

**SITE PLAN NOTES:**  
 PROPERTY LINE INFORMATION ON THE SITE PLAN ON THIS SET OF DOCUMENTS WAS TAKEN FROM A SURVEY PROVIDED BY B4H SURVEYING, INC., DATED MAY 2018.

<b>ARCHITECT</b> THE KASTROP GROUP, INC. 160 BIRCH STREET, SUITE B REDWOOD CITY, CA 94062 TEL: 650/298-0303 CONTACT: D. MICHAEL KASTROP, AIA LIC. C-18183 EXP. 5/31/23 EMAIL: MIKE@KASTROFGROUP.COM	<b>PROPERTY OWNER</b> FURNER PROPERTIES 2211 CLOVERLY COURT LOS ALTOS, CA 94024 TEL: 408/245-1659 CONTACT: KATHY HAYES EMAIL: GHAYES@EARTHLINK.NET
<b>CIVIL ENGINEER</b> CLIFFORD BECHTEL & ASSOCIATES, INC. 1321 254th PLACE, SE SAMMAMISH, WA 98075 TEL: 650/333-0103 CONTACT: CLIFF BECHTEL EMAIL: CLIFFBECHTEL@COMCAST.NET	

PROJECT TEAM			
ZONING DESIGNATION:	NMU-DR		
ASSESSOR'S PARCEL NUMBER:	060-012-480		
BUILDING TYPE:	VB (NON SPRINKLERED)		
LOT AREA:	3,249#		
PROPOSED OCCUPANCY:	M/R-2		
JURISDICTION:	COUNTY OF SAN MATEO		
CODE:	2019 CBC		
PROPOSED PARKING:	2 COVERED SPACES, 1 UNCOVERED TANDEM		
REQUIRED PARKING:	8 SPACES (2 COVERED)		
	EXISTING	PROPOSED	TOTAL
BUILDING FOOTPRINT:	2,072#	- 117#	1,955#
RETAIL TOTAL FLOOR AREA:	2,072#	- 683#	1,389#
RES TOTAL FLOOR AREA:	415#	+ 541#	956#
RES DECKS FLOOR AREA:	N/A	+ 208#	208#
GARAGE TOTAL FLOOR AREA:	N/A	+ 500#	500#
BUILDING HEIGHT:	20'-4"	+ 4'-1"	24'-3"
EXISTING PARKING:	2 UNCOVERED		
PROPOSED PARKING:	2 COVERED (FOR RES), 1 UNCOVERED (FOR RES GUEST)		

PROJECT INFORMATION	
A1.0	PROJECT TEAM & INFORMATION, EXISTING SITE PLAN
A1.1	PROPOSED SITE PLAN, VEHICLE MANEUVERING DIAGRAM
-	BOUNDARY & TOPOGRAPHIC SURVEY
A2.0	EXISTING FLOOR PLANS
A2.1	PROPOSED FLOOR PLANS
A4.0	(E) & PROPOSED ROOF PLAN
A5.0	(E) & PROPOSED EXT ELEVATIONS, BLDG CROSS SECTIONS
A5.1	RENDERINGS, COLORS, LIGHT FIXTURES
C-1	GRADING, DRAINAGE & UTILITY PLAN
C-2	EROSION & SEDIMENT CONTROL & STAGING PLAN
C-3	CIVIL DETAILS
C-4	CONSTRUCTION BMP CHECKLIST

SHEET INDEX	
THIS IS A RETAIL & RESIDENCE REMODEL DUE TO EXTENSIVE FIRE DAMAGE TO THE BUILDING ON JULY 16, 2015. THE EXISTING BUILDING HAS TWO RETAIL UNITS (3203-3205 MIDDLEFIELD ROAD) AND ONE SECOND STORY LIVING UNIT AT THE REAR (402B 5th AVENUE). THE PROPOSED DESIGN REDUCES THE SIZE OF THE TWO RETAIL UNITS AND ADDS A RESIDENTIAL UNIT (TWO TOTAL). THE NMU ZONE REQUIRES 1 COVERED SPACE AND 0.25 GUEST SPACES PER 1-BEDROOM DWELLING, AS WELL AS 1 SPACE PER RETAIL UNIT. AN OFF-STREET PARKING PERMIT EXCEPTION IS REQUESTED FOR THE RETAIL UNITS (2 PARKING SPACES).	
THE RETAIL UNITS WILL WHEEL THEIR GARBAGE/RECYCLING BINS TO MIDDLEFIELD ROAD ON COLLECTION DAYS, BUT OTHERWISE KEEP THEIR BINS IndoORS. THE LIVING UNITS WILL KEEP THEIR BINS IN THE GARAGES AND WILL WHEEL THEM OUT TO FIFTH AVE. ON COLLECTION DAYS.	
THE EXISTING SITE IS VERY COMPACT. PROPOSED LANDSCAPING IS LIMITED DUE TO REQUIRED DRIVEWAY CLEARANCES, AS SHOWN ON CIVIL DRAWINGS.	

<b>DATE</b>	<b>ISSUE TITLE</b>
11/8/17	EXISTING CONDITIONS
2/16/23	SUBMIT FOR AP
6/28/23	RESUBMIT FOR AP
<b>JOB NO:</b> 22821	<b>DRAWN:</b> MB
<b>CHECKED:</b> DMK	<b>SCALE:</b> AS NOTED

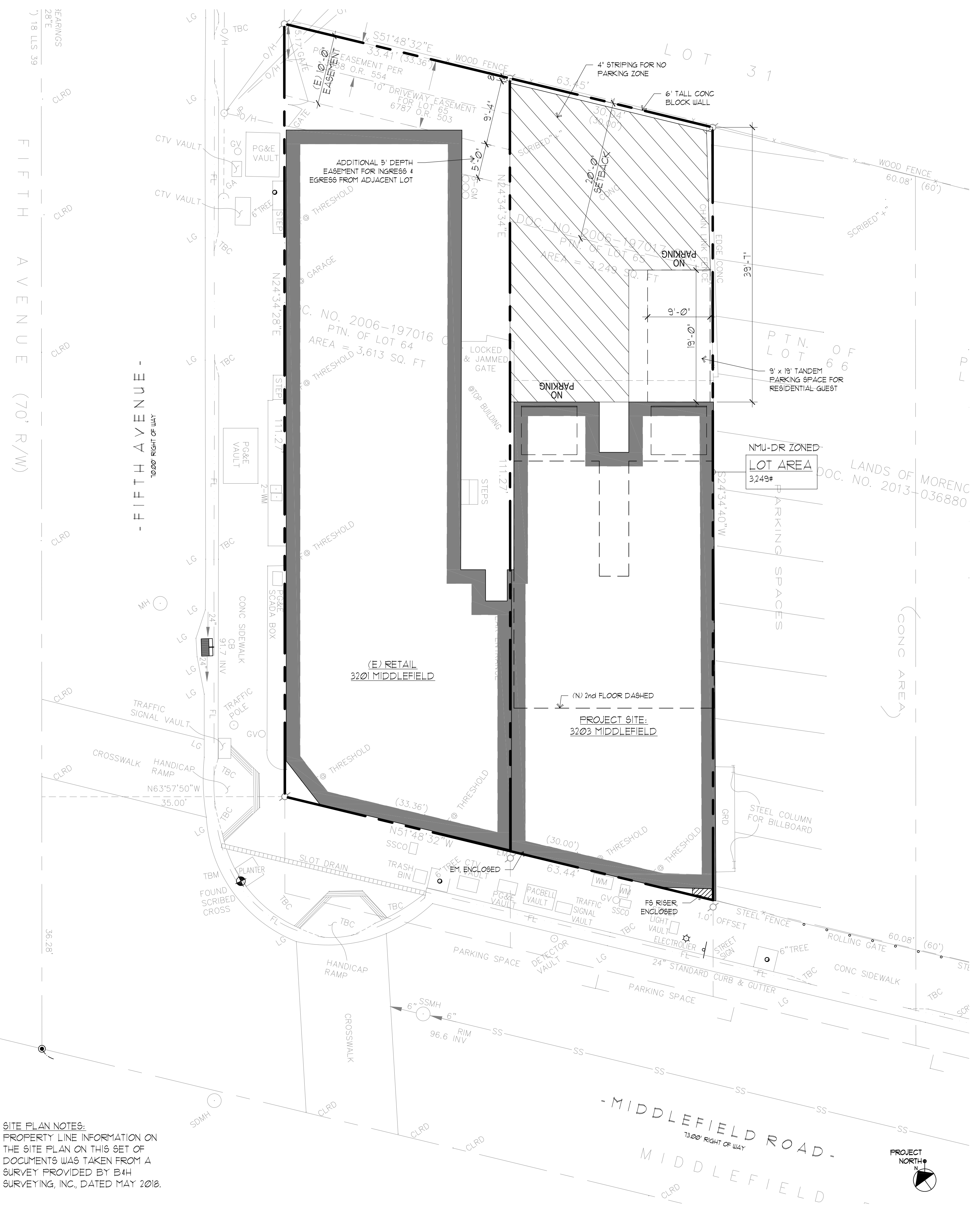
**THE KASTROP GROUP, INC.**  
**ARCHITECTS**  
 2345 SPRING STREET  
 REDWOOD CITY, CA 94063  
 T: 650.299.0303  
 www.kastropgroup.com

RETAIL / RESIDENTIAL FIRE REPAIR, REMODEL & ADDITION  
**3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE.**  
 3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE.  
 MENLO PARK, CA 94025

**PRELIMINARY DESIGN  
 NOT FOR CONSTRUCTION**

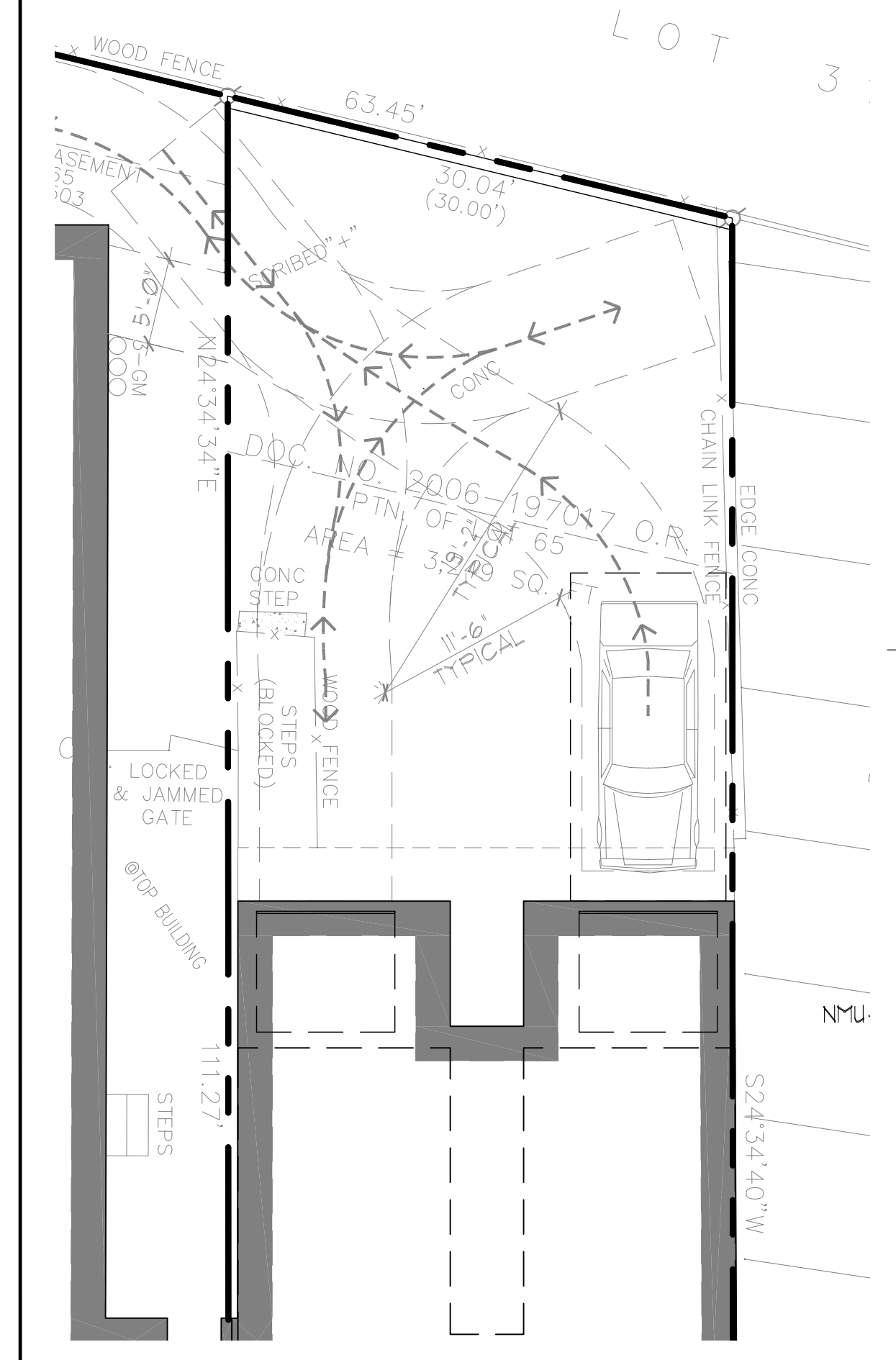
**SHEET TITLE:**  
 EXISTING SITE PLAN

**A1.0**  
 OF



**SITE PLAN NOTES:**  
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PROPOSED SITE PLAN



VEHICLE MANEUVERING 1/8" = 1'-0" C

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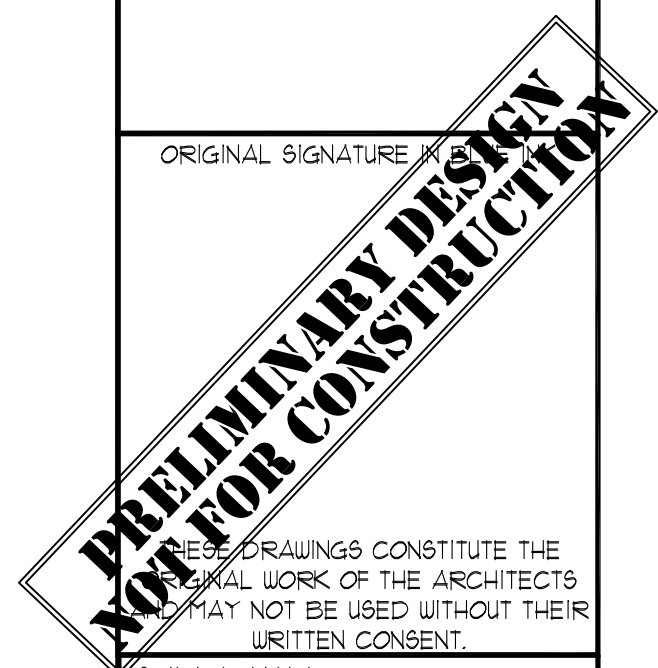
ORIGINAL SIGNATURE: \_\_\_\_\_  
 THESE DRAWINGS CONSTITUTE THE ORIGINAL WORK OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT THEIR WRITTEN CONSENT.

SHEET TITLE:  
 PROPOSED SITE PLAN  
 VEHICLE DIAGRAM

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2/6/23	SUBMIT FOR AP
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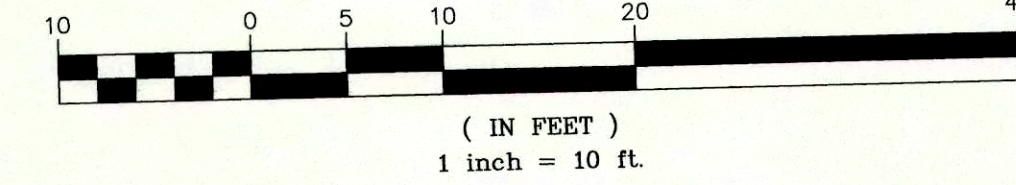
**A1.1**  
 OF  
 BLDG PERMIT APP NO. \_\_\_\_\_





PARK ROAD

GRAPHIC SCALE



**BOUNDARY NOTE:**

MONUMENTS HAVE BEEN SET AT THE PROPERTY CORNERS AND A RECORD OF SURVEY OR CORNER RECORD WILL BE FILED WITH THE COUNTY OF SAN MATEO.

**BASIS OF ELEVATIONS:**

ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.  
TBM: FOUND SCRIBED CROSS AS SHOWN  
ELEVATION = 100.00

**BASIS OF BEARINGS:**

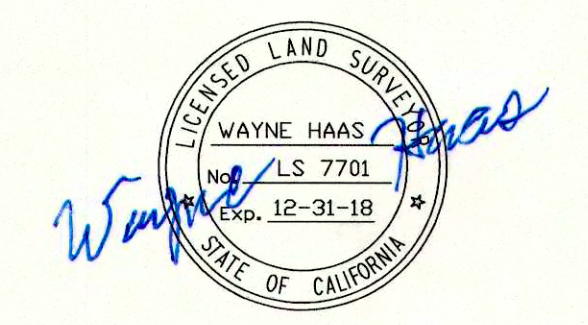
THE BEARING, N24°34'28"E BETWEEN TWO FOUND MONUMENTS AT THE INTERSECTION OF FIFTH AVE. & MIDDLEFIELD ROAD AND AT THE INTERSECTION OF FIFTH AVE. AND PARK ROAD, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP FILED IN VOL. 18 OF L.L.S. MAPS AT PAGE 39, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**LEGEND:**

- FOUND 2.5" BRASS DISK MONUMENT, IN CASING PER 18 LLS 39
- ⊙ SET 3/4" BRASS TAG "LS 7701" & TACK IN LEAD AS NOTED
- A/C ASPHALTIC CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- CP CAST IRON PIPE
- CLRD CENTERLINE ROAD
- CMC CORRUGATED METAL PIPE
- CONC CONCRETE
- CO CLEAN-OUT
- DI DROP INLET
- EM ELECTRIC METER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FI FIRE HYDRANT
- GA GUY ANCHOR
- GM GAS METER
- GRD GROUND
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LAT. LATERAL
- LG LIP OF GUTTER
- OVH OVERHEAD
- P.U.E. PUBLIC UTILITIES EASEMENT
- RCP REINFORCED CONCRETE PIPE
- RET. WALL RETAINING WALL
- R/W RIGHT OF WAY
- SSCO SANITARY SEWER CLEAN-OUT
- SSMH SANITARY SEWER MANHOLE
- SDM STORM DRAIN MANHOLE
- TBC TOP BACK OF CURB
- T/W TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CTV-CABLE TELEVISION LINE
- E-ELECTRICAL LINE
- G-GAS LINE
- SS-SANITARY SEWER LINE
- SD-STORM DRAIN LINE
- T-TELEPHONE LINE
- W-WATER LINE

**UTILITY NOTE:**

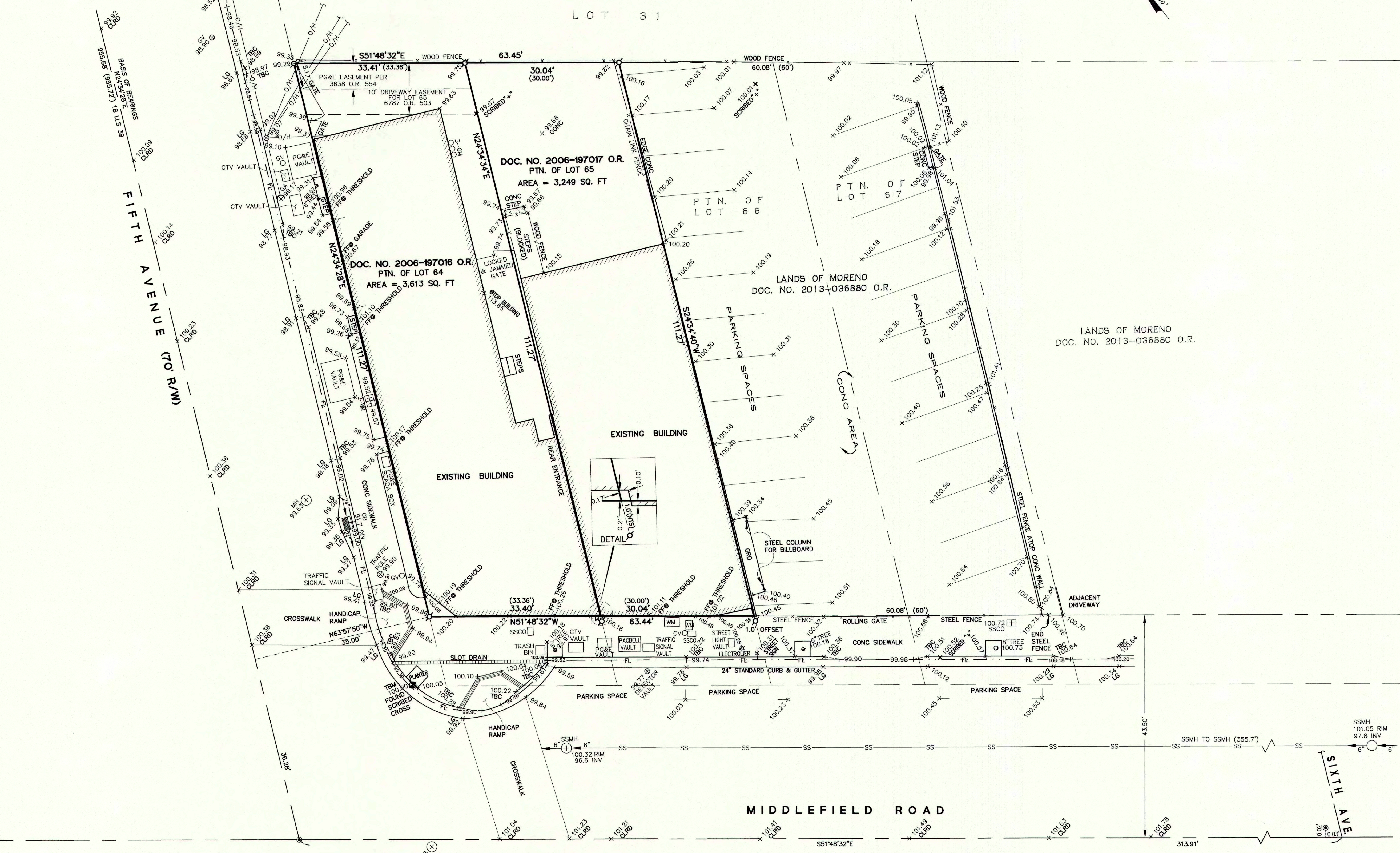
THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.



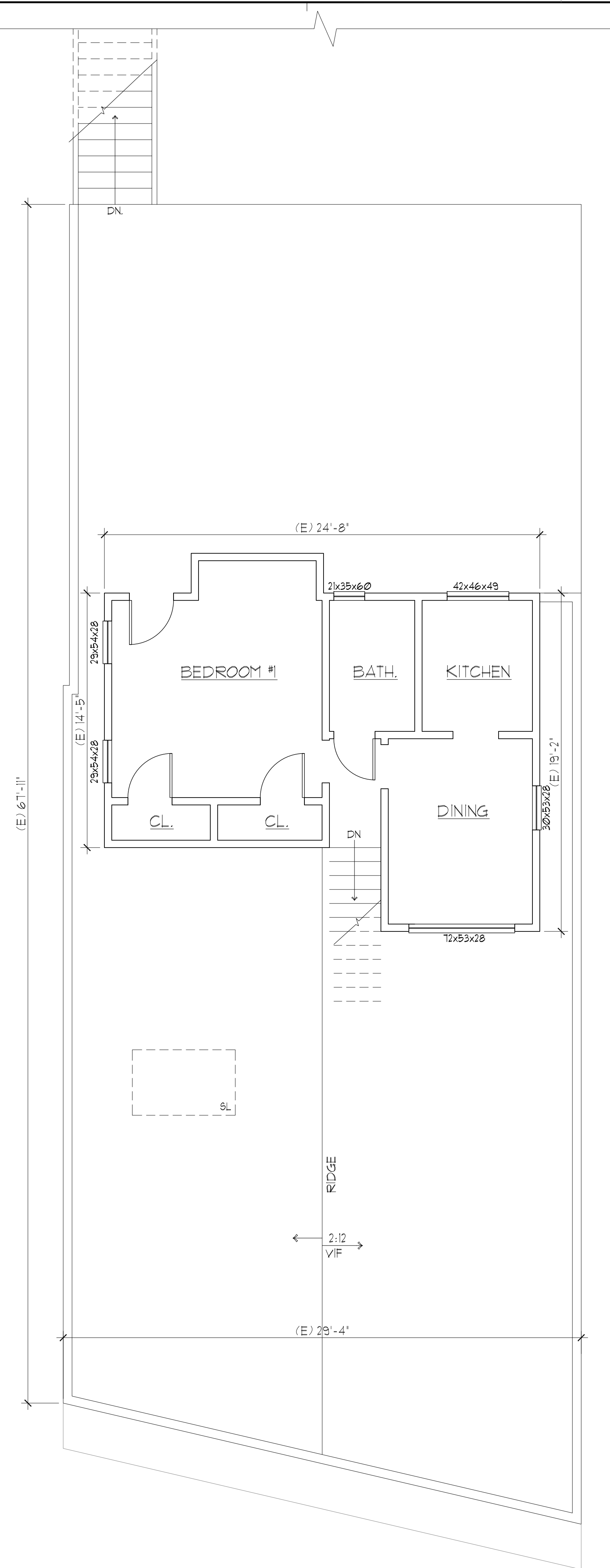
**BOUNDARY AND TOPOGRAPHIC SURVEY**

LANDS OF HAYES  
 DOCUMENT # 2006-197016 O.R.  
 DOCUMENT # 2006-197017 O.R.  
 A PORTION OF LOTS 64 & 65, BLOCK 5  
 "NORTH FAIR OAKS"  
 VOLUME 5 OF MAPS AT PAGE 21  
 ASSESSOR'S PARCEL NUMBER: 060-072-470  
 ASSESSOR'S PARCEL NUMBER: 060-072-480  
 (3201&3205 MIDDLEFIELD ROAD, MENLO PARK)  
 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA  
 SCALE: 1" = 10' MAY, 2018

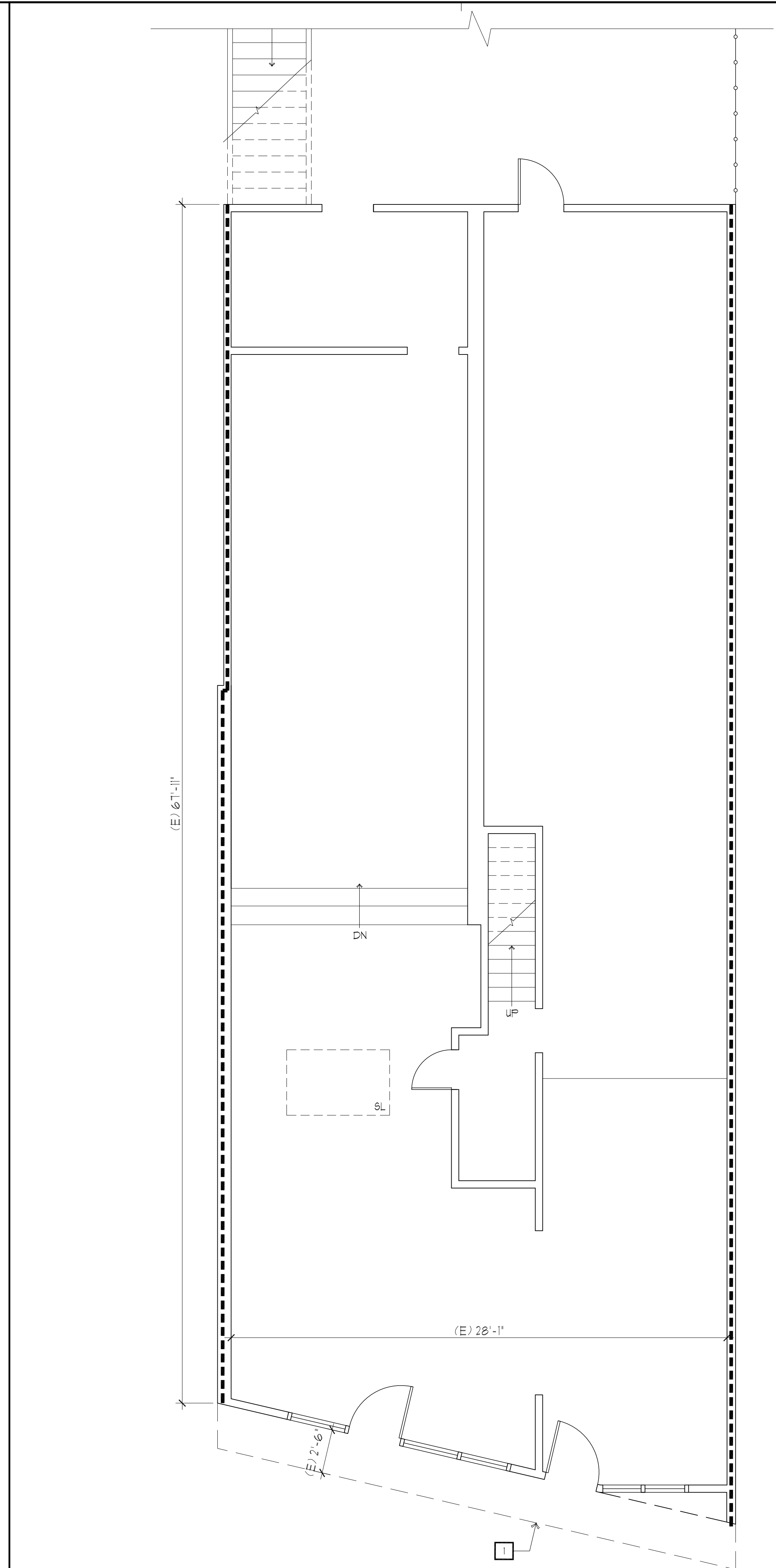
**B & H SURVEYING, INC.**  
 PROFESSIONAL LAND SURVEYING  
 901 WALTERMIRE ST.  
 BELMONT, CA 94002  
 OFFICE (650) 637-1590  
 FAX (650) 637-1059







EXISTING 2nd FLOOR PLAN



EXISTING 1st FLOOR PLAN



**KEY NOTES:**

1 (E) AWNING

**LEGEND:**

- 2 KEY NOTE TAGS - SEE KEY NOTES & LEGEND THIS SHEET
- ONE-HOUR RATED WALL, 3/8" TYPE-X GYP BD, FIRE TAPE
- 8'-0" FINISHED CEILING HEIGHT, SEE RCP
- AREA TO BE DEMOLISHED
- (E) WALLS TO REMAIN

**KEY NOTES & LEGEND**

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ORIGINAL SIGNATURE

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**SHEET TITLE:**  
 (E) 1st FLOOR PLAN  
 (E) 2nd FLOOR PLAN

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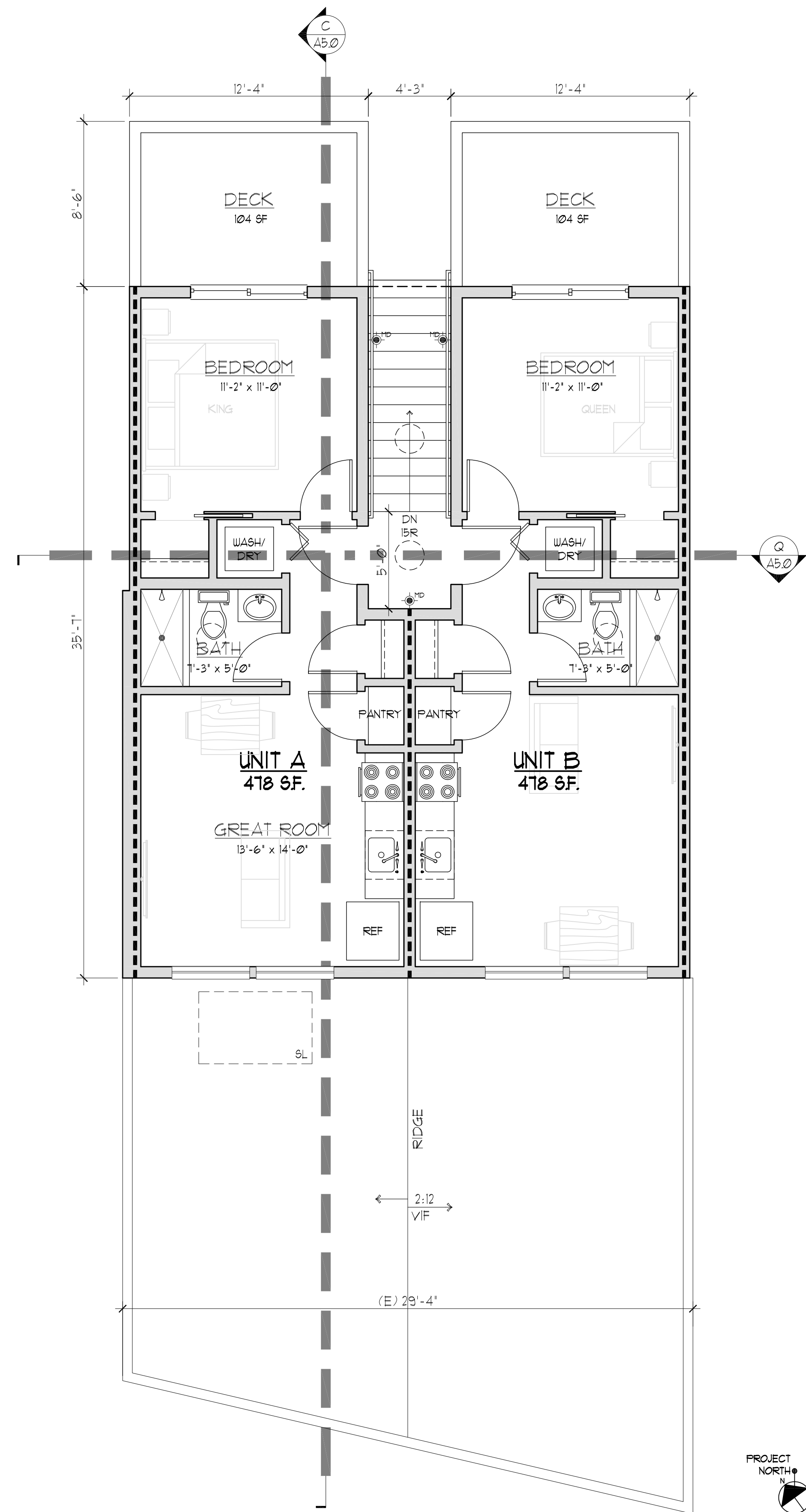
JOB NO: 22821  
 DRAWN: MB  
 CHECKED: DMK  
 SCALE: AS NOTED

**A2.0**

BLDG PERMIT APP NO. OF

3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE, MENLO PARK, CA 94025

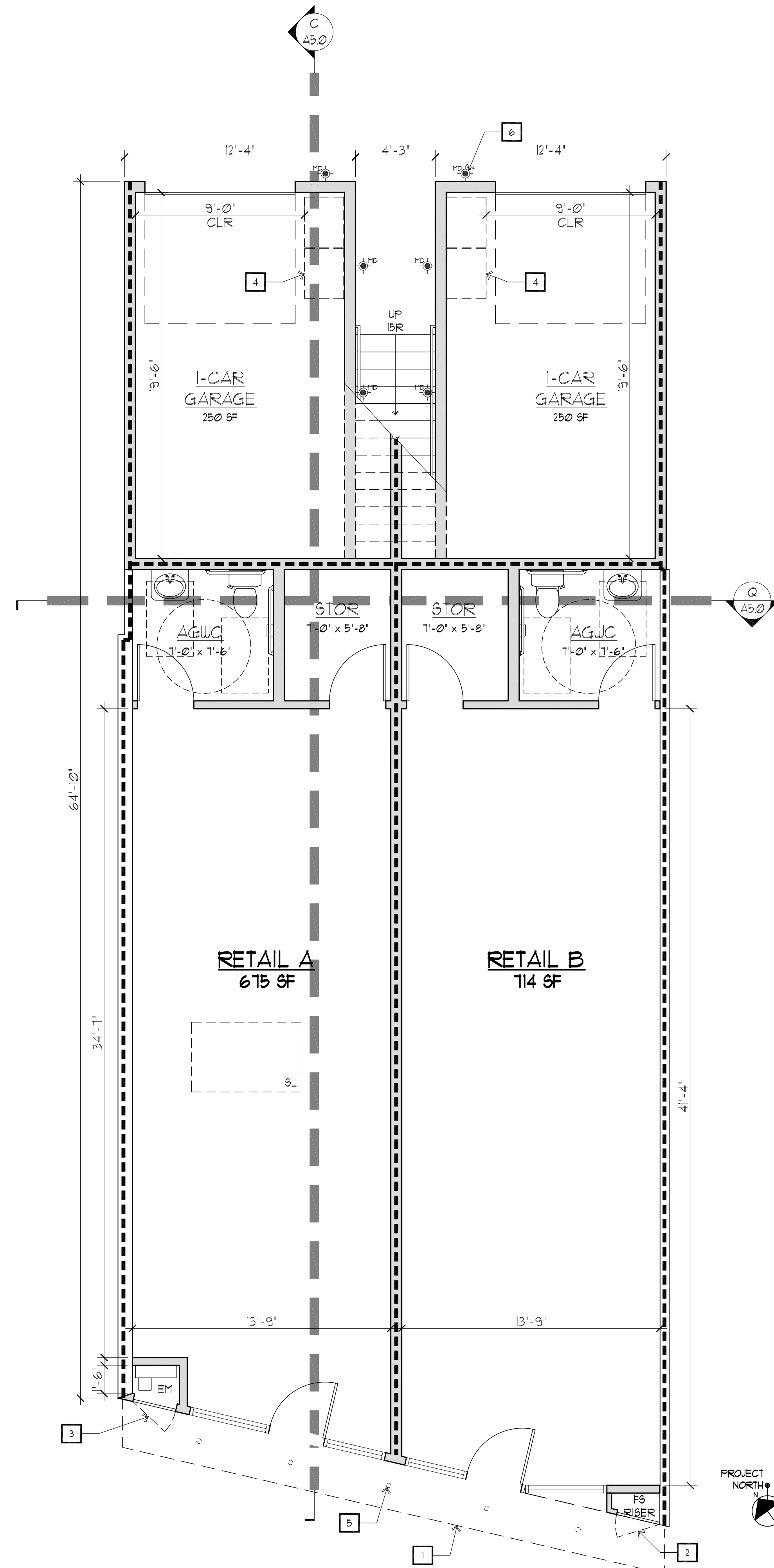




PROPOSED 2nd FLOOR PLAN



PROPOSED 1st FLOOR PLAN



- KEY NOTES & LEGEND**
- 1. (E) AWNING, SEE EXTERIOR ELEVATIONS FOR PROPOSED IMPROVEMENTS
  - 2. CLOSET w/ 2480 ACCESS DOOR FOR FIRE SPRINKLER RISER
  - 3. CLOSET w/ 2480 ACCESS DOOR FOR ELEC METERS
  - 4. LOCATION FOR GARBAGE & RECYCLING BINS
  - 5. RECESSED LED CAN LIGHT, SEE A5.1, TYP OF 4
  - 6. LED SCONCE LIGHT, SEE A5.1, TYP OF 3
- 2. KEY NOTE TAGS - SEE KEY NOTES THIS SHEET
  - ONE-HOUR FIRE RATED WALL, 5/8" TYPE-X GYP BD, MUD & FIRE TAPE (CBC TABLE 1020.1)
  - <8'-0"> FINISHED CEILING HEIGHT
  - == NEW WALLS, 1/2-HOUR FIRE RATED, PROVIDE SOUND INSULATION AND 5/8" GYP BD BOTH SIDES (CBC 1003.2)- SEE SHEET A02
  - (E) WALLS TO REMAIN

- KEY NOTES:**
1. (E) AWNING, SEE EXTERIOR ELEVATIONS FOR PROPOSED IMPROVEMENTS
  2. CLOSET w/ 2480 ACCESS DOOR FOR FIRE SPRINKLER RISER
  3. CLOSET w/ 2480 ACCESS DOOR FOR ELEC METERS
  4. LOCATION FOR GARBAGE & RECYCLING BINS
  5. RECESSED LED CAN LIGHT, SEE A5.1, TYP OF 4
  6. LED SCONCE LIGHT, SEE A5.1, TYP OF 3

ORIGINAL SIGNATURE: \_\_\_\_\_  
**PRELIMINARY DESIGN  
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**SHEET TITLE:**  
 PROPOSED 1st FLOOR PLAN  
 PROPOSED 2nd FLOOR PLAN

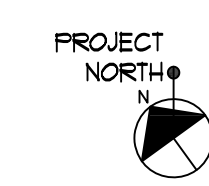
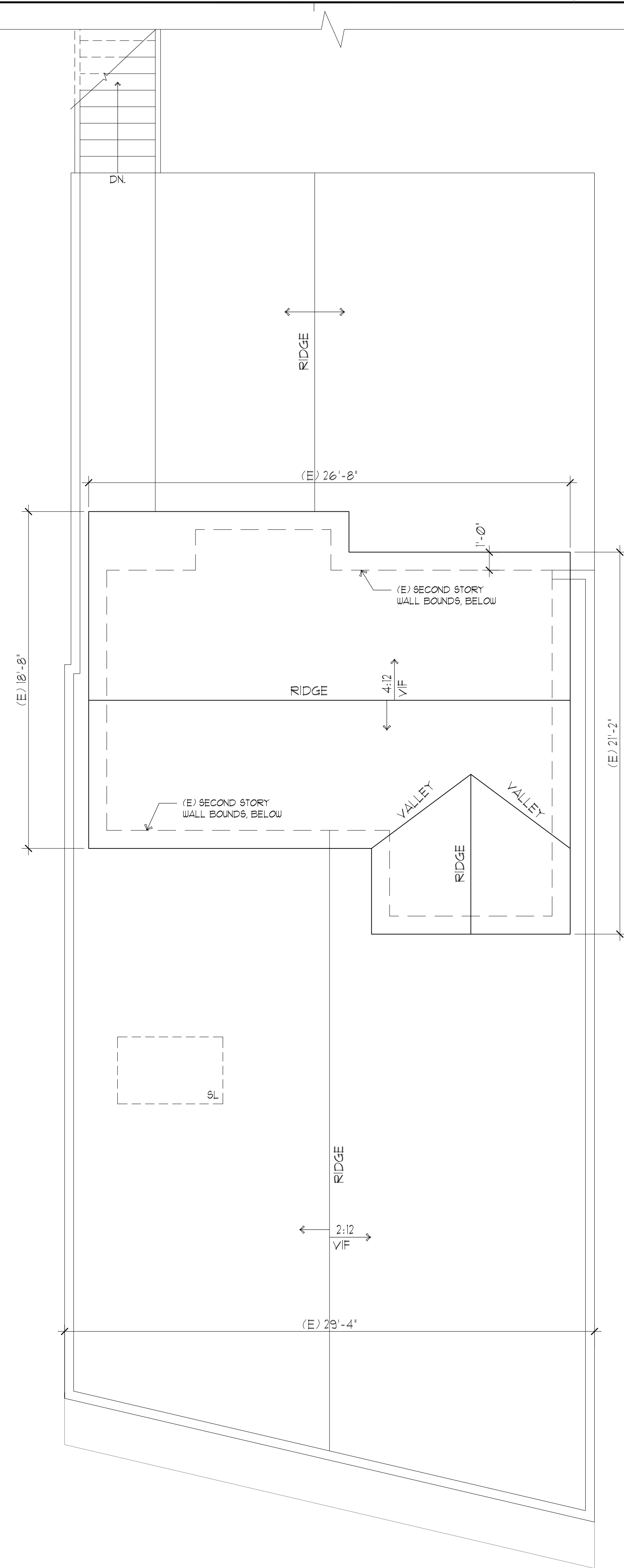
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6/28/23	RESUBMIT FOR AP

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SCALE: AS NOTED

**A2.1**

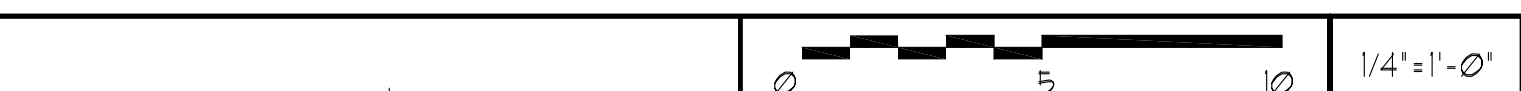
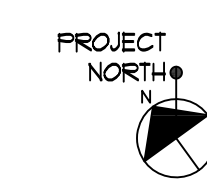
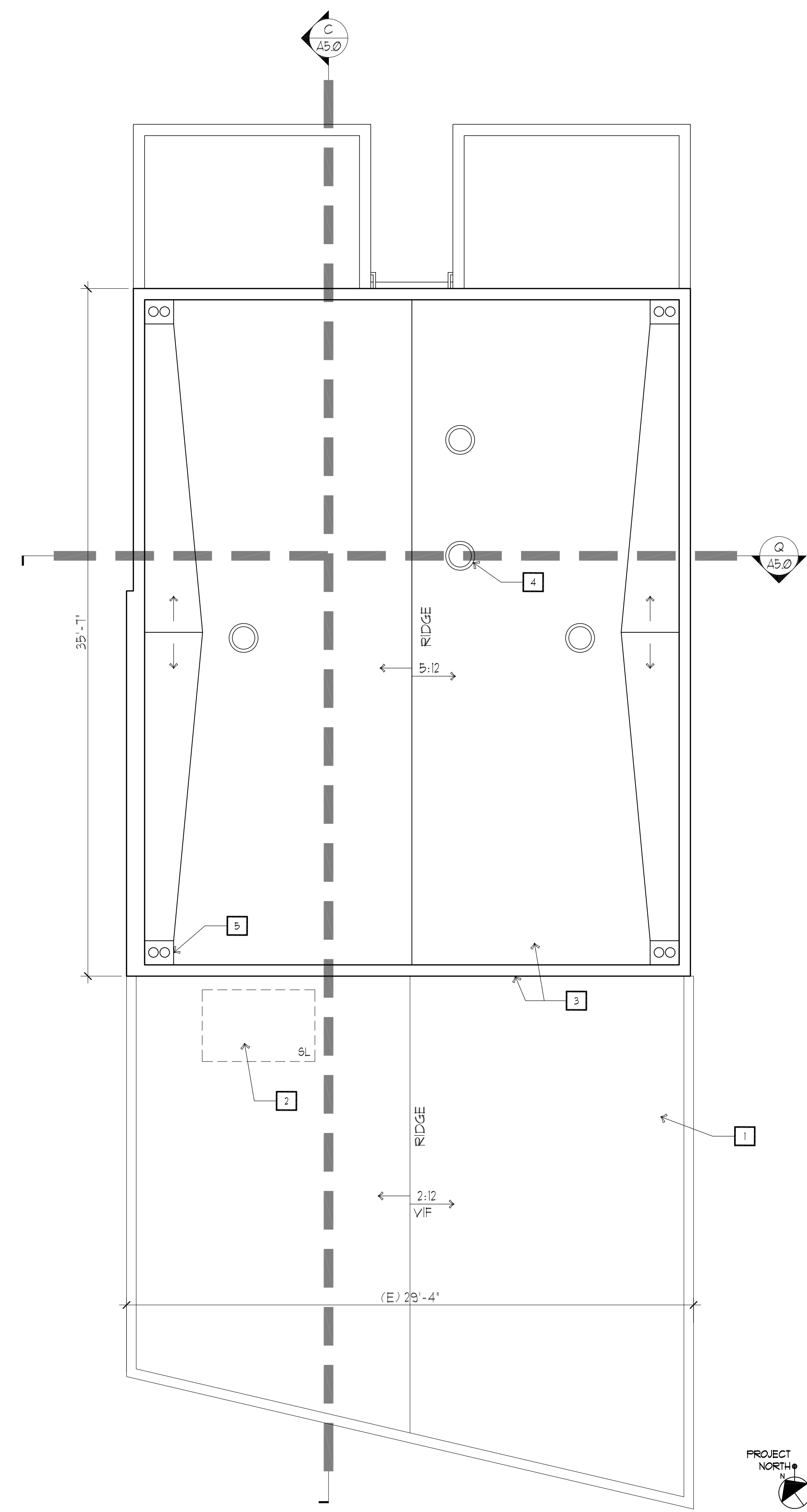




(E)/DEMOLITION ROOF PLAN



PROPOSED ROOF PLAN



KEY NOTES & LEGEND

KEY NOTES:

1. (E) FLAT ROOF
2. (E) SKYLIGHT
3. (N) FLAT ROOF & PARAPET WALLS FOR 2nd STORY
4. (N) 14" SOLATUBE, TYP OF 4
5. (N) ROOF DRAIN & OVERFLOW, TYP OF 4

LEGEND:

- (B) DOOR TAGS - SEE DOOR & HARDWARE SCHEDULE
- 2 KEY NOTE TAGS - SEE KEY NOTES & LEGEND THIS SHEET
- (W) WINDOW TAGS - SEE WINDOW SCHEDULE
- ONE-HOUR RATED WALL, 5/8" TYPE-X GYP BD, FIRE TAPE
- TWO HOUR WALL @ ELEVATOR SHAFT & STAIRS 2 LAYERS 5/8" TYPE-X GYP BD, EA SIDE, MUD & FIRE TAPE
- (0'-0") FINISHED CEILING HEIGHT
- (E) WALLS TO REMAIN
- NEW WALLS

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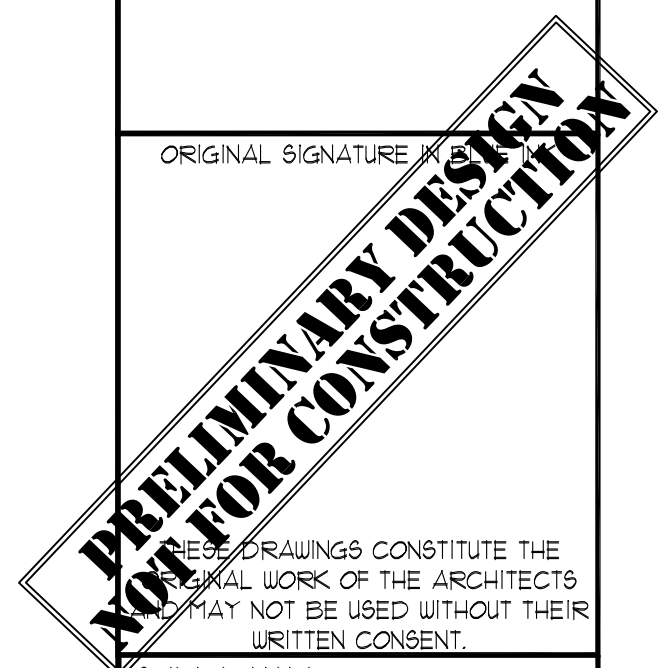
SHEET TITLE:  
 (E)/DEMO ROOF PLAN  
 PROPOSED ROOF PLAN

DATE	ISSUE TITLE
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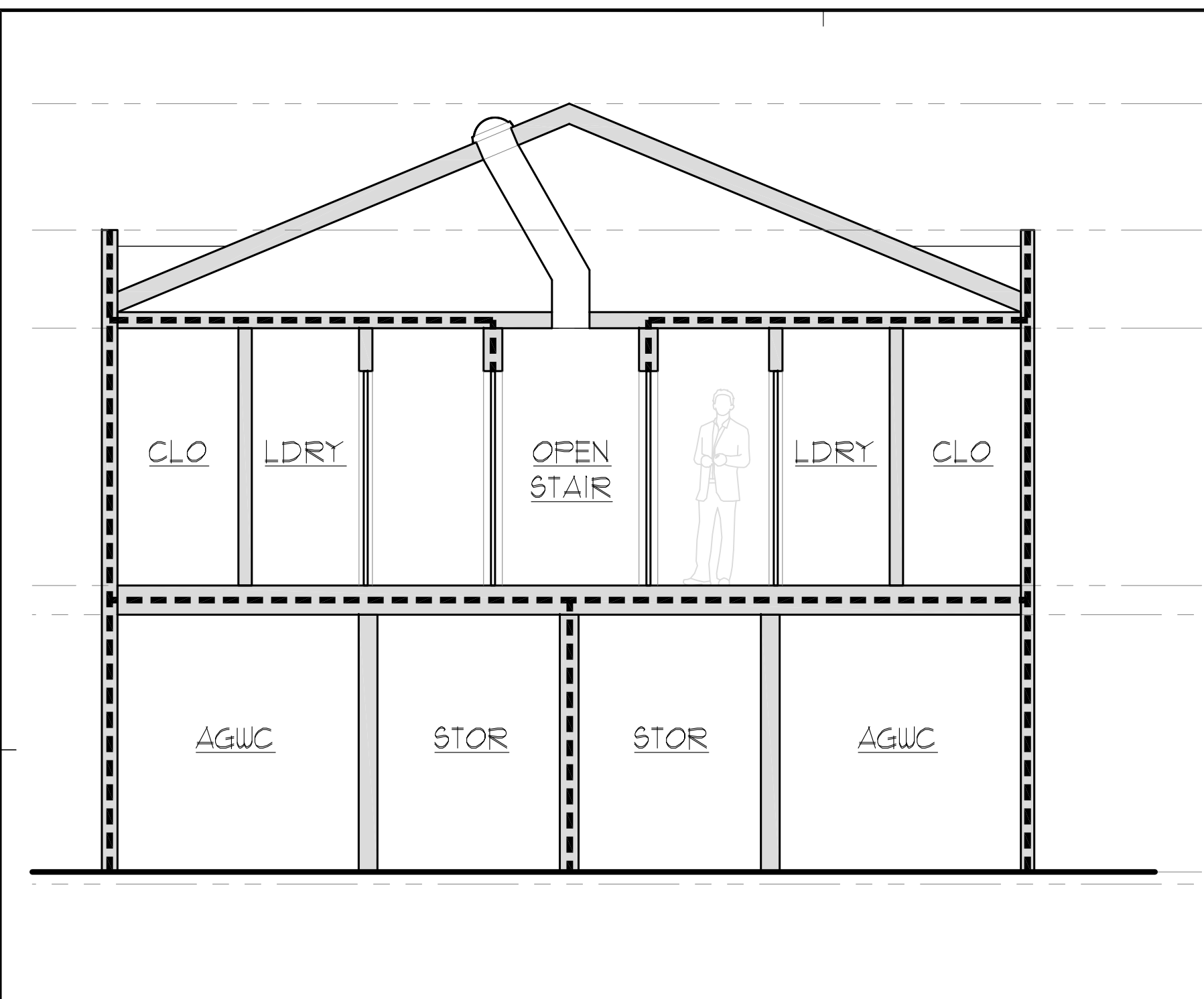
SCALE: AS NOTED

**A4.0**  
 OF  
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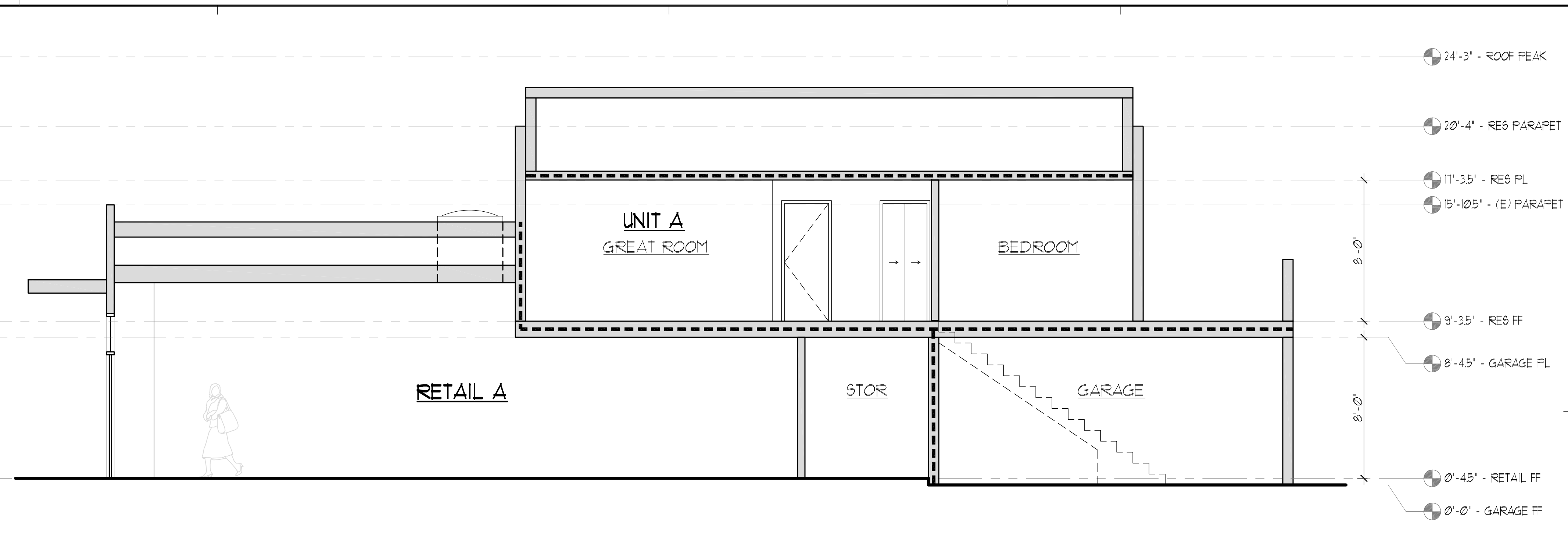


3203-3205 MIDDLEFIELD RD. 402 B-D 5th AVE. MENLO PARK, CA 94025

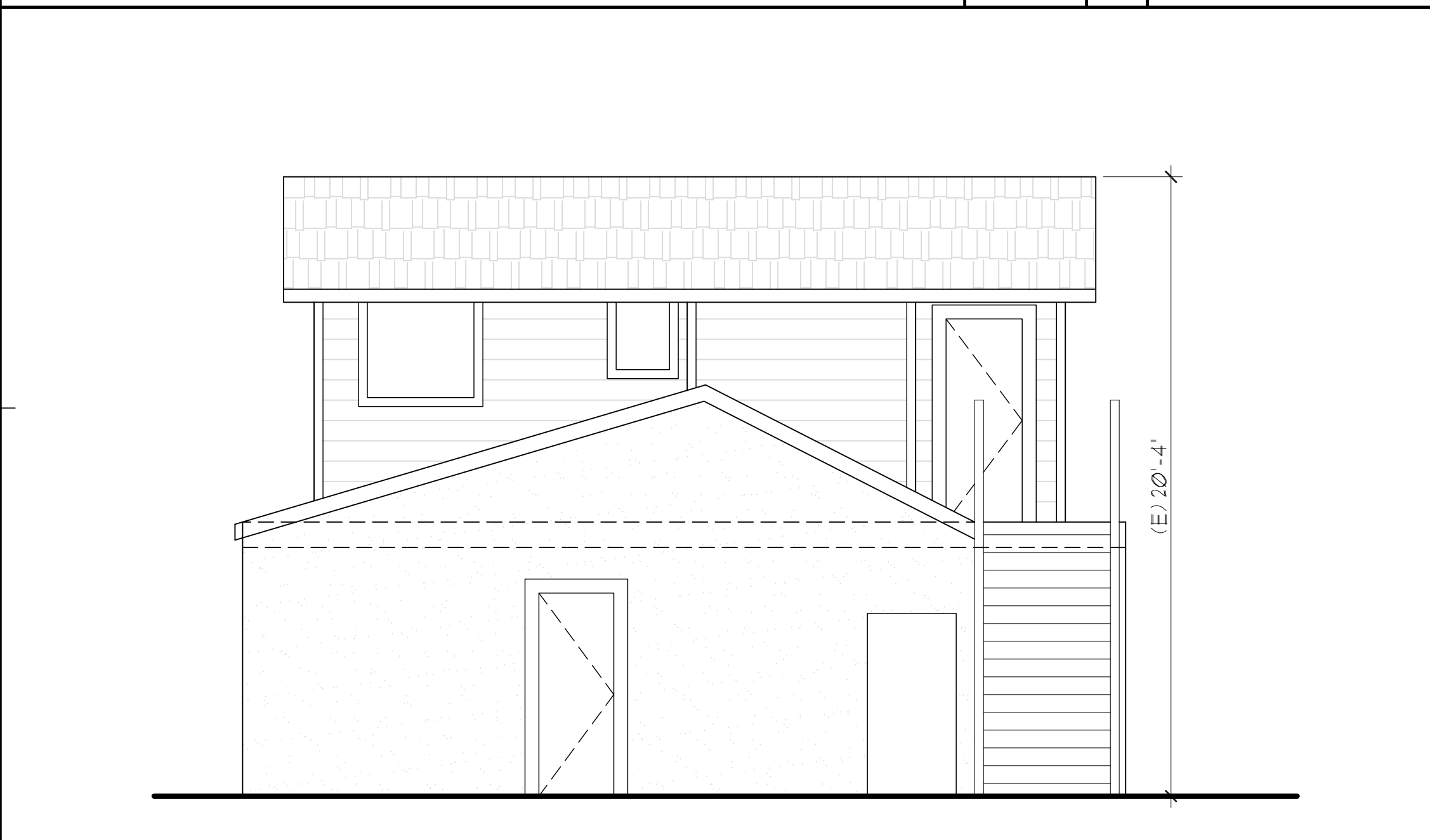




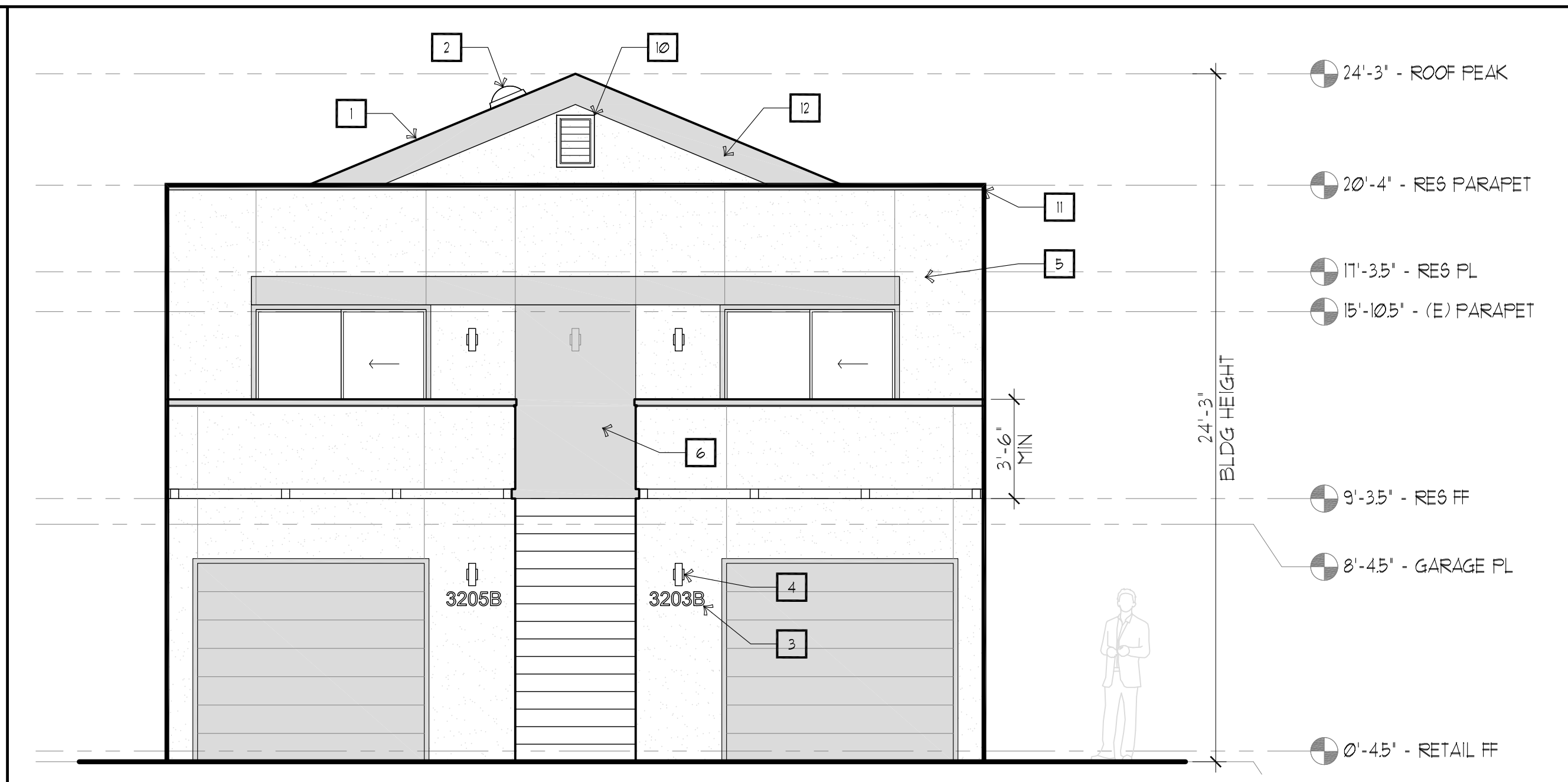
PROPOSED BLDG SECTION (WEST-EAST) 1/4"=1'-0" Q



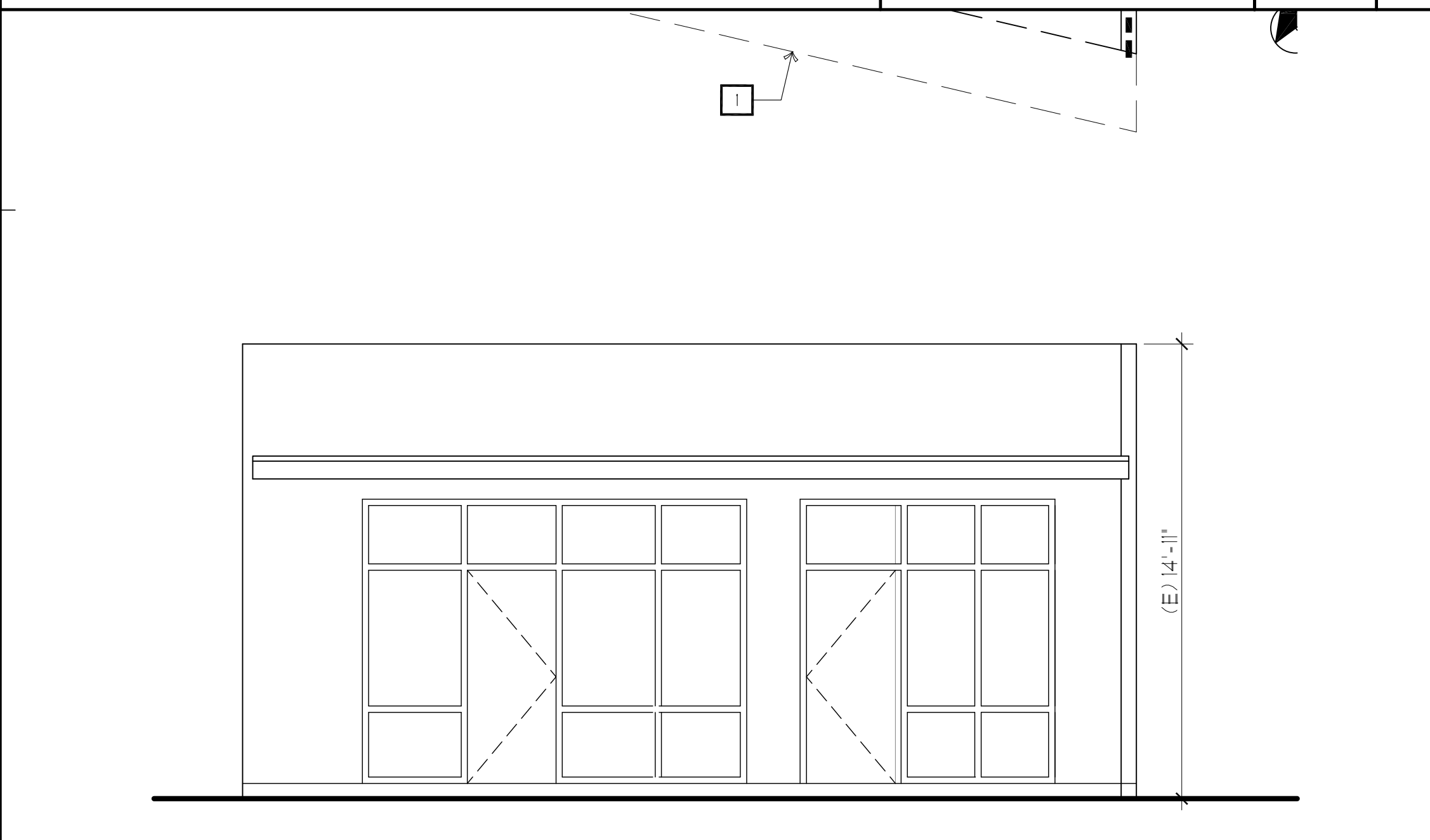
PROPOSED BUILDING SECTION (SOUTH-NORTH) 1/4"=1'-0" C



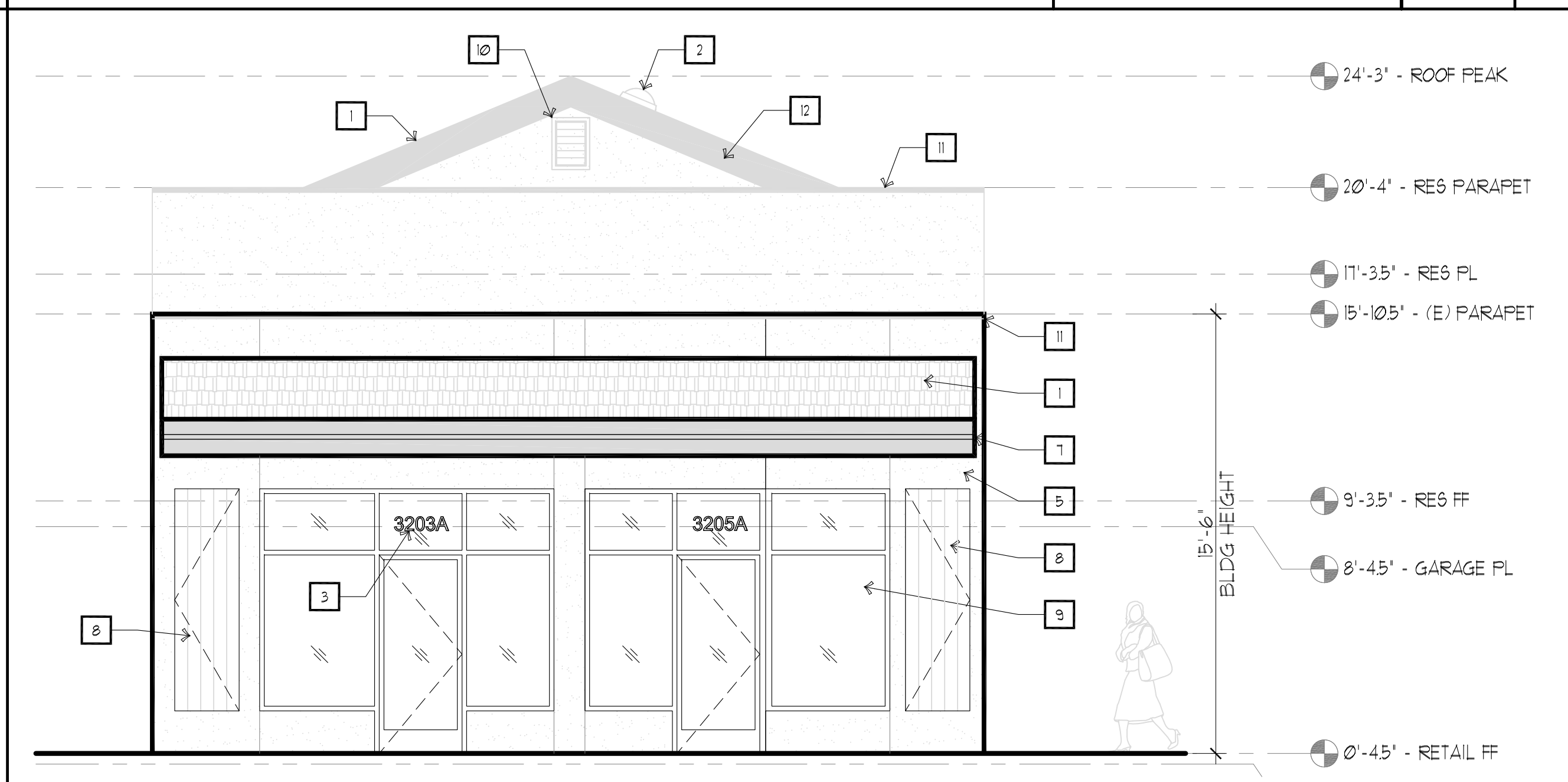
(E) REAR ELEVATION (NORTH) 1/4"=1'-0" P



PROPOSED REAR ELEVATION (NORTH) 1/4"=1'-0" F



(E) MIDDLEFIELD ELEVATION (SOUTH) 1/4"=1'-0" N



PROPOSED MIDDLEFIELD ELEVATION 1/4"=1'-0" E

**KEY NOTES:**

1. COMPOSITION ASPHALT SHINGLES, MINIMUM CLASS B
2. 14' SOLATUBE, TYP. OF 4
3. 6" TALL ADDRESS TILES
4. LED SCONCE LIGHT, SEE A51, TYP OF 9
5. CEMENT PLASTER, PROVIDE CONTROL JOINTS AS INDICATED ON EXT ELEVS
6. CEMENT PLASTER, ACCENT COLOR
7. (E) MTL AWNING TO REMAIN, PAINT TO MATCH CEMENT PLASTER. PROVIDE 3 RECESSED LIGHTS TO ILLUMINATE STOREFRONTS AND SIDEWALK.
8. WOOD PANEL TO COVER ELEC METER CLOSET, PAINT TO MATCH CEMENT PLASTER. 5/16" FOR F5 CLOSET
9. (N) STOREFRONT DOORS 4 WINDOWS, DARK BRONZE FINISH
10. 12x18 GABLE VENT, PAINT TO MATCH CEMENT PLASTER
11. METAL FLASHING, DARK BRONZE FINISH
12. FASCIA

COLOR & FINISH NOTES: SEE NEXT SHEET.

**LEGEND:**

- (B) DOOR TAGS - SEE DOOR & HARDWARE SCHEDULE
- (2) KEY NOTE TAGS - SEE KEY NOTES & LEGEND THIS SHEET
- (W) WINDOW TAGS - SEE WINDOW SCHEDULE
- ONE-HOUR RATED WALL, 5/8" TYPE-X GYP BD, FIRE TAPE
- TWO HOUR WALL @ ELEVATOR SHAFT & STAIRS 2 LAYERS 5/8" TYPE-X GYP BD, EA SIDE, MUD & FIRE TAPE
- (0'-0") FINISHED CEILING HEIGHT
- (E) WALLS TO REMAIN
- NEW WALLS

**DATE** 11/8/11 **ISSUE TITLE** EXISTING CONDITIONS  
**DATE** 2/16/23 **ISSUE TITLE** SUBMIT FOR AP  
**DATE** 6/28/23 **ISSUE TITLE** RESUBMIT FOR AP

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**A5.0**

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**SHEET TITLE:**  
 EXTERIOR ELEVATIONS  
 BUILDING SECTIONS



Cylinder LED Outdoor Wall Sconce  
By WAC Lighting



Cylinder LED Outdoor Wall Sconce  
By WAC Lighting

Product Options

Finish: Black  
Size: Medium

Details

Designed in 2020  
Material: Die-cast aluminum  
Dimmable when used with a Electronic low voltage (ELV)  
Dimmer (Not Included)  
Dimmer Range: 100-5%  
ADA compliant, Title 24 compliant  
Installation Type: Hardwired  
ETL Listed Wet  
Warranty: 5 Years Functional, 2 Years Finish  
Made in China

Dimensions

Medium Option Backplate: Width 4.25", Height 4.25"  
Medium Option Fixture: Width 4.5", Height 9.5", Depth 6"

Lighting

Medium

Lamp Type	LED Built-in
Total Lumens	644
Total Watts	18.00
Volts	120
Color Temp	3000 (Soft White)
Average Lifespan	50000.00
CRI	80
Equivalent Halogen, CFL or LED Bulb Can Be Used	No

Additional Details

Product URL:  
<https://www.lumens.com/cylinder-led-outdoor-wall-sconce-by-wac-lighting-WAC2000806.html>  
Rating: ETL Listed Wet

ITEM#: WAC2000806



Notes:

Prepared by: \_\_\_\_\_

Prepared for:

Project:  
Room:  
Placement:  
Approval:

WAC LIGHTING

Lotos 4" & 6" Round  
Adjustable Downlight SCCT

Model	Beam	Color Temp & CRI	Lumens	CBP	Finish
<input type="radio"/> R4ERAR	<input type="radio"/> W 45°	<input type="radio"/> 9CS 2700K/3000K/3500K /4000K/5000K - 90	800	1020	<input type="radio"/> WT White
<input type="radio"/> R6ERAR		<input type="radio"/> 9CS 2700K/3000K/3500K /4000K/5000K - 90	1340	1896	

Example: R4ERAR-WCS-WT

DESCRIPTION

The wafer-thin Lotos LED Recessed Kit with remote driver combines high quality light output and efficiency while eliminating the need for a large housing. This innovative design can be installed easily as a remodel or new construction with an optional frame-in kit sold separately. Lotos is available in a downlight version for general ambient lighting and an adjustable version with a gimbal that pivots 360 degrees on a hinge. Now available with 5-CCT options.

FEATURES

- 5-CCT Switchable between 2700K and 5000K
- Multiple LED array for uniform illumination
- Rotatable multi-axis gimbal ring
- Driver included
- 5 year warranty

SPECIFICATIONS

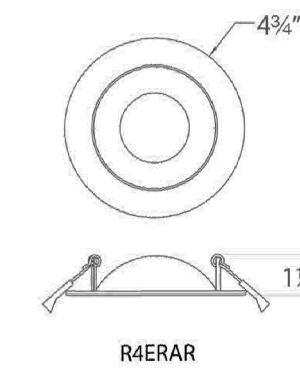
Construction: Steel with frosted TR lens  
Power: 9W, 15W  
Input: 120-277 VAC, 50/60Hz  
Dimming: ELV: 100-5%, TRIAC: 100-5%  
Light Source: Integrated LED  
Lens: Translucent acrylic diffuser  
Rated Life: 50000 Hours  
Mounting: Heavy gauge retention clips secures fixture to ceiling  
Cut Out: 4 1/4", 5"  
Finish: Electrostatically powder coated: White  
Ceiling Thickness: 1/2" - 1"  
Operating Temp: -4°F to 104°F (-20°C to 40°C)  
Standards: ETL, cETL, Wet Location Listed, Energy Star 2.0, Title 24 JAB-2019 Compliant, IC, Airtight

FINISHES:



White

LINE DRAWING:



R4ERAR

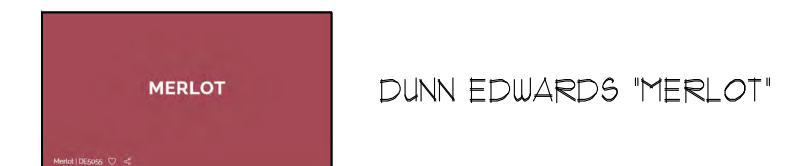


Fixture Type: \_\_\_\_\_  
Catalog Number: \_\_\_\_\_  
Project: \_\_\_\_\_  
Location: \_\_\_\_\_

1. CEMENT PLASTER MAIN COLOR:



2. CEMENT PLASTER ACCENT COLOR, FASCIAS, GARAGE DOORS, TRIMS:



3. STOREFRONTS, SLIDING GLASS DOORS, PARAPET FASCIA TRIM:  
ALUMINUM, DARK BRONZE FINISH

4. WOOD PANEL DOORS TO EM & FS ACCESS

EXTERIOR LIGHT FIXTURES

G COLORS & MATERIALS



PROPOSED RENDERING: REAR RESIDENCES (NORTH)



N PROPOSED RENDERING: MIDDLEFIELD RD (SOUTH)

RETAIL / RESIDENTIAL FIRE REPAIR, REMODEL & ADDITION

3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE.

3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE.  
MENLO PARK, CA 94025

THE KASTROP GROUP, INC.  
ARCHITECTS  
2345 SPRING STREET  
REDWOOD CITY, CA 94063  
T: 650.239.0303  
www.kastropgroup.com

ORIGINAL SIGNATURE

THESE DRAWINGS CONSTITUTE THE ORIGINAL WORK OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT THEIR WRITTEN CONSENT.

SHEET TITLE:  
PROPOSED RENDERINGS  
COLORS & MATERIALS  
EXTERIOR LIGHT FIXTURES

DATE	ISSUE TITLE
11/8/17	EXISTING CONDITIONS
2/16/23	SUBMIT FOR AP
6/28/23	RESUBMIT FOR AP

JOB NO: 22821  
DRAWN: MB  
CHECKED: DMK  
SCALE: AS NOTED

A5.1

BLDG PERMIT APP NO:

22821 3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE. MENLO PARK, CA 94025



**GENERAL NOTES:**

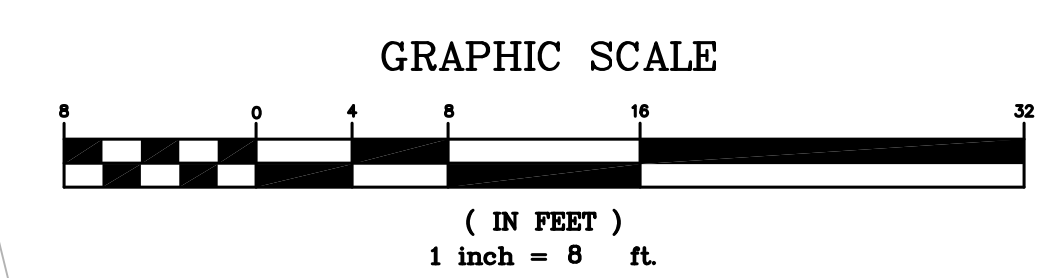
- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS & SETBACKS WITH ARCHITECTURAL PLANS.
- TOPOGRAPHIC INFORMATION PROVIDED BY B & H SURVEYING, INC., DATED MAY 2018.
- SLOPE PORCHES, LANDINGS AND TERRACES 2% AWAY FROM RESIDENCE.
- PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM THE HOUSE PERIMETER BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 5% AWAY FROM RESIDENCE.
- CONTRACTOR TO CONTACT SOILS ENGINEER TO COORDINATE INSPECTIONS AT LEAST ONE WEEK PRIOR TO PENDING INSPECTIONS.
- ALL EARTHWORK, SUBSLAB PREPARATION, FOUNDATION AND SLAB CONSTRUCTION, BACKFILLING, SITE DRAINAGE, AND GEOTECHNICAL OBSERVATION AND TESTING SHALL BE IN ACCORDANCE WITH GEOTECHNICAL REPORT RECOMMENDATIONS.
- THE OWNER RECOGNIZES THAT THE DRAINAGE FACILITIES AND DEPRESSED LANDSCAPE AREAS WILL NEED TO BE PERIODICALLY CLEANED OF DEBRIS DURING THE FUNCTIONAL LIFE OF THE SYSTEM.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION.
- ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM.
- CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444, 48 HOURS PRIOR TO EXCAVATION.
- FOR ADDITIONAL SITE LAYOUT INFORMATION SEE ARCHITECTURAL PLANS.
- PRIOR TO CONSTRUCTING ANY IMPROVEMENT WITHIN THE PUBLIC RIGHT OF WAY, CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE COUNTY'S ENGINEERING DIVISION PRIOR TO STARTING ANY WORK. APPLICANT SHALL OBTAIN PERMITS FROM UTILITY COMPANIES PRIOR TO APPLYING TO CITY FOR ENCROACHMENT PERMIT.
- CONTRACTOR SHALL ADHERE TO "BEST MANAGEMENT PRACTICES" (BMP's) GUIDELINES DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR STORING, USING, AND DISPOSING OF ALL HAZARDOUS MATERIALS, IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS.
- CONTRACTOR SHALL REVIEW AND UNDERSTAND GRADING AND DRAINAGE GUIDELINES SET FORTH IN THE GEOTECHNICAL REPORT PRIOR TO STARTING ANY SITE WORK.
- CONTRACTOR SHALL ADHERE TO CAL OSHA STANDARD WHEN GRADING AND EXCAVATING.
- CONTRACTOR AND OWNER SHALL OBTAIN ALL NECESSARY COUNTY STANDARD DETAILS, FROM THE COUNTY, TO PERFORM ALL TRENCHING AND SITE WORK IN THE PUBLIC RIGHT-OF-WAY.
- APPLICANT/CONTRACTOR SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED, UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS, EXISTING OR DAMAGED BY CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE ON BELMONT AVENUE.
- STORM WATER RUNOFF GENERATED BY THE NEW DEVELOPMENT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.

**UTILITY NOTES:**

- NO IMPROVEMENTS ANTICIPATED FOR EXISTING GAS AND ELECTRIC SERVICES. CONTRACTOR TO ASSIST OWNER IN COORDINATION WITH PG&E FOR THE INSTALLATION/RELOCATION OF PHONE, TV AND ELECTRIC SERVICES, IF CHANGES ARE REQUIRED. SIZE OF NEW SERVICE TO BE DETERMINED BY PG&E AND RESPECTIVE AGENCIES. THE EXISTING GAS SERVICE IS TO BE ABANDON PER REQUIREMENTS OF PG&E.
- EXISTING SEWER LATERAL TO REMAIN AND BE VIDEO INSPECTED. IF VIDEO INSPECTION PROVES THAT LATERAL IS NOT IN GOOD WORKING ORDER, THE EXISTING SERVICE IS TO BE REPLACED OR REPAIRED PER COUNTY STANDARDS. CONTRACTOR SHALL ASSIST IN PERMITTING WITH THE COUNTY SEWER DEPARTMENT FOR A NEW LATERAL AND CLEANOUT PER COUNTRY REQUIREMENTS
- ALL SEWER WORK TO BE IN CONFORMANCE WITH COUNTY STANDARDS.
- ALL STORM DRAIN PIPE SHALL BE PVC SDR 35, SLOPED AT 1% UNLESS OTHERWISE SPECIFIED ON THE PLANS. PIPE SHALL BE SIZED AS SPECIFIED ON THE PLANS. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION, ELBOWS AND TEE'S SHOULD BE AVOIDED.
- ALL DOWN SPOUTS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM, UNLESS SHOWN OTHERWISE ON PLAN, WITH 4" PVC SDR 35 PIPE OR EQUIVALENT. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.
- NO WATER SERVICE UPGRADES ANTICIPATED. CONTRACTOR AND OWNER SHALL COORDINATE WITH WATER SERVICE PROVIDER, FOR NEW METER (SEE NOTE 8), IF REQUIRED.
- ALL SUB-DRAINAGE TO BE INSTALLED PER THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS. GEOTECHNICAL ENGINEER SHALL REVIEW ALL INSTALLATION OF SUB-DRAINAGE SYSTEM(S)
- CONTRACTOR TO ASSIST OWNER IN THE PERMITTING OF A NEW WATER METER FROM THE CALIFORNIA WATER SERVICE. WATER LATERAL AND METER SHALL BE DESIGNED TO MEET ALL DOMESTIC AND FIRE SAFETY NEEDS. CONTACT CALIFORNIA WATER SERVICE COMPANY, BEAR GULCH DISTRICT, AT 3525 ALAMEDA DE LOS PULGAS, MENLO PARK, CA, PHONE 650-321-6800.
- NO CONNECTIONS ARE ALLOWED, BETWEEN THE STORM WATER COLLECTION AND TREATMENT SYSTEMS AND THE SANITARY SEWER SYSTEM.
- ALL DRAINAGE SYSTEM PIPES MUST BE INSPECTED BEFORE COVERING. INSPECTION CAN BE DONE IN STAGES AS BACKFILLING PROCEEDS, TO ALLOW FOR SUPPORT OF PIPES THAT ENTER THE SIDES OF STRUCTURES.

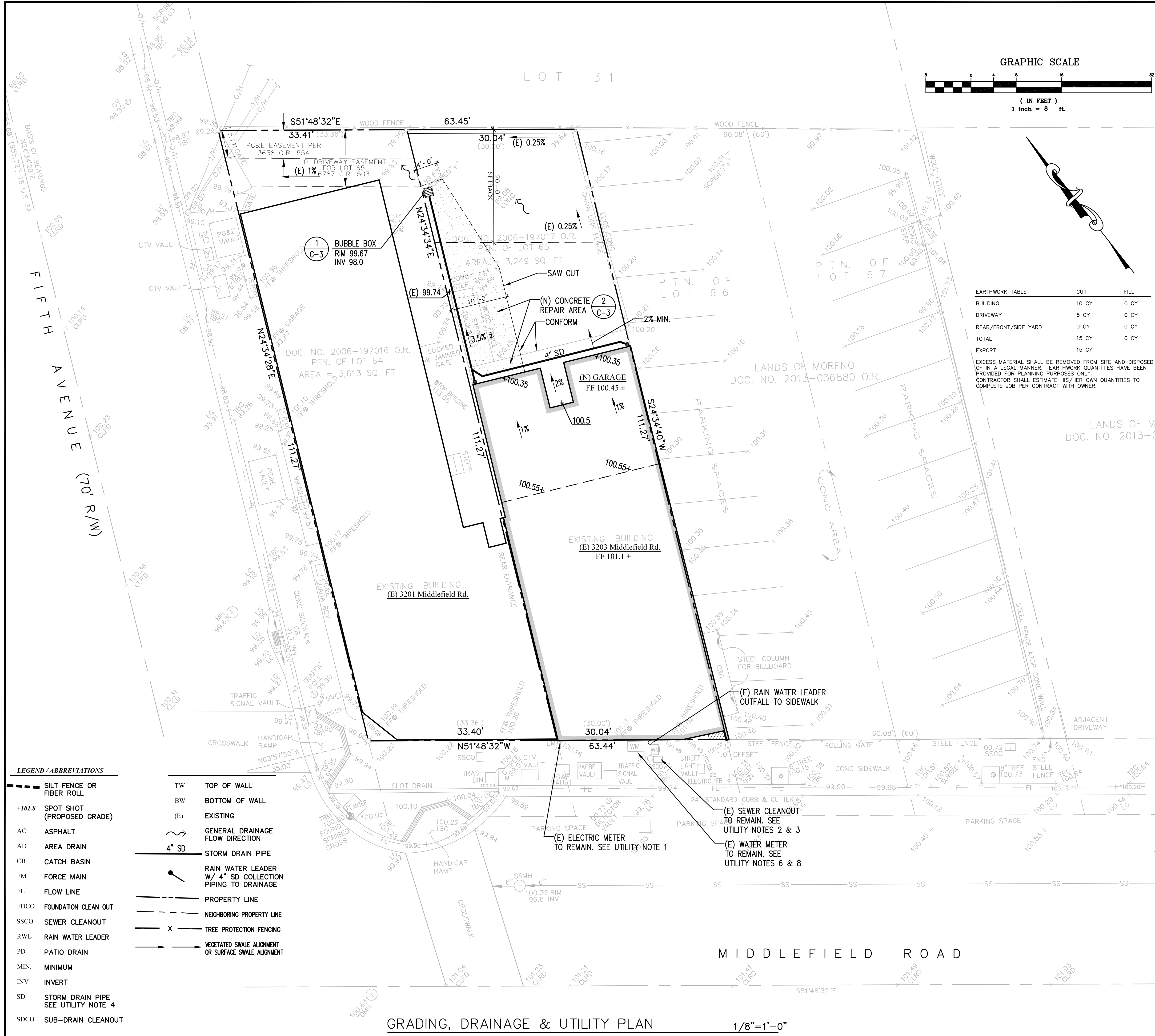
**FIRE SERVICE NOTES:**

- SPINKLER PLANS ARE A "DEFERRED SUBMITTAL" AT TIME OF BUILDING PERMIT, THUS INFORMATION SHOWN IS CONCEPTUAL. SEE APPROVED SPRINKLER PLANS PRIOR TO INSTALLATION OF WATER SERVICE AND METER MODIFICATIONS.
- FIRE SERVICE SHALL HAVE A BACKFLOW PREVENTION DEVICE - USC APPROVED DOUBLE CHECK VALVE ASSEMBLY. GENERAL CONTRACTOR SHALL ENSURE THE DOUBLE CHECK VALVE ASSEMBLY FOR FIRE PROTECTION SHALL BE TESTED AND APPROVED BY A SAN MATEO COUNTY ENVIRONMENTAL HEALTH APPROVED CONTRACTOR PRIOR TO SCHEDULING WATER DEPARTMENT FINAL.
- FIRE FLOW SHALL MEET REQUIREMENTS OF THE CALIFORNIA FIRE CODE APPENDIX 111A. FIRE FLOW FOR RESIDENTIAL BUILDINGS LESS THAN 3600 SQ. FT. SHALL BE PROVIDED AT 1,000 GPM UNLESS PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, THEN IT MAY BE REDUCED TO 50%.
- MINIMUM 1" WATER METER IS REQUIRED.



EARTHWORK TABLE	CUT	FILL
BUILDING	10 CY	0 CY
DRIVEWAY	5 CY	0 CY
REAR/FRONT/SIDE YARD	0 CY	0 CY
TOTAL	15 CY	0 CY
EXPORT	15 CY	

EXCESS MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER. EARTHWORK QUANTITIES HAVE BEEN PROVIDED FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL ESTIMATE HIS/HER OWN QUANTITIES TO COMPLETE JOB PER CONTRACT WITH OWNER.

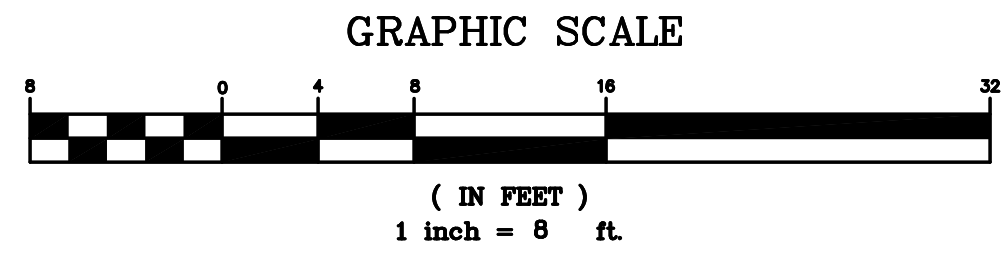


**LEGEND / ABBREVIATIONS**

---	SILT FENCE OR FIBER ROLL	TW	TOP OF WALL
+101.8	SPOT SHOT (PROPOSED GRADE)	BW	BOTTOM OF WALL
AC	ASPHALT	(E)	EXISTING
AD	AREA DRAIN	~	GENERAL DRAINAGE FLOW DIRECTION
CB	CATCH BASIN	4" SD	STORM DRAIN PIPE
FM	FORCE MAIN	~	RAIN WATER LEADER W/ 4" SD COLLECTION PIPING TO DRAINAGE
FL	FLOW LINE	---	PROPERTY LINE
FDCO	FOUNDATION CLEAN OUT	---	NEIGHBORING PROPERTY LINE
SSCO	SEWER CLEANOUT	X	TREE PROTECTION FENCING
RWL	RAIN WATER LEADER	---	VEGETATED SWALE ALIGNMENT OR SURFACE SWALE ALIGNMENT
PD	PATIO DRAIN		
MIN.	MINIMUM		
INV	INVERT		
SD	STORM DRAIN PIPE SEE UTILITY NOTE 4		
SDCO	SUB-DRAIN CLEANOUT		

GRADING, DRAINAGE & UTILITY PLAN 1/8"=1'-0"





- EROSION AND SEDIMENT CONTROL NOTES:**
- STORM DRAIN POLLUTION PREVENTION: PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK BAGS, TEMPORARY DRAINAGE SWALES, FIBER ROLLS, SILT FENCES, BERMS OR STORM DRAIN INLET FILTERS.
  - THE EXISTING CONCRETE DRIVEWAY SHALL SERVE AS THE STABILIZED CONSTRUCTION ENTRANCE.
  - FIBER ROLL(S) SHALL BE INSTALLED, IF REQUIRED BY COUNTY, PRIOR TO THE INCEPTION OF ANY WORK ON-SITE, AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED.
  - DRY SWEEPING METHODS SHALL BE USED TO REMOVE ANY DEBRIS AND/OR SOIL TRACKED ON TO MIDDLEFIELD RD. DRY SWEEPING SHALL BE DONE AT THE END OF EACH WORK DAY.
  - THE CONTRACTOR SHALL FOLLOW AND USE BEST MANAGEMENT PRACTICES (BMP) FOR DISCHARGE INTO THE COUNTY'S STORM WATER SYSTEM DURING SITE STRIPPING, HAULING, EARTH MOVING ACTIVITIES, HEAVY EQUIPMENT OPERATIONS, GENERAL CONSTRUCTION AND SITE SUPERVISION, PAINTING, APPLICATIONS AND USE OF SOLVENTS AND ADHESIVES, LANDSCAPING AND GARDENING.
  - STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
  - ONCE THE PROPOSED ON-SITE DRAINAGE INLETS HAVE BEEN INSTALLED, THE CONTRACTOR SHALL PROTECT ANY BARE SOIL FROM ENTERING THE INLETS BY INSTALLING PROTECTIONS PER DETAIL 3.
  - CONTRACTOR SHALL CONTROL DUST AS OFTEN AS REQUIRED BY SITE CONDITIONS AND AS DIRECTED BY COUNTY OR PROJECT ENGINEER. DUST CONTROL IS REQUIRED YEAR AROUND.
  - IF EROSION DEVELOPS IN A TEMPORARY EROSION PROTECTED AREA OR ANY ESTABLISHED VEGETATED AREA, THE CONTRACTOR SHALL IMMEDIATELY ALLEVIATE AND REMEDY THE PROBLEM AND TAKE PREVENTATIVE MEASURES TO MINIMIZE THE POSSIBILITY OF ITS REOCCURRENCE AND ALSO TO PREVENT THE RESULTING FLOW OF SOILS OR WATER WITH SUSPENDED SOILS FROM GETTING INTO THE TOWN'S DRAINAGE SYSTEM OR ANY NATURAL DRAINAGE CHANNEL OR DITCH.
  - PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER. PROTECTION MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH MOVING ACTIVITIES AND CONSTRUCTION. ALL PROTECTION ARE REQUIRED YEAR AROUND.
  - ALL DISTURBED AREAS SHALL BE PROTECTED WITH BARK MULCH OR REPLANTED FOLLOWING GRADING OPERATIONS.
  - APPLICATIONS OF PESTICIDES AND FERTILIZERS SHALL BE DURING DRY WEATHER PERIODS TO PREVENT POLLUTED RUNOFF.
  - OWNERS REPRESENTATIVE AND CONTRACTOR TO PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
  - CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MEASURES ON SITE DURING "OFF SEASON". EROSION CONTROL MATERIALS ARE TO BE STORED ON SITE.
  - ALL TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING OR GRUBBING IS STARTED.

**COUNTY NOTES**

- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit construction access routes to stabilized, designated access points.
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Construction sites are required to have erosion control materials on-site during the "off-season".
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- Use of plastic sheeting between October 1st and April 30th is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.

**C. For Your Reference Only - Erosion Control Policies for Construction Sites:**

Project erosion and sediment control measures shall be maintained as necessary throughout the duration of the permit to be effective. If significant field changes are made, revised plans must be submitted for approval. The building inspector has the authority to require additional measures at any time, and may cancel any requested inspection if any measures are found to be deficient. A Stop Work Notice may be issued pursuant to the County's Stormwater Enforcement Response Plan until corrections have been made and applicable fees paid for staff enforcement time. The property owner shall demonstrate via building inspection, that the site is stabilized either with adequate erosion control or landscaping, prior to issuance of the Certificate of Occupancy.

**LEGEND / ABBREVIATIONS**

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PD	PATIO DRAIN		
MIN.	MINIMUM		
INV	INVERT		
SD	STORM DRAIN PIPE SEE UTILITY NOTE 4		
SDCO	SUB-DRAIN CLEANOUT		

**CLIFFORD BECHTEL AND ASSOCIATES, LLC.**  
 Engineering and Project Management  
 1321 25th Place, SE  
 SAMMAMISH, WA 98075  
 650-333-0103  
 cliffbechtel@comcast.net

Professional Engineer Seal: Clifford Bechtel, No. 32075, State of California, Civil.

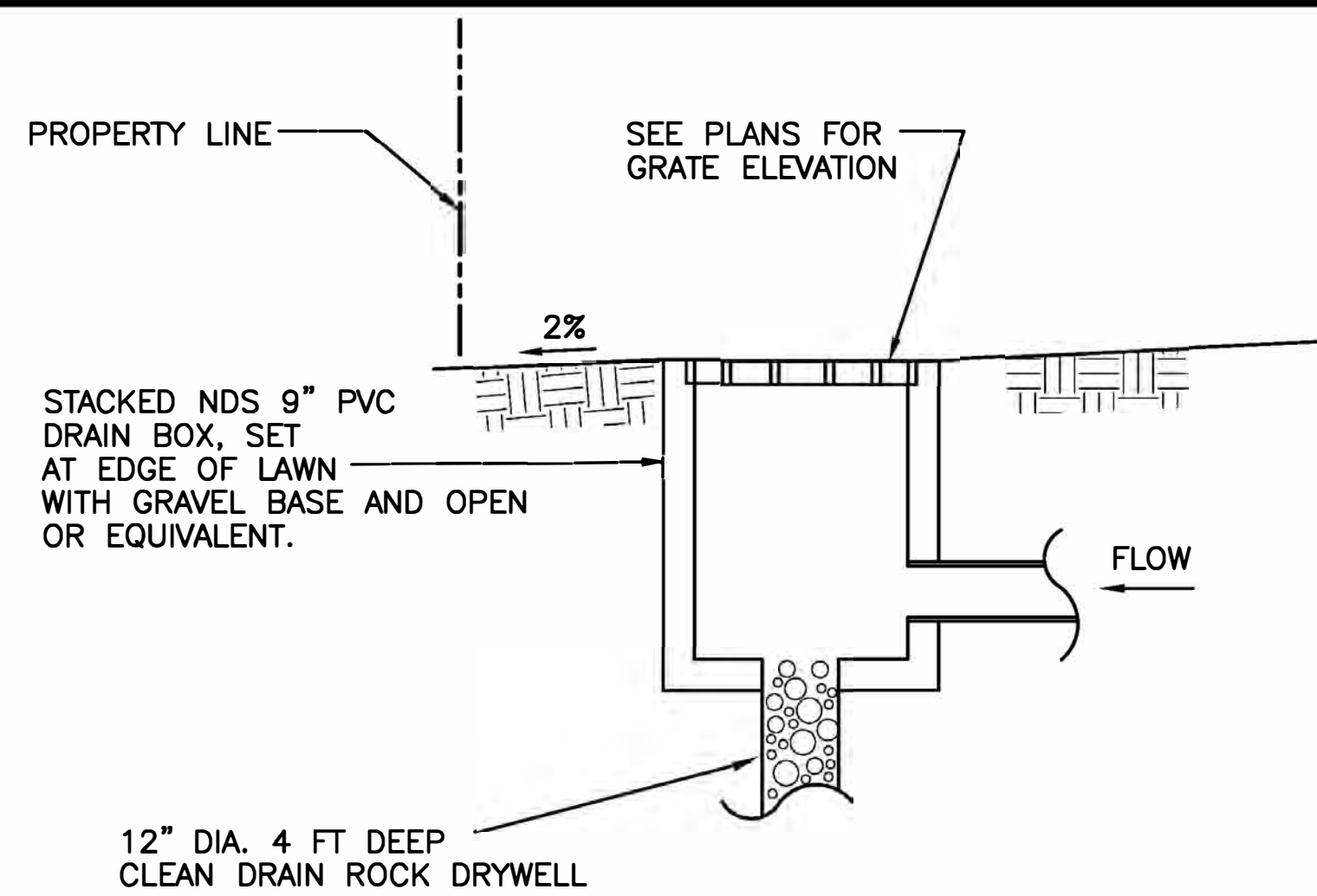
California  
 RETAIL / RESIDENTIAL REMODEL  
 3201 - 3205 MIDDLEFIELD ROAD  
 SAN MATEO COUNTY  
 Menlo Park

CONTENTS:  
**EROSION & SEDIMENT CONTROL & STAGING PLAN**

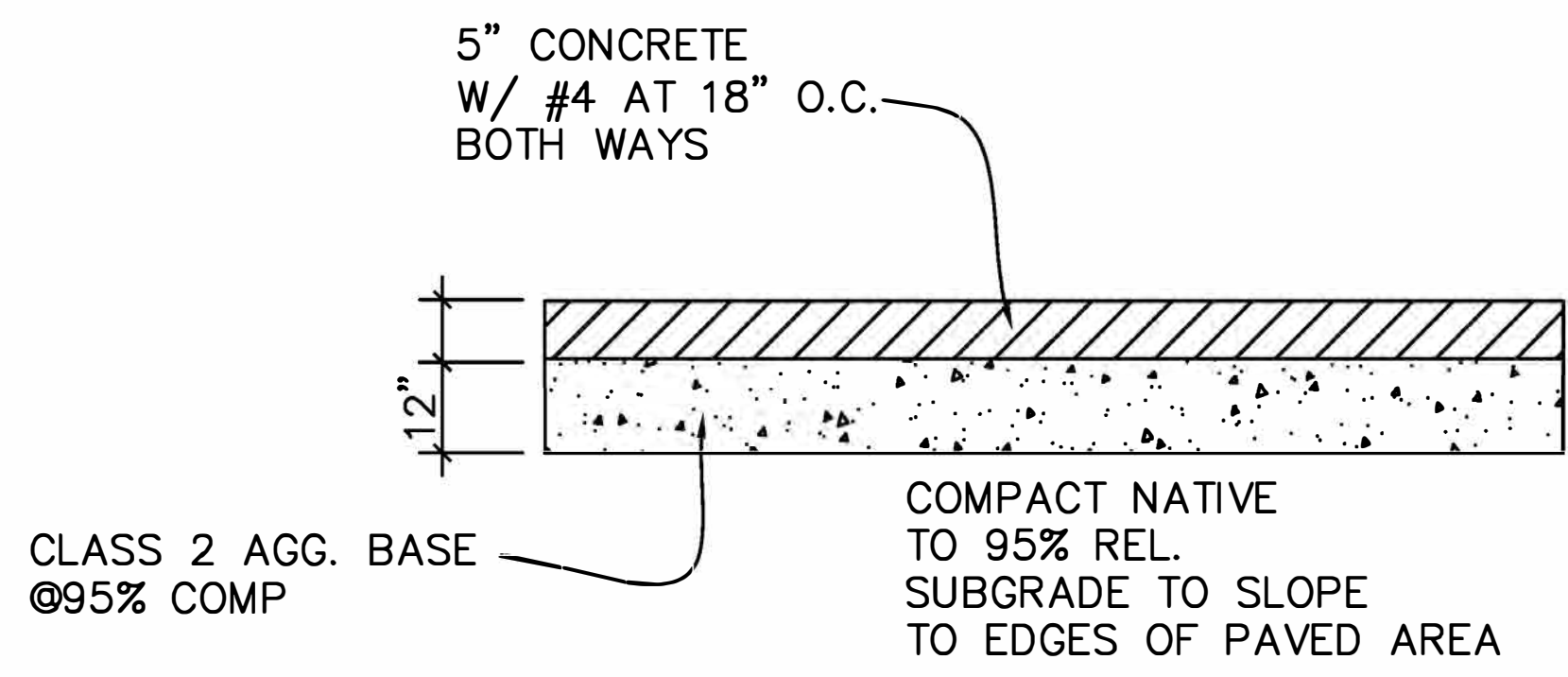
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 SCALE AS NOTED  
 REVISIONS:  
 DRAWN J.G.  
 CHECKED C.B.  
 JOB No. 2022815  
 SHEET No.  
**C-2**  
 OF 4 SHEETS

**EROSION AND SEDIMENT CONTROL & STAGING PLAN** 1/8"=1'-0"

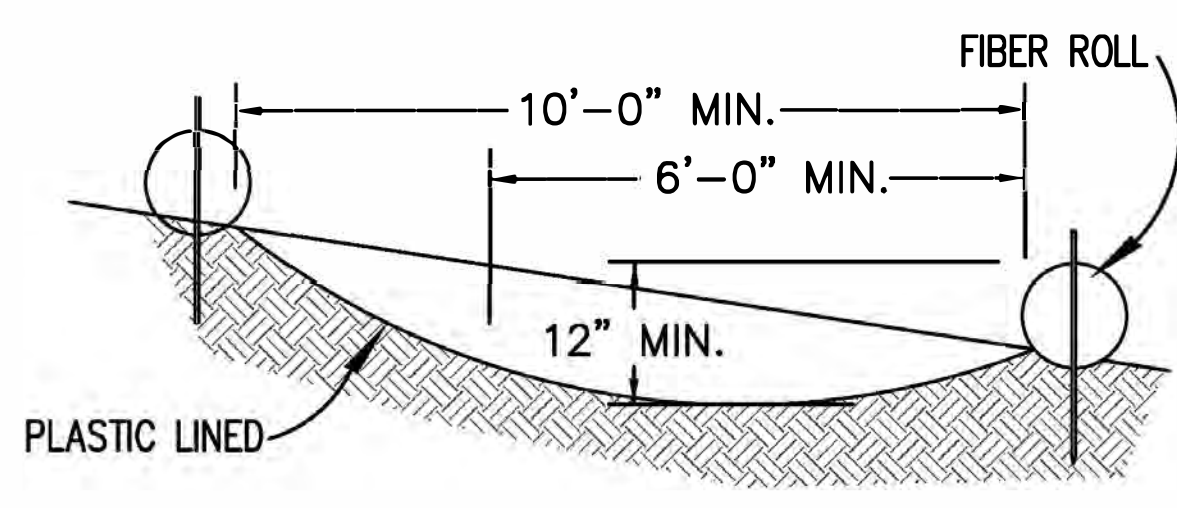




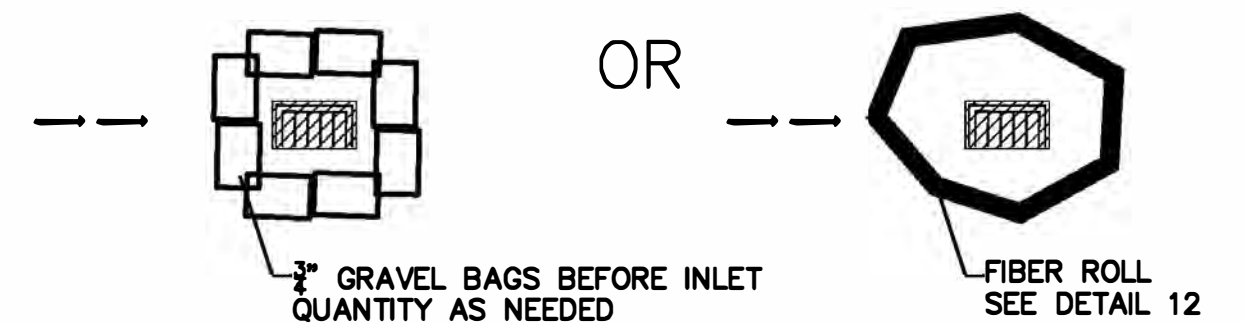
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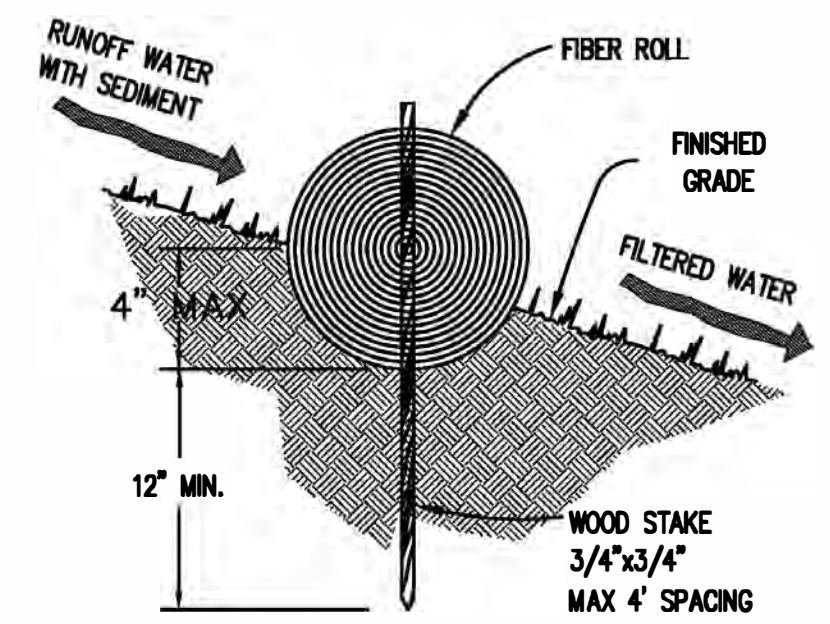
2 PAVEMENT SECTION  
C-3 NOT TO SCALE



8 CONSTRUCTION WASH OUT AREA  
NOT TO SCALE



9 INLET PROTECTION  
NOT TO SCALE

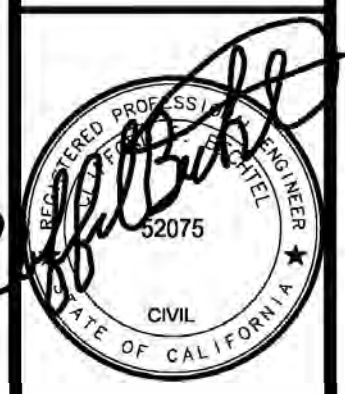


ENTRENCHMENT DETAIL  
IN SLOPE AREA

- NOTE:
1. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 4" DEEP, DUG ON CONTOUR.
  2. ADJACENT ROLLS SHALL TIGHTLY ABUT.
  3. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.

10 FIBER ROLL  
C-3 NOT TO SCALE

CLIFFORD BECHTEL  
AND ASSOCIATES, LLC.  
Engineering and Project Management  
1321 254th Place, SE  
SAMMAMISH, WA 98075  
855-333-0103  
cliffbechtel@comcast.net



Menlo Park California  
RETAIL / RESIDENTIAL REMODEL  
3201 - 3205 MIDDLEFIELD ROAD  
SAN MATEO COUNTY

CONTENTS:  
CIVIL  
DETAILS

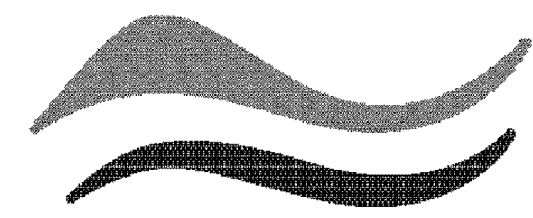
DATE 02/03/23  
SCALE AS NOTED

REVISIONS:


DRAWN J.G.  
CHECKED C.B.  
JOB No. 2022815

SHEET NO.  
C-3  
OF 4 SHEETS



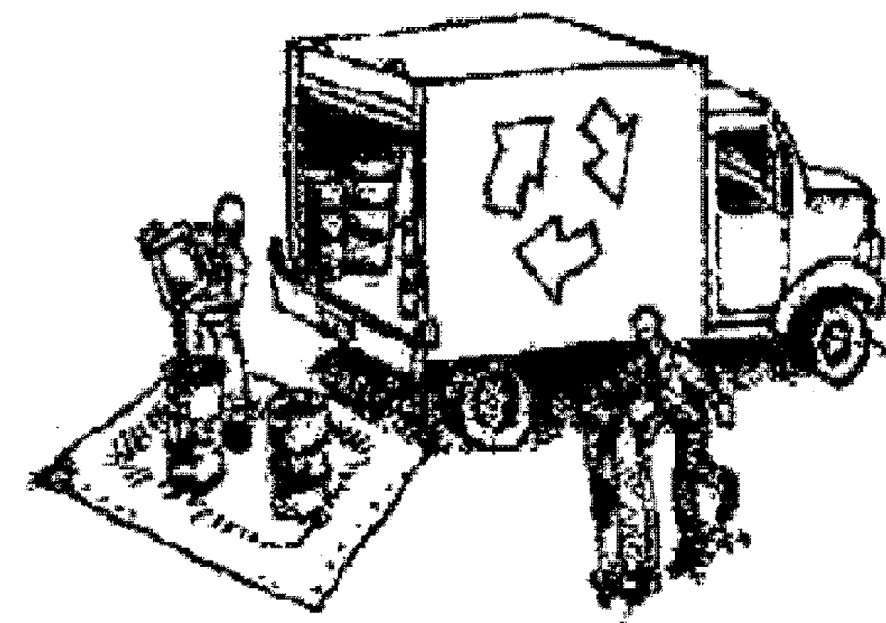


SAN MATEO COUNTYWIDE  
**Water Pollution  
Prevention Program**  
Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

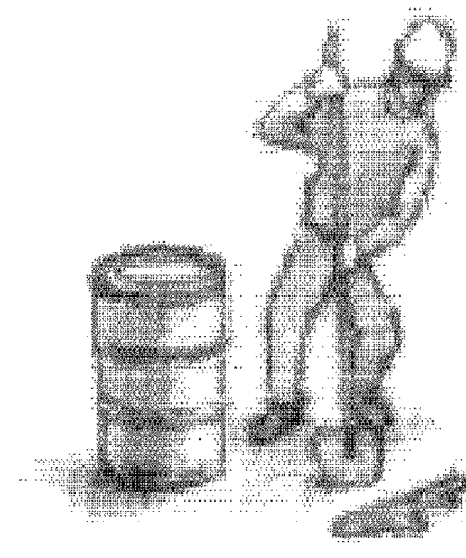
### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work

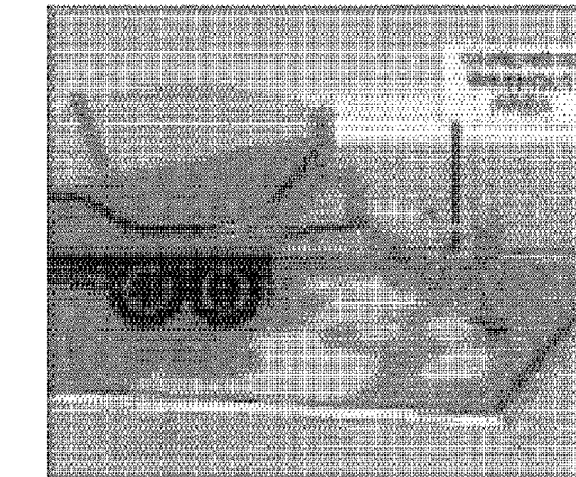


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



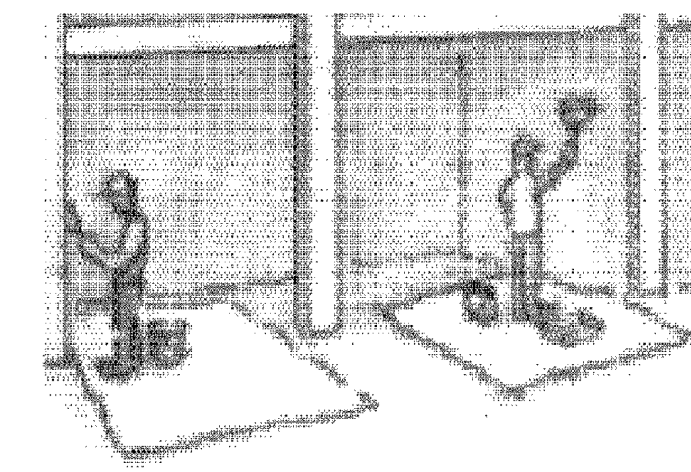
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

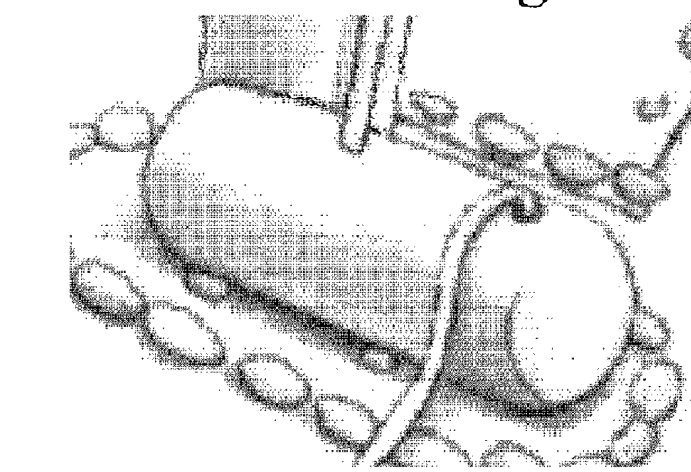
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

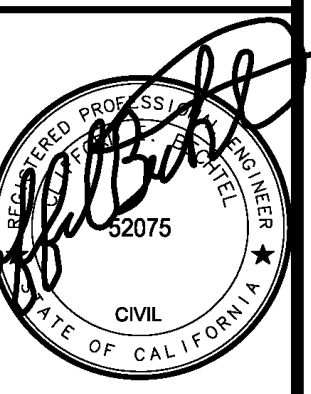
## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

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California  
RETAIL / RESIDENTIAL REMODEL  
3201 - 3205 MIDDLEFIELD ROAD  
SAN MATEO COUNTY  
Menlo Park

CONTENTS:

CONSTRUCTION  
BMP  
CHECKLIST

DATE 02/03/23

SCALE AS NOTED

REVISIONS:

DRAWN J.G.

CHECKED C.B.

JOB No. 2022815

SHEET No.

C-4

OF 4 SHEETS