

## APPLICABLE CODES AND REGULATIONS

- A. 2019 CALIFORNIA BUILDING CODE (CBC)
- B. 2019 CALIFORNIA ELECTRICAL CODE
- C. 2019 CALIFORNIA MECHANICAL CODE
- D. 2019 CALIFORNIA PLUMBING CODE
- E. 2019 CALIFORNIA ENERGY CODE
- F. 2019 CALIFORNIA FIRE CODE
- G. 2019 CALIFORNIA RESIDENTIAL CODE
- H. 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
- I. ALL OTHER STATE AND LOCAL ORDINANCES AND REGULATIONS

## SUMMARY OF CHANGES

1. ADD ADDITION ON FRONT OF HOME AND MOVE WALLS AS SHOWN
2. INSTALL NEW WINDOWS AND DOORS
3. INSTALL NEW CABINETS, FIXTURES, APPLIANCES, TILE, LIGHTING AND FLOORING
4. INSTALL NEW GAS FIREPLACE

## INDEX

- A1-2 COVER SHEETS
- A3-5 SITE PLANS
- A6-7 PLANS
- A8 ROOF PLAN
- A9-14 EXTERIOR VIEWS AND ELEVATIONS
- A15-16 ELECTRICAL
- A17 -27 INTERIOR ELEVATIONS
- A28 - WINDOW AND DOOR SCHEDULES
- A29 - FABRICATION DETAILS

## WALL LEGEND

EXISTING EXTERIOR	
EXISTING INTERIOR	
DEMO	
NEW	

## PROJECT DATA

STORIES: 1  
 OCCUPANCY GROUP: R-1/S-17/DR/CD  
 CONSTRUCTION TYPE: 5B  
 NO FIRE SPRINKLERS  
 PROJECT IS NOT NEAR A WUI  
 LIVING AREA BEFORE: 1510 SQ FT  
 LIVING AREA AFTER ADDITION: 1928 SQ FT

## FIXTURES

ALL FIXTURES WILL COMPLY WITH THESE FLOW RATES

KITCHEN FAUCET - 1.8 GPM  
 WATER CLOSET - 1.28 GAL/FLUSH  
 SHOWER FAUCET - 1.8 GPM  
 LAVATORY FAUCET - 1.2 GPM

	LOT SIZE	PARCEL COVERAGE	FLOOR AREA RATIO
<b>CURRENT</b>	<b>5488 SQ FT</b>	<b>1978 SQ FT + 220 SQ FT PERGOLA = 2198 SQ FT TOTAL (40%)</b>	<b>1978 SQ FT (.36) INCLUDES GARAGE</b>
<b>PROPOSED ADDITION</b>	<b>5488 SQ FT</b>	<b>2198 + 418 SQ FT ADDITION = 2616 SQ FT (47.7%) LIMIT IS 50% FOR 16' HIGH OR LESS</b>	<b>1978 (CURRENT HOME + GARAGE) + 418 (ADDITION) 2396 SQ FT (.44) LIMIT IS .53</b>

## REVISIONS

 2 4/26/22

 3 8/25/22

PER PLANNING COMMENTS

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Rebecca Mendonca  
 450 Lancaster Blvd  
 Moss Beach, CA 94038

**COVER SHEET**

SCALE

DATE 1/12/22

**KATE HANDEL DESIGN**

**A1**

**ENGINEER OF RECORD**

KEVIN O'KEEFE  
UNIVERSAL STRUCTURAL ENGINEERS  
1660 S. Amphlett Blvd., Suite 335  
San Mateo, CA 94402  
Phone (650) 312-9233

**DESIGN STATEMENT**

This 418 square foot addition on this single-family home will create more functional and enjoyable living space for this young family. This home is similar to a few other homes on Lancaster Blvd. Some of these neighboring homes have also been expanded from their original footprint as well.

The addition was designed to provide open and light interior space that flows well from the outside in. The left side of the home will be brought out to match the garage, to balance out the overall structure and make the garage feel less prominent than it is today. Shingle siding will be installed on the home's front exterior to create more coastal character. The exterior paint colors are neutral and timeless, and harmonious with the natural environment and surrounding homes.

REVISIONS

△<sup>2</sup> 4/26/22

△<sup>3</sup> 8/25/22

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COVER  
SHEET

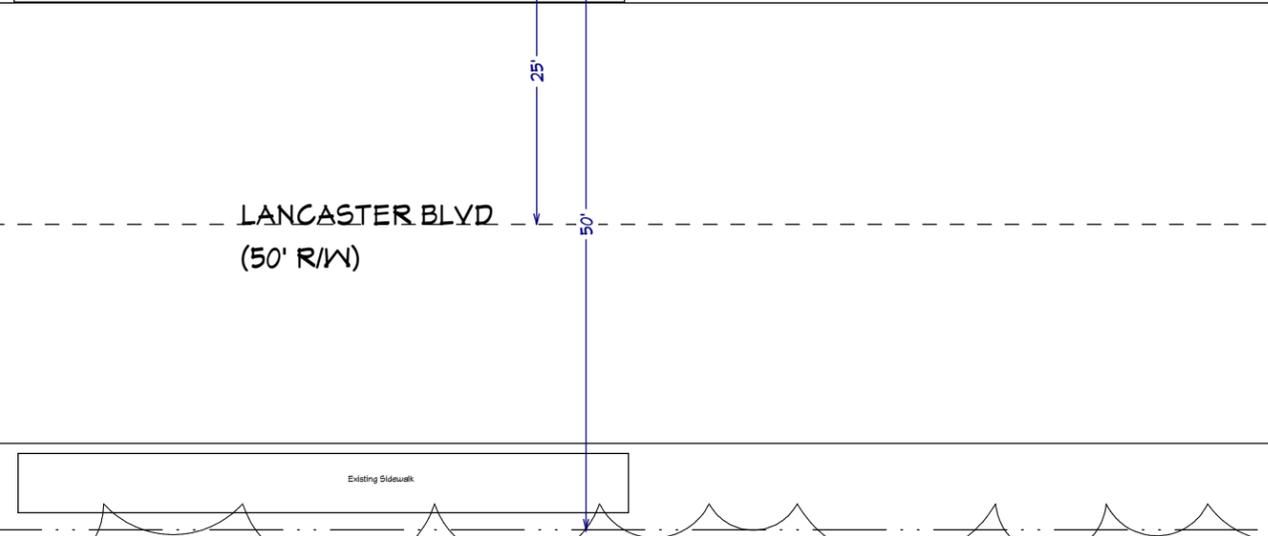
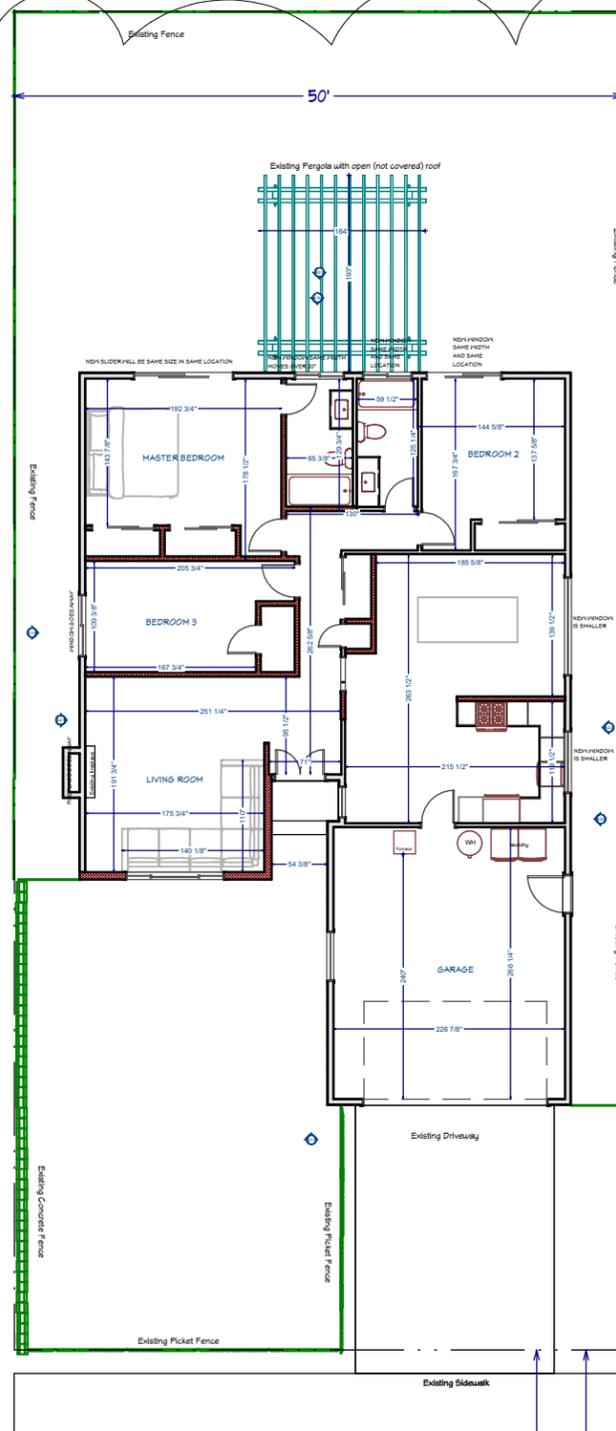
SCALE

DATE 1/12/22

**KATE  
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**A2**

# CURRENT SITE OVERVIEW



## REVISIONS

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3 8/25/22

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## SITE OVERVIEW

SCALE  
 1/15" = 1' 0"

DATE 1/12/22

**KATE HANDEL DESIGN**

**A3**

# CURRENT SITE PLAN

## REVISIONS

2 4/26/22

3 8/25/22

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## SITE PLAN

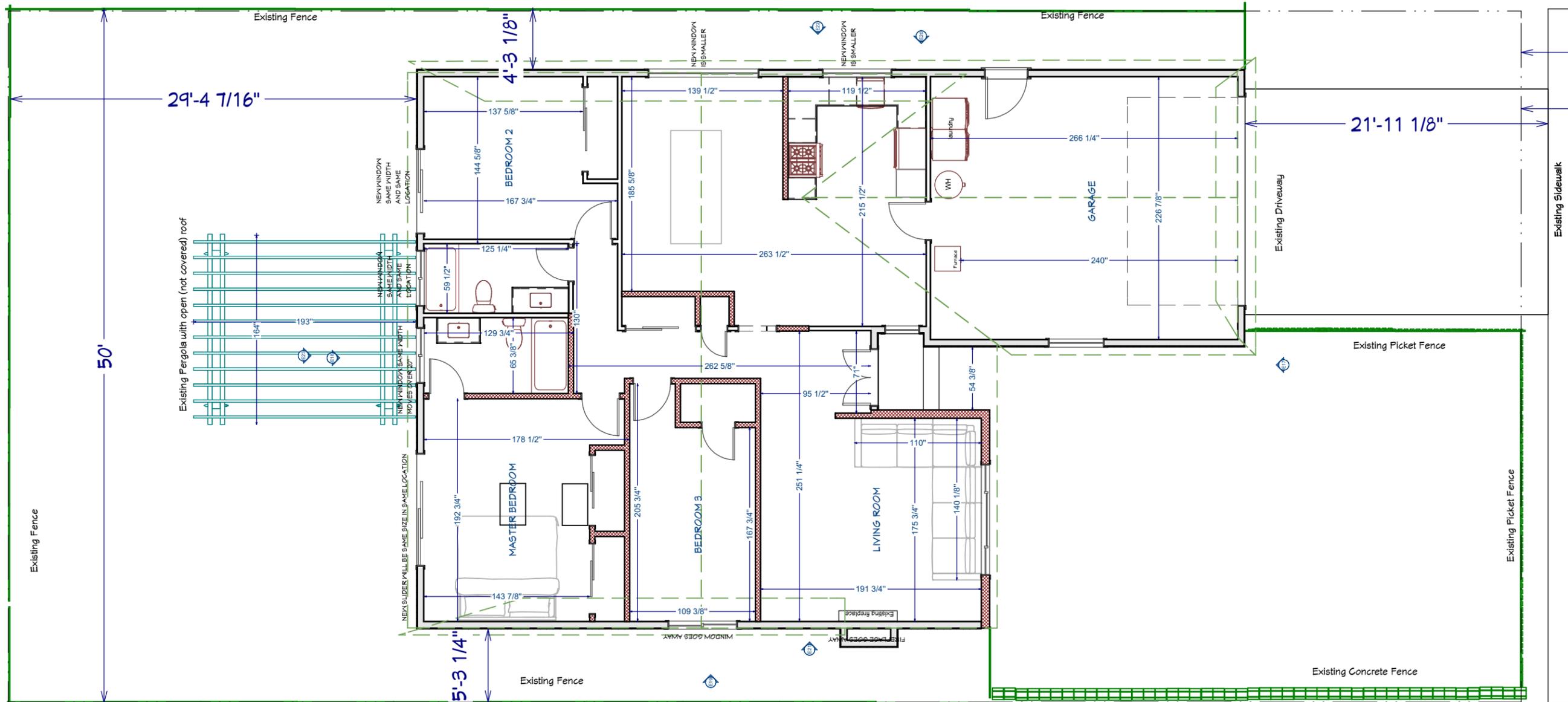
SCALE

1/8" = 1' 0"

DATE 1/12/22

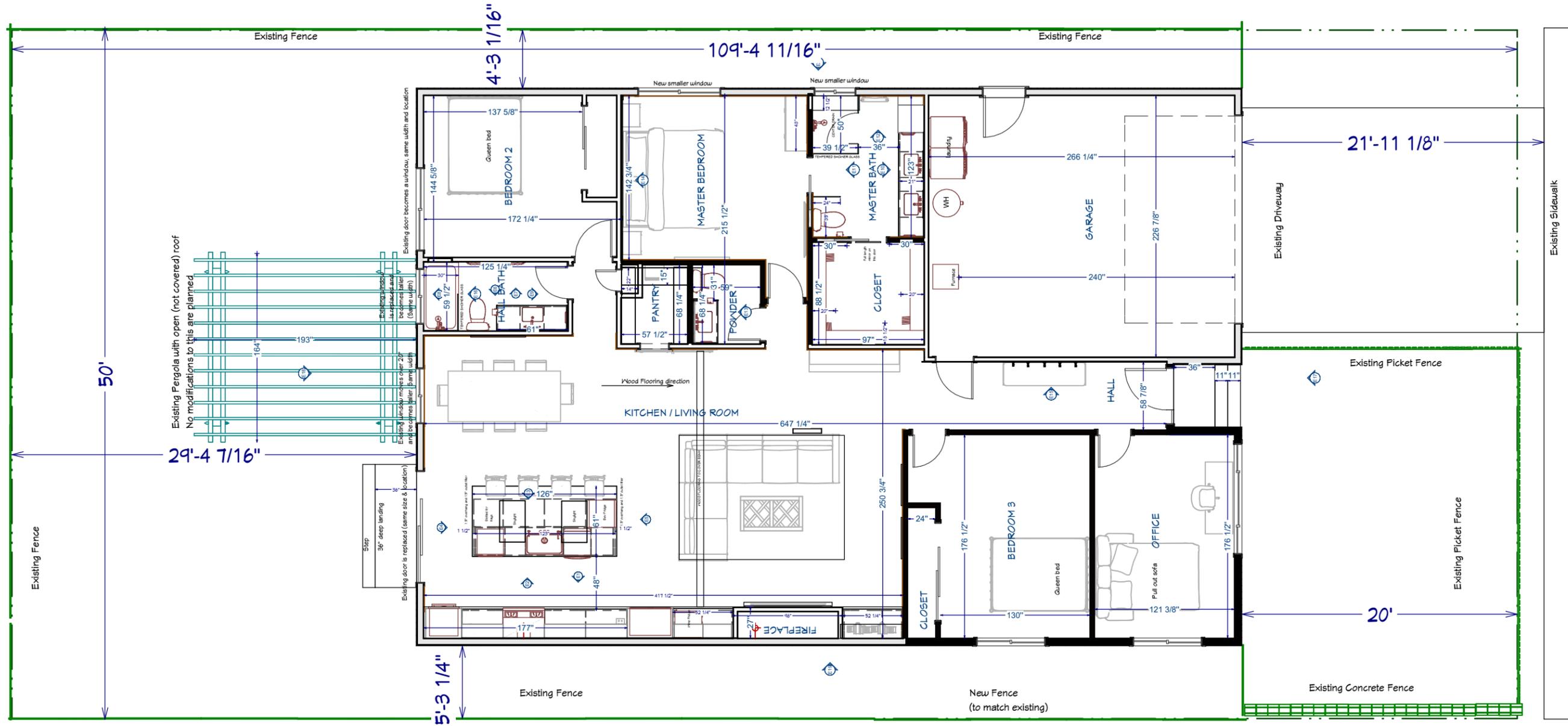
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**A4**



1st Floor

# PROPOSED SITE PLAN



1st Floor

## REVISIONS

2 4/26/22

3 8/25/22

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## SITE PLAN

SCALE

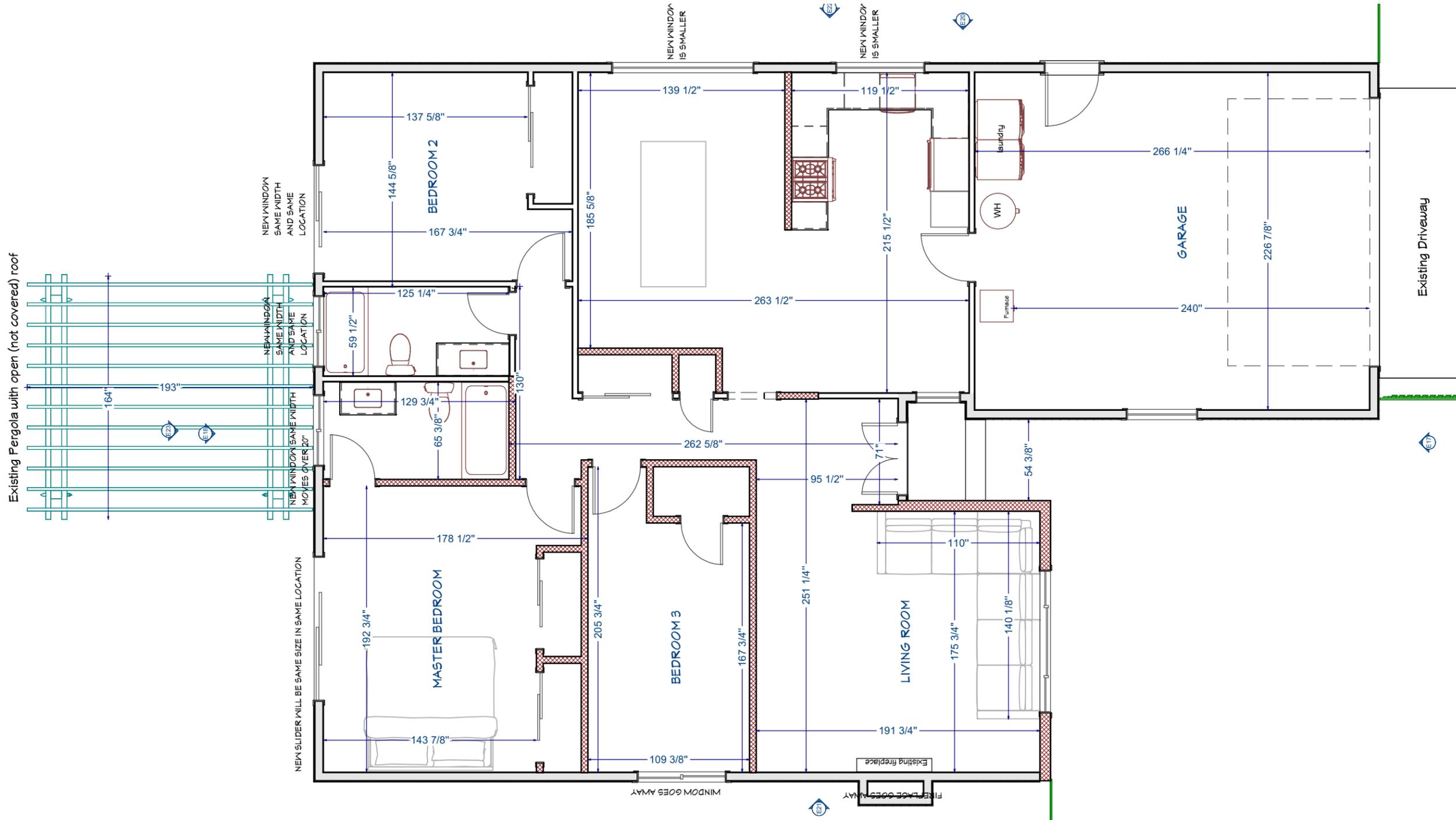
1/8" = 1' 0"

DATE 1/12/22

**KATE HANDEL DESIGN**

**A5**

# CURRENT PLAN



1st Floor

## REVISIONS

2 4/26/22

3 8/25/22

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FLOOR  
 PLAN

SCALE  
 1/6" = 1' 0"

DATE 1/12/22

**KATE  
 HANDEL  
 DESIGN**

**A6**

# PROPOSED PLAN

## REVISIONS

2 4/26/22

3 8/25/22

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## FLOOR PLAN

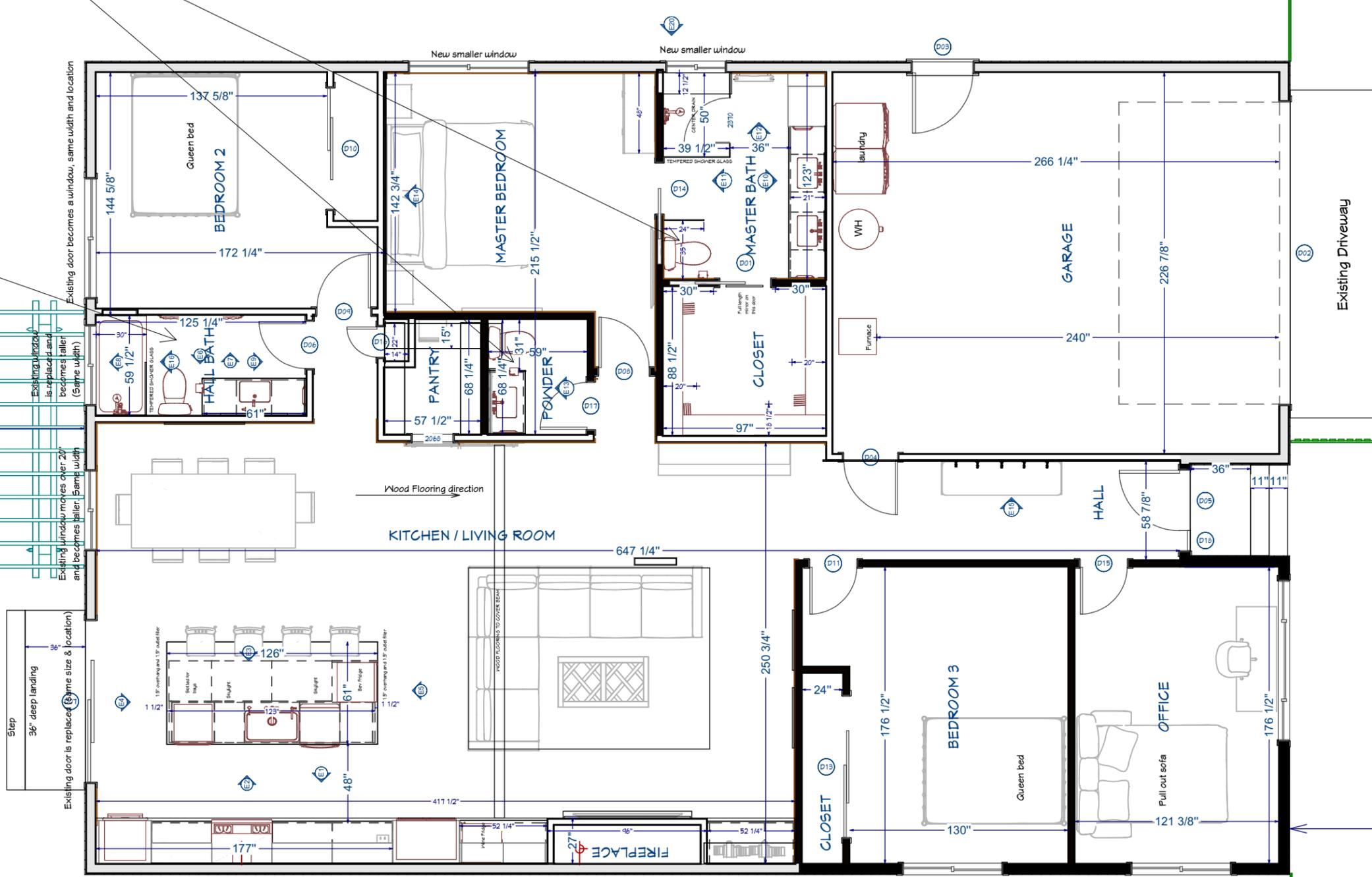
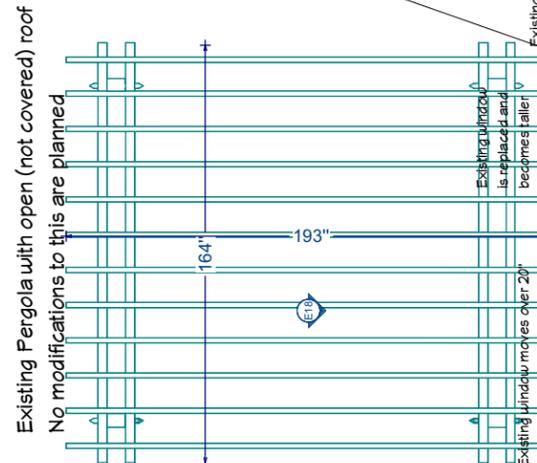
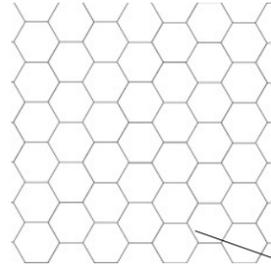
SCALE  
 1/6" = 1' 0"

DATE 1/12/22

**KATE HANDEL DESIGN**

# A7

Floor tile pattern and direction



1st Floor

# PROPOSED ROOF PLAN

REVISIONS	
△ <sup>2</sup>	4/26/22
△ <sup>3</sup>	8/25/22
PER PLANNING COMMENTS	

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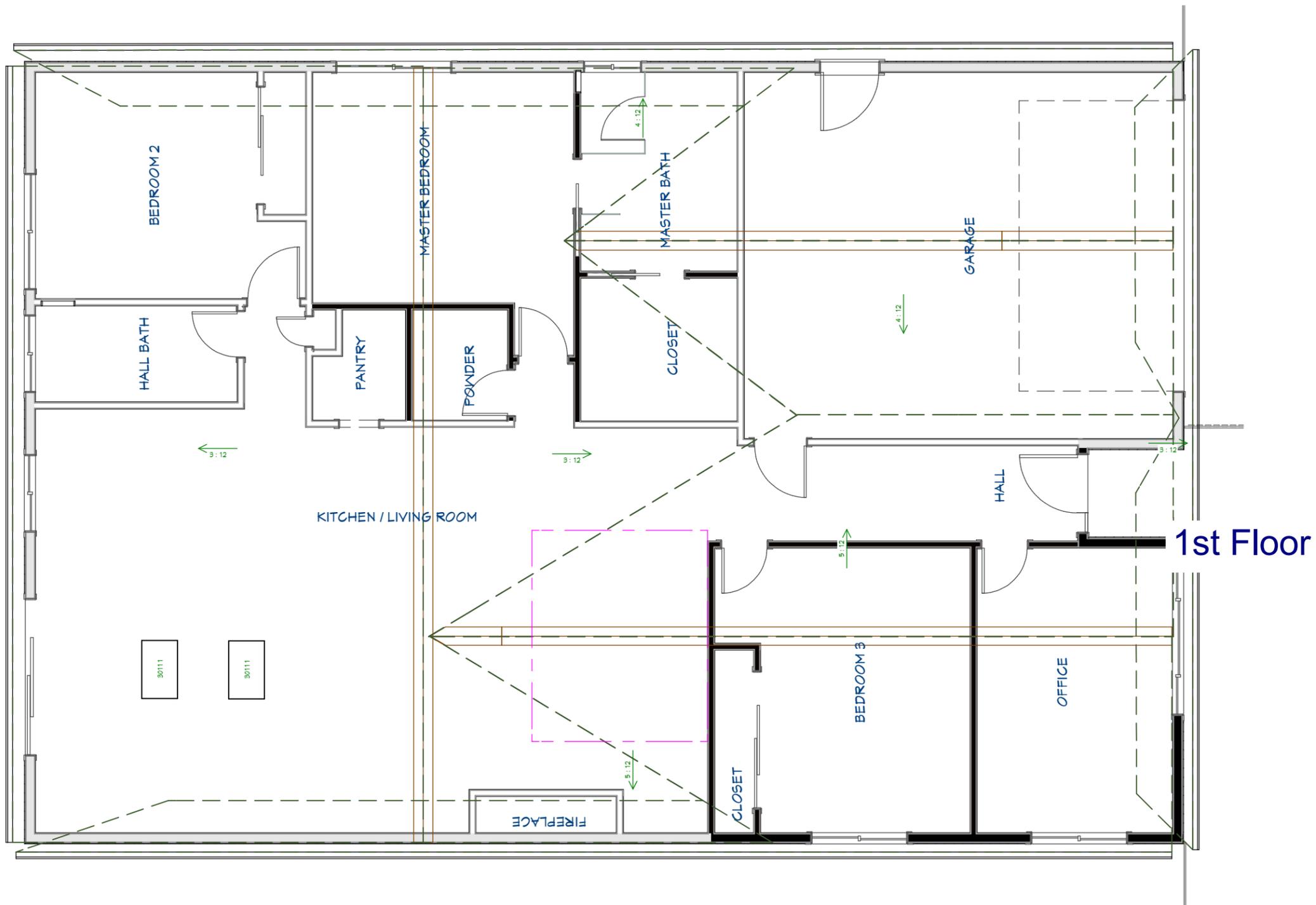
Rebecca Mendonca  
 450 Lancaster Blvd  
 Moss Beach, CA 94038

## ROOF PLAN

SCALE  
 1/6" = 1' 0"  
 DATE 1/12/22

**KATE HANDEL DESIGN**

**A8**



# EXTERIOR VIEWS

## REVISIONS

△<sup>2</sup> 4/26/22

△<sup>3</sup> 8/25/22

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**EXTERIOR  
VIEWS**

SCALE  
1/8" = 1' 0"

DATE 1/12/22

**KATE  
HANDEL  
DESIGN**

**A9**



**CURRENT**



**PROPOSED**

Raise roof pitch on left side to 5 in 1 (still within height limit) while garage roof is 4 in 1  
Keep shake siding consistently on front to keep the facade less busy

# EXTERIOR VIEWS



## REVISIONS

2 4/26/22

3 8/25/22

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**EXTERIOR  
VIEWS**

SCALE

DATE 1/12/22

**KATE  
HANDEL  
DESIGN**

**A10**

Adjusted pitch of left front roof  
Updated exterior lights to dark sky compliant

# Proposed Street View

450 Lancaster Blvd Moss Beach, CA 94038

Roofing: Landmark Slate  
Match existing roofing shingles from Certaineed Landmark



Siding: Hardie Shingle  
Paint: Benjamin Moore Secret AF-710

Front door & side lite  
Paint: Benjamin Moore Navy Masterpiece 1652

Exterior Trim  
Paint: Benjamin Moore Oxford White CC-30

Decking  
Azek Coastline

Outdoor sconces  
Richland 1-Light Powder-Coated Black Outdoor Lantern Sconce (DARK SKY)

This wall light works in several aesthetic environments, including rustic, coastal, traditional and transitional. Great for Front Porch, House, Garage, Rentals, Playhouse.

- Dark Sky Compliant
- 7-3/8 in. high overall, 6-3/8 in. W, extends 6-5/8 in., round 4-7/8 in. Dia back plate
- E26 medium base socket, 2 x 60-Watt maximum, A19 LED bulb suggested (bulb not included), hard-wired
- Weather resistant and suitable for wet locations
- 1-light outdoor wall light is perfect at an entryway, patio, porch, playhouse or on either sides of a garage door
- Provides outdoor ambient lighting, which provides overall illumination to the area
- Offers a classic design that works well with rustic, coastal, traditional and transitional decor

REVISIONS	
△ <sup>2</sup>	4/26/22
△ <sup>3</sup>	8/25/22

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## EXTERIOR VIEWS

SCALE

DATE 1/12/22

**KATE HANDEL DESIGN**

**A11**

# EXTERIOR ELEVATIONS

## REVISIONS

2 4/26/22

3 8/25/22

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**EXTERIOR  
 ELEVATIONS**

SCALE

1/8" = 1' 0"

DATE 1/12/22

**KATE  
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**A12**

Exterior covering material in the addition area will be stucco.

a. Plastering with cement plaster shall be in accordance with ASTM C926. Plaster shall not be less than three coats where applied over metal lath or wire lath and shall be not less than two coats where applied over masonry, concrete, pressure-preservative-treated wood or decay resistant wood or gypsum backing. [R703.7.2]

b. Water-resistive barriers shall be installed as required in Section R703.2 and, where applied over wood-based sheathing, shall include a water-resistive vapor-permeable barrier with a performance at least equivalent to two layers of Grade D paper. [R703.7.3]

c. Where the water-resistive barrier that is applied over wood-based sheathing has a water resistance equal to or greater than that of 60-minute Grade D paper and is separated from the stucco by an intervening, substantially nonwater-absorbing layer or designed drainage space. [R703.7.3, Exception]

d. A minimum 0.019-inch (No. 26 galvanized sheet gage), corrosion-resistant weep screed or plastic weep screed, with a minimum vertical attachment flange of 3 1/2" shall be provided at or below the foundation plate line on exterior stud walls. The weep screed shall be placed a minimum of 4 inches above the earth or 2 inches above paved areas and shall be of a type that will allow trapped water to drain to the exterior of the building. The weather-resistant barrier shall lap the attachment flange. The exterior lath shall cover and terminate on the attachment flange of the weep screed. [R703.7.2.1]

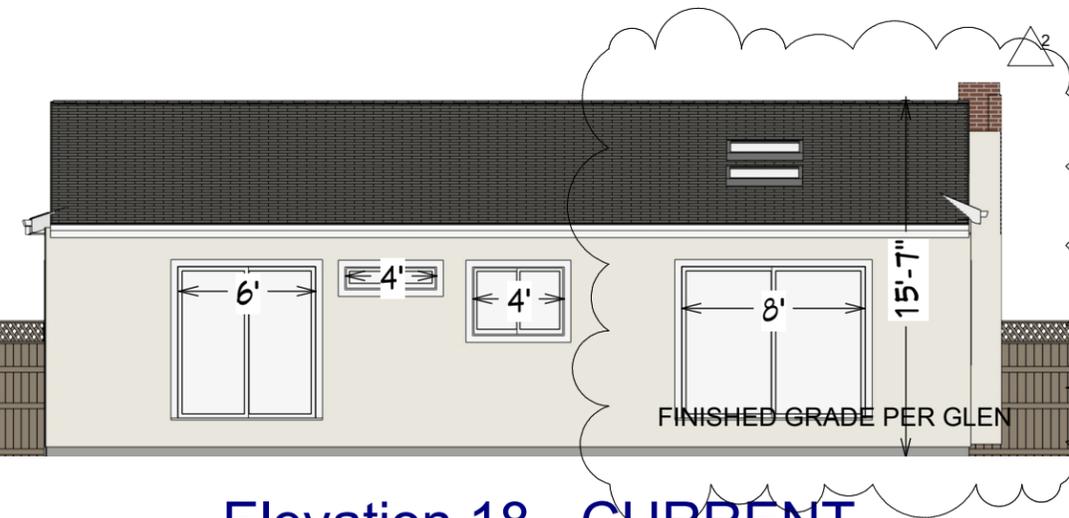
Wall fasteners complying with Table R703.3(1) and underlayment of No. 15 asphalt felt per R703.2 at siding.



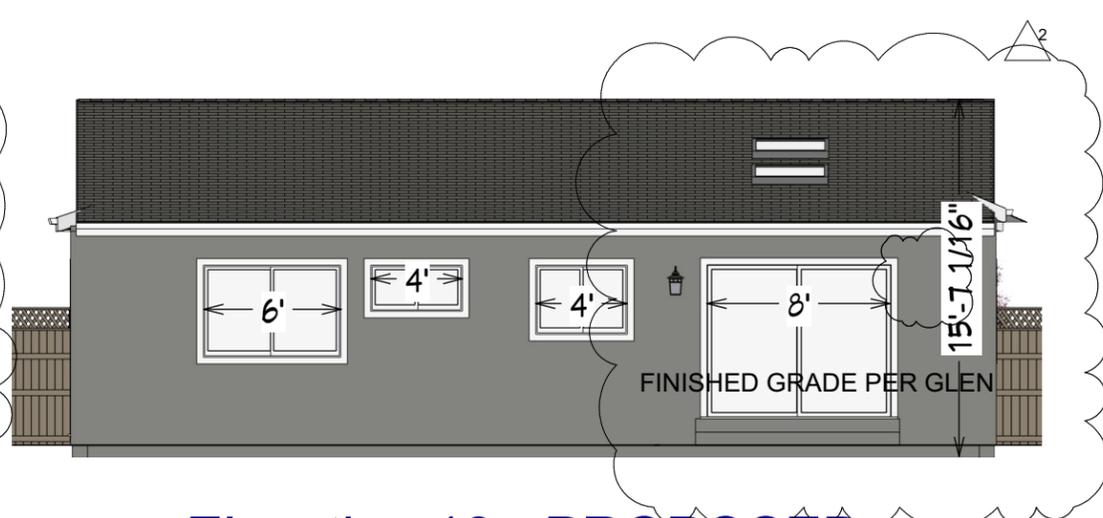
Elevation 17 - CURRENT



Elevation 17 - PROPOSED



Elevation 18 - CURRENT



Elevation 18 - PROPOSED

- Side and Back Walls  
 Stucco siding  
 Paint: Benjamin Moore Secret AF-710
- Exterior Trim  
 Paint: Benjamin Moore Oxford White CC-30

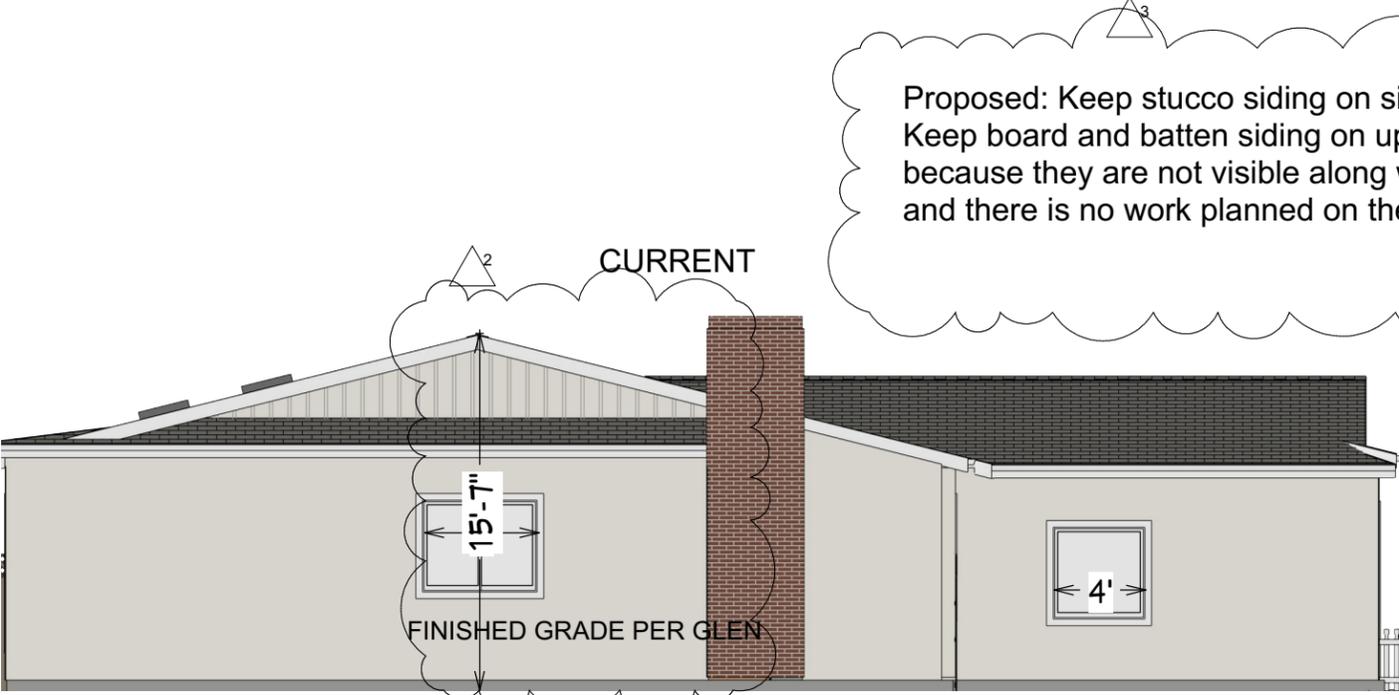
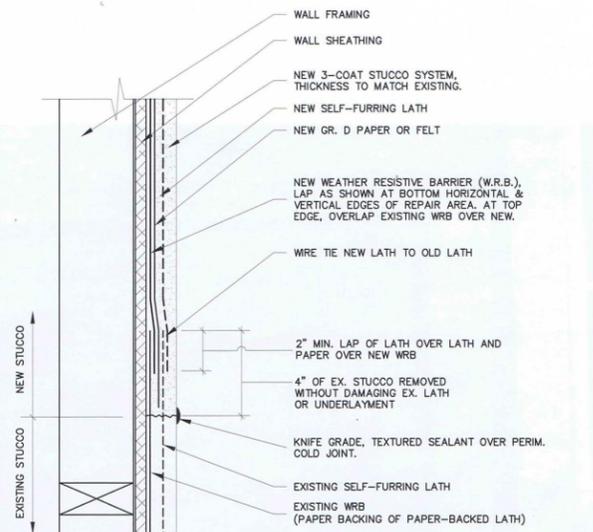
Wall insulation will be R13  
 Floor insulation will be R19  
 Roof and ceiling insulation is R19  
 [CEnC 150.0(a) to (d)]

# EXTERIOR ELEVATIONS

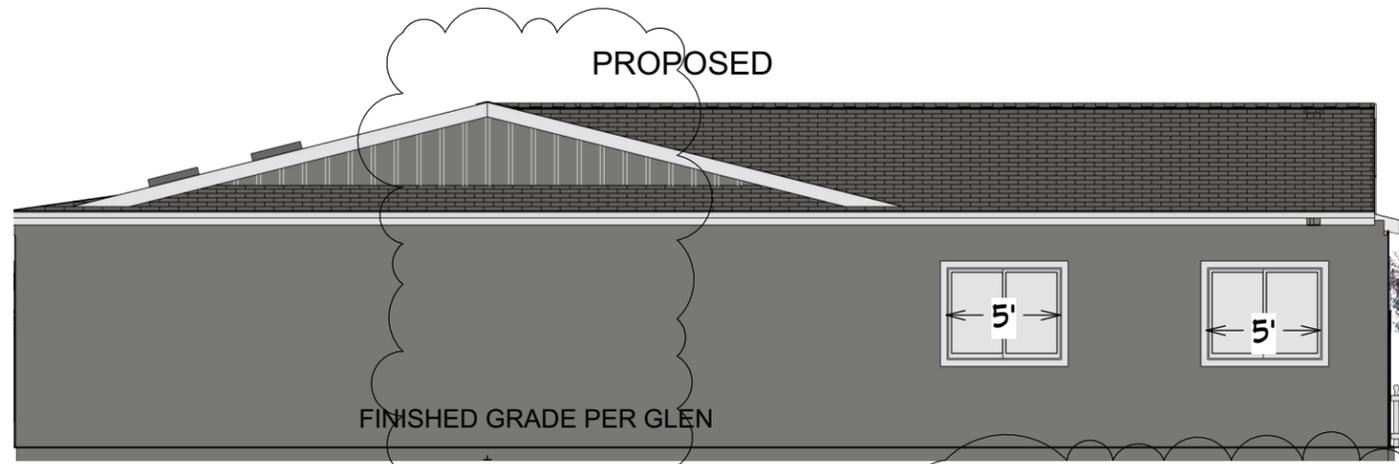
Approved corrosion-resistant flashings shall be installed at all of the following locations [R703.4]:

1. New exterior window openings
2. At wall and roof intersections at the addition.

## STUCCO DETAIL



Elevation 19



Elevation 19

- Side and Back Walls  
Stucco siding  
Paint: Benjamin Moore Secret AF-710
- Exterior Trim  
Paint: Benjamin Moore Oxford White CC-30

REVISIONS	
△ <sup>2</sup>	4/26/22
△ <sup>3</sup>	8/25/22

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## EXTERIOR ELEVATIONS

SCALE  
 1/8" = 1' 0"  
 DATE 1/12/22

**KATE HANDEL DESIGN**

**A13**

# EXTERIOR ELEVATIONS

REVISIONS

△<sup>2</sup> 4/26/22

△<sup>3</sup> 8/25/22

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EXTERIOR  
 ELEVATIONS

SCALE

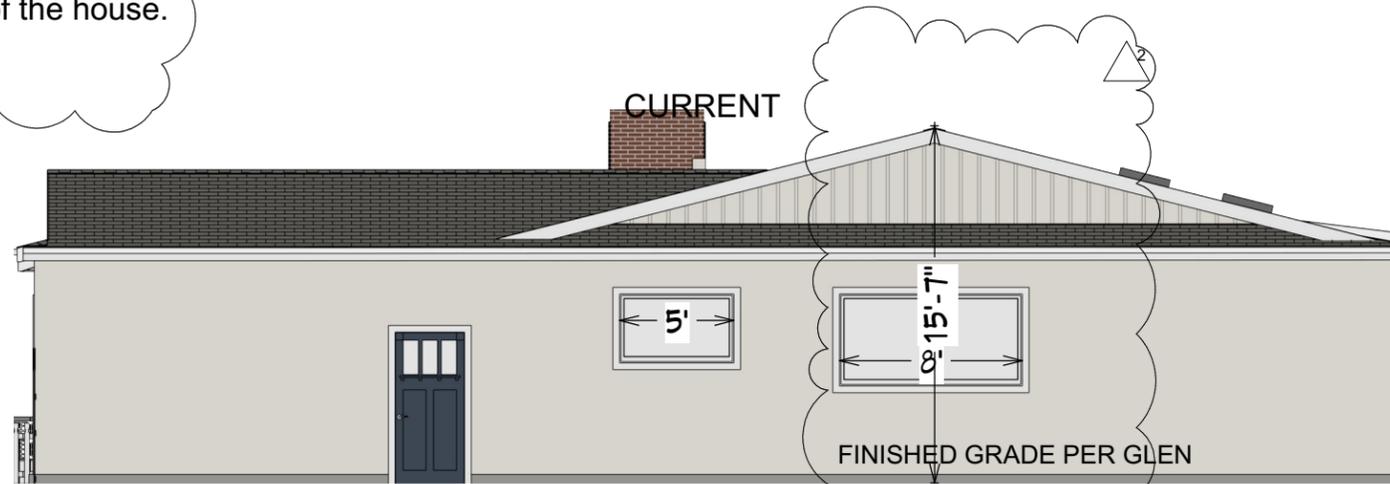
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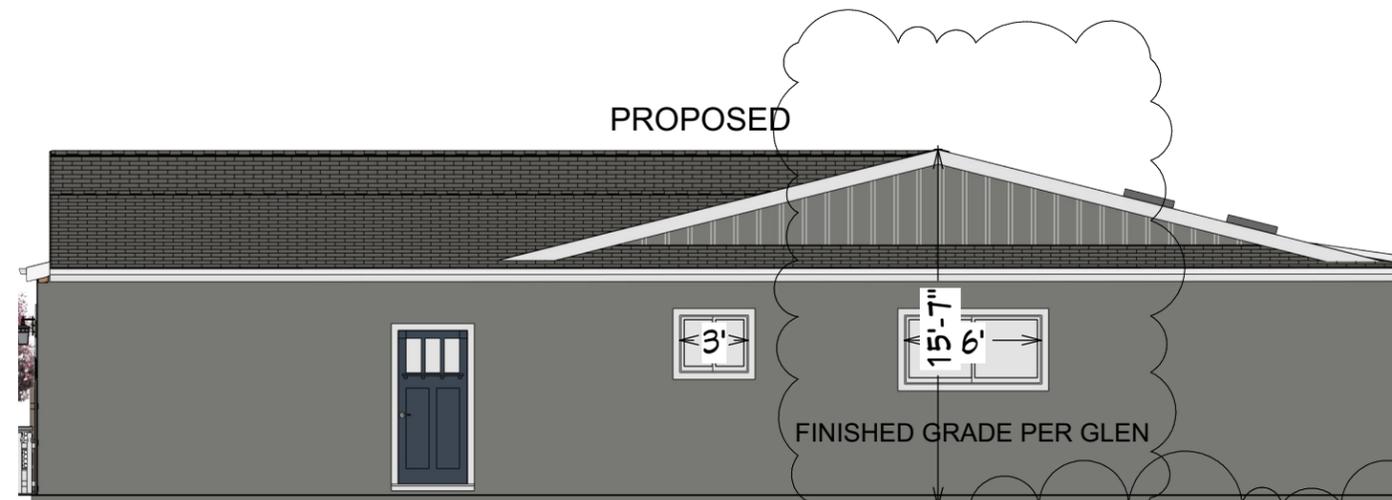
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**A14**

Proposed: Keep stucco siding on sides of house.  
 Keep board and batten siding on upper gable walls  
 because they are not visible along with the front upper gable walls  
 and there is no work planned on the upper sides of the house.



Elevation 20



Elevation 20

- Side and Back Walls  
 Stucco siding  
 Paint: Benjamin Moore Secret AF-710
- Exterior Trim  
 Paint: Benjamin Moore Oxford White CC-30

# ELECTRICAL PLAN

REVISIONS	
2	4/26/22
3	8/25/22

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## ELECTRICAL PLAN

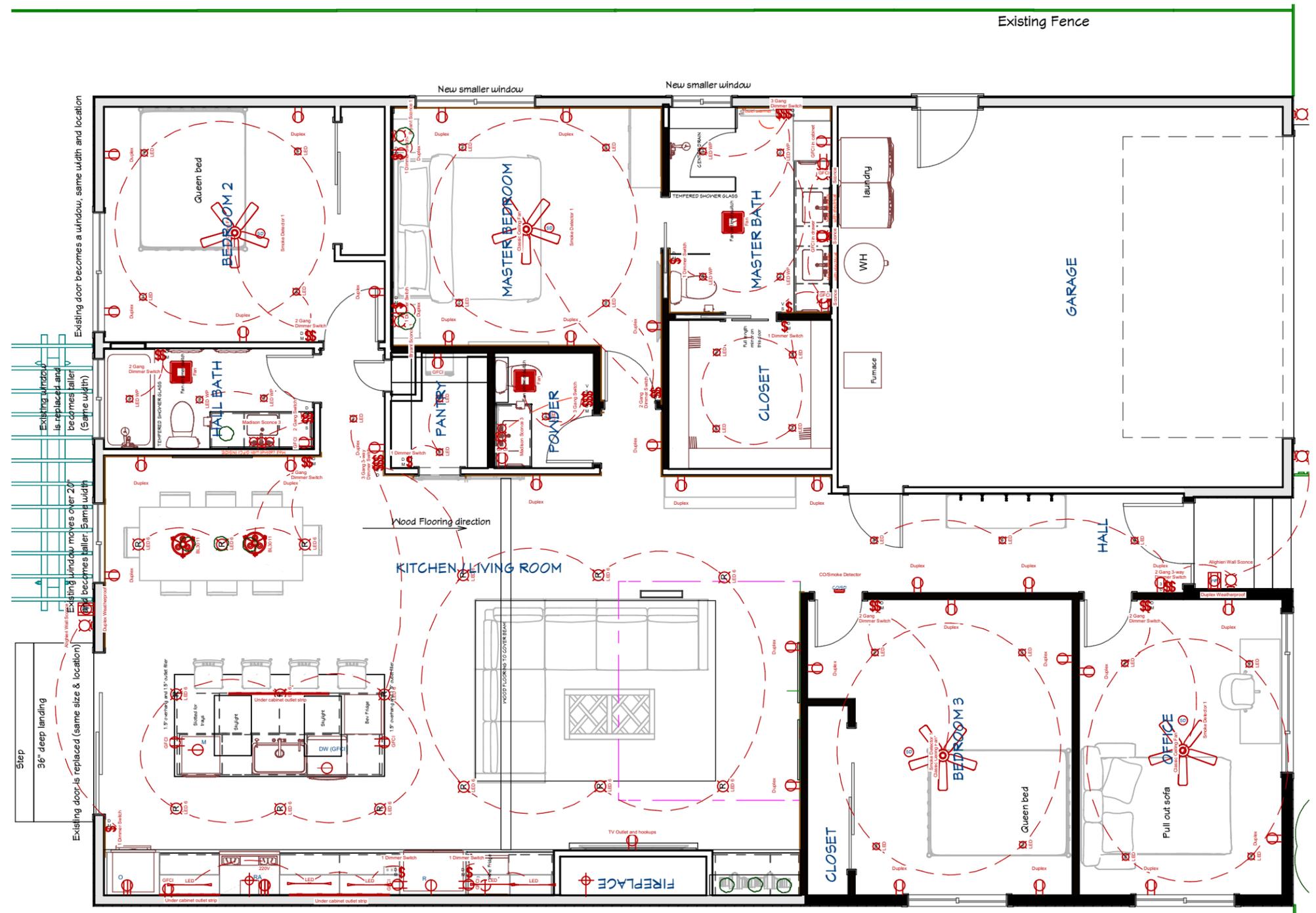
SCALE  
 1/6" = 1' 0"

DATE 1/12/22

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**A15**

ELECTRICAL LEGEND	
	GFCI GROUND FAULT CIRCUIT INTERRUPTER
	DUPLEX OUTLET
	FOURPLEX OUTLET
	REFRIGERATOR
	MICROWAVE
	TRASH COMPACTOR
	DISHWASHER
	WATER STUB
	GAS STUB
	ELECTRIC OVEN
	LED STRIP LIGHT
	SINGLE POLE SWITCH
	DIMMER SWITCH
	THREE WAY DIMMER SWITCH
	VACANCY SENSOR
	EXHAUST
	4" RECESSED LED 3000K
	4" RECESSED LED WATER PROOF 3000K
	EXHAUST FAN
	SCONCE
	CARBON MONOXIDE / SMOKE DETECTOR
	SMOKE DETECTOR



1st Floor

# ELECTRICAL NOTES

PLUMBING NOTES	MECHANICAL NOTES	ELECTRICAL NOTES - LIGHTING	ELECTRICAL NOTES - RECEPTACLES
<p><b>1. FLOW RATES</b> Maximum flow rate for all new plumbing fixtures shall be as required by CGBSC 4.303: - shower heads - 1.8 gpm at 80 psi - faucets - 1.2 gpm - water closets - 1.28 gal/flush - kitchen faucets - 1.8 gpm</p> <p><b>2. TOILET CLEARANCE</b> Toilet shall be located in a space not less than 30" in width ( 15' on each side) and 24" minimum clearance in front. (CPC 402.5)</p> <p><b>3. MULTIPLE SHOWER HEADS</b> Multiple shower heads serving a single shower shall have a combined flow rate of 1.8 gpm or the shower shall be designed to allow only one shower head or handshower to be in operation at a time (CGBSC 4 .303.1.3.2)</p> <p><b>4. GARDEN HOSE</b> Provide hose connection with backflow preventer device. CPC 603.5.7.</p> <p><b>5. SHOWER DOOR CLEARANCE</b> Shower doors to open at least a minimum of 22" for an unobstructed egress opening. CPC Section 408.5.</p> <p><b>6. TUB/SHOWER COMBINATIONS</b> Shower and tub-shower combinations shall be provided with individual control valves of the pressure balance or the thermostatic mixing valve type. CPC Section 408.3.</p> <p><b>7. WATER HEATER ANCHORAGE</b> Seismic anchorage of water heater to include anchors or straps at points within the upper and lower one-third of its vertical dimension, the lower anchor/strap located to maintain a minimum distance of 4 inches above the controls. CPC Section 507.2.</p> <p><b>8. WATER HEATER PRESSURE AND TEMP RELIEF</b> Provide pressure and temperature relief valve at water heater. Relief valve located inside the building, shall be provided with a drain to outside of the building. Sheet/ Detail. CPC Section 608.4.</p> <p><b>9. WATER HAMMER ARRESTER</b> Provide a note specifying water hammer arrester on water lines to absorb high pressures resulting from the quick closing of quick-acting valves. Water hammer arresters shall be approved mechanical devices in accordance with ASSE 1010 or PDIWH 201 and shall be located as close as possible to quick acting valves (i.e. clothes and dishwasher). CPC Section 609.10. Sheet.</p> <p><b>10. NON COMPLIANT PLUMBING FIXTURES</b> ALL NON -COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH APPROPRIATE WATER CONSERVING FIXTURES. Any toilet manufactured to use more than 1.6 gallons of water per flush. Any urinal manufactured to use more than one gallon of water per flush. Any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute. Any interior faucet that emits more than 2.2 gallons of water per minute.</p> <p><b>11. WALL SURFACES</b> Tub and shower nonabsorbent wall surfaces shall extend to a height of not less than 6 feet above the floor. [R307.2] Materials used as backers for wall tile in tub and shower areas and wall panels in shower areas shall be glass mat gypsum panel, fiber-reinforced gypsum panels, non-asbestos fiber-cement backer board, or non-asbestos fiber-cement reinforced cementitious backer unites installed in accordance with manufacturer's recommendations. [R702.4.2]</p>	<p><b>1. GARAGE DOOR OPENERS</b> Automatic garage door openers if provided shall be listed and labeled in accordance with UL 325. R309.4</p> <p><b>2. VENTILATION - TERMINATION</b> termination of all environmental air ducts exhaust shall be a minimum of 3 feet from property line and any openings into the building (i.e., dryers, bath and utility fans, etc., must be 3 feet away from doors, windows, opening skylights or attic vents). Sheet. CMC Section 502.2.1.</p> <p>Kitchen range hood must be HVI rated, limited to 3 sone, and with a minimum airflow a specified in ASHRAE 62.2. Per RCM 4.6.4.7, vented range hoods including appliance-range hoods must be 100 cfm, while all other hood types including downdraft must be 300 cfm. [CEnC 150.0(o)2B]</p> <p><b>3. DRYER EXHAUST DUCTS</b> Domestic dryer moisture exhaust ducts shall not exceed a total combined horizontal and vertical length 14 feet, including two 90-degree elbows and must be 4 inches in diameter. A length of 2 feet shall be deducted for each 90-degree elbow in excess of two. Sheet. CMC Section 504.4.2.1.</p> <p><b>4. MAKEUP AIR FOR CLOTHES DRYER</b> Makeup air shall be provided in accordance with the following:  Makeup air shall be provided for Type 1 clothes dryers in accordance with the manufacturer's instructions. [NFPA 54:10.4.3.1]. Where a closet is designed for the installation of a clothes dryer, an opening of not less than 100 square inches for makeup air shall be provided in the door or by other approved means.</p> <p>Provisions for makeup air shall be provided for Type 2 clothes dryers, with a free area of not less than 1 square for each 1000 British thermal units per hour (Btu/h) total input rating of the dryer(s) installed. [NFPA 54:10.4.3.2]. CMC Section 504.4. 1.</p> <p><b>5. BATHROOM VENTILATION</b> Bathrooms without operable glazing to have mechanical ventilation of 50 cfm intermittent per CEC R303.3. All bath fans shall have backdraft dampers per CGBSC 4.506.1. Bathroom exhaust fans must be controlled by a humidistat control capable of adjustment between a relative humidity range of 50% to 80% per CGBSC 4.506.</p> <p><b>6. FIREPLACE</b> INSTALLED GAS FIREPLACE SHALL BE A DIRECT VENTED SEALED-COMBUSTION TYPE [CALGREEN 4.503.1]</p>	<p>All work shall comply with the 2019 California Electrical Code (CEC), National Electric Code (NEC), California Building Energy Efficiency Standards, and all applicable federal, state and local codes and ordinances.</p> <p><b>1. HIGH EFFICACY:</b> All lighting must be high efficacy luminaires. All lighting must be either controlled by a dimmer or a manual on, auto off vacancy sensor, except for closets &lt; 70 sf. At least one luminaire in each bathroom, laundry, utility room or garage must be controlled by a vacancy sensor.</p> <p><b>2. Under cabinet lighting:</b> Shall be switched separately.</p> <p><b>3. Exterior Lighting:</b> Shall be high efficacy, be controlled by a manual on/off switch and have one of the following controls (the manual switch shall not override the automatic control device): (California Energy Code 150.0(k)3A) a) Photo-control and motion sensor b) Photo-control and automatic time switch control c) Astronomical time clock control turning lights off during the day</p> <p><b>4. RECESSED LIGHTING:</b> Luminaires recessed in insulated ceilings must meet three requirements (California Energy Code 150.0(k)C): a) They must be rated for direct insulation contact (IC). b) They must be certified as airtight (AT) construction. c) They must have a sealed gasket or caulking between the housing and ceiling to prevent flow of heated or cooled air out of living areas and into the ceiling cavity. d) They may not contain a screw base sockets e) They shall contain a JAB compliant light source</p> <p><b>5. STAIRWAY LIGHTING:</b> Interior stairway shall be provided with an artificial light source to illuminate the landings and treads. The light source shall be capable of illuminating treads and landings to levels of not less than 1 foot-candle (11 lux) as measured at the center of treads and landings. There shall be a wall switch at each floor level to control the light source where the stairway has six or more risers. Sheet CRC R303.7.</p> <p><b>6. SHOWER LIGHTING</b> Light fixtures located in the shower enclosure area are to be labeled "suitable for wet locations." [CEC 410.10(A)]</p> <p><b>ELECTRICAL NOTES - SMOKE &amp; CARBON MONOXIDE ALARMS</b></p> <p><b>1. SMOKE ALARMS</b> Smoke alarms are required in all sleeping rooms, and outside each sleeping area in the immediate vicinity of the bedrooms.</p> <p><b>2. CARBON MONOXIDE ALARMS</b> For existing buildings and new construction, carbon monoxide alarms shall be provided in dwelling units containing a fuel-fired appliance, fireplace or has an attached garage with an opening that communicates with the dwelling unit. Carbon monoxide alarms shall be installed outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s) and on every occupiable level of a dwelling unit including basement. Carbon monoxide alarms in existing buildings are permitted to be solely battery operated or plug-in type with battery back-up in areas where no construction is taking place. Carbon monoxide alarms in existing buildings are permitted to be solely battery operated or plug-in type with battery back-up in areas where no construction is taking place. CRC, R315.</p> <p>When alterations, repairs or additions requiring a permit occur, the individual dwelling unit shall be equipped with smoke alarms located as required for new dwellings. [R314.2.2] Where more than one smoke alarm is required to be installed within an individual dwelling or sleeping unit, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed. [R314.4] Carbon monoxide alarms must also be interconnected. [R315.5]</p>	<p>THERE MUST BE GFCI PROTECTION AT ALL 125 VOLT, SINGLE PHASE, 15 AND 20-AMPERE RECEPTACLES INSTALLED IN: (1) BATHROOMS; (2) GARAGES AND ACCESSORY BUILDINGS; (3) ALL OUTDOOR RECEPTACLES; (4) CRAWL SPACES; (5) UNFINISHED BASEMENT; (6) ALL RECEPTACLES SERVING KITCHEN COUNTER TOPS; (7) LAUNDRY, UTILITIES AND WET BAR SINK WITHIN 6 FEET OF EDGE OF THE SINK; (8) BOATHOUSES; (9) BATHTUBS OR SHOWER STALLS; (10) LAUNDRY AREAS. CEC ARTICLE 210.8.</p> <p>THERE MUST BE A DEDICATED 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET. CEC ARTICLES 210.11(C)(2).</p> <p>THERE MUST BE A DEDICATED 120-VOLT, 20-AMP CIRCUIT ARE REQUIRED TO SERVE BATHROOM RECEPTACLE OUTLET(S). IT SHALL BE INSTALLED ON A WALL/PARTITION WITHIN 3 FEET OF THE OUTSIDE EDGE OF EACH BASIN OR INSTALLED ON THE SIDE/FACE 12 IN MAX BELOW THE COUNTERTOP. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.) CEC ARTICLES 210.11(C)(3).</p> <p>ALL 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOM/AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER. CEC ARTICLE 210.12(A).</p> <p>RECEPTACLES SHALL NOT BE INSTALLED WITHIN OR DIRECTLY OVER A BATHTUB OR SHOWER STALL. (CEC 406.9(C) LIGHT PENDANTS, CEILING FANS, LIGHTING TRACKS, ETC SHALL NOT BE LOCATED WITHIN 3FT HORIZONTALLY AND 8FT VERTICALLY ABOVE A SHOWER AND/OR BATHTUB THRESHOLD. (CEC 410.10(0))</p> <p>THE MINIMUM DISCONNECTING MEANS FOR A SINGLE-FAMILY DWELLING IS 100 AMPERES, 3 WIRE. SHEET. CEC ARTICLE 230.79(C).</p> <p>ALL 15- AND 20- AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. CEC 406.12.</p> <p><b>OTHER NOTES</b></p> <p>SAFETY GLAZING TO BE APPLIED TO ALL FIXED AND OPERABLE GLASS PANELS OF SWINGING, SLIDING AND BIFOLD DOORS IN ALL HAZARDOUS LOCATIONS.</p> <p>8. Receptacles shall be installed such that no point measured horizontally along the floor line of any wall space is more than 1.8 m (6 ft) from a receptacle outlet. Section 210.52(1)</p> <p>9. Any wall space 2 feet or more feet wide. Sheet...CEC Article 210.52(A)(2)(1).</p> <p>10. At each kitchen, pantries, breakfast rooms, dining rooms and similar areas counter top spaces wider than 12-inches. Located so that no point along the counter wall is over 24" from a receptacle. Each countertop space that is 12-inches or wider shall require a receptacle. CEC Article 210.52.(C)(1)</p> <p>11. An exterior receptacles at the front and rear of the home. Specify they must be within 6 feet 6 inches of grade and waterproof. CEC Article 210.52(E).</p> <p>12. At least one receptacle in a garage (attached or detached with electric power), accessory building with electric power, or basement in addition to other required receptacles. CEC Article 210.52(G).</p> <p>13. At least one receptacle for the laundry. CEC Article 210.52(F).</p> <p>14. In any hallway 10 feet or more in length. CEC Article 210.52(H)</p> <p>15. At least one receptacle outlet shall be located between 6 feet and 10 ft. from the de wall of the spa/hot tub. Sheet. CEC Article 680.43(A).</p> <p>16. Provide two 20 amp dedicated circuits for the kitchen receptacles</p> <p>17. Provide a dedicated circuit for each appliance and disposal</p> <p>18. Kitchen countertop receptacle outlets shall be installed so that no point along the wall line is more than 24-inches measured horizontally from a receptacle outlet in that space. Each countertop space that is 12-inches or wider shall require a receptacle. [CEC 210.52(C)(1)] Receptacle outlets shall be located on or above, but not more than 20-inches above the countertop. [CEC 210.52(C)(5)]</p> <p>19. Laundry areas are now included in AFCI required locations. [CEC 210.12(A)]</p> <p>20. GFCI protection shall be provided for outlets that supply dishwashers located in dwelling units. [CEC 210.8(D)]</p>

## REVISIONS

 **4/26/22**

 **8/25/22**

PER PLANNING COMMENTS

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## ELECTRICAL NOTES

SCALE

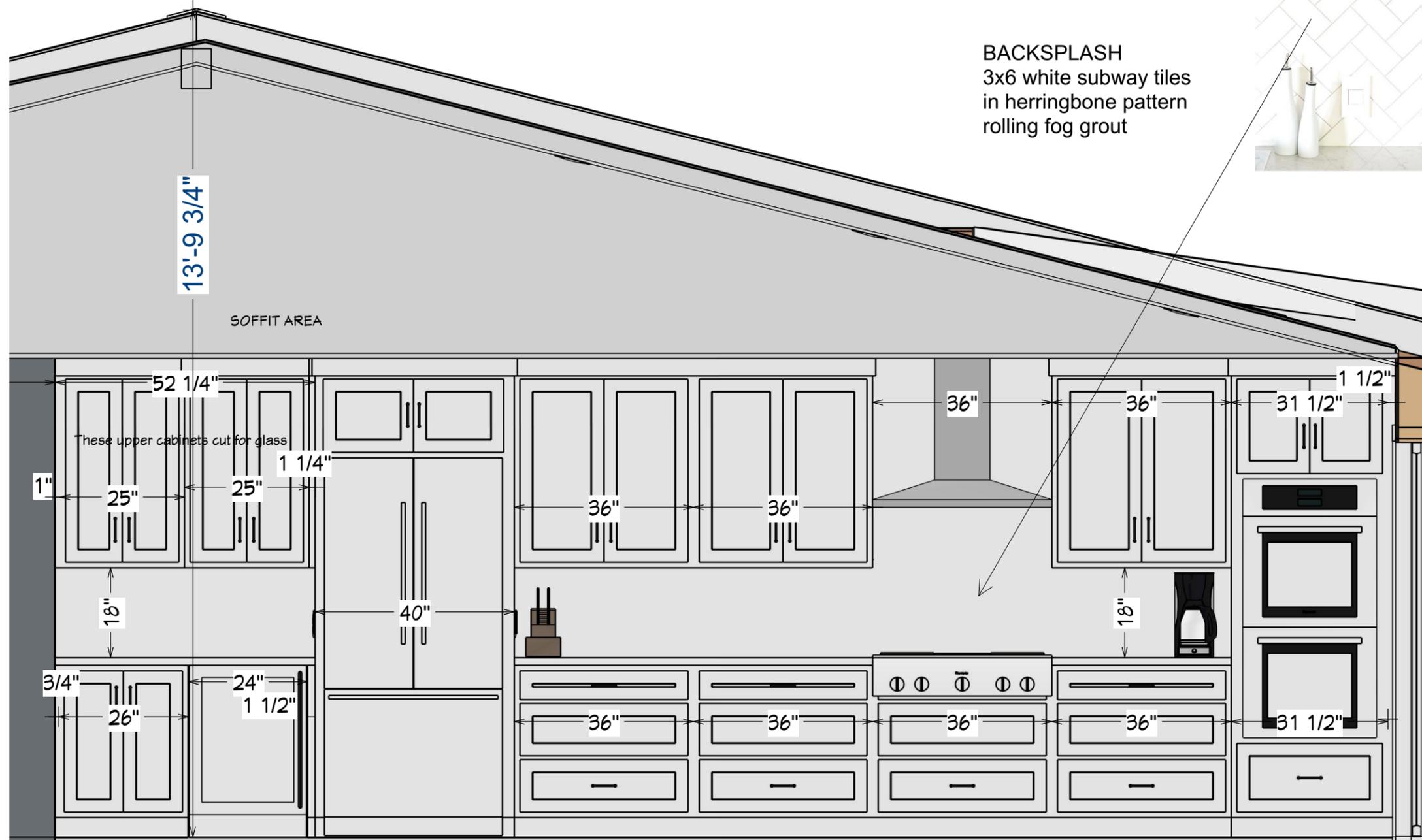
DATE 1/12/22

**KATE HANDEL DESIGN**

**A16**

# ELEVATIONS

WOOD FLOORING TO COVER BEAM



BACKSPLASH  
3x6 white subway tiles  
in herringbone pattern  
rolling fog grout



## REVISIONS

2 4/26/22

3 8/25/22

PER PLANNING COMMENTS

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## ELEVATIONS

SCALE

1/2" = 1' 0"

DATE 1/12/22

**KATE  
HANDEL  
DESIGN**

**A17**

Elevation 1

# ELEVATIONS

## REVISIONS

2 4/26/22

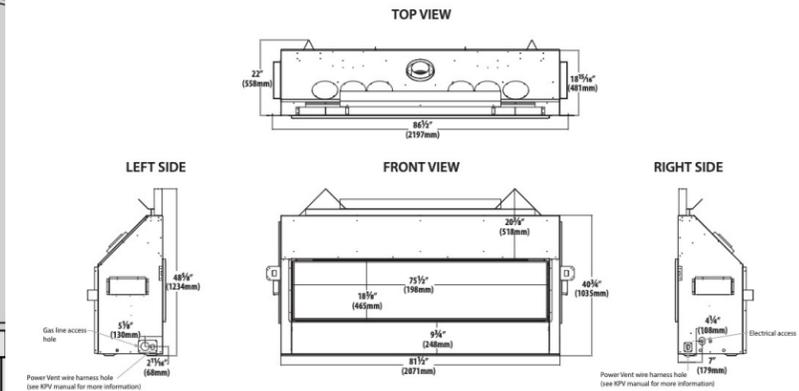
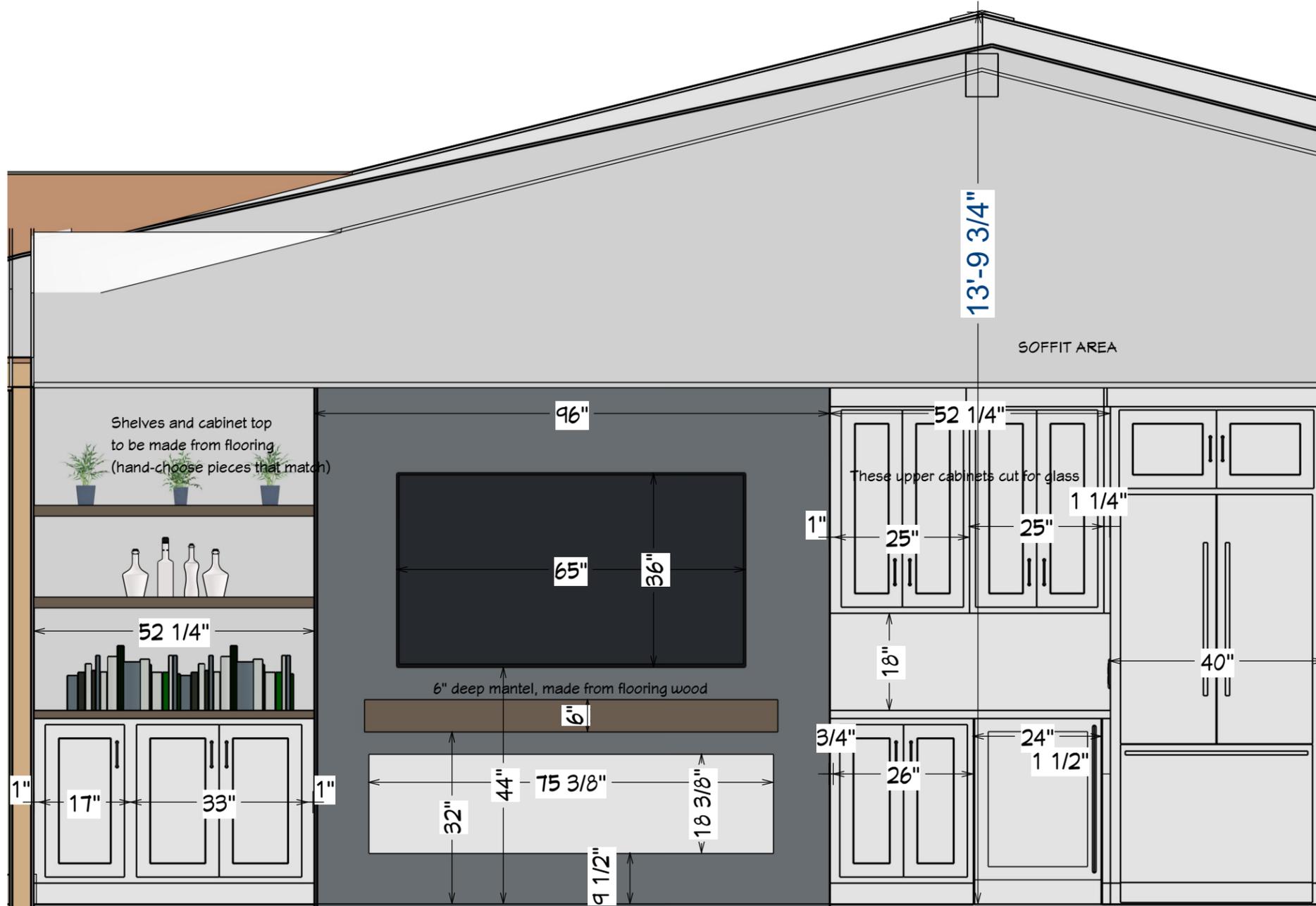
3 8/25/22

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Fireplace is KozyHeat Calloway 72 sealed gas fireplace with front Komfort Zone Kit

NEW GAS FIREPLACE WILL BE A DIRECT VENTED SEALED-COMBUSTION TYPE [CALGREEN 4.503.1] (KOZYHEAT CALLOWAY)

Elevation 1

## ELEVATIONS

SCALE

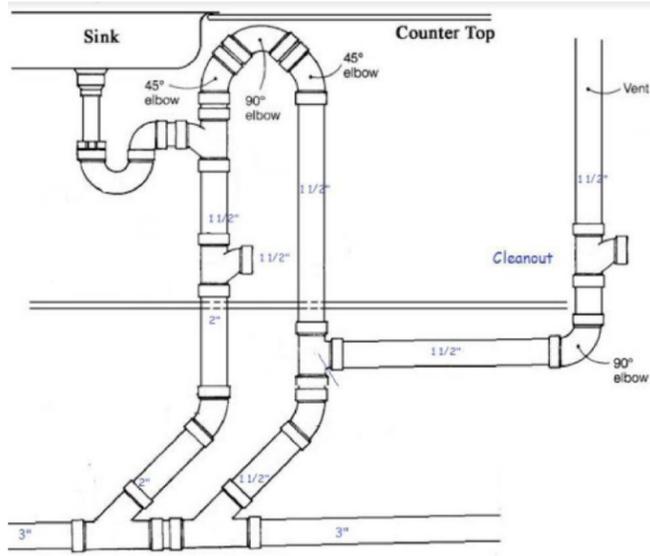
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DATE 1/12/22

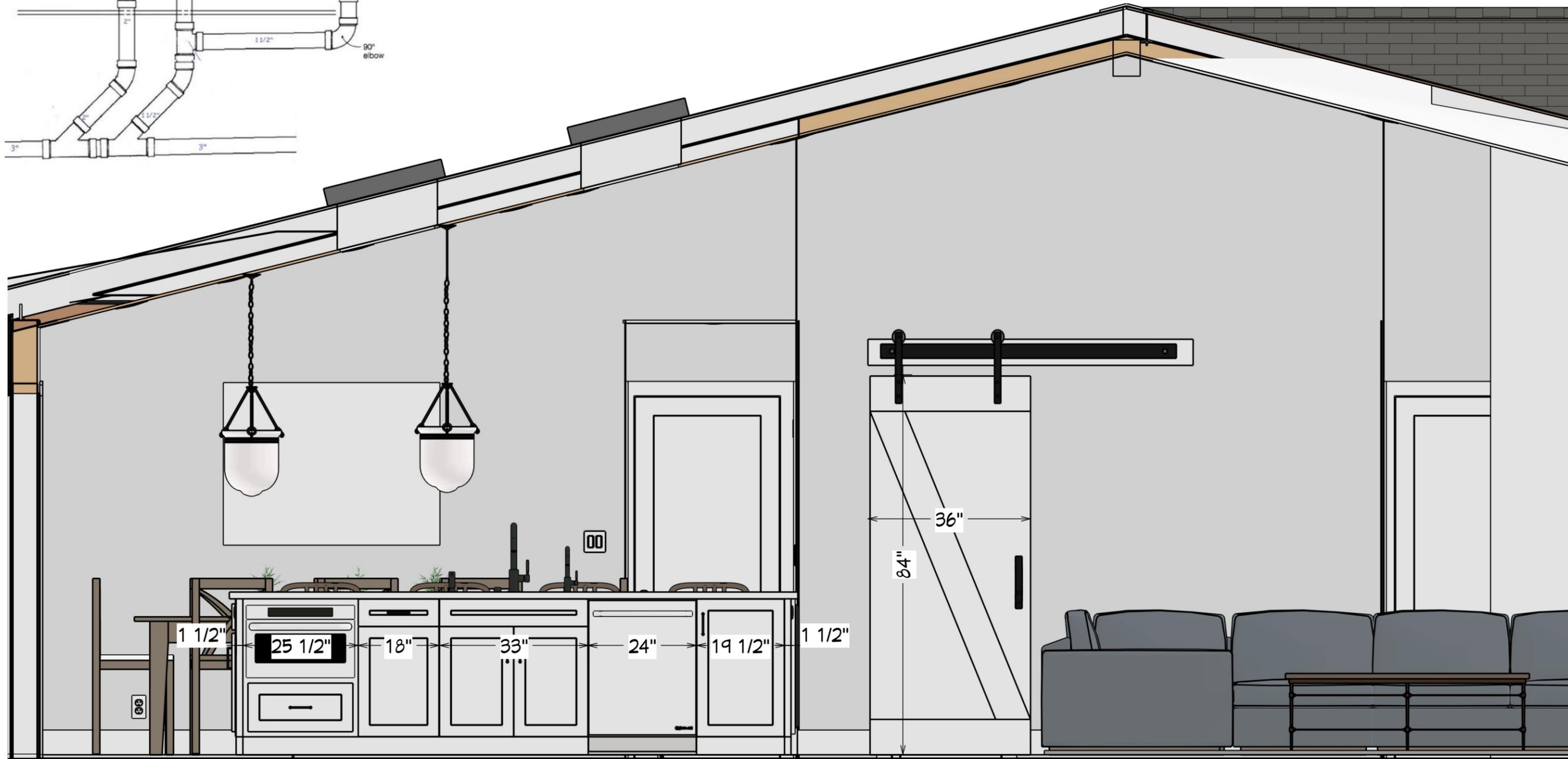
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**A18**

Island venting detail for new kitchen sink:



# ELEVATIONS



Elevation 2

REVISIONS

△<sup>2</sup> 4/26/22

△<sup>3</sup> 8/25/22

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## ELEVATIONS

SCALE

1/2" = 1' 0"

DATE 1/12/22

**KATE  
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 DESIGN**

**A19**

# ELEVATIONS

REVISIONS

△<sup>2</sup> 4/26/22

△<sup>3</sup> 8/25/22

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## ELEVATIONS

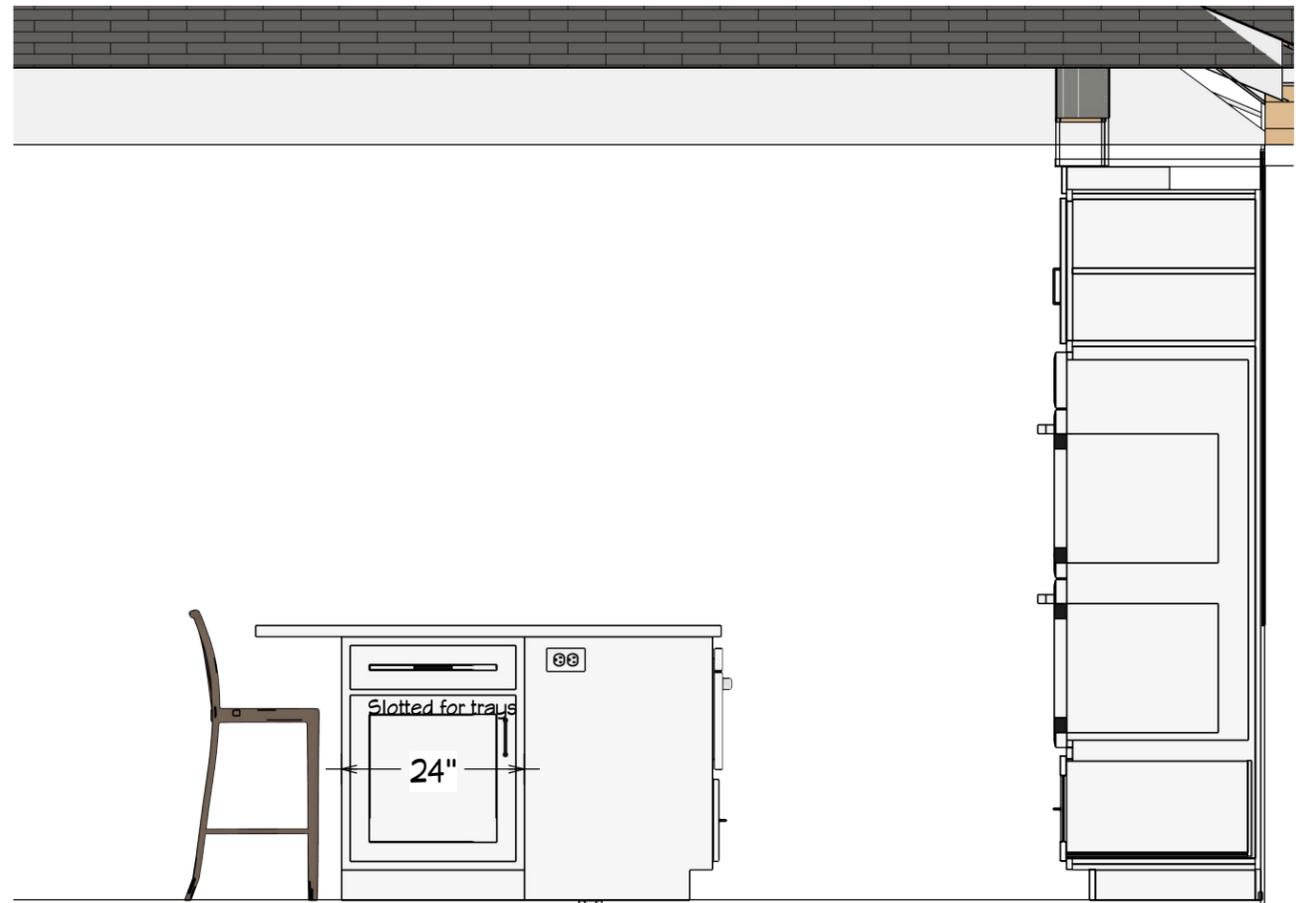
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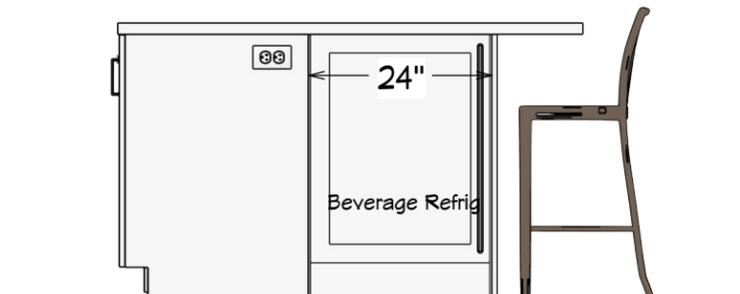
DATE 1/12/22

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 DESIGN**

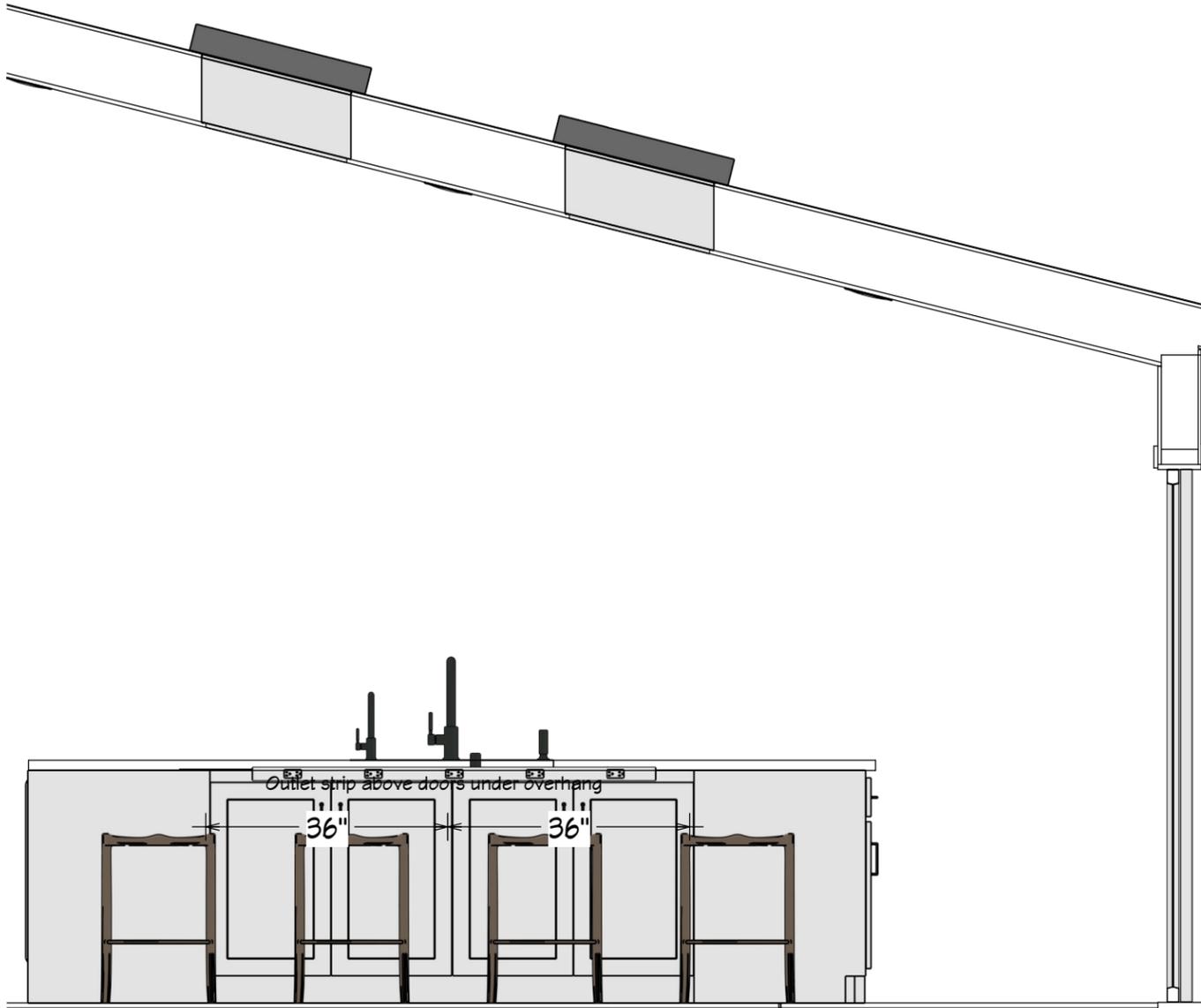
**A20**



Elevation 4



Elevation 5



Elevation 3

# ELEVATIONS - HALL BATH

## REVISIONS

△<sup>2</sup> 4/26/22

△<sup>3</sup> 8/25/22

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**ELEVATIONS**

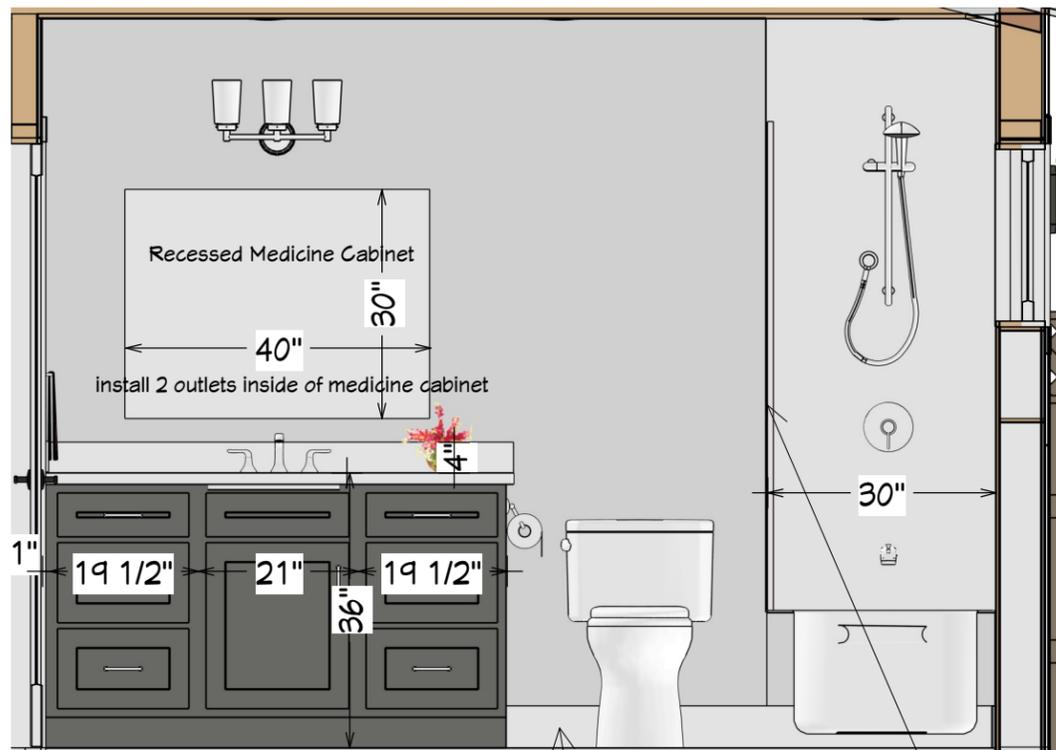
SCALE

1/2" = 1' 0"

DATE 1/12/22

**KATE  
 HANDEL  
 DESIGN**

**A21**



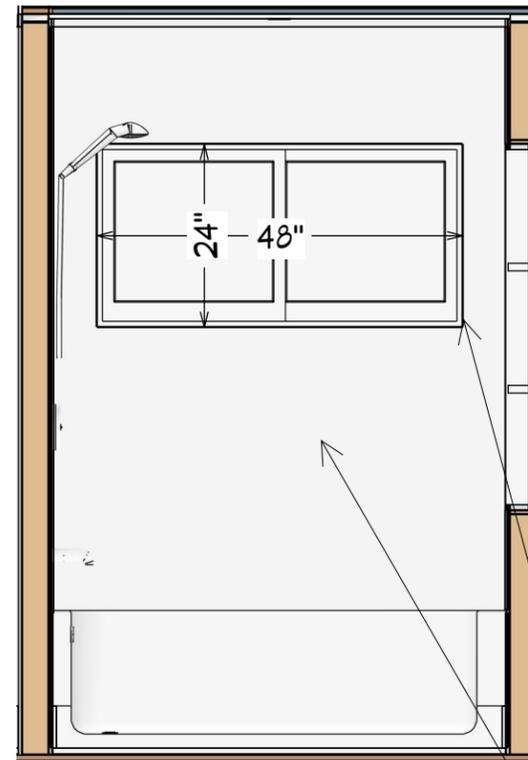
**Elevation 6**



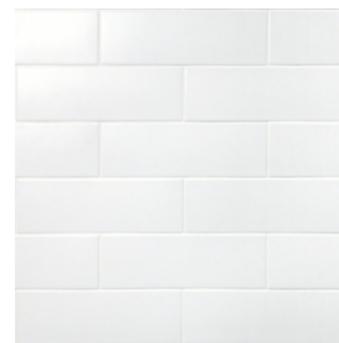
**FLOOR TILE**  
 EPC Niza White Hex 8x8  
 Cape Gray nonsanded grout  
 1/16" grout joints

**BASE TILE**  
 4 X 16 Subway tiles  
 Arctic white grout  
 White gloss Jolly Schluter on edge

SHOWER GLASS CHANNEL

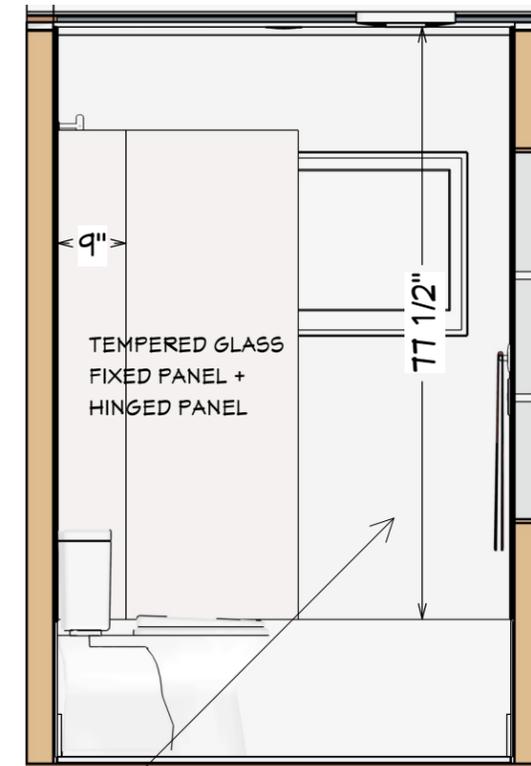


**Elevation 8**



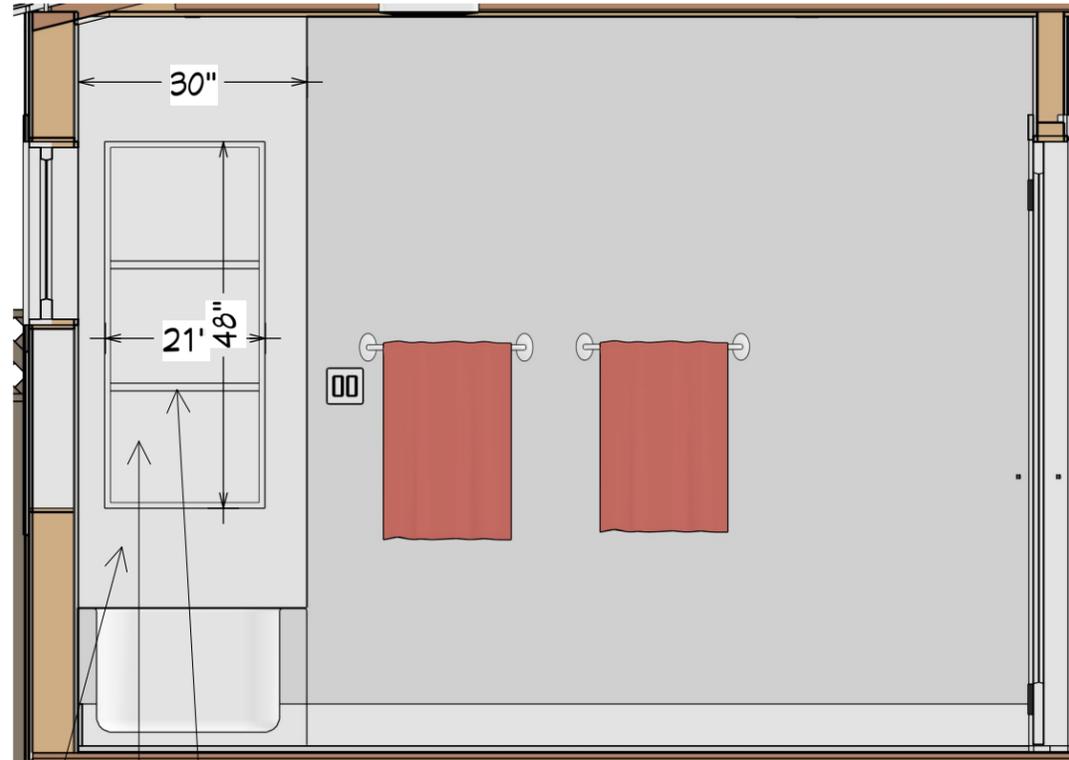
**WALL TILE + WINDOW SIDES + NICHE SIDES/BACK**  
 4 X 16 Subway tiles  
 50/50 Brick pattern  
 Arctic white grout  
 White gloss Jolly Schluter on all edges

NICHE SHELVES TO BE QUARTZ



**Elevation 16**

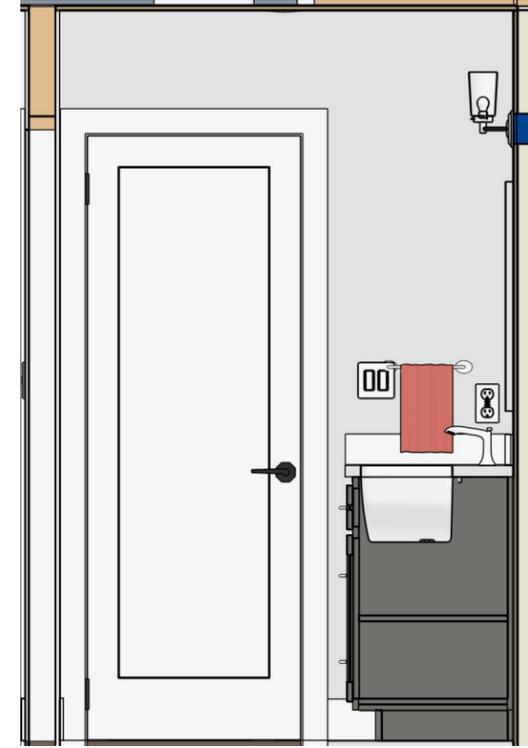
# ELEVATIONS - HALL BATH



Elevation 7

WALL TILE + WINDOW SIDES + NICHE SIDES/BACK  
 4 X 16 Subway tiles  
 50/50 Brick pattern  
 Arctic white grout  
 White gloss Jolly Schluter on all edges

NICHE SHELVES TO BE QUARTZ



Elevation 9

REVISIONS

△<sup>2</sup> 4/26/22

△<sup>3</sup> 8/25/22

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ELEVATIONS

SCALE  
 1/2" = 1' 0"

DATE 1/12/22

**KATE  
 HANDEL  
 DESIGN**

**A22**

# ELEVATIONS - MASTER BATH

REVISIONS

△<sup>2</sup> 4/26/22

△<sup>3</sup> 8/25/22

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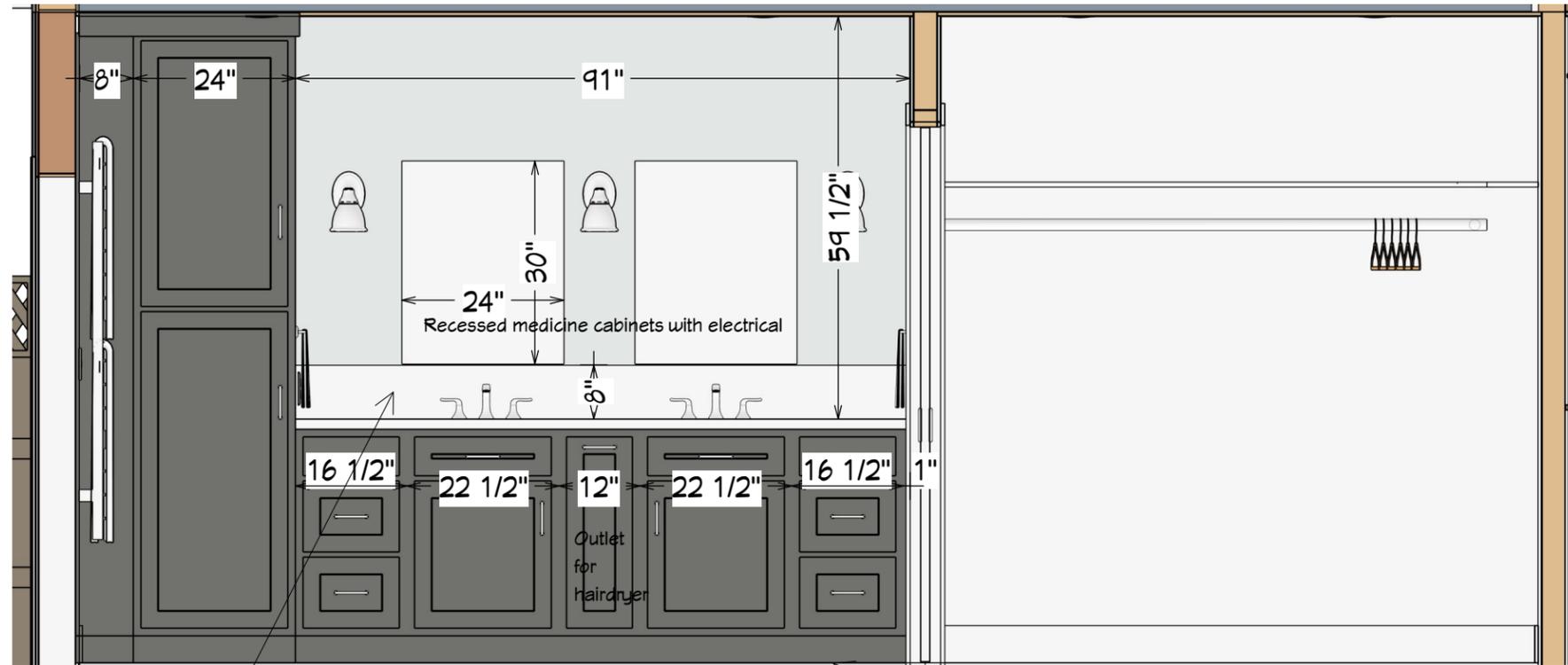
**ELEVATIONS**

SCALE  
 1/2" = 1' 0"

DATE 1/12/22

**KATE  
 HANDEL  
 DESIGN**

**A23**



Elevation 10

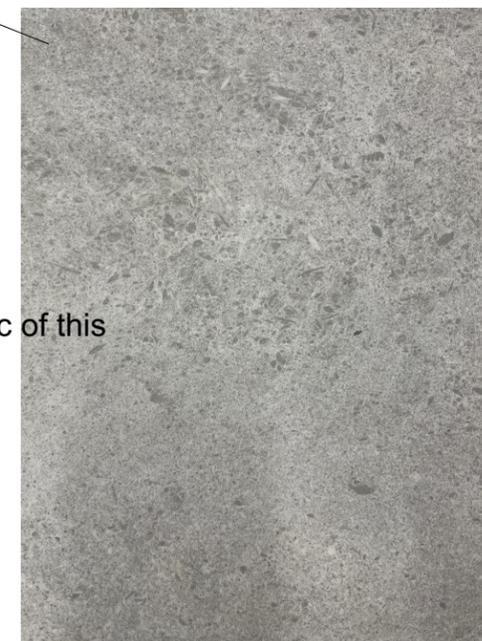


**BACKSPLASH  
 BORDER SHEETS** of  
 Just Add Water Zing Torino Pearl  
 Arctic white grout  
 Finec Schluter Chrome

Extend glass mosaic border strip height to 7 3/4" by adding 1/2 of another strip to it.

**FLOOR TILE**  
 16 X 32 Sovereign Grigio  
 Even Pattern  
 1/16" grout joints  
 Cape Gray Grout

Shower pan is 2x2 mosaic of this



# ELEVATIONS - MASTER BATH

REVISIONS

△<sup>2</sup> 4/26/22

△<sup>3</sup> 8/25/22

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## ELEVATIONS

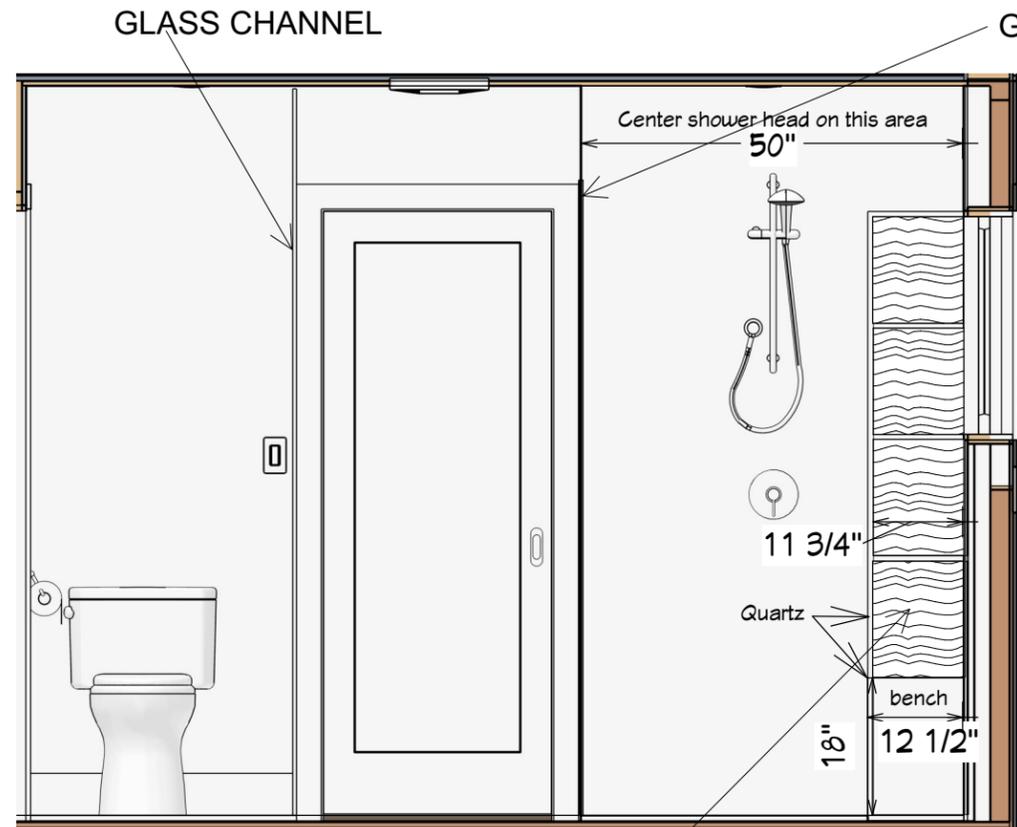
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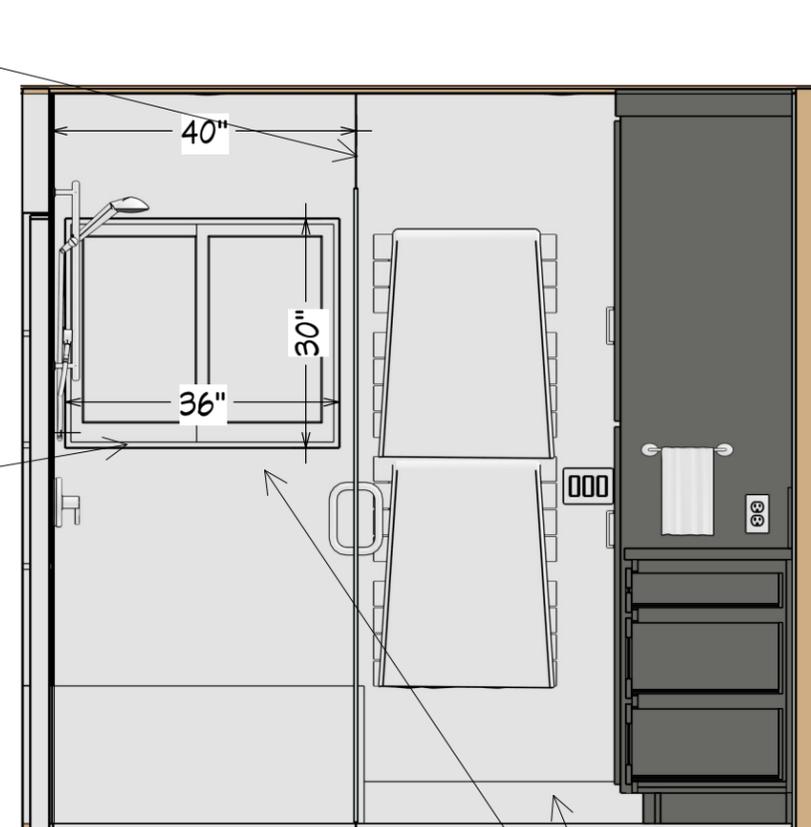
DATE 1/12/22

**KATE  
 HANDEL  
 DESIGN**

**A24**



Elevation 11



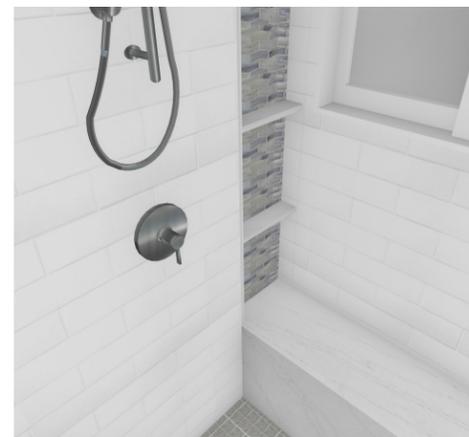
Elevation 12



**NICHE BACK**  
 Full sheets of  
 Just Add Water  
 Zing Torino Pearl  
 Add pieces on horizontally  
 to make 11 3/4" wide



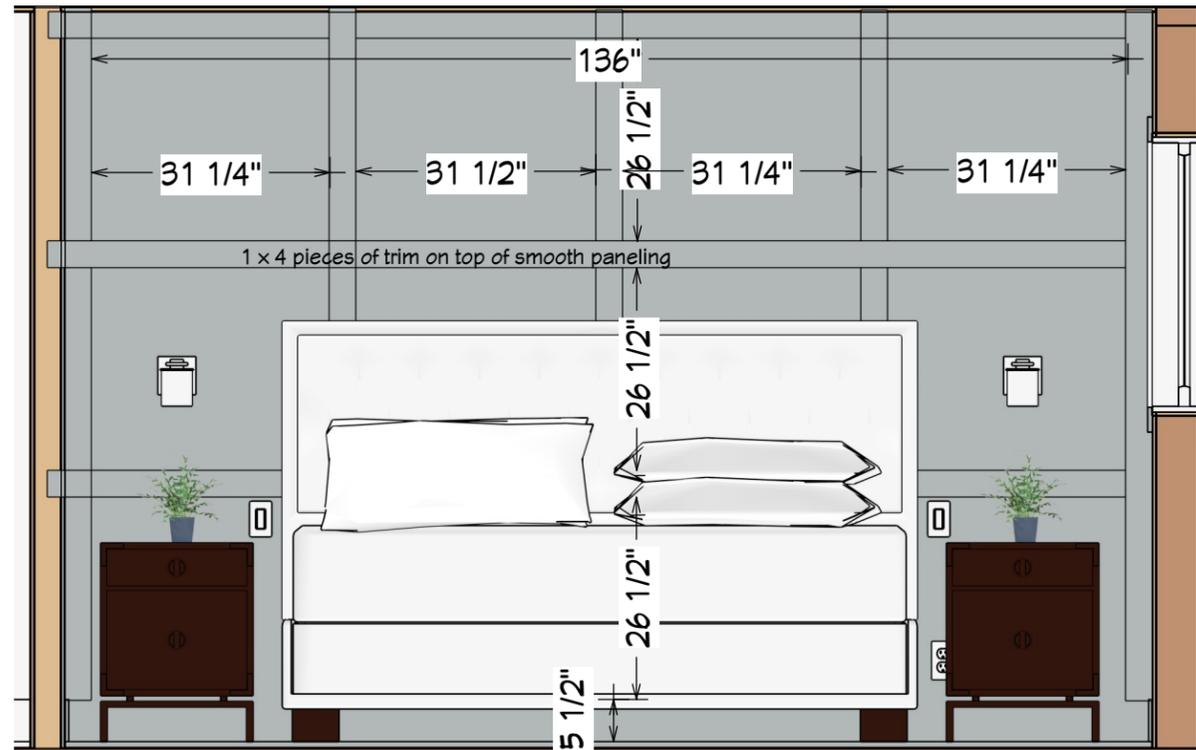
**NICHE SIDE**  
 Quartz to finish on top of bench



**WALL TILE + WINDOW SIDES**  
 4 X 16 Subway tiles  
 50/50 Brick pattern  
 Arctic white grout

Base tile is same  
 Top with Jolly White Schluter

# ELEVATIONS - MASTER BEDROOM



Elevation 14

REVISIONS

△<sup>2</sup> 4/26/22

△<sup>3</sup> 8/25/22

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ELEVATIONS

SCALE  
1/2" = 1' 0"

DATE 1/12/22

**KATE  
HANDEL  
DESIGN**

**A25**

# ELEVATIONS - POWDER BATH

REVISIONS

△<sup>2</sup> 4/26/22

△<sup>3</sup> 8/25/22

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## ELEVATIONS

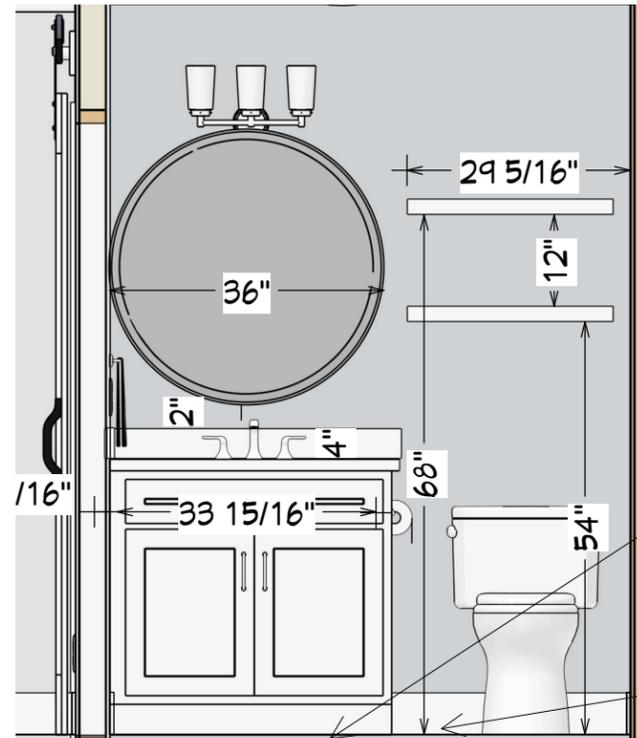
SCALE

1/2" = 1' 0"

DATE 1/12/22

**KATE  
 HANDEL  
 DESIGN**

**A26**



FLOOR TILE  
 Arizona Touch Pearl Porcelain 12x24  
 Cape Gray Nonsanded grout  
 1/16" grout joints  
 Even pattern



BASE TILE  
 4X16 white subway tiles  
 Arctic white grout  
 White jolly on edge

Elevation 13

# ELEVATIONS

## REVISIONS

△<sup>2</sup> 4/26/22

△<sup>3</sup> 8/25/22

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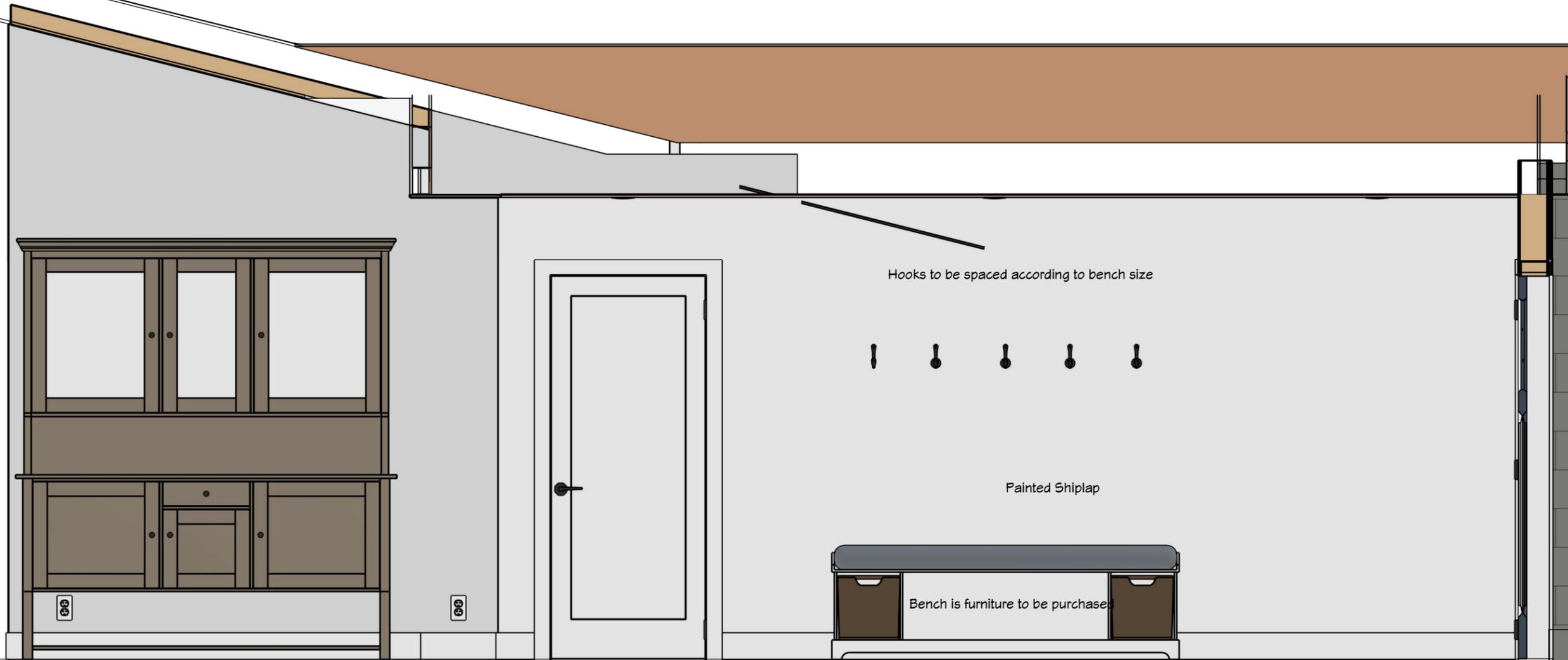
## ELEVATIONS

SCALE  
1/2" = 1' 0"

DATE 1/12/22

**KATE  
HANDEL  
DESIGN**

**A27**



Elevation 15

# DOOR & WINDOW SCHEDULE

## REVISIONS

△<sup>2</sup> 4/26/22

△<sup>3</sup> 8/25/22

PER PLANNING COMMENTS

WINDOW SCHEDULE								
ROOM NAME	FLOOR	NUMBER	LABEL	QTY	WIDTH	HEIGHT	DESCRIPTION	TEMPERED
OFFICE	1	W01	8040TS	1	96 "	48 "	TRIPLE SLIDING	
KITCHEN / LIVING ROOM	1	W02	4030RS	1	48 "	36 "	RIGHT SLIDING	
HALL BATH	1	W03	4020RS	1	48 "	24 "	RIGHT SLIDING	
BEDROOM 2	1	W04	6040LS	1	72 "	48 "	LEFT SLIDING	
BEDROOM 3	1	W05	5040LS	1	60 "	48 "	LEFT SLIDING	
MASTER BATH	1	W06	3026LS	1	36 "	30 "	LEFT SLIDING	
MASTER BEDROOM	1	W07	6030LS	1	72 "	36 "	LEFT SLIDING	
OFFICE	1	W10	5040LS	1	60 "	48 "	LEFT SLIDING	

Glazing adjacent to a door where the nearest vertical edge of the glazing is within a 24-inch arc of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 60 inches above the floor or walking surface. Glazing in walls, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bath tubs, showers and indoor or outdoor swimming pools, glazing within 60 inches of the water's edge, and less than 60 inches above the floor must be protected with safety glass. [R308.4.5] . Glazing with a bottom edge 36" or less above stairs and landings must be safety glass. [R308.4.6] This protected zone extends 5' from the bottom landing of the stairway. [R308.4.7].

DOOR SCHEDULE									
ROOM NAME	FLOOR	NUMBER	LABEL	QTY	WIDTH	HEIGHT	R/O	THICKNESS	DESCRIPTION
CLOSET/MASTER BATH	1	D01	2668	1	30 "	80 "	62"X82 1/2"	1 3/8"	POCKET-PANEL
GARAGE	1	D02	15080	1	180 "	96 "	182"X99"	1 3/4"	GARAGE-GARAGE DOOR CHD05
GARAGE	1	D03	3068	1	36 "	80 "	38"X83"	1 3/4"	EXT. HINGED-DOOR E21
GARAGE/HALL	1	D04	2868	1	32 "	80 "	34"X82 1/2"	1 3/8"	HINGED-PANEL
HALL	1	D05	3068	1	36 "	80 "	38"X83"	1 3/4"	EXT. HINGED-1662 TRADITIONAL SASH
HALL BATH/KITCHEN / LIVING ROOM	1	D06	2468	1	28 "	80 "	30"X82 1/2"	1 3/8"	HINGED-PANEL
KITCHEN / LIVING ROOM	1	D07	8068	1	96 "	80 "	98"X83"	1 3/4"	EXT. SLIDER-GLASS PANEL
KITCHEN / LIVING ROOM/MASTER BEDROOM	1	D08	2668	1	30 "	80 "	32"X82 1/2"	1 3/8"	HINGED-PANEL
BEDROOM 2/KITCHEN / LIVING ROOM	1	D09	2868	1	32 "	80 "	34"X82 1/2"	1 3/8"	HINGED-PANEL
BEDROOM 2/CLOSET	1	D10	6068	1	72 "	80 "	74"X82 1/2"	1 3/8"	SLIDER-PANEL
BEDROOM 3/HALL	1	D11	2468	1	28 "	80 "	30"X82 1/2"	1 3/8"	HINGED-PANEL
BEDROOM 3/CLOSET	1	D13	7068	1	84 "	80 "	86"X82 1/2"	1 3/8"	SLIDER-PANEL
MASTER BEDROOM/MASTER BATH	1	D14	2668	1	30 "	80 "	62"X82 1/2"	1 3/8"	POCKET-PANEL
OFFICE/HALL	1	D15	2468	1	28 "	80 "	30"X82 1/2"	1 3/8"	HINGED-PANEL
PANTRY/KITCHEN / LIVING ROOM	1	D16	1668	1	18 "	80 "	20"X82 1/2"	1 3/8"	HINGED-PANEL
POWDER/KITCHEN / LIVING ROOM	1	D17	2468	1	28 "	80 "	30"X82 1/2"	1 3/8"	HINGED-PANEL
HALL	1	D18	1068	1	12 "	80 "	14"X83"	1 3/4"	EXT. FIXED-1780 TRADITIONAL SASH SIDELIGHT

**KATE HANDEL DESIGN**  
 106 Red Hawk Court  
 Half Moon Bay CA 94019  
 www.katehandel.com  
 kate@katehandel.com

*Kate Handel*

Rebecca Mendonca  
 450 Lancaster Blvd  
 Moss Beach, CA 94038

**DOORS &  
 WINDOWS**

SCALE

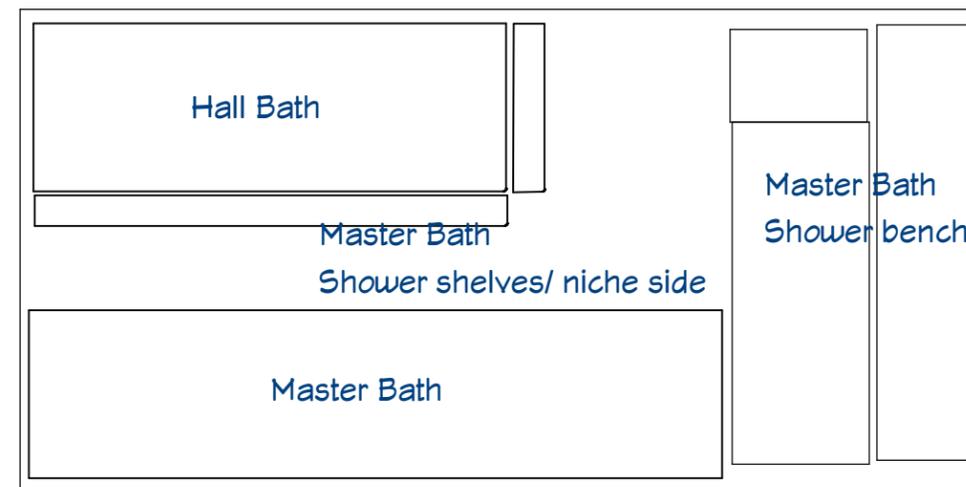
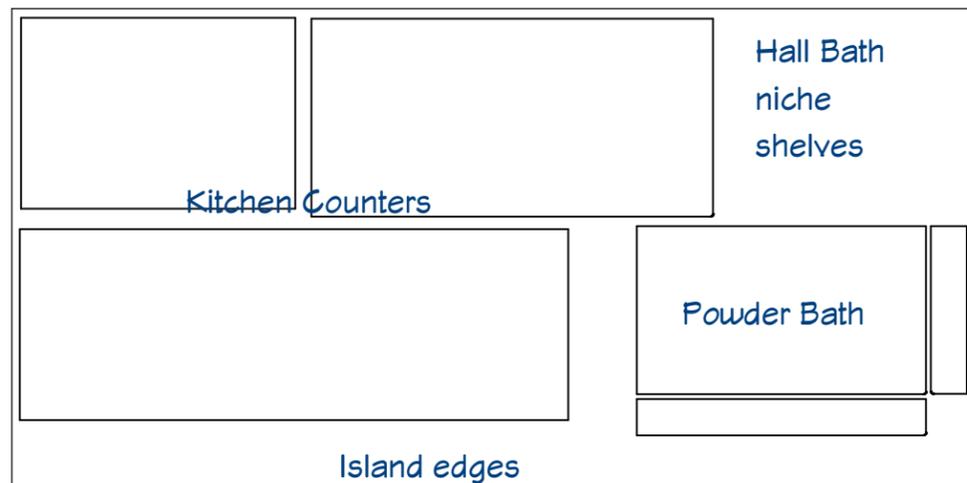
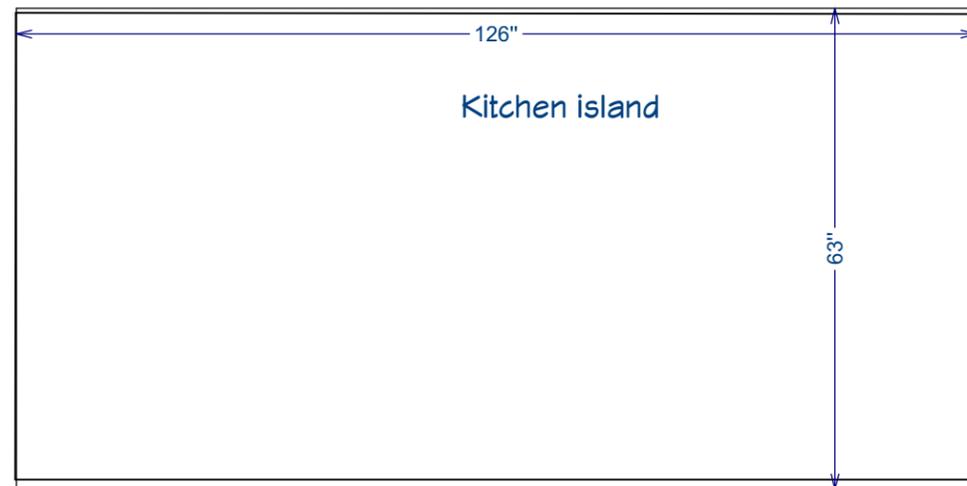
DATE 1/12/22

**KATE  
 HANDEL  
 DESIGN**

**A28**

# FABRICATION

Yadara Naurelle Jumbo 63 x 126  
 Counter Overhang = 1.5"  
 Edge Profile = Eased



## REVISIONS

△<sup>2</sup> 4/26/22

△<sup>3</sup> 8/25/22

PER PLANNING COMMENTS

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**FABRICATION**

SCALE

DATE 1/12/22

**KATE  
 HANDEL  
 DESIGN**

**A29**

Owner:/Applicant: Erik and Rebecca Taubman  
Applicant: Renee Moldovan, Bodas Construction  
County File No: PLN2022-00010  
Location: 450 Lancaster Blvd, Moss Beach  
APN: 037-171-770

### **Coastside Design Review Permit**

The project has been reviewed for compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, County of San Mateo Zoning Regulations Aug 2019, Chapter 28.1, Section 6565.20.

### **CDRC recommends approval with Findings and Requirements & Suggestions as follows:**

#### **Findings**

1. Section 6565.20(C) SITE PLANNING & STRUCTURE PLACEMENT; 2. Complement Other Structures in the Neighborhood; a. Views; Standards: **The design of the addition minimizes the effect on views from neighboring houses.**
2. Section 6565.20(D) ELEMENTS OF DESIGN; 1. Building Mass, Shape & Scale.; b. Neighborhood Scale; Standards (1): **This addition respects the scale of the neighborhood through building dimensions, shape, form,... and architectural details that appear proportional and complementary to the style of other homes in the neighborhood.**
3. 6565.20(D) ELEMENTS OF DESIGN; 2. Architectural Styles and Features; a. Architectural Style; Standards (2): **The Architectural style compliments the coastal, diverse small town.**
4. Section 6565.20(D) ELEMENTS OF DESIGN; 4. Exterior Materials and Colors; Standards c. Quantity: (1) **A number of exterior materials and colors have been used that are consistent with the neighborhood and architectural style of the house.**
5. Section 6565.20(D) ELEMENTS OF DESIGN; 2. Architectural Styles and Features; c. Entries (2): **The new entry is similar in size and proportion to the other homes in the neighborhood.**

#### **Requirements for compliance with the Standards:**

1. (6565.20(D) 4. Exterior Materials and Colors) All Gable treatments to be consistent. Applicant has chosen to install the existing board & batten on all gables.
2. All exterior lighting indicated on the exterior elevations to be Dark Sky Compliant. Exterior Lighting Specification to be shown on the architectural drawings.
3. (6565.20(D) 2.d. Garages Standards (1)) Change the Roof over the Garage from a Gable to a Hip Roof to minimize the massing of the Garage and to provide visual interest (6565.20(D) 3. Roof Design Standards (2)).
4. All Architectural Plans & Elevations to be drawn to reflect the actual architectural (existing and proposed) design. Include renderings only if accurate.
5. Include a Proposed Roof Plan in the Architectural Drawings.

#### **Suggestions:**

1. 6565.20(D) ELEMENTS OF DESIGN; 2. Architectural Styles and Features; d. Garages: To further minimize the mass of the garage, consider painting the Garage Door the same color as specified for the Front Door



450 Lancaster currently has all gable roofs

## Neighbor Roof Examples



**460 Lancaster Blvd**  
All roofs are consistently hip



**440 Lancaster Blvd**  
All roofs are consistently gable



**430 and 420 Lancaster Blvd**  
All roofs are consistently hip



ORIGINAL PROPOSAL - (Simplest and least expensive option)



**WHAT WE AGREED TO DO AT REVIEW MEETING**

Shake siding + Board & Batten in upper areas + hip roof over garage

Inconsistent roof styles would look odd on this street. Too many textures for one side of a small house.



## CURRENT PROPOSAL

Raise roof pitch on left side to 5 in 1 (still within height limit) and keep shake siding consistently on front

Garage roof pitch is 4 in 1

Keep shed roofs with board & batten on sides, as it is impossible to see front and side areas at the same time