

PROJECT DATA		
PROJECT LOCATION:	0 LAKEMEAD WAY	2022 CALIF. BUILDING CODE
JURISDICTION:	COUNTY OF SAN MATEO	2022 CALIF. RESIDENTIAL CODE
CONSTRUCTION TYPE:	NEW CONSTRUCTION	2022 CALIF. PLUMBING CODE
APN:	057-264-160	2022 CALIF. MECHANICAL CODE
FIRE SPRINKLER SYSTEM:	FULLY SPRINKLER	2022 CALIF. ELECTRICAL CODE
LOT SIZE:	7,558 SQ.FT	2022 CALIF ENERGY CODE
ZONING:	RH/DR	2022 CALIF. GREEN BUILDING
OCCUPANCY:	R3-U	STANDARD CODE
TYPE OF CONSTRUCTION:	V-B-FULLY SPRINKLER	SAN MATEO MUNICIPAL CODE
LAND USE:	LOW DENSITY (1-6 DU/AC)	

MAX LOT COVERAGE CALCULATION:
 MAX LOT COVERAGE: 25% OF LOT SEIZE : 0.25*7,558=1,889.5 SQ.FT
 MAX F.A.R: 2,400 SQ.FT

PROPOSED COVERAGE: 1,593 SQ.FT
 PROPOSED F.A.R: 2,394 SQ.FT

SETBACK REQUIREMENT:

SETBACKS	REQUIRED	PROPOSED
FRONT	20'-0"	20'-0"
REAR	20'-0"	42'-7 1/2"
RIGHT	MIN 7' COMBINED 20'-0"	10'-8 1/2"
LEFT	MIN 7' COMBINED 20'-0"	11'-2"

PROJECT DESCRIPTION

- NEW TWO STORY SINGLE FAMILY HOUSE WITH FIRST FLOOR LIVING SPACE OF 1,042 SQ.FT AND AN ATTACHED GARAGE OF 482 SQ.FT. 2ND FLOOR LIVING OF 871 SQ.FT. TOTAL F.A.R OF 2,394 SQ.FT AND 1,593(21.1%)SQ.FT OF LOT COVERAGE
- ATTACHED ADU OF 535 SQ.FT

PROJECT INDEX

A1	COVER PAGE
A2	SITE PLAN
A3	PROPOSED FLOOR PLANS
A3.1	F.A.R DIAGRAM
A4	PROPOSED NORTH/SOUTH ELEVATION
A5	PROPOSED WEST/EAST ELEVATION
A6	PROPOSED ROOF PLAN
A7	SECTION PLANS
1 OF 1	BOUNDARY AND TOPO SURVEY
C-01	GRADING AND DRAINAGE DESIGN
L1	LANDSCAPE PLANTING PLAN
L2	HYDROZONES
L3	LANDSCAPE IMAGES

DEFERRED SUBMITTAL LIST

C.B.C SECTION 106.3.4.2 THE FOLLOWING ITEMS ARE A DEFERRED SUBMITTAL:
 -FOR THE PURPOSE OF THIS SECTION, DEFERRED SUBMITTALS ARE DEFINED AS THOSE PORTIONS OF THE DESIGN THAT ARE NOT SUBMITTED AT THE TIME OF THE APPLICATION AND THAT ARE TO BE SUBMITTED TO THE BUILDING OFFICIAL WITHIN A SPECIFIED PERIOD.
 -DEFERRAL OF ANY SUBMITTAL ITEMS SHALL HAVE PRIOR APPROVAL OF THE BUILDING OFFICIAL. THE ARCHITECT OR ENGINEER OF RECORD SHALL LIST THE DEFERRED SUBMITTALS ON THE PLANS AND SHALL SUBMIT THE DEFERRED SUBM DOCUMENTS FOR REVIEW BY THE BUILDING OFFICIAL.
 -SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED.

THE FOLLOWING ITEMS ARE A DEFERRED SUBMITTAL:
 1. TRUSSES CALCULATION
 2. FIRE SPRINKLERS
 3. METAL STAIR DESIGN
 4. FIRE ALARM SYSTEM
 5. SOLAR PANEL

CONSULTANT LIST

DESIGNER: JACKSON & PARTNERS
 167 DI SALVO AVE
 SAN JOSE CA 95128
 650.861.2039
 JACKSONSPARTNER@GMAIL.COM

STRUCTURAL ENGINEER:

SOIL ENGINEER:

PROPERTY OWNER
 SHANGFANG LLC
 510-590-0366
 jenniferdaihomes@gmail.com

MANUFACTURE CONTACT

- EAGLE ROOFING (800)-998-3245 EAGLEROOFING.COM
- GAF ROOFING (877)423-7663 GAF.COM
- VELUX SKYLIGHT VELUXUSA.COM

FIRE NOTES

AN APPROVED AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT NEW BUILDINGS AND STRUCTURES WITH GROUP R FIRE AREA. PER REQUIREMENTS OF CFC 903.3.1.3 AUTOMATIC SPRINKLER SYSTEMS IN ONE-AND TWO-FAMILY DWELLINGS, AND TOWNHOUSES SHALL BE INSTALLED THROUGHOUT IN ACCORDANCE WITH NFPA 13D.

GROUP U PRIVATE GARAGES AND CARPORTS ACCESSORY TO R-3 OCCUPANCIES- CARPORTS WITH HABITABLE SPACE ABOVE AND ATTACHED GARAGES, ACCESSORY TO GROUP R-3 OCCUPANCIES SHALL BE PROTECTED BY RESIDENTIAL FIRE SPRINKLERS IN ACCORDANCE WITH THIS SECTION. RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE CONNECTED TO AN INSTALLED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM THAT COMPLIES WITH NFPA 13D SPRINKLER SYSTEMS AS AMENDED BY THE COUNTY OF SAN MATEO. FIRE SPRINKLER SHALL BE RESIDENTIAL SPRINKLERS OR QUICK RESPONSE SPRINKLERS. DESIGN TO PROVIDE A MINIMUM DENSITY OF 0.05 GPM/SQFT(2.04mm/MIN) OVER THE AREA OF THE GARAGE AND OR CARPORT, BUT NOT EXCEED TWO SPRINKLERS FOR HYDRAULIC CALCULATION PURPOSES. GARAGE DOORS SHALL NOT BE CONSIDERED OBSTRUCTION WITH RESPECT TO SPRINKLER PLACEMENT.

BALCONIES AND DECKS-SPRINKLER PROTECTION SHALL BE PROVIDED FOR EXTERIOR BALCONIES, DECKS AND GROUND FLOOR PATIOS OF BUILDING WHICH HAVE AN AUTOMATIC FIRE SPRINKLER SYSTEM. PROVIDED THERE IS ROOF OR DECK ABOVE. SIDEWALL SPRINKLERS THAT ARE USED TO PROTECT SUCH AREAS SHALL BE PERMITTED TO BE LOCATED SUCH THAT THEIR DEFLECTOR ARE WITHIN 1 INCH TO 6 INCHES BELOW THE STRUCTURAL MEMBERS AND A MAX. DISTANCE OF 14 INCHES BELOW DECK OF THE EXTERIOR BALCONIES AND DECKS THAT ARE CONSTRUCTED OF OPEN WOOD JOIST CONSTRUCTION.

SPRINKLER PERMIT(NEW) SUBMIT SHOP DRAWINGS AND PERMIT APPLICATION TO THE SAN MATEO FIRE DEPARTMENT FOR APPROVAL BEFORE CONSTRUCTION. A COPY OF THESE PLAN CHECK COMMENTS WILL BE REQUIRED AT THE TIME OF PERMIT APPLICATION.

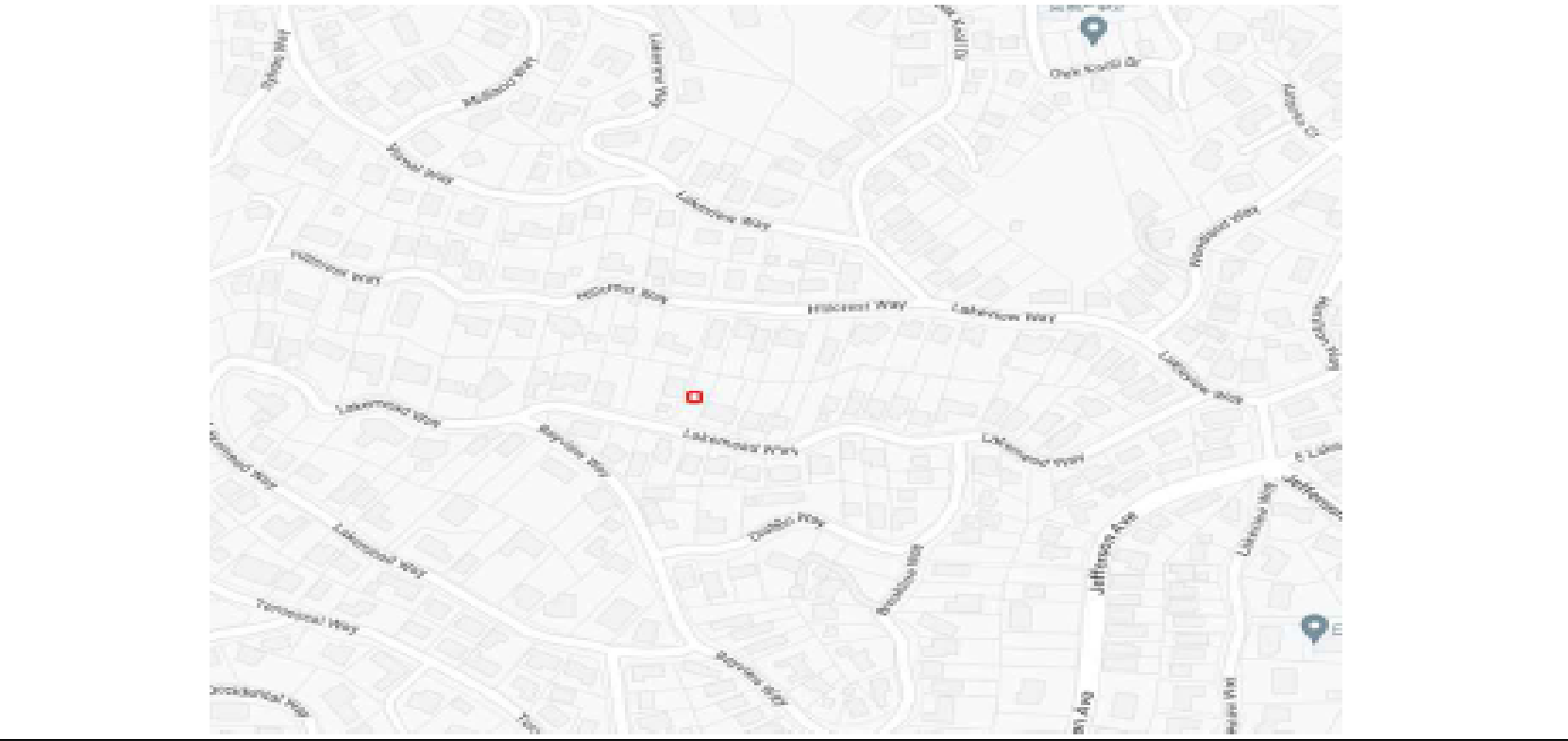
WATER SUPPLIES AND FIRE HYDRANTS. THE REQUIRED FIRE FLOW SHALL NOT BE LESS THAN 1500 GPM PER MIN AT 20PSI. THE FIRE FLOW SHALL BE AVAILABLE FROM 1 FIRE HYDRANT. THE MAX DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT IS 250FT. FIRE HYDRANT LOCATION: WHERE A PORTION OF THE FACILITY OR BUILDING HEREFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 400 FT FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ONSITE FIRE HYDRANT AND MAINS SHALL BE PROVIDED WHERE REQUIRED BY THE FIRE CHEF.

FIRE ACCESS: THE FIRE APPARATUS ACCESS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION AND SHALL EXTEND TO WITHIN 150FT OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING.

GENERAL NOTE

- APPROVAL OF THESE PLANS DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR OF THE RESPONSIBILITY FOR THE CORRECTIONS OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION IMPROVEMENTS, PUBLIC INTEREST REQUIRES A MODIFICATION OF/ OR A DEPARTURE FROM THE CITY SPECIFICATION OR THESE IMPROVEMENT PLANS, THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE COMPLETED, AT THE SOLE EXPENSE OF THE OWNER.
- CONTACT PUBLIC WORKS, FOR INSPECTION OF GRADING, DRAINAGE AND PUBLIC IMPROVEMENTS
- ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR OCCUPANCY
- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION
- CONTRACTOR SHALL REVIEW CITY DETAIL 6-4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING TREES.
- UTILIZE BEST MANAGEMENT PRACTICE(BMP'S) AS REQUIRED BY STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS THE SOIL
- ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUND.
- PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE IN APPLYING FOR AN ENCROACHMENT PERMIT FROM PUBLIC WORK DEPARTMENTS.

PROJECT MAP



**0 LAKEMEAD WAY
 REDWOOD CITY CA 94062
 EMPTY LOT PROPOSED NEW
 TWO STORY RESIDENCE
 SHANGFANG LLC**



- BUILDING-LEVEL VERIFICATIONS:**
- INDOOR AIR QUALITY VENTILATION**
 - KITCHEN RANGE HOOD**
- COOLING SYSTEM VERIFICATION:**
- MINIMUM AIRFLOW**
 - FAN EFFICACY WATTS/CFM**
- HEATING SYSTEM VERIFICATION:**
- VERIFIED HEAT PUMP RATED HEATING CAPACITY.**
- HVAC DISTRIBUTION SYSTEM VERIFICATION:**
- DUCT LEAKAGE TESTING**
 - DUCTS LOCATED ENTIRELY IN CONDITIONED SPACE CONFIRMED BY DUCT LEAKAGE TESTING**

ALL APPLIANCES TO BE ELECTRIC PER COUNTY ORDINANCE 4824.

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 SHANGFANG LLC

JACKSON & PARTNERS
 JACKSONPARTNER@GMAIL.COM
 (650)861-2039

REVISION	DATE

DRAWN BY: JACKSON/JACKSON LU
 LEED GREEN ASSOCIATE

JOB: 12022020
 SIGNATURE:

SCALE: AS SHOWN

COVER PAGE

A1



0 LAKEMEAD WAY
 REDWOOD CITY CA 94062
 EMPTY LOT PROPOSED NEW
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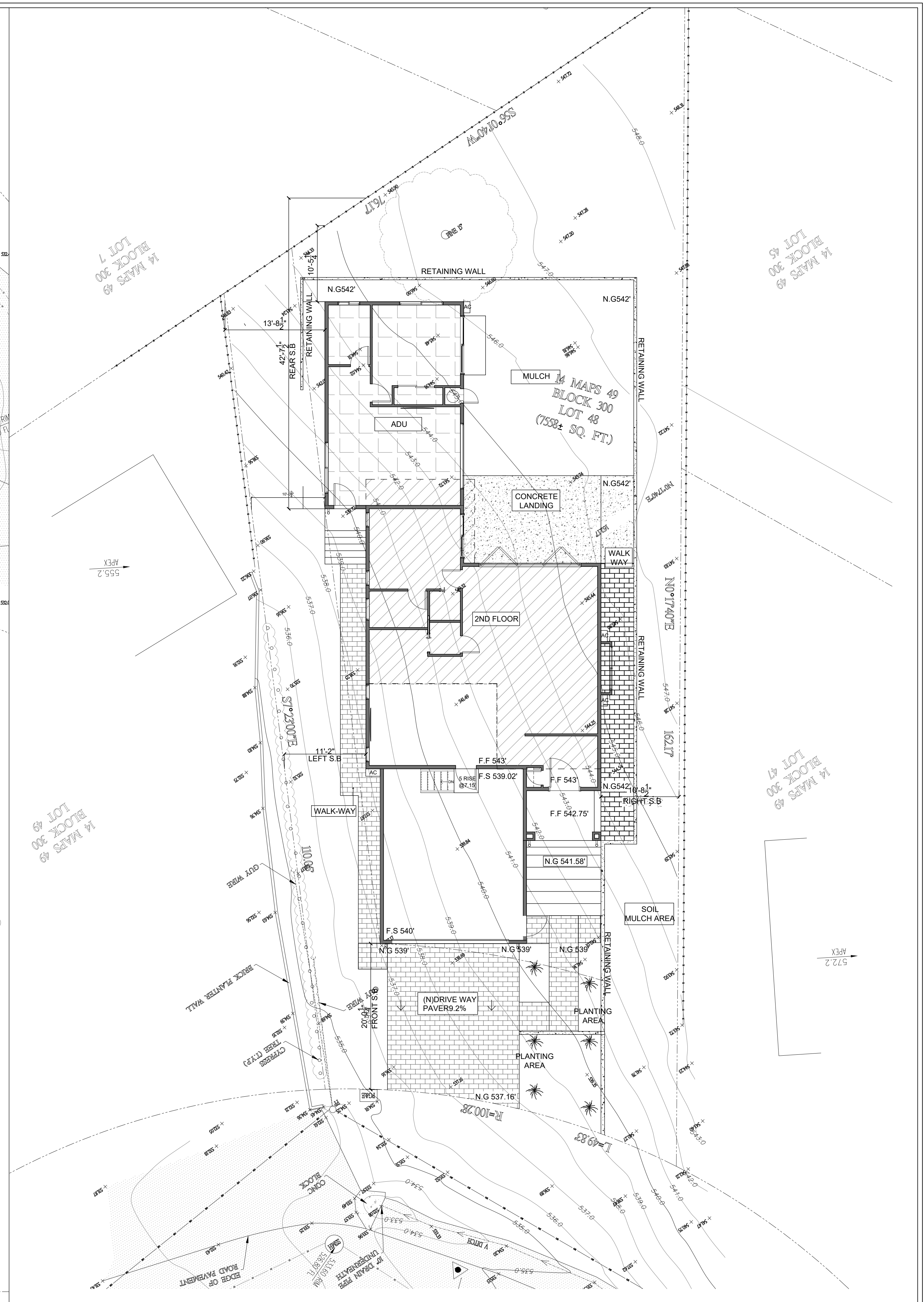
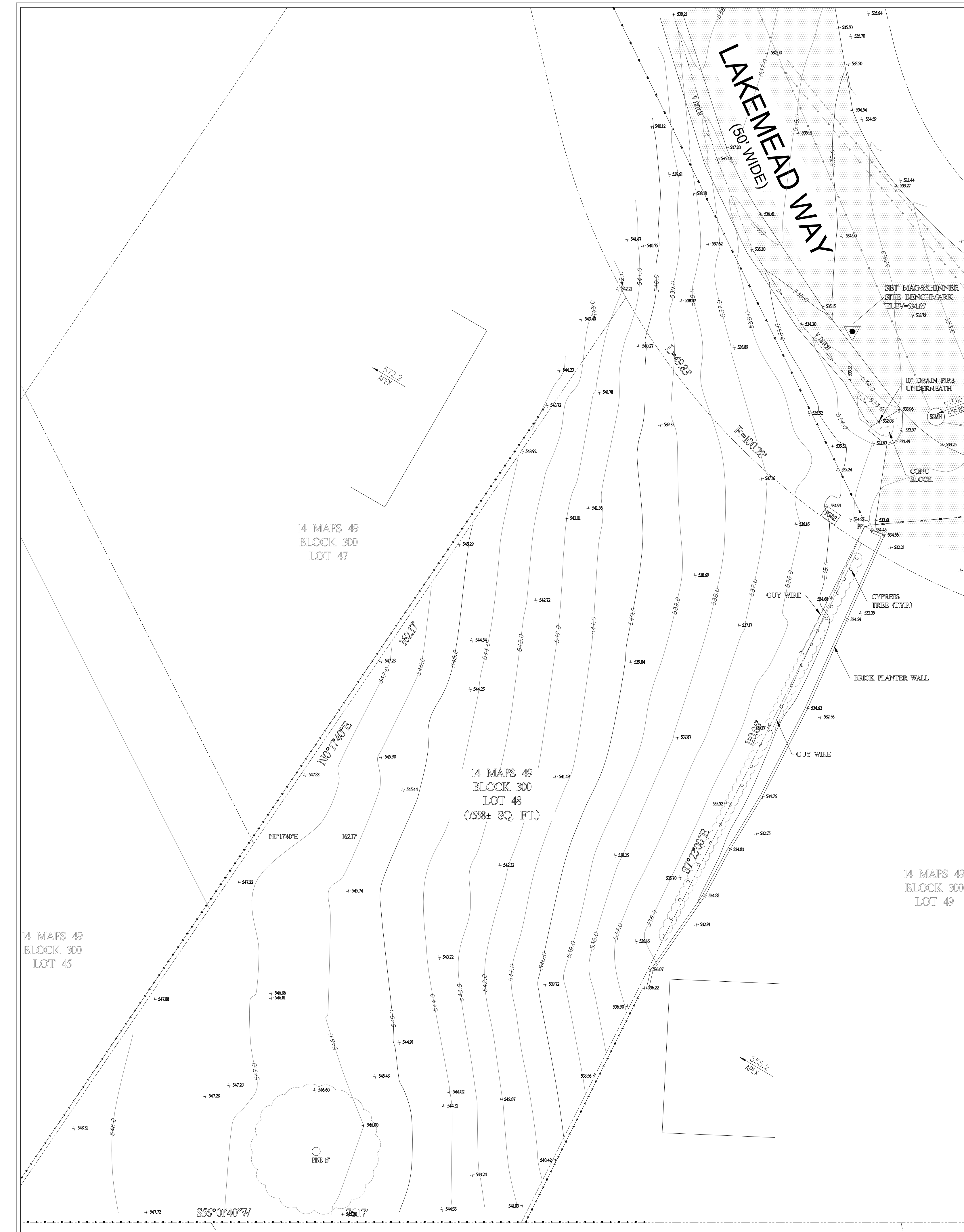
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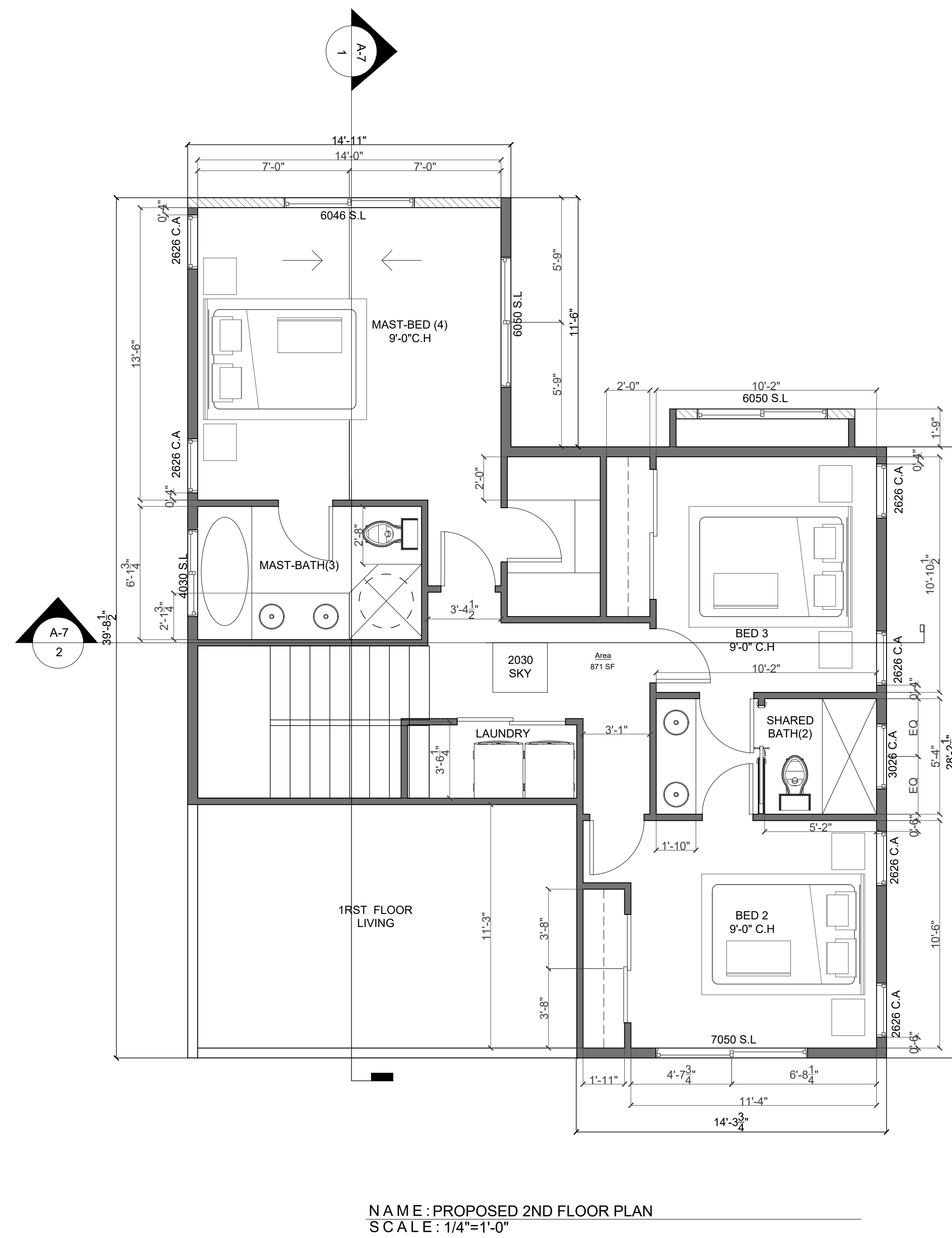
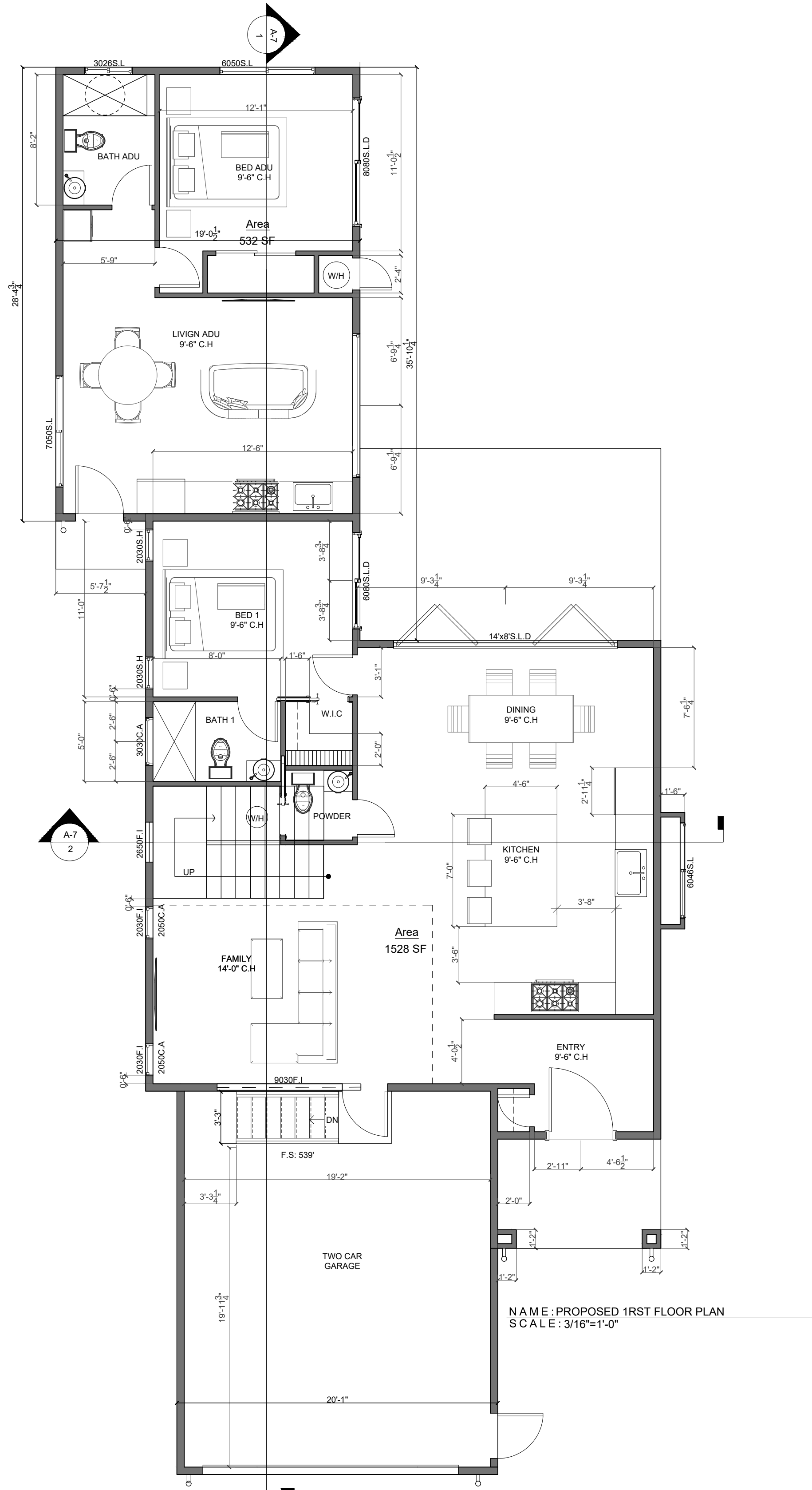
JOB: 12022020
 SIGNATURE:

SCALE: 18" = 1'-0"

(E) SITE PLAN &
 PROPOSED SITE PLAN

A2





0 LAKEMEAD WAY
REDWOOD CITY CA 94062
EMPTY LOT PROPOSED NEW
TWO STORY RESIDENCE
SHANGFANG LLC

JACKSON & PARTNERS
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REVISION	DATE

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SCALE: AS SHOWN

PROPOSED FIRST FLOOR PLAN

A3



0 LAKEMEAD WAY
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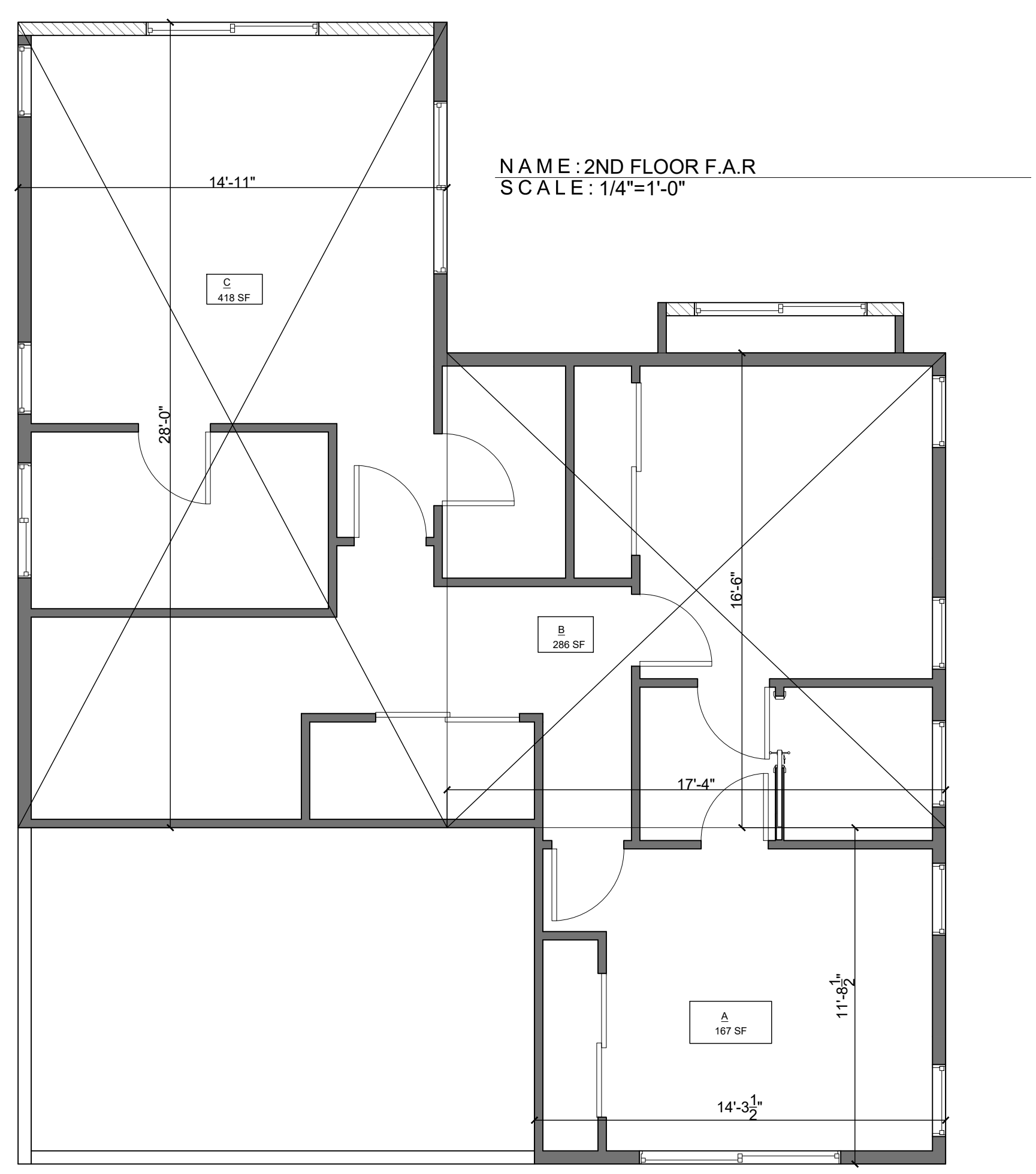
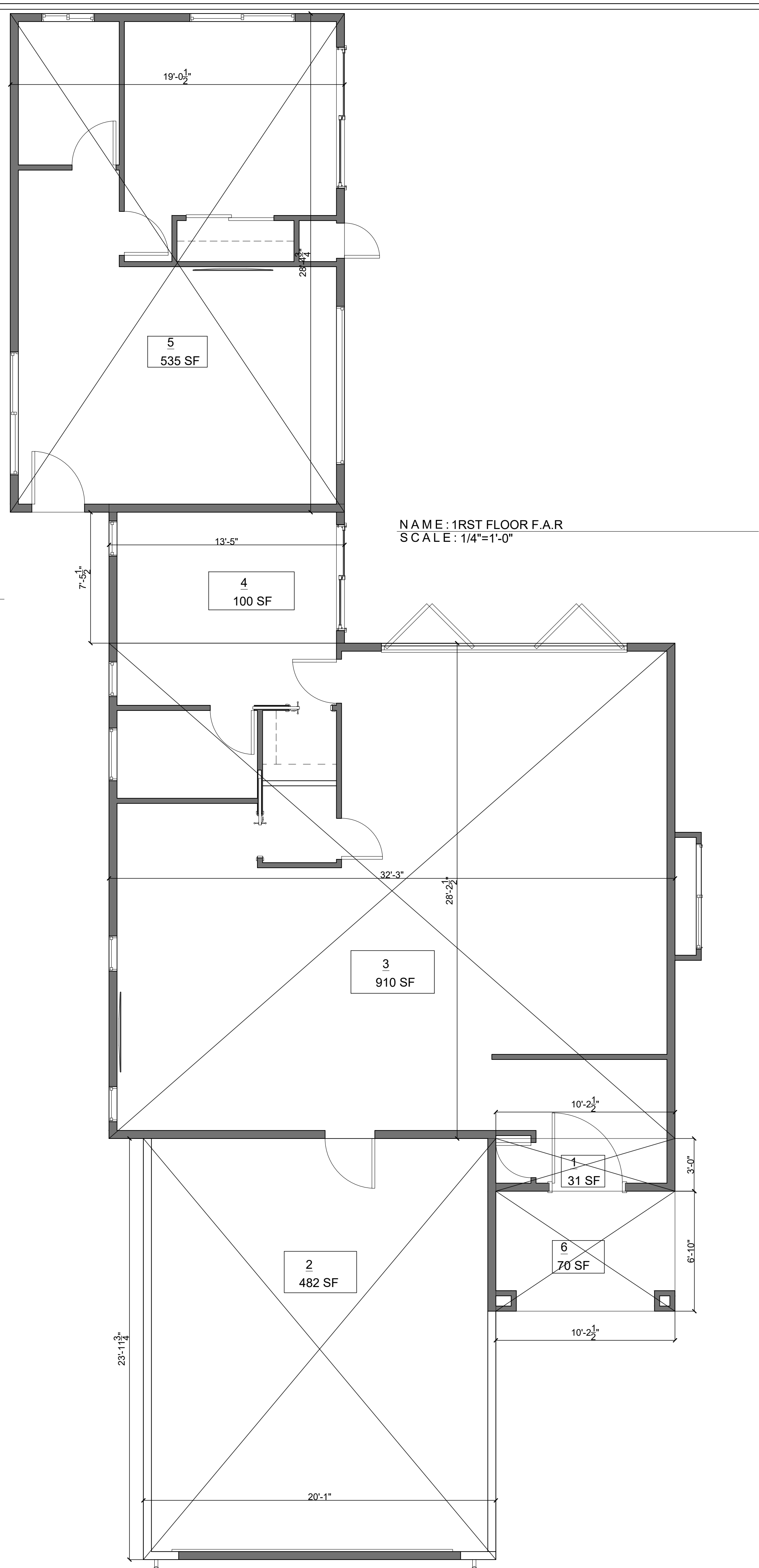
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 LEED GREEN ASSOCIATE

JOB: 12022020
 SIGNATURE:

SCALE: 3/16" = 1'-0"

FLOOR AREA DIAGRAM

A3.1



F.A.R CALCULATION 1RST FLOOR

SECTION	DIMENSION	AREA(sq.ft)	NOTE
1	10'-2 1/2" x 3'-0"	31 Sq.Ft	
2	20'-1" x 23'-11 3/4"	482 Sq.Ft	Garage
3	32'-3" x 28'-2 1/2"	910 Sq.Ft	
4	13'-5" x 7'-5 1/2"	100 Sq.Ft	
5	19'-0 1/2" x 28'-4 3/4"	535 Sq.Ft	ADU
6	10'-2 1/2" x 6'-10"	70 Sq.Ft	ENTRY PATIO

1RST FLOOR LIVING: 1,041 SQ.FT
 GARAGE: 482 SQ.FT
 ENTRY PATIO: 70 SQ.FT
 ADU: 535 SQ.FT

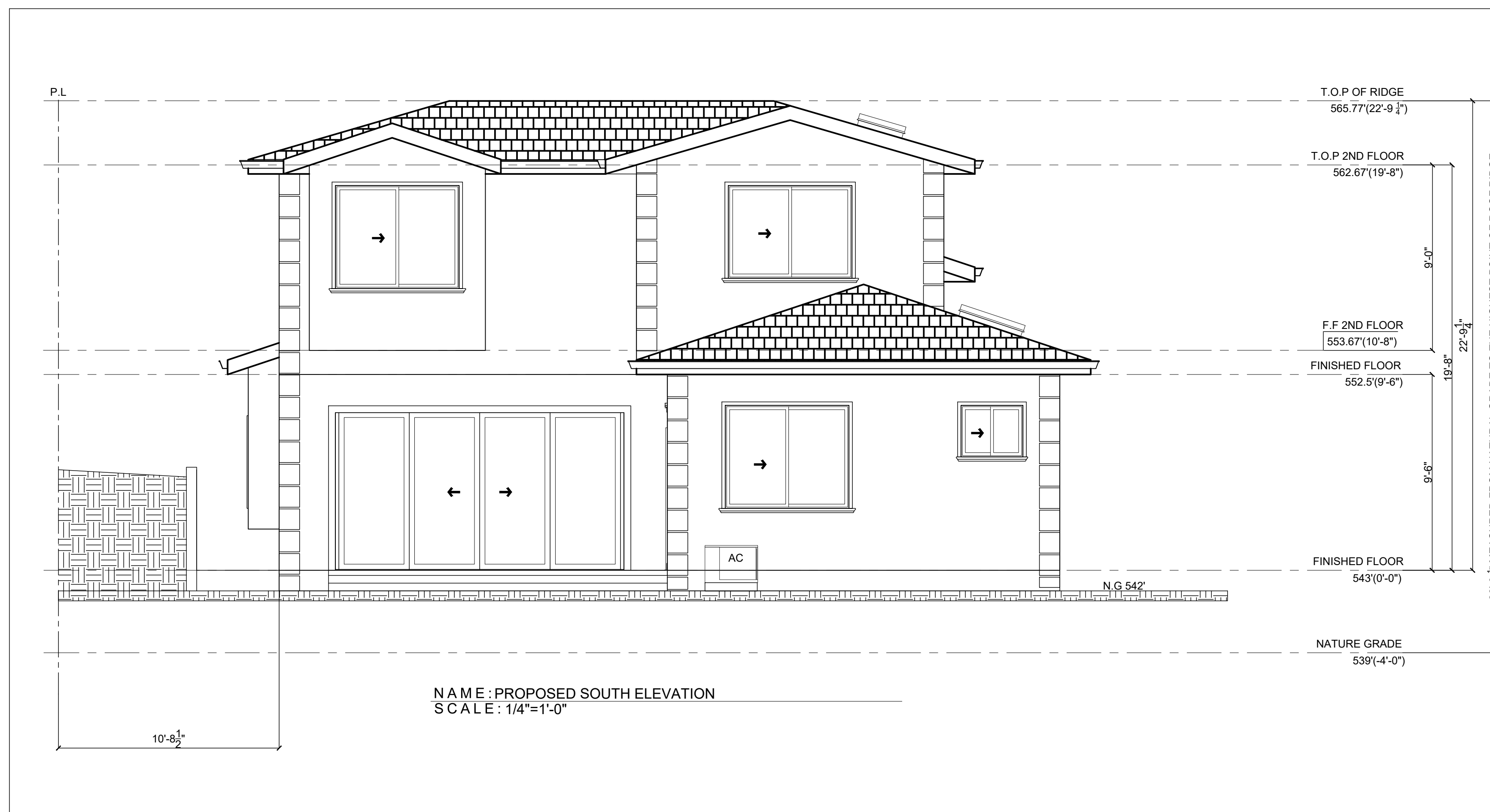
F.A.R CALCULATION 2ND FLOOR

SECTION	DIMENSION	AREA(sq.ft)	NOTE
A	14'-3 1/2" x 11'-8 1/2"	167 Sq.Ft	
B	17'-4" x 16'-6"	286 Sq.Ft	
C	14'-11" x 28'-0"	418 Sq.Ft	

TOTAL 2ND FL LIVING: 871 SQ.FT

TOTAL F.A.R: 2,394 SQ.FT
 F.A.R ALLOWED: 2,400 SQ.FT

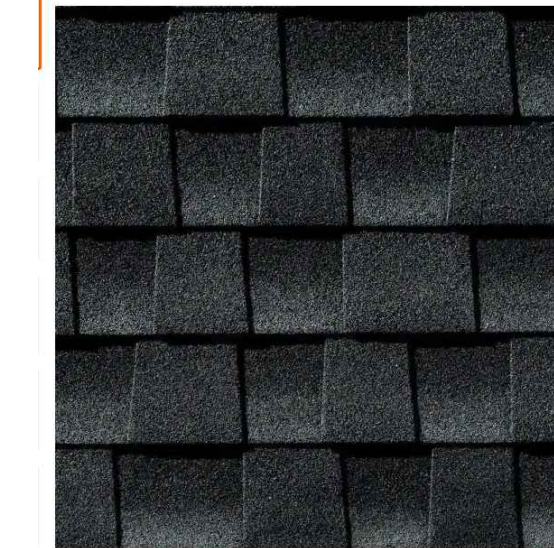
TOTAL COVERAGE: 1,593 SQ.FT
 COVERAGE ALLOWED 25% LOT : 0.25*7,558 SQ.FT=1,889.5SQ.FT



EXTERIOR SLIDING DOOR



4" CUSTOM MOLDING



ROOF SHINGLE "CHARCOAL" GAF



EXTERIOR STUCCO SILVER GREY



WINDOWS " BRONZE"



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SHANGFANG LLC

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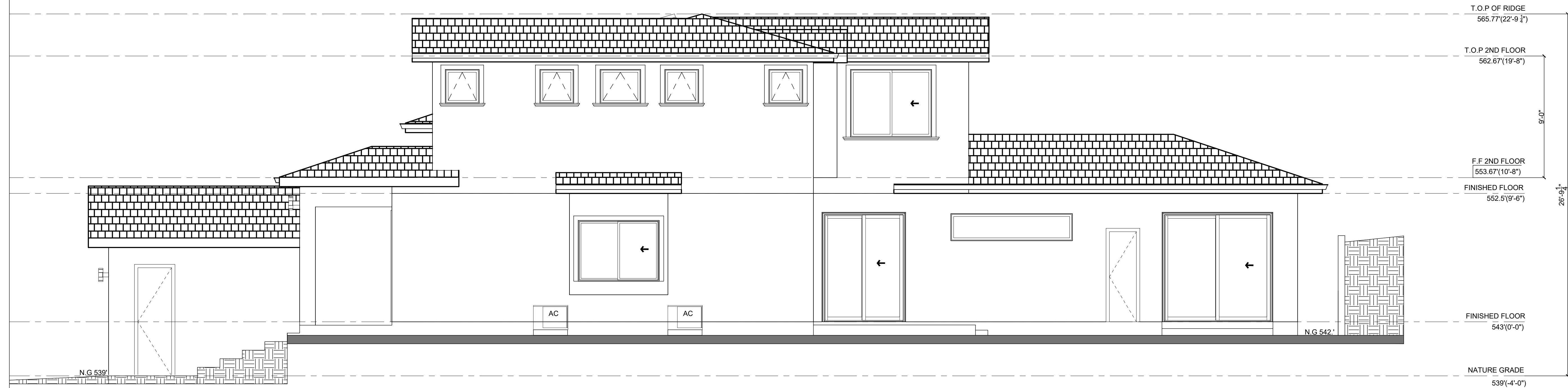
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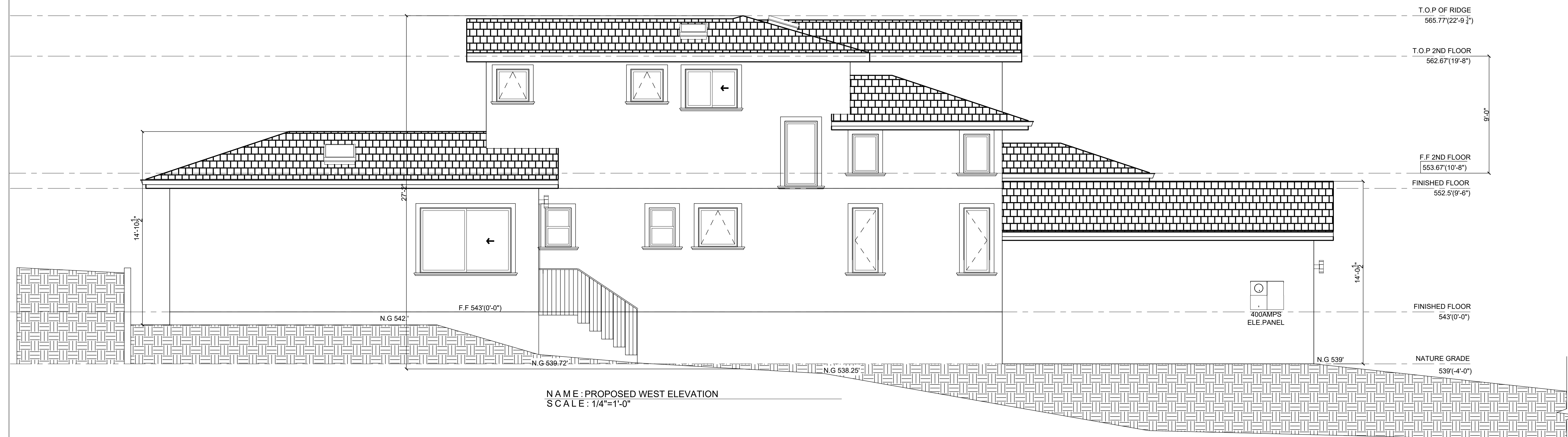
SCALE: 1/4" = 1'-0"

PROPOSED NORTH
SOUTH ELEVATION

A4



NAME: PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"



NAME: PROPOSED WEST ELEVATION
SCALE: 1/4"=1'-0"



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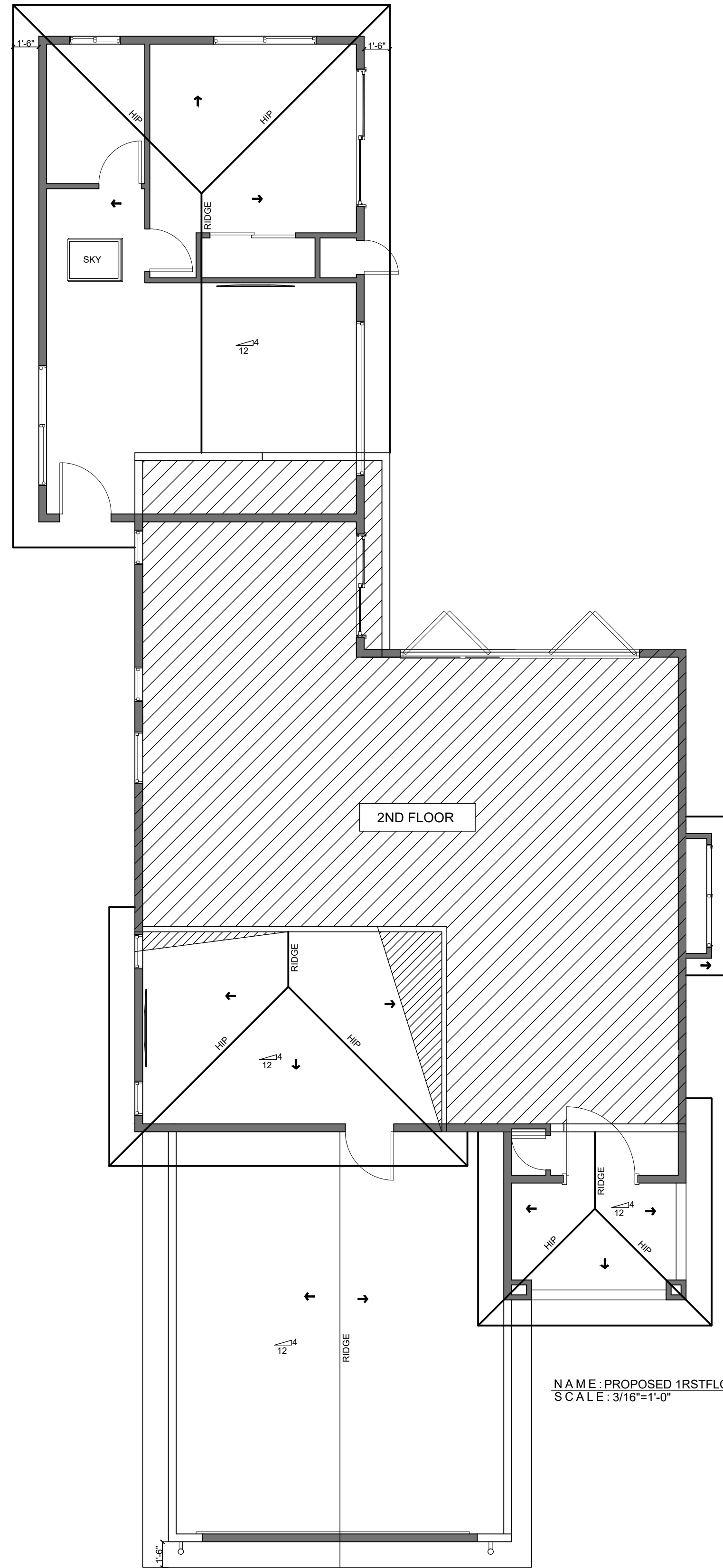
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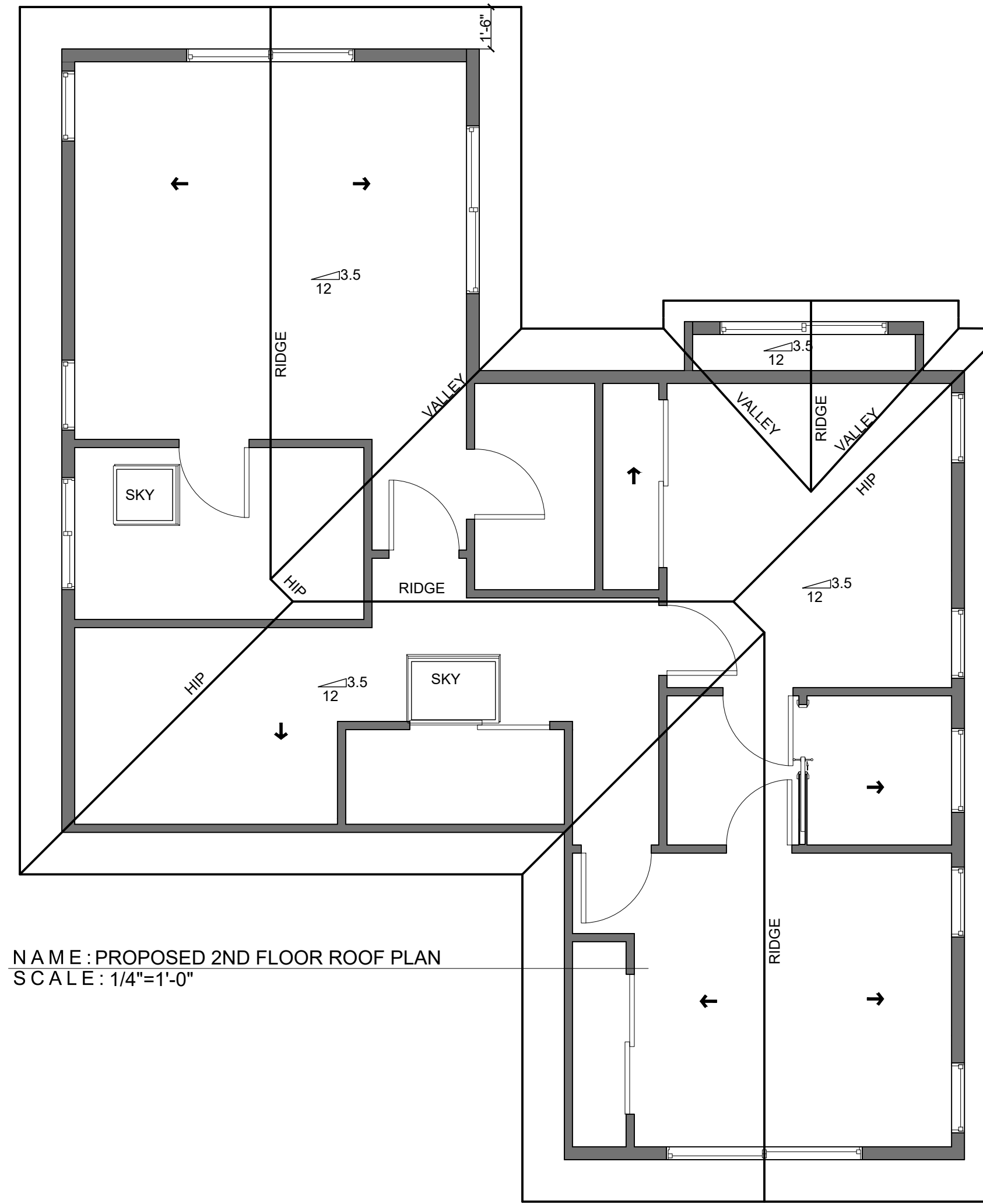
SCALE: 1/4" = 1'-0"

PROPOSED WEST
EAST ELEVATIONS

A6



N A M E : PROPOSED 1ST FLOOR ROOF PLAN
 S C A L E : 3/16"=1'-0"



N A M E : PROPOSED 2ND FLOOR ROOF PLAN
 S C A L E : 1/4"=1'-0"



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JOB: 12022020
 SIGNATURE:

SCALE: AS SHOWN

PROPOSED ROOF
 PLAN

A6



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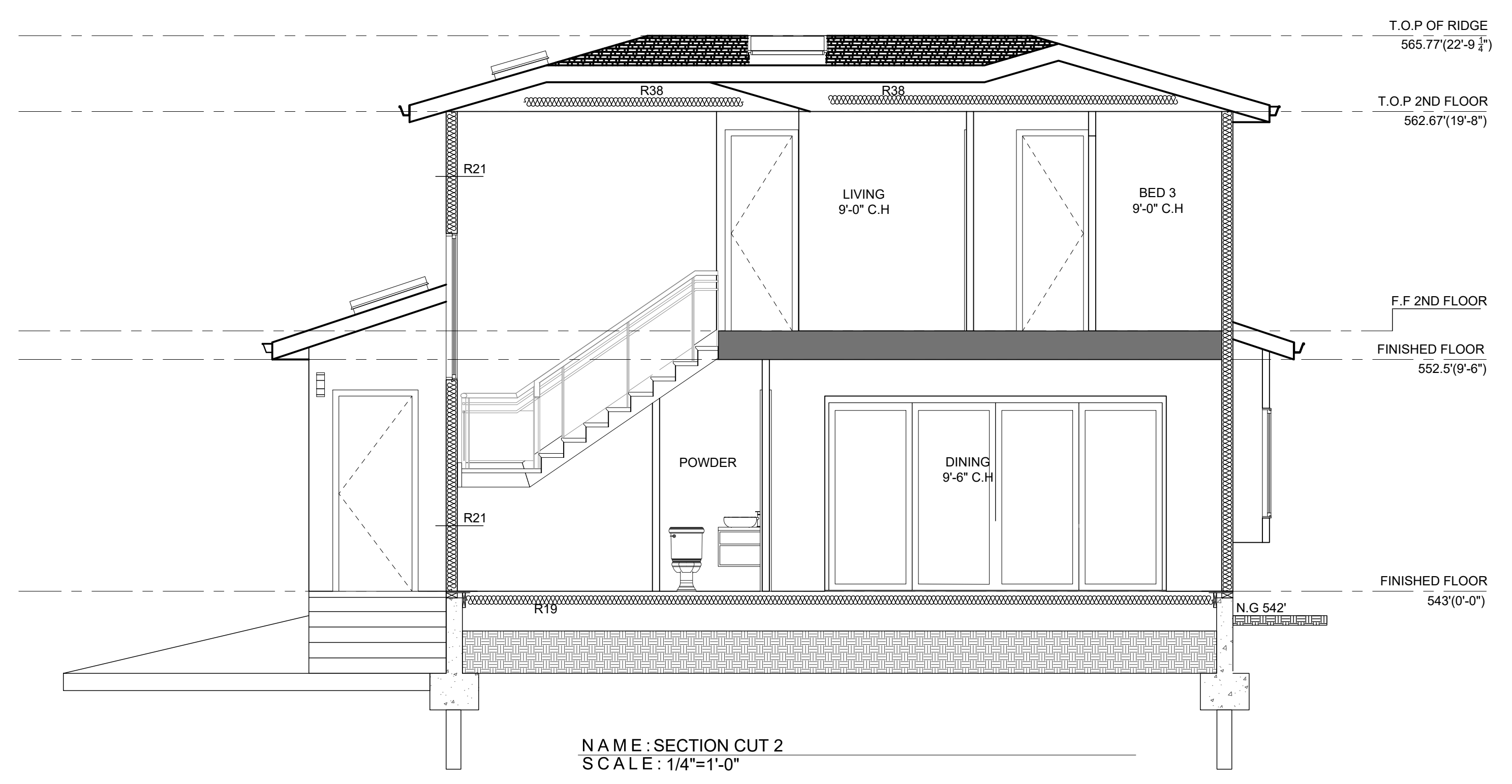
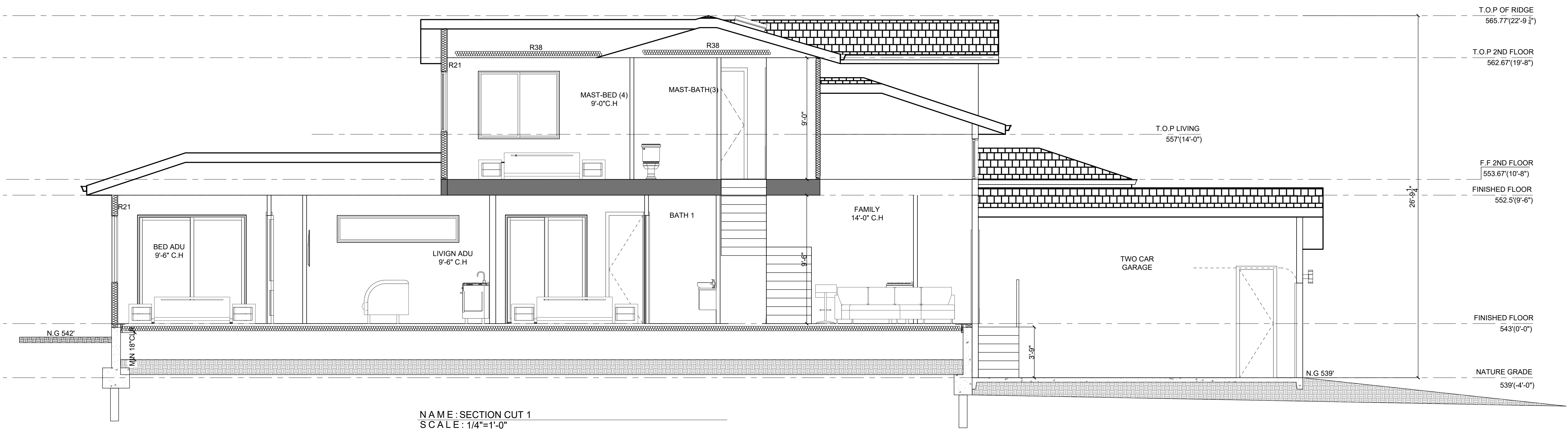
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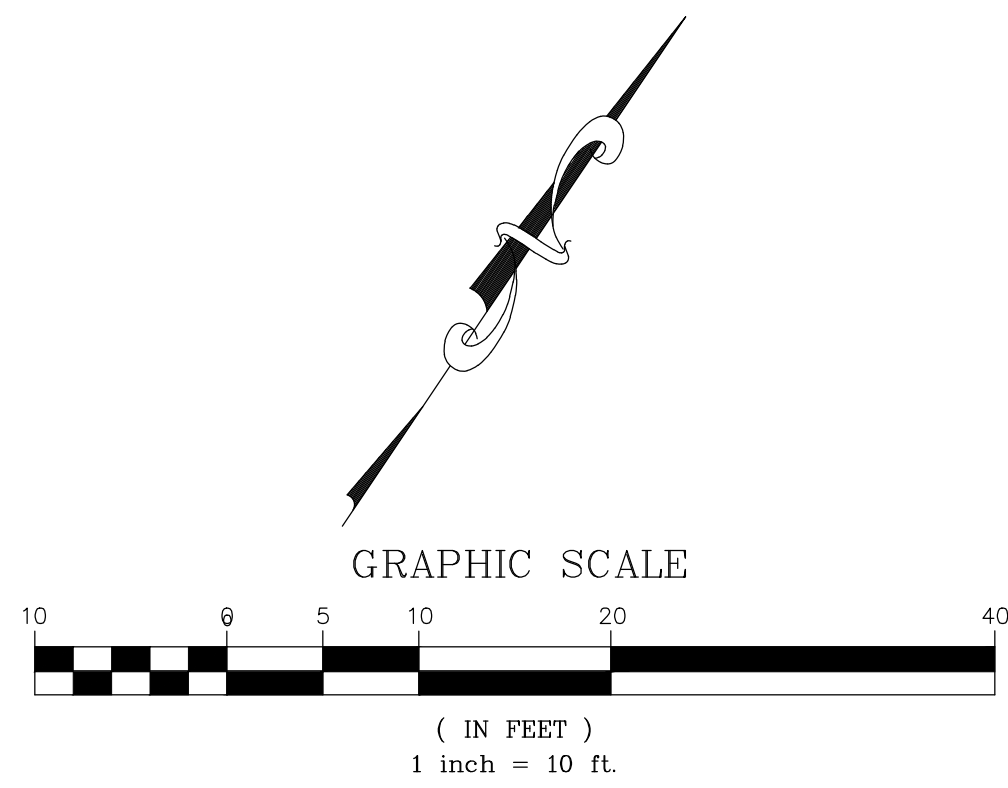
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 SIGNATURE:

SCALE: 1/4" = 1'-0"

SECTION PLANS

A7





LOT AVERAGE SLOPE CALCULATION

$$S = 100 \times \frac{1 \times 1307}{7558} = 17.3\%$$

ABBREVIATIONS AND LEGEND

B.S.L.	BUILDING SETBACK LINE	(SM)	SANITARY SEWER MANHOLE
CT	CYPRESS TREE	(WM)	STORM DRAIN MANHOLE
EM	ELECTRIC METER	(FH)	FIRE HYDRANT
EP	EDGE OF PAVEMENT	(SS)	SANITARY SEWER LINE
FL	FLOW LINE	(W)	WATER LINE
GM	GAS METER	(OH)	OVERHEAD ELECTRICAL LINE
HCR	HANDICAP RAMP	(G)	GAS LINE
IEE	INGRESS & EGRESS EASEMENT		
PUE	PUBLIC UTILITY EASEMENT		
PAC	PACIFIC BELL		
R.O.W.	RIGHT OF WAY		
SSCO	SANITARY SEWER CLEAN OUT		
SP	SIGN POLE		
TC	TOP OF CURB		
TPME	TREE PLANTING & MAINTENANCE EASEMENT		
UNK	UNKNOWN UTILITY		
WM	WATER METER		
WV	WATER VALVE		
---	SUBJECT PROPERTY LINE		
---	ADJOINING PROPERTY LINE		
-X-X-	FENCE LINE		
////	EXISTING BUILDING FOOTPRINT		

REFERENCE INFORMATION

(1) 14 MAPS 49

NOTE:

- (1) ALL DISTANCES AND DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.
- (2) VERTICAL DATUM: NAVD 88. ELEVATION WAS ESTABLISHED WITH GNSS OBSERVATION.

UTILITY NOTE

THE SURFACE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM RECORDS OF THE VARIOUS AGENCIES. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THEIR INDICATED LOCATION, SIZE, OR TYPE. RECORD UTILITY INFORMATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

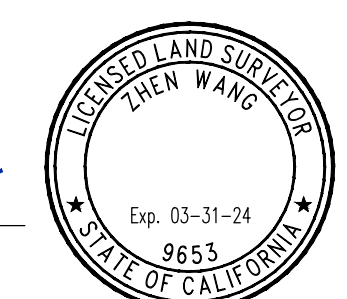


TOPOGRAPHIC SURVEY

LOT 48, BLOCK 300, "HIGHLANDS OF EMERALD LAKE SUBDIVISION THREE", 14 MAPS 49, SAN MATEO COUNTY RECORDS. APN 057-264-160 (LAKEMEAD WAY)

SAN MATEO COUNTY CALIFORNIA
SCALE: 1"=10' DECEMBER, 2022

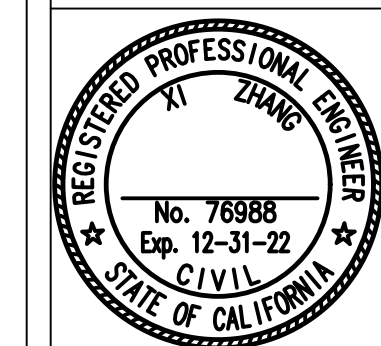
Zhen Wang
ZHEN WANG



12/12/2022
DATE

ZHEN'S LAND SURVEYING CORP.
1121 S GRANT ST., SAN MATEO, CA 94402
TEL: (415)802-9945

ZEM ENGINEERS INC.
39116 FREMONT HUB #1045
FREMONT, CA 94538
ZEMENGINEERS.COM



PRELIMINARY GRADING
AND DRAINAGE PLAN
0 LAKEMEAD WAY,
EMERALD HILLS, CA 94062

This drawing is an instrument of service only and is not to be used for any other purpose. No reproduction or other use shall be made by any person or firm without the express written permission of the Engineer. The Engineer's seal and signature hereon and no professional responsibility will remain.

Date 4/01/2023

Scale AS SHOWN

Drawn JH

Job C23.00.46

Sheet

C - 01

GENERAL NOTES

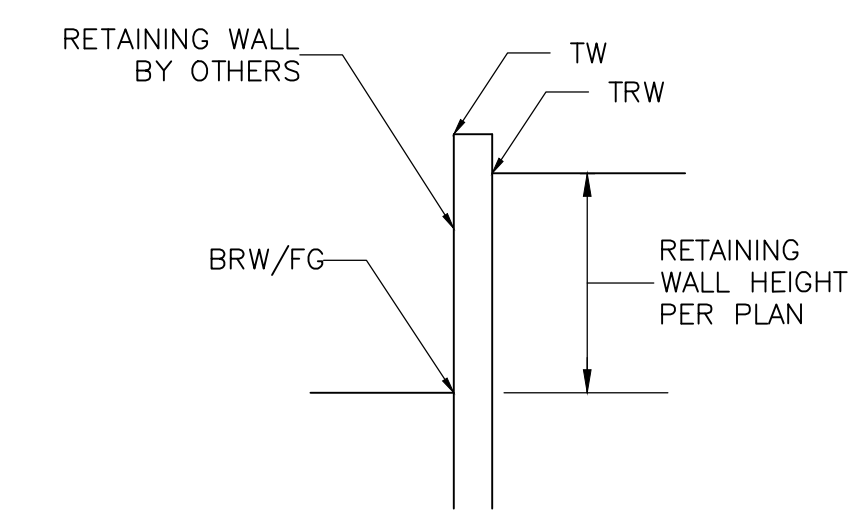
- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER IF EXISTING CONDITION IS DIFFERENT.
- MAXIMUM GRADED SLOPE IS 2:1 (2 HORIZONTAL TO 1 VERTICAL).
- LOT GRADING NEAR PROPERTY LINES SHALL NOT SLOPE TOWARD PROPERTY LINES IN A MANNER WHICH WOULD CAUSE STORM WATER TO FLOW ONTO NEIGHBORING PROPERTY. HISTORIC DRAINAGE PATTERNS SHALL NOT BE ALTERED IN A MANNER TO CAUSE DRAINAGE PROBLEMS TO NEIGHBORING PROPERTY.
- SEE ARCHITECTURE PLANS FOR SITE SETBACK DEMOLITION, PROPOSED SITE LAYOUT, AND PROPOSED STRUCTURE DIMENSIONS. SEE SOIL REPORT FOR RECOMMENDATIONS OF THE PROPOSED CONCRETE PAVEMENT SECTIONS AT THE FRONT OF THE NEW ADDITION AND DRIVEWAY TO THE PROPOSED GARAGE.
- REFER TO GEOGRAPHICAL REPORT BY OTHERS FOR SITE PREPARATION AND GRADING REQUIREMENTS.
- A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY PROPOSED CONSTRUCTION WORK WITHIN THE CITY RIGHT-OF-WAY (STREET, SIDEWALK, DRIVEWAY, ETC.) AND PUBLIC EASEMENT. THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT PRIOR TO STARTING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. ALL CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO CURRENT CITY STANDARDS AND SPECIFICATIONS.
- TRAFFIC CONTROL PLANS ARE SUBJECT TO REVIEW AND APPROVAL. SUBMIT TRAFFIC CONTROL PLANS FOR REVIEW AND APPROVAL A MINIMUM OF 10 WORKING DAYS PRIOR TO THE DATE THAT TRAFFIC CONTROL WILL BE IMPLEMENTED.
- TOPOGRAPHIC AND BOUNDARY SURVEY SHOWN ON THE CIVIL PLANS WERE PREPARED BY THE OTHERS.

LEGEND

- DRAINAGE PATTERN
- NEW 4" SDR-35 PVC. WITH A PIPE SLOPE OF 0.5% MIN., UNLESS OTHERWISE NOTED.
- 2' WIDE NEW CONCRETE DITCH
- NEW CATCH BASIN (12"x12")
- NEW BUBBLER PER CITY SDT

ABBREVIATION

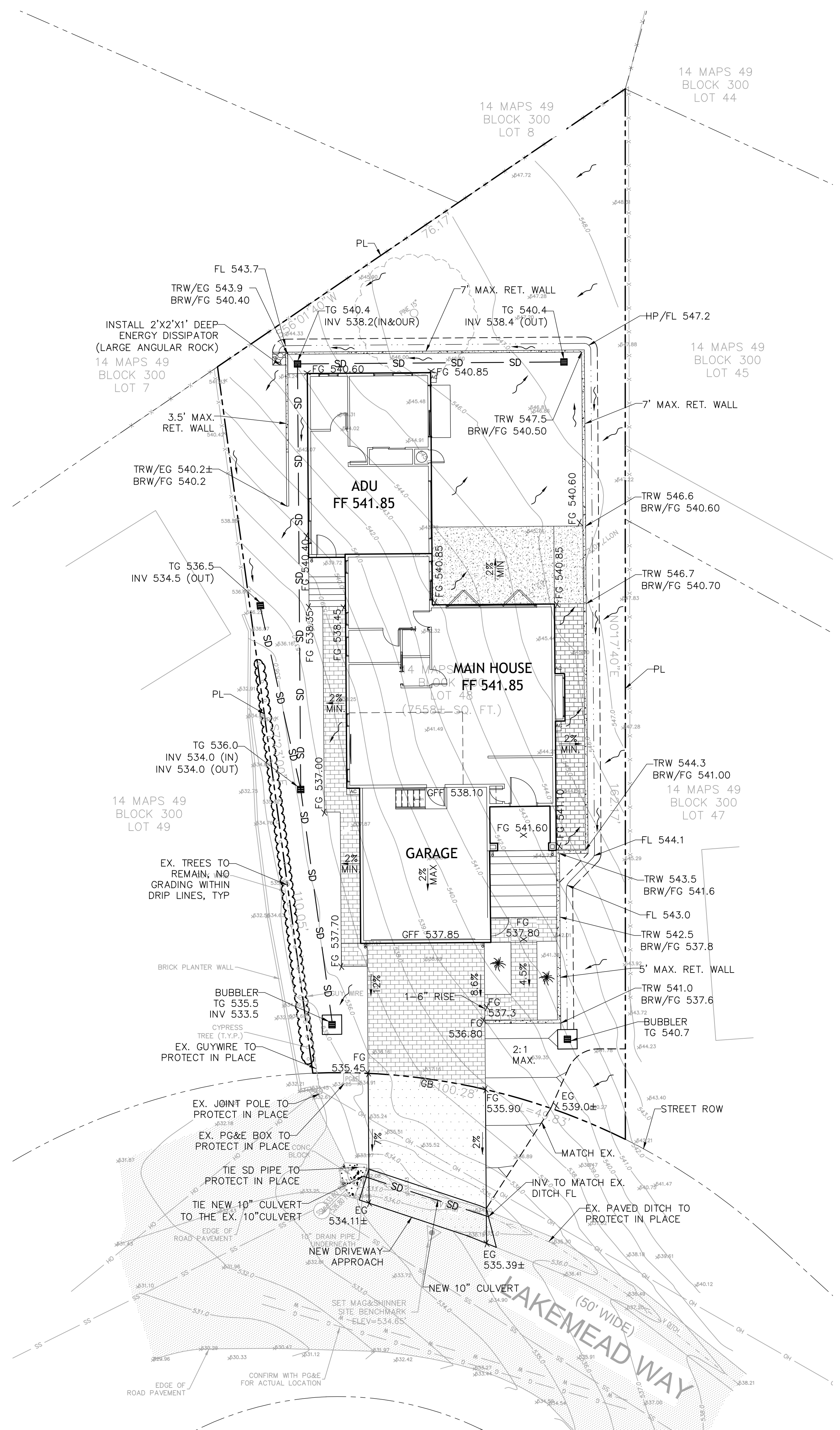
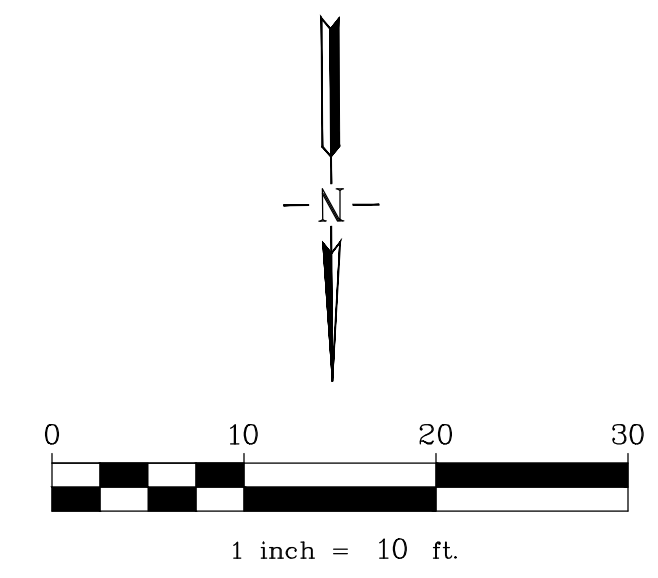
- EX. EXISTING
- EG EXISTING GROUND
- FF FINISHED FLOOR
- FG FINISHED GROUND
- FL FLOW LINE
- GB GRADE BREAK
- GFF GARAGE FINISHED FLOOR
- HP HIGH POINT
- MAX. MAXIMUM
- MIN. MINIMUM
- PL PROPERTY LINE
- PE PLANTING EASEMENT
- PUE PUBLIC UTILITY EASEMENT
- S SLOPE
- SDT STANDARD DETAIL
- TP TOP OF PAVEMENT
- TC TOP OF CURB
- HP HIGH POINT
- LP LOW POINT



TYPICAL WALL ANNOTATION
NOT TO SCALE

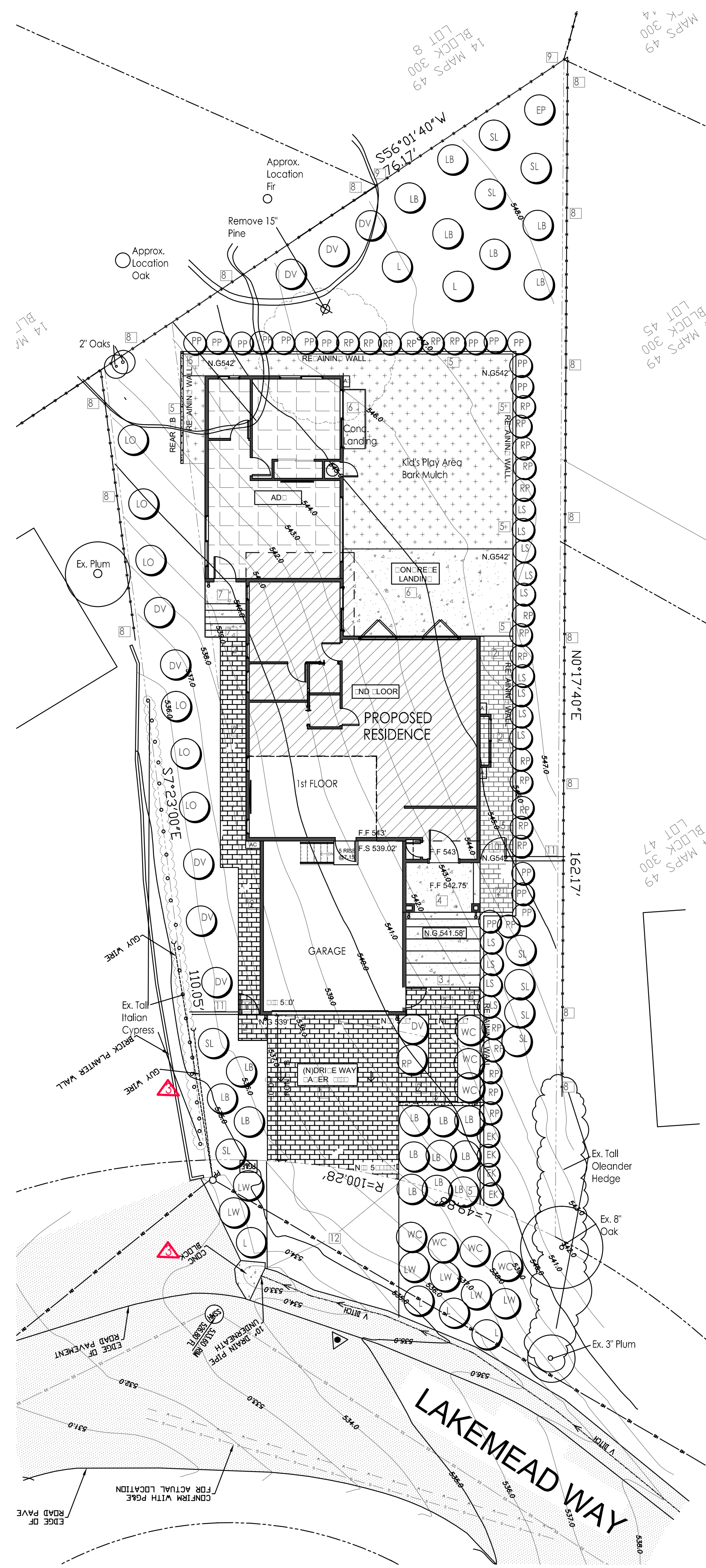
NOT FOR CONSTRUCTION

2 WORKING DAYS BEFORE YOU DIG
CALL "800-222-2600"
UNDERGROUND SERVICE ALERT
Call
1 (800) 227-2600
Avoid cutting underground utility lines. It's costly.



Landscape Notes

- MULCH GROUND COVER** - At the end of construction "a minimum 3 inch layer of mulch shall be applied on all exposed soil surfaces except turf areas, creeping or rooting groundcovers (none on this plan), or direct seeding applications where mulch is contraindicated (none on this plan). Provide owner with different mulch samples and prices including dark brown mahogany colored Wonder Mulch from Vision Recycling in Fremont
- All new trees of different water use have to be on separate irrigation circuits respecting their water use. ie all low water use trees have to be on separate valves and hydrozones from medium or high water use trees - no new trees are proposed for this project
- The planting of medium and high water use plants and lawn is limited by Water Efficient Landscape Rules of San Mateo County.
- There are **NO** live turf areas. Turf shall not exceed 25% of the landscape area in residential projects. Turf is not permitted on slopes greater than 25%. Turf is prohibited in parkways less than 10 feet wide.
- Recirculating water systems shall be used for water features (none on this project)
- See separate Hydrozone Plan for Hydrozone Summary
- Amend planting soil with at least 4 cu. yd. nitrated RWD sawdust and 16 lbs. of 12-12-12 fertilizer per 1000 sq.ft. of planting area unless contra-indicated by a soil fertility test). Do not rototill under existing trees or on steep slopes where it would destabilize the slope.



Plant Legend

KEY	QTY	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS WATER USE RATING
MEDIUM SHRUBS					
LB	-	1	Lomandra Breeze		LOW
LO	-	1	Loropetalum razzleberry		LOW
WC	-	1	Westringia Morning Light or compacta	Coast Rosemary	LOW
GROUND COVERS					
SL	-	1	Salvia leucantha Santa Barbara	Mexican Sage	LOW
LW	-	1	Lantana montevidensis White	Low White Lantana	LOW
EP	-	1	Euryops pectinarius	Euryops Daisy	LOW
DV	-	1	Dietes iridioides	Fortnight Lily	LOW
L	-	1	Limonium perezii	Sea Statice	LOW
RP	-	1	Rosmarinus Huntington Carpet	Low Rosemary	LOW
EK	-	1	Erigeron karvinskianus	Santa Barbara Daisy	LOW
PP	-	1	Pelargonium peltatum white	Ivy Geraniums	LOW
LS	-	1	Lampranthus spectabilis - color selected by owner	Small leaf iceplant	LOW

Plant count is for planning purposes only. Contractor to do own plant count and install all plants on plan. Ask owner if he wants to upsize any of plants when installed

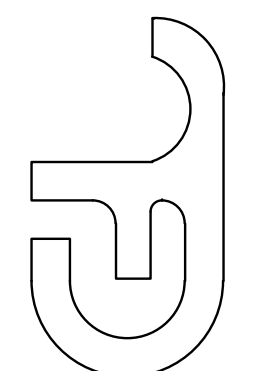
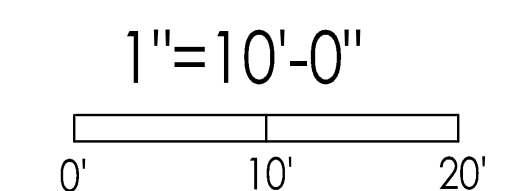
Landscape Site Legend

- Driveway - Interlocking concrete pavers - manuf., series, pattern, and color selected by owner
- Walkways - Interlocking concrete pavers - manuf., series, pattern, and color selected by owner
- Steps - non-slip tile over conc. or plain conc. or pavers
- Entry landing - non-slip tile over conc. or plain conc. or pavers
- Retaining Walls - see civil plans for height, material, and construction details
- Rear Patio - Poured in place concrete or non-slip tile on concrete
- Steps and Landing - non-slip tile over conc. or plain conc. or pavers
- Ex. solid wood fence to remain - 6 foot high plus 1 foot lattice
- Ex. solid wood fence to remain - 6 foot high
- 3' wide x 6' tall solid wood gate
- Solid wood 6' tall fence - good neighbor style to match side prop. line fences
- Paving in ROW requires special permit - see civil plans

"I have complied with the criteria of the MWELo ordinance and applied them for the efficient use of water in the landscape design plans" 4/12/23

Greg Lewis

WELO Prescriptive Approach Used - 2332 sf total irrigated planting area

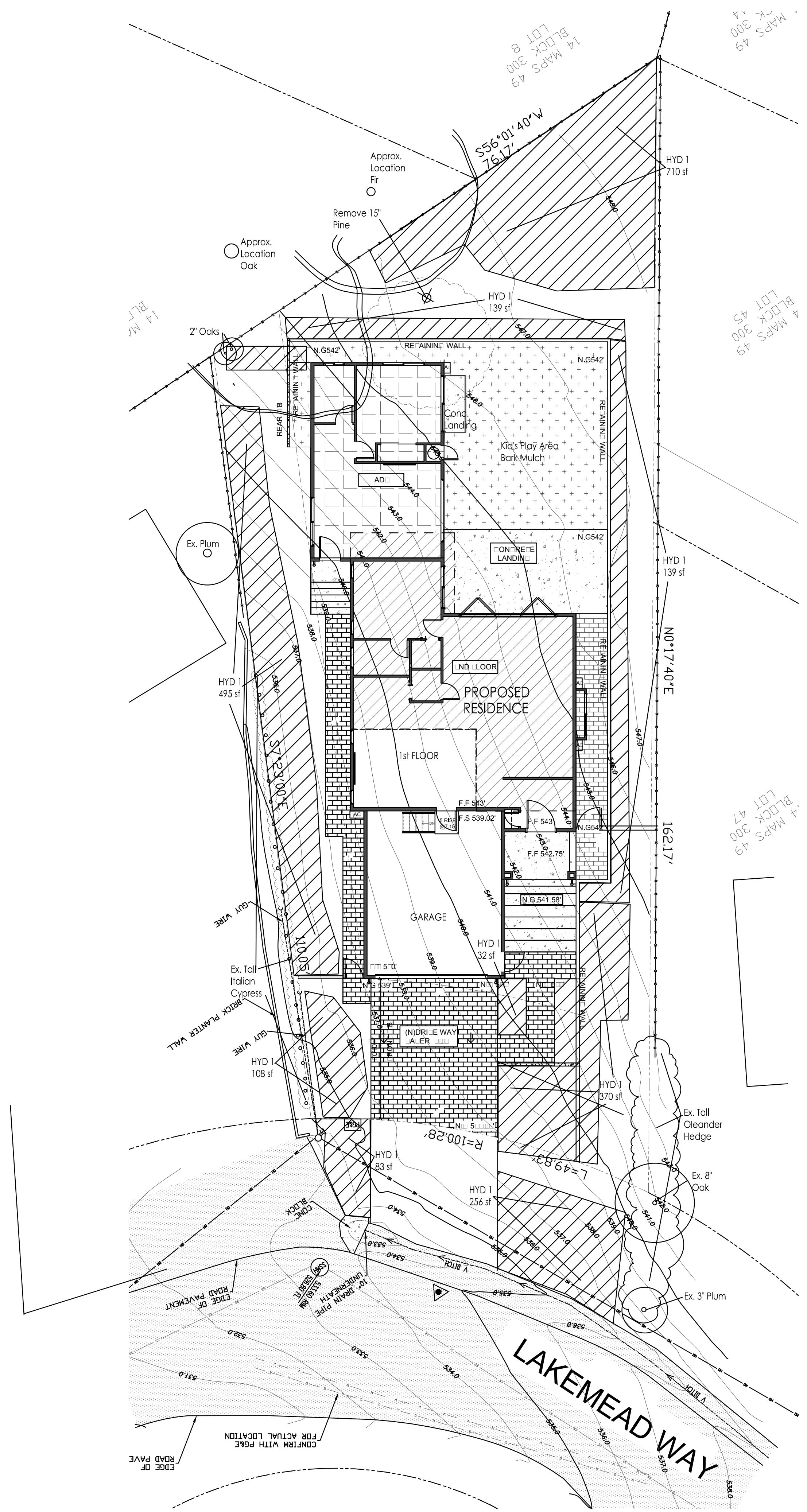


2 Story Residence
0 Lakemead Way, RWD City, San Mateo County, CA

Landscape Site/Planting Plan

Date: 4/12/23
Scale: As Noted
Drawn: Greg

Job Sheet: **11**

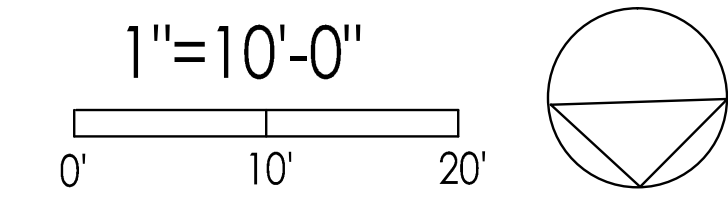


Hydrozone Summary

HYDROZONE	VALVES	IRRIG. METHOD	AREA sq.ft.	% of LANDSCAPE AREA
1 Low water shrubs		Drip	2332	100%
TOTAL			2332	100%

Summary by Hydrozone	Area (Sq.ft.)	% of Landscape Area
High Water Use	0	0%
Moderate Water use	0	0%
Low Water Use	2332	100%
TOTAL	2332	100%

WELO Prescriptive Approach Used - 2332 sf total irrigated plants





LB Lolandra Breeze



LO Loropetalum Razzleberry



WC Westringia Morning Light
Compact Westringia



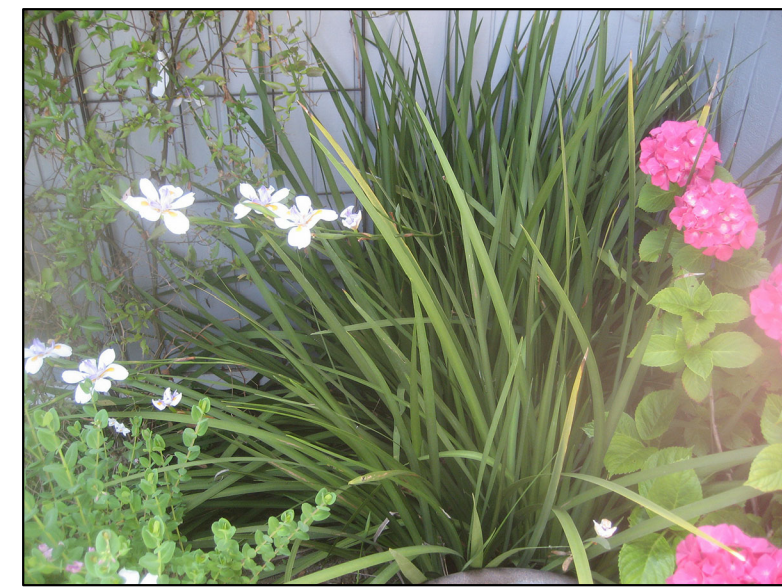
SL Salvia leucantha
Mexican Sage



LW Lantana montevidensis white
Low White Lantana



EP Euryops pectinatis
Euryops Daisy



DV Dietes irridioides
Fortnight Lily



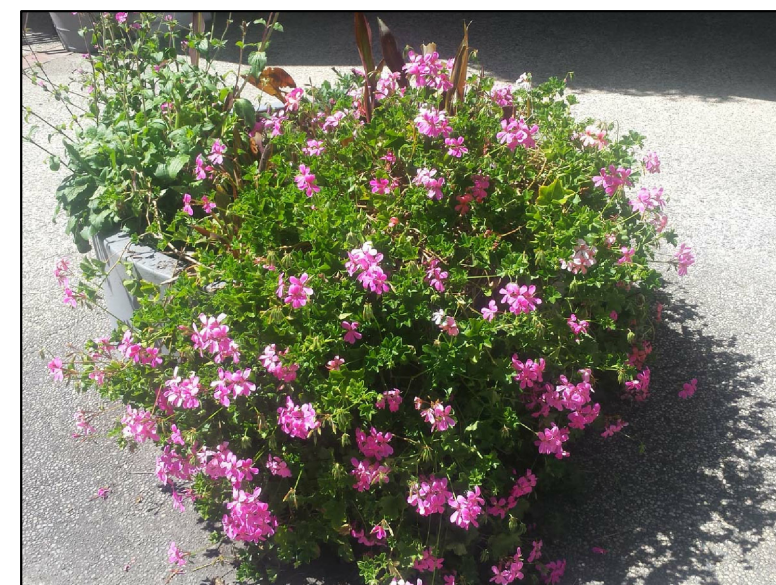
L Limonium perezii
Sea Statice



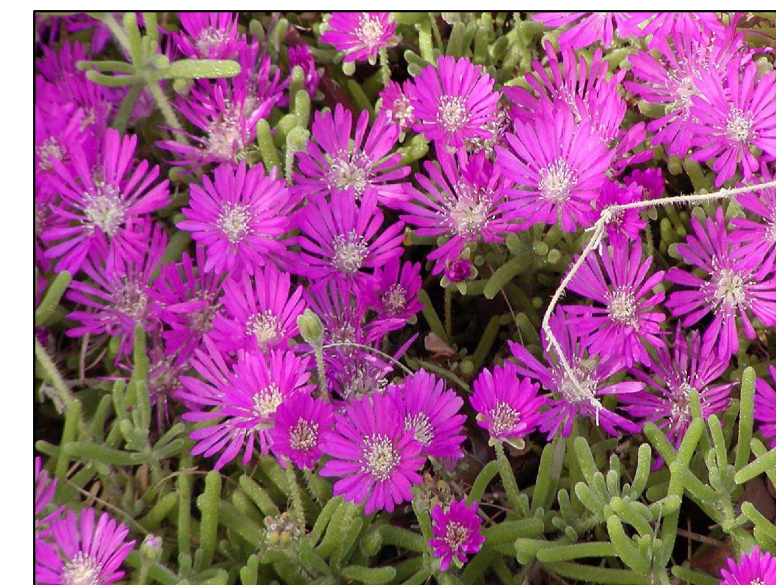
RP Rosmarinus Huntington Carpet
Low Rosemary (spill over walls)



EK Erigeron karvinskianus
Santa Barbara Daisy
(spill over walls)



PP Pelargonium peltatum
Ivy Geranium



LS Lampranthus spectabilis
Small Leaf Ice Plant

