

Project Amendments  
BLD2021-03082  
APN 037-333-200  
130 Bridgeport Dr.  
Half Moon Bay, CA 94019

## SUMMARY OF CHANGES

November 2, 2023

Dear Coastside Design Review Committee:

We are respectfully submitting changes to our project at 130 Bridgeport Dr. in Half Moon Bay which are detailed in the Plans titled Permit Set Cycle 4 and dated 10/27/2023. The Project was approved by CDRC on July 8, 2021, and assigned a building permit on August 1, 2022.

The first change proposed is the building height. The approved Ridge Elevation was 62.5 and the surveyed height is 63.3. The height of the structure is 25'4" and well within the height restrictions for zoning district R-1/S-17. The approved height was 24'1". This architectural change was made to match the drawings provided by the structural engineer. Details are noted in the Plans on pages G0.01 under Site Data, A3.01 Proposed Exterior Elevation – East and North, A3.02 Proposed Exterior Elevation – West and South, A6.01 Proposed Building Section, and A8.02 Daylight Plane Study – Elevations. Please note that the approved Daylight Plane Study showed the eaves of the front of the second story on the new addition extending 6" outside of the daylight plane (there are no changes to the first floor).

The second proposed change is our paint plan, roof color, and gutters. These changes are noted on pages A1.01, A3.02, A8.02 Color/Material Board and Statement of Compliance – DR STDS. The approved color was Newburyport Blue for the siding and Extra White for the trim and fascia. The colors we chose are Benjamin Moore Blue Note for the siding, which is grayer than Newburyport Blue but is very similar. For the trim and fascia, we chose Benjamin Moore Classic Gray, which is considered an off-white, as you can see in the Color/Material Board on page A8.02. After design consultation and research, we chose an off-white for the trim because a true white would be too bright in contrast to the blue siding.

We also propose to paint the garage door and chimney in Blue Note to match the siding, as we have seen on many homes in our neighborhood and throughout the Coast.

For the roof, it was cost effective to replace the roof on the existing house when the new roof was installed so we removed the beige shingles that were included in the approved plans and went with dark gray shingles for the entire home.

Lastly, after consultation with our gutter contractor, we chose copper gutters as an aesthetic upgrade and because they will last forever.

We appreciate your review of these changes and hope they can be approved so we may continue with our project as we are living on site during construction.

We are happy to discuss these changes further and answer any questions you may have.

Respectfully,

Dustin and Elyane Stefanick  
Homeowners of 130 Bridgeport Dr.



GENERAL NOTES

- A. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS, AND CONDITIONS (INCLUDING, BUT NOT LIMITED TO: IRRIGATION PIPES, ELECTRICAL CONDUIT, WATER LINES, DRAINAGE LINES, ETC.) IN FIELD PRIOR TO SUBMITTING PRICES...
B. VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFIT FIXTURES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OR INSTALLATION OF ITEM WORK.
C. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY WHEN ANY CONDITION IS DISCOVERED THAT WOULD PREVENT PROPER EXECUTION OF THE CONTRACT DOCUMENTS...
D. THE CONTRACTOR IS TO BE RESPONSIBLE FOR THE TIMELY COORDINATION AND SEQUENCING OF VARIOUS ARCHITECTS, ENGINEERS, LOCAL AUTHORITIES, MANUFACTURERS, SUPPLIERS, AND INSTALLERS...
E. EACH SUBCONTRACTOR IS CONSIDERED A SPECIALIST IN HIS/ HER RESPECTIVE FIELD AND SHALL, PRIOR TO THE SUBMISSION OF HIS/ HER BID AND THE PERFORMANCE OF WORK, NOTIFY THE CONTRACTOR OF ANY WORK CALLED OUT IN THE CONSTRUCTION DOCUMENTS WHICH CANNOT BE EXECUTED AS INDICATED OR CANNOT BE FULLY GUARANTEED...
F. UNLESS SPECIFICALLY NOTED OTHERWISE IN THE DRAWINGS, ALL WORK, MATERIALS, LABOR, TRANSPORTATION, TOOLS, AND EQUIPMENT CALLED FOR ARE TO BE PROVIDED AND INSTALLED BY THE CONTRACTOR AS A PART OF THE CONTRACT FOR CONSTRUCTION.
G. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
H. ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL AND WORKMAN-LIKE MANNER IN KEEPING WITH THE HIGHEST STANDARDS OF THE CONSTRUCTION INDUSTRY BY WORKMEN EXPERIENCED AND LICENSED IN THEIR RESPECTIVE TRADES...
I. ALL WORK HEREIN SHALL BE DONE IN ACCORDANCE WITH AIA GENERAL CONDITIONS DOCUMENT A-201, LATEST EDITION...
J. SOME OF THE SPECIFICATIONS APPEAR IN THE FORM OF NOTES AND SCHEDULES IN THE DRAWINGS AND, EXCEPT WHERE SPECIFICALLY CALLED OUT BY MANUFACTURER OR CATALOG NUMBER, ARE GENERIC IN NATURE...
K. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS. VERIFY USE OF SIMILAR DETAILS WITH ARCHITECT PRIOR TO PROCEEDING...
L. CONTRACTOR IS TO INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS...
M. PROVIDE ALL SUBMITTALS REQUESTED FOR ARCHITECT'S REVIEW INCLUDING MATERIAL SAMPLES, IN FIELD PAINT-OUTS AND CABINET AND OTHER REQUESTED SHOP DRAWINGS.
N. CONTRACTOR SHALL NOT DUMP ANY PLASTER, PAINT, OR SOLID WASTES ON THE SITE OR THROUGH THE SITE WASTE DISPOSAL SYSTEM...
O. THE CONTRACTOR SHALL CONDUCT THE FINAL CLEANING OF ALL AREAS AFFECTED BY THIS WORK...
P. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SMALLER SCALE DWGS, TYP.
Q. GREAT CARE HAS BEEN TAKEN TO ENSURE KEY ELEMENTS ALIGN AND ARE PLACED ON CENTER (AS NOTED)...
R. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE...
S. WINDOW AND DOOR LOCATIONS ARE TYPICALLY GIVEN IN THE PLANS...
T. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION...
U. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE PREPARED BY THE ARCHITECT EXCLUSIVELY AND COPYRIGHT OF THE ARCHITECT ALONE...

CALGREEN MANDATORY MEASURE GENERAL NOTES

- CALGREEN 4.410 BUILDING MAINTENANCE AND OPERATION 4.410.1 OPERATION AND MAINTENANCE MANUAL. SAMPLE FORM FOUND HERE: https://www.hcd.ca.gov/building-standards/calgreen/cal-green-forms.shtml AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCESSIBLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:
1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
A. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, PHOTOVOLTAIC SYSTEMS, ELECTRIC VEHICLE CHARGERS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
B. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
C. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
D. LANDSCAPE IRRIGATION SYSTEMS.
E. WATER REUSE SYSTEMS.
3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
6. INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
10. A COPY OF ALL SPECIAL INSPECTIONS VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.

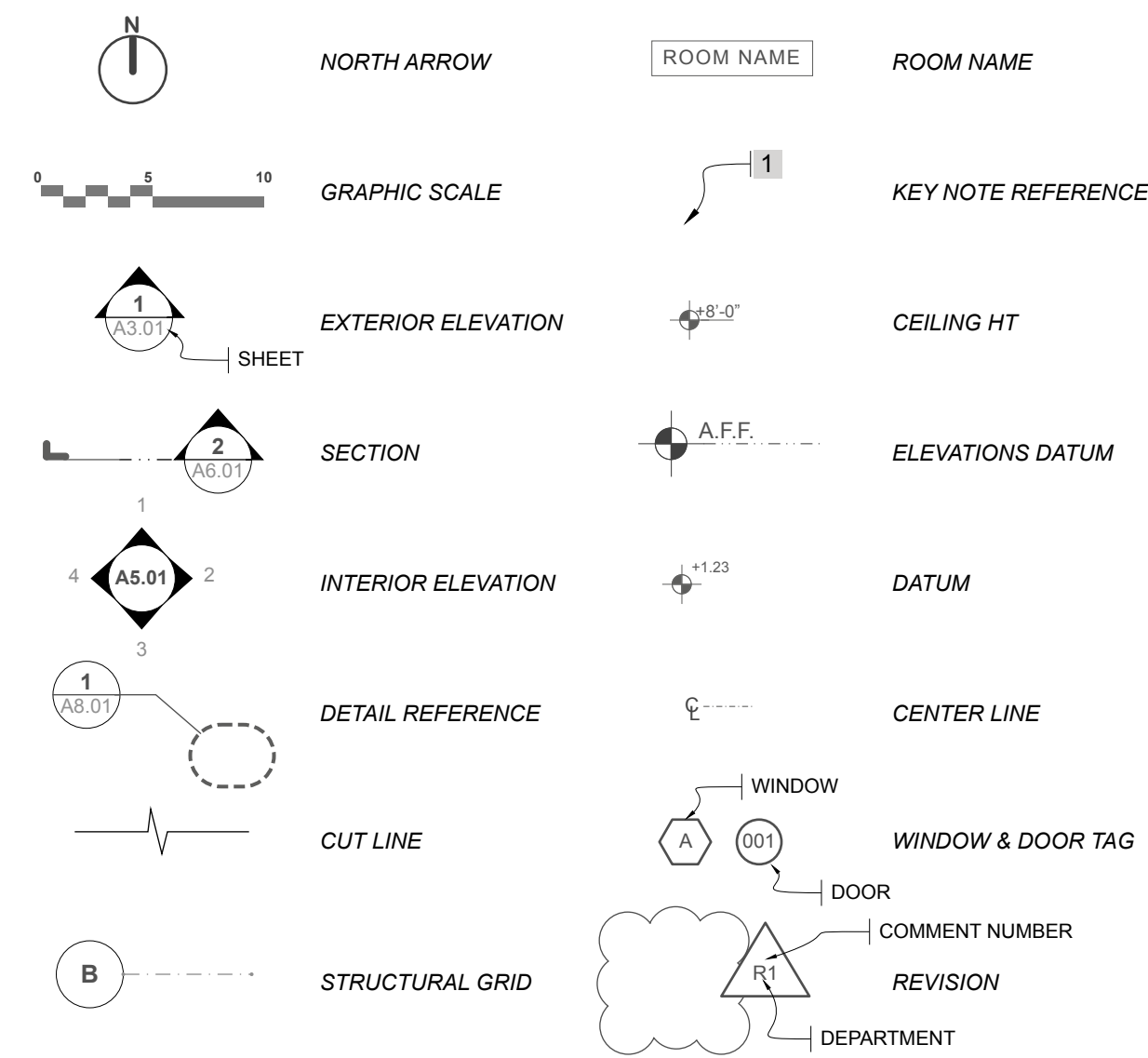
CALGREEN 702.2 SPECIAL INSPECTION (HCO). WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. IN ADDITION TO OTHER CERTIFICATIONS OR QUALIFICATIONS ACCEPTABLE TO THE ENFORCING AGENCY, THE FOLLOWING CERTIFICATIONS OR EDUCATION MAY BE CONSIDERED BY THE ENFORCING AGENCY WHEN EVALUATING THE QUALIFICATIONS OF A SPECIAL INSPECTOR:

- 1. CERTIFICATION BY A NATIONAL OR REGIONAL GREEN BUILDING PROGRAM OR STANDARD PUBLISHER.
2. CERTIFICATION BY A STATEWIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATION, SUCH AS HERS RATERS, BUILDING PERFORMANCE CONTRACTORS, AND HOME ENERGY AUDITORS.
3. SUCCESSFUL COMPLETION OF A THIRD PARTY APPRENTICE TRAINING PROGRAM IN THE APPROPRIATE TRADE.
4. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

NOTES:
1. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.
2. HERS RATERS ARE SPECIAL INSPECTORS CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION (CEC) TO RATE HOMES IN CALIFORNIA ACCORDING TO THE HOME ENERGY RATING SYSTEM (HERS).

CALGREEN 703 VERIFICATIONS 703.1 DOCUMENTATION. DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED APPLICABLE CHECKLIST.

SYMBOL LEGEND



JOB COPY TO REMAIN ON SITE AT ALL TIMES

PROJECT DESCRIPTION THIS PROJECT INCLUDES THE CONSTRUCTION OF A NEW 768 SF NEW ADDITION TO AN EXISTING SINGLE FAMILY HOME.

Table with 2 columns: SITE DATA and ARCHITECTURAL. Includes APN (037-333-200), NET LOT SIZE (7,689 SF), ZONING DISTRICT (R-1/ S-17/ DR/ CD), CIVIL (GRADING AND DRAINAGE PLAN, EROSION CONTROL PLAN), ARCHITECTURAL (EXTERIOR 3D VIEWS, SITE PLAN, FLOOR PLANS, ROOF PLANS, EXTERIOR ELEVATIONS, etc.), and STRUCTURAL (FOUNDATION PLAN, FRAMING PLAN, ROOF FRAMING PLAN, etc.).

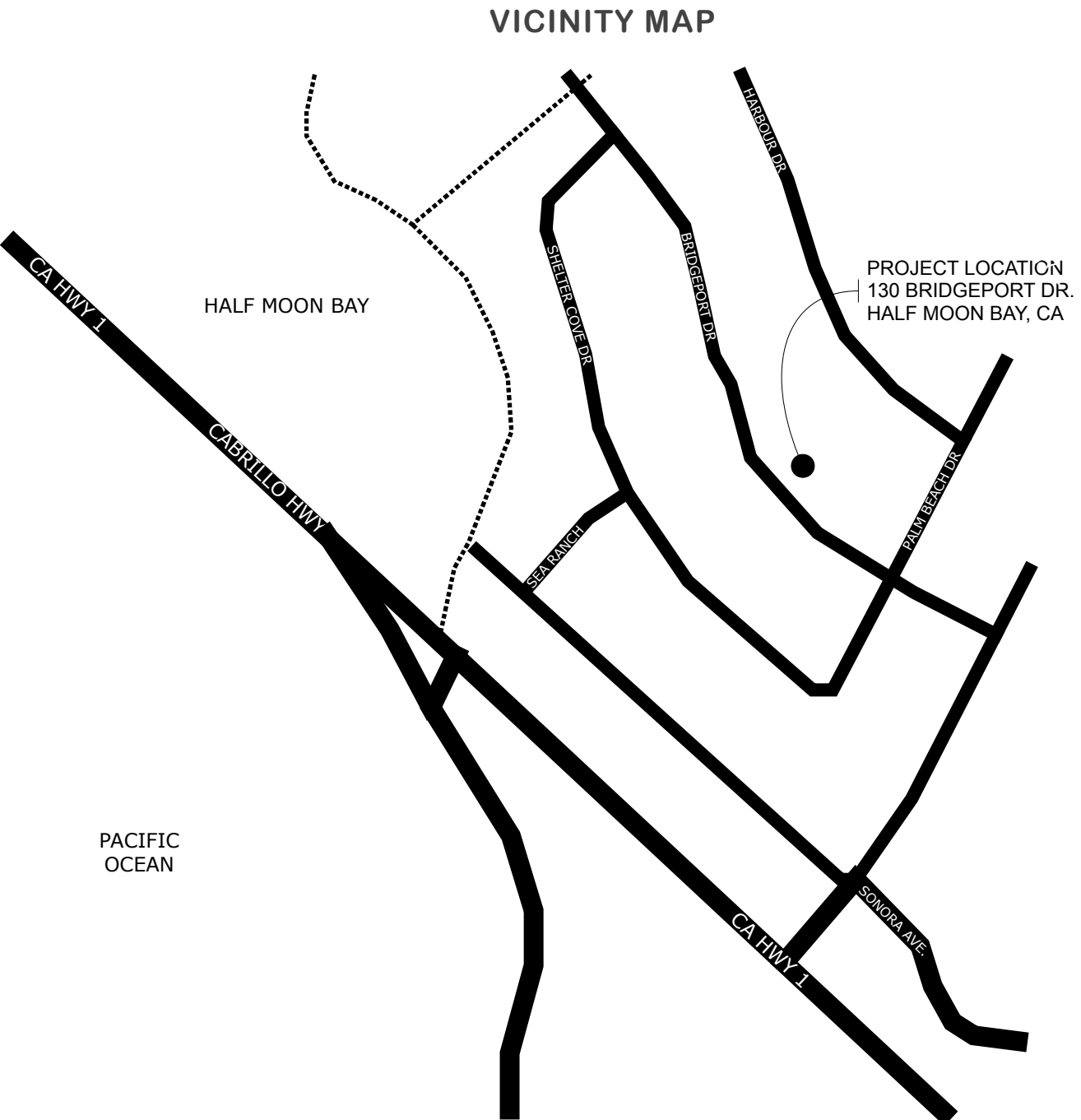
Table with 2 columns: PROJECT DATA and APPLICABLE CODES. Includes CONSTRUCTION TYPE (V-B), OCCUPANCY (R-3/U), (E) STORIES (1), (P) STORIES (2), SOLAR ARRAY (N/A), FIRE SPRINKLER (NONE), and APPLICABLE CODES (2019 CALIFORNIA CODE OF REGULATIONS, TITLE 24, 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA RESIDENTIAL CODE, etc.).

AREA CALCULATIONS

Table with 2 columns: AREA CALCULATIONS and ALLOWABLE LOT COVERAGE. Includes SITE AREA (7,689 SF), ALLOWABLE FAR (0.33) (4,075 SF), (E) MAIN HOUSE (NO CHANGE) (1,116 SF), (E) GARAGE (NO CHANGE) (441 SF), (E) FLOOR AREA (1,557 SF), (N) ADDITION - 1ST FLOOR (+420 SF), (N) ADDITION - 2ND FLOOR (+366 SF), (N) FLOOR AREA (2,343 SF), ALLOWABLE LOT COVERAGE (.35) (2,691 SF), (E) MAIN HOUSE (NO CHANGE) (1,116 SF), (E) GARAGE (NO CHANGE) (441 SF), (E) COVERED PATIO (NO CHANGE) (271 SF), (E) COVERED PORCH TO DEMO: (61 SF), (E) LOT COVERAGE (1,889 SF), (N) ADDITION 1ST FLOOR (+420 SF), (E) COVERED PORCH TO DEMO: (-61 SF), (N) LOT COVERAGE (2,248 SF).

PROJECT DIRECTORY

- CLIENT: DUSTIN & ELYANE STEFANICK, 130 BRIDGEPORT DRIVE, HALF MOON BAY, CA 94019, TEL: (831) 332-9383, dustystefanick@gmail.com
DESIGNER: KELEIGH GRIM, 1522 W 40TH STREET, FREMONT, MI 49412, TEL: (303) 746-0661, keleighgrim@gmail.com
STRUCTURAL ENGINEER: BRIAN DOTSON CONSULTING ENGINEER, PO BOX 371022, MONTARA, CA 94307, TEL: (650) 722-0219, bdce@speglobal.net
ENERGY ANALYST: EMERALD ECO, ERIC SWEET CEA CGBP, 415-515-2405, www.emeraldECO.com



APPROVED PLANNING Feb 02, 2022 BY: rpanglao San Mateo County

SETBACK REQUIREMENTS table with columns: MINIMUM, APPROVED. Rows: Front (20', 20' 2"), Rear (N/A, N/A), Rt. Side (N/A, N/A), Lf. Side (10', 11' 4"), Other (N/A, N/A).

Height Verification table with columns: Required, Not Required, Benchmark Elev., Garage Elev., 1st Floor Elev., Ridge Elev. Values: 38, 38, N/A, 62.5.

haven design build HAVEN DESIGN HAVEN DESIGN BUILD, LLC KELEIGH GRIM, DESIGNER PH. (303) 746-0661 keleighgrim@gmail.com

PROJECT STEFANICK RESIDENCE NEW ADDITION 130 BRIDGEPORT DRIVE HALF MOON BAY, CA 94019

CLIENT DUSTIN & ELYANE STEFANICK PH. (831) 332-9383 dustystefanick@gmail.com elyanestefanick@gmail.com

ISSUE 01/19/21 03/29/21 12/10/21 03/11/22 03/11/22 DESIGN REVIEW SET Revision 1 - Planning & Fire PERMIT SET CYCLE 1 UTILIZE PERMIT SET CYCLE 3



**GENERAL NOTES**

- A. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS, AND CONDITIONS (INCLUDING, BUT NOT LIMITED TO: IRRIGATION PIPES, ELECTRICAL CONDUIT, WATER LINES, DRAINAGE LINES, ETC.) IN FIELD PRIOR TO SUBMITTING PRICES, AND AT APPROPRIATE TIMES DURING THE COURSE OF CONSTRUCTION BEFORE RELATED PROJECT PHASES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN REASONABLY INFERRED FROM SUCH AN EXAMINATION.
- B. VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFIT FIXTURES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OR INSTALLATION OF ITEM WORK.
- C. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY WHEN ANY CONDITION IS DISCOVERED THAT WOULD PREVENT PROPER EXECUTION OF THE CONTRACT DOCUMENTS INCLUDING ANY CONFLICTS BETWEEN THE SITE CONDITIONS AND THE CONTRACT DOCUMENTS AND ANY CONFLICTS OR AMBIGUITIES WITHIN THE CONTRACT DOCUMENTS.
- D. THE CONTRACTOR IS TO BE RESPONSIBLE FOR THE TIMELY COORDINATION AND SEQUENCING OF VARIOUS ARCHITECTS, ENGINEERS, LOCAL AUTHORITIES, MANUFACTURERS, SUPPLIERS, AND INSTALLERS REQUIREMENTS AND FOR THE TIMELY REVIEW OF REQUIRED EQUIPMENT AND MATERIALS FOR INSTALLATION PRIOR TO BEGINNING CONSTRUCTION OR SEQUENCING SUBSEQUENT CONSTRUCTION.
- E. EACH SUBCONTRACTOR IS CONSIDERED A SPECIALIST IN HIS/ HER RESPECTIVE FIELD AND SHALL, PRIOR TO THE SUBMISSION OF HIS/ HER BID AND THE PERFORMANCE OF WORK, NOTIFY THE CONTRACTOR OF ANY WORK CALLED OUT IN THE CONSTRUCTION DOCUMENTS WHICH CANNOT BE EXECUTED AS INDICATED OR CANNOT BE FULLY GUARANTEED. THE CONTRACTOR WILL THEN NOTIFY THE OWNER AND ARCHITECT PRIOR TO ACCEPTANCE OF CONTRACTOR'S BID.
- F. UNLESS SPECIFICALLY NOTED OTHERWISE IN THE DRAWINGS, ALL WORK, MATERIALS, LABOR, TRANSPORTATION, TOOLS, AND EQUIPMENT CALLED FOR ARE TO BE PROVIDED AND INSTALLED BY THE CONTRACTOR AS A PART OF THE CONTRACT FOR CONSTRUCTION.
- G. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- H. ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL AND WORKMAN-LIKE MANNER IN KEEPING WITH THE HIGHEST STANDARDS OF THE CONSTRUCTION INDUSTRY BY WORKMEN EXPERIENCED AND LICENSED IN THEIR RESPECTIVE TRADES. ALL SUBCONTRACTORS SHALL COORDINATE THEIR WORK AND SCHEDULING WITH THE WORK OF OTHER SUBCONTRACTORS AND/OR THE GENERAL CONTRACTOR, AND SHALL BE RESPONSIBLE FOR HIS/ HER OWN TOOLS AND LABOR, REMOVE HIS/ HER TOOLS AND SURPLUS MATERIALS, AS WELL AS ANY DEBRIS RESULTING FROM THIS WORK FOR THE SITE.
- I. ALL WORK HEREIN SHALL BE DONE IN ACCORDANCE WITH AIA GENERAL CONDITIONS DOCUMENT A-201, LATEST EDITION. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL PROVISIONS OF PREVAILING APPLICABLE CODES OF THE JURISDICTION THE PROJECT IS LOCATED. CODE COMPLIANCE SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. IN THE CASE OF CONFLICT WITH THE DRAWINGS AND APPLICABLE CODES OR OF CONFLICT WITHIN THE DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER AND REQUEST DIRECTION.
- J. SOME OF THE SPECIFICATIONS APPEAR IN THE FORM OF NOTES AND SCHEDULES IN THE DRAWINGS AND, EXCEPT WHERE SPECIFICALLY CALLED OUT BY MANUFACTURER OR CATALOG NUMBER, ARE GENERIC IN NATURE. UNLESS NOTED OTHERWISE, ALL PRODUCTS ARE TO BE NEW AND UNUSED. ALL PRODUCTS USED IN CONSTRUCTION ARE TO BE COMPATIBLE WITH OTHER PRODUCTS USED WITHIN THE SAME BUILDING COMPONENTS OR PRINTED INSTRUCTIONS, RECOMMENDATIONS, DRAWINGS OR SPECIFICATIONS, AS WELL AS WITH ALL APPLICABLE BUILDING CODES.
- K. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS. VERIFY USE OF SIMILAR DETAILS WITH ARCHITECT PRIOR TO PROCEEDING. LOCATIONS OF SEALANT, CAULKING, AND FLASHING, ETC., SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S RECOMMENDATIONS AND STANDARD INDUSTRY PRACTICE.
- L. CONTRACTOR IS TO INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. IN THE EVENT THAT MANUFACTURER'S SPECIFICATIONS CONFLICT WITH THE DRAWINGS, THEN CONTACT THE ARCHITECT AND OWNER FOR RESOLUTION.
- M. PROVIDE ALL SUBMITTALS REQUESTED FOR ARCHITECT'S REVIEW INCLUDING MATERIAL SAMPLES, IN FIELD PAINT-OUTS AND CABINET AND OTHER REQUESTED SHOP DRAWINGS.
- N. CONTRACTOR SHALL NOT DUMP ANY PLASTER, PAINT, OR SOLID WASTES ON THE SITE OR THROUGH THE SITE WASTE DISPOSAL SYSTEM. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUB-CONTRACTORS AND TRADES ON A REGULAR BASIS. THE CONTRACTOR SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE. SEE CONSTRUCTION WASTE MANAGEMENT PLAN.
- O. THE CONTRACTOR SHALL CONDUCT THE FINAL CLEANING OF ALL AREAS AFFECTED BY THIS WORK. HE SHALL VISUALLY INSPECT ALL EXTERIOR AND INTERIOR SURFACES AND REMOVE ALL DIRT, WASTE, STAINS, PAINT DROPPINGS, CLEAN AND POLISH ALL GLASS EITHER INSTALLED OR AFFECTED BY THIS WORK.
- P. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SMALLER SCALE DWGS, TYP.
- Q. GREAT CARE HAS BEEN TAKEN TO ENSURE KEY ELEMENTS ALIGN AND ARE PLACED ON CENTER (AS NOTED). CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY DESIGNER AND OWNER SHOULD ANY DISCREPANCIES OCCUR TO MAINTAIN DESIGN INTENTIONS.
- R. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE. CABINET DIMENSIONS AND CLEAR DIMENSIONS ARE TO THE FACE OF FINISH (FACE OF CABINET). CONCRETE AND CONCRETE BLOCK DIMENSIONS ARE TO FACE OF CONCRETE AND CONCRETE BLOCK. ALL VERTICAL DIMENSIONS ARE TO THE TOP OF THE STRUCTURAL FLOOR SHEATHING UNLESS OTHERWISE NOTED.
- S. WINDOW AND DOOR LOCATIONS ARE TYPICALLY GIVEN IN THE PLANS. COORDINATE WITH SPECIFIC MFR. DOOR & WINDOW PRODUCTS FOR REQ'D R.O. DIMENSIONS.
- T. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR THE USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. ALL QUESTIONS, DISCREPANCIES, AND CLARIFICATIONS BROUGHT TO THE ARCHITECT'S & OWNER'S ATTENTION WILL BE SENT BY THE CONTRACTOR VIA E-MAIL.
- U. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE PREPARED BY THE ARCHITECT EXCLUSIVELY AND COPYRIGHT OF THE ARCHITECT ALONE AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT BETWEEN THE ARCHITECT AND PROJECT OWNER, SUBJECT TO THE PROVISIONS OF THE CONTRACT BETWEEN OWNER AND ARCHITECT.

**CALGREEN MANDATORY MEASURE GENERAL NOTES**

- CALGREEN 4.410 BUILDING MAINTENANCE AND OPERATION 4.410.1 OPERATION AND MAINTENANCE MANUAL. SAMPLE FORM FOUND HERE: <https://www.hcd.ca.gov/building-standards/calgreen/cal-green-forms.shtml> AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:
1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
  2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
    - A. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, PHOTOVOLTAIC SYSTEMS, ELECTRIC VEHICLE CHARGERS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
    - B. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
    - C. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
    - D. LANDSCAPE IRRIGATION SYSTEMS.
    - E. WATER REUSE SYSTEMS.
  3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
  4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
  5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
  6. INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
  7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
  8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
  9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
  10. A COPY OF ALL SPECIAL INSPECTIONS VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.

CALGREEN 702.2 SPECIAL INSPECTION [HCO]. WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. IN ADDITION TO OTHER CERTIFICATIONS OR QUALIFICATIONS ACCEPTABLE TO THE ENFORCING AGENCY, THE FOLLOWING CERTIFICATIONS OR EDUCATION MAY BE CONSIDERED BY THE ENFORCING AGENCY WHEN EVALUATING THE QUALIFICATIONS OF A SPECIAL INSPECTOR:

1. CERTIFICATION BY A NATIONAL OR REGIONAL GREEN BUILDING PROGRAM OR STANDARD PUBLISHER.
2. CERTIFICATION BY A STATEWIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATION, SUCH AS HERS RATERS, BUILDING PERFORMANCE CONTRACTORS, AND HOME ENERGY AUDITORS.
3. SUCCESSFUL COMPLETION OF A THIRD PARTY APPRENTICE TRAINING PROGRAM IN THE APPROPRIATE TRADE.
4. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

NOTES:  
 1. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.  
 2. HERS RATERS ARE SPECIAL INSPECTORS CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION (CEC) TO RATE HOMES IN CALIFORNIA ACCORDING TO THE HOME ENERGY RATING SYSTEM (HERS).

CALGREEN 703 VERIFICATIONS 703.1 DOCUMENTATION. DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED APPLICABLE CHECKLIST.



**NEW RESIDENTIAL ADDITION  
 APN 037-333-200  
 130 BRIDGEPORT DRIVE  
 HALF MOON BAY, CA 94019**

**PROPOSED**

**PROJECT DESCRIPTION**  
 THIS PROJECT INCLUDES THE CONSTRUCTION OF A NEW 768 SF NEW ADDITION TO AN EXISTING SINGLE FAMILY HOME.

**SITE DATA**

|                  |                              |
|------------------|------------------------------|
| APN:             | 037-333-200                  |
| NET LOT SIZE:    | 7,689 SF                     |
| FLOOD ZONE:      | R-1/ S-17/ DR/ CD            |
| YEAR BUILT:      |                              |
| HISTORIC STATUS: | NONE                         |
| EASEMENTS:       | NONE                         |
| MINIMUM SETBACKS |                              |
| FRONT:           | 20'                          |
| REAR:            | 20'                          |
| INTERIOR SIDES:  | 15' COMBINED, 5' MIN. 1 SIDE |

**EXISTING STRUCTURE**

|          |         |
|----------|---------|
| HEIGHT:  | 16'-7"  |
| STORIES: | 1 STORY |

**PROPOSED STRUCTURE**

|          |           |
|----------|-----------|
| HEIGHT:  | 25'-4"    |
| STORIES: | 2 STORIES |

**PROJECT DATA**

|                    |       |
|--------------------|-------|
| CONSTRUCTION TYPE: | V-B   |
| OCCUPANCY:         | R-3/U |
| (E) STORIES:       | 1     |
| (P) STORIES:       | 2     |
| SOLAR ARRAY:       | N/A   |
| FIRE SPRINKLER     |       |
| MAIN HOUSE:        | NONE  |

**\*\* FIRE SPRINKLERS UNDER A SEPARATE PERMIT. \*\***

**AREA CALCULATIONS**

|                                      |                 |
|--------------------------------------|-----------------|
| SITE AREA                            | 7,689 SF        |
| <b>ALLOWABLE FAR (0.33)</b>          | <b>4,075 SF</b> |
| (E) MAIN HOUSE (NO CHANGE):          | 1,116 SF        |
| (E) GARAGE (NO CHANGE):              | 441 SF          |
| (E) FLOOR AREA:                      | 1,557 SF        |
| (N) ADDITION - 1ST FLOOR             | + 420 SF        |
| (N) ADDITION - 2ND FLOOR             | + 366 SF        |
| <b>(N) FLOOR AREA:</b>               | <b>2,343 SF</b> |
| <b>ALLOWABLE LOT COVERAGE (.35):</b> | <b>2,691 SF</b> |
| (E) MAIN HOUSE (NO CHANGE):          | 1,116 SF        |
| (E) GARAGE (NO CHANGE):              | 441 SF          |
| (E) COVERED PATIO (NO CHANGE):       | 271 SF          |
| (E) COVERED PORCH TO DEMO:           | 61 SF           |
| (E) LOT COVERAGE:                    | 1,889 SF        |
| (N) ADDITION 1ST FLOOR               | + 420 SF        |
| (E) COVERED PORCH TO DEMO:           | - 61 SF         |
| <b>(N) LOT COVERAGE:</b>             | <b>2,248 SF</b> |

**SHEET INDEX**

|       |   |
|-------|---|
| G0.01 | TITLE SHEET                               |
| G0.02 | CAL GREEN CHECKLIST                       |
| G0.03 | CAL GREEN CHECKLIST                       |
| G0.04 | CONSTRUCTION WASTE, STORM WATER, & SURVEY |
| G0.05 | ENERGY MANDATORY MEASURES                 |
| G0.06 | ENERGY ANALYSIS                           |
| G0.07 | PLANNING DEPT. CONDITIONS OF APPROVAL     |

**CIVIL**

|    |                           |
|----|---------------------------|
| C1 | GRADING AND DRAINAGE PLAN |
| C2 | EROSION CONTROL PLAN      |

**ARCHITECTURAL**

|       |                             |
|-------|-----------------------------|
| A1.01 | EXTERIOR 3D VIEWS           |
| A1.02 | SITE PLAN                   |
| A2.01 | FLOOR PLANS                 |
| A2.02 | ROOF PLANS                  |
| A3.01 | EXTERIOR ELEVATIONS         |
| A3.02 | EXTERIOR ELEVATIONS         |
| E0.01 | ELECTRICAL & LIGHTING PLANS |
| A6.01 | BUILDING SECTIONS           |
| A7.01 | WINDOW & DOOR SCHEDULE      |
| A8.01 | ARCHITECTURAL DETAILS       |
| A8.02 | DESIGN REVIEW SUPPLEMENTAL  |

FP-1 OMITTED \*\*UNDER SEPARATE PERMIT

**STRUCTURAL**

|     |                           |
|-----|---------------------------|
| S-1 | FOUNDATION PLAN           |
| S-2 | FRAMING PLAN              |
| S-3 | ROOF FRAMING PLAN         |
| S-4 | STRUCTURAL DETAILS        |
| S-5 | STRUCTURAL DETAILS        |
| S-6 | STRUCTURAL SPECIFICATIONS |

**APPLICABLE CODES**

2019 CALIFORNIA CODE OF REGULATIONS, TITLE 24  
 2019 CALIFORNIA BUILDING CODE  
 2019 CALIFORNIA RESIDENTIAL CODE

PART 2.5 CALIFORNIA RESIDENTIAL CODE  
 PART 3 CALIFORNIA ELECTRICAL CODE  
 PART 4 CALIFORNIA MECHANICAL CODE  
 PART 5 CALIFORNIA PLUMBING CODE  
 PART 6 CALIFORNIA ENERGY CODE  
 PART 9 CALIFORNIA FIRE CODE  
 PART 11 CALIFORNIA GREEN BUILDING STANDARDS

SAN MATEO COUNTY REGULATIONS & MUNICIPAL CODES

**SYMBOL LEGEND**

|  |                    |  |                    |
|--|--------------------|--|--------------------|
|  | NORTH ARROW        |  | ROOM NAME          |
|  | GRAPHIC SCALE      |  | KEY NOTE REFERENCE |
|  | EXTERIOR ELEVATION |  | CEILING HT         |
|  | SECTION            |  | ELEVATIONS DATUM   |
|  | INTERIOR ELEVATION |  | DATUM              |
|  | DETAIL REFERENCE   |  | CENTER LINE        |
|  | CUT LINE           |  | WINDOW & DOOR TAG  |
|  | STRUCTURAL GRID    |  | COMMENT NUMBER     |
|  |                    |  | REVISION           |
|  |                    |  | DEPARTMENT         |

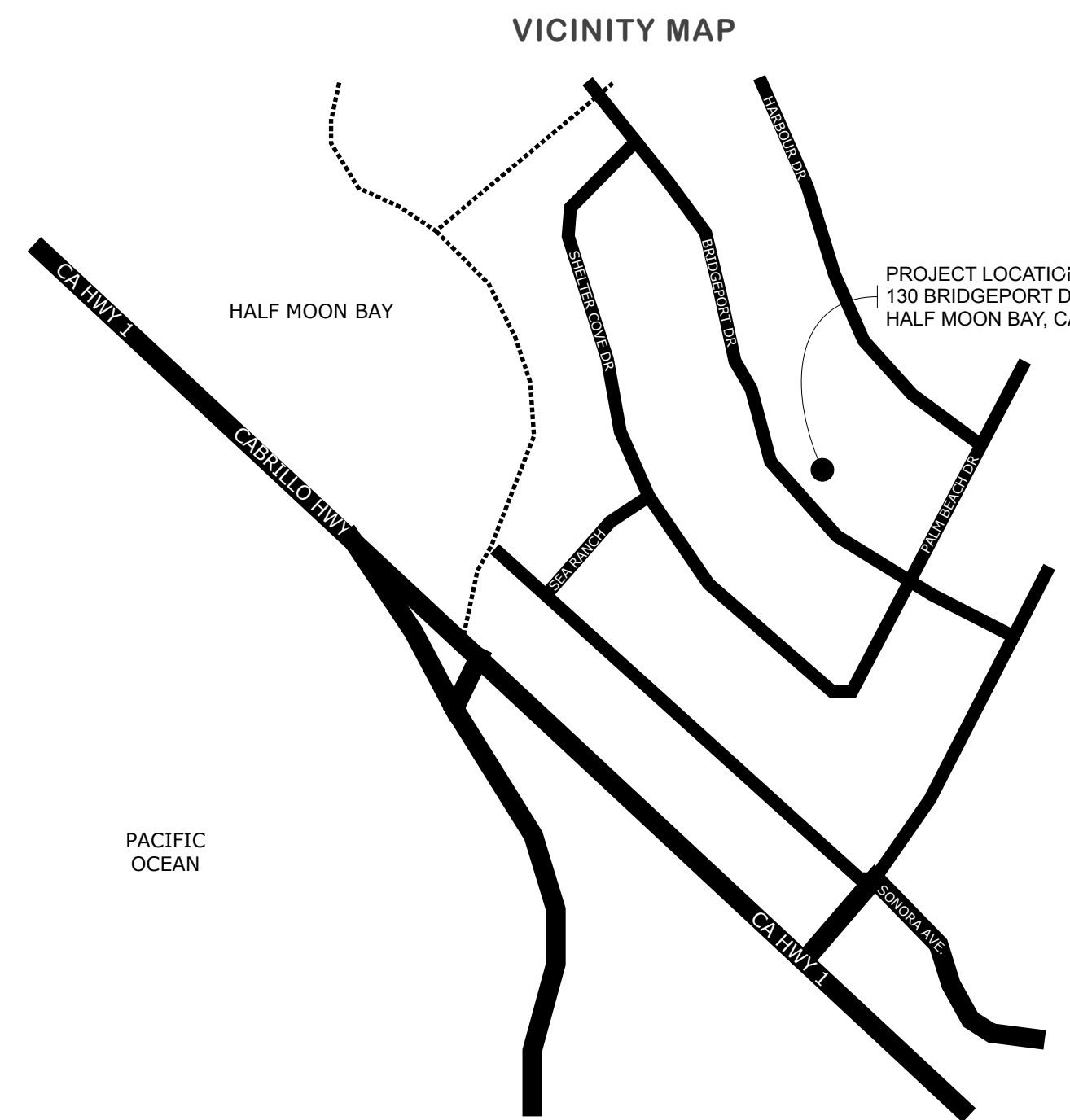
**PROJECT DIRECTORY**

**CLIENT**  
 DUSTIN & ELYANE STEFANICK  
 130 BRIDGEPORT DRIVE  
 HALF MOON BAY, CA 94019  
 TEL: (831) 332-9383  
 dustystefanick@gmail.com

**DESIGNER**  
 KELEIGH GRIM  
 1522 W 40TH STREET  
 FREMONT, MI 49412  
 TEL: (303) 746-0661  
 keleighgrim@gmail.com

**STRUCTURAL ENGINEER**  
 BRIAN DOTSON CONSULTING ENGINEER  
 PO BOX 371022  
 MONTARA, CA 94307  
 TEL: (650) 722-0219  
 bdce@spcglobl.net

**ENERGY ANALYST**  
 EMERALD ECO  
 ERIC SWEET CEA CGBP  
 415-515-2405  
 www.emeraldECO.com



HAVEN DESIGN

HAVEN DESIGN BUILD, LLC  
 KELEIGH GRIM, DESIGNER  
 PH. (303) 746-0661  
 keleighgrim@gmail.com



PROJECT  
**STEFANICK RESIDENCE**  
 NEW ADDITION  
 130 BRIDGEPORT DRIVE  
 HALF MOON BAY, CA 94019

CLIENT  
**DUSTIN & ELYANE STEFANICK**  
 PH. (831) 332-9383  
 dustystefanick@gmail.com  
 elyanestefanick@gmail.com

ISSUE  
 01/16/21  
 03/29/21  
 12/10/21  
 07/11/22  
 12/14/22  
 12/22/22  
 02/08/23  
 02/12/23

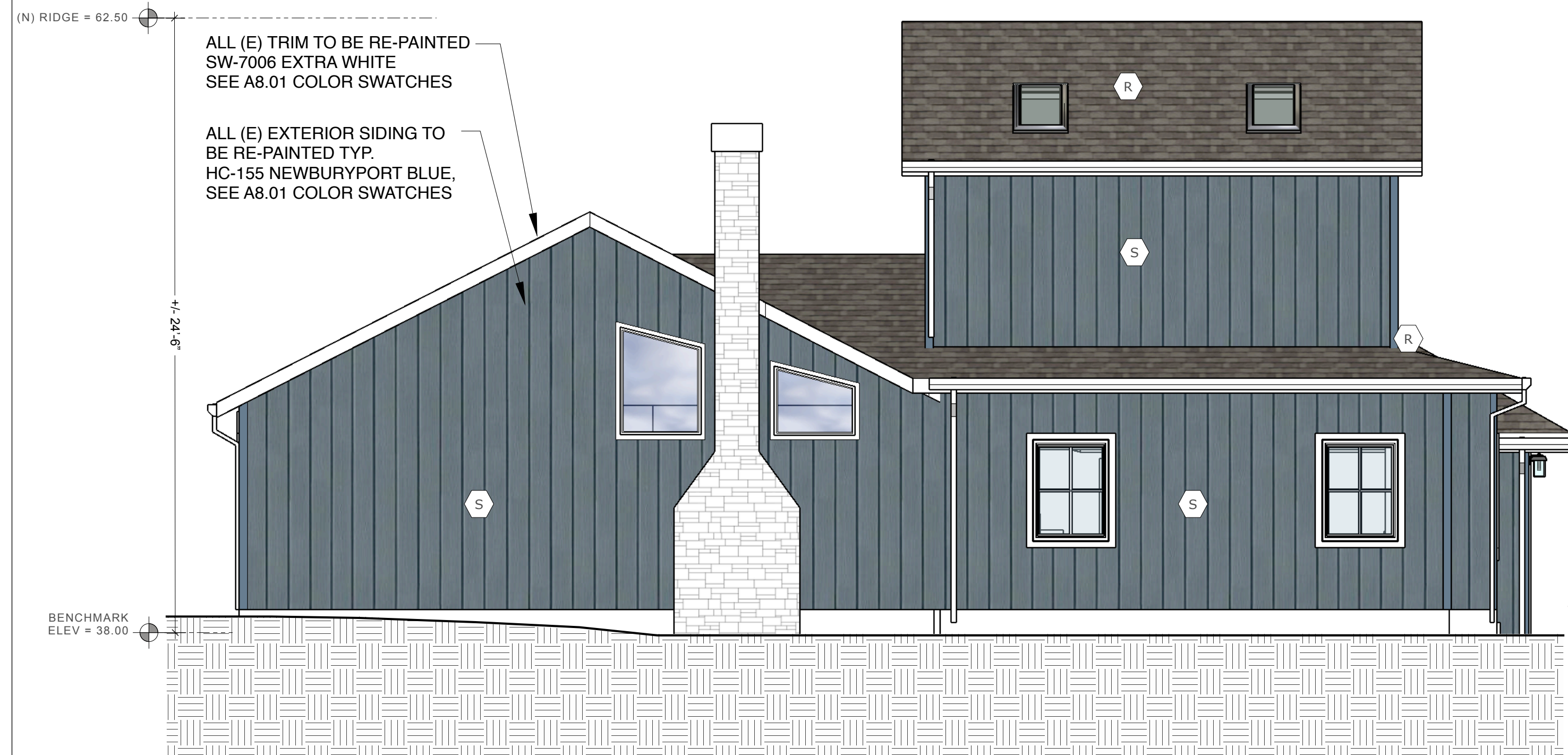
DESIGN REVIEW SET  
 Revision 1 - Planning & Fire  
 PERMIT SET CYCLE 1  
 PERMIT SET CYCLE 2  
 PERMIT SET CYCLE 3  
 CONSTRUCTION 1 SET  
 CONSTRUCTION 2 SET  
 CONSTRUCTION 3 SET  
 PERMIT SET CYCLE 4

TITLE SHEET

**G0.01**



# EXISTING

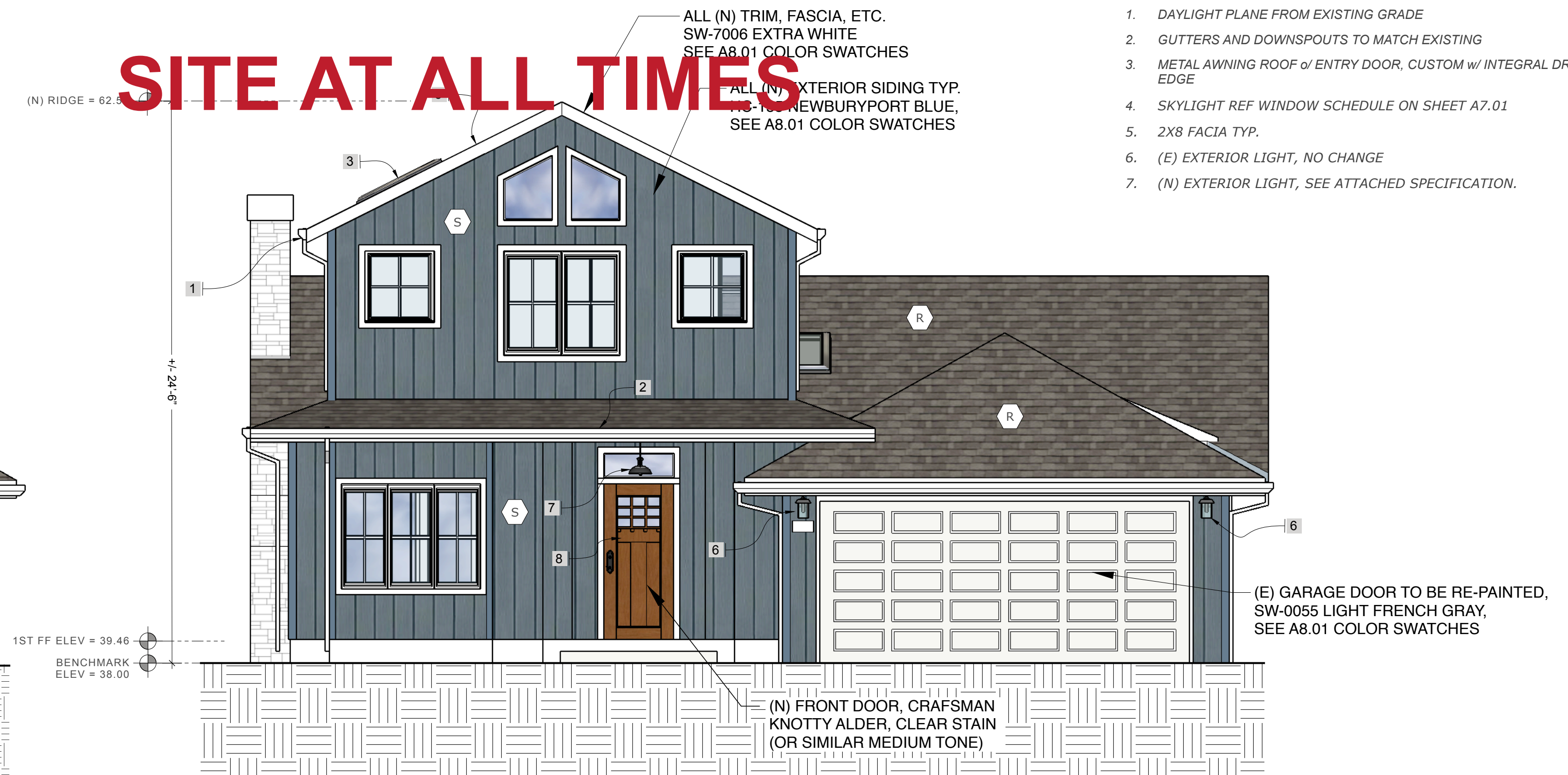


**3** PROPOSED EXTERIOR ELEVATION - WEST  
scale: 1/4"=1'-0"

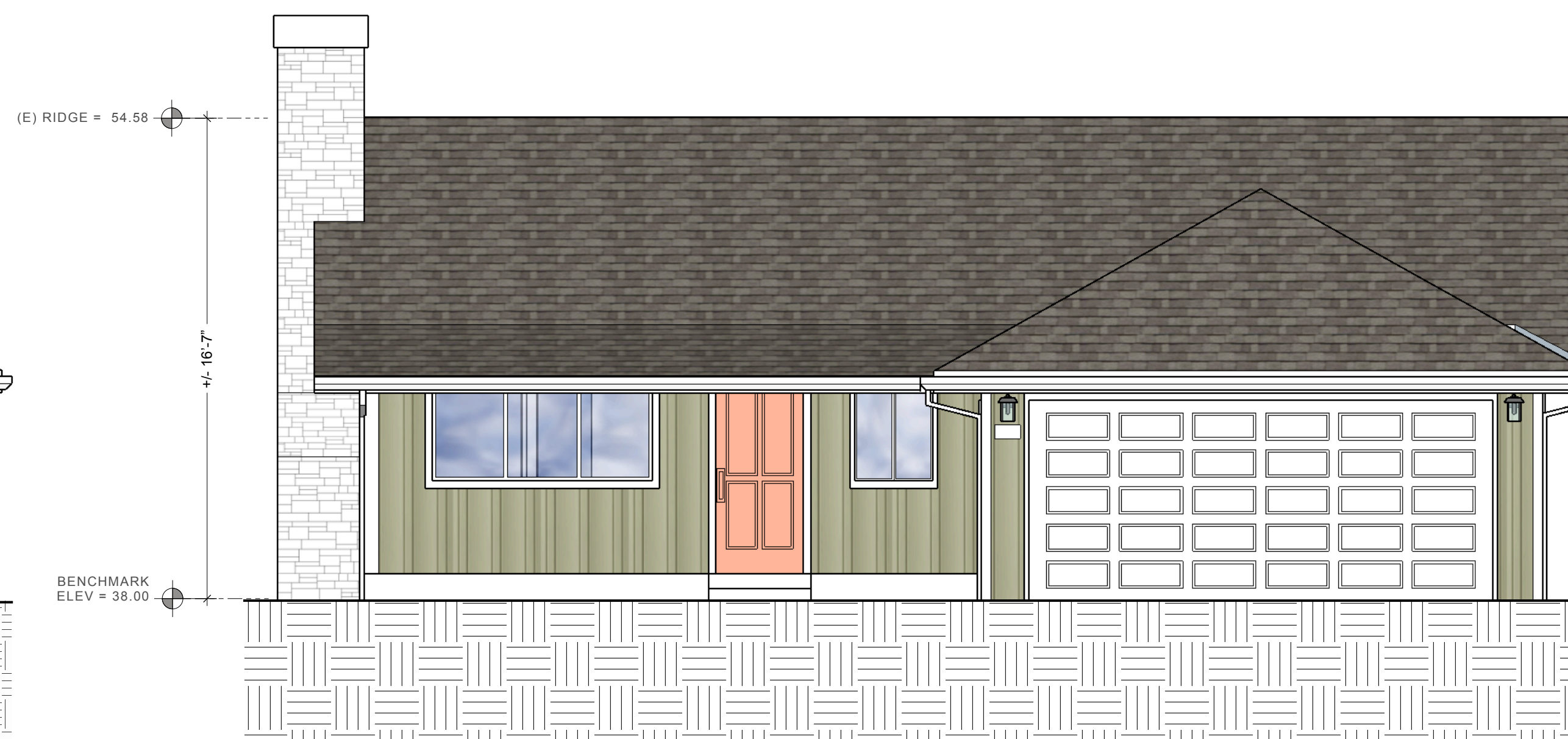


**4** EXISTING EXTERIOR ELEVATION - WEST  
scale: 1/4"=1'-0"

# JOB COPY TO REMAIN ON SITE AT ALL TIMES



**1** PROPOSED EXTERIOR ELEVATION - SOUTH  
scale: 1/4"=1'-0"



**2** EXISTING EXTERIOR ELEVATION - SOUTH  
scale: 1/4"=1'-0"

## LEGEND

- S SIDING: BOARD & BATTON CEMENT BOARD TO MATCH EXISTING. SIDING AND TRIM TO MATCH EXISTING HOME
- R ROOFING: CLASS A COMP SHINGLE OVER UNDERLAYMENT PER CBC R905. TO MATCH EXISTING. MUST MEET COOL ROOF COMPLIANCE COMPOSITION SHINGLE OVER UNDERLAYMENT PER CBC R905. COOL ROOF PER TITLE 24. TO MEET ALL REQUIREMENTS OF COASTSIDE FIRE DISTRICT ORDINANCE 2019-03 - CLASS B OR HIGHER FOR ALL ROOFING & ROOFING MATERIALS AS DEFINED BY CBC.

## KEYNOTES

1. DAYLIGHT PLANE FROM EXISTING GRADE
2. GUTTERS AND DOWNSPOUTS TO MATCH EXISTING
3. METAL AWNING ROOF w/ ENTRY DOOR, CUSTOM w/ INTEGRAL DRIP EDGE
4. SKYLIGHT REF WINDOW SCHEDULE ON SHEET A7.01
5. 2X8 FACIA TYP.
6. (E) EXTERIOR LIGHT, NO CHANGE
7. (N) EXTERIOR LIGHT, SEE ATTACHED SPECIFICATION.

**haven**  
design  
build

HAVEN DESIGN  
HAVEN DESIGN BUILD, LLC  
KELIGH GRIM, DESIGNER  
PH. (303) 746-0661  
keleighgrim@gmail.com

PROJECT  
**STEFANICK RESIDENCE  
NEW ADDITION**  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019

CLIENT  
**JUSTIN & ELYANE STEFANICK**  
PH. (831) 332-9383  
dustystefanick@gmail.com  
elyanestefanick@gmail.com

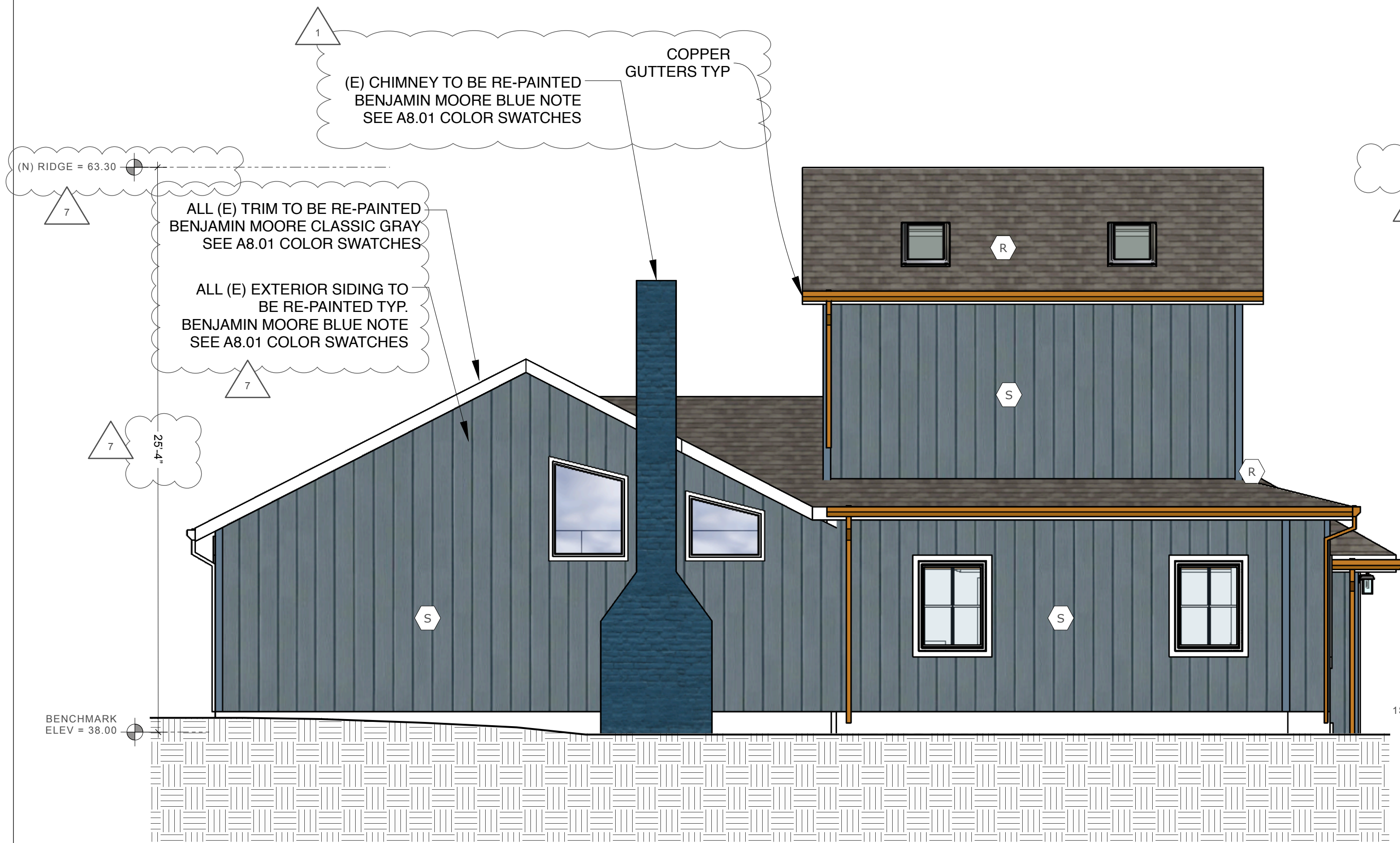
ISSUE

|          |                              |
|----------|------------------------------|
| 01/15/21 | DESIGN REVIEW SET            |
| 03/26/21 | Revision 1 - Planning & Fire |
| 12/10/21 | PERMIT SET CYCLE 1           |
| 07/11/22 | PERMIT SET CYCLE 2           |
| 07/11/22 | PERMIT SET CYCLE 3           |

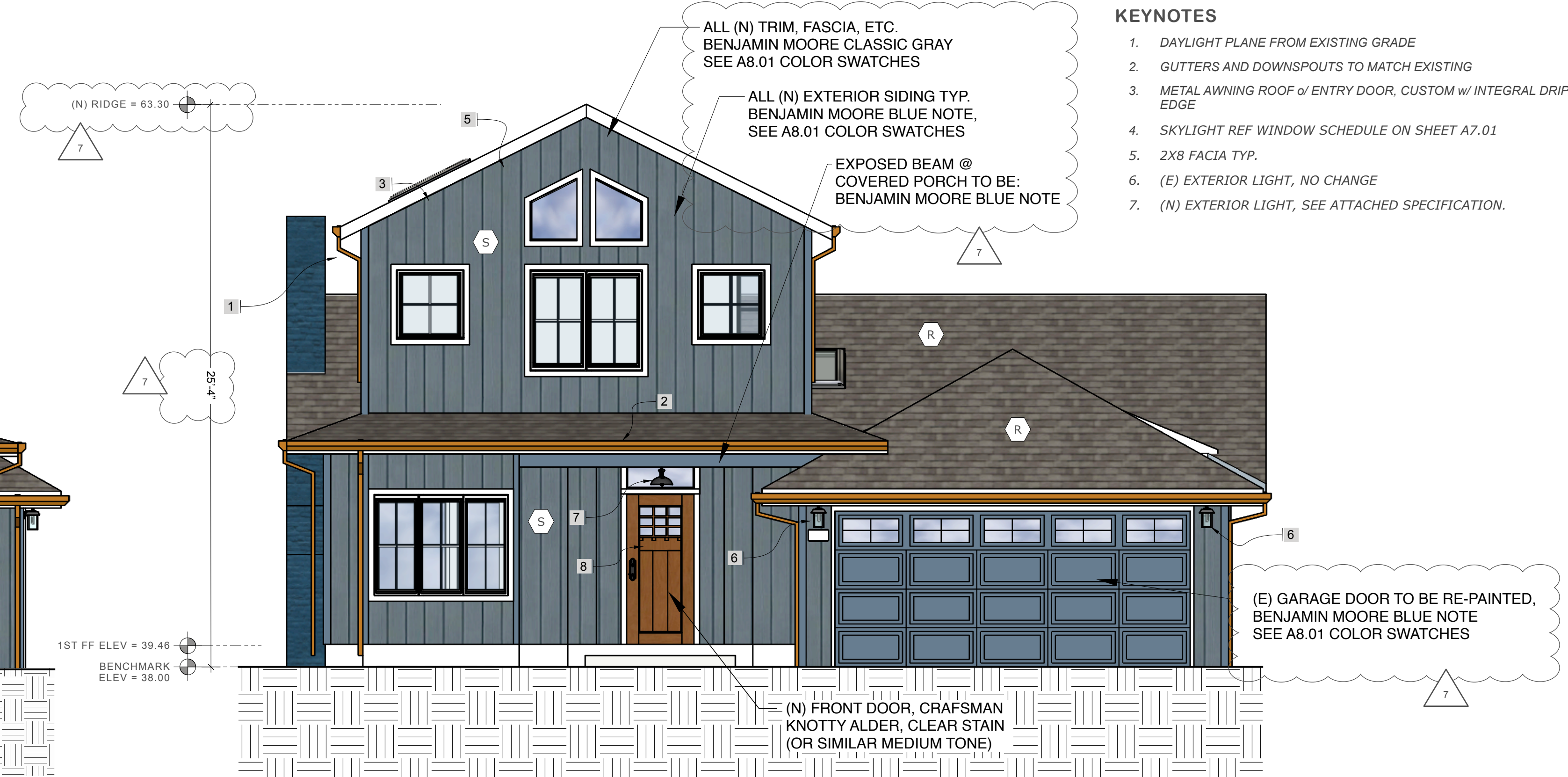
EXTERIOR  
ELEVATIONS



# PROPOSED



**3** PROPOSED EXTERIOR ELEVATION - WEST  
scale: 1/4"=1'-0"



**1** PROPOSED EXTERIOR ELEVATION - SOUTH  
scale: 1/4"=1'-0"



**4** EXISTING EXTERIOR ELEVATION - WEST  
scale: 1/4"=1'-0"



**2** EXISTING EXTERIOR ELEVATION - SOUTH  
scale: 1/4"=1'-0"

**LEGEND**

**S** SIDING: BOARD & BATTON CEMENT BOARD TO MATCH EXISTING. SIDING AND TRIM TO MATCH EXISTING HOME

**R** ROOFING: CLASS A COMP SHINGLE OVER UNDERLAYMENT PER CBC R905. TO MATCH EXISTING. MUST MEET COOL ROOF COMPLIANCE COMPOSITION SHINGLE OVER UNDERLAYMENT PER CBC R905. COOL ROOF PER TITLE 24. TO MEET ALL REQUIREMENTS OF COASTSIDE FIRE DISTRICT ORDINANCE 2019-03 - CLASS B OR HIGHER FOR ALL ROOFING & ROOFING MATERIALS AS DEFINED BY CBC.

**KEYNOTES**

1. DAYLIGHT PLANE FROM EXISTING GRADE
2. GUTTERS AND DOWNSPOUTS TO MATCH EXISTING
3. METAL AWNING ROOF w/ ENTRY DOOR, CUSTOM w/ INTEGRAL DRIP EDGE
4. SKYLIGHT REF WINDOW SCHEDULE ON SHEET A7.01
5. 2X8 FACIA TYP.
6. (E) EXTERIOR LIGHT, NO CHANGE
7. (N) EXTERIOR LIGHT, SEE ATTACHED SPECIFICATION.

**haven**  
design  
build

HAVEN DESIGN

HAVEN DESIGN BUILD, LLC  
KELIGH GRIM, DESIGNER  
PH. (303) 746-0661  
keleighgrim@gmail.com

*Kaleigh Grim*

PROJECT  
**STEFANICK RESIDENCE**  
**NEW ADDITION**  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019

CLIENT  
**DUSTIN & ELYANE STEFANICK**  
PH. (831) 332-9383  
dustystefanick@gmail.com  
elyanestefanick@gmail.com

ISSUE

|          |                              |
|----------|------------------------------|
| 01/19/21 | DESIGN REVIEW SET            |
| 03/29/21 | Revision 1 - Planning & Fire |
| 12/16/21 | PERMIT SET CYCLE 1           |
| 07/11/22 | PERMIT SET CYCLE 2           |
| 07/11/22 | PERMIT SET CYCLE 3           |
| 12/14/22 | CONSTRUCTION 1 SET           |
| 12/22/22 | CONSTRUCTION 2 SET           |
| 02/08/23 | CONSTRUCTION 3 SET           |
| 10/27/23 | PERMIT SET CYCLE 4           |

EXTERIOR  
ELEVATIONS



**EXISTING**

**JOB COPY**

**TO REMAIN ON**

**SITE AT ALL TIMES**

**LEGEND**

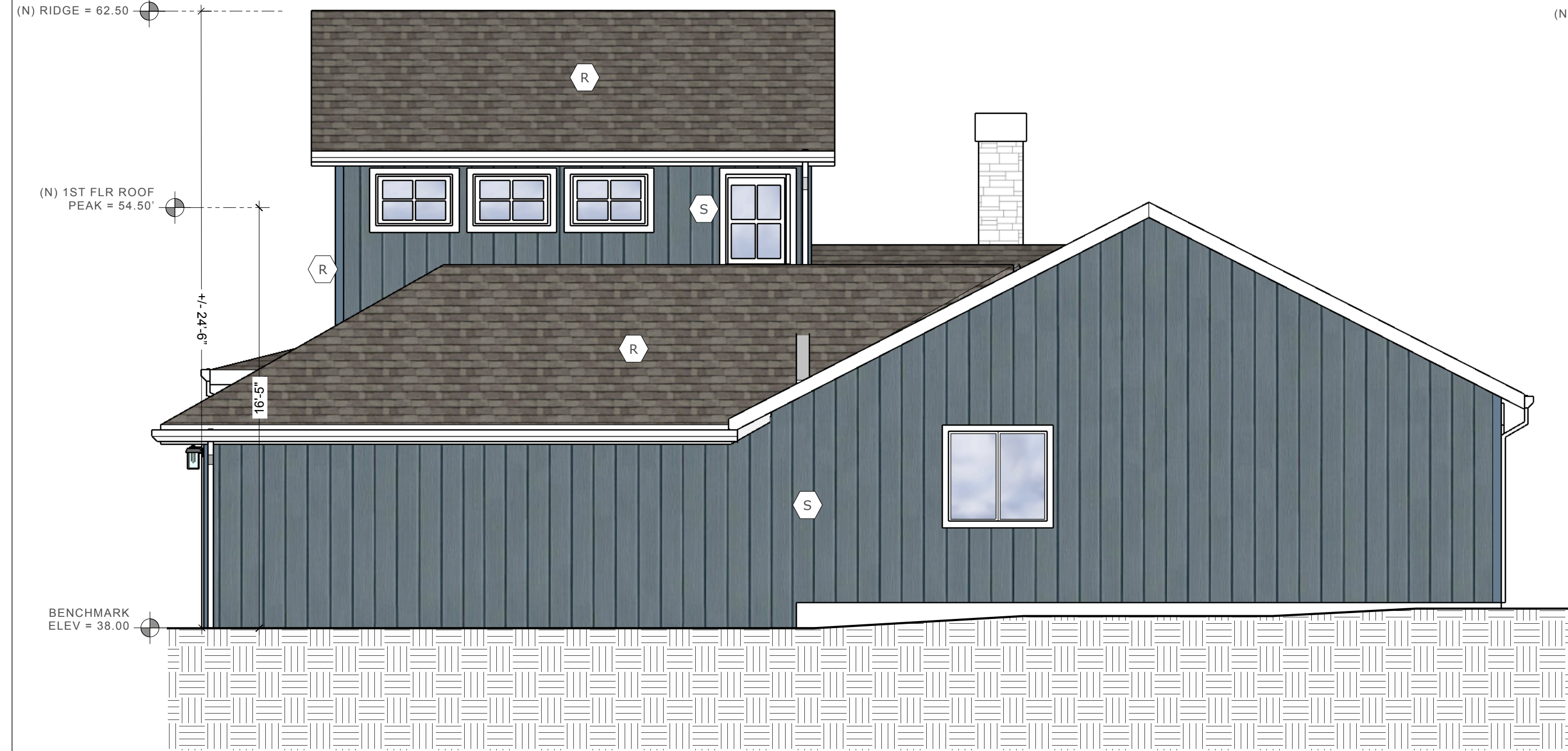
- S SIDING: BOARD & BATTON CEMENT BOARD TO MATCH EXISTING. SIDING AND TRIM TO MATCH EXISTING HOME
- R ROOFING: CLASS A COMP SHINGLE OVER UNDERLAYMENT PER CBC R905. TO MATCH EXISTING. MUST MEET COOL ROOF COMPLIANCE COMPOSITION SHINGLE OVER UNDERLAYMENT PER CBC R905. COOL ROOF PER TITLE 24. TO MEET ALL REQUIREMENTS OF COASTSIDE FIRE DISTRICT ORDINANCE 2019-03 - CLASS B OR HIGHER FOR ALL ROOFING & ROOFING MATERIALS AS DEFINED BY CBC.

**KEYNOTES**

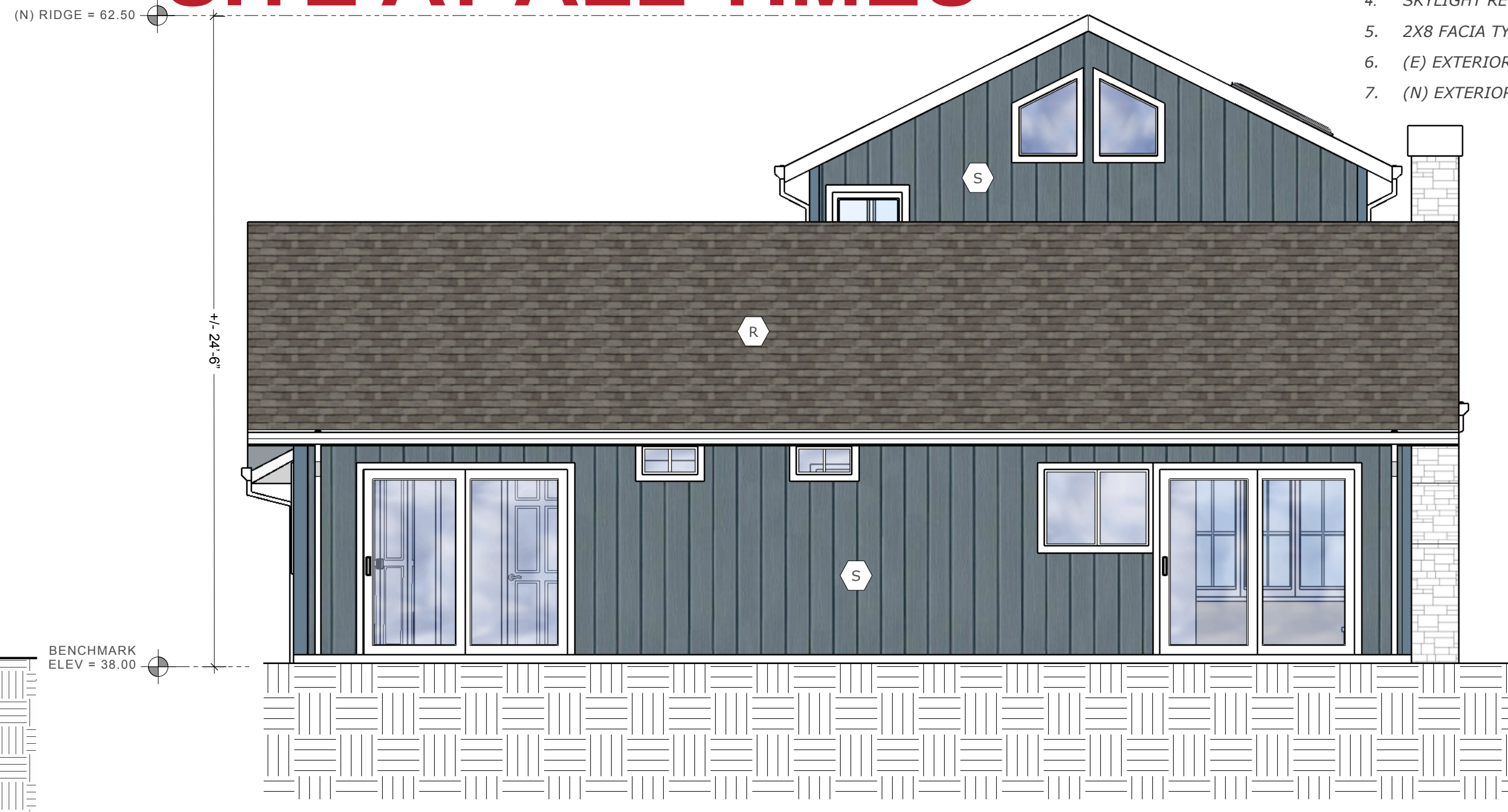
1. DAYLIGHT PLANE FROM EXISTING GRADE
2. GUTTERS AND DOWNSPOUTS TO MATCH EXISTING
3. METAL AWNING ROOF w/ ENTRY DOOR, CUSTOM w/ INTEGRAL DRIP EDGE
4. SKYLIGHT REF WINDOW SCHEDULE ON SHEET A7.01
5. 2X8 FACIA TYP.
6. (E) EXTERIOR LIGHT, NO CHANGE
7. (N) EXTERIOR LIGHT, SEE ATTACHED SPECIFICATION.

**haven**  
design  
build  
HAVEN DESIGN  
HAVEN DESIGN BUILD, LLC  
KELIGH GRIM, DESIGNER  
PH. (303) 746-0661  
keleighgrim@gmail.com

*Keligh Grim*



**3** **PROPOSED EXTERIOR ELEVATION - EAST**  
scale: 1/4"=1'-0"



**1** **PROPOSED EXTERIOR ELEVATION - NORTH**  
scale: 1/4"=1'-0"



**4** **EXISTING EXTERIOR ELEVATION - EAST**  
scale: 1/4"=1'-0"



**2** **EXISTING EXTERIOR ELEVATION - NORTH**  
scale: 1/4"=1'-0"

**3** (E) WOOD BURNING FIREPLACE TO BE OMITTED, TO BE REPLACED WITH (N) ELECTRIC FIREPLACE INSERT  
Manufacturer: Valuxhome  
Model: #EF33T-HD, 36 in, 750-Watt/1500-Watt Black Electric Fireplace Insert

**PROJECT**  
**STEFANICK RESIDENCE**  
**NEW ADDITION**  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019

**CLIENT**  
**DUSTIN & ELYANE STEFANICK**  
PH. (831) 332-9383  
dustystefanick@gmail.com  
elyanestefanick@gmail.com

**ISSUE**  
01/15/21  
03/26/21  
12/10/21  
07/11/22  
DESIGN REVIEW SET  
Revision 1 - Planning & Fire  
PERMIT SET CYCLE 1  
PERMIT SET CYCLE 2  
PERMIT SET CYCLE 3  
UTILIZE

**EXTERIOR ELEVATIONS**

**A3.01**



# PROPOSED

## LEGEND

- (S) SIDING: BOARD & BATTON CEMENT BOARD TO MATCH EXISTING. SIDING AND TRIM TO MATCH EXISTING HOME
- (R) ROOFING: CLASS A COMP SHINGLE OVER UNDERLAYMENT PER CBC R905, TO MATCH EXISTING. MUST MEET COOL ROOF COMPLIANCE. COMPOSITION SHINGLE OVER UNDERLAYMENT PER CBC R905, COOL ROOF PER TITLE 24. TO MEET ALL REQUIREMENTS OF COASTSIDE FIRE DISTRICT ORDINANCE 2019-03 - CLASS B OR HIGHER FOR ALL ROOFING & ROOFING MATERIALS AS DEFINED BY CBC.

## KEYNOTES

1. DAYLIGHT PLANE FROM EXISTING GRADE
2. GUTTERS AND DOWNSPOUTS TO MATCH EXISTING
3. METAL AWNING ROOF of ENTRY DOOR. CUSTOM w/ INTEGRAL DRIP EDGE
4. SKYLIGHT REF WINDOW SCHEDULE ON SHEET A7.01
5. 2X8 FACIA TYP.
6. (E) EXTERIOR LIGHT, NO CHANGE
7. (N) EXTERIOR LIGHT, SEE ATTACHED SPECIFICATION.



HAVEN DESIGN

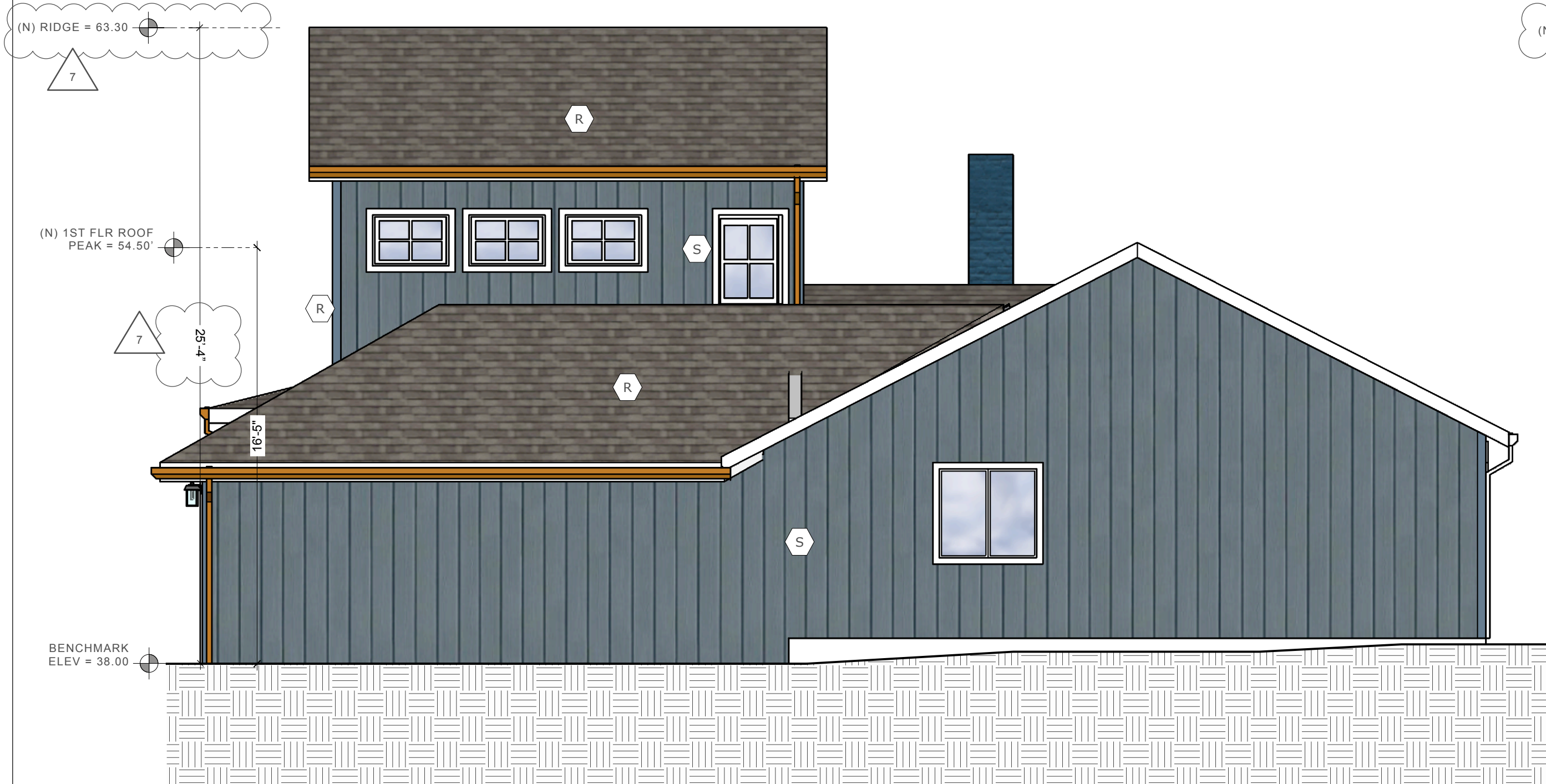
HAVEN DESIGN BUILD, LLC  
KELIGH GRIM, DESIGNER  
PH. (303) 746-0661  
keleighgrim@gmail.com

*Keligh Grim*

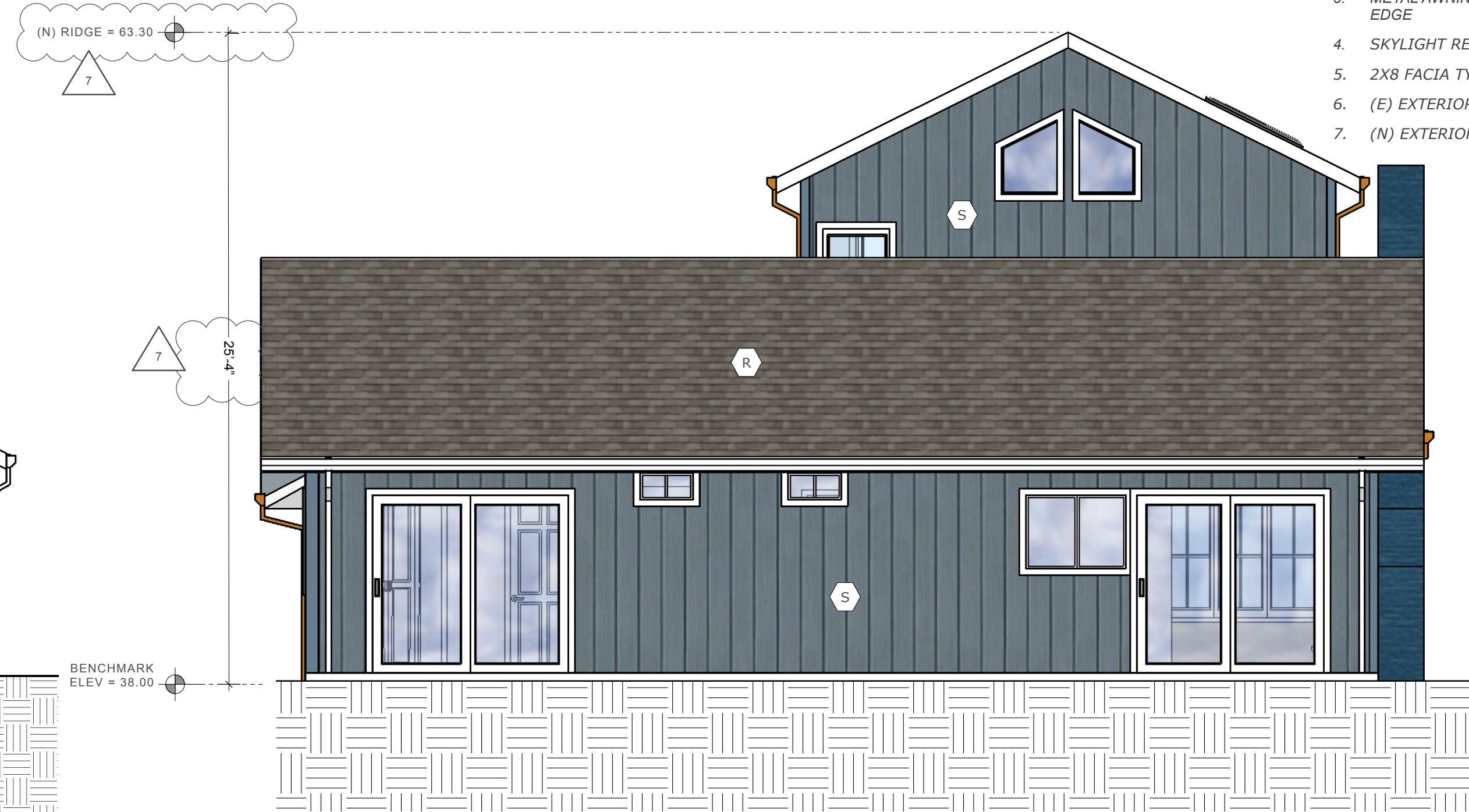
PROJECT  
**STEFANICK RESIDENCE**  
**NEW ADDITION**  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019

CLIENT  
**DUSTIN & ELYANE STEFANICK**  
PH. (831) 332-6983  
dustystefanick@gmail.com  
elyanestefanick@gmail.com

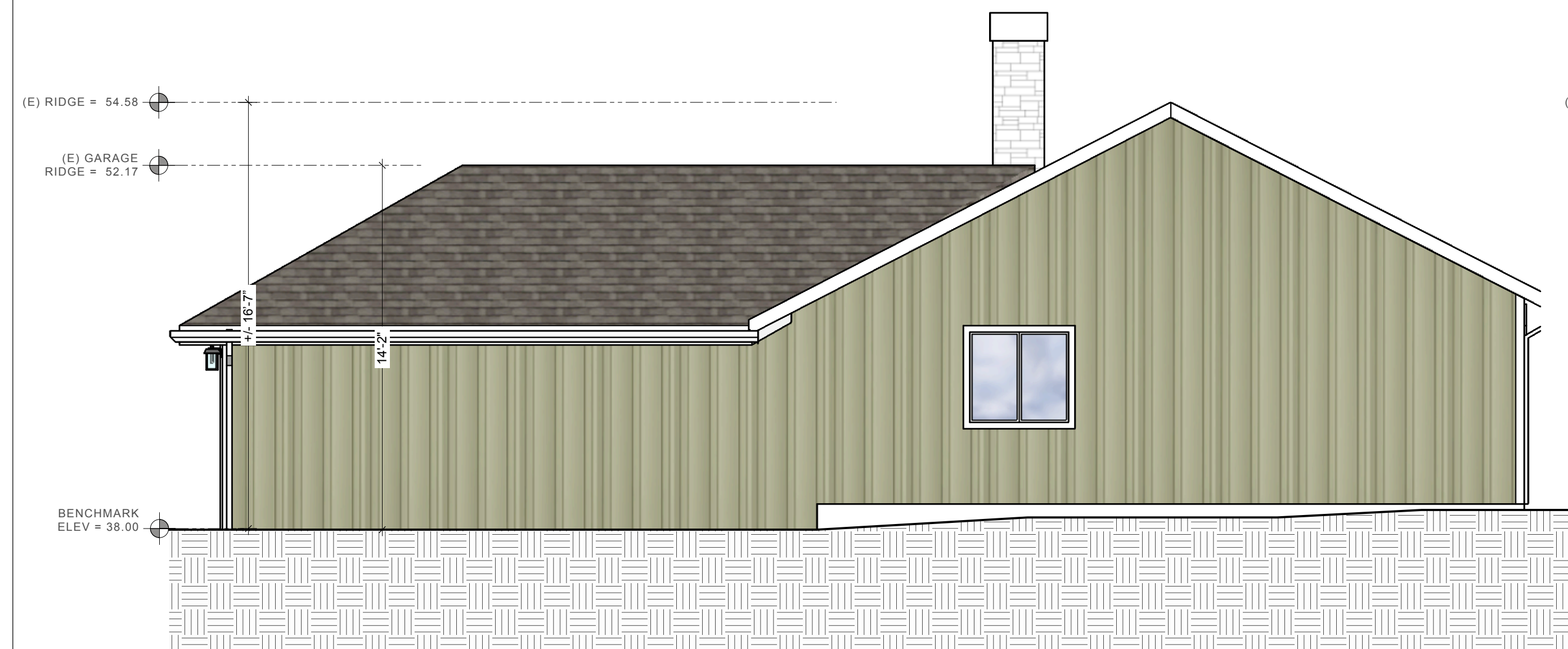
| ISSUE    | DESIGN REVIEW SET            |
|----------|------------------------------|
| 01/15/21 | Revision 1 - Planning & Fire |
| 03/25/21 | PERMIT SET CYCLE 1           |
| 02/11/21 | PERMIT SET CYCLE 2           |
| 07/11/22 | PERMIT SET CYCLE 3           |
| 12/14/22 | CONSTRUCTION 1 SET           |
| 12/22/22 | CONSTRUCTION 2 SET           |
| 05/24/24 | CONSTRUCTION 3 SET           |
| 10/27/23 | PERMIT SET CYCLE 4           |



**3** PROPOSED EXTERIOR ELEVATION - EAST  
scale: 1/4"=1'-0"



**1** PROPOSED EXTERIOR ELEVATION - NORTH  
scale: 1/4"=1'-0"



**4** EXISTING EXTERIOR ELEVATION - EAST  
scale: 1/4"=1'-0"



**2** EXISTING EXTERIOR ELEVATION - NORTH  
scale: 1/4"=1'-0"

EXTERIOR ELEVATIONS



**EXISTING**

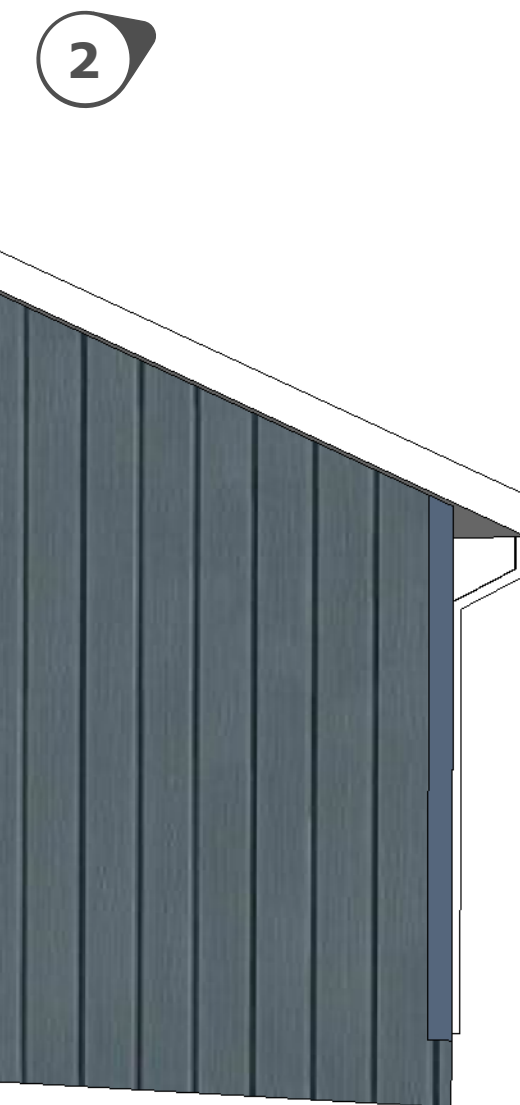
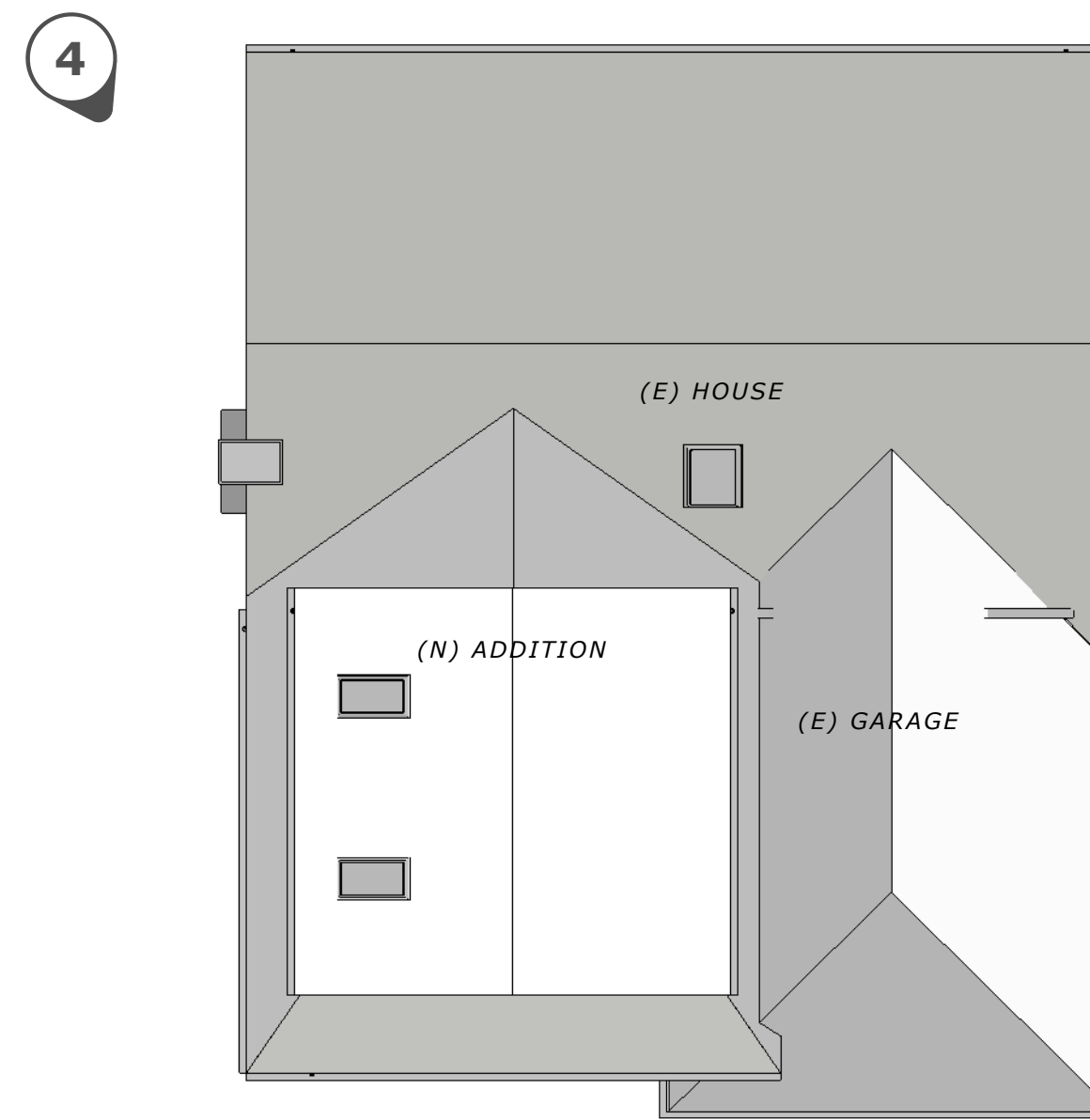


**2 EXTERIOR VIEW**  
scale: NTS

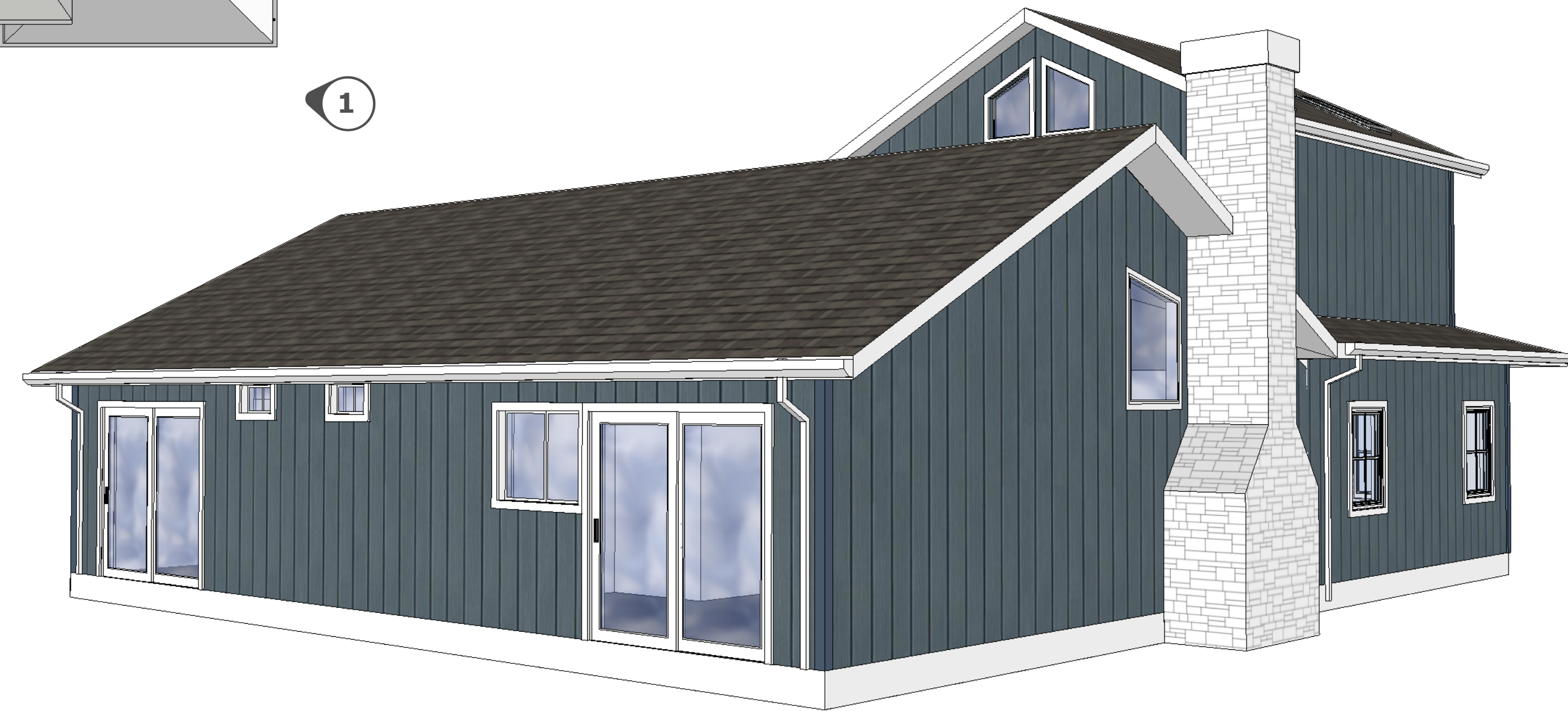
**JOB COPY  
TO REMAIN ON  
SITE AT ALL TIMES**



**1 EXTERIOR VIEW**  
scale: NTS



**4 EXTERIOR VIEW**  
scale: NTS



**3 EXTERIOR VIEW**  
scale: NTS



HAVEN DESIGN  
HAVEN DESIGN BUILD, LLC  
KELIGH GRIM, DESIGNER  
PH. (303) 746-0661  
keleighgrim@gmail.com

*Keligh Grim*

PROJECT  
**STEFANICK RESIDENCE  
NEW ADDITION**  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019

CLIENT  
**DUSTIN & ELYANE STEFANICK**  
PH. (831) 332-9383  
dustystefanick@gmail.com  
elyanestefanick@gmail.com

ISSUE  
01/15/21 DESIGN REVIEW SET  
03/29/21 Revision 1 - Planning & Fire  
12/10/21 PERMIT SET CYCLE 1  
07/11/22 PERMIT SET CYCLE 2  
07/11/22 PERMIT SET CYCLE 3

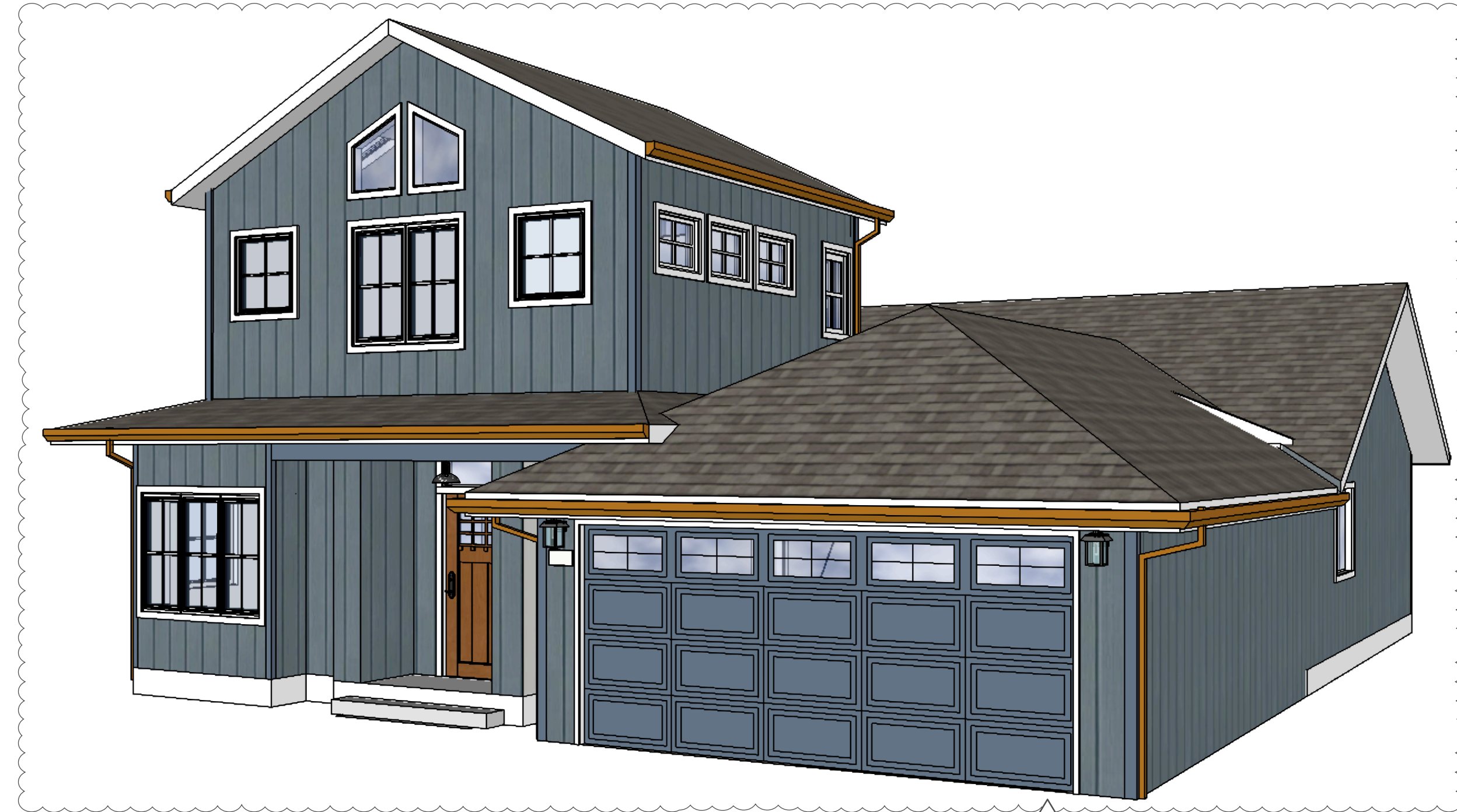
EXTERIOR 3D  
VIEW



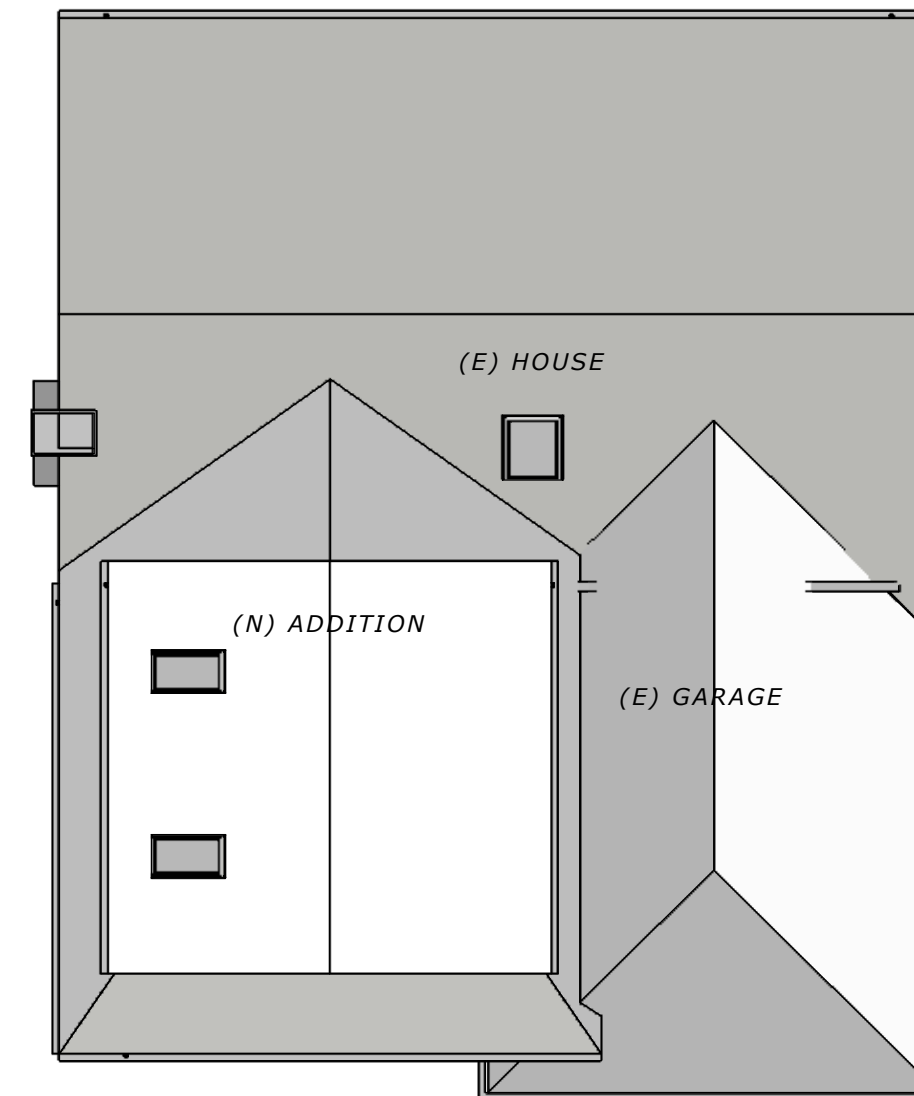
**PROPOSED**



**2 EXTERIOR VIEW**  
scale: NTS

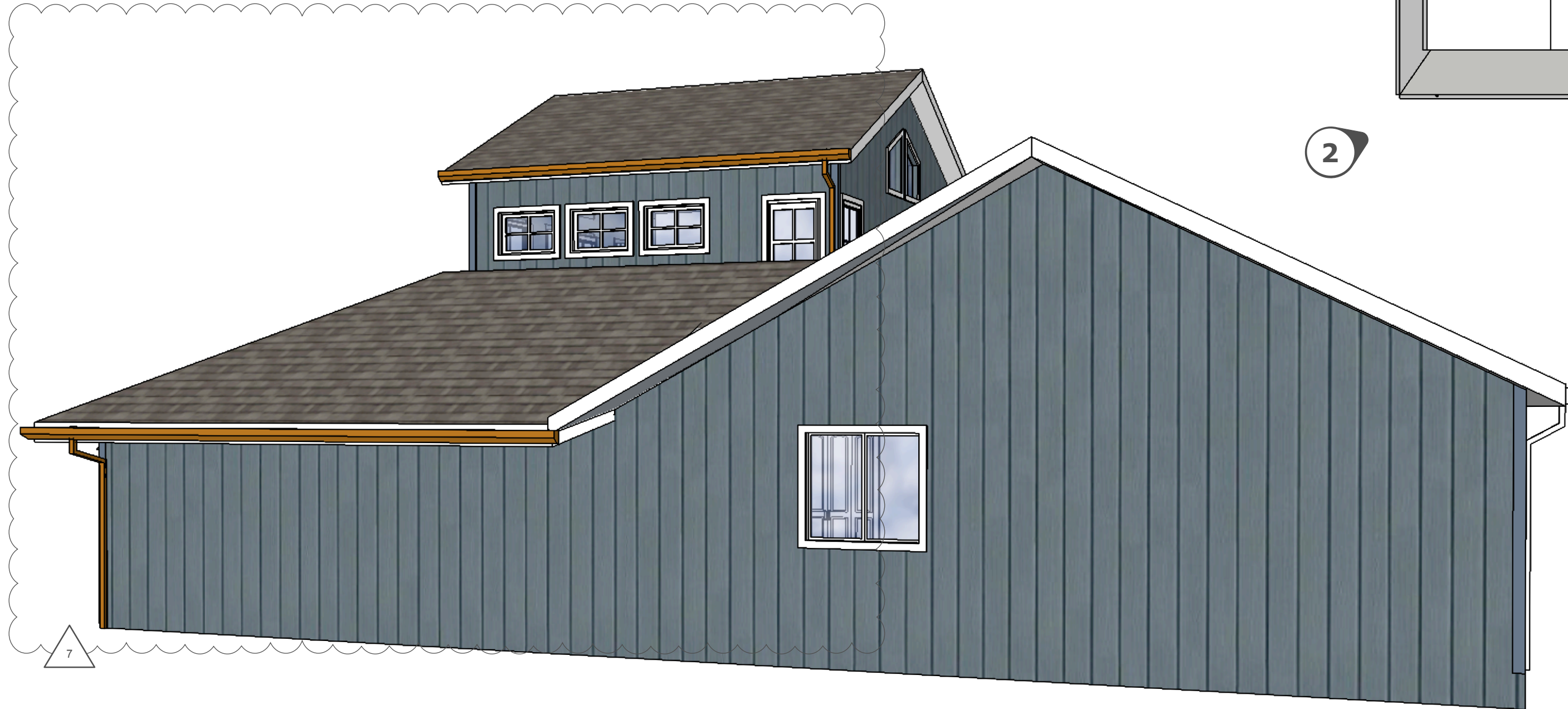


**1 EXTERIOR VIEW**  
scale: NTS

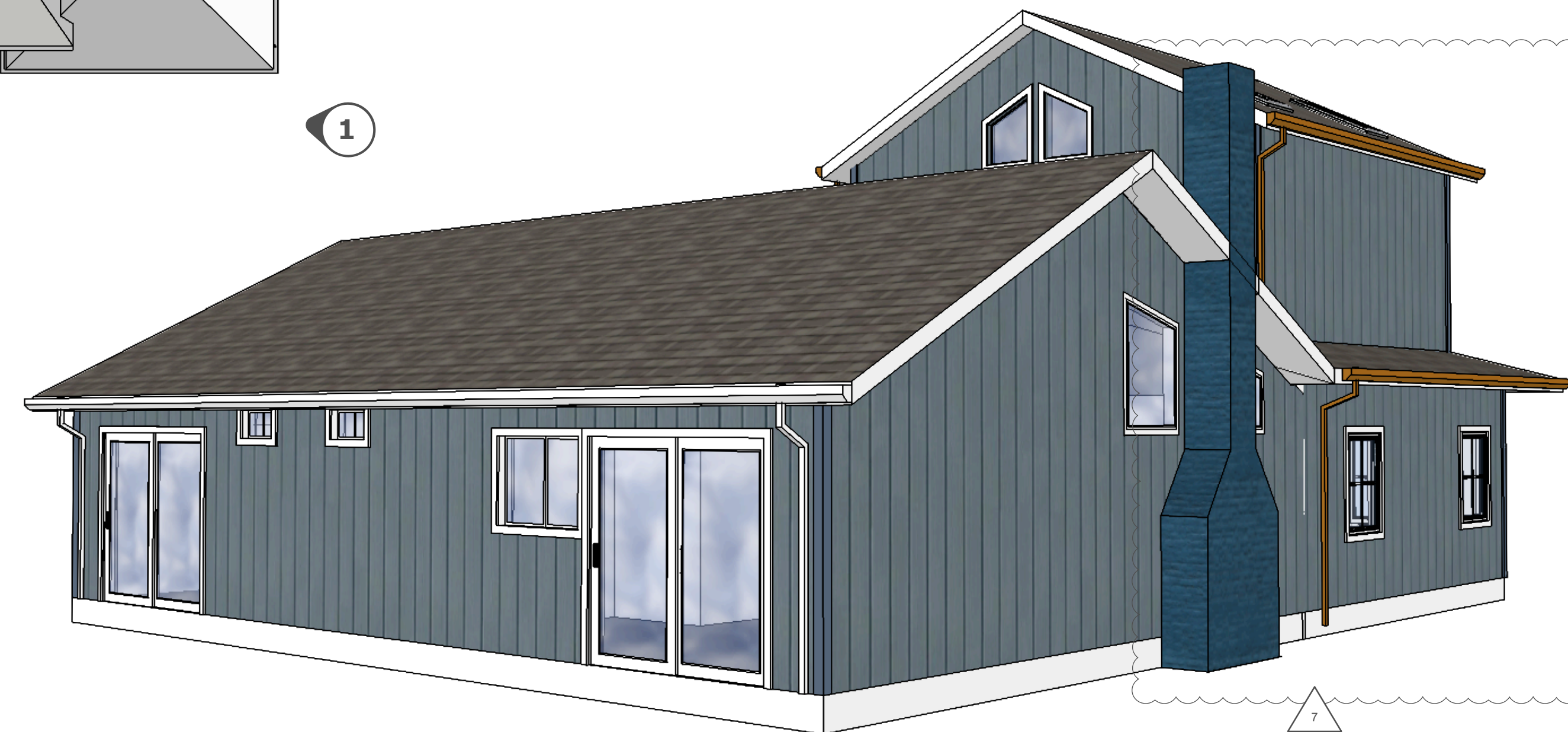


**2**

**1**



**4 EXTERIOR VIEW**  
scale: NTS



**3 EXTERIOR VIEW**  
scale: NTS



HAVEN DESIGN  
HAVEN DESIGN BUILD, LLC  
KELIGH GRIM, DESIGNER  
PH. (303) 746-0661  
keleighgrim@gmail.com

*Keligh Grim*

PROJECT  
**STEFANICK RESIDENCE**  
**NEW ADDITION**  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019

CLIENT  
**DUSTIN & ELYANE STEFANICK**  
PH. (831) 332-6983  
dustystefanick@gmail.com  
elyanestefanick@gmail.com

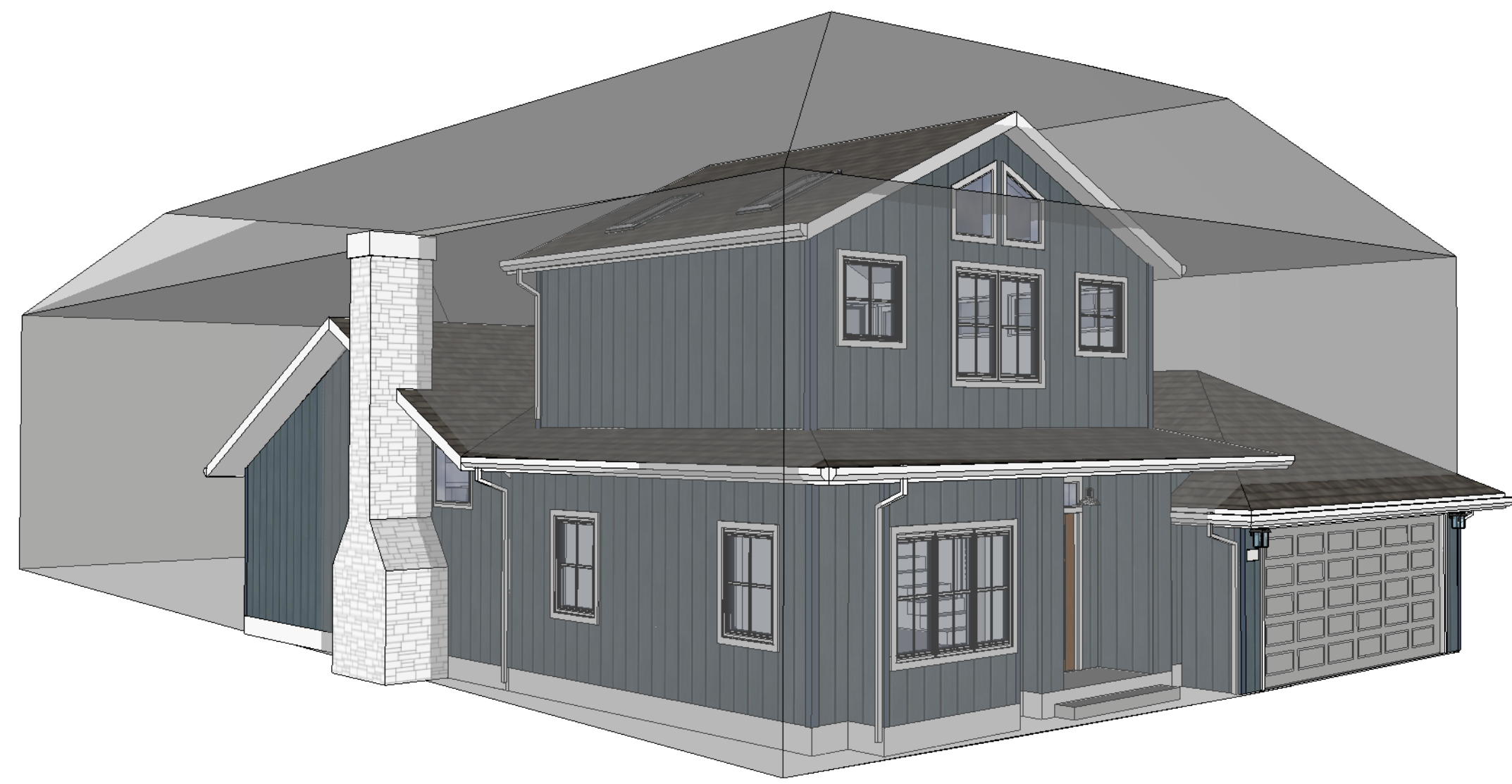
ISSUE  
01/15/21 DESIGN REVIEW SET  
03/29/21 Revision 1 - Planning & Fire  
12/11/21 PERMIT SET CYCLE 1  
06/01/22 PERMIT SET CYCLE 2  
07/11/22 PERMIT SET CYCLE 3  
12/14/22 CONSTRUCTION 1 SET  
12/22/22 CONSTRUCTION 2 SET  
06/26/23 PERMIT SET CYCLE 4  
10/27/23 PERMIT SET CYCLE 5

EXTERIOR 3D  
VIEW

**A1.01**



# EXISTING



# JOB COPY TO REMAIN ON SITE AT ALL TIMES

New Residential Addition  
APN 037-333-200  
130 Bridgeport Drive  
Half Moon Bay, CA 94019



HAVEN DESIGN

HAVEN DESIGN BUILD, LLC  
KELIGH GRIM, DESIGNER  
PH. (303) 746-0661  
keleighgrim@gmail.com

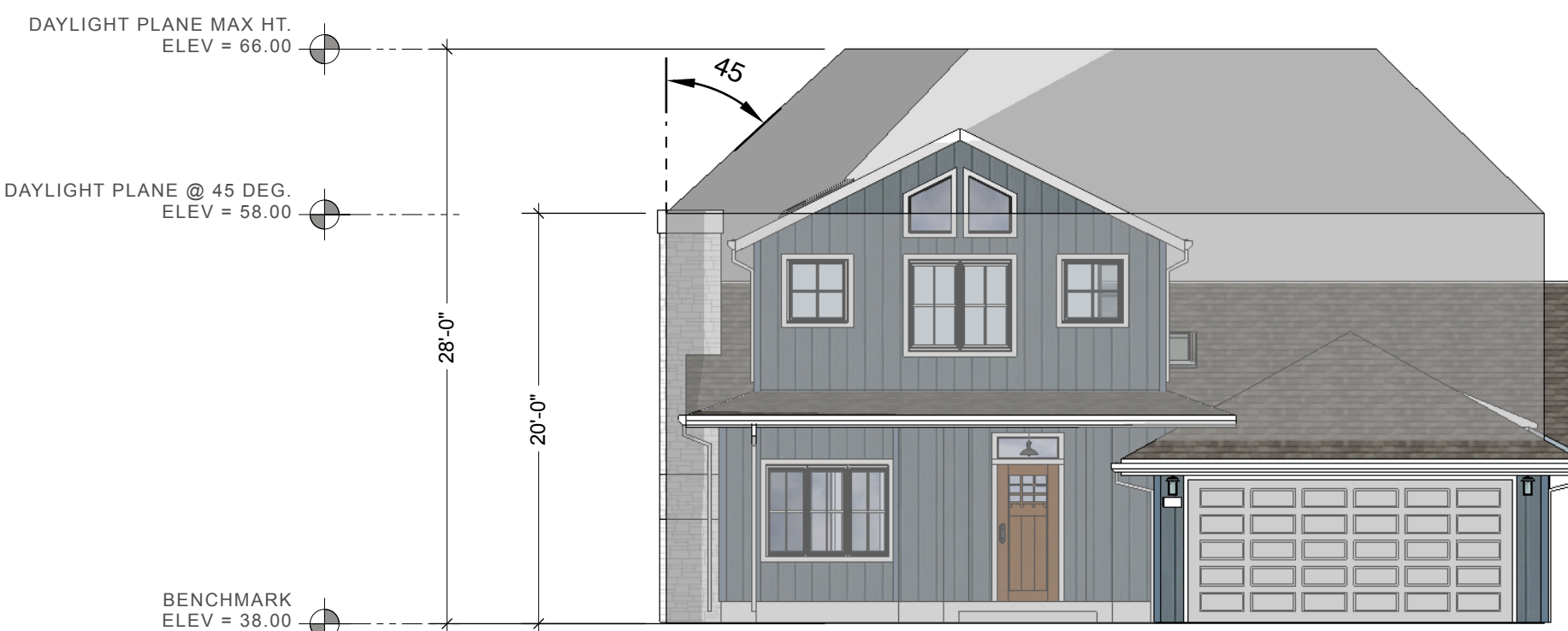
*Keligh Grim*

How Project Conforms to Design Review Standards

This project consists of new two-story addition to existing single-story single-family home. Minimal to no grading will be needed as new addition is in a level area connecting to existing house. The new addition mass, shape and scale have been designed with offsets, indentations, and various roof lines to have a similar barn house look of neighborhood homes. Second story is to be indented from first story and is to tie into existing roof. Siding, windows, and facial trim of new addition is to match existing house. New addition and existing house are to be repainted using a light grey/blue color for the siding, all trim and fascia boards to be painted white and front door to be painted dark blue/gray. This color palette conforms well with the neighborhood and coastal community. Existing stamped concrete walkway is to remain and be patched into new addition front doorsteps. Roof asphalt shingles are to match existing house and are a light brown color. No additional fencing is to be installed in this addition and existing fences (on side and rear of property) is to be repaired or replaced as needed.

Existing landscape surrounding property is to remain and be protected during construction. Lawn in front is to be repaired as needed and new 3'-4' wide planters are to be installed adjacent front and side of new addition. All new and existing irrigation will have weather-based irrigation controller with pressure reducing valves and check valves on all sprinkler heads. All new landscape plants trees are to be drought tolerant and follow the MWLO requirements.

## 2 STATEMENT OF COMPLIANCE - DR STDs scale: n/a



## 1 DAYLIGHT PLANE STUDY - ELVEVATIONS scale: 1/8"=1'-0"

SOUTH ELEVATION

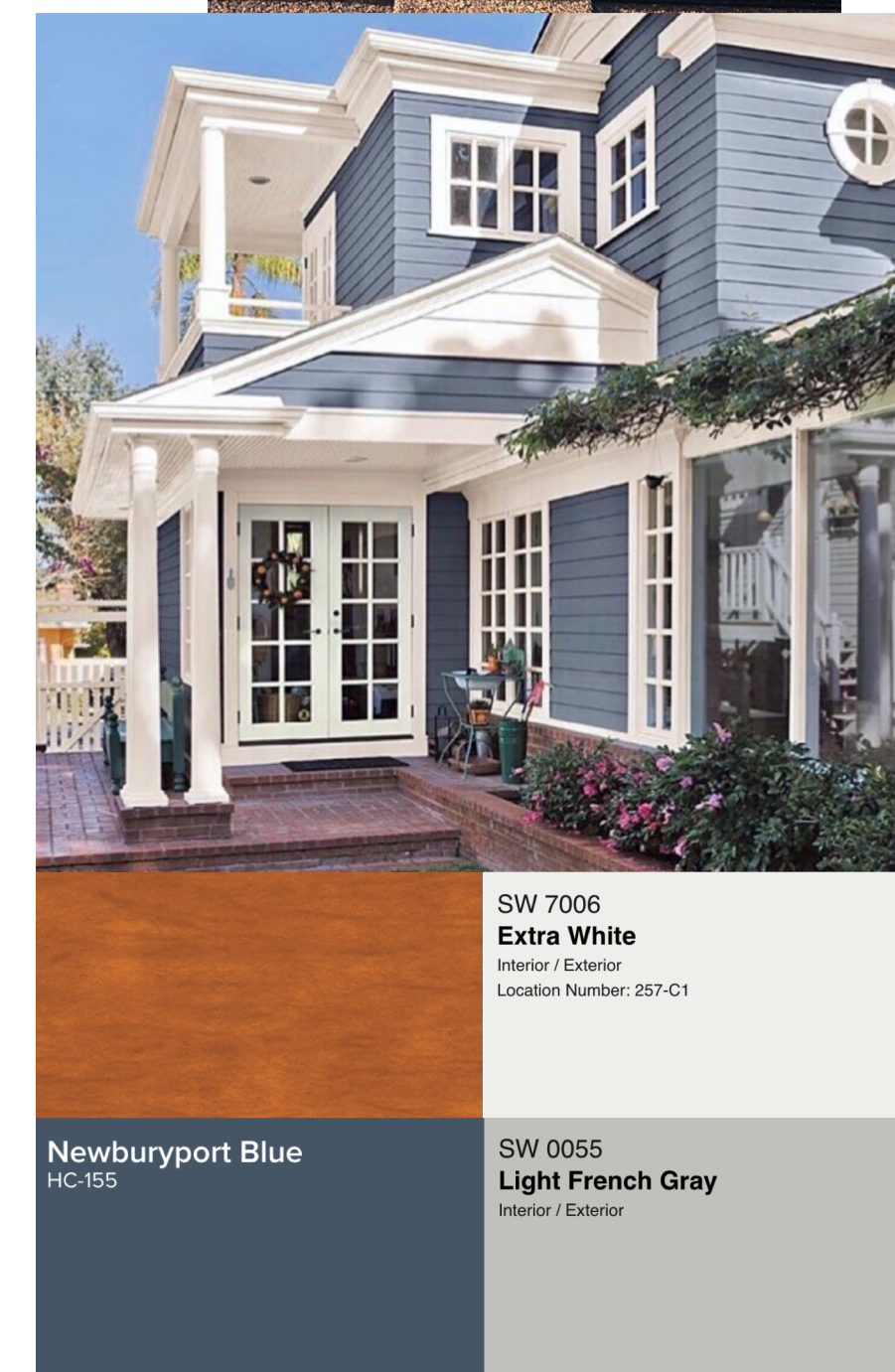


WEST ELEVATION

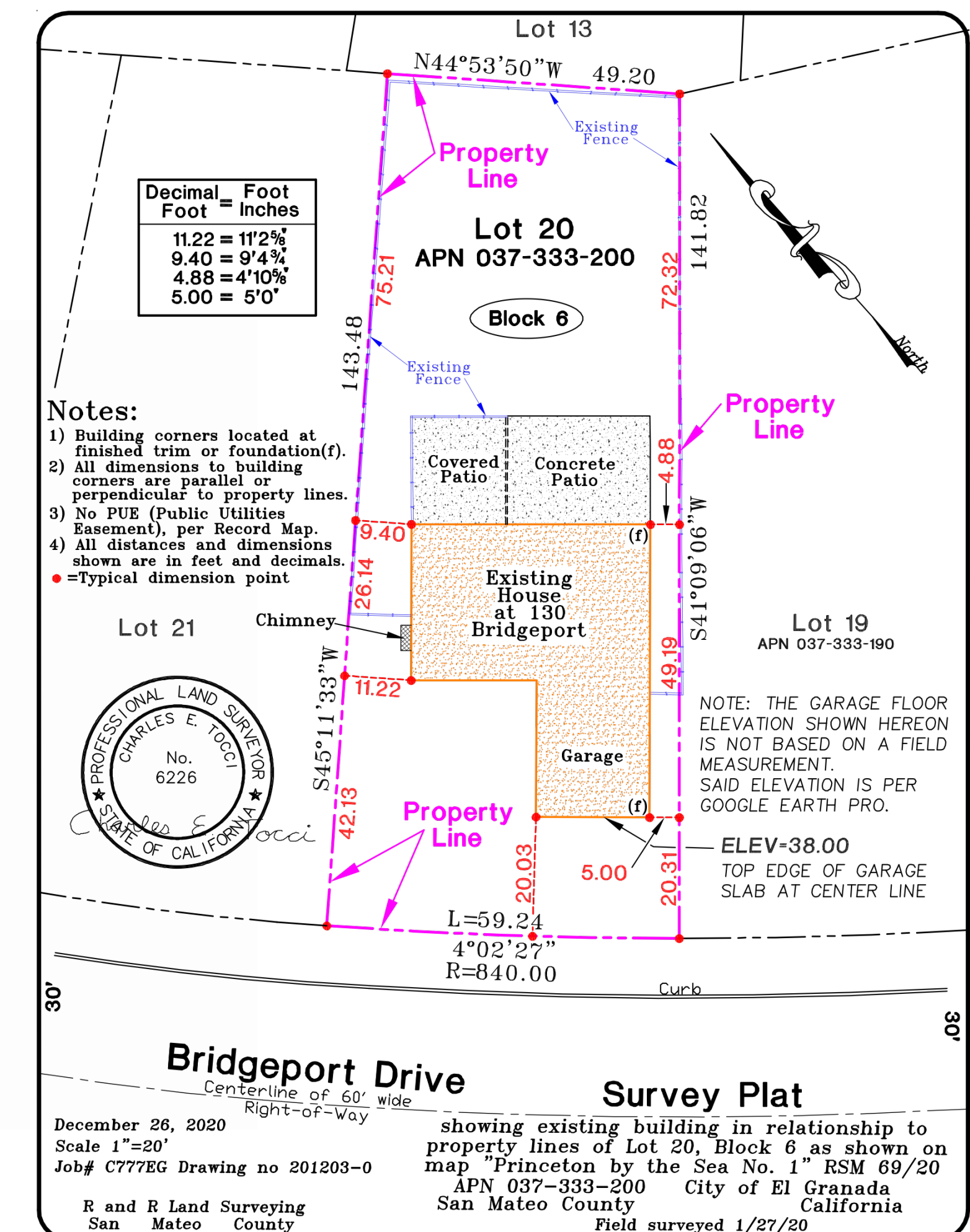


EAST ELEVATION

(N) ROOFING TO MATCH (E) ROOFING  
PHOTO OF (E) BELOW



## 4 COLOR/ MATERIAL BOARD scale: n/a



## 3 PROFESSIONAL SURVEY scale: AS NOTED

PROJECT  
STEFANICK RESIDENCE  
NEW ADDITION  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019

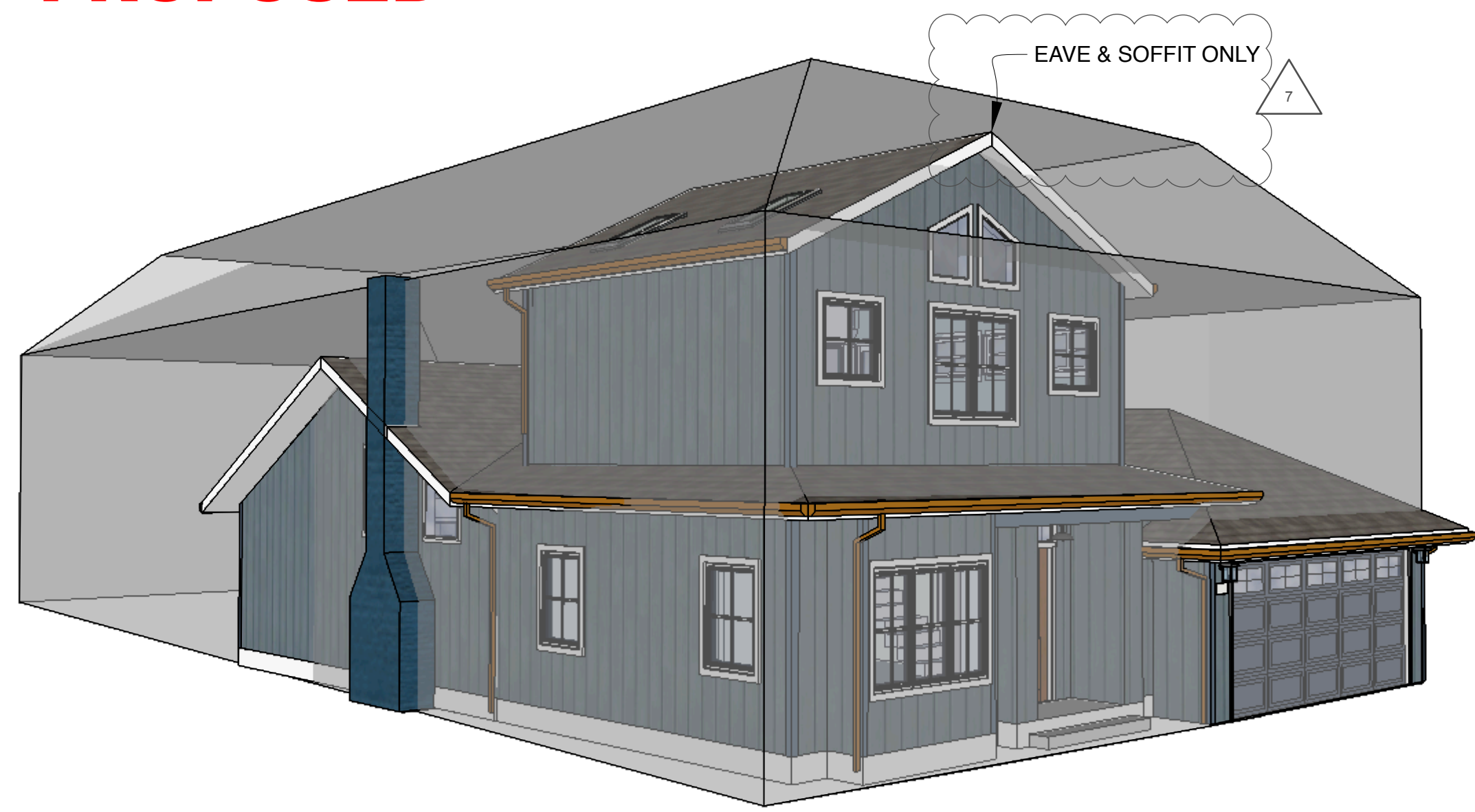
CLIENT  
DUSTIN & ELYANE STEFANICK  
PH. (831) 332-9383  
dustystefanick@gmail.com  
elyanestefanick@gmail.com

ISSUE  
DESIGN REVIEW SET  
01/15/21  
Revision 1 - Planning & Fire  
03/26/21 PERMIT SET CYCLE 1  
12/10/21 PERMIT SET CYCLE 2  
03/11/22 PERMIT SET CYCLE 3

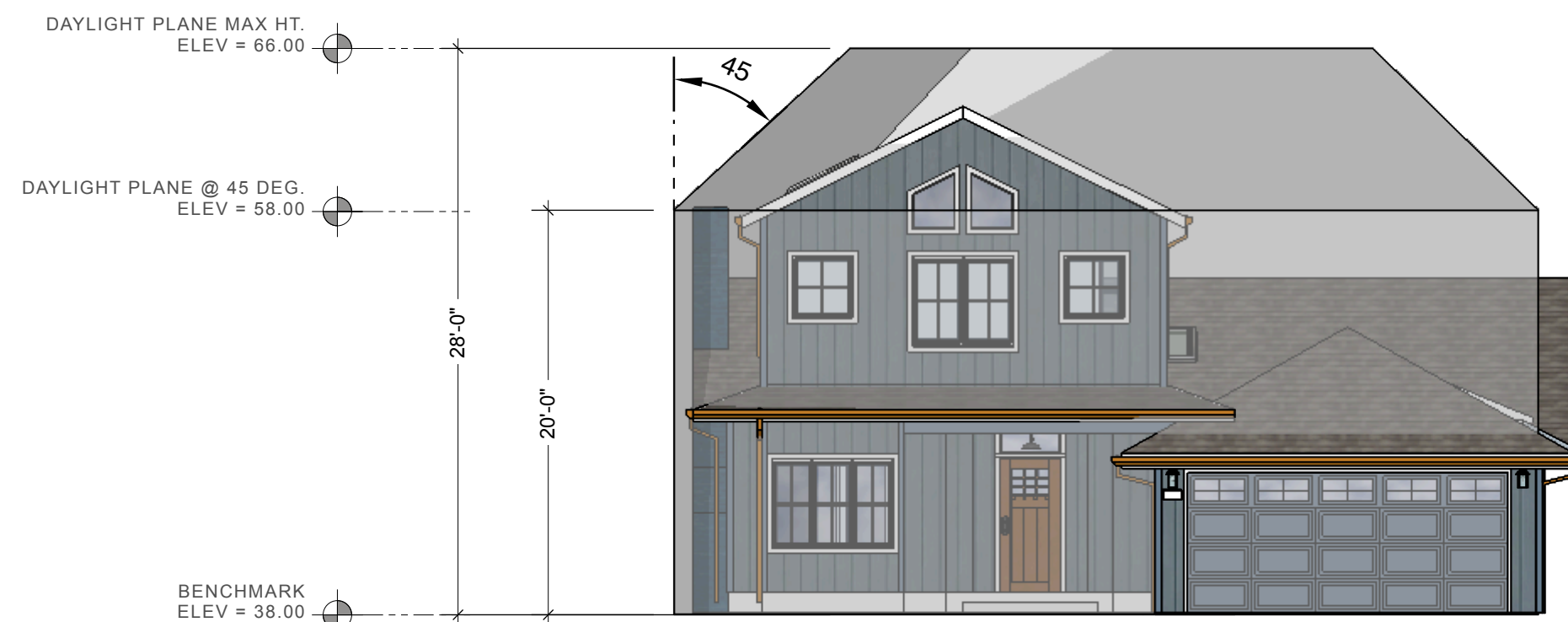
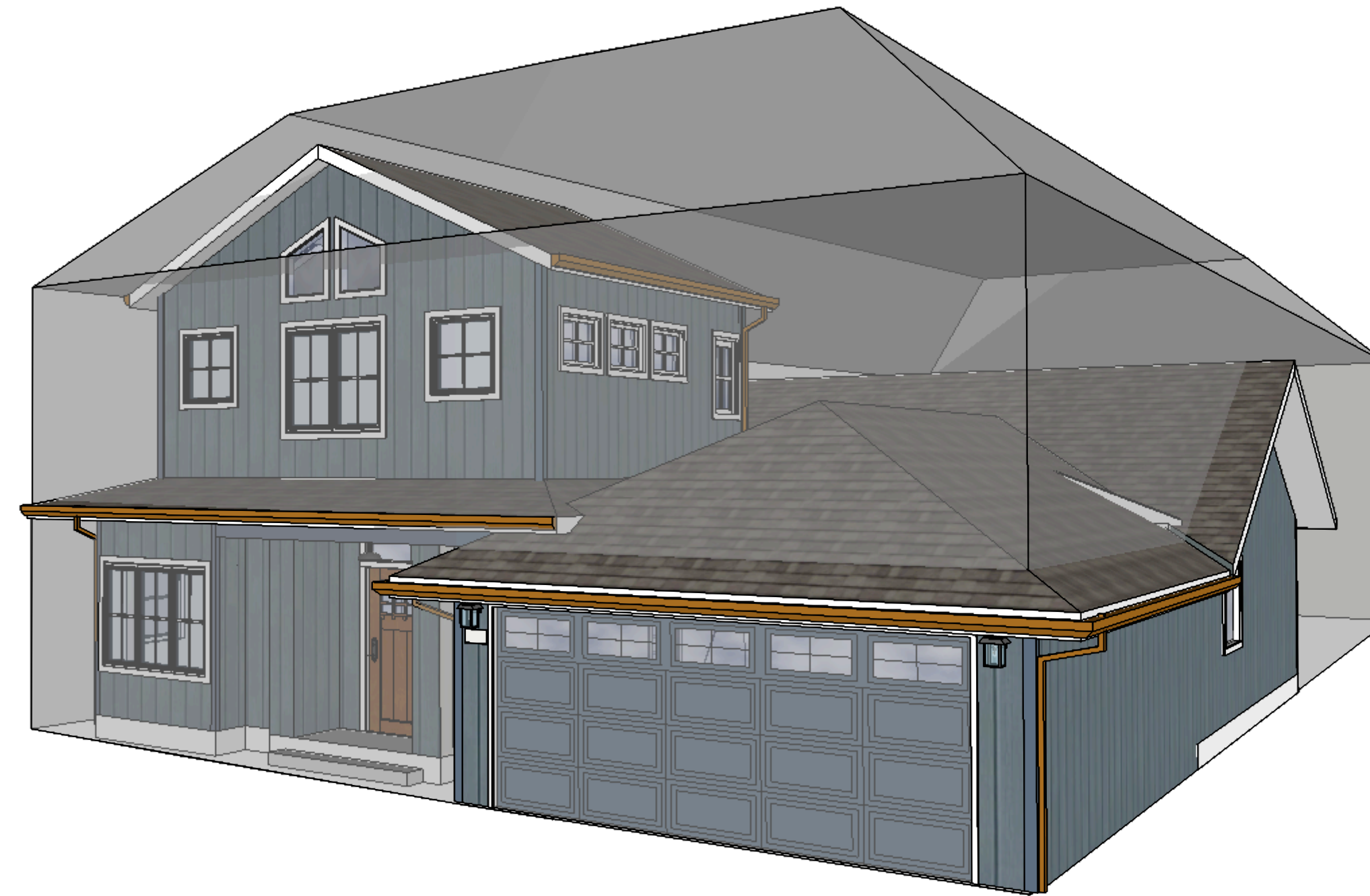
DESIGN REVIEW  
SUPPLEMENTAL



# PROPOSED



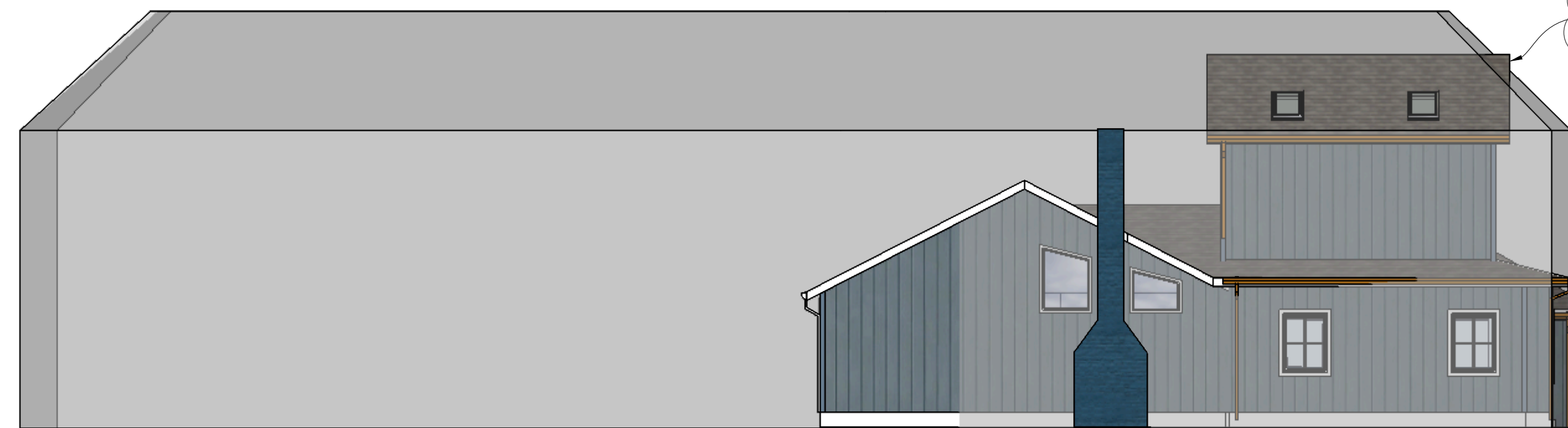
EAVE & SOFFIT ONLY



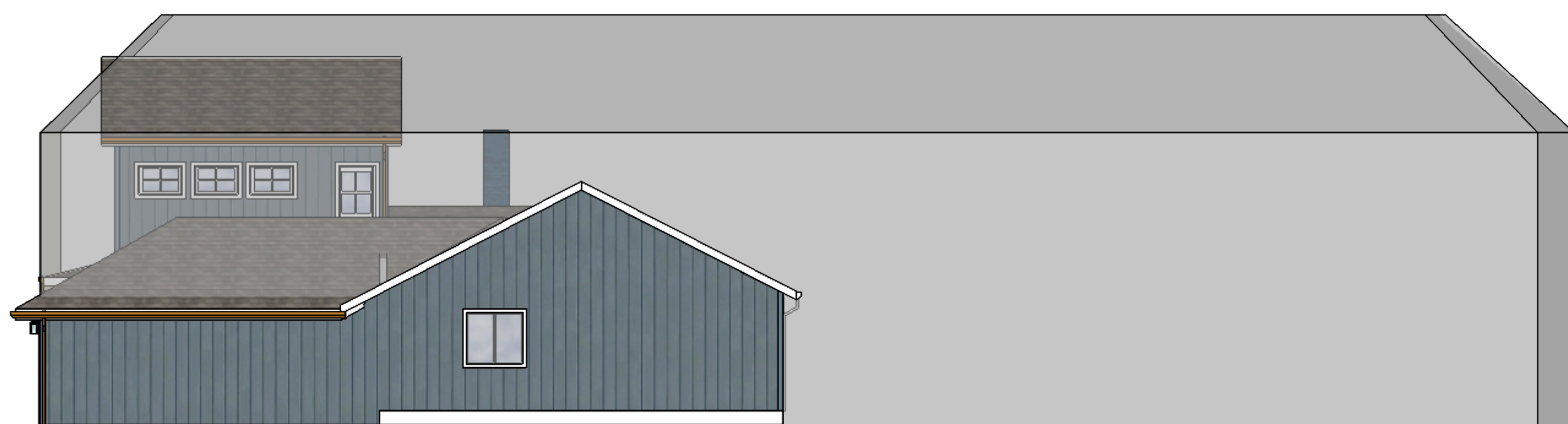
SOUTH ELEVATION

## 1 DAYLIGHT PLANE STUDY - ELVEVATIONS

scale: 1/8"=1'-0"



WEST ELEVATION



EAST ELEVATION

### 4 COLOR/ MATERIAL BOARD

scale: n/a

- (N) ROOFING - DARK GRAY
- (E) ROOF & (N) ADDITION ROOF MATCH

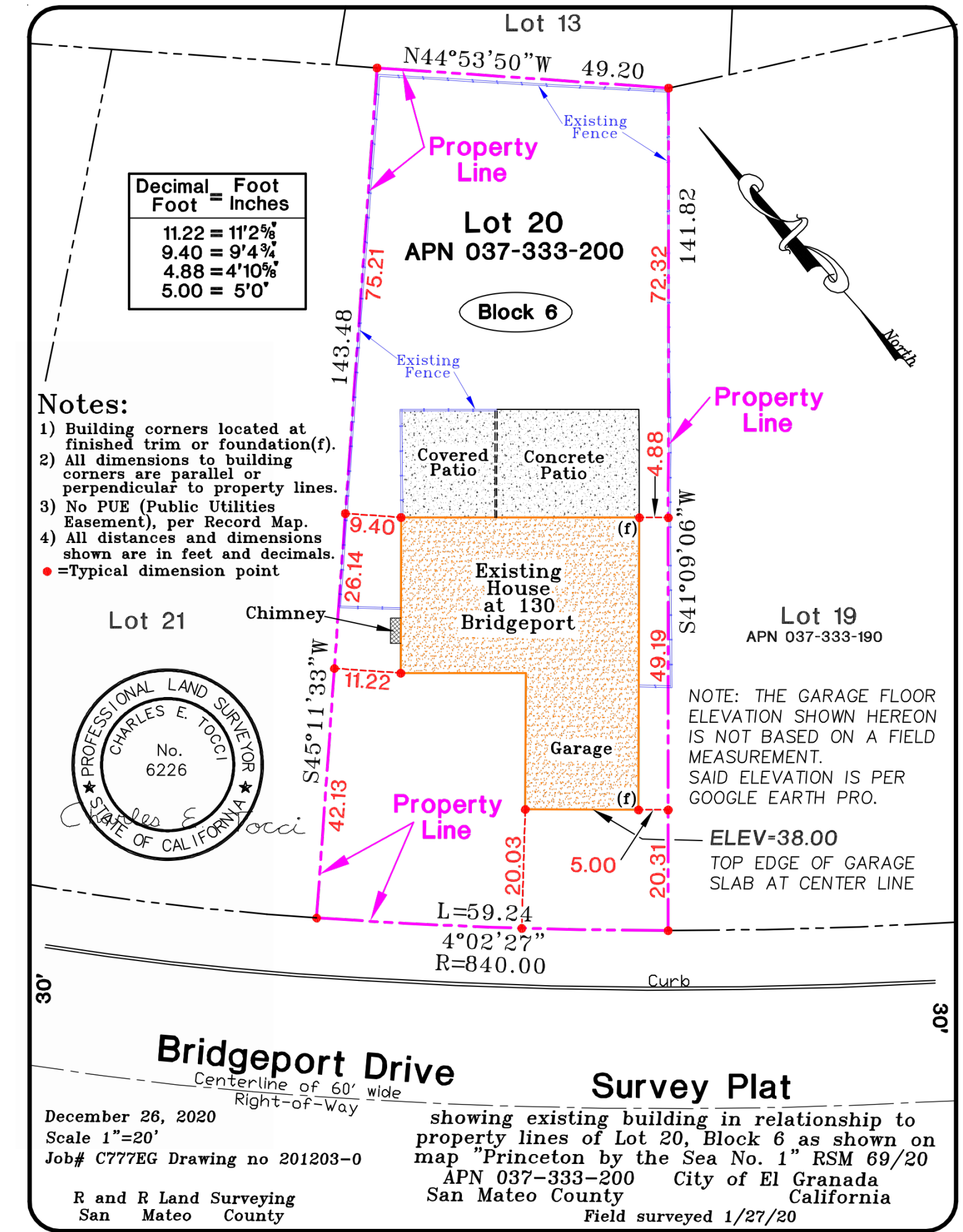
COLOR SCHEME EXAMPLE PHOTO

EXTERIOR TRIM COLOR: BENJAMIN MOORE CLASSIC GRAY #1548

EXTERIOR PAINT COLOR: BENJAMIN MOORE BLUE NOTE #2129-30

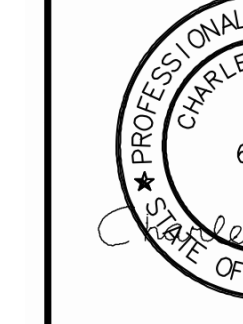
FRONT DOOR WOOD STAIN TONE

COPPER GUTTERS



#### Notes:

- 1) Building corners located at finished trim or foundation(f).
  - 2) All dimensions to building corners are parallel or perpendicular to property lines.
  - 3) No PUB (Public Utilities Easement), per Record Map.
  - 4) All distances and dimensions shown are in feet and decimals.
- Typical dimension point



NOTE: THE GARAGE FLOOR ELEVATION SHOWN HEREON IS NOT BASED ON A FIELD MEASUREMENT. SAID ELEVATION IS PER GOOGLE EARTH PRO.

ELEV=38.00  
TOP EDGE OF GARAGE SLAB AT CENTER LINE

#### 2 STATEMENT OF COMPLIANCE - DR STDS

scale: n/a

**How Project Conforms to Design Review Standards v.10.30.2023**

This project consists of new two-story addition to existing single-story single-family home. Minimal to no grading will be needed as new addition is in a level area connecting to existing house. The new addition mass, shape and scale have been designed with offsets, indentations, and various roof lines to have a similar barn house look of neighborhood homes. Second story is to be indented from first story and is to tie into existing roof. Siding, windows, and fascia trim of new addition is to match existing house. New addition and existing house are to be repainted using a blue/gray color for the siding, all trim and fascia boards to be painted off-white and front door to be wood stained clear. This color palette conforms well with the neighborhood and coastal community. Existing stamped concrete walkway is to remain and be patched into new addition front doorsteps. Roof asphalt shingles are to match existing house and are a dark gray color. No additional fencing is to be installed in this addition and existing fences (on side and rear of property) is to be repaired or replaced as needed.

Existing landscape surrounding property is to remain and be protected during construction. Lawn in front and on the side of new addition is to be replaced with drought tolerant plants following MWELO requirements. All new and existing irrigation will have weather-based irrigation controller with pressure reducing valves and check valves on all sprinkler heads.

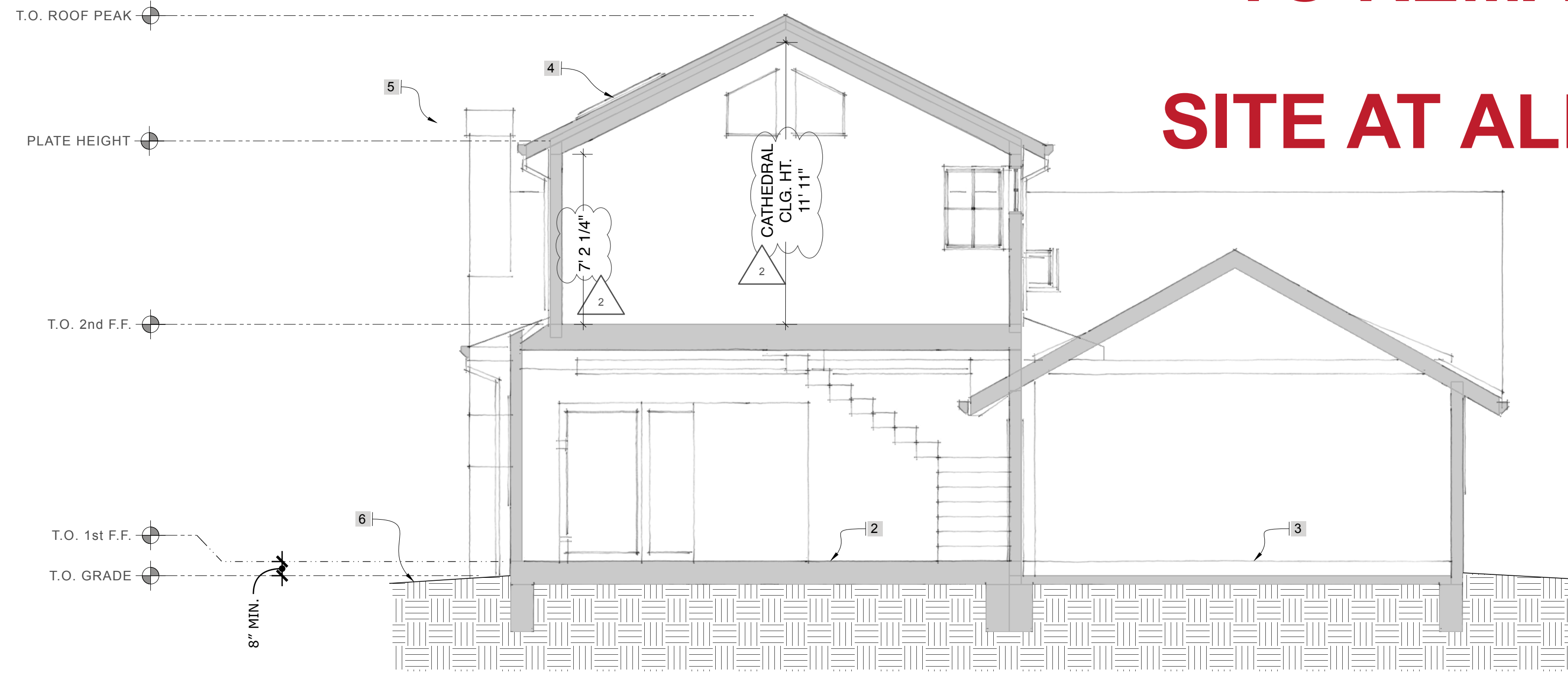
New Residential Addition  
APN 037-333-200  
130 Bridgeport Drive  
Half Moon Bay, CA 94019

*Keligh Grim*

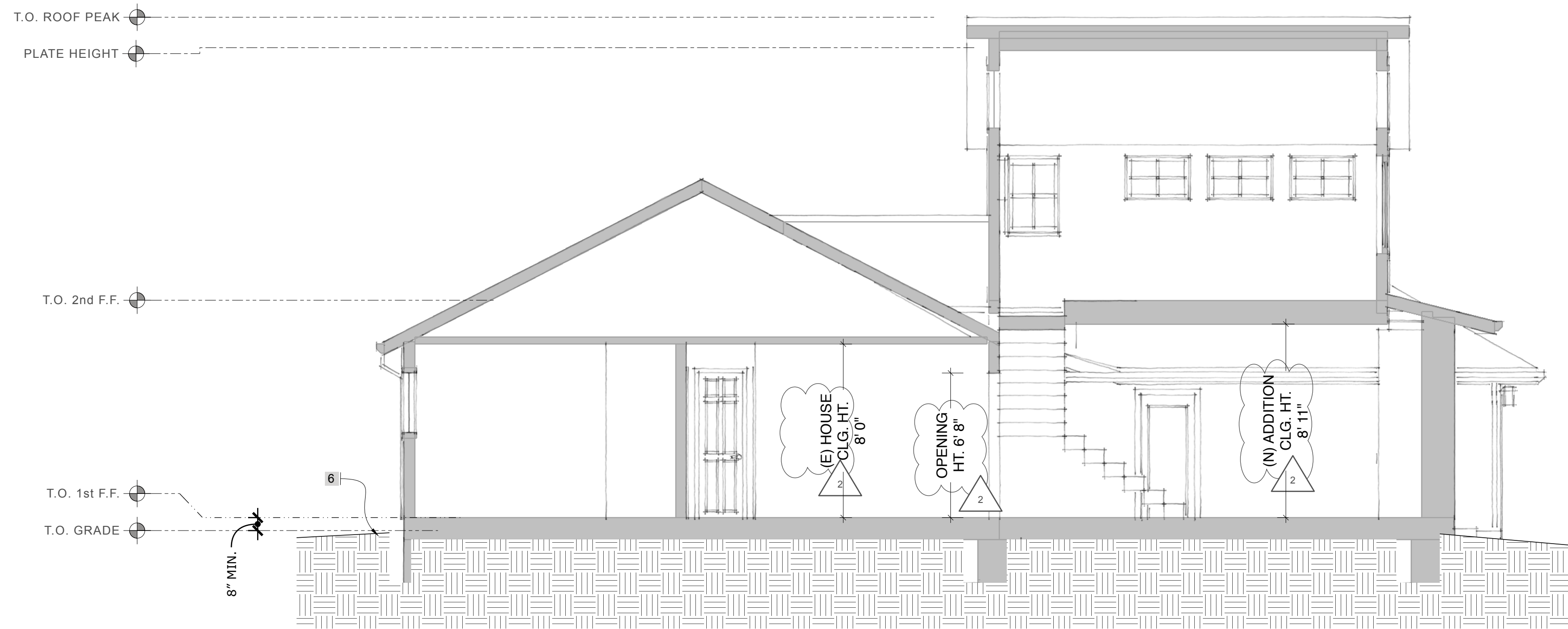


**EXISTING**

# JOB COPY TO REMAIN ON SITE AT ALL TIMES



**1** PROPOSED BUILDING SECTION  
scale: 1/4"=1'-0"



**2** PROPOSED BUILDING SECTION  
scale: 1/4"=1'-0"

**KEYNOTES**

1. ROOF OVERHANG @ GABLE ENDS, SEE EXT. ELEVATIONS SHEET A3.01
2. NEW FOUNDATION & FINISHED FLOOR PER STRUCTURAL ENGINEER - IN PROGRESS
3. EXISTING CONCRETE SLAB @ GARAGE - NO CHANGE
4. (N) SKYLIGHT TYP.
5. (E) CHIMNEY BEYOND, NO CHANGE
6. SLOPE GRADE AWAY FROM FOUNDATION, 1/8" PER 1'-0" FOR 10'-0"

**GENERAL NOTES**

- A. PROVIDE RODENT PROOFING AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- B. PROVIDE FIRE BLOCKING AT CEILING AND FLOOR PENETRATIONS, AND TOP AND BOTTOM PLATE OF WALLS. APPROVED FOAM AND CAULKING (RECOMMEND SILICONIZED CAULKING) SHALL BE CERTIFIED MATERIALS THAT RESIST THE FREE PASSAGE OF FLAME A FIRE BLOCKING SHALL BE INSTALLED AT OPENING AROUND VENTS, PIPES, TUB AND SHOWER TRAPS, DUCTS, ELECTRICAL WIRE, CHIMNEYS AND FIRE PLACES AT CEILING AND FLOOR LEVELS WITH APPROVED MATERIALS.
- C. DO NOT INSTALL BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE. MOISTURE CONTENT SHALL BE MEASURED AND RECORDED PER SHEET A0.04.
- D. DO NOT INSTALL WET INSULATION. REPLACE AND REINSTALL.

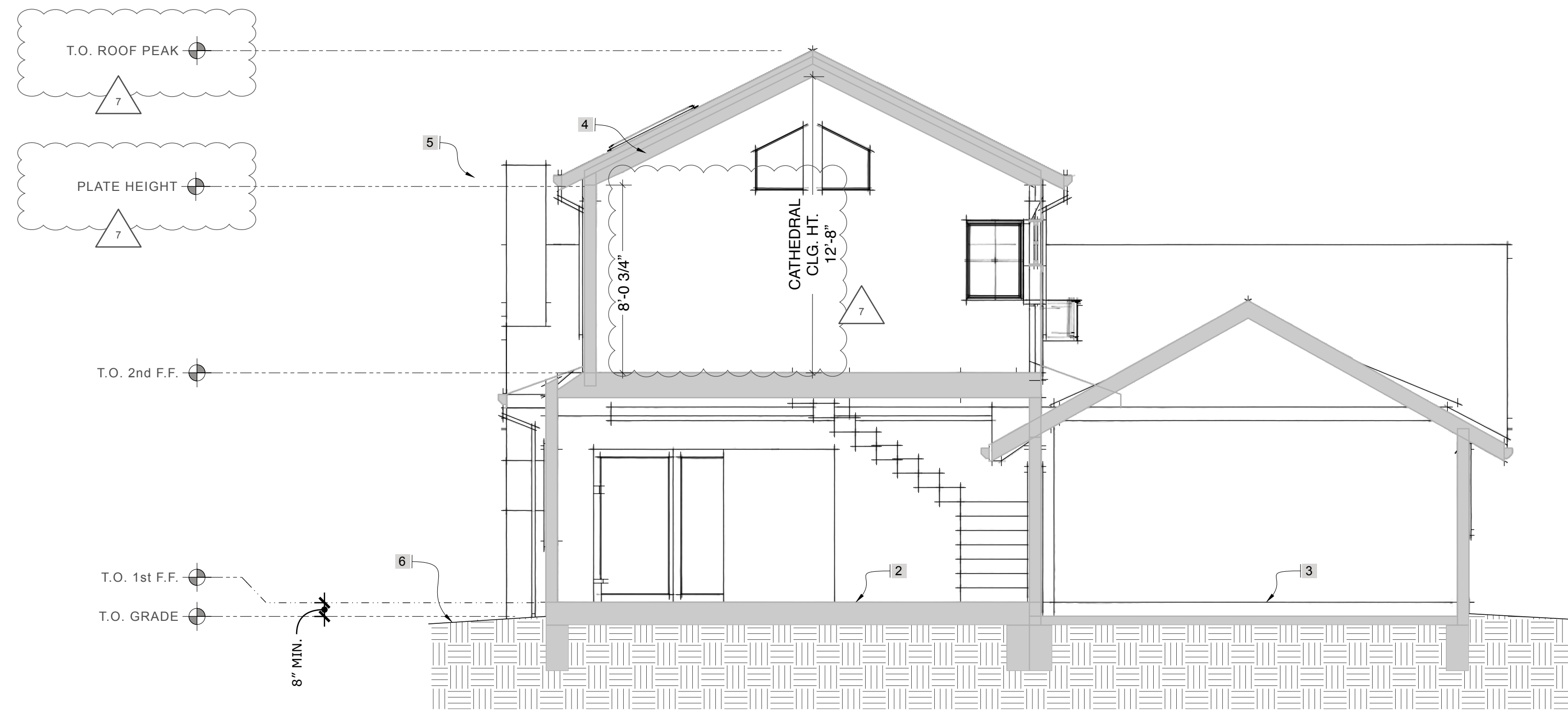
**CALGREEN MANDATORY: INTERIOR MOISTURE CONTROL**

- CALGREEN 4.505 INTERIOR MOISTURE CONTROL**  
4.505.1 GENERAL. BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF THE CALIFORNIA BUILDING STANDARDS CODE.
- 4.505.2 CONCRETE SLAB FOUNDATIONS. CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CALIFORNIA BUILDING CODE, CHAPTER 19, OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY THE CALIFORNIA RESIDENTIAL CODE, CHAPTER 5, SHALL ALSO COMPLY WITH THIS SECTION.
- 4.505.2.1 CAPILLARY BREAK. A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:
1. A 4-INCH (101.6 MM) THICK BASE OF 1/2 INCH (12.7MM) OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING, SHALL BE USED. FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.2R-06.
  2. OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY.
  3. A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL.
- 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:
1. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT-TYPE MOISTURE METER EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS FOUND IN SECTION 101.8 OF THIS CODE.
  2. MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET (610 MM) TO 4 FEET (1219 MM) FROM THE GRADE STAMPED END OF EACH PIECE VERIFIED.
  3. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.
- INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

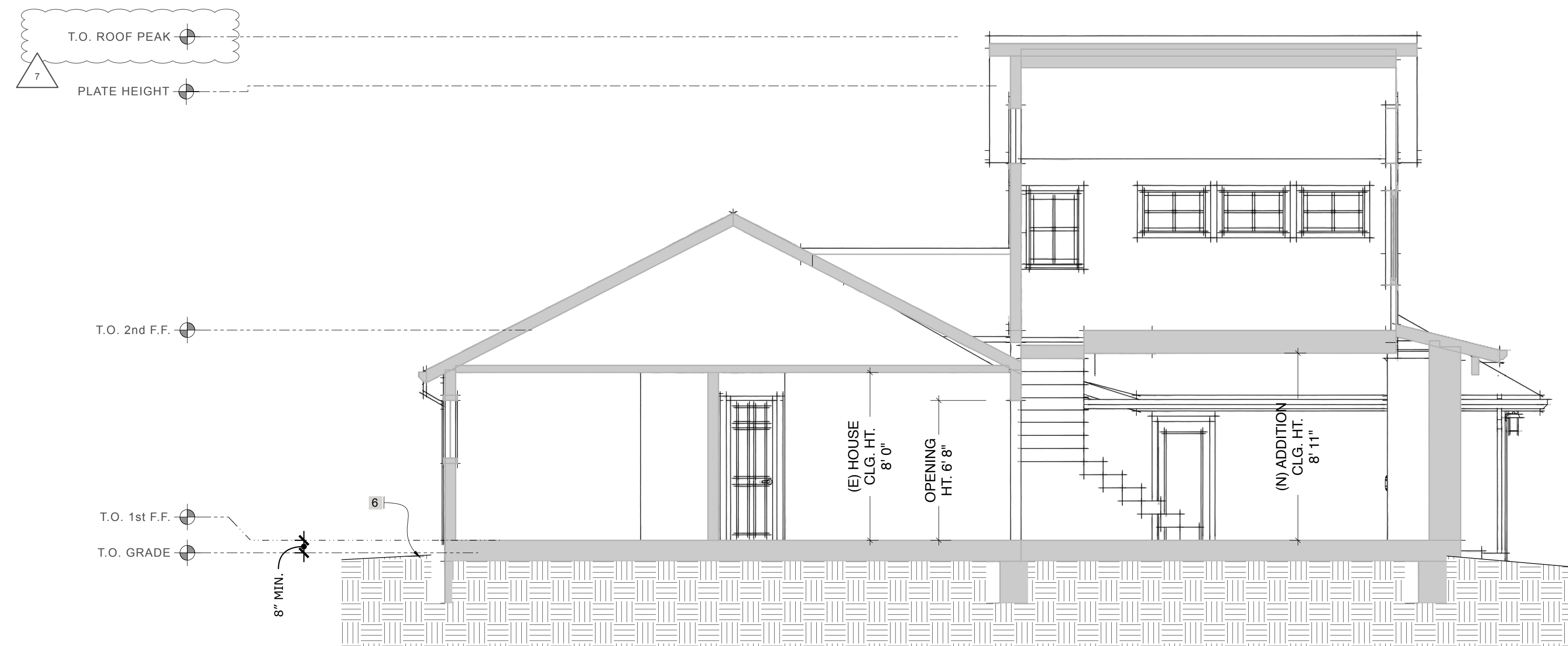
*Keligh Grim*



# PROPOSED



**1** PROPOSED BUILDING SECTION  
scale: 1/4"=1'-0"



**2** PROPOSED BUILDING SECTION  
scale: 1/4"=1'-0"

## KEYNOTES

1. ROOF OVERHANG @ GABLE ENDS, SEE EXT. ELEVATIONS SHEET A3.01
2. NEW FOUNDATION & FINISHED FLOOR PER STRUCTURAL ENGINEER - IN PROGRESS
3. EXISTING CONCRETE SLAB @ GARAGE - NO CHANGE
4. (N) SKYLIGHT TYP
5. (E) CHIMNEY BEYOND, NO CHANGE
6. SLOPE GRADE AWAY FROM FOUNDATION, 1/8" PER 1'-0" FOR 10'-0"

## GENERAL NOTES

- A. PROVIDE RODENT PROOFING AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- B. PROVIDE FIRE BLOCKING AT CEILING AND FLOOR PENETRATIONS, AND TOP AND BOTTOM PLATE OF WALLS. APPROVED FOAM AND CAULKING (RECOMMEND SILICONIZED CAULKING) SHALL BE CERTIFIED MATERIALS THAT RESIST THE FREE PASSAGE OF FLAME. A FIRE BLOCKING SHALL BE INSTALLED AT OPENING AROUND VENTS, PIPES, TUB AND SHOWER TRAPS, DUCTS, ELECTRICAL WIRE, CHIMNEYS AND FIRE PLACES AT CEILING AND FLOOR LEVELS WITH APPROVED MATERIALS.
- C. DO NOT INSTALL BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE. MOISTURE CONTENT SHALL BE MEASURED AND RECORDED PER SHEET A0.04.
- D. DO NOT INSTALL WET INSULATION. REPLACE AND REINSTALL.

## CALGREEN MANDATORY: INTERIOR MOISTURE CONTROL

CALGREEN 4.505 INTERIOR MOISTURE CONTROL  
4.505.1 GENERAL. BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF THE CALIFORNIA BUILDING STANDARDS CODE.

4.505.2 CONCRETE SLAB FOUNDATIONS. CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CALIFORNIA BUILDING CODE, CHAPTER 19, OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY THE CALIFORNIA RESIDENTIAL CODE, CHAPTER 5, SHALL ALSO COMPLY WITH THIS SECTION.

4.505.2.1 CAPILLARY BREAK. A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:

1. A 4-INCH (101.6 MM) THICK BASE OF 1/2 INCH (12.7MM) OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING, SHALL BE USED. FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.2R-06.
2. OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY.
3. A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:

1. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS FOUND IN SECTION 101.8 OF THIS CODE.
2. MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET (610 MM) TO 4 FEET (1219 MM) FROM THE GRADE STAMPED END OF EACH PIECE VERIFIED.
3. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.

INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.



HAVEN DESIGN

HAVEN DESIGN BUILD, LLC  
KELIGH GRIM, DESIGNER  
PH. (303) 746-0661  
keleighgrim@gmail.com

*Keligh Grim*

PROJECT  
**STEFANICK RESIDENCE**  
**NEW ADDITION**  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019

CLIENT  
**DUSTIN & ELYANE STEFANICK**  
PH. (831) 332-6983  
dustystefanick@gmail.com  
elyanestefanick@gmail.com

| ISSUE    | DESIGN REVIEW SET            |
|----------|------------------------------|
| 01/15/21 | Revision 1 - Planning & Fire |
| 03/25/21 | PERMIT SET CYCLE 1           |
| 02/11/21 | PERMIT SET CYCLE 2           |
| 07/11/22 | PERMIT SET CYCLE 3           |
| 12/14/22 | CONSTRUCTION 1 SET           |
| 12/22/22 | CONSTRUCTION 2 SET           |
| 06/26/24 | PERMIT SET CYCLE 4           |
| 10/27/23 | PERMIT SET CYCLE 5           |

BUILDING SECTION

A6.01



# JOB COPY



HAVEN DESIGN

HAVEN DESIGN BUILD, LLC  
KELIGH GRIM, DESIGNER  
PH. (303) 746-0661  
keleighgrim@gmail.com

*Keligh Grim*

Elyane and Dustin Stefanick - 3 - August 6, 2021

### CONDITIONS OF APPROVAL

#### Current Planning Section

- The project shall be constructed in compliance with the plans reviewed and approved by the Coastside Design Review Committee on July 8, 2021. Any changes or revisions to the approved plans shall be submitted to the Design Review Officer for review and approval prior to implementation. Minor adjustments to the design of the project may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid.
- The subject Design Review Permit shall be valid for five (5) years from the date of approval, in which time a building permit shall be issued, and a completed inspection (to the satisfaction of the building inspector) shall have occurred within 180 days of its issuance. This approval may be extended by a one (1) year increment with submittal of an application for permit extension and payment of applicable extension fees sixty days prior to the expiration date.
- The applicant shall include a copy of this final approval letter on the top pages of the building plans.
- The applicant shall indicate the following on plans submitted for a building permit, as stipulated by the Coastside Design Review Committee:
  - On Sheet A6, add elevation levels to the elevation tags.
  - Confirm the medium tone stain for the front door. The stain color shall be subject to the review and approval of the Coastside Design Review Officer.
  - Replace the hanging lantern for the front door with a Dark Sky compliant fixture.
  - Replace the gable expression over the front door on the South Elevation with a shed roof that extends from the left side of the house to the existing garage roof. Add a picture window under the existing pentagonal window.
- The applicant shall provide "finished floor elevation verification" to certify that the structure is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.
  - The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
  - This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the

Elyane and Dustin Stefanick - 5 - August 6, 2021

- Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.
  - Use of sediment controls or filtration to remove sediment when dewatering the site and obtain all necessary permits.
  - Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
  - Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
  - Limiting construction access routes and stabilization of designated access points.
  - Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
  - Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
  - Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
  - Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
- The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
  - All new power and telephone utility lines shall be placed underground.
  - The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Drainage Section, the Coastside Fire Protection District, and the Coastside County Water District.
  - No site disturbance shall occur, including any vegetation removal or grading, until a building permit has been issued.

Elyane and Dustin Stefanick - 7 - August 6, 2021

# TO REMAIN ON SITE AT ALL TIMES

- Smoke alarm/detectors are to be hardwired, interconnected, or with battery back-up. Smoke alarms to be installed per manufacturer's instruction and NFPA 72.
  - Add to plans: Escape or rescue windows shall have a minimum net clear openable area of 5.7 sq ft, 5.0 sq ft, allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above finished floor (CFC 100.1).
  - Add to plans: Residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6 inch by 18-inch green reflective metal sign with 3-inch reflective Numbers/Letters similar to Hy-Ko 911 or equivalent. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).
  - Add to plans: As per Coastside Fire Protection District Ordinance 2019-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
  - The installation of an approved spark arrester is required on all (WOOD BURNING) chimneys. Spark arresters shall be made of 12-gage woven or welded wire screening having openings not exceeding 1/2-inch. If not wood burning, disregard this note.
  - Add to plans: Vegetation Management (LRA) The Coastside Fire District Ordinance 2019-03, the 2019 California Fire Code 304.1.2
- A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees.
- Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.

Elyane and Dustin Stefanick - 9 - August 6, 2021

The CDRC approved this project on July 8, 2021, with the appeal period ending at 5:00 p.m., on July 22, 2021, as announced at the CDRC meeting. No appeals were filed, so the decision on this project is now final.

For more information, please contact the project planner, Ruemel Panglao, at [rpanglao@smcgov.org](mailto:rpanglao@smcgov.org)

To provide feedback, please visit the Department's Customer Survey at the following link: <http://planning.smcgov.org/survey>.

Sincerely,

Ruemel Panglao, Design Review Officer

RSP:RSP.mda - RSPFF0758\_WMN.DOCX

cc: Keleigh Grim, Designer  
Katie Kosliuk, Member Architect  
Rebecca Kalkin, Member Architect  
Chris Johnson, El Granada Community Representative

Elyane and Dustin Stefanick - 4 - August 6, 2021

- finished floors relative to the existing natural or to the grade of the site (finished grade).
  - Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
  - In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
  - Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
  - If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
- The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:
    - Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
    - Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
    - Performing clearing and earth-moving activities only during dry weather
    - Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
    - Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.

Elyane and Dustin Stefanick - 6 - August 6, 2021

- To reduce the impact of construction activities on neighboring properties, comply with the following:
    - All debris shall be contained on-site; a dumpster or trash bin shall be provided on site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
    - The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
    - The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Bridgeport Drive. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Bridgeport Drive. There shall be no storage of construction vehicles in the public right-of-way.
  - The exterior colors and materials as conditioned by the CDRC are approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
  - Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo Ordinance Code Section 4.88.360).
- Building Inspection Section**
- The project requires a building permit.
- Drainage Section**
- At the time of building permit submittal, project will be required to provide a final drainage plan which complies with the County's "prescriptive" drainage review requirements and resolves any potential utility conflicts.
- Coastside Fire Protection District**
- Add to plans: Smoke Detectors which are hard wired: As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2019-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors

Elyane and Dustin Stefanick - 8 - August 6, 2021

- Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
- A Knox padlock or key switch will be required if there is limited access to property. CFC 506.1. For application and instructions please email [jrdell@fire.ca.gov](mailto:jrdell@fire.ca.gov) and [cpdffremarshal@fire.ca.gov](mailto:cpdffremarshal@fire.ca.gov) if you need further assistance please contact Coastside Fire Protection District at 650/726-5213.
  - Automatic Fire Sprinkler System: (Fire Sprinkler plans will require a separate permit). As per San Mateo County Building Standards and Coastside Fire Protection District Ordinance Number 2019-03, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. Sprinkler coverage shall be provided throughout the residence to include all bathrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 sq. ft. with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County will forward a complete set to the Coastside Fire Protection District for review.
  - Exterior bell and interior horn/strobe: are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.
  - Solar Photovoltaic Systems: These systems shall meet the requirements of the 2019 CFC.
  - Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet. Identify all rescue windows.
- Coastside County Water District (District)**
- Fire sprinklers are to be served from an independent and dedicated water service connection with a separate fire meter. Please note that Coastside County Water District does not allow passive purge systems to be installed on fire protection services. Fire protection services are authorized for the sole purpose of fire protection; there shall be no cross connections.
  - Existing and new utilities must be clearly marked on the drawings.

PROJECT  
STEFANICK RESIDENCE  
NEW ADDITION  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019

CLIENT  
DUSTIN & ELYANE STEFANICK  
PH. (831) 332-9383  
dustystefanick@gmail.com  
elyanestefanick@gmail.com

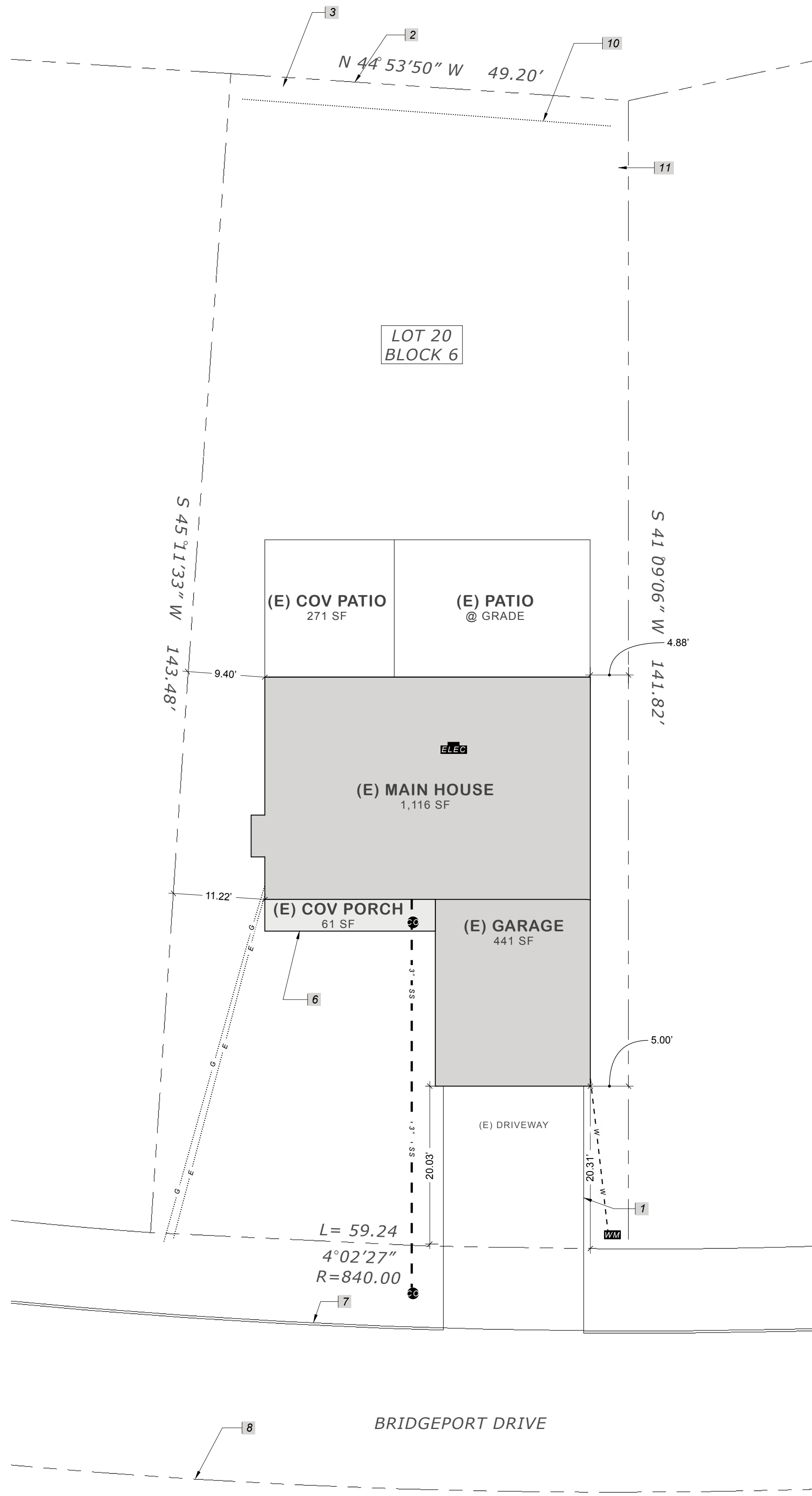
ISSUE  
01/15/21  
03/29/21  
12/01/21  
07/11/22  
UTILIZE

DESIGN REVIEW SET  
Revision 1 - Planning & Fire  
PERMIT SET CYCLE 1  
PERMIT SET CYCLE 2  
PERMIT SET CYCLE 3

CONDITIONS OF APPROVAL



EXISTING

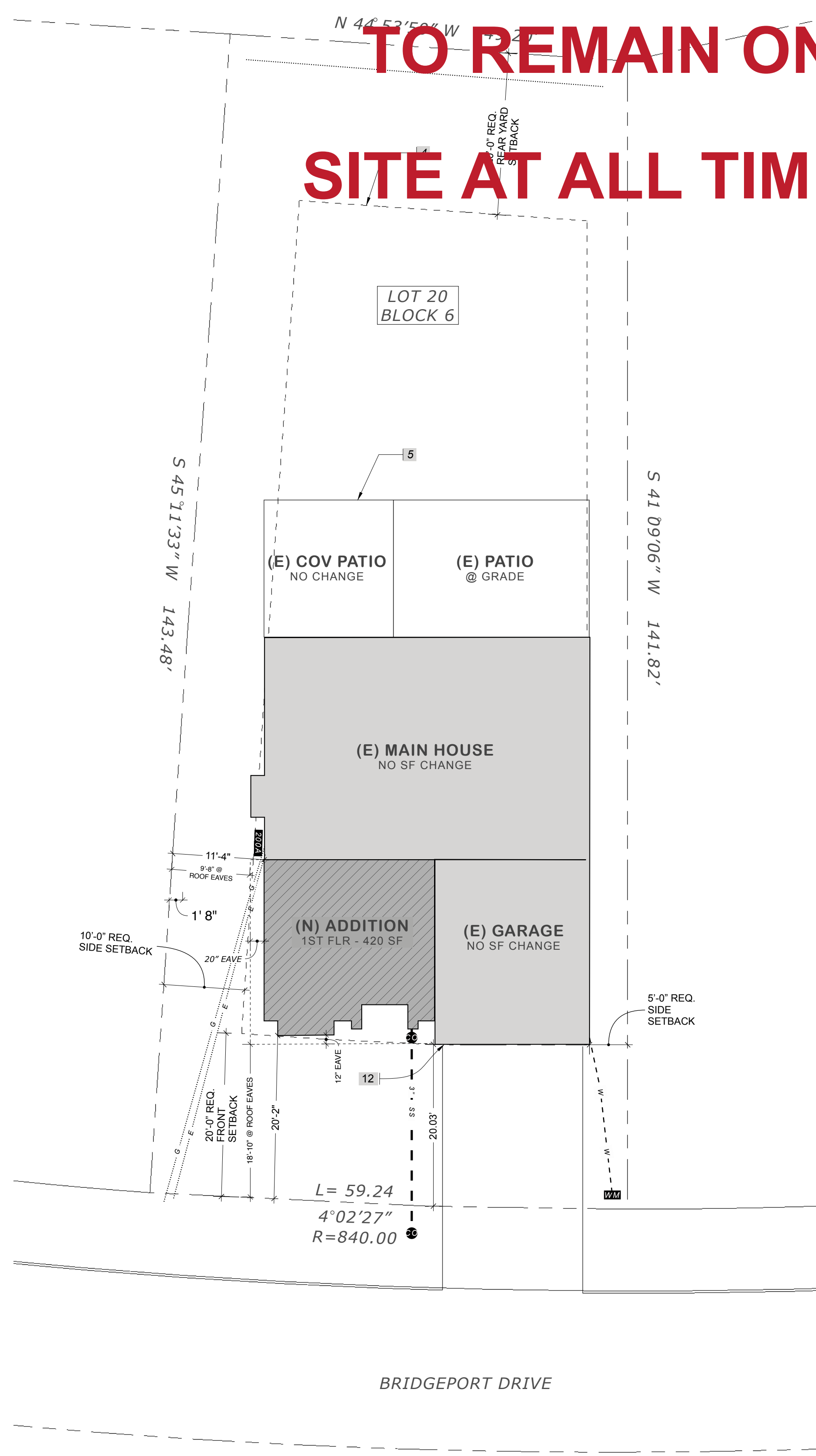


EXISTING SITE PLAN

scale: 1"=10'-0"

JOB COPY

TO REMAIN ON SITE AT ALL TIMES



PROPOSED SITE PLAN

scale: 1"=10'-0"

LEGEND

- PROPERTY LINE
- (E) ELEC PANEL AND METER LOCATION, 200 AMPS
- (N) 100 AMP ELECTRICAL SUB PANEL. PROVIDE CONDUIT (NO SHARING TRENCH) TO (N) SUB PANEL IN ADU.
- (E) WATER METER AND SUPPLY LINE  
EXISTING SIZE: 5/8", UPGRADE TO 3/4"  
FIXTURE UNIT COUNT: 22.5 FIXTURES  
MAXIMUM LENGTH TO FARTHEST FIXTURE: 100'
- (N) WATER SUPPLY LINE TO ADDITION MIN 2" INSULATION AT PIPE. ENCLOSE IN 5" PVC.
- (E) GAS METER AND SUPPLY LINE: NO NEW FIXTURES, WORK OR CONNECTIONS.
- SEWER LINE AND CLEANOUTS. SEE SEWER CONNECTION DEPTH CALC BELOW. CONTRACTOR TO VERIFY SITE CONDITIONS AND NOTIFY ARCHITECT OF FINDINGS. PROVIDE CLEANOUT OUTSIDE EACH BUILDING AND END OF LINE.
- MINI SPLIT OUTDOOR CONDENSER UNIT. SEE SPECIFICATIONS ON SHEET M0.01. PROVIDE POWER & CLEARANCES PER SPECIFICATIONS. THIS NOISE PRODUCING EQUIPMENT SHALL BE 20' FROM REAR PROPERTY LINE & 6' FROM SIDE PROP. LINE. PROVIDE MINIMUM 3" CONCRETE PAD.
- TPZ - NO WORK  
TPZ (TREE PROTECTION ZONE) DIMENSIONED. PROVIDE TREE PROTECTION FENCING ENCLOSING PROTECTED TREE. SEE SHEET T-1, DETAIL #605, TYPE 2 TREE PROTECTION FOR "PROTECTED TREE".

KEYNOTES

1. (E) DRIVEWAY TO REMAIN WITH TANDEM PARKING: 8.5'x18'
2. PROPERTY LINE TYP.
3. (E) FENCE TYP.
4. LINE OF MIN. REQ. SETBACKS
5. NO CHANGE TO EXISTING
6. (E) COVERED PORCH TO DEMO
7. (E) CURB
8. (E) C.L. OF BRIDGEPORT DRIVE
9. NO NEW LANDSCAPING
10. (E) RETAINING WALL, NO CHANGES, APPROX. 3' HT.
11. (E) FENCE NOT SHOWN FOR CLARITY, SEE SURVEY FOR FENCE, NO CHANGES
12. RESIDENTIAL BUILDING SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLICS WAY FRONTING THE BUILDING. THE LETTERS/ NUMBERS FOR PERMANENT ADDRESS SIGNS SHALL BE 4" IN HT W. A MIN. OF 1/2" STROKE. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST 6'-0" ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE.
13. VEGETATION MANAGEMENT (LRA) THE COASTSIDE FIRE DISTRICT ORDINANCE 2019-03, THE 2019 CALIFORNIA FIRE CODE 304.1.2. - A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AN D MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES. TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY. REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.
14. A KNOX PADLOCK OR KEY SWITCH WILL BE REQUIRED IF THERE IS LIMITED ACCESS TO PROPERTY. CRC 506.1. FOR APPLICATION AND INSTRUCTIONS PLEASE EMAIL: jriddle@fire.ca.gov AND cfpdfiremarshal@fire.ca.gov. IF YOU NEED FURTHER ASSISTANCE PLEASE CONTACT COASTSIDE FIRE PROTECTION DISTRICT AT (650) 726-5213.

GENERAL NOTES

- A. NO EAVE PROJECTIONS BETWEEN 2' - 5' FROM PROPERTY LINE
- B. PROVIDE MINIMUM SLOPES OF 2% TO FACILITATE SITE DRAINAGE.
- C. PROVIDE A MINIMUM SLOPE OF 5% AWAY FROM THE BUILDING FOUNDATION OR 6" FOR 10'.
- D. LIGHT POLLUTION REDUCTION: PALO ALTO IS LIGHTING ZONE 3. INSTALL OUTDOOR LIGHTING THAT MEET THE REQUIRED (BUG) BACKLIGHT, UPLIGHT, AND GLARE RATINGS.
- E. DOWN SPOUTS WHERE SHOWN OPTIONS: ROUT THROUGH PERMEABLE LANDSCAPING, OR INSTALL SPLASH BLOCKS (MIN 2' LONG) WHERE DOWNSPOUTS DAYLIGHT.
- F. ANY ADDITION TO HARDSCAPING OR PAVED AREA SHALL BE PERMEABLE.
- G. USE AGGREGATE w/ MIN 25% RECYCLED AGGREGATE BY VOLUME FOR WALKWAY AND DRIVEWAY BASE.
- H. MULCH ALL PLANTING BEDS TO >4" (3" MIN AFTER SETTLED) SELECT ORGANIC MULCH (NO ROCK OR RUBBER) THAT WILL IMPROVED SOIL STRUCTURE.
- I. VERIFY HIGH EFFICIENCY IRRIGATION SYSTEM IS INSTALLED. SYSTEM SHOULD USE ONLY LOW-FLOW DRIP BUBBLERS, OR SPRINKLERS. INSTALL A SMART (WEATHER BASED) CONTROLLER.
- J. ALL NEW PLANTS SHALL BE INSTALLED AS FOLLOWS: GROUP ALL (N) PLANTS BY WATER NEEDS; CONSTRUCT RESOURCE EFFICIENT LANDSCAPES; NO INVASIVE SPECIES LISTED BY CAL-IPC, NO PLANTS THAT REQUIRE SHEARING, 75% OF PLANTS NEED TO BE DROUGHT TOLERANT, CALIFORNIA NATIVES OR MEDITERRANEAN SPECIES OR OTHER APPROPRIATE SPECIES, PLANT SHADE TREE
- K. OUT DOOR POTABLE WATER USE IN LANDSCAPE AREAS MUST COMPLY WITH CAL GREEN 4.304. DEVELOPMENTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET SHALL COMPLY WITH ONE OF THE FOLLOWING OPTIONS: 1)A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE, 2) THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE, WHICHEVER IS MORE STRINGENT; OR PROJECTS WITH AGGREGATE LANDSCAPE AREAS LESS THAN 2,500 SQUARE FEET MAY COMPLY WITH THE MWEO'S APPENDIX D PRESCRIPTIVE COMPLIANCE OPTION.

**haven**  
design  
build

HAVEN DESIGN  
HAVEN DESIGN BUILD, LLC  
KELIGH GRIM, DESIGNER  
PH. (303) 746-0661  
keleighgrim@gmail.com

PROJECT  
**STEFANICK RESIDENCE**  
**NEW ADDITION**  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019

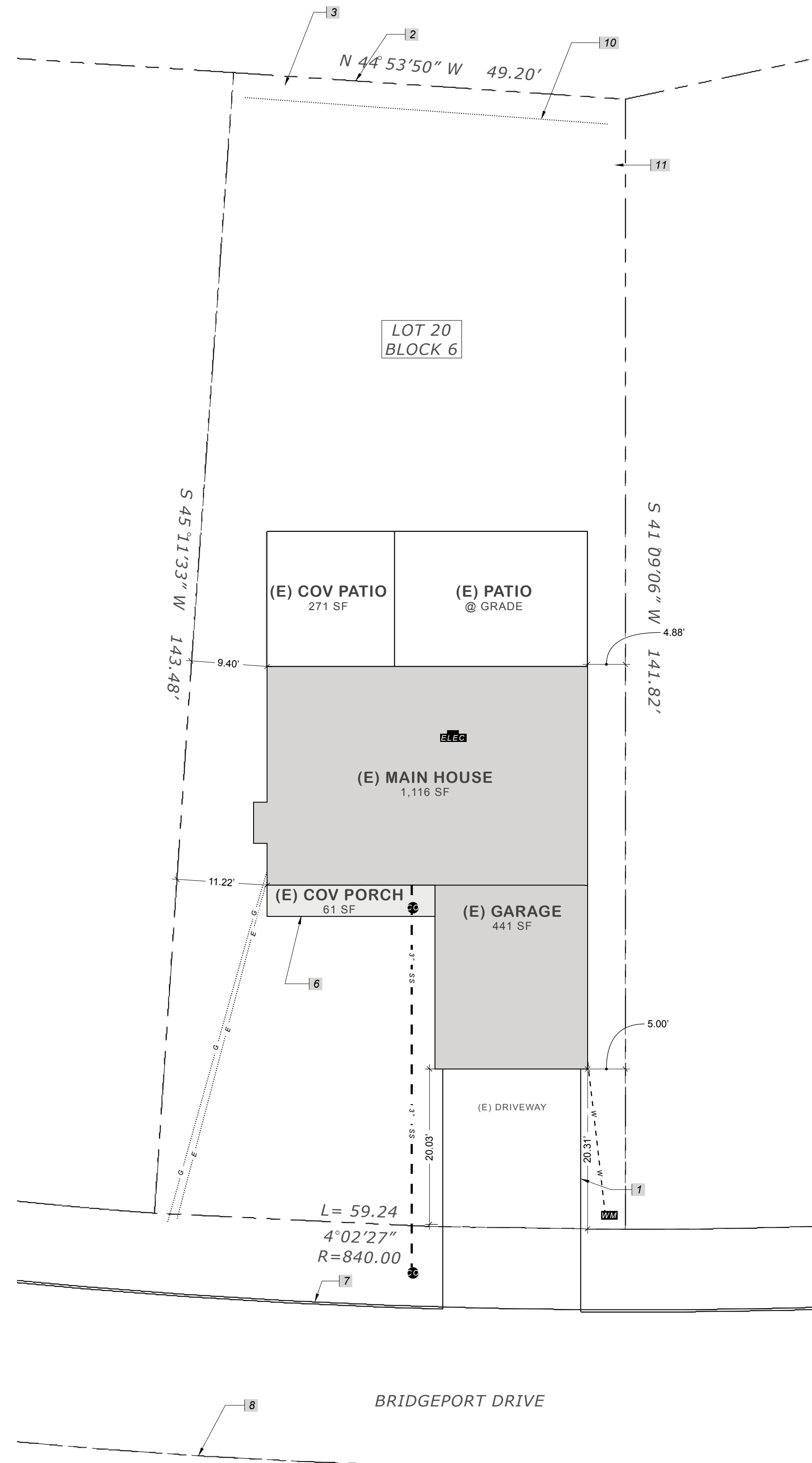
CLIENT  
**DUSTIN & ELYANE STEFANICK**  
PH. (831) 332-9383  
dustystefanick@gmail.com  
elyanestefanick@gmail.com

ISSUE  
01/15/21  
03/29/21  
12/10/21  
03/11/21

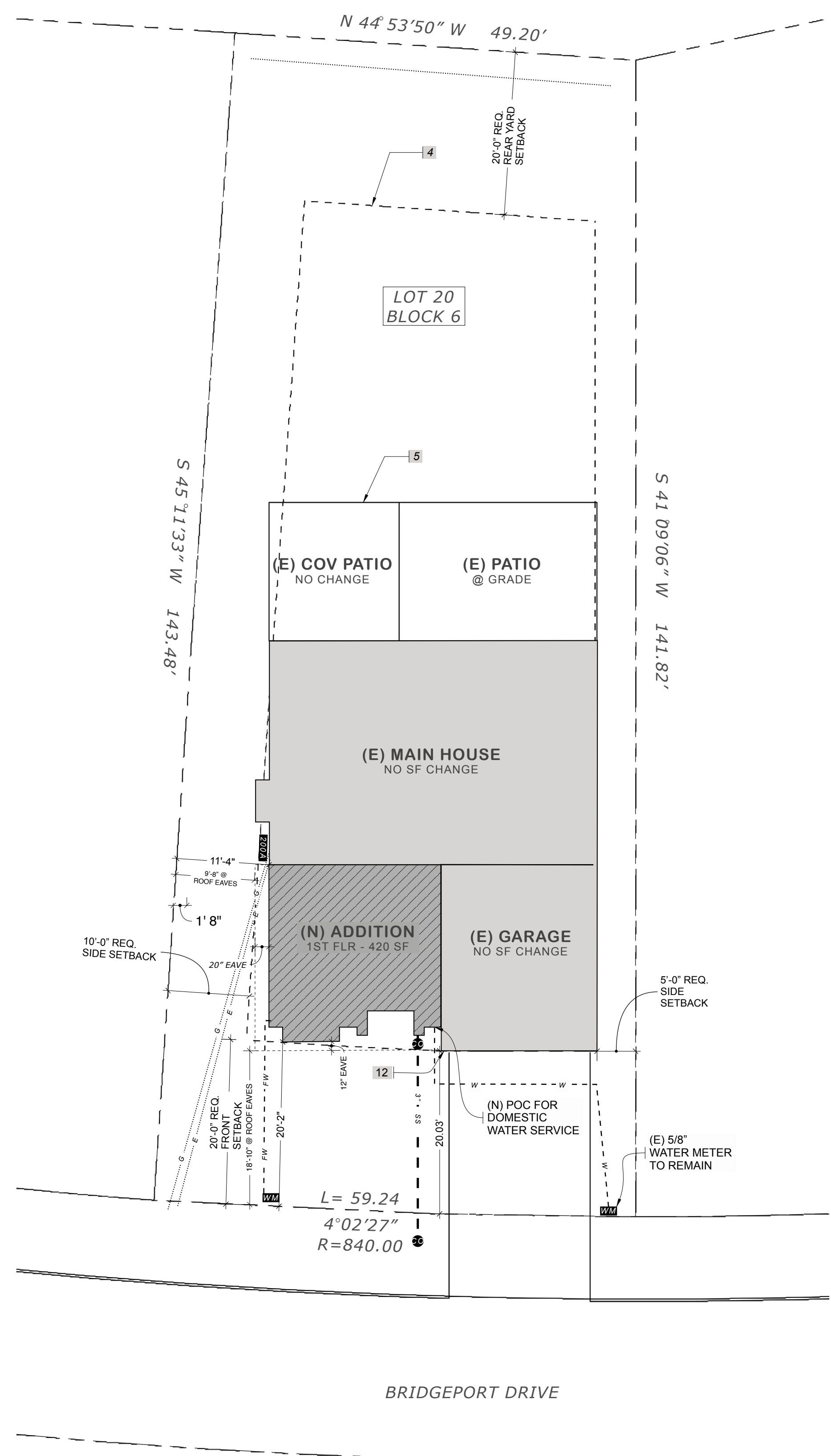
DESIGN REVIEW SET  
Revision 1 - Planning & Fire  
PERMIT SET CYCLE 1  
PERMIT SET CYCLE 2  
UTILIZE PERMIT SET CYCLE 3



# PROPOSED - NO CHANGE



**2 EXISTING SITE PLAN**  
scale: 1"=10'-0"



**1 PROPOSED SITE PLAN**  
scale: 1"=10'-0"

## LEGEND

- PROPERTY LINE
- (E) ELEC PANEL AND METER LOCATION, 200 AMPS
- (N) 100 AMP ELECTRICAL SUB PANEL. PROVIDE CONDUIT (NO SHARING TRENCH) TO (N) SUB PANEL IN ADU.
- (E) WATER METER AND SUPPLY LINE TO REMAIN AS IS EXISTING SIZE: 5/8"
- (N) DEDICATED FIRE SERVICE AND METER FOR FIRE SPRINKLERS, METER SIZE TO BE 1" REFERENCE FIRE SPRINKLER PLANS
- (N) WATER SUPPLY LINE TO ADDITION MIN 2" INSULATION AT PIPE. ENCLOSE IN 5" PVC.
- (E) GAS METER AND SUPPLY LINE: NO NEW FIXTURES, WORK OR CONNECTIONS.
- SEWER LINE AND CLEANOUTS. SEE SEWER CONNECTION DEPTH CALC BELOW. CONTRACTOR TO VERIFY SITE CONDITIONS AND NOTIFY ARCHITECT OF FINDINGS. PROVIDE CLEANOUT OUTSIDE EACH BUILDING AND END OF LINE.
- MINI SPLIT OUTDOOR CONDENSER UNIT. SEE SPECIFICATIONS ON SHEET M0.01. PROVIDE POWER & CLEARANCES PER SPECIFICATIONS. THIS NOISE PRODUCING EQUIPMENT SHALL BE 20' FROM REAR PROPERTY LINE & 6' FROM SIDE PROP. LINE. PROVIDE MINIMUM 3" CONCRETE PAD.
- TPZ (TREE PROTECTION ZONE) DIMENSIONED. PROVIDE TREE PROTECTION FENCING ENCLOSING PROTECTED TREE. SEE SHEET T-1, DETAIL #605, TYPE 2 TREE PROTECTION FOR "PROTECTED TREE".

## KEYNOTES

1. (E) DRIVEWAY TO REMAIN WITH TANDEM PARKING: 8.5'x18'
2. PROPERTY LINE TYP.
3. (E) FENCE TYP.
4. LINE OF MIN. REQ. SETBACKS
5. NO CHANGE TO EXISTING
6. (E) COVERED PORCH TO DEMO
7. (E) CURB
8. (E) C.L. OF BRIDGEPORT DRIVE
9. NO NEW LANDSCAPING
10. (E) RETAINING WALL, NO CHANGES, APPROX. 3' HT.
11. (E) FENCE NOT SHOWN FOR CLARITY, SEE SURVEY FOR FENCE, NO CHANGES
12. RESIDENTIAL BUILDING SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLICS WAY FRONTING THE BUILDING. THE LETTERS/ NUMBERS FOR PERMANENT ADDRESS SIGNS SHALL BE 4" IN HT W. A MIN. OF 1/2" STROKE. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST 6'-0" ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE.
13. VEGETATION MANAGEMENT (LRA) THE COASTSIDE FIRE DISTRICT ORDINANCE 2019-03, THE 2019 CALIFORNIA FIRE CODE 304.1.2. - A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AN DMAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES. TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY. REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.
14. A KNOX PADLOCK OR KEY SWITCH WILL BE REQUIRED IF THERE IS LIMITED ACCESS TO PROPERTY. CRC 506.1. FOR APPLICATION AND INSTRUCTIONS PLEASE EMAIL: jriddle@fire.ca.gov AND cpdfiremarshal@fire.ca.gov. IF YOU NEED FURTHER ASSISTANCE PLEASE CONTACT COASTSIDE FIRE PROTECTION DISTRICT AT (650) 726-5213.

## GENERAL NOTES

- A. NO EAVE PROJECTIONS BETWEEN 2' - 5' FROM PROPERTY LINE
- B. PROVIDE MINIMUM SLOPES OF 2% TO FACILITATE SITE DRAINAGE.
- C. PROVIDE A MINIMUM SLOPE OF 5% AWAY FROM THE BUILDING FOUNDATION OR 6" FOR 10'.
- D. LIGHT POLLUTION REDUCTION: PALO ALTO IS LIGHTING ZONE 3. INSTALL OUTDOOR LIGHTING THAT MEET THE REQUIRED (BUG) BACKLIGHT, UPLIGHT, AND GLARE RATINGS.
- E. DOWN SPOUTS WHERE SHOWN OPTIONS: ROUT THROUGH PERMEABLE LANDSCAPING, OR INSTALL SPLASH BLOCKS (MIN 2' LONG) WHERE DOWNSPOUTS DAYLIGHT.
- F. ANY ADDITION TO HARDSCAPING OR PAVED AREA SHALL BE PERMEABLE.
- G. USE AGGREGATE w/ MIN 25% RECYCLED AGGREGATE BY VOLUME FOR WALKWAY AND DRIVEWAY BASE.
- H. MULCH ALL PLANTING BEDS TO >4" (3" MIN AFTER SETTLED) SELECT ORGANIC MULCH (NO ROCK OR RUBBER) THAT WILL IMPROVED SOIL STRUCTURE.
- I. VERIFY HIGH EFFICIENCY IRRIGATION SYSTEM IS INSTALLED. SYSTEM SHOULD USE ONLY LOW-FLOOD DRIP BUBBLERS, OR SPRINKLERS. INSTALL A SMART (WEATHER BASED) CONTROLLER.
- J. ALL NEW PLANTS SHALL BE INSTALLED AS FOLLOWS: GROUP ALL (N) PLANTS BY WATER NEEDS. CONSTRUCT RESOURCE EFFICIENT LANDSCAPES. NO INVASIVE SPECIES LISTED BY CAL-IPC. NO PLANTS THAT REQUIRE SHEARING. 75% OF PLANTS NEED TO BE DROUGHT TOLERANT. CALIFORNIA NATIVES OR MEDITERRANEAN SPECIES OR OTHER APPROPRIATE SPECIES. PLANT SHADE TREE
- K. OUT DOOR POTABLE WATER USE IN LANDSCAPE AREAS MUST COMPLY WITH CAL GREEN 4.304. DEVELOPMENTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET SHALL COMPLY WITH ONE OF THE FOLLOWING OPTIONS: 1) A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE, 2) THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE, WHICHEVER IS MORE STRINGENT, OR PROJECTS WITH AGGREGATE LANDSCAPE AREAS LESS THAN 2,500 SQUARE FEET MAY COMPLY WITH THE MWEL0'S APPENDIX D PRESCRIPTIVE COMPLIANCE OPTION.



HAVEN DESIGN  
HAVEN DESIGN BUILD, LLC  
KELIGH GRIM, DESIGNER  
PH. (303) 746-0661  
keleighgrim@gmail.com

*Keligh Grim*

PROJECT  
**STEFANICK RESIDENCE**  
**NEW ADDITION**  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019

CLIENT  
**DUSTIN & ELYANE STEFANICK**  
PH. (831) 332-6983  
dustystefanick@gmail.com  
elyanestefanick@gmail.com

| ISSUE | DESIGN REVIEW SET | Revision 1 - Planning & Fire |
|-------|-------------------|------------------------------|
|       | 01/15/21          | 03/25/21                     |
|       | 03/25/21          | 03/25/21                     |
|       | 03/25/21          | 03/25/21                     |
|       | 07/11/22          | 07/11/22                     |
|       | 12/14/22          | 12/14/22                     |
|       | 12/22/22          | 12/22/22                     |
|       | 06/27/23          | 06/27/23                     |
|       | 10/27/23          | 10/27/23                     |

SITE PLAN



**JOB COPY  
TO REMAIN ON  
SITE AT ALL TIMES**

**WALL LEGEND**

|  |                    |     |      |
|--|--------------------|-----|------|
|  | EXISTING TO DEMO   | 2X4 |      |
|  | EXISTING INFILL    | 2X4 |      |
|  | EXISTING TO REMAIN | 2X4 | R-15 |
|  | INTERIOR           | 2X4 | BATT |
|  | INTERIOR           | 2X6 | BATT |
|  | EXTERIOR           | 2X6 | R-21 |
|  | 1 HOUR RATED       | 2X4 | R-21 |

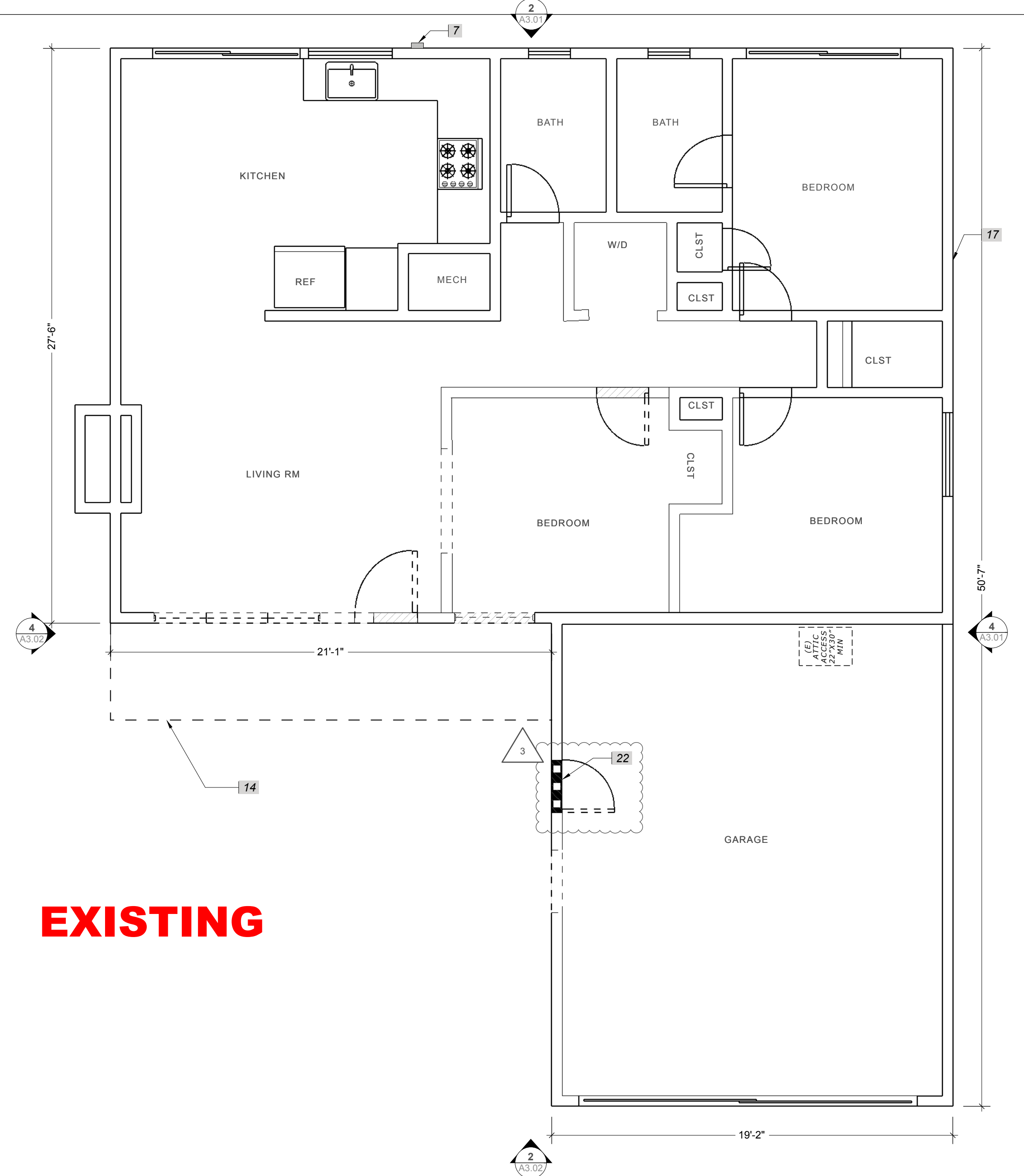
Inside Finish: Gypsum Board each side  
Cavity / Frame: Batt / 2x4  
Exterior Finish: Cement Board siding  
Inside Finish: Gypsum Board each side  
Cavity / Frame: no insulation / 2x4  
Inside Finish: Gypsum Board  
Cavity / Frame: R-19 / 2x6  
Exterior Finish: Wet board, Tile  
Inside Finish: Gypsum Board  
Cavity / Frame: R-21 / 2x6  
Exterior Finish: Cement Board siding  
Inside Finish: Gypsum Board  
Cavity / Frame: R-21 / 2x4  
GARAGE SIDE FINISH: 1/2" Gypsum Board per CRC R302.6

**KEYNOTES**

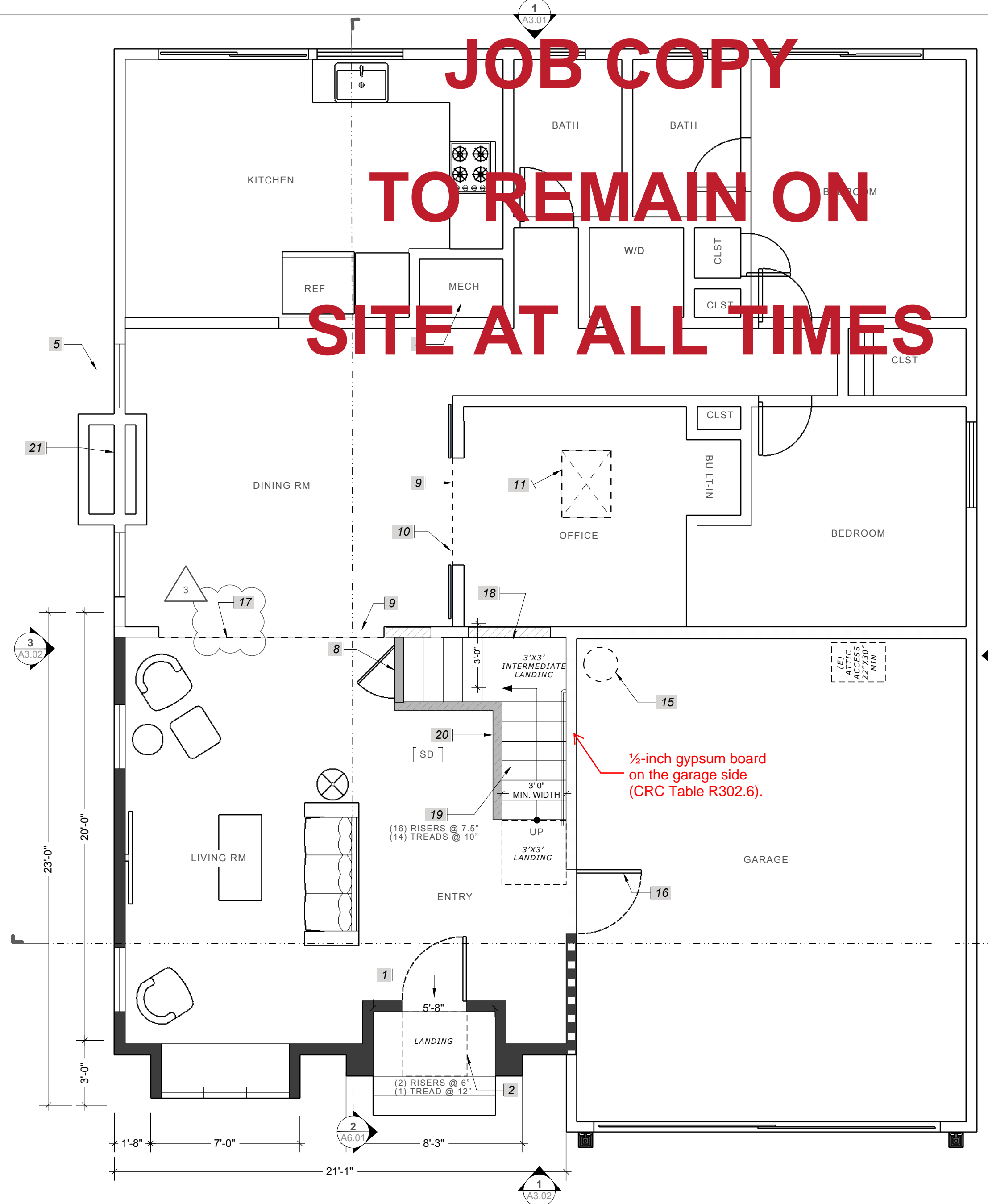
- EGRESS DOOR: 36" WIDE, SIDE HINGED (PROVIDE 32" MIN CLEAR) PROVIDE LANDING: MIN. 36" DEEP SLOPED MIN 1/4" PER FOOT., THRESHOLD: (IN-SWING DOOR MAX 7.75", OUT SWING DOOR MAX 1.5")
- LANDING: MIN 36" DEEP LANDING AT ALL EXTERIOR DOORS. PROVIDE A MIN SLOPE OF 1/4" VERTICAL IN 12" HORIZONTAL (2%) FOR DRAINAGE AWAY FROM THE BUILDING. LANDING TO BE A MAXIMUM OF: 7.75" BELOW DOOR THRESHOLD FOR AN IN-SWING DOOR OR 1.25" BELOW DOOR THRESHOLD FOR AN OUT-SWING DOOR PER CRC R311.3.1
- SHOWER: SIZE: MINIMUM 1024 SQ-INCHES & MIN 30" DIAM CIRCLE. WALLS: SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A MIN HEIGHT OF 72" A.F.F AND 4" HORIZONTALLY BEYOND THE WATER ENCLOSURE. SHOWER HEAD: MOUNTED MIN 6'-8" HIGH. LOCATED SO BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY (CPC 408.9). CONTROL VALVE: SHOWER VALVES TO BE PRESSURE-BALANCED OR THERMOSTATIC MIXING TYPE ADJUSTED TO A MAX OF 120 DEG. LOCATE SO BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER. SPRAY (CPC 408.9). THRESHOLD: AT SHOWER TO BE MIN 2" AND MAX 9". IF CURB IS FLUSH, EXTEND WATER PROOF MEMBRANE UNDER TILE FOR A MIN OF 48". PROVIDE TEMPERED SHOWER DOORS WITH 22" MIN. OPENING & SHALL OPEN TO MAINTAIN A 22" MIN. UNOBSTRUCTED OPENING PER CPC 408.5
- TOILET: 30" MIN CLEAR WIDTH AND 24" CLEAR IN FRONT. 24" CLEARANCE IN FRONT OF THE LAVATORY FAUCET PER CPC 402.5
- (N) HEAT PUMP LOCATION. SEE T-24 DOCUMENTS
- (N) AIR HANDLER LOCATION. VENT THROUGH ROOF & PROVIDE INDOOR COMBUSTION AIR IN ACCORDANCE WITH CALIFORNIA MECHANICAL CODE SECTION 701.
- (E) DHW HEATER 1, GAS, CONSUMER INSTANTANEOUS, 0.81-UEF, <=200 kBtu/hr. "NO CHANGE
- STORAGE CLOSET UNDER STAIR, FINISH OUT W/ 1/2" GYPSUM BOARD PER CRC R302.7
- OPEN UP (E) WALL W/ (N) STRUCTURAL HEADER PER SE DWGS. NOTE: 33 SF OPENING SIZE
- (N) CUSTOM BARN STYLE DOORS ON AN OVERHEAD WALL MT. TRACK
- (N) 36X42 (10.5 SF) SKYLIGHT, OFFICE = 106 SF, PER R303.1 AN AGGREGATE GLAZING AREA OF 8.48 SF (MIN.) IS REQUIRED AND A VENTILATION OPENING OF 4.24 SF (MIN.) IS REQUIRED. SEE A7.01 FOR 36"X42" OPERABLE VELUX SKYLIGHT.
- SMOKE DETECTORS WHICH ARE HARD WIRED: AS PER THE CBC, STATE FIRE MARSHAL REGULATIONS, AND COASTSIDE FIRE DISTRICT ORDINANCE 2019-03, THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHAL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HARD WIRED, INTERCONNECTED, AND HAVE BATTERY BACKUP. THESE DETECTORS ARE REQUIRED TO BE PLACED IN EACH NEW AND RECONDITIONED SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN EXISTING SLEEPING ROOMS, AREAS MAY HAVE BATTERY POWERED SMOKE ALARMS. A MIN. OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL. DATE OF INSTALLATION MUST BE ADHERED TO THE EXTERIOR OF THE SMOKE ALARM AND WILL BE CHECKED AT FINAL.
- SMOKE ALARM/ DETECTORS TO BE HARDWIRED, INTERCONNECTED, OR WITH BATTERY BACK-UP. SMOKE ALARMS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTION AND NFPA 72.
- (E) COVERED PATIO TO DEMO
- (N) RHEEM 80 GALLON ELECTRIC HW HEATER, LOCATE IN GARAGE. SEE TITLE 24 DOCUMENTS. STRAPPING SHALL BE PROVIDED AT POINTS WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSIONS PER CPC 507.2.
- (N) GARAGE MAN DOOR TO MEET CRC R302.5.1 - TO BE SELF-CLOSING OR AUTOMATIC CLOSING. SELF-LATCHING, TIGHT-FITTING, AND BE MADE OF SOLID WOOD NOT LESS THAN 1 3/8" THICK, SOLID HONEYCOMB-CORE STEEL NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE RATED.
- (E) & (N) UNDER FLOOR ACCESS, MIN 18"X24" PER CRC R408.4 - STRUCTURAL FOUNDATION PLAN.
- HANDRAIL @ STAIR PER DETAIL #4/A2.01
- STAIRS PER CRC R311.7.5, QTY. (16) RISERS @ 7.5", (14) TREADS @ 10", (1) 3'X3' INTERMEDIATE LANDING. BASED ON 10'-0" FINISHED FLOOR TO FLOOR HEIGHT. GENERAL CONTRACTOR TO CONFIRM ONCE FRAMING IS COMPLETE & ADJUST ACCORDINGLY AND TO MEET CODE.
- STAIR GUARDS - CABLE RAILING (OR SIMILAR DETAIL) TO MEET CRC R312.1.2. SEE STRUCTURAL PLANS FOR POST CONNECTION DETAIL
- REPLACE (E) WOOD BURNING FIREPLACE W/ (N) ELECTRIC FIREPLACE INSERT
- 1-HOUR RATED WALL IN-FILL PER LEGEND ABOVE, 1/2" GYP BOARD ON GARAGE SIDE AS WELL

**GENERAL NOTES**

- GYP BOARD: FINISH WITH LEVEL 4-5 FINISH. INSTALL SHEETROCK PERPENDICULAR TO FRAMING MEMBERS. JOINTS TO BE STAGGERED ON OPPOSITE SIDES OF THE FRAMING MEMBERS. ELECTRICAL OUTLET MAX SETBACK 1/4" FROM DRYWALL FACE AND NO SIDE GAPS. MORE THAN 1/8" TO ELECTRICAL OUTLET. INSTALL CEILING DRYWALL OVER EDGE OF WALL PANEL OR GYPSUM. DOUBLE LAYER DRYWALL ON SAME AND OPPOSITE SIDES OF FRAMING SHALL HAVE JOINTS OFFSET.
- BASE FOR TILE IN SHOWER AND TUB COMPARTMENTS SHALL BE CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS. USE LISTED FASTENERS THAT ARE CORROSION RESISTANT. LEAVE A 1/4" SPACE BETWEEN THE WATER RESISTANT PANEL AND THE LIP OF THE RECEPTOR/ SHOWER PAN/TUB AND APPLY SILICONE CAULKING.
- BASE FOR TILE IN WATER CLOSET COMPARTMENT WALLS: WATER RESISTANT GYPSUM BOARD/ GREEN BOARD SHALL BE INSTALLED. LEAVE A 1/4" SPACE BETWEEN THE WATER RESISTANT PANEL AND THE LIP OF THE RECEPTOR/SHOWER PAN/TUB AND APPLY SILICONE CAULKING.
- LOW EMITTING FINISHES: FOR A LIST OF ALLOWABLE VOC LIMITS FOR ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATINGS SEE TABLE PER CAL GREEN SECTION 4.504.2.05. SHEET 60.05 SHEET. ALL NEW PAINT FINISHES TO BE LOW VOC INTERIOR WALL/CEILING PAINTS (<50 GRAMS PER LITER (gpl) VOCs REGARDLESS OF SHEEN). LOW-VOC CAULK <70g/L IN ALL INTERIOR APPLICATIONS (FRAMING, SUBFLOORS, COUNTERS, TRIMS, TUB/SHOWERS). COMPOSITE WOOD PRODUCTS ALLOWABLE VOC REFER TO TABLE ON SHEET A0.04. 50% OF FLOORING TO BE LOW VOC EMITTING.
- PLUMBING FIXTURE FLOW RATES: SHOWER HEAD (MAX 1.8 GPM @80 COMBINED TOTAL FOR ALL HEADS IN SHOWER UNIT), LAVATORY FAUCET (MAX 1.2 GPM @60PSI, MIN .8 GPM @20PSI), KITCHEN FAUCET (1.8 GPM @80 PSI), METERING FAUCETS (2.5 GAL/CYCLE), WATER CLOSET (1.28 GAL/FLUSH INCLUDING TOTAL DUAL FLUSH), URINALS (0.125 GAL/FLUSH), DISHWASHER (4.25 GAL CYCLE), COMPACT DISHWASHER (3.6 GAL/CYCLE), CLOTHES WASHER (WATER FACTOR OF 6 GAL/ CU FT OF DRUM CAPACITY)
- MOISTURE CONTENT OF BUILDING MATERIALS: DO NOT INSTALL BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE. DO NOT ENCLOSE WALL AND FLOOR FRAMING MOISTURE CONTENT EXCEEDS 19%. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING: 1) A PROBE-TYPE OR A CONTACT-TYPE MOISTURE METER (OR EQUIVALENT METHOD APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS IN SECTION 101.8.) OR 2) MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM THE GRADE-STAMPED END OF EACH PIECE TO BE VERIFIED. OR 3) AT LEAST 3 RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUFACTURERS' DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.
- DUCTS IN GARAGE PENETRATING THE WALLS AND CEILING OF AT SEPARATION WALLS SHALL BE CONSTRUCTED OF A MIN. NO. 26 GAGE STEEL SHEET PER CRC 302.5.2.



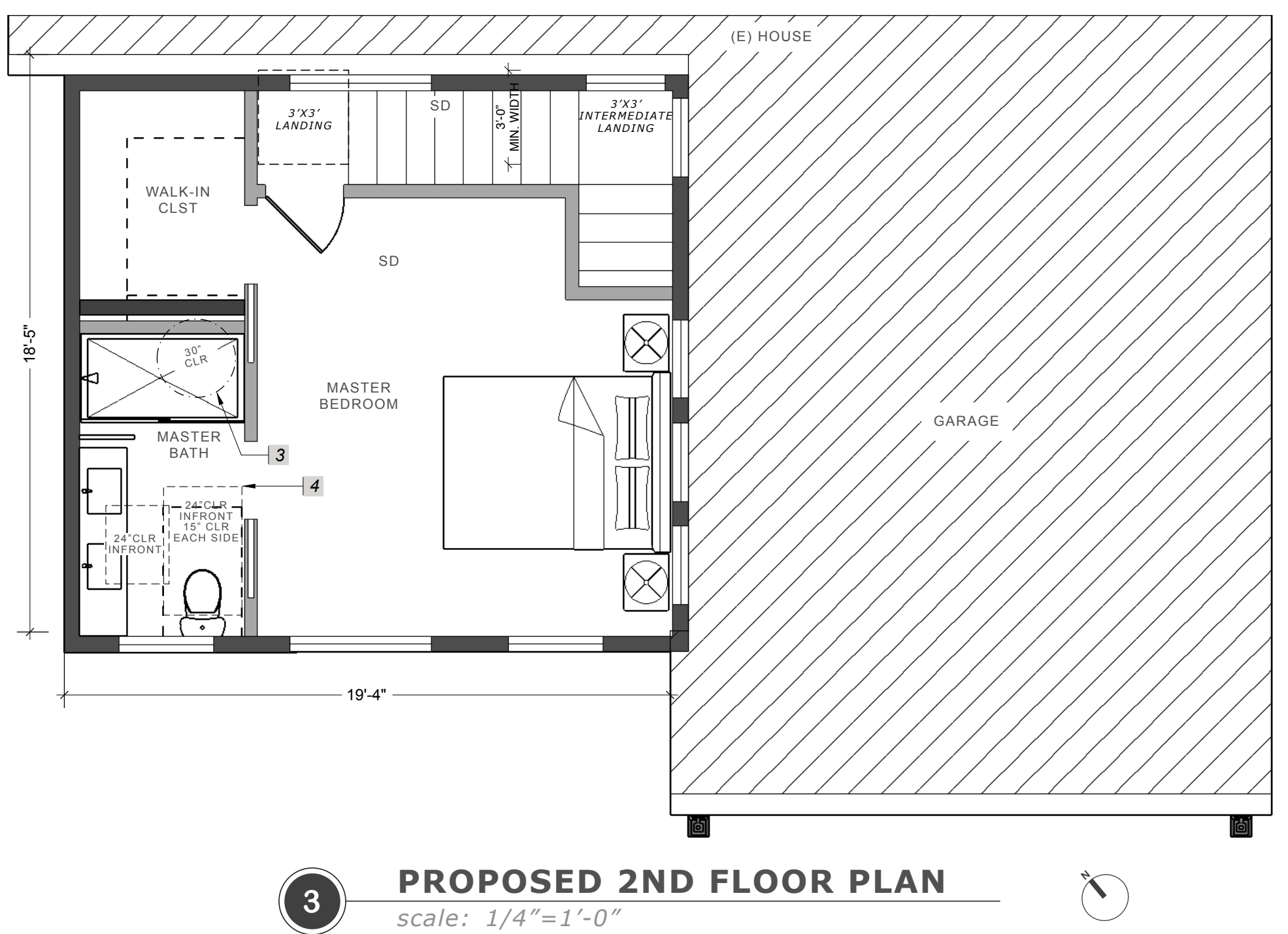
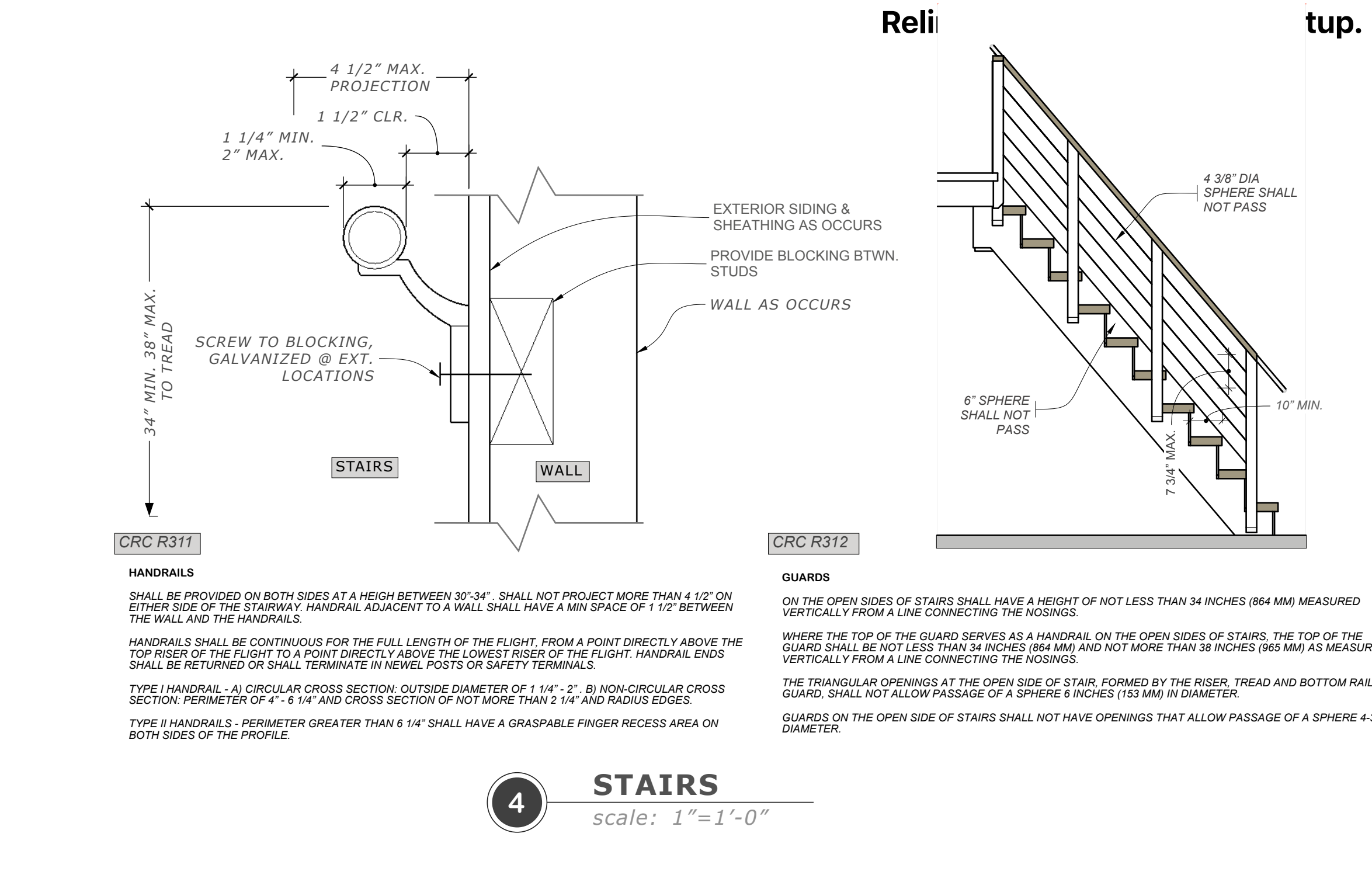
**1 EXISTING 1ST FLOOR PLAN**  
scale: 1/4"=1'-0"



**2 PROPOSED 1ST FLOOR PLAN**  
scale: 1/4"=1'-0"

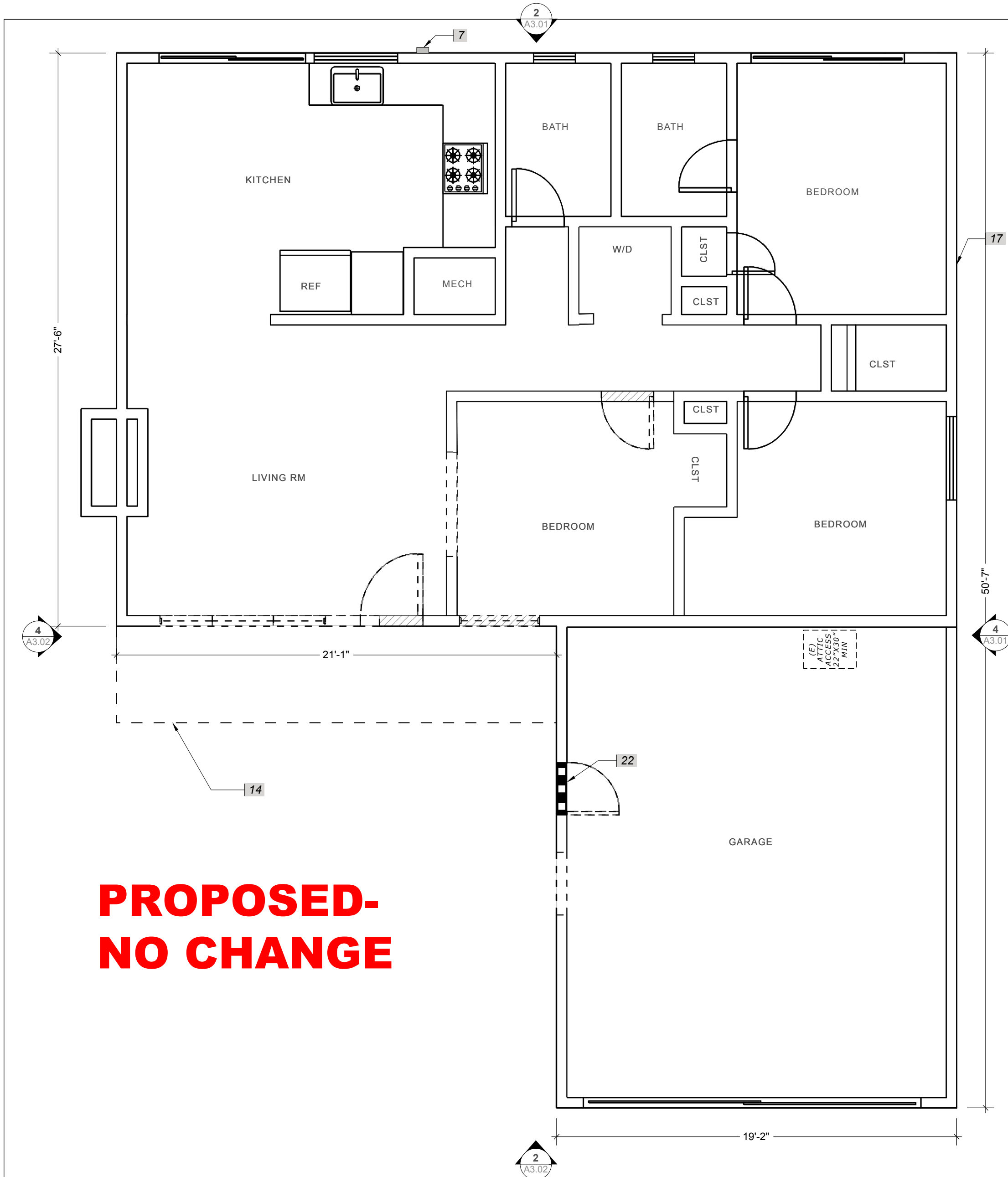
**EXISTING**

1/2-inch gypsum board on the garage side (CRC Table R302.6).

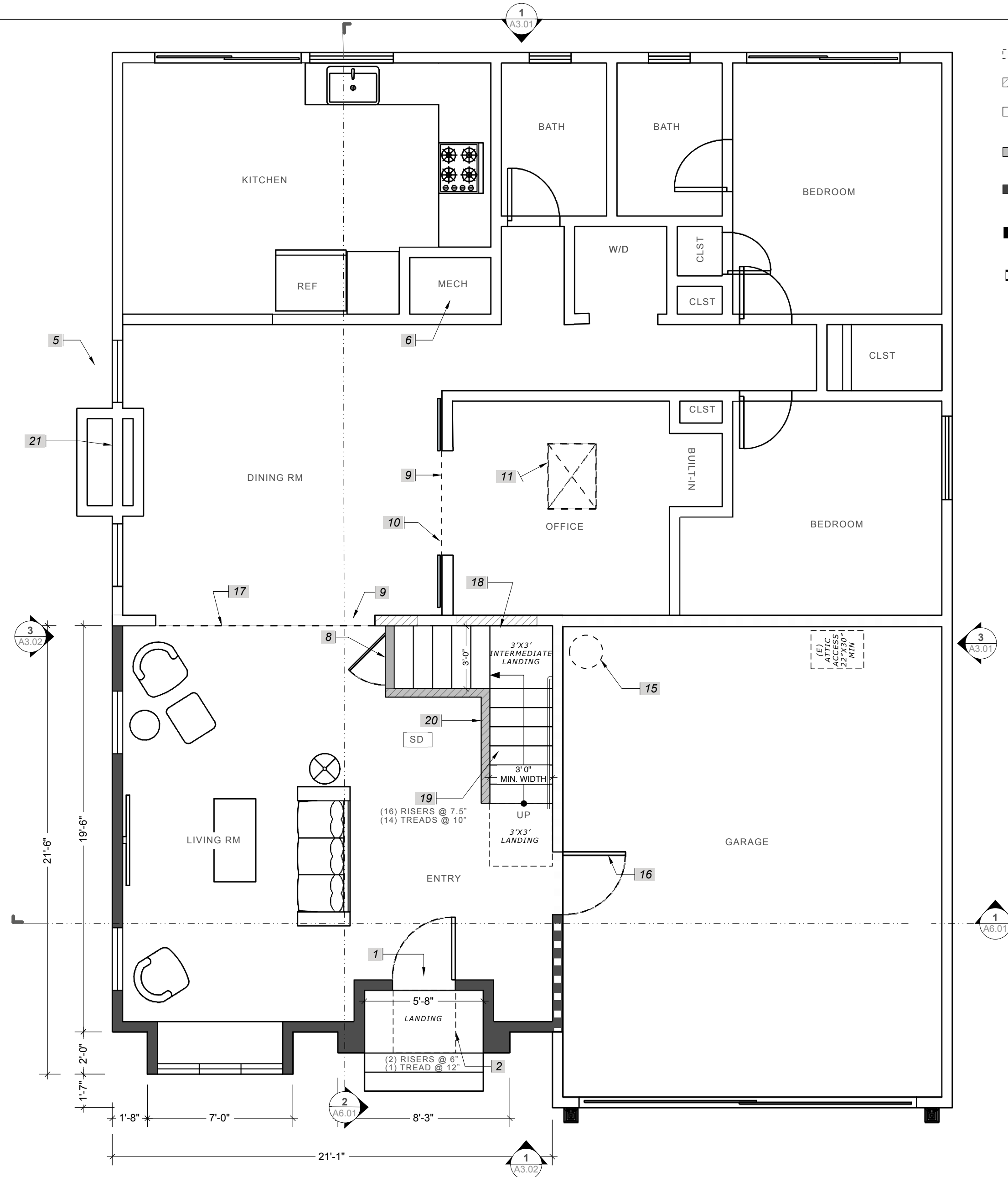


**3 PROPOSED 2ND FLOOR PLAN**  
scale: 1/4"=1'-0"





**1 EXISTING 1ST FLOOR PLAN**  
scale: 1/4"=1'-0"



**2 PROPOSED 1ST FLOOR PLAN**  
scale: 1/4"=1'-0"

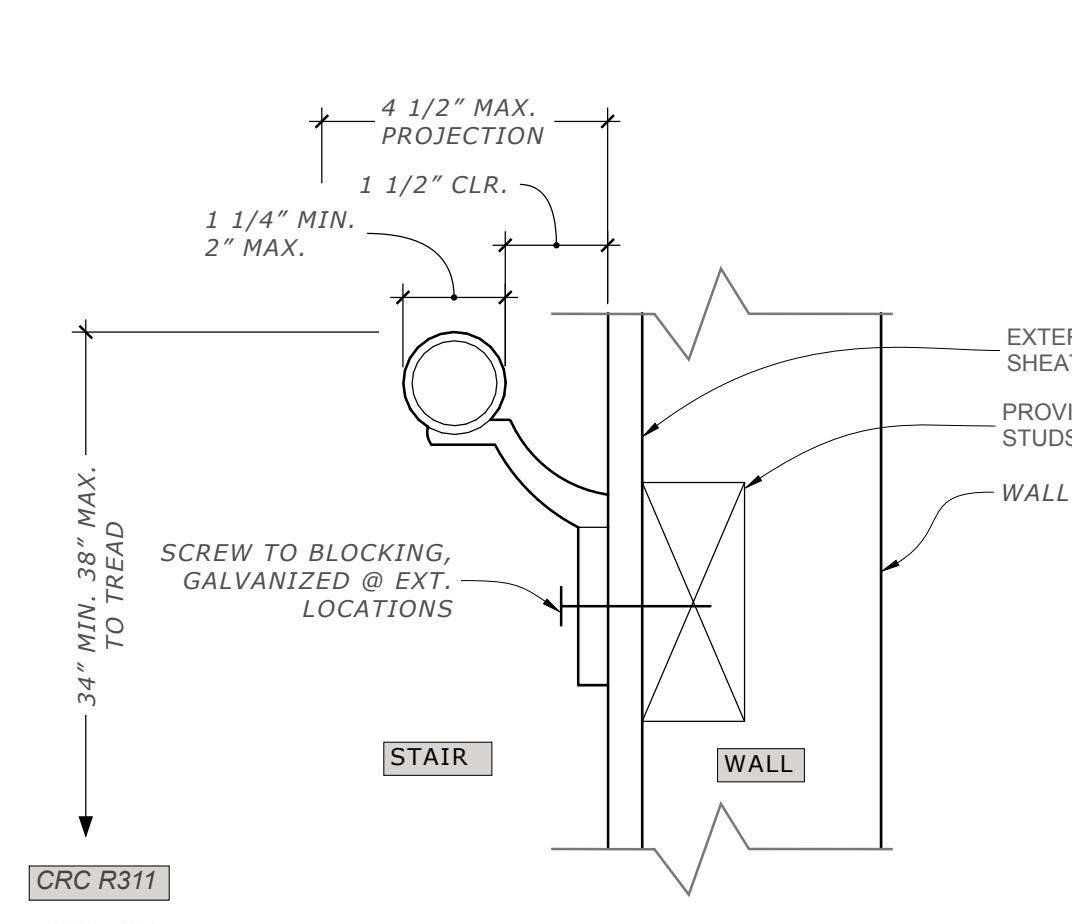
**WALL LEGEND**

|  |                    |     |   |
|--|--------------------|-----|---|
|  | EXISTING TO DEMO   | 2X4 |   |
|  | EXISTING INFILL    | 2X4 |   |
|  | EXISTING TO REMAIN | 2X4 | R-15<br>Interior Finish: Gypsum Board each side<br>Cavity / Frame: Batt / 2x4<br>Exterior Finish: Cement Board siding                 |
|  | INTERIOR           | 2X4 | BATT<br>Interior Finish: Gypsum Board each side<br>Cavity / Frame: no insulation / 2x4  |
|  | INTERIOR           | 2X6 | BATT<br>Interior Finish: Gypsum Board each side<br>Cavity / Frame: R-19 / 2x6<br>Exterior Finish: Wet board, Tile                     |
|  | EXTERIOR           | 2X6 | R-21<br>Interior Finish: Gypsum Board each side<br>Cavity / Frame: R-21 / 2x6<br>Exterior Finish: Cement Board siding                 |
|  | 1 HOUR RATED       | 2X4 | R-21<br>Interior Finish: Gypsum Board each side<br>Cavity / Frame: R-21 / 2x4<br>GARAGE SIDE FINISH: 1/2" Gypsum Board per CRC R302.6 |

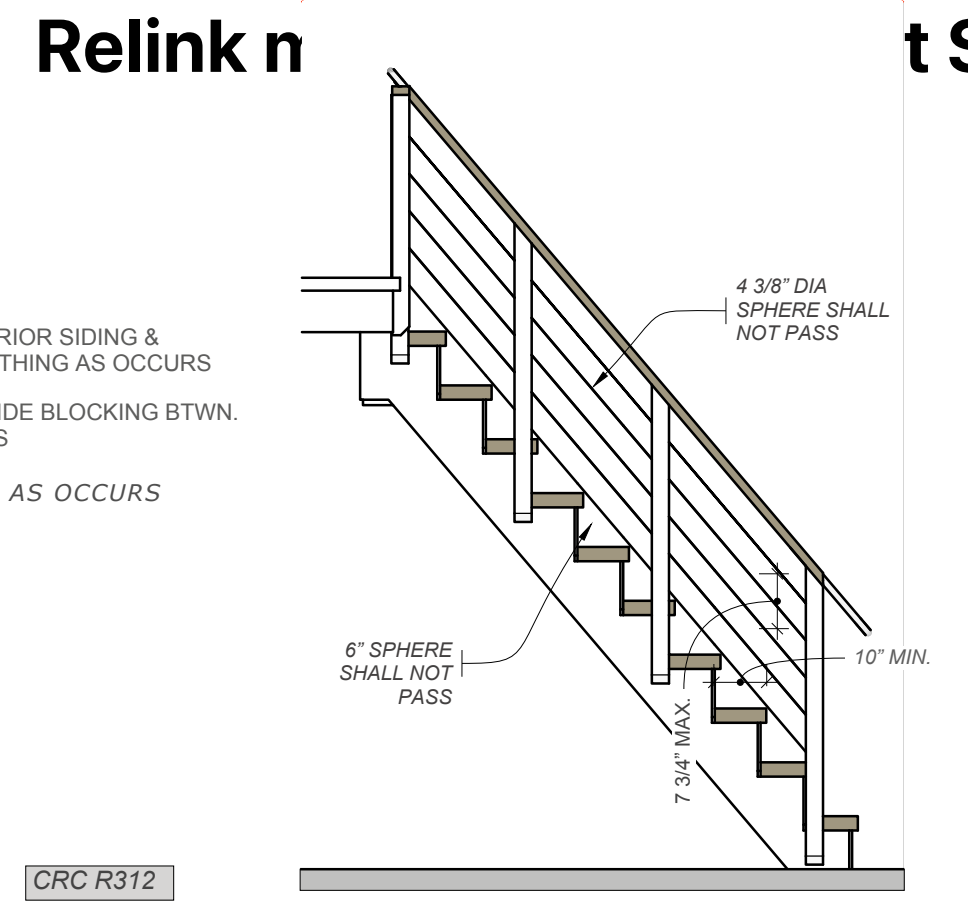
- KEYNOTES**
- EGRESS DOOR: 36" WIDE, SIDE HINGED (PROVIDE 32" MIN CLEAR) PROVIDE LANDING: MIN. 36" DEEP SLOPED MIN 1/4" PER FOOT, THRESHOLD: (IN-SWING DOOR MAX 7.75", OUT SWING DOOR MAX 1.5")
  - LANDING: MIN 36" DEEP LANDING AT ALL EXTERIOR DOORS. PROVIDE A MIN SLOPE OF 1/4" VERTICAL IN 12" HORIZONTAL (2%) FOR DRAINAGE AWAY FROM THE BUILDING. LANDING TO BE A MAXIMUM OF 7.75" BELOW DOOR THRESHOLD FOR AN IN-SWING DOOR OR 1.25" BELOW DOOR THRESHOLD FOR AN OUT-SWING DOOR PER CRC R311.3.1
  - SHOWER: SIZE: MINIMUM 1024 SQ-INCHES & MIN 30" DIAM CIRCLE. WALLS: SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A MIN HEIGHT OF 72" AFF AND 4" HORIZONTALLY BEYOND THE WATER ENCLOSURE. SHOWER HEAD: MOUNTED MIN 6'-8" HIGH. LOCATED SO BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER. SPRAY (CPC 408.9). CONTROL VALVE: SHOWER VALVES TO BE PRESSURE-BALANCED OR THERMOSTATIC MIXING TYPE ADJUSTED TO A MAX OF 120 DEG. LOCATE SO BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER. SPRAY (CPC 408.9). THRESHOLD: AT SHOWER TO BE MIN 2" AND MAX 9". 1" CURB IS FLUSH. EXTEND WATER PROOF MEMBRANE UNDER TILE FOR A MIN OF 48". PROVIDE TEMPERED SHOWER DOORS WITH 22" MIN. OPENING & SHALL OPEN TO MAINTAIN A 22" MIN. UNOBSTRUCTED OPENING PER CPC 408.5
  - TOILET: 30" MIN CLEAR WIDTH AND 24" CLEAR IN FRONT. 24" CLEARANCE IN FRONT OF THE LAVATORY FAUCET PER CPC 402.5
  - (N) HEAT PUMP LOCATION. SEE T-24 DOCUMENTS
  - (N) AIR HANDLER LOCATION, VENT THROUGH ROOF & PROVIDE INDOOR COMBUSTION AIR IN ACCORDANCE WITH CALIFORNIA MECHANICAL CODE SECTION 701.
  - (E) DHW HEATER 1, GAS, CONSUMER INSTANTANEOUS, 0.81-UEF, <=200 kBtu/hr. "NO CHANGE"
  - STORAGE CLOSET UNDER STAIR, FINISH OUT W/ 1/2" GYPSUM BOARD PER CRC R302.7.
  - OPEN UP (E) WALL W/ (N) STRUCTURAL HEADER PER SE DWGS. NOTE: 33 SF OPENING SIZE
  - (N) CUSTOM BARN STYLE DOORS ON AN OVERHEAD WALL MT. TRACK
  - (N) 36X42 (10.5 SF) SKYLIGHT, OFFICE = 106 SF PER R303.1 AN AGGREGATE GLAZING AREA OF 8.48 SF (MIN) IS REQUIRED AND A VENTILATION OPENING OF 4.24 SF (MIN) IS REQUIRED. SEE A7.01 FOR 36"X42" OPERABLE VELUX SKYLIGHT.
  - SMOKE DETECTORS WHICH ARE HARD WIRED, AS PER THE CBC, STATE FIRE MARSHAL REGULATIONS, AND COASTSIDE FIRE DISTRICT ORDINANCE 2019-03, THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHAL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HARD WIRED, INTERCONNECTED, AND HAVE BATTERY BACKUP. THESE DETECTORS ARE REQUIRED TO BE PLACED IN EACH NEW AND RECONDITIONED SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN EXISTING SLEEPING ROOMS, AREAS MAY HAVE BATTERY POWERED SMOKE ALARMS. A MIN. OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL. DATE OF INSTALLATION MUST BE ADHERED TO THE EXTERIOR OF THE SMOKE ALARM AND WILL BE CHECKED AT FINAL.
  - SMOKE ALARM/ DETECTORS TO BE HARDWIRED, INTERCONNECTED, OR WITH BATTERY BACK-UP. SMOKE ALARMS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTION AND NFPA 72.
  - (E) COVERED PATIO TO DEMO
  - (N) RHEEM 80 GALLON ELECTRIC HW HEATER, LOCATE IN GARAGE. SEE TITLE 24 DOCUMENTS. STRAPPING SHALL BE PROVIDED AT POINTS WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSIONS PER CPC 507.2.
  - (N) GARAGE MAN DOOR TO MEET CRC R302.5.1 - TO BE SELF-CLOSING OR AUTOMATIC CLOSING, SELF-LATCHING, TIGHT-FITTING, AND BE MADE OF SOLID WOOD NOT LESS THAN 1 3/8" THICK, SOLID/ HONEYCOMB-CORE STEEL NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE RATED.
  - (E) & (N) UNDER FLOOR ACCESS, MIN 18"X24" PER CRC R408.4 - STRUCTURAL FOUNDATION PLAN.
  - HANDRAIL @ STAIR PER DETAIL #4/A2.01
  - STAIRS PER CRC R311.7.5, QTY. (16) RISERS @ 7.5", (14) TREADS @ 10", (1) 3X3" INTERMEDIATE LANDING, BASED ON 10'-0" FINISHED FLOOR TO FLOOR HEIGHT, GENERAL CONTRACTOR TO CONFIRM ONCE FRAMING IS COMPLETE & ADJUST ACCORDINGLY AND TO MEET CODE.
  - STAIR GUARDS - CABLE RAILING (OR SIMILAR DETAIL) TO MEET CRC R312.1.2, SEE STRUCTURAL PLANS FOR POST CONNECTION DETAIL.
  - REPLACE (E) WOOD BURNING FIREPLACE W/ (N) ELECTRIC FIREPLACE INSERT
  - 1-HOUR RATED WALL IN-FILL PER LEGEND ABOVE, 1/2" GYP BOARD ON GARAGE SIDE AS WELL

- GENERAL NOTES**
- GYP BOARD: FINISH WITH LEVEL 4-5 FINISH. INADEQ SHEETROCK PERPENDICULAR TO FRAMING MEMBERS. JOINTS TO BE STAGGERED ON OPPOSITE SIDES OF THE FRAMING MEMBERS. ELECTRICAL OUTLET MAX SETBACK 1/4" FROM DRYWALL FACE AND NO SIDE GAPS MORE THAN 1/8" TO ELECTRICAL OUTLET. INSTALL CEILING DRYWALL OVER EDGE OF WALL PANEL OR GYPSUM, DOUBLE LAYER DRYWALL ON SAME AND OPPOSITE SIDES OF FRAMING SHALL HAVE JOINTS OFFSET.
  - BASE FOR TILE IN SHOWER AND TUB COMPARTMENTS SHALL BE CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS. USE LISTED FASTENERS THAT ARE CORROSION RESISTANT. LEAVE A 1/4" SPACE BETWEEN THE WATER RESISTANT PANEL AND THE LIP OF THE RECEPTOR/ SHOWER PAN/TUB AND APPLY SILICONE CAULKING.
  - BASE FOR TILE IN WATER CLOSET COMPARTMENT WALLS: WATER RESISTANT GYPSUM BOARD/ GREEN BOARD SHALL BE INSTALLED. LEAVE A 1/4" SPACE BETWEEN THE WATER RESISTANT PANEL AND THE LIP OF THE RECEPTOR/SHOWER PAN/TUB AND APPLY SILICONE CAULKING.
  - LOW EMITTING FINISHES: FOR A LIST OF ALLOWABLE VOC LIMITS FOR ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATINGS SEE TABLES PER CAL GREEN SECTION 4.504.2 ON SHEET G0.05 SHEET. ALL NEW PAINT FINISHES TO BE LOW VOC INTERIOR WALL/CEILING PAINTS (<50 GRAMS PER LITER (GWL) VOC) AND LOW VOC CAULK. 70% IN ALL INTERIOR APPLICATIONS (FRAMING, SUBFLOORS, COUNTERS, TRIMS, TUB/SHOWERS), COMPOSITE WOOD PRODUCTS ALLOWABLE VOC REFER TO TABLE ON SHEET A0.04. 50% OF FLOORING TO BE LOW VOC EMITTING.
  - PLUMBING FIXTURE FLOW RATES: SHOWER HEAD (MAX 1.8 GPM @80 COMBINED TOTAL FOR ALL HEADS IN SHOWER UNIT), LAVATORY FAUCET (MAX 1.2 GPM @60PSI, MIN .8 GPM @20PSI), KITCHEN FAUCET (1.8 GPM @80 PSI), METERING FAUCETS (.25 GAL/CYCLE), WATER CLOSET (1.28 GAL/FLUSH INCLUDING TOTAL SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM THE GRADE-STAMPED END OF EACH PIECE TO BE VERIFIED, OR 3) AT LEAST 3 RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUFACTURERS' DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.
  - DUCTS IN GARAGE PENETRATING THE WALLS AND CEILING OF AT SEPARATION WALLS SHALL BE CONSTRUCTED OF A MIN. NO. 26 GAGE STEEL SHEET PER CRC 302.5.2.

**PROPOSED-  
NO CHANGE**

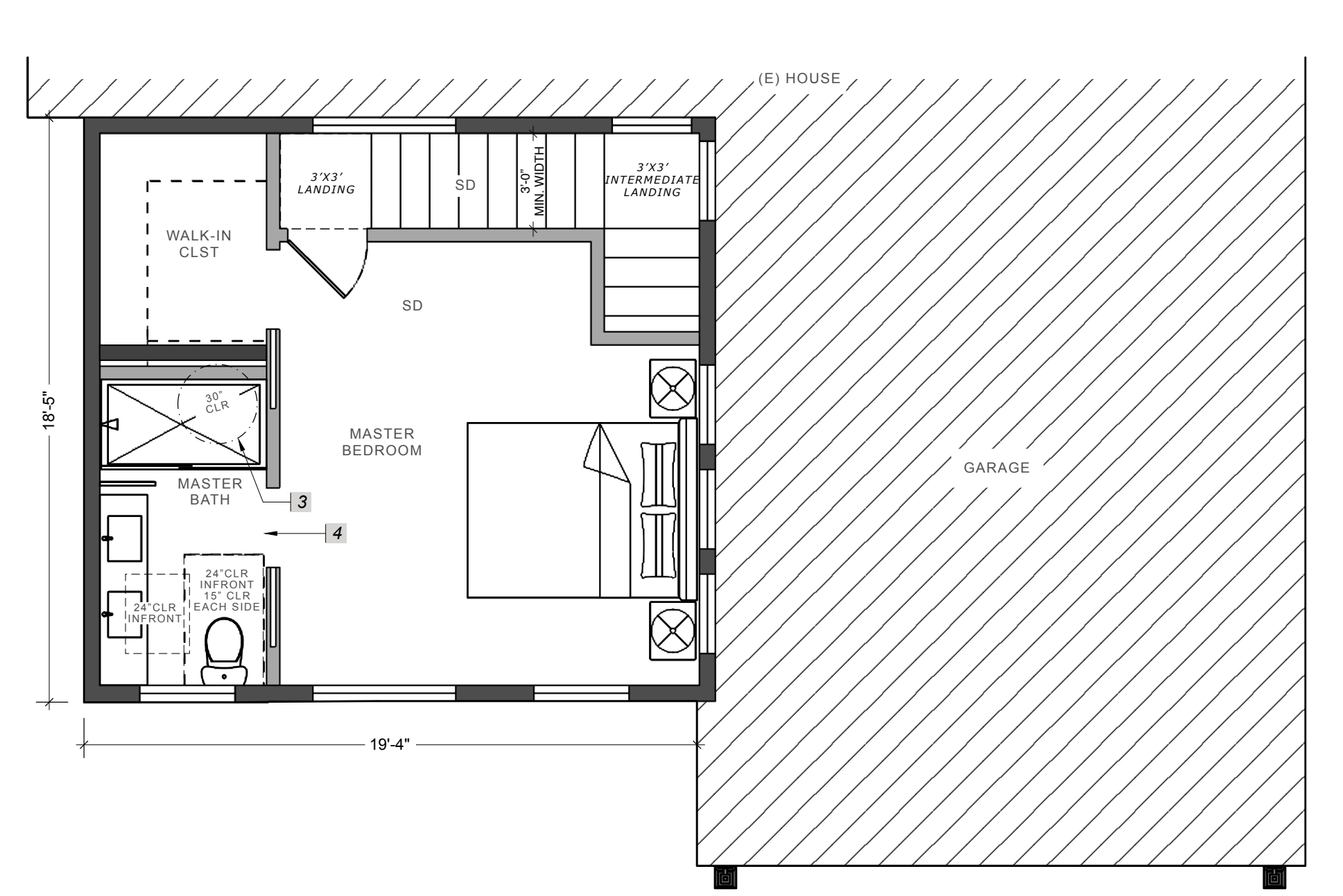


**4 STAIRS**  
scale: 1"=1'-0"



**HANDRAILS**  
SHALL BE PROVIDED ON BOTH SIDES AT A HEIGHT BETWEEN 35"-36". SHALL NOT PROJECT MORE THAN 4 1/2" ON EITHER SIDE OF THE STAIRWAY. HANDRAIL ADJACENT TO A WALL SHALL HAVE A MIN SPACE OF 1 1/2" BETWEEN THE WALL AND THE HANDRAILS.  
HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISE OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISE OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.  
TYPE II HANDRAILS - A) CIRCULAR CROSS SECTION: OUTSIDE DIAMETER OF 1 1/4" - 2". B) NON-CIRCULAR CROSS SECTION: PERIMETER OF 4" - 6 1/4" AND CROSS SECTION OF NOT MORE THAN 2 1/4" AND RADIUS EDGES.  
TYPE II HANDRAILS - PERIMETER GREATER THAN 6 1/4" SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE.

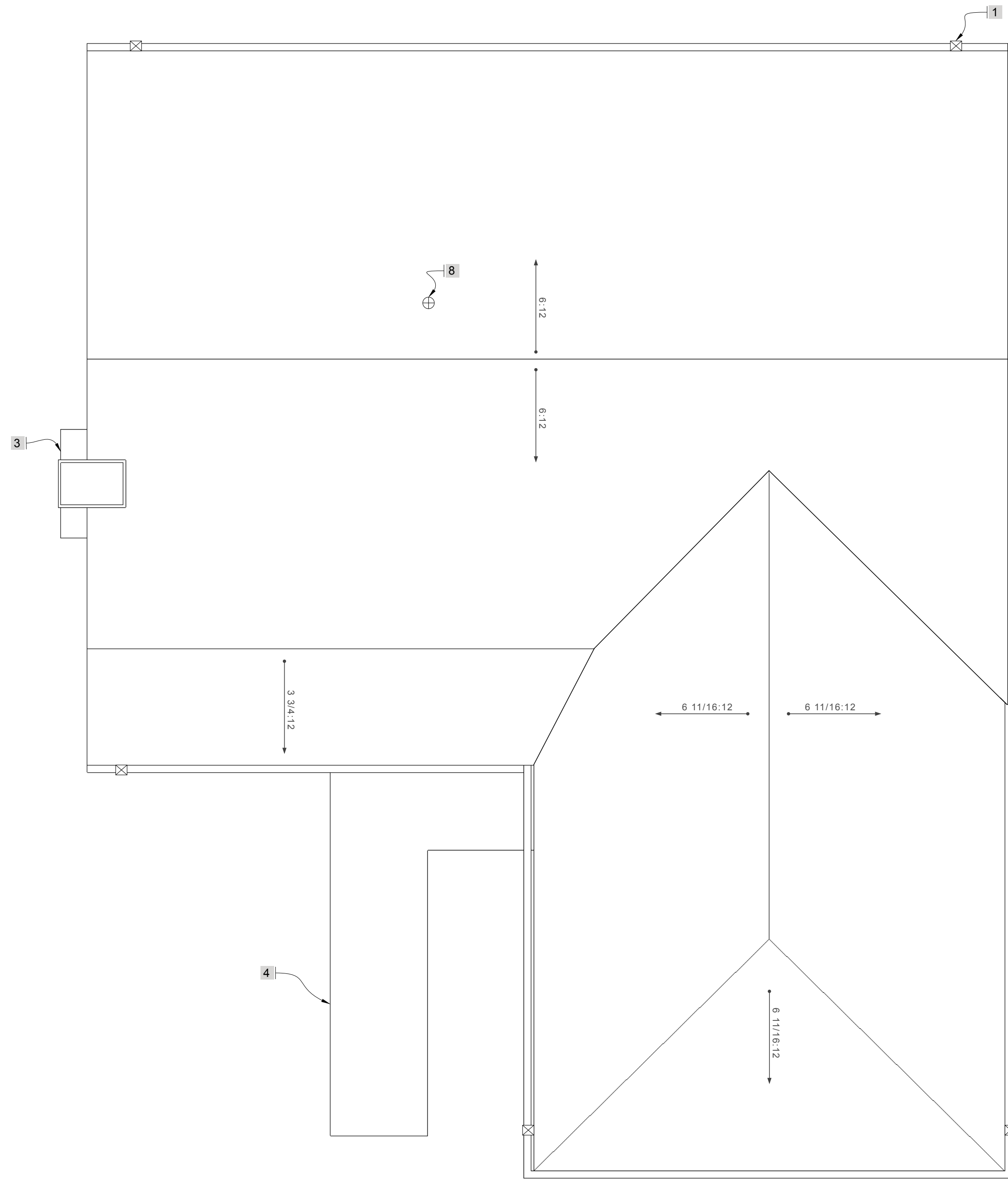
**GUARDS**  
ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT OF NOT LESS THAN 34 INCHES (864 MM) MEASURED VERTICALLY FROM A LINE CONNECTING THE NOSINGS.  
WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF STAIRS, THE TOP OF THE GUARD SHALL BE NOT LESS THAN 34 INCHES (864 MM) AND NOT MORE THAN 38 INCHES (965 MM) AS MEASURED VERTICALLY FROM A LINE CONNECTING THE NOSINGS.  
THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIRS, FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE 6 INCHES (153 MM) IN DIAMETER.  
GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4-3/8" IN DIAMETER.



**3 PROPOSED 2ND FLOOR PLAN**  
scale: 1/4"=1'-0"



**EXISTING**

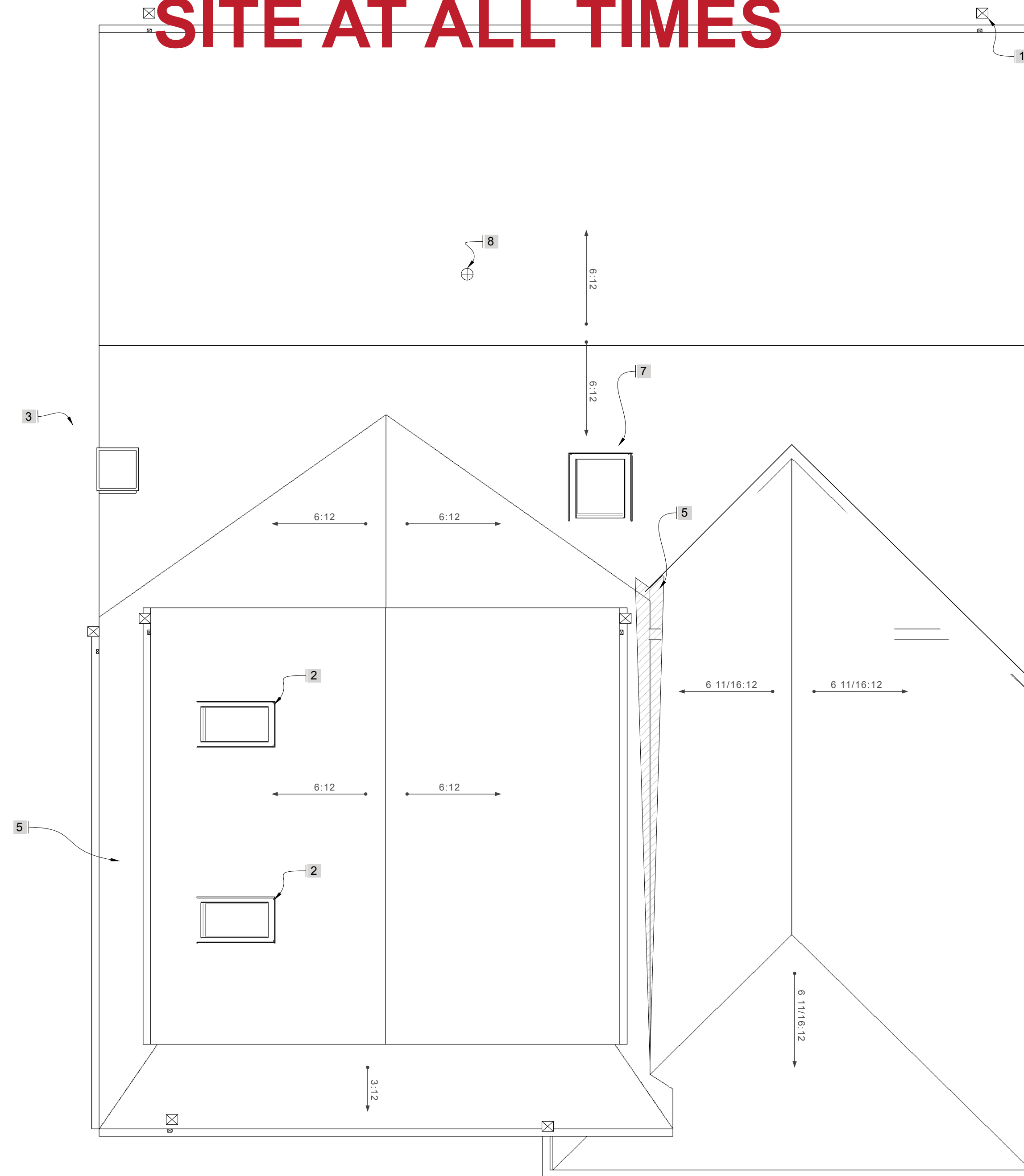


**1** EXISTING ROOF PLAN  
scale: 1/4"=1'-0"

**JOB COPY**

**TO REMAIN ON**

**SITE AT ALL TIMES**



**2** PROPOSED ROOF PLAN  
scale: 1/4"=1'-0"

**KEYNOTES**

1. GUTTER & DOWNSPOUT: ROUTE THROUGH PERMEABLE LANDSCAPING, OR INSTALL SPLASH BLOCKS (MIN 2' LONG) WHERE DOWNSPOUTS DAYLIGHT.
2. SKYLIGHT: MIN 5' FROM PROPERTY LINE. FIXED VELUX SKYLIGHT VELUX: MODEL FS 21X26 (3.5 SF OF GLAZING) VERIFY FRAMING CLEARANCES. APPROVED LISTING NUMBER: WDMA #426-H-707 & IAPMO UES-0199 SKYLIGHT OPERABLE. ROOF VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 908.2. APPROVED LISTING: WDMA #426-H-707 & IAPMO UES-0199 SOLO TUBE SKYLIGHT: MIN 5' FROM PROPERTY LINE. FIXED/NOV OPERABLE VELUX
3. (E) CHIMNEY, NO CHANGE
4. (E) CONC. WALK BELOW, NO CHANGE, FOR REFERENCE ONLY
5. (N) ROOFING TO MATCH (E). SEE LEGEND ON A3.01
6. (N) CRICKET(S) & FLASHING IN VALLEY, SLOPE TO DRAIN.
7. (N) SKYLIGHT: OPERABLE, MODEL VCM 36X42 (10.5 SF OF GLAZING). VERIFY FRAMING CLEARANCES & CONTACT SE IN FIELD IF ANY MODIFICATIONS OF (E) ROOF TRUSSES IS REQ.
8. (E) ROOF VENT FOR AIR HANDLER. (N) TO MEET CMC SECTION 701.



HAVEN DESIGN

HAVEN DESIGN BUILD, LLC  
KELIGH GRIM, DESIGNER  
PH. (303) 746-0661  
keleighgrim@gmail.com

*Keligh Grim*

PROJECT  
**STEFANICK RESIDENCE**  
**NEW ADDITION**  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019

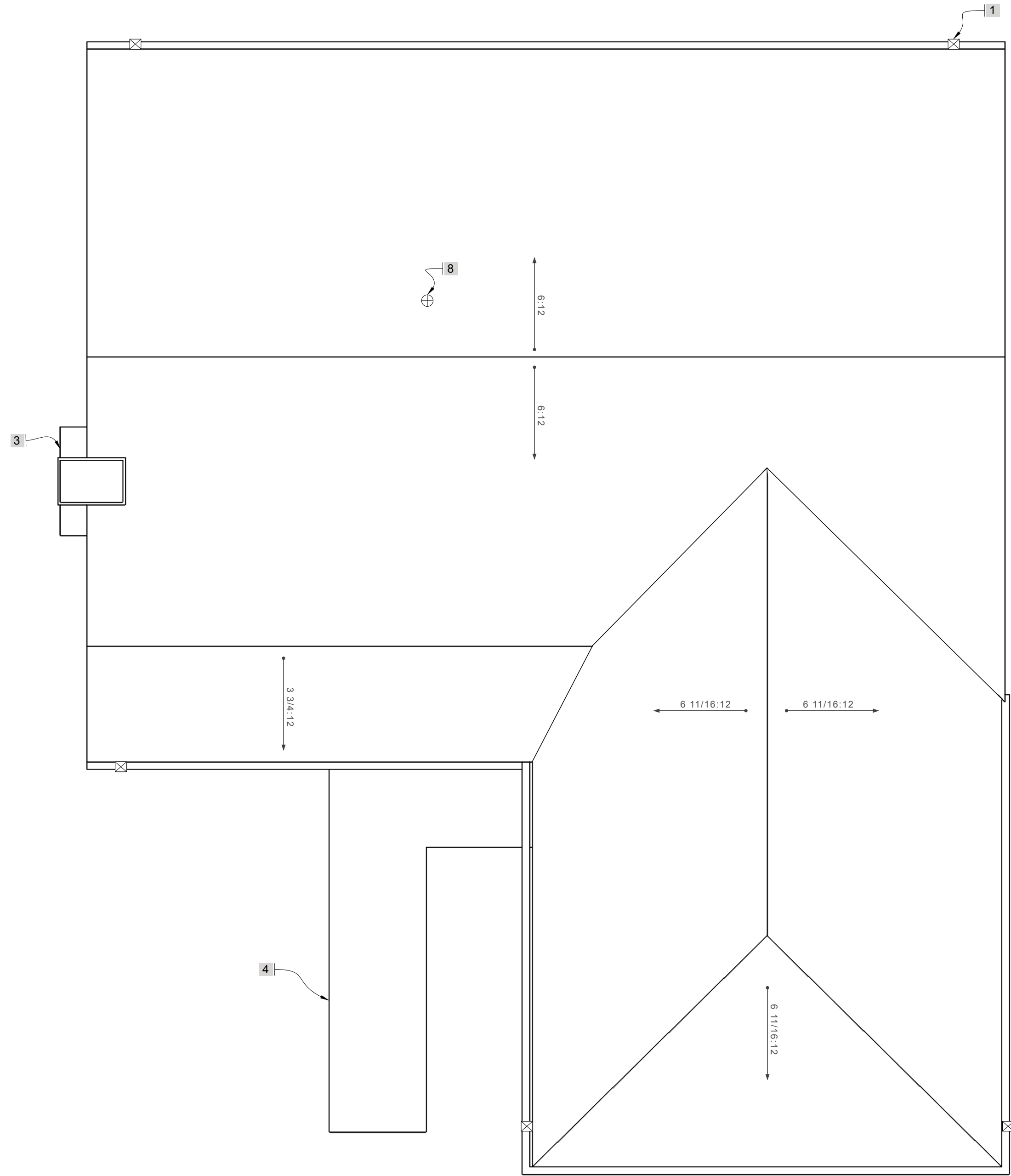
CLIENT  
**DUSTIN & ELYANE STEFANICK**  
PH. (831) 332-9383  
dustystefanick@gmail.com  
elyanestefanick@gmail.com

| ISSUE              | DATE     | DESCRIPTION                  |
|--------------------|----------|------------------------------|
| DESIGN REVIEW SET  | 01/15/21 | Revision 1 - Planning & Fire |
| PERMIT SET CYCLE 1 | 03/29/21 | PERMIT SET CYCLE 1           |
| PERMIT SET CYCLE 2 | 12/10/21 | PERMIT SET CYCLE 2           |
| UTILIZE            | 07/11/22 | PERMIT SET CYCLE 3           |

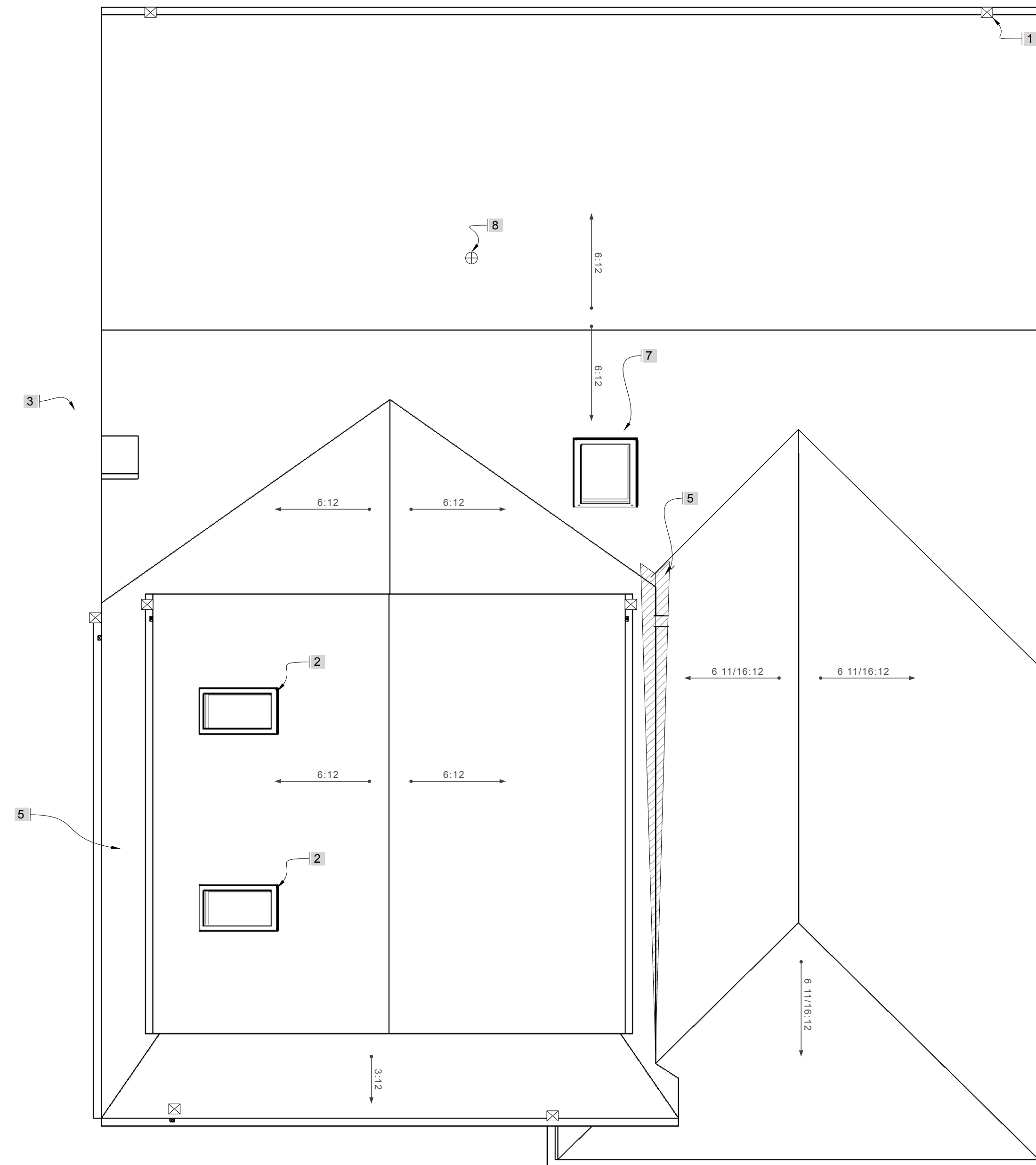
ROOF PLANS



# PROPOSED - NO CHANGE



**1** EXISTING ROOF PLAN  
scale: 1/4"=1'-0"



**2** PROPOSED ROOF PLAN  
scale: 1/4"=1'-0"

### KEYNOTES

1. GUTTER & DOWNSPOUT: ROUTE THROUGH PERMEABLE LANDSCAPING, OR INSTALL SPLASH BLOCKS (MIN 2' LONG) WHERE DOWNSPOUTS DAYLIGHT.
2. SKYLIGHT: MIN 5' FROM PROPERTY LINE, FIXED VELUX SKYLIGHT VELUX: MODEL FS 21X26 (3.5 SF OF GLAZING) VERIFY FRAMING CLEARANCES. APPROVED LISTING NUMBER: WDMA #426-H-707 & IAPMO UES-0199SKYLIGHT OPERABLE. ROOF VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2. APPROVED LISTING: WDMA #426-H-707 & IAPMO UES-0199 SOLO-TUBE SKYLIGHT: MIN 5' FROM PROPERTY LINE. FIXED/NON OPERABLE VELUX
3. (E) CHIMNEY, NO CHANGE
4. (E) CONC. WALK BELOW, NO CHANGE, FOR REFERENCE ONLY
5. (N) ROOFING TO MATCH (E). SEE LEGEND ON A3.01
6. (N) CRICKET(S) & FLASHING IN VALLEY, SLOPE TO DRAIN.
7. (N) SKYLIGHT: OPERABLE, MODEL VCM 36X42 (10.5 SF OF GLAZING). VERIFY FRAMING CLEARANCES & CONTACT SE IN FIELD IF ANY MODIFICATIONS OF (E) ROOF TRUSSES IS REQ.
8. (E) ROOF VENT FOR AIR HANDLER. (N) TO MEET CMC SECTION 701.



HAVEN DESIGN  
HAVEN DESIGN BUILD, LLC  
KELIGH GRIM, DESIGNER  
PH. (303) 746-0661  
keleighgrim@gmail.com

*Keligh Grim*

PROJECT  
**STEFANICK RESIDENCE**  
**NEW ADDITION**  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019

CLIENT  
**DUSTIN & ELYANE STEFANICK**  
PH. (831) 332-6983  
dustystefanick@gmail.com  
elyanestefanick@gmail.com

| ISSUE    | DESIGN REVIEW SET            |
|----------|------------------------------|
| 01/15/21 | Revision 1 - Planning & Fire |
| 03/25/21 | PERMIT SET CYCLE 1           |
| 12/11/21 | PERMIT SET CYCLE 2           |
| 07/11/22 | PERMIT SET CYCLE 3           |
| 12/14/22 | CONSTRUCTION 1 SET           |
| 12/22/22 | CONSTRUCTION 2 SET           |
| 06/27/23 | CONSTRUCTION 3 SET           |
| 10/27/23 | PERMIT SET CYCLE 4           |

ROOF PLANS