Factor	SOLAIRA ICR H2 Form Factor	SOLAIRA ICR H1 Form Factor
- Up to 6.0kW, 208-240V	- Up to 4.0kW, 208-240V	- Up to 2.0kW, 208-240V
- Mounting Clearance, 99", up	- Mounting Clearance, 99", up	- Mounting Clearance, 79", up



SOLAIRA ICR H3, H2 and H1 with recess kit (required for recess application)

Solaira ICR Series heaters will be cCSAus Listed for use in Canada and the U.S. and certified to UL 2021, 3rd edition Fixed and Location - Dedicated Electric Room Heaters-Electric and CSA C22.2 No. 46-13 Electric Air Heaters. Solaira ICR Series Heater may be wall hung, ceiling suspended OR recessed into ceiling structure per manufacturers recommended instruction manuals. Solaira ICR Series Heaters are suitable for indoor/outdoor in commercial/industrial applications and outdoor use only in residential application. Solaira ICR series heaters are NOT suitable for indoor residential or household use.

Solaira ICR Series may be ceiling suspended, wall mounted or recessed into ceiling applications with recommended clearances and in the case of recess application, utilizing appropriate fire rated construction materials per instruction manuals.

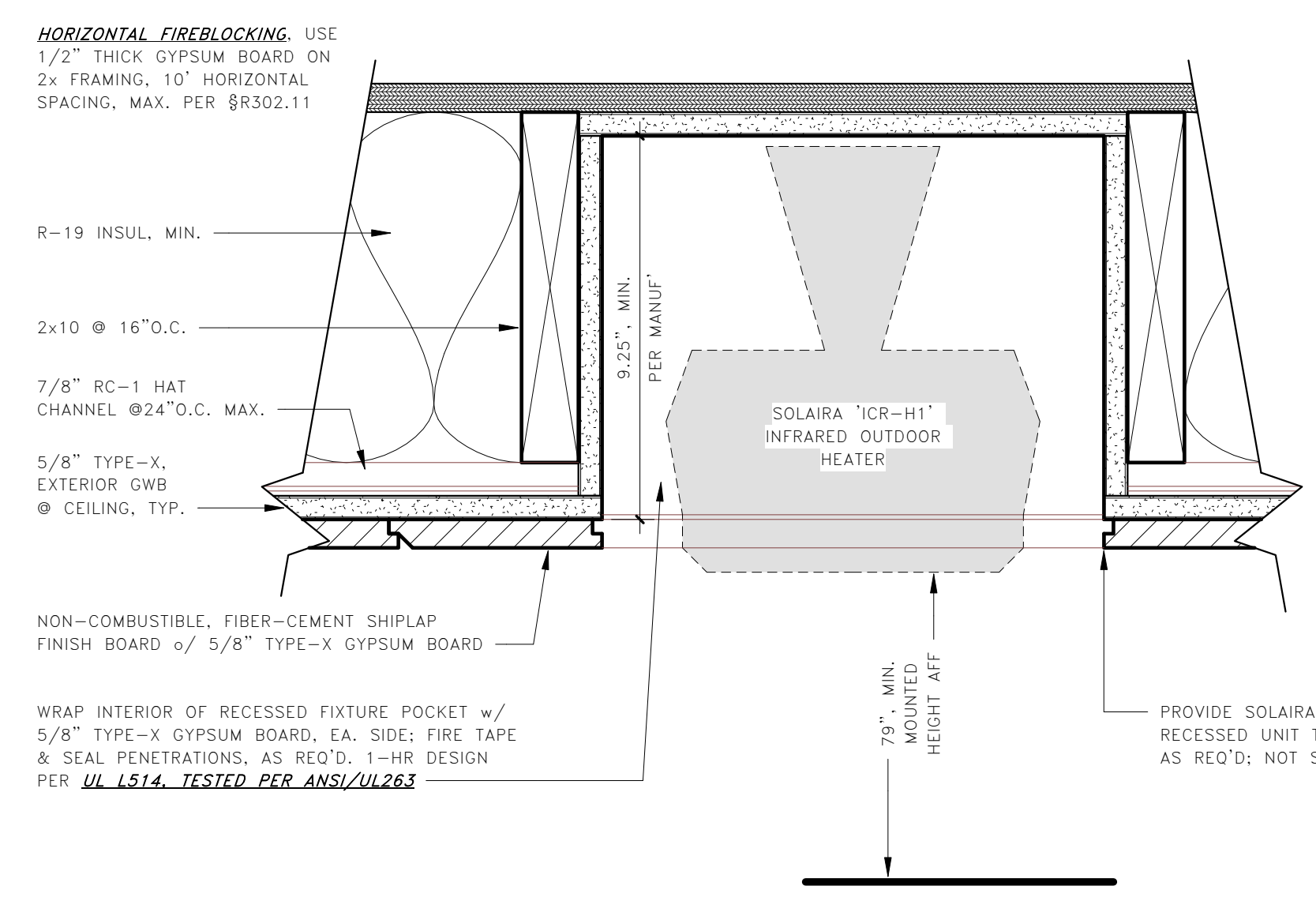
Solaira ICR Series heaters will utilize only Solaira short wave emitter technology with peak infrared wavelength between 1000 - 1300 nm. Emitters will be manufactured utilizing tubular quartz with tungsten coil and shall be standard low glare or ultra low glare Candel®, thermal shock resistant and will be terminated in a waterproof junction box attached to the fixture. Solaira ICR Series heaters will have safety guards on face of heater to protect against accidental contact with emitter lamp. Controllable Heat-Heaters can have variable heat control added as an option (see www.solairah heaters.com).

Solaira ICR Series heater enclosures and mounting brackets will be polyester powder coated, 0.9mm 1050 grade aluminum. Back mesh shall be Aluminum and accessories and all threaded hardware shall be stainless steel. Reflectors shall be gold colored, 87% reflectivity and manufactured from 0.9mm anodized aluminum. All units are supplied with adjustable wall or ceiling mounting bracket, safety wire guard.

- GENERAL NOTES:
- PROVIDE 1-HR RECESSED ENCLOSURE (UL UXXXX) FOR 'HC1' FIXTURE.
 - PROVIDE MEMBRANE & THRU-PENETRATION FIREPROOFING PER CRC XXXXXXXXXXXXX
 - PROVIDE 30-MIN. WALL-MOUNTED TIMER/SWITCH FOR HEATER(S) @ PATIO AREA.
 - MAX. WATTAGE @ 1500W FOR CONVENIENCE HEATING DEVICE.

1 SOLAIRA - PATIO HEATER & TRIM KIT
12" = 1'-0"

- PROVIDE A FLOOR/CEILING ASSEMBLY AT THE RECESSED PATIO HEATER UNITS HAVING NOT LESS THAN A 1-HOUR FIRE-RESISTANCE RATING (UL U514) WHERE TESTED IN ACCORDANCE W/ ASTM E119, UL 263 OR 2019 CBC SECTION 703.3
- WHERE REQUIRED TO BE FIRE-RESISTANCE RATED, RATED PENETRATIONS OF WALL OR FLOOR-CEILING ASSEMBLIES IN ACCORDANCE WITH R302.4
- REVIEW ALL THROUGH-PENETRATIONS IN ACCORDANCE WITH R302.4.1
- PIPES, FRAMING, ETC.
 - USE MULTI FS-ONE MAX CAULK @ THRU-PENETRATIONS, TYP.
 - REFER TO 2/A8.04
- REVIEW ALL MEMBRANE PENETRATIONS IN ACCORDANCE WITH R302.4.2
- STEEL ELECTRICAL BOXES, ETC.
 - USE MULTI CP 617 PUTTY PADS @ MEMBRANE PENETRATIONS, TYP.
 - REFER TO 2/A8.04



2 SOLAIRA - 1-HR HEATER POCKET
3" = 1'-0"

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

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INSTALLATION (cont.)

SCREEN AND EMBERS PLACEMENT (Charred Log Sets Only)

Charred log sets include an ember screen and additional embers that are to be placed at this stage.

- 1. Attach the ember screen to the burner by slipping it onto the back edge (center left to right) with the perforated section facing towards the back fireplace wall (Fig. 20-1).
- 2. Cover the surface of the ember screen with the additional glowing embers as shown in Fig. 20-2.

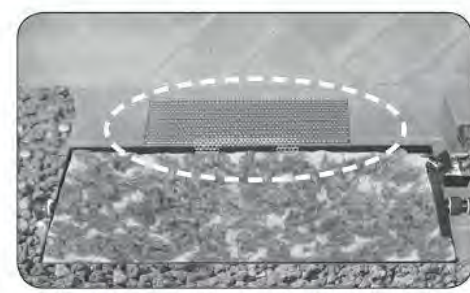


Fig. 20-1 Attach screen (if applicable)



Fig. 20-2 Cover screen with embers

GRATE PLACEMENT

Place the grate so that the bottom tabs on the log locator brackets fit over the back edge of the pan, locking it in position (see Fig. 20-3).



Fig. 20-3 Place grate

PLACE DECORATIVE WOOD CHIP (if applicable)

Place the decorative wood chip in front of the valve, with at least a 1/2" between it and the valve (see Fig. 20-4).

CAUTION: Ensure the wood chip is placed at least 1/2" away from the valve to avoid overheating and damage to the valve. If this minimum requirement of 1/2" clearance is not possible, DO NOT use the wood chip.

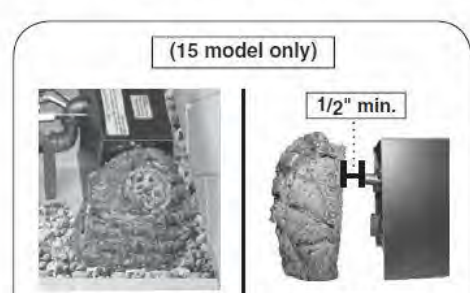


Fig. 20-4 Place wood chip (if applicable)

CAUTION: THE WOOD CHIP WILL BE HOT DURING AND AFTER OPERATION.

Installation continued on next page

INSTALLATION (cont.)

9. Remote Receiver Install (11, 15, & 17 models only)

If this unit was shipped with a remote, read and follow the separate remote instructions (packed with remote) for complete remote installation. Reference Fig. 17-1.

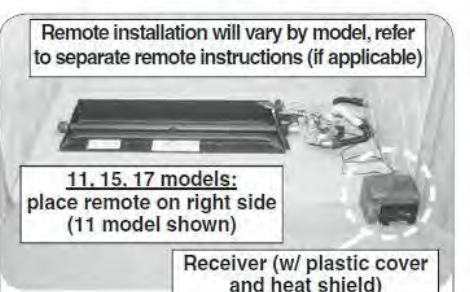


Fig. 17-1 Install remote receiver and heat shield (as applicable)

10. Decorative Heat Shield (if applicable)

11, 15, & 17 Models: Ensure the remote receiver is properly installed (with the plastic cover over it). Then place the decorative heat shield over the remote receiver. See Fig. 17-1.

02 Models: Place the decorative heat shield over the remote receiver / switch box (see Fig. 17-1).

CAUTION: THE REMOTE RECEIVER / SWITCH BOX AND DECORATIVE HEAT SHIELD WILL BE HOT DURING AND AFTER OPERATION.

PREPARE GRATE AND CENTER

1. Locate the grate (outside of the fireplace) and attach the log locators to the 2 outer bars of the grate using the provided screws and nuts (see Fig. 17-2 and Fig. 17-4).

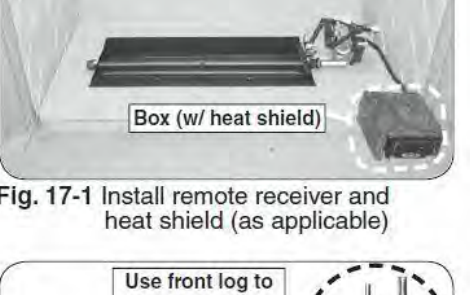


Fig. 17-2 Attach log locators to grate

The log locators should be loosely positioned toward the middle of the outer bars and oriented as shown in Fig. 17-2. Temporarily place the front log at the front of the grate, to correctly determine the log locator position. Slide the log locators up against the rear of the front log. Tighten the log locators in place. Remove the front log.

2. Position the grate over the burner pan (in fireplace) so the log locator brackets fit over the back edge of the pan to lock it in position. Ensure the assembly is centered from left to right. See Fig. 17-3 and Fig. 17-4.

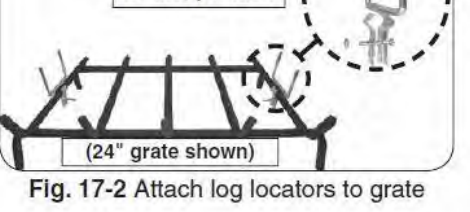


Fig. 17-3 Position grate

Then remove the grate for future media placement.

Installation continued on next page

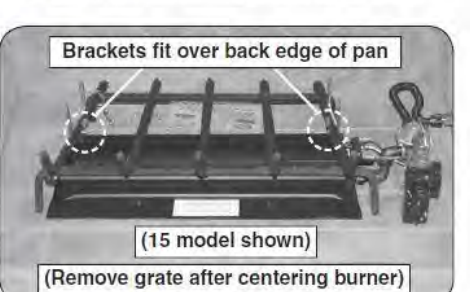


Fig. 17-4 Grate placement detail

CAUTION: THE BOX WILL BE HOT DURING AND AFTER OPERATION.

INSTALLATION (cont.)

SAND/VERMICULITE PLACEMENT

The sand/vermiculite supplied with the unit is specially selected for use with either natural or propane gas. It maximizes flame distribution and provides a cleaner burning flame.

CAUTION: Use only sand for natural gas burners and vermiculite for propane gas burners.

- 1. Fill the burner pan completely with the sand/vermiculite (see Fig. 19-1). Avoid spilling the sand/vermiculite on the pilot assembly. DO NOT place sand/vermiculite on any other parts of the burner, valve, or heat shield.
- 2. Slope the sand/vermiculite at the same angle as the burner pan. This is important to ensure quiet lighting and even flame distribution. See Fig. 19-2.

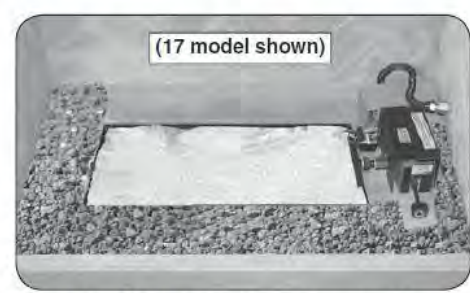


Fig. 19-1 Place sand/vermiculite

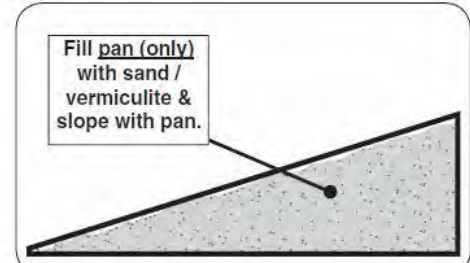


Fig. 19-2 Sand/vermiculite detail

GLOWING EMBERS PLACEMENT

Sprinkle the glowing embers lightly and evenly over the entire surface of the sand/vermiculite as shown in Fig. 19-3. Break up any clumps that may have developed during shipment. Store unused embers for later use/replacement.

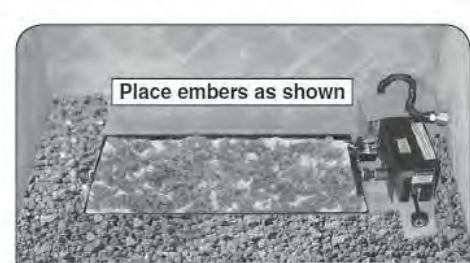


Fig. 19-3 Place glowing embers

KEEP LAVA GRANULES/COALS, SAND/VERMICULITE, EMBERS, AND ALL FOREIGN OBJECTS AWAY FROM THE PILOT ASSEMBLY, VALVE ASSEMBLY, AND HEAT SHIELD(S) DURING MEDIA PLACEMENT AND AT ALL TIMES. SEE FIG. 19-4.

Installation continued on next page



Fig. 19-4 Keep pilot, valve, & shield(s) clear

CAUTION: THE BOX WILL BE HOT DURING AND AFTER OPERATION.

INSTALLATION (cont.)

HEAT SHIELD PLACEMENT

TO PREVENT DAMAGE AND FAILURE: IT IS CRITICAL THAT THE HEAT SHIELD(S) BE PLACED CORRECTLY OVER THE REGULATOR AND/OR VALVE PRIOR TO OPERATION.

TO PREVENT OVERHEATING:

Place the valve heat shield over the valve as shown in the applicable image of Fig. 18-1. It should rest flat above the valve. For manual, 15, and 17 models, place the regulator heat shield as shown in the applicable image of Fig. 18-1. It should rest flat above the regulator.

Keep the area above and below the heat shield(s) clear of decorative media or any other objects at all times.

Important: Ensure any lines/tubes/wires from the valve do not interfere with heat shield placement.

LIGHTING TEST

Prior to proceeding with installation, perform a lighting test (see lighting instructions for lighting your burner). Allow the unit to completely cool after testing.

IMPORTANT

For all valves, the air MUST be purged from the gas line before the pilot will light and burn properly. The time needed to purge will depend on the length of the gas line to the unit and the amount of time since the unit or gas line was last used. It may take several minutes before all the air is purged and the pilot will light and burn properly. Reference the LIGHTING INSTRUCTIONS section in this manual.

LAVA GRANULES/COALS (optional)

Optional lava granules and lava coals are available for decorative purposes. Contact your dealer for ordering information. If purchased, follow the steps below.

- 1. Spread the lava granules on the floor of the fireplace, around the front and sides of the burner system (see Fig. 18-2).
- 2. Repeat this process for the lava coals (on top of the already placed lava granules).

Note: DO NOT place any lava media on the burner system, behind it, on or within the heat shield, or under a knob if one exists at the front of the valve (see Fig. 18-3).

If applicable, the lava media may be placed around the receiver/switch box. Leave the front of the receiver/switch box clear for control access.

Installation continued on next page

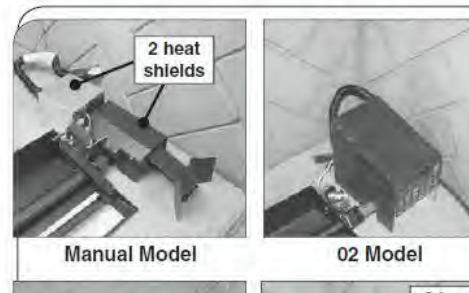


Fig. 18-1 Place heat shield(s)

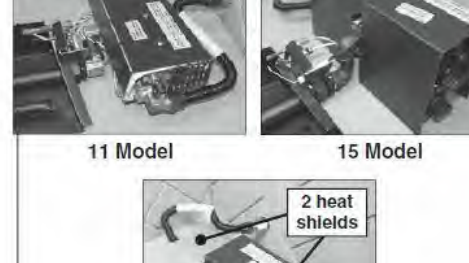


Fig. 18-2 Place lava media (if option purchased)



Fig. 18-3 Proper lava media placement

CAUTION: THE BOX WILL BE HOT DURING AND AFTER OPERATION.

SPECIFICATIONS

Real Fyre gas burner systems must be installed only in a wood burning fireplace with the minimum firebox dimensions and venting requirements met (see following tables). This appliance is designed to burn with yellow flames; adequate ventilation is absolutely necessary.

Product Specifications

Table with columns: Model, Minimum Fireplace Size (Width, Depth, Height), BTU Rating (Nat. Gas, L.P. Gas). Includes a diagram of a fireplace with dimensions.

Important Information Regarding Dimensions

* These required widths allow for centering of the unit. For 02 models, add 2" to both front and rear width. † Rear width is at corresponding depth. ‡ If an ash lip exists, the depth requirement begins inside of the lip (see Fig. 8-1 below).

Table 1 - Product Specifications

Table with columns: Specification, Value, Qty. Rows include 02 burner system battery type, Remote transmitter battery type, Remote receiver battery type.

Table 2 - Technical Data (if applicable)

Fireplace Requirements

These requirements MUST be met:

Ash Lip/Recess

DO NOT install this burner system in a fireplace with an ash lip or recess greater than 3/4". See Fig. 8-1.

Glass Doors

If this burner system is installed in a fireplace with glass doors, and the doors have a frame that obstructs airflow to the fireplace floor, the frame MUST have slots (above the fireplace floor) that allow adequate ventilation. See Fig. 8-2.

Important: The opening (with doors fully open) MUST meet the minimum fireplace size front width and height requirements. See Table 1 and Fig. 8-2.

Important: The glass doors MUST be fully open when the burner is in operation.

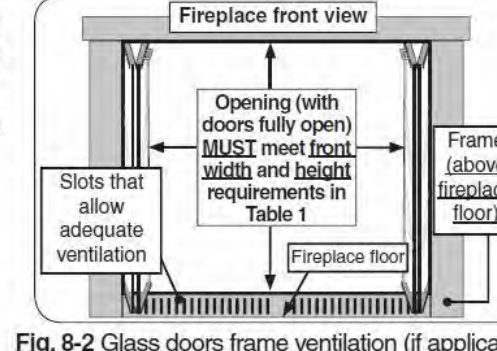
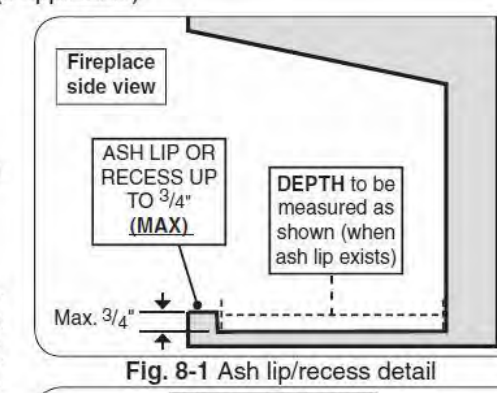


Fig. 8-2 Glass doors frame ventilation (if applicable)

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www.inf3.com

architect:

Bryan J. Hassemer, AIA

250 Lorraine Blvd. San Leandro, CA 94577

bryan@inf3.com 530.448.0909

client:

Lucas & Jacqui Buchanan

506 Edgecliff Way Redwood City, CA 94602

consultant:

CHG Engineering, Inc.

9425 Sage Creek Ct. Elk Grove, CA 95624

209.450.9066

consultant:

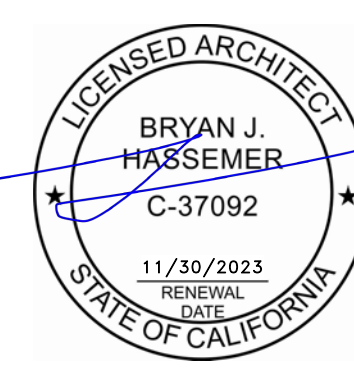
GeoForensics, Inc.

303 Vintage Park Dr., #220 Foster City, CA 94404

650.349.3369

revisions:

Table with columns: No., Description, Date. Rows include FOR PERMIT_rev2 and DESIGN REVIEW PACKAGE.



Bryan J. Hassemer, AIA bryan@inf3.com 530.448.0909

506 EDGECLIFF REDWOOD CITY, CA LIVING PORCH & BEDROOM SUITE

VENTED NATURAL GAS LOG SET BY 'REAL FYRE'

inf3#: 20-015-01 date: 04/25/22 drawn: BJH page#: 34 of 35

A8.03

scale: 1/2" = 1'-0"

RH PETERSON CO. realfyre. Standard and Stainless Steel Burner Systems. DESIGN CERTIFIED to Vented Decorative Appliance ANSI Z21.60 CSA 2.26. FOR INSTALLATION IN SOLID-FUEL BURNING FIREPLACES. Includes diagrams for gas connection and box placement.

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HILTI Product Information

High-performance intumescent firestop sealant FS-ONE MAX

- Applications**
- For effectively sealing most common through penetrations in a variety of base materials
 - For use on concrete, masonry and drywall
 - Mixed and multiple penetrations
 - Metal pipe penetrations: copper, steel and EMT
 - Insulated metal pipe penetrations: steel and copper
 - Plastic pipe penetrations: closed or vented

- Advantages**
- US-produced, "Buy American" compliant
 - One product for a variety of common through penetrations
 - Cost-effective, easy-to-use solution
 - Water-based and paintable
 - Industry-leading VOC results
 - Ethylene glycol-free



Technical data

Chemical base	Water-based acrylic dispersion
Approx. Density	84.3 lb/ft ³
Color	Red
Application temperature range	41 - 104 °F
Approx. cure time*	4 mm/3 days
Temperature resistance range	-4 to 212 °F
Mold and mildew performance	Class 0 (ASTM G21-96)
Mold and mildew resistance	Yes
Surface burning characteristics UL 120 (ASTM E84)	Flame spread 0 Smoke development 10
Tested in accordance with	UL 1479, CAN/ULC-S115, ASTM E84, CAN/ULC-S115, ASTM G21, ASTM E84
California State fire marshal approval	CPM Listing 4400-1200708 for FS-ONE MAX Intumescent Firestop Sealant
Expansion rate (unrestricted, up to)	1:1

*at 75°F/24°C, 50% relative humidity



Order Designation	Package Content	Item number
FS-ONE MAX 20 oz foil (3 case + disp)	1x Full pack dispenser manual CS 270-P1, 75x Firestop sealant FS-ONE MAX 20 oz foil	3030252
FS-ONE MAX 10oz tube (1 case)	15x Firestop sealant FS-ONE MAX 10 oz cartridge	3030246
FS-ONE MAX 5 gallon (15 cases)	15x Firestop sealant FS-ONE MAX 5 gallon pail	3030203
FS-ONE MAX 20 oz foil (1 case)	25x Firestop sealant FS-ONE MAX 20 oz foil	3030250
FS-ONE MAX 20 oz foil (3 cases)	75x Firestop sealant FS-ONE MAX 20 oz foil	3030251
FS-ONE MAX 10 oz Cartridge	900x FS-ONE MAX 10 oz Cartridge	3030213
FS-ONE MAX 5 gallon pail	900x FS-ONE MAX 5 gallon pail	3030203

Hilti. Outperform. Outlast.
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HILTI Product Information

FIRESTOP CP 617 PUTTY PADS

Product description

- A moldable firestop putty designed to help protect electrical outlet boxes, junction boxes, and large steel boxes

- Applications for use**
- Protection of electrical outlet boxes, large steel boxes and junction boxes
 - General gypsum wall assemblies with wood or metal studs
 - When two outlets on opposite sides of the wall are located within a single stud / cavity or within 24" measured horizontally (not back-to-back unless specified by specific UL approval)

- Advantages**
- Applied by hand, no tools required. Pad can be molded without leaving residue on hands
 - No electrical conductivity
 - Quick and simple to install
 - Can be used for commercial and residential applications
 - Asbestos, formaldehyde and LABS free
 - Red list compliant
 - No oil migration. Putty remains flexible over time
 - Excellent adhesion to gypsum, metal and plastic
 - Hilti-branded paper has integrated IFU on each pad
 - No methylene diisocyanate, phthalates, volatile solvents or asbestos fibers

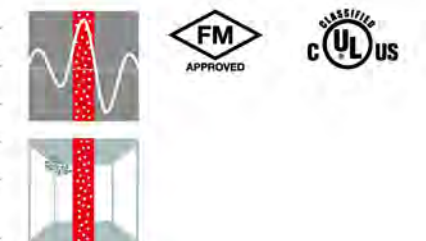
Installation instructions

- See Hilti literature or third-party listings for complete application and installation details

Technical Data

Chemical basis	Butyl rubber
Color	Red
Recommended application temperature	32° to 104° F
Storage and transportation temperature range	23° to 104° F
Density	1.6 g/cm ³
Temperature resistance range	-40° to 104° F
Mold and mildew performance	Class 0 (ASTM G21-96)
Tested in accordance with	UL 1479, CAN/ULC-S115, ASTM E84
Surface burning characteristics	Flame spread 15 (ASTM E84) Smoke development 10 (ASTM E84)
LEED v4.1 compliance	Complies with CDPH standard method v1.2-2017
LEED VOC	4.35 g/L
Dimensions (LxWxH)	CP 617 6"x7": 6"x7"x1/8" (15x18x0.3 cm) CP 617 L 7"x7": 7"x7"x1/8" (18x18x0.3 cm) CP 617 XL 9"x9": 9"x9"x1/8" (23x23x0.3 cm)
Package includes	20 pcs per box
Acoustics performance	59 (relates to specific construction) ASTM E90
Shelf life	Not relevant
Curing time	Non-curing

Order designation	Sales pack quantity	Item number
CP 617 6"x7"	20	309760
CP 617 L 7"x7"	20	333583
CP 617 XL 9"x9"	20	373387



Hilti Firestop Saving lives through innovation and education

PROVIDE A FLOOR/CEILING ASSEMBLY AT THE RECESSED PATIO HEATER UNITS HAVING NOT LESS THAN A 1-HOUR FIRE-RESISTANCE RATING (UL US14) WHERE TESTED IN ACCORDANCE W/ ASTM E119, UL 263 OR 2019 CBC SECTION 703.3

WHERE REQUIRED TO BE FIRE-RESISTANCE RATED, RAISED PENETRATIONS OF WALL OR FLOOR-CEILING ASSEMBLIES IN ACCORDANCE WITH R302.4

REVIEW ALL THROUGH-PENETRATIONS IN ACCORDANCE WITH R302.4.1
PIPE, FRAMING, ETC.

REVIEW ALL MEMBRANE PENETRATIONS IN ACCORDANCE WITH R302.4.2
STEEL ELECTRICAL BOXES, ETC.

2 HILTI - FIRE-SAFE CAULK & PUTTY PADS
12" = 1'-0"

ISOKERN Enhancements Firebrick

Firebrick Options and Quantities for Isokern Fireplaces

STANDARD FIREBRICK SIZES:
Full: 9" x 4-1/2" x 2-1/2"
Splits: 9" x 4-1/2" x 1-1/4"
Soaps: 9" x 2-1/4" x 1-1/4"
**Red & Cream Firebrick ONLY*

Available Colors:
All available in full & split. Red & Cream available in soaps. Red & Soaps are special order.

Pattern Guide:
H = Herringbone
R = Running Bond

In wood burning applications, full 2.5" thick firebrick is recommended off the floor and backwall of the Isokern fireplace. Isokern mortar is required for installing ALL firebrick in Isokern fireplaces.

Standard

Model	36	42	46
R Full/Spilt: 100	R Full/Spilt: 100	R Full/Spilt: 100	R Full/Spilt: 100
H Full/Spilt: 120	H Full/Spilt: 120	H Full/Spilt: 120	H Full/Spilt: 120
R Soaps: 200	R Soaps: 200	R Soaps: 200	R Soaps: 200
H Soaps: 240	H Soaps: 240	H Soaps: 240	H Soaps: 240

Magnum

Model	28	36	42	48	**60	**72
R Full/Spilt: 100	R Full/Spilt: 100	R Full/Spilt: 120	R Full/Spilt: 130	R Full/Spilt: 150	R Full/Spilt: 180	R Full/Spilt: 200
H Full/Spilt: 120	H Full/Spilt: 140	H Full/Spilt: 140	H Full/Spilt: 150	H Full/Spilt: 150	H Full/Spilt: 180	H Full/Spilt: 200
R Soaps: 200	R Soaps: 240	R Soaps: 240	R Soaps: 240	R Soaps: 240	R Soaps: 240	R Soaps: 240
H Soaps: 240	H Soaps: 280	H Soaps: 280	H Soaps: 280	H Soaps: 300	H Soaps: 300	H Soaps: 300

Magnum+

Model	**84	**96	**108	**120
R Full/Spilt: 200	R Full/Spilt: 250	R Full/Spilt: 270	R Full/Spilt: 290	R Full/Spilt: 300
H Full/Spilt: 240	H Full/Spilt: 270	H Full/Spilt: 270	H Full/Spilt: 270	H Full/Spilt: 270
R Soaps: 200	R Soaps: 240	R Soaps: 240	R Soaps: 240	R Soaps: 240
H Soaps: 240	H Soaps: 280	H Soaps: 280	H Soaps: 280	H Soaps: 280

Maximum

Model	46	48
R Full/Spilt: 100	R Full/Spilt: 100	R Full/Spilt: 130
H Full/Spilt: 120	H Full/Spilt: 150	H Full/Spilt: 150
R Soaps: 200	R Soaps: 240	R Soaps: 240
H Soaps: 240	H Soaps: 300	H Soaps: 300

Bretto

Model	36	46
R Full/Spilt: 100	R Full/Spilt: 100	R Full/Spilt: 20
H Full/Spilt: 120	H Full/Spilt: 120	H Full/Spilt: 25
R Soaps: 200	R Soaps: 240	R Soaps: 40
H Soaps: 240	H Soaps: 240	H Soaps: 50

Vent-Free

Model	36	42	46
R Full/Spilt: 100	R Full/Spilt: 100	R Full/Spilt: 100	R Full/Spilt: 100
H Full/Spilt: 120	H Full/Spilt: 120	H Full/Spilt: 120	H Full/Spilt: 120
R Soaps: 200	R Soaps: 200	R Soaps: 200	R Soaps: 200
H Soaps: 240	H Soaps: 240	H Soaps: 240	H Soaps: 240

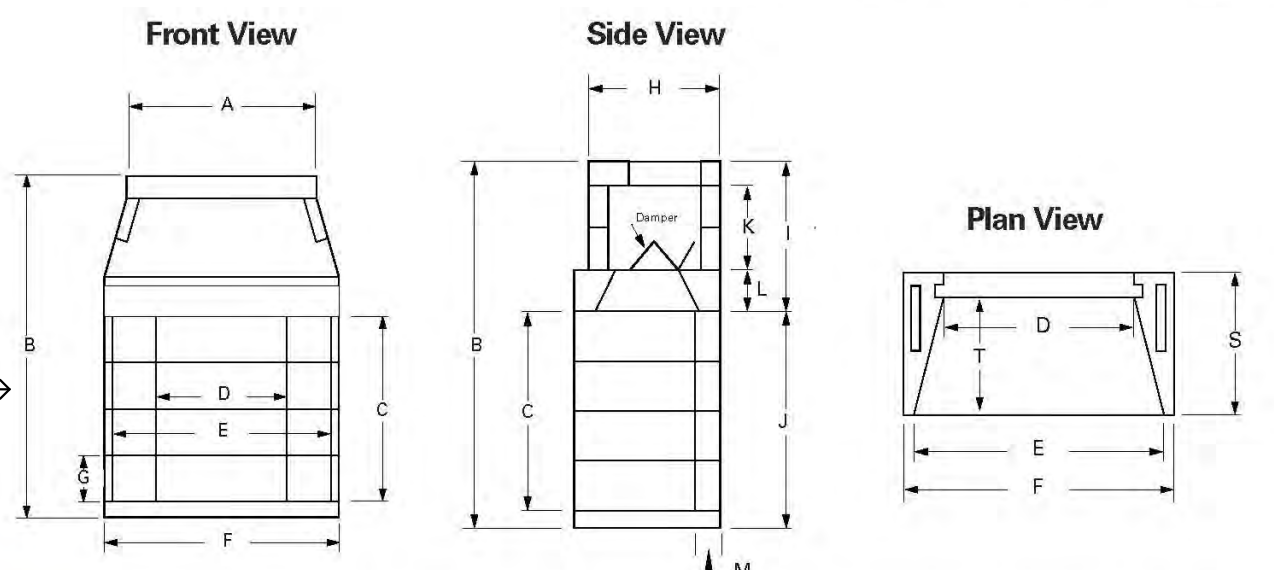
Maximum Linear

Model	48	72	96	120
R Full/Spilt: 20	R Full/Spilt: 30	R Full/Spilt: 40	R Full/Spilt: 50	
H Full/Spilt: 20	H Full/Spilt: 60	H Full/Spilt: 70	H Full/Spilt: 80	
R Soaps: 20	R Soaps: 60	R Soaps: 70	R Soaps: 80	
H Soaps: 20	H Soaps: 75	H Soaps: 80	H Soaps: 100	

Special Note: Full firebrick is required for the bottom of the Maximum Linear fireplace.

Specifications - 28, 36, 42, 48

Please Note: When using the Isokern brick ledge, it is required that the firebox/smoke dome assembly include the placement of a 4" x 4" x 3/8" minimum steel angle across the firebox opening. This item can be sourced locally.



Front View

Model	A	B	C	D	E	F	G
28	22 1/4"	60 1/4"	28 1/2"	19 3/4"	31"	35 1/2"	9 1/2"
36	33"	69 3/4"	38"	27 1/4"	38 3/4"	43"	9 1/2"
42	33"	69 3/4"	38"	33 1/4"	44 1/2"	49"	9 1/2"
48	43"	69 3/4"	38"	37 1/4"	48 1/2"	53"	9 1/2"

Side View

Model	B	C	H	I	J	K	L	M
28	60 1/4"	28 1/2"	25 1/4"	28 3/4"	31 1/2"	16"	8"	5"
36	69 3/4"	38"	25 1/4"	28 3/4"	41"	16"	8"	5"
42	69 3/4"	38"	25 1/4"	28 3/4"	41"	16"	8"	5"
48	69 3/4"	38"	25 1/4"	28 3/4"	41"	16"	8"	5"

Plan View

Model	D	E	F	S	T
28	19 3/4"	31"	35 1/2"	28"	23"
36	27 1/4"	38 3/4"	43"	28"	23"
42	33 1/4"	44 1/2"	49"	28"	23"
48	37 1/4"	48 1/2"	53"	28"	23"

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

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www.inf3.com

architect:

Bryan J. Hassemer, AIA
250 Lorraine Blvd.
San Leandro, CA 94577

bryan@inf3.com
530.448.0909

client:

Lucas & Jacqui Buchanan
506 Edgecliff Way
Redwood City, CA 94602

consultant:

CHG Engineering, Inc.
9425 Sage Creek Ct.
Elk Grove, CA 95624

209.450.9066

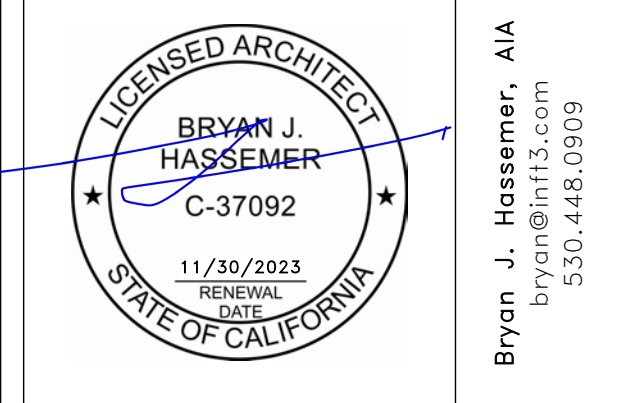
consultant:

GeoForensics, Inc.
303 Vintage Park Dr., #220
Foster City, CA 94404

650.349.3369

revisions:

No.	Description	Date
2	FOR PERMIT_rev2	11/10/21
4	DESIGN REVIEW PACKAGE	04/25/22



506 EDGECLIFF
REDWOOD CITY, CA
LIVING PORCH
& BEDROOM SUITE

SITE-BUILT FIREBOX
BY 'ISOKERN'

inf3#:	20-015-01
date:	04/25/22
drawn:	BJH
page#:	35 of 35

A8.04
scale: 12" = 1'-0"

1 ISOKERN - FIREBRICK
12" = 1'-0"