

Planning and Building Department

County Government Center • 455 County Center • Redwood City CA 94063
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN 2022-00176

Other Permit #: _____

1. Basic Information

Applicant:

Name: RAY W. HEKKERT

Address: P.O. Box 1961

EL GRANADA CA. Zip: 94018

Phone, W: 408-398-8527

Email: RHEKKERT@AOL.COM

Owner (if different from Applicant):

Name: SAME

Address: _____

Zip: _____

Phone, W: _____ H: _____

Email: _____

Architect or Designer (if different from Applicant):

Name: DEEPAK PATANKAR EVOCO ARCHITECTURE

Address: _____ Zip: _____

Phone, W: 415-312-0454 Email: DEEPAK@EVOCOARCH.COM

2. Project Site Information

Project location: 047, 206, 260 CURRENT

APN: 047-206-160, 170 PREV.

Address: RIGHT OF 509 AVE. ALHAMBRA

EL GRANADA Zip: 94018

Zoning: S-3/R-3

Parcel/lot size: 5,165 sq. ft.

Site Description:

Vacant Parcel

Existing Development (Please describe): _____

3. Project Description

Project:

New Single Family Residence: _____ sq. ft

Addition to Residence: _____ sq. ft

Other: TRIPLEX WITH ADU

Describe Project:

3 UNIT RENTAL PROPERTY WITH ATTACHED ADU

Additional Permits Required:

Certificate of Compliance (Type A) or Type B

Coastal Development Permit

Fence Height Exception (not permitted on coast)

Grading Permit or Exemption

Home Improvement Exception

Non-Conforming Use Permit

Off-Street Parking Exception

Variance

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	STUCCO/HARDIE PANEL	WHITE/BROWN/TAN	<input type="checkbox"/>
b. Trim	CEDAR	TAN/BLACK	<input type="checkbox"/>
c. Windows	ALUMINUM	BLACK	<input type="checkbox"/>
d. Doors	FIBERGLASS	ACCENT COLOR	<input type="checkbox"/>
e. Roof	FLAT/PARAPET/PVC MEMBRANE	GRAY	<input type="checkbox"/>
f. Chimneys	NONE		<input type="checkbox"/>
g. Decks & railings	PVC MEMBRANE/STEEL RAILINGS	BLACK	<input type="checkbox"/>
h. Stairs	ALL STAIRS INTERIOR		<input type="checkbox"/>
i. Retaining walls	NONE		<input type="checkbox"/>
j. Fences	REDWOOD	CLEAR STAIN	<input type="checkbox"/>
k. Accessory buildings	SAME FINISHES		<input type="checkbox"/>
l. Garage/Carport	ENCLOSED GARAGES		<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: *Ray W. Mello*

Applicant: *Sumari Ray W. Mello*

Date: *10/28/22*

Date: *10/28/22*

Planning and Building Department

455 County Center, 2nd Floor - Redwood City, CA 94063
 Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Application for a Coastal Development Permit

Companion Page

Applicant's Name: Ray W. Hekkert

Primary Permit #: _____

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes No

If yes, list Assessor's Parcel Number(s):

047 - 206 - 250

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes No

If yes, explain (include date and application file numbers).

3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	<u>stucco/Hardie panel/cedar</u>	<u>white/brown/tan</u>	<input type="checkbox"/>
b. Trim	<u>cedar</u>	<u>tan/black</u>	<input type="checkbox"/>
c. Roof	<u>flat/parapet/pvc membrane</u>	<u>gray</u>	<input type="checkbox"/>
d. Chimneys	<u>none</u>	_____	<input type="checkbox"/>
e. Accessory Buildings	<u>ADU similar</u>	_____	<input type="checkbox"/>
f. Decks/Stairs	<u>pvc membrane/ steel railings</u>	<u>tan</u>	<input type="checkbox"/>
g. Retaining Walls	<u>none</u>	_____	<input type="checkbox"/>
h. Fences	<u>redwood</u>	<u>clear stain</u>	<input type="checkbox"/>
i. Storage Tanks	<u>none</u>	_____	<input type="checkbox"/>

4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|---|--------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| j. Grading or alteration of landforms? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| k. Landscaping? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | | | |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
 Yes No
- Construction or grading within 100 feet of a stream or wetland?
 Yes No
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
 Yes No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).
 Yes No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: _____

Planning and Building Department

Planning Permit Application Form

455 County Center, 2nd Floor • Redwood City CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849
www.co.sanmateo.ca.us/planning

PLN: 2022-00176

BLD:

Applicant/Owner Information

Applicant: RAY HEKKERT
Mailing Address: P.O. BOX 1961
EL GRANADA CA. Zip: 94018
Phone, W: 408-398-8527 H:
E-mail Address: RHEKKERT@AOL.COM FAX:

Name of Owner (1): Mailing Address: Zip: Phone, W: H: E-mail Address:
Name of Owner (2): Mailing Address: Zip: Phone, W: H: E-mail Address:
SAME

Project Information

Project Location (address): TO THE RIGHT OF 509 AVE. ALHAMBRA EL GRANADA
Zoning: S-3/R-3

Assessor's Parcel Numbers: 047-206-160 PREVIOUS 047-206-170 PREVIOUS 047-206-260 CURRENT
Parcel/lot size: 5,165 SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

NONE YET

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

FLAT VACANT LOT, NO TREES, FENCED ON THREE SIDES

Describe Existing Structures and/or Development:

NONE

Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: [Signature]

Owner's signature:

Applicant's signature: [Signature]

PLAZA ALHAMBRA DEVELOPMENT

513 AVENUE ALHAMBRA, EL GRANADA, CA 94018

evoco

EVOCO ARCHITECTURE & INTERIORS
470 NOOR AVE, # 1098
SO. SAN FRANCISCO CA 94080

415.312.0454

OWNER:
HARVEST CONSTRUCTION
P.O. BOX 1961
EL GRANADA CA. 94018
RAY W HEKKERT

REVISION

DATE/DESC.

AVENUE ALHAMBRA DEVELOPMENT

513 AVENUE ALHAMBRA,
EL GRANADA, CA 94018

GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO CALIFORNIA CODE OF REGULATIONS TITLE 24 AND 2019 CBC, CMC, CPC, AND 2019 CFC. AND THE 2019 ENERGY CODE, ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS ETC. THAT ARE REQUIRED BY APPLICABLE PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS OF PLANS FOR BID PURPOSES PRIOR TO ISSUANCE OF THE BUILDING PERMIT. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO THE BEGINNING OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- CONTRACTOR IS TO MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF THE PROJECT.
- ALL WORK SHALL BE PERFORMED SUCH THAT DAMAGE TO EXISTING LANDSCAPE AND/OR PERSONAL PROPERTY IS PREVENTED OR MINIMIZED.
- CONTRACTOR SHALL TAKE MEASURES TO PROTECT ADJACENT PROPERTIES. USE VISQUEEN, PLYWOOD ETC TO MINIMIZE NOISE DUST ETC.
- IN THE EVENT THAT FOUNDATION EXCAVATION MIGHT AFFECT ADJACENT PROPERTIES, CONTRACTOR SHALL TAKE ALL APPROPRIATE STEPS TO NOTIFY THE PROPERTY OWNER OF THE CONDITION, AND TO ADEQUATELY PROTECT THE ADJACENT STRUCTURE.
- UNLESS NOTED OTHERWISE, WRITTEN DIMENSIONS ON THE PLANS SHALL BE FROM FACE OF STUD, BEAM OR CONCRETE UNLESS OTHERWISE NOTED. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING U.O.N.
- DIMENSIONS ARE TO THE TOP OF FIN FLOOR SLAB OR DECKING SECTION AND ELEVATION U.O.N.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS.
- THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO INCLUDE ALL LABOR, MATERIALS, AND SERVICES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN, DESCRIBED, OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS.
- THE ARCHITECT'S APPROVAL OF SHOP DRAWINGS SHALL NOT RELIEVE THE GENERAL CONTRACTOR OR SUBCONTRACTORS FROM RESPONSIBILITY FOR DEVIATIONS FROM THE DRAWINGS OR SPECIFICATIONS UNLESS HE HAS, IN WRITING, CALLED THE ARCHITECT'S ATTENTION TO SUCH DEVIATIONS AT THE TIME OF SUBMISSION, NOR SHALL IT RELIEVE HIM FROM RESPONSIBILITY FOR ERRORS OF ANY KIND IN THE SHOP DRAWINGS.
- UNLESS OTHERWISE SHOWN OR NOTED, TYPICAL DETAILS AND GENERAL NOTES SHALL BE USED WHENEVER APPLICABLE.
- DIMENSIONS SHOWN IN FIGURES TAKE PRECEDENCE OVER DIMENSIONS SCALED FROM DRAWINGS. LARGE SCALE DRAWINGS AND DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AND SURROUNDING AREA FREE FROM DUST AND DEBRIS. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT.
- THE CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING RUNS WITH MECHANICAL CONTRACTOR BEFORE FORMING WALLS, FLOORS, ETC.
- THE CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL DUCTS, PLUMBING, AND ELECTRICAL WORK.
- THE CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION IN ACCORDANCE WITH CHAPTER 44, UBC.
- IF TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH ARE REQUIRED, OBTAIN NECESSARY ISSUANCE OF A BUILDING OR GRADING PERMIT.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL HAVE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE DEPARTMENT IN COMPLIANCE WITH SECTION 3800 OF THE CALIFORNIA LABOR CODE.
- ALL PUBLIC UTILITY TIE-INS TO COMPLY WITH LOCAL REQUIREMENTS.
- ALL THERMAL AND ACOUSTICAL INSULATION BATTS SHALL BE NON-COMBUSTIBLE.
- ALL TUB/SHOWER SURFACES TO BE OF NON-ABSORBENT MATERIAL.
- CONNECT ALL AREA DRAINS AND RWL TO STORM SEWER, TYP., SLOPE LINES MIN. 1/4" PER FT., TYP.
- PROVIDE ADEQUATE BACKING AT ALL CABINETS AS REQUIRED.
- ALL UNPAINTED WOOD TRIM TO BE STAIN GRADE FIR.

GENERAL NOTES

- ALL BATHROOMS/POWER ROOMS & LAUNDRY ROOMS SHALL BE PROVIDED W/ MECH. VENTILATION IN ACCORDANCE W/ 2019 CRC AND 2019 CMC
- PER CRC 2019 SECTION R312 GUARDS AND WINDOW FALL PROTECTION R312.1.2 HEIGHT REQUIRED GUARDS AT OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES OR LANDINGS, SHALL BE NOT LESS THAN 42 INCHES (1067 MM) IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE NOSINGS. EXCEPTIONS: GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT OF NOT LESS THAN 34 INCHES (864 MM) MEASURED VERTICALLY FROM A LINE CONNECTING THE NOSINGS. WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF STAIRS, THE TOP OF THE GUARD SHALL BE NOT LESS THAN 34 INCHES (864 MM) AND NOT MORE THAN 38 INCHES (965 MM) AS MEASURED VERTICALLY FROM A LINE CONNECTING THE NOSINGS.
- PER CRC 2019 SECTION R312 GUARDS AND WINDOW FALL PROTECTION R312.1.3 OPENING LIMITATIONS REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4 INCHES (102 MM) IN DIAMETER. EXCEPTIONS: THE TRIANGULAR OPENING AT THE OPEN SIDE OF STAIR, FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE 6 INCHES (153 MM) IN DIAMETER. GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 43/8 INCHES (111 MM) IN DIAMETER.
- PER CBC 1003.3.3.9 ALL ENCLOSED SPACES UNDER INTERIOR STAIRWAYS SHALL BE CONSTRUCTED WITH A 1-HR. FIRE RATING.
- SMOKE ALARMS ARE TO BE INSTALLED IN ALL SLEEPING ROOMS AND HALLWAYS. SMOKE ALARMS SHALL BE HARDWIRED TO 110 V HOUSE WIRING AND WIRED TOGETHER IN SERIES. MINIMUM ONE ALARM PER STORY. SEE PLANS FOR LOCATIONS
- ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT THE CENTERLINE OF THE DOOR OR FRAMED OPENING UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- PROVIDE WOOD BACKING FOR ALL TOWEL BARS, ACCESSORIES ETC.
- ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURERS SPECIFICATIONS FOR ROUGH OPENING DIMENSIONS. WHERE LOCATIONS OF WINDOWS ARE NOT DIMENSIONED THEY SHALL BE CENTERED ON THE WALL.
- WHERE LOCATIONS OF DOORS ARE NOT DIMENSIONED, THE DOOR SHALL BE PLACED 4 INCHES AWAY FROM THE EDGE OF THE WALL.

SYMBOLS

	● 12 ● A8.0	DETAIL: ● DETAIL NUMBER ● SHEET NUMBER		● 12 ● A8.0	ELEVATION: ● ELEVATION NUMBER
	● 12 ● A8.0	INTERIOR ELEVATION: ● ELEVATION NUMBER		● X	REVISION
	● 12 ● A8.0	SHEET NUMBER		● XXX	ROOM NUMBER
	● 12 ● A8.0	BUILDING SECTION: ● SECTION NUMBER ● SHEET NUMBER		● X	WALL TYPE
	● XX	DOOR NUMBER		● A	WINDOW NUMBER

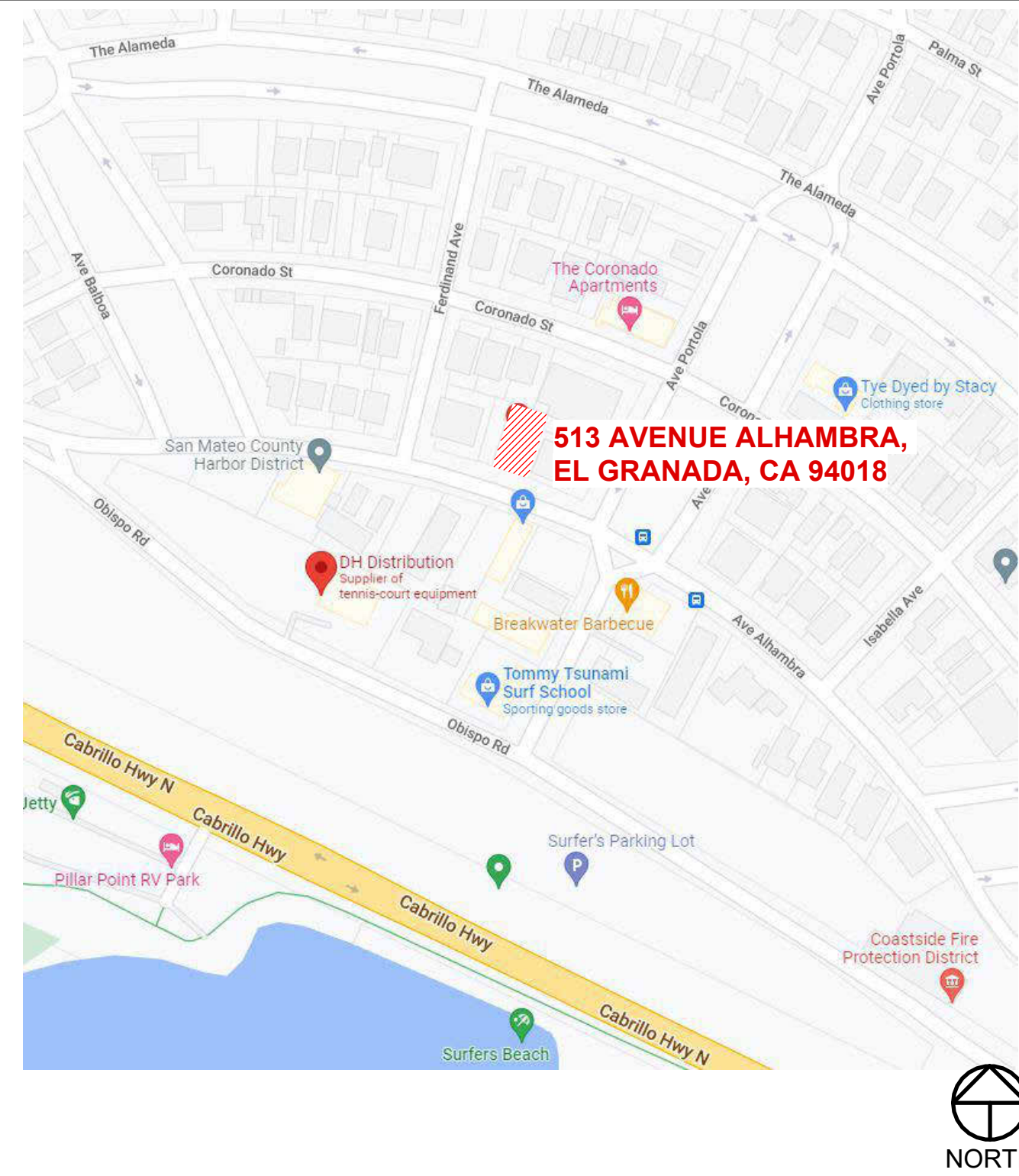
APPLICABLE CODES

CALIFORNIA CODE OF REGULATIONS TITLE 24, 2019 CBC, CMC, CPC, CEC, CALIFORNIA ENERGY CODE, CFC, AND ANY LOCAL GOVERNING CODES AND ORDINANCES.

PROJECT DIRECTORY

OWNER HARVEST CONSTRUCTION P.O. BOX 1961 EL GRANADA CA. 94018 CONTACT: RAY W HEKKERT	ARCHITECT EVOCO ARCHITECTURE INTERIORS 470 NOOR AVE, # 1098 SO SAN FRANCISCO, CA 94080 CONTACT: DEEPAK PATANKAR PHONE: (415) 312-0454
ENGINEER SIGMA PRIME GEOSCIENCES CONTACT: CHARLES KISSICK SIGMAPRM@GMAIL.COM PHONE: 650-728-3590	

PLOT PLAN



PROJECT DATA

JURISDICTION	COUNTY OF SAN MATEO
LOCATION	513 AVENUE ALHAMBRA, EL GRANADA, CA 94018
APN #	047206260
LOT COVERAGE	2183 / 5165 = 42%
BLOCK/LOT	BLOCK 26 / LOT 20-21
LOT AREA	5,165 SQ. FT.
OCCUPANCY	R-3
ZONING	R-3 / S-3 / DR / CD
CONSTRUCTION TYPE	VB
STORIES	THREE (PROPOSED)
PARKING REQUIRED	1.5 SPACES X 3 = 4.5 SPACES = 4 SPACES + 1 SPACE (ADU) - 5 SPACES
PARKING PROVIDED	5 SPACES
BUILDING AREA	
	UNIT 1 UNIT 2 UNIT 3 ADU
LEVEL 1	437 SF 374 SF 752 SF 470 SF
LEVEL 2	578 SF 603 SF 646 SF -
LEVEL 3	578 SF 646 SF 646 SF -
TOTAL	1,593 SF 1,622 SF 2,044 SF 470 SF
BATHS	3 X 2.5 + 1 8.5 TOTAL BATHS

INDEX OF DRAWINGS

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A-0.2	PERSPECTIVES
A-0.4	SITE PLAN, DOOR AND WINDOW SCHEDULES
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A-2.2	PROPOSED FLOOR & CEILING PLAN - 2ND FLOOR
A-2.3	PROPOSED FLOOR & CEILING PLAN - 3RD FLOOR
A-2.7	PROPOSED ROOF PLAN
A-3.1	PROPOSED EXTERIOR ELEVATION
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A-4.0	PROPOSED SECTION
A-4.1	PROPOSED ADU - PLAN, ELEVATION & SECTIONS
A-6.0	DETAILS
C-1	GRADING AND DRAINAGE PLAN
L-1	LANDSCAPE PLAN
SU-1	BOUNDARY AND TOPOGRAPHIC SURVEY

PLANS SHALL COMPLY WITH TITLE 24 ENERGY EFFICIENCY REQUIREMENTS AND ALL MANDATORY MEASURES

SCOPE OF WORK

THREE NEW RESIDENTIAL UNITS AND 1 ADU (IN THE REAR SETBACK)
PARKING REQUIRED IS 5 SPACES WHERE 4 SPACES ARE PROVIDED
2 UNCOVERED SPACES IN DRIVEWAYS WITHIN THE FRONT SETBACK.

SECTION 6406. FOR THE PURPOSE OF COMPUTING FRONT YARD DIMENSIONS THE MEASUREMENT SHALL BE TAKEN FROM THE NEAREST POINT OF THE FRONT WALL OF THE BUILDING TO THE STREET LINE; PROVIDED, HOWEVER, THAT IF AN OFFICIAL PLAN LINE HAS BEEN ESTABLISHED FOR THE STREET, THEN THE MEASUREMENT SHALL BE TAKEN FROM THE NEAREST POINT OF THE FRONT WALL OF THE BUILDING TO SUCH OFFICIAL PLAN LINE; EXCEPT THAT THE CERTAIN ARCHITECTURAL FEATURES HEREINAFTER ENUMERATED SHALL NOT BE CONSIDERED IN MAKING SUCH MEASUREMENTS:

(A) CORNICES, CANOPIES, EAVES, CHIMNEYS, OR ANY OTHER ARCHITECTURAL FEATURES MAY EXTEND INTO SAID FRONT, SIDE, OR REAR YARD, A DISTANCE NOT EXCEEDING TWO (2) FEET, PROVIDED THAT NO SUCH ARCHITECTURAL FEATURE SHALL EXTEND TO WITHIN TWO (2) FEET OF ANY SIDE OR REAR LOT LINE.

APPROVAL STAMP

SEAL:



TITLE:

TITLE SHEET

DATE:

AUGUST 22, 2022

SCALE:

AS NOTED

JOB #:

22108

DRAWN BY:

DP

A-0.0

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REVISION

Table with 2 columns: DATE/DESC.

AVENUE ALHAMBRA DEVELOPMENT 513 AVENUE ALHAMBRA, EL GRANADA, CA 94018



TITLE: NOTES

DATE: AUGUST 22, 2022 SCALE: AS NOTED JOB #: 22108 DRAWN BY: DP

A-0.1

WATER PIPING REQUIREMENTS

WATER PIPING PERMIT REQUIREMENTS FOLLOWING IS A LISTING OF THE GENERAL REQUIREMENTS FOR REPLACING WATER LINES BASED ON THE 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA ELECTRICAL CODE. THIS BROCHURE IS INTENDED TO PROVIDE GENERAL INFORMATION. CONTACT THE BUILDING SAFETY DIVISION FOR ANY QUESTIONS OR ADDITIONAL INFORMATION.

- WATER DISTRIBUTION PIPES SHALL BE COPPER (TYPE L OR M), MALLEABLE IRON, GALVANIZED STEEL, CPVC, PE, OR OTHER APPROVED MATERIAL AND SHALL BE IN ACCORDANCE WITH NSF 61. (CPC 604) NOTE: WHERE PLASTIC PIPING IS USED, A LABEL SHALL BE FASTENED TO THE MAIN ELECTRICAL METER PANEL STATING, "THIS STRUCTURE HAS A NONMETALLIC WATER DISTRIBUTION LINES." (IAPMO IS 8-2006)

GROUNDING AND BONDING REQUIREMENTS GROUNDING SHALL CONSIST OF A CONTINUOUS GROUNDING ELECTRODE CONDUCTOR RUN FROM THE PANEL TO A GROUND ROD (GROUNDING ELECTRODE) AND TO THE COLD WATER PIPE. GROUNDING OF THE ELECTRICAL SERVICE AT THE MAIN WATER LINE MUST BE WITHIN THE FIRST 5' OF WATER PIPING INTO THE BUILDING. THE UNDERGROUND WATER SERVICE SHALL NOT BE USED AS THE GROUNDING ELECTRODE WITHOUT SUPPLEMENTAL ELECTRODE.

Table: GROUND ELECTRODE CONDUCTOR SIZING. Columns: SIZE OF MAIN PANEL, COPPER CONDUCTORS, ALUMINUM OR COPPER-CLAD ALUMINUM. Rows: 100 Amps (#8 AWG), 125 Amps (#6 AWG), 150 Amps (#6 AWG), 200 Amps (#4 AWG).

BONDING OF THE HOT, COLD, AND GAS LINES IS REQUIRED WHEN THE ELECTRICAL PANEL IS REPLACED. BONDING OF THE HOT, COLD, AND GAS LINES IS REQUIRED WITH WATER SERVICE REPLACEMENTS (IF USING A LESS CONDUCTIVE MATERIAL THAN IS EXISTING) AND FOR ALL RE-PIPES. BONDING SHALL CONSIST OF A CONTINUOUS BOND JUMPER INSTALLED AT THE WATER HEATER BETWEEN THE HOT, COLD, AND GAS LINES. THE BONDING JUMPER SHALL BE SIZED BASED ON THE FOLLOWING TABLE.

Table: BONDING JUMPER SIZING. Columns: SIZE OF MAIN PANEL, COPPER CONDUCTORS, ALUMINUM OR COPPER-CLAD ALUMINUM. Rows: 100 Amps (#8 AWG), 125 Amps (#6 AWG), 150 Amps (#6 AWG), 200 Amps (#6 AWG).

LIGHTING, SWITCHES OR RECEPTACLES

LIGHTING, SWITCHES OR RECEPTACLES PERMIT REQUIREMENTS THE FOLLOWING ARE THE MINIMUM REQUIREMENTS THAT MUST BE MET BASED ON THE 2019 CALIFORNIA ELECTRICAL CODE AND THE 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS: GENERAL LIGHTING REQUIREMENTS (CEES 150.0(K) AND CEC 410.16)

- ALL INSTALLED LIGHTING SHALL BE HIGH-EFFICIENCY. ALL LIGHT FIXTURES SHALL CONTAIN BULBS THAT ARE LABELED AS JA8-2019 (JA8-2019-E FOR SEALED LENS OR RECESSED FIXTURE). SCREW BASE BULBS ARE PERMITTED, EXCEPT IN RECESSED LIGHTING FIXTURES. RECESSED LIGHTING SHALL BE LISTED AS IC (ZERO CLEARANCE TO INSULATION) AND AT (AIR TIGHT), BE SEALED/CAULKED BETWEEN THE FIXTURE HOUSING AND CEILING, SHALL NOT CONTAIN A SCREW BASE SOCKET, AND CONTAIN BULBS MARKED WITH JA8-2019-E EFFICIENCY LABEL.

- ADDITIONAL KITCHEN LIGHTING REQUIREMENTS (CEES 150.0(K)) ALL LIGHTING FIXTURES SHALL BE CONTROLLED BY EITHER A DIMMER SWITCH OR BY A VACANCY SENSOR SWITCH THAT REQUIRES A MANUAL ON ACTIVATION (DOES NOT AUTOMATICALLY TURN ON) AND AUTOMATICALLY TURNS OFF WITHIN 30 MINUTES AFTER THE ROOM IS VACATED.

- GENERAL RECEPTACLE REQUIREMENTS (CEC 210.8, 210.12, 406.12) NEW LIGHTING OR RECEPTACLES ADDED MAY NOT OVERLOAD EXISTING CIRCUITS. RECEPTACLES INSTALLED IN THE FOLLOWING LOCATIONS MUST BE GFCI PROTECTED: EXTERIOR, GARAGE, BATHROOMS, ABOVE THE KITCHEN COUNTERTOP, WITHIN SIX FEET OF A SINK, AND LAUNDRY AREAS.

- ADDITIONAL KITCHEN RECEPTACLE REQUIREMENTS (CEC 210.8, 210.12, 210.23, 210.52, 406.12) RECEPTACLES SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS: GFCI PROTECTION SHALL BE PROVIDED FOR ALL COUNTERTOP RECEPTACLES, RECEPTACLES WITHIN 6 FEET OF A SINK (INCLUDING BELOW COUNTER AND BEHIND AN APPLIANCE), AND FOR RECEPTACLES SUPPLYING DISHWASHERS. THE RESET BUTTON FOR GFCI RECEPTACLES SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION (I.E. NOT BEHIND AN APPLIANCE).

- ADDITIONAL BATHROOM RECEPTACLE REQUIREMENTS (CEC 210.8, 210.11, 406.12) ALL RECEPTACLES SHALL BE GFCI PROTECTED AND TAMPER-RESISTANT (TR), IF ANY NEW/ADDITIONAL OUTLETS ARE INSTALLED, THE BATHROOM SHALL HAVE A DEDICATED 20-AMP CIRCUIT.

- ADDITIONAL EXTERIOR RECEPTACLE REQUIREMENTS (CEC 210.8 AND 406.8) ANY NEW EXTERIOR ELECTRICAL RECEPTACLES INSTALLED MUST BE GFCI PROTECTED, WATER RESISTANT, AND IN A WATERPROOF ENCLOSURE.

FIRE SPRINKLER

A FIRE ALARM SYSTEM THAT MEETS NFPA 72 PLANS TO BE SUBMITTED SEPARATELY

SMOKE AND CARBON MONOXIDE ALARMS

SMOKE AND CARBON MONOXIDE ALARMS (CBC 907.2.11, CRC 314 AND 315) SMOKE ALARMS SHALL BE INSTALLED ON THE CEILING OR WALL (BETWEEN 4" AND 12" OF THE CEILING) IN ALL SLEEPING ROOMS, EACH AREA/HALLWAY LEADING TO SLEEPING ROOMS, EACH FLOOR LEVEL OF THE BUILDING, AND IN ANY BASEMENT. SMOKE ALARMS SHALL BE REPLACED 10 YEARS AFTER THE DATE OF MANUFACTURE LISTED ON THE ALARM (IF NO DATE IS LISTED THE ALARM SHALL BE REPLACED). NEWLY INSTALLED SMOKE ALARMS SHALL HAVE A 10-YEAR BATTERY.

FURNACE REQUIREMENTS

FOLLOWING IS A LISTING OF GENERAL REQUIREMENTS BASED ON THE 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA ELECTRICAL CODE, AND 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS ELECTRICAL REQUIREMENTS AN APPROVED, INDEPENDENT MEANS OF DISCONNECT FOR THE ELECTRICAL SUPPLY TO EACH PIECE OF EQUIPMENT SHALL BE PROVIDED IN SIGHT OF THE EQUIPMENT SERVED. (CMC 301.4, CEC 422.31, CEC 422.33(A))

DUCT AIR LEAKAGE TEST (CEES 150.2(B)(1)(E)) AN AIR LEAKAGE TEST, PERFORMED BY A HERS RATER, IS REQUIRED FOR EXISTING DUCTS WHEN AN EXISTING FURNACE IS REPLACED. THE CF-3R FORM COMPLETED BY A HERS RATER SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT THE FINAL INSPECTION. A LIST HERS RATERS IS AVAILABLE AT: HTTP://WWW.ENERGY.CA.GOV/HERS/PROVIDERS.HTML

FURNACE EQUIPMENT EFFICIENCY (CEES 110.2(A)) WARM-AIR FURNACES AND UNIT HEATERS RATED AT LESS THAN 225,000 BTU/H SHALL HAVE A MINIMUM EFFICIENCY RATING OF 78% AFUE (ANNUAL FUEL UTILIZATION EFFICIENCY).

COMBUSTION AIR (CMC CHAPTER 7) COMBUSTION AIR MUST BE MAINTAINED AS REQUIRED BY THE CALIFORNIA MECHANICAL CODE.

CLEARANCE FROM COMBUSTIBLE MATERIALS (CMC 904.2) THE CLEAR SPACE AND DISTANCE TO COMBUSTIBLE MATERIALS AROUND THE FURNACE SHALL COMPLY WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

ANCHORAGE OF EQUIPMENT (CMC 303.4) THE FURNACE SHALL BE PROPERLY ANCHORED AND SUPPORTED TO SUSTAIN VERTICAL AND HORIZONTAL LOADS WITHIN THE STRESS LIMITATIONS SPECIFIED IN THE CALIFORNIA BUILDING CODE.

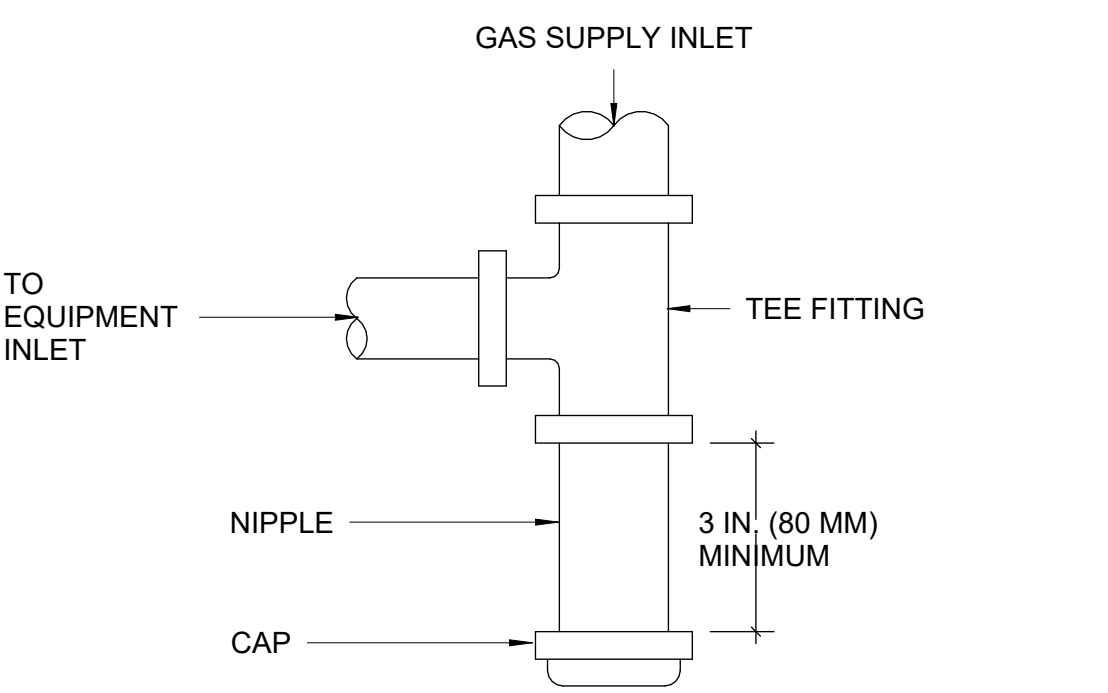
PLASTIC VENT PIPING (CMC 802.4.2) PLASTIC PIPE AND FITTINGS USED TO VENT APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLIANCE MANUFACTURER'S INSTALLATION INSTRUCTIONS. WHEN PRIMER IS REQUIRED, IT SHALL BE OF A CONTRASTING COLOR.

LOCATED IN A CRAWL SPACE (CRC 302.13) WHEN A FURNACE IS RELOCATED TO A CRAWL SPACE, THE UNDERSIDE OF THE FLOOR JOISTS SHALL BE PROVIDED WITH A 1/2" GYPSUM OR 5/8" WOOD STRUCTURAL PANEL. THIS IS NOT REQUIRED FOR THE REPLACEMENT OF AN EXISTING FURNACE ALREADY LOCATED IN THE CRAWL SPACE.

LOCATED IN A GARAGE (CMC 305.1) FURNACES LOCATED IN A GARAGE MUST BE ELEVATED SO THE PILOT LIGHT AND CONTROLS ARE AT LEAST 18" ABOVE THE GARAGE FLOOR SURFACE (UNLESS THE UNIT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT). IF SUBJECT TO VEHICULAR DAMAGE, ADEQUATE BARRIERS MUST BE INSTALLED (E.G. 4" DIAMETER STEEL PIPE FILLED WITH CONCRETE INSTALLED IN A FOOTING MEASURING 12" IN DIAMETER AND 3' DEEP AND A MINIMUM OF 2'-9" ABOVE THE FINISHED FLOOR).

LOCATED IN AN ATTIC (CMC 304.4) FURNACES LOCATED IN AN ATTIC AREA SHALL COMPLY WITH THE DIAGRAM AT THE BOTTOM OF THIS PAGE. ADDITIONALLY, IF THE ATTIC AND ROOF IS CONVENTIONALLY FRAMED, CEILING JOIST UNDER THE LOCATION OF THE FAU UNIT SHALL BE DOUBLED WITH A MINIMUM 2X6 JOISTS. IF THE ATTIC AND ROOF FRAMING IS A PRE-FABRICATED ENGINEERED TRUSS SYSTEM, AN ENGINEERING REPORT (WET STAMPED AND SIGNED BY A LICENSED ENGINEER) SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A BUILDING PERMIT.

SEDIMENT TRAP (CPC 1212.8) A SEDIMENT TRAP SHALL BE PROVIDED ON THE GAS LINE DOWNSTREAM OF THE APPLIANCE SHUT-OFF VALVE AND AS CLOSE TO THE INLET OF THE EQUIPMENT AS PRACTICAL.



BATHROOM REQUIREMENTS

TUB AND SHOWER ENCLOSURE PERMIT REQUIREMENTS FOLLOWING IS A LISTING OF THE GENERAL REQUIREMENTS BASED ON THE 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN), AND 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS.

TUB/SHOWER REQUIREMENTS THE MIXING VALVE IN A SHOWER (INCLUDING OVER A TUB) SHALL BE PRESSURE BALANCING SET AT A MAXIMUM 120° F. THE WATER-FILLER VALVE IN BATHTUBS/WHIRLPOOLS SHALL HAVE A TEMPERATURE LIMITING DEVICE SET AT A MAXIMUM OF 120° F. THE WATER HEATER THERMOSTAT CANNOT BE USED TO MEET THESE PROVISIONS. (CPC 408.3, 409.4)

WATER CLOSET REQUIREMENTS THE WATER CLOSET SHALL HAVE A CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT. (CPC 402.5) WHERE THE WATER CLOSET (OR OTHER PLUMBING FIXTURE) COMES INTO CONTACT WITH THE WALL OR FLOOR, THE JOINT SHALL BE CAULKED AND SEALED TO BE WATERTIGHT. (CPC 402.2)

TEMPERED GLAZING (CBC 2406.4, 2403.1 AND CRC 308.1, R308.4) TEMPERED GLAZING SHALL BE INSTALLED IN THE LOCATIONS LISTED BELOW. TEMPERED GLAZING SHALL BE PERMANENTLY IDENTIFIED BY A MANUFACTURER MARKING THAT IS PERMANENTLY APPLIED AND CANNOT BE REMOVED WITHOUT BEING DESTROYED (E.G. SAND BLASTED, ACID ETCHED, CERAMIC FIRED, LASER ETCHED, OR EMBOSSED).

ELECTRICAL AND LIGHTING REQUIREMENTS ALL RECEPTACLES SHALL BE GFCI PROTECTED AND TAMPER-RESISTANT (TR), IF ANY NEW/ADDITIONAL OUTLETS ARE INSTALLED, THE BATHROOM SHALL HAVE A DEDICATED 20-AMP CIRCUIT. (CEC 210.8, 210.11, 406.12) EXHAUST FANS WITH A MINIMUM VENTILATION RATE OF 50 CFM ARE REQUIRED IN ALL BATHROOMS. EVEN IF AN OPERABLE WINDOW IS INSTALLED, EXHAUST FANS AND LIGHTING SHALL HAVE SEPARATE CONTROL SWITCHES (EVEN IF A COMBINATION UNIT IS INSTALLED), THE EXHAUST FAN MAY NEED TO BE SUPPLIED BY A GFCI PROTECTED CIRCUIT BASED ON THE MANUFACTURER'S REQUIREMENTS. (CEES 150.0(K), 150.0(O)) LIGHTING FIXTURES LOCATED WITHIN 3 FEET HORIZONTALLY AND 8 FEET VERTICALLY OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD SHALL BE LISTED FOR A DAMP LOCATION, OR LISTED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY. (CEC 410.10)

WATER EFFICIENT PLUMBING FIXTURES (CALGREEN 301.1.1) RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS, OR REMODELS ARE REQUIRED TO REPLACE ALL NON-COMPLIANT PLUMBING FIXTURES (BASED ON WATER EFFICIENCY) THROUGHOUT THE HOUSE WITH WATER-CONSERVING PLUMBING FIXTURES. THE FOLLOWING TABLE SHOWS WHAT IS CONSIDERED TO BE A NON-COMPLIANT PLUMBING FIXTURE AND THE CURRENT WATER EFFICIENCY STANDARDS FOR VARIOUS PLUMBING FIXTURES. ALL EXISTING NON-COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH FIXTURES MEETING THE CURRENT STANDARDS. *

Table: BONDING JUMPER SIZING. Columns: PLUMBING FIXTURE, NON-COMPLIANT PLUMBING FIXTURE, CURRENT STANDARD FOR THE MAXIMUM FLOW RATE OF NEWLY INSTALLED PLUMBING FIXTURES. Rows: WATER CLOSET (TOILET), SHOWER/DEAD, FAUCET-BATH ROOM, FAUCET-KITCHEN.

* RESIDENTIAL BUILDING CONSTRUCTED AFTER JANUARY 1, 1994 ARE EXEMPT FROM THIS REQUIREMENT.

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EVOCO ARCHITECTURE & INTERIORS
470 NOOR AVE, # 1098
SO. SAN FRANCISCO CA 94080
415.312.0454

OWNER:
HARVEST CONSTRUCTION
P.O. BOX 1961
EL GRANADA CA. 94018
RAY W HEKKERT

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DATE/DESC.	

AVENUE ALHAMBRA DEVELOPMENT

513 AVENUE ALHAMBRA,
EL GRANADA, CA 94018



TITLE:
PERSPECTIVES

DATE: AUGUST 22, 2022

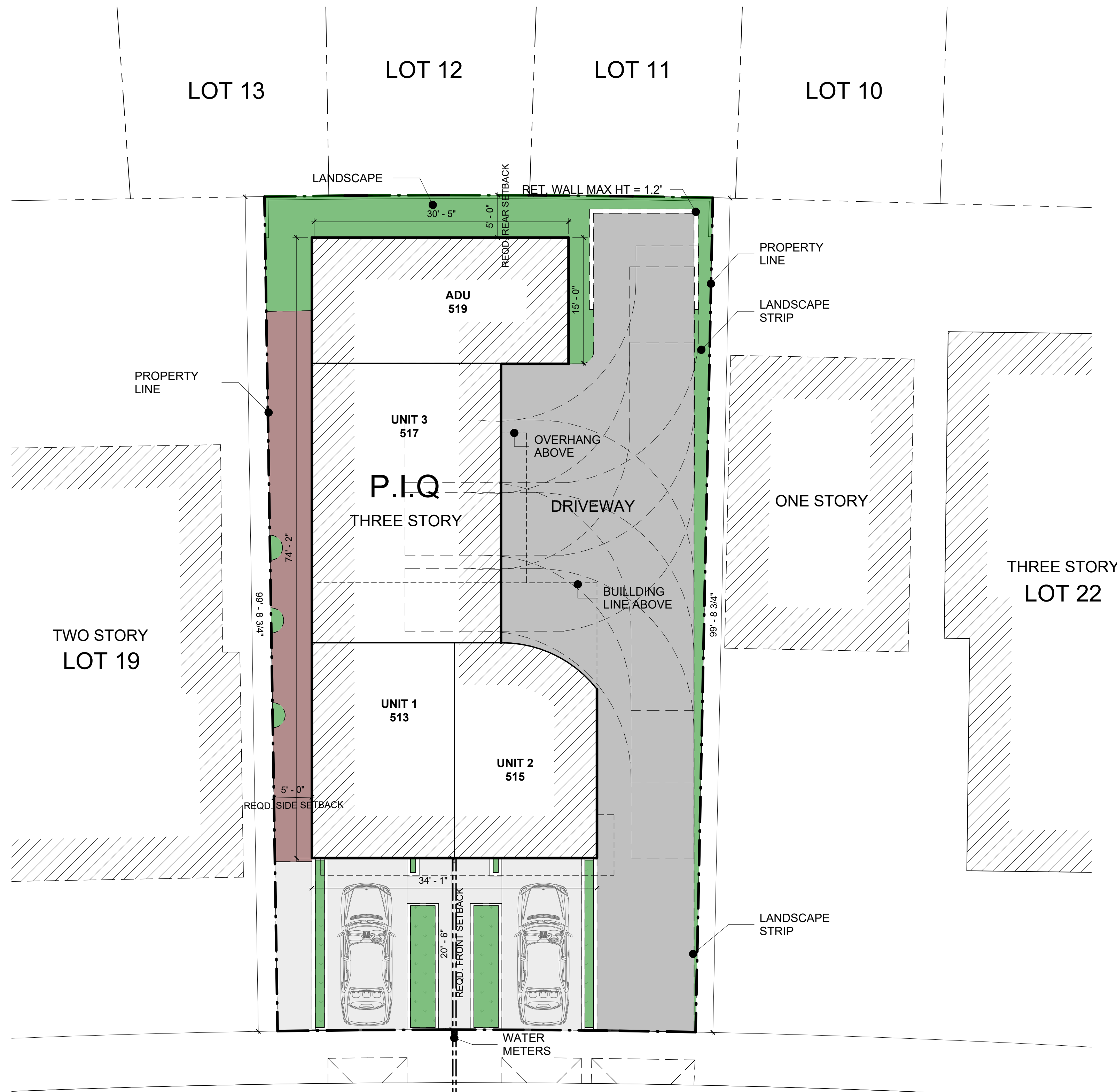
SCALE: AS NOTED

JOB #: 22108

DRAWN BY: DP

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AVENUE ALHAMBRA

1 SITE PLAN - PROPOSED
1/8" = 1'-0"



LEGENDS		
	TRUEGRID PRO LITE	
	PERMEABLE PAVERS - PERVIOUS	1415 SF
	LANDSCAPE PERVIOUS	583 SF
	DRIVEWAY PAVERS - PERVIOUS	569 SF
	TOTAL PERVIOUS AREA	2567 SF
	CONCRETE SIDEWALK BROOM FINISH IMPERVIOUS	318 SF

TOTAL AREA OF SITE = 5165 SF
 ALLOWED IMPERVIOUS AREA = 10% = 516 SF
 IMPERVIOUS AREA PROVIDED = 318 SF = 6% OF SITE

WINDOW SCHEDULE (X)					
MARK	QTY	LOCATION	SIZE	TYPE	REMARKS
A	1	GARAGE - UNIT 1	6'-0" X 2'-0"	FIXED	MARVIN ULTIMATE
B	2	VARIOUS	3'-0" X 4'-0"	CASEMENT	MARVIN ULTIMATE
C	<varies>	VARIOUS	<varies>	CASEMENT	MARVIN ULTIMATE
D	3	VARIOUS	4'-0" X 4'-0"	CASEMENT	MARVIN ULTIMATE
E	2	VARIOUS	4'-0" X 4'-0"	CASEMENT	MARVIN ULTIMATE
F	7	VARIOUS	2'-0" X 4'-0"	SKYLIGHT	MARVIN ULTIMATE
G	2	VARIOUS	3'-0" X 8'-0"	CASEMENT	MARVIN ULTIMATE
I	8	VARIOUS	3'-0" X 2'-0"	FIXED	MARVIN ULTIMATE
J	3	VARIOUS	3'-0" X 8'-0"	CASEMENT	MARVIN ULTIMATE
K	1	GARAGE - UNIT 2	3'-0" X 7'-0"	CASEMENT	MARVIN ULTIMATE
L	1	BEDRM - 1 UNIT 3	6'-0" X 6'-0"	CASEMENT	MARVIN ULTIMATE
M	2	VARIOUS	3'-0" X 3'-0"	CASEMENT	MARVIN ULTIMATE
N	1	BEDRM - ADU	3'-0" X 4'-0"	CASEMENT	MARVIN ULTIMATE
O	1	BATH - 3	2'-0" X 2'-0"	CASEMENT	MARVIN ULTIMATE
P	7	VARIOUS	2'-0" X 4'-0"	SKYLIGHT	

* ALL WINDOWS TO BE MARVIN WINDOWS DOUBLE-GLAZED W/ LOW E GLASS

DOOR SCHEDULE (DOX)					
ITEM #	QNTY	LOCATION	SIZE	CONST.	REMARKS
D01	1	ENTRY - UNIT 1	3'-0" X 7'-0"	SOLID CORE	
D02	1	ENTRY - UNIT 2	3'-0" X 7'-0"	SOLID CORE	
D03	1	ENTRY - UNIT 3	3'-0" X 7'-0"	SOLID CORE	
D04	1	ENTRY - ADU	3'-0" X 7'-0"	SOLID CORE	
D05	1	GARAGE - UNIT 1	8'-0" X 7'-0"	SOLID CORE	EXTERIOR SELF CLOSING AND SELF LATCHING
D06	1	GARAGE - UNIT 2	8'-0" X 7'-0"	SOLID CORE	EXTERIOR SELF CLOSING AND SELF LATCHING
D08	1	GARAGE - UNIT 1	2'-8" X 7'-0"	SOLID CORE	20 MIN RATED WITH CLOSER
D09	1	GARAGE - UNIT 2	2'-8" X 7'-0"	SOLID CORE	20 MIN RATED WITH CLOSER
D10	1	UTILITY - UNIT 1	3'-0" X 7'-0"	SOLID CORE	
D11	1	UTILITY - UNIT 2	3'-0" X 7'-0"	SOLID CORE	
D16	1	DINING - UNIT 3	8'-0" X 7'-0"	SOLID CORE	
D17	1	GARAGE - UNIT 3	2'-8" X 7'-0"	SOLID CORE	20 MIN RATED WITH CLOSER
D18	1	UTILITY - UNIT 3	3'-0" X 7'-0"	SOLID CORE	
D19	1	BEDRM - 1 - ADU	2'-8" X 7'-0"	SOLID CORE	
D20	1	BATH - 3	2'-4" X 7'-0"	SOLID CORE	
D21	1	LIVING - UNIT 1	9'-0" X 8'-0"	SOLID CORE	SLIDER
D22	1	LIVING - UNIT 2	9'-0" X 8'-0"	SOLID CORE	SLIDER
D23	1	POWDER - UNIT 1	2'-4" X 7'-0"	SOLID CORE	
D24	1	POWDER - UNIT 2	2'-4" X 7'-0"	SOLID CORE	
D25	1	PANTRY - UNIT 1	2'-0" X 7'-0"	SOLID CORE	
D26	1	PANTRY - UNIT 2	2'-0" X 7'-0"	SOLID CORE	
D27	1	PANTRY - UNIT 3	2'-0" X 7'-0"	SOLID CORE	
D28	1	POWDER - UNIT 3	2'-4" X 7'-0"	SOLID CORE	
D29	1	PRIMARY BED - UNIT 1	3'-0" X 7'-0"	SOLID CORE	
D30	1	BATH - 4	2'-6" X 7'-0"	SOLID CORE	
D31	1	BATH - 5	2'-6" X 7'-0"	SOLID CORE	
D32	1	BEDRM - 1 - UNIT 1	2'-8" X 7'-0"	SOLID CORE	
D33	1	CLOSET - UNIT 1	2'-6" X 7'-0"	SOLID CORE	SLIDER
D34	1	PRIMARY BED - UNIT 3	2'-6" X 7'-0"	SOLID CORE	
D35	1	BATH - 8	2'-4" X 7'-0"	SOLID CORE	
D36	1	BEDRM - 1 - UNIT 3	2'-6" X 7'-0"	SOLID CORE	
D37	1	BATH - 10	2'-4" X 7'-0"	SOLID CORE	
D38	1	PRIMARY BED - UNIT 1	9'-0" X 8'-0"	SOLID CORE	SLIDER
D39	1	CLOSET - UNIT 2	2'-6" X 7'-0"	SOLID CORE	SLIDER
D40	1	BEDRM - 3 BALCONY	5'-0" X 7'-0"	SOLID CORE	
D41	1	BEDRM - 1 - UNIT 2	2'-8" X 7'-0"	SOLID CORE	
D42	1	BATH - 6	2'-6" X 7'-0"	SOLID CORE	
D43	1	PRIMARY BED - UNIT 2	3'-0" X 7'-0"	SOLID CORE	
D44	1	BATH - 7	2'-4" X 7'-0"	SOLID CORE	POCKET
D45	1	PRIMARY BED - UNIT 1	4'-6" X 7'-0"	SOLID CORE	
D46	1	PANTRY - UNIT 2	4'-0" X 7'-0"	SOLID CORE	
D47	1	CLOSET - UNIT 3	8'-0" X 7'-0"	SOLID CORE	SLIDER
D48	1	PRIMARY BED - UNIT 2	9'-0" X 8'-0"	SOLID CORE	SLIDER
D49	1	HALL - UNIT 3	3'-0" X 7'-0"	SOLID CORE	
D50	1	CLOSET - ADU	4'-0" X 7'-0"	SOLID CORE	SLIDER

- *ALL DOORS TO BE PAINT GRADE WOOD DOORS. SHOWER DOOR TO USE TEMPERED GLASS
- WINDOW UNITS ARE REFERRED TO BY THIS SCHEDULE WITHIN THE DIAMOND SYMBOL ON THE PLAN SHEETS.
 - VERIFY FINAL SILL HEIGHTS OF WINDOW IN FIELD.
 - ALL GLAZING SHALL BE DUAL-GLAZED, LOW-E TYPE. U.O.N.
 - ALL NEW AND EXISTING DOOR AND WINDOW OPENINGS SHALL ALIGN ON EACH RESPECTIVE FLOOR.
 - PROVIDE TEMPERED GLASS AT ALL WINDOWS LOCATED WITHIN 24" OF DOOR JAMB, ABOVE HEAD OF DOOR AND/OR LESS THAN 60" ABOVE WALKING SURFACE

- ALL NEW LIGHTING SHALL HIGH EFFICACY OR PROVIDE LIGHTING PER CEC 150(K)
- ENVIRONMENTAL AIR DUCTS TERMINATE 3' FROM PL. & OPENINGS INTO BLDG.
- PROVIDE SPACE HEATING TO ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY

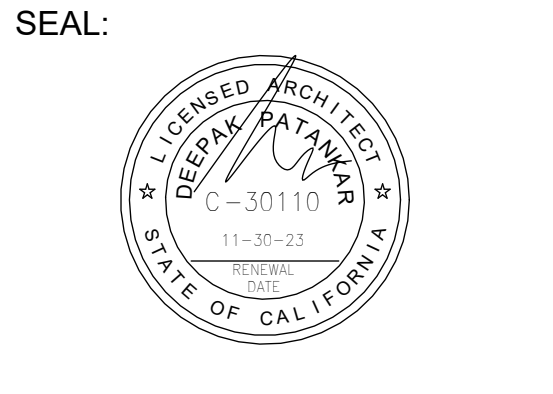
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 470 NOOR AVE, # 1098
 SO. SAN FRANCISCO CA 94080
 415.312.0454

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 HARVEST CONSTRUCTION
 P.O. BOX 1961
 EL GRANADA CA. 94018
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AVENUE ALHAMBRA DEVELOPMENT

513 AVENUE ALHAMBRA,
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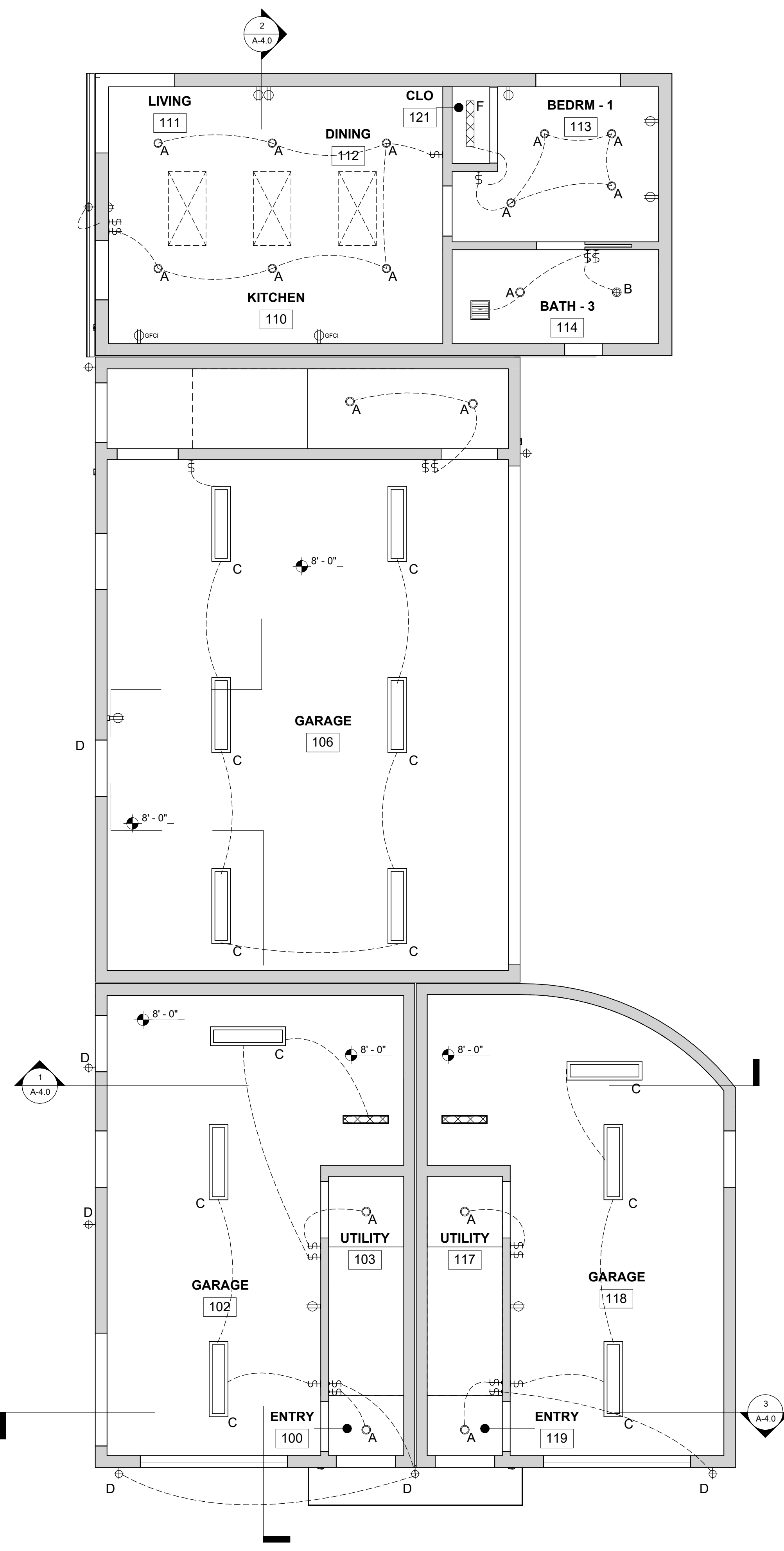
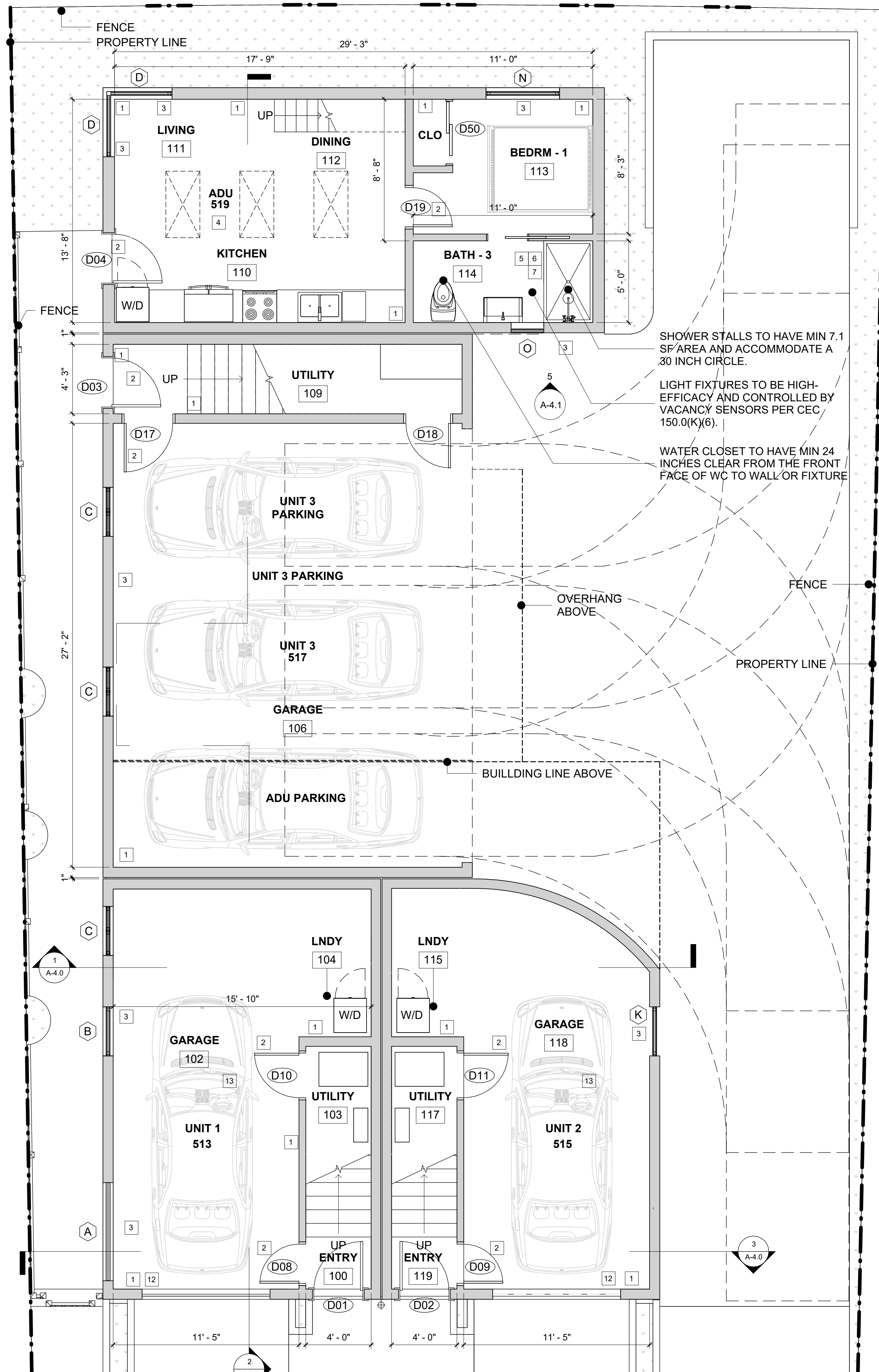


TITLE:
SITE PLAN, DOOR AND WINDOW SCHEDULES

DATE: AUGUST 22, 2022
 SCALE: AS NOTED
 JOB #: 22108
 DRAWN BY: DP

A-0.4

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KEYNOTES

- 1 NEW WALL
- 2 NEW DOOR
- 3 NEW WINDOW
- 4 NEW HARDWOOD FLOORING
- 5 NEW TILE FLOORING
- 6 NEW PLUMBING FIXTURES SHOWER W/ LINEAR DRAIN
- 7 NEW LIGHT FIXTURES
- 8 NEW SMOKE DETECTOR
- 9 NEW CARBON MONOXIDE DETECTOR
- 10 NOT USED
- 11 NOT USED
- 12 NEW GARAGE DOOR
- 13 NEW FLOOR

LEGEND

- NEW WALL
- CEILING HEIGHTS
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- EXHAUST FAN WITH HUMIDISTAT
- 4" LED DOWNLIGHT
- 4" LED SHOWER LIGHT
- CEILING MOUNTED LED LIGHT
- LED WALL LIGHT
- LED BATH LIGHT
- CLOSET LIGHT, LED
- WALL RECEPTACLE
- ONE - WAY SWITCH
- TWO - WAY SWITCH
- VENTILATION REQUIRED THROUGH BY MECHANICAL VENTILATION I.E., EXHAUST FAN.

NOTE:
 POINT OF EXHAUST VENT SHALL BE AT LEAST 3-FT FROM A PROPERTY LINE OR OPENINGS INTO THE BUILDING SUCH AS DOOR S, WINDOWS, OPENING SKYLIGHT, ATTIC VENTS. 10-FT FROM A FORCED AIR INLET. (CMC 502.2.1)



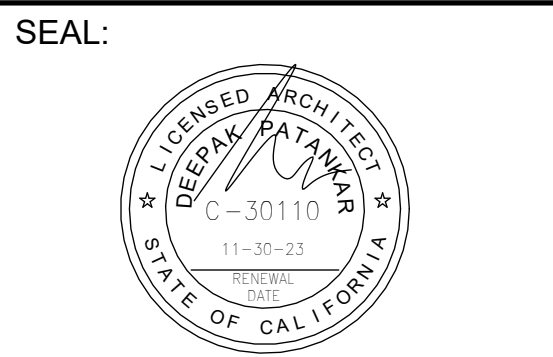
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 SO. SAN FRANCISCO CA 94080
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 P.O. BOX 1961
 EL GRANADA CA. 94018
 RAY W HEKKERT

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AVENUE ALHAMBRA DEVELOPMENT

513 AVENUE ALHAMBRA, EL GRANADA, CA 94018



TITLE:
PROPOSED FLOOR & CEILING PLAN - 1ST FLOOR

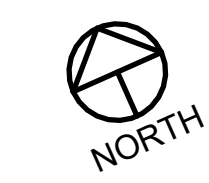
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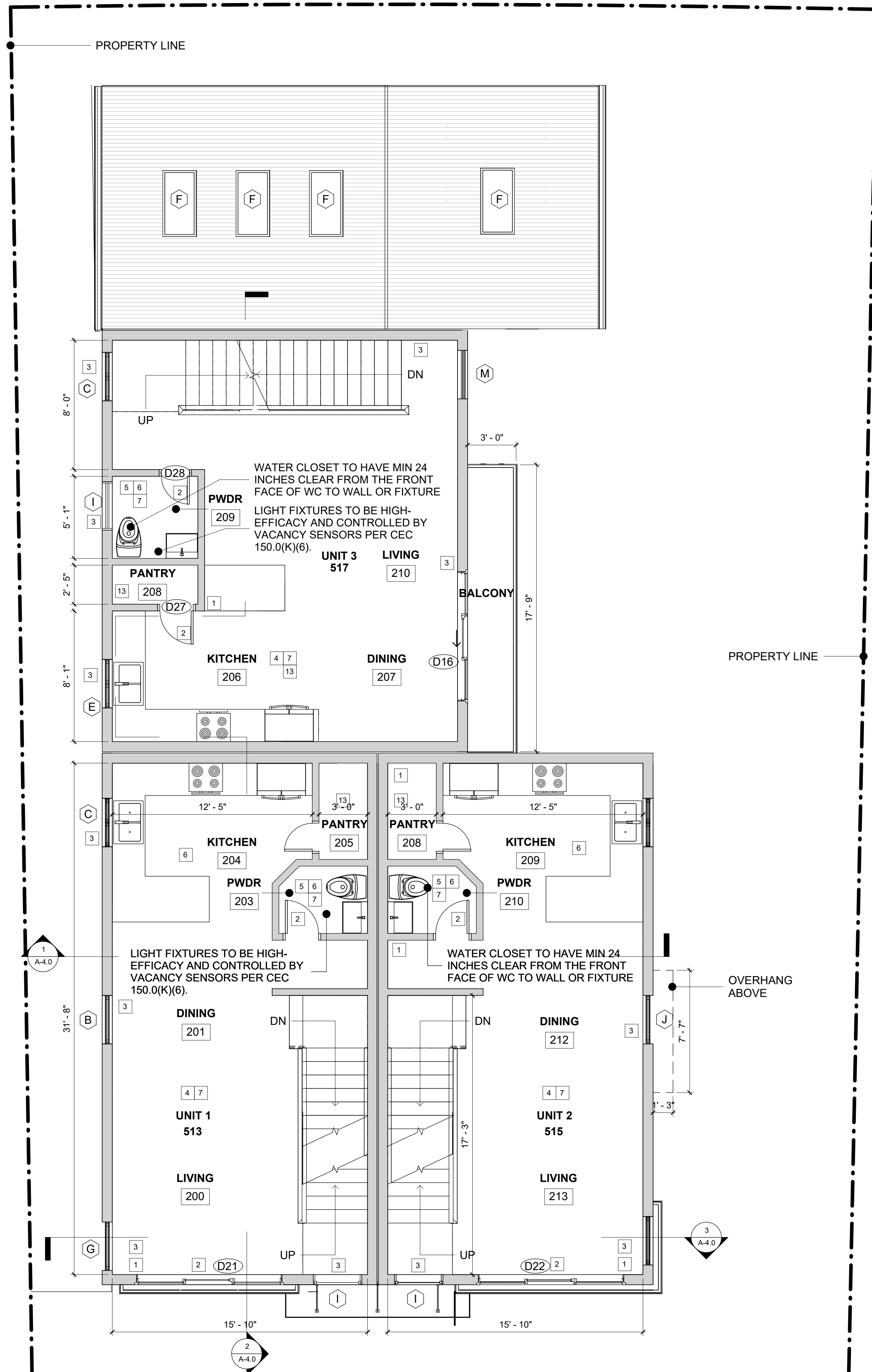
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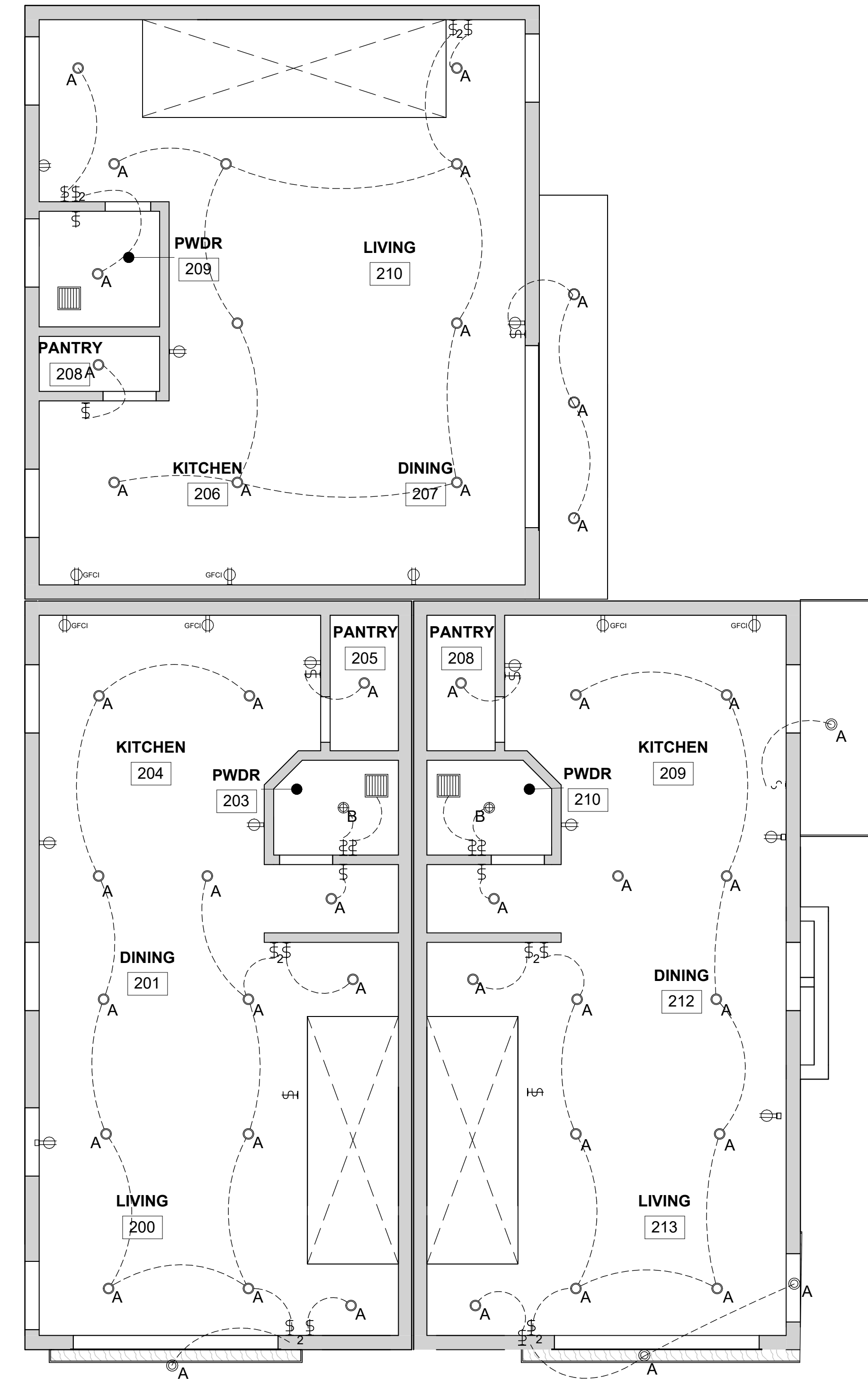
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1 PROPOSED - 2ND FLOOR PLAN
1/4" = 1'-0"



2 2ND FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"



KEYNOTES

- 1 NEW WALL
- 2 NEW DOOR
- 3 NEW WINDOW
- 4 NEW HARDWOOD FLOORING
- 5 NEW TILE FLOORING
- 6 NEW PLUMBING FIXTURES
- 7 NEW LIGHT FIXTURES
- 8 NEW SMOKE DETECTOR
- 9 NEW CARBON MONOXIDE DETECTOR
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 NEW FLOOR

LEGEND

- NEW WALL
 - CEILING HEIGHTS
 - SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR
 - EXHAUST FAN WITH HUMIDISTAT
 - 4" LED DOWNLIGHT
 - 4" LED SHOWER LIGHT
 - CEILING MOUNTED LED LIGHT
 - LED WALL LIGHT
 - LED BATH LIGHT
 - CLOSET LIGHT, LED
 - WALL RECEPTACLE
 - ONE - WAY SWITCH
 - TWO - WAY SWITCH
- VENTILATION REQUIRED THROUGH BY MECHANICAL VENTILATION I.E., EXHAUST FAN.

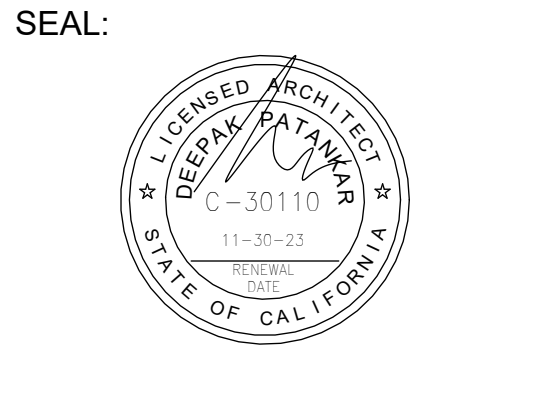
NOTE:
POINT OF EXHAUST VENT SHALL BE AT LEAST 3-FT FROM A PROPERTY LINE OR OPENINGS INTO THE BUILDING SUCH AS DOOR S, WINDOWS, OPENING SKYLIGHT, ATTIC VENTS. 10-FT FROM A FORCED AIR INLET. (CMC 502.2.1)

evoco
EVOCO ARCHITECTURE & INTERIORS
470 NOOR AVE, # 1098
SO. SAN FRANCISCO CA 94080
415.312.0454

OWNER:
HARVEST CONSTRUCTION
P.O. BOX 1961
EL GRANADA CA. 94018
RAY W HEKKERT

REVISION	
DATE/DESC.	

AVENUE ALHAMBRA DEVELOPMENT
513 AVENUE ALHAMBRA,
EL GRANADA, CA 94018



TITLE:
PROPOSED FLOOR & CEILING PLAN - 2ND FLOOR

DATE: AUGUST 22, 2022

SCALE: AS NOTED

JOB #: 22108

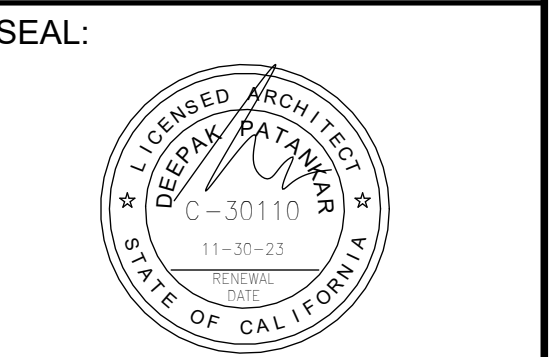
DRAWN BY: DP

A-2.2

REVISION	
DATE/DESC.	

AVENUE ALHAMBRA DEVELOPMENT

513 AVENUE ALHAMBRA,
EL GRANADA, CA 94018



TITLE:
PROPOSED FLOOR & CEILING PLAN - 3RD FLOOR

DATE: AUGUST 22, 2022

SCALE: AS NOTED

JOB #: 22108

DRAWN BY: DP

A-2.3

KEYNOTES

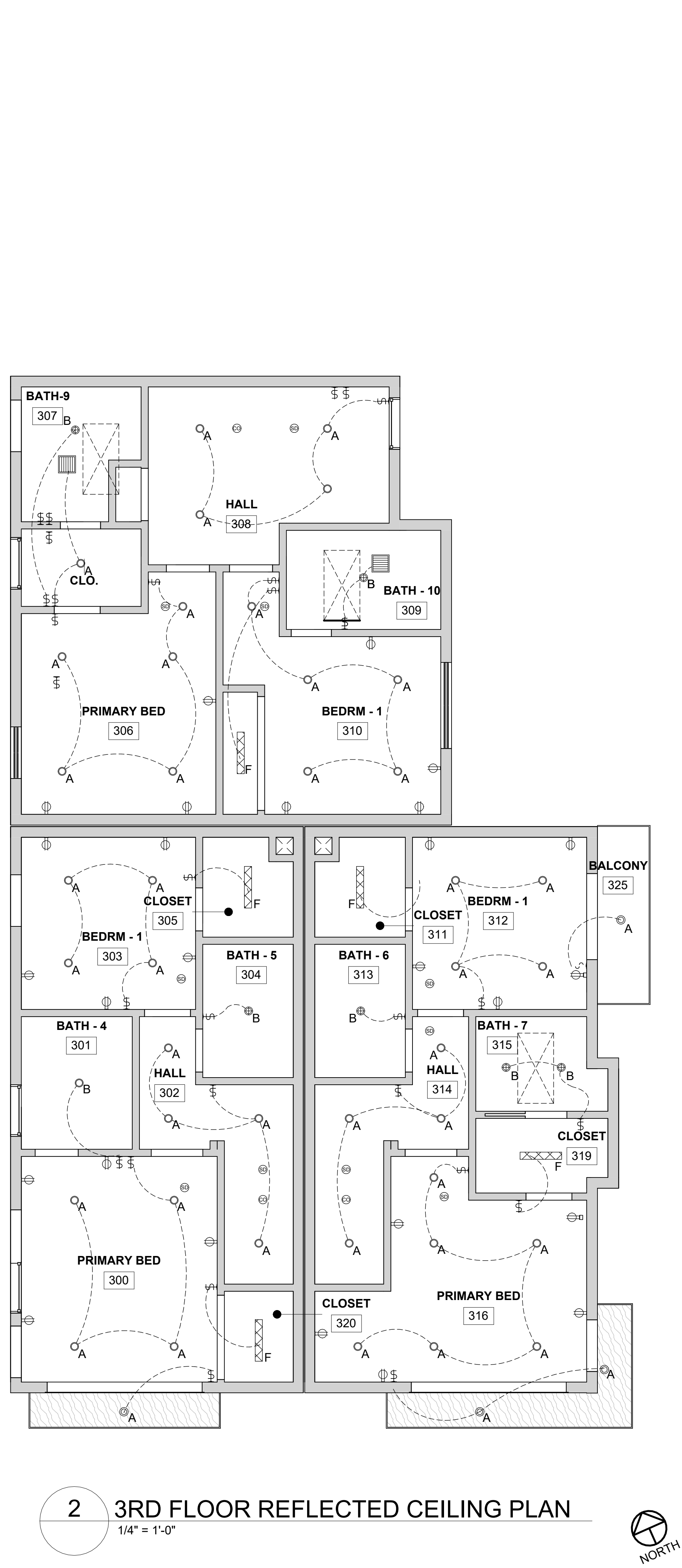
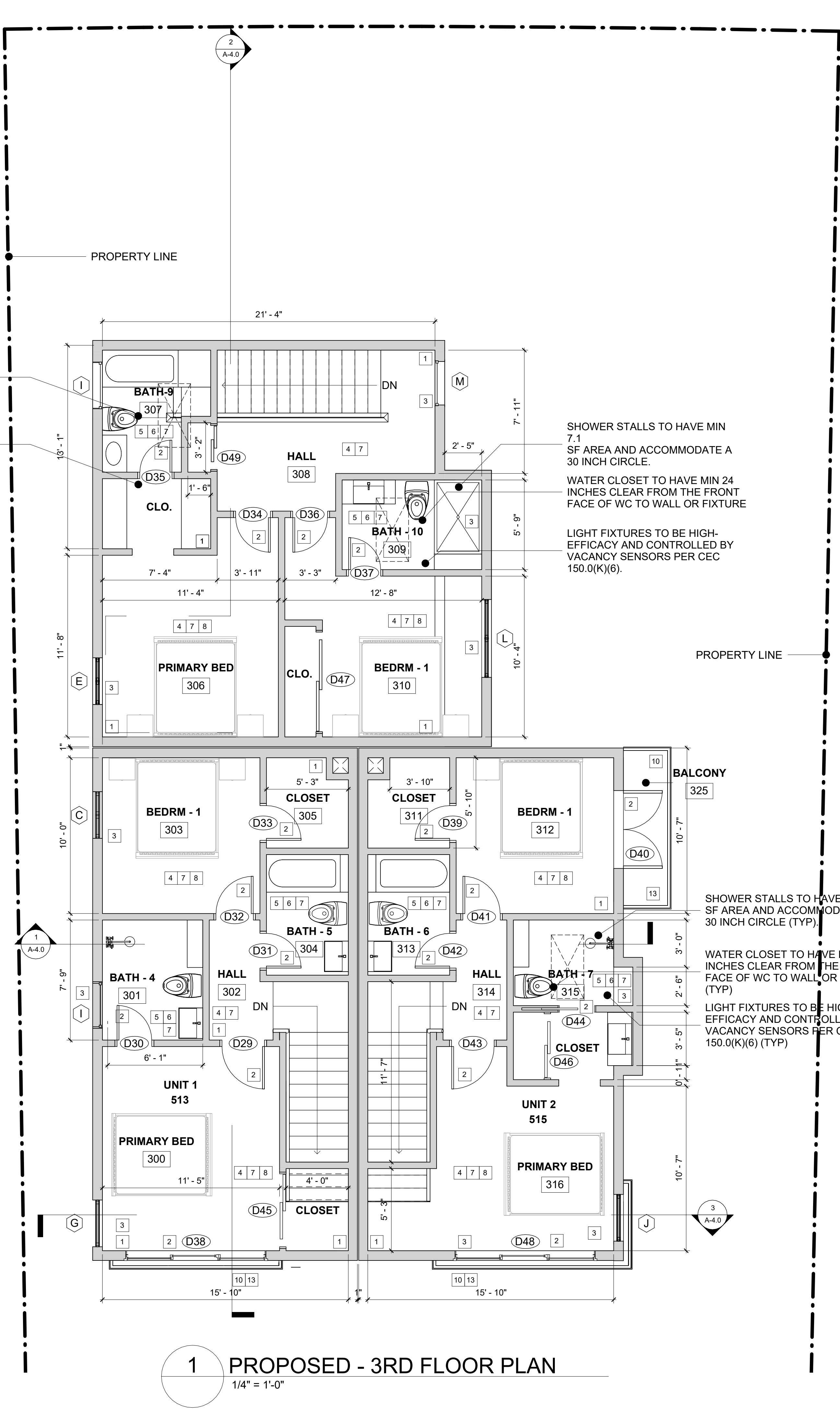
- 1 NEW WALL
- 2 NEW DOOR
- 3 NEW WINDOW
- 4 NEW HARDWOOD FLOORING
- 5 NEW TILE FLOORING
- 6 NEW PLUMBING FIXTURES
- 7 NEW LIGHT FIXTURES
- 8 NEW SMOKE DETECTOR
- 9 NEW CARBON MONOXIDE DETECTOR
- 10 NEW GLASS RAIL
- 11 NOT USED
- 12 NOT USED
- 13 NEW FLOOR

LEGEND

- NEW WALL
- CEILING HEIGHTS
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- EXHAUST FAN WITH HUMIDISTAT
- 4" LED DOWNLIGHT
- 4" LED SHOWER LIGHT
- CEILING MOUNTED LED LIGHT
- LED WALL LIGHT
- LED BATH LIGHT
- CLOSET LIGHT, LED
- WALL RECEPTACLE
- ONE - WAY SWITCH
- TWO - WAY SWITCH

VENTILATION REQUIRED THROUGH BY MECHANICAL VENTILATION I.E., EXHAUST FAN.

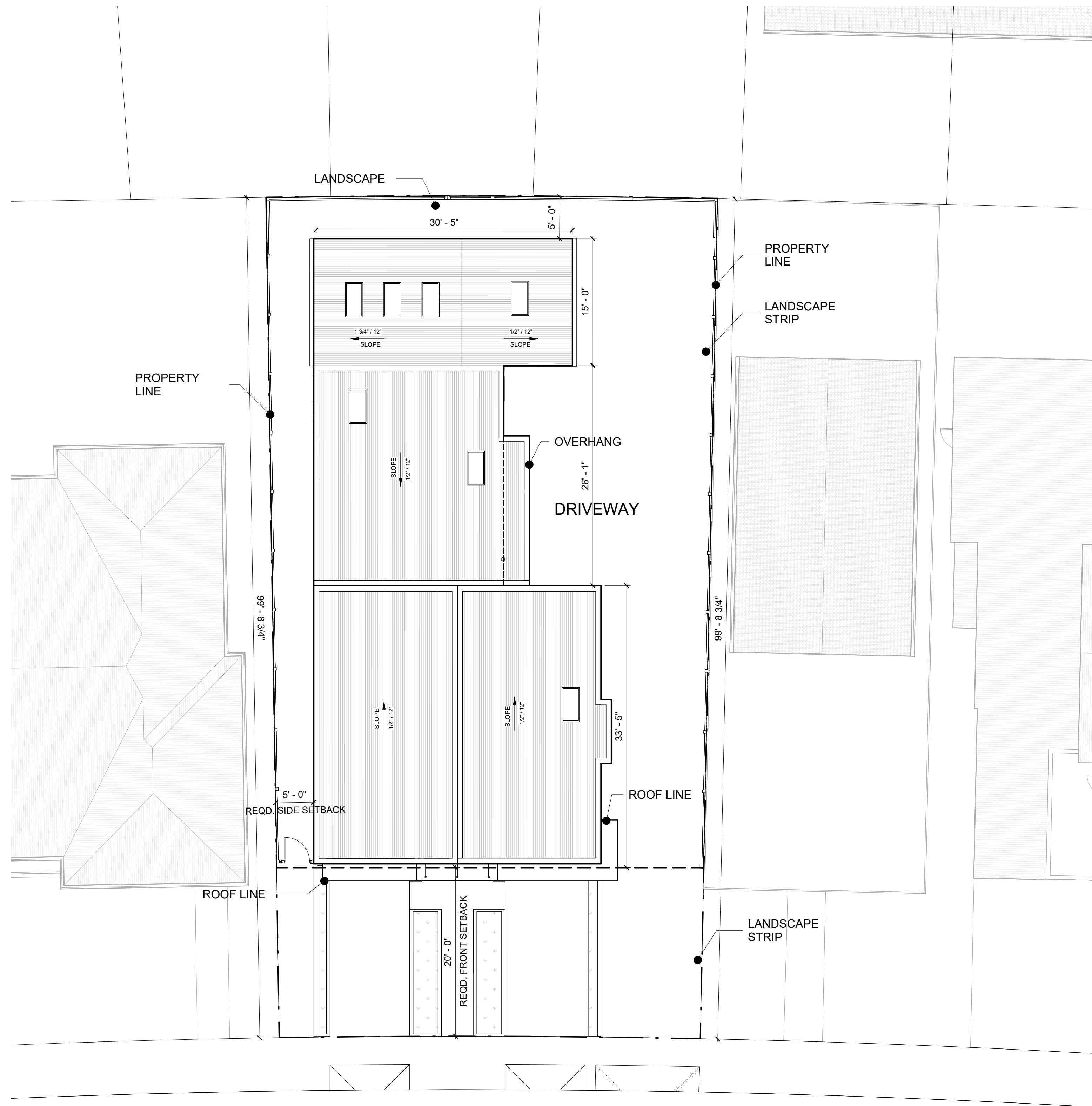
NOTE:
POINT OF EXHAUST VENT SHALL BE AT LEAST 3-FT FROM A PROPERTY LINE OR OPENINGS INTO THE BUILDING SUCH AS DOOR S, WINDOWS, OPENING SKYLIGHT, ATTIC VENTS. 10-FT FROM A FORCED AIR INLET. (CMC 502.2.1)



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AVENUE ALHAMBRA
APN # 047206260

1 ROOF PLAN - PROPOSED
1/8" = 1'-0"

e v o c o

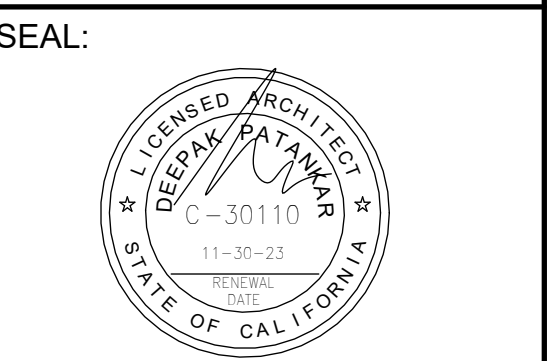
EVOCO ARCHITECTURE &
INTERIORS
470 NOOR AVE, # 1098
SO. SAN FRANCISCO CA 94080
415.312.0454

OWNER:
HARVEST CONSTRUCTION
P.O. BOX 1961
EL GRANADA CA. 94018
RAY W HEKKERT

REVISION	
DATE/DESC.	

AVENUE ALHAMBRA DEVELOPMENT

513 AVENUE ALHAMBRA,
EL GRANADA, CA 94018



TITLE:
PROPOSED ROOF
PLAN

DATE:
AUGUST 22, 2022

SCALE:
AS NOTED

JOB #:
22108

DRAWN
BY : DP

A-2.7

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MATERIAL LEGEND

- 1 STUCCO (WHITE)
- 2 ACCENT-METAL CLADDING (BLACK)
- 3 HARDIPLANK SIDING

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EL GRANADA CA. 94018
RAY W HEKKERT

REVISION

DATE/DESC.

- PARAPET
30' - 6"
- 3RD CEILING
28' - 6"
- 3RD FLOOR
19' - 6"
- 2ND CEILING
18' - 6"
- 2ND FLOOR
9' - 6"
- 1ST CEILING
8' - 6"
- 1ST FLOOR
0' - 6"
- GRADE LINE
0' - 0"



1 SOUTH ELEVATION
1/4" = 1'-0"

- PARAPET
30' - 6"
- 3RD CEILING
28' - 6"
- 3RD FLOOR
19' - 6"
- 2ND CEILING
18' - 6"
- ADU APEX
16' - 0"
- ADU CEILING
12' - 6"
- 1ST FLOOR
0' - 6"
- GRADE LINE
0' - 0"



2 WEST ELEVATION
1/4" = 1'-0"

AVENUE ALHAMBRA DEVELOPMENT

513 AVENUE ALHAMBRA,
EL GRANADA, CA 94018

SEAL:



TITLE:

PROPOSED EXTERIOR ELEVATION

DATE:

AUGUST 22, 2022

SCALE:

AS NOTED

JOB #:

22108

DRAWN BY:

DP

A-3.1

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MATERIAL LEGEND

- 1 STUCCO (WHITE)
- 2 ACCENT-METAL CLADDING (BLACK)
- 3 HARDIPLANK SIDING

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RAY W HEKKERT

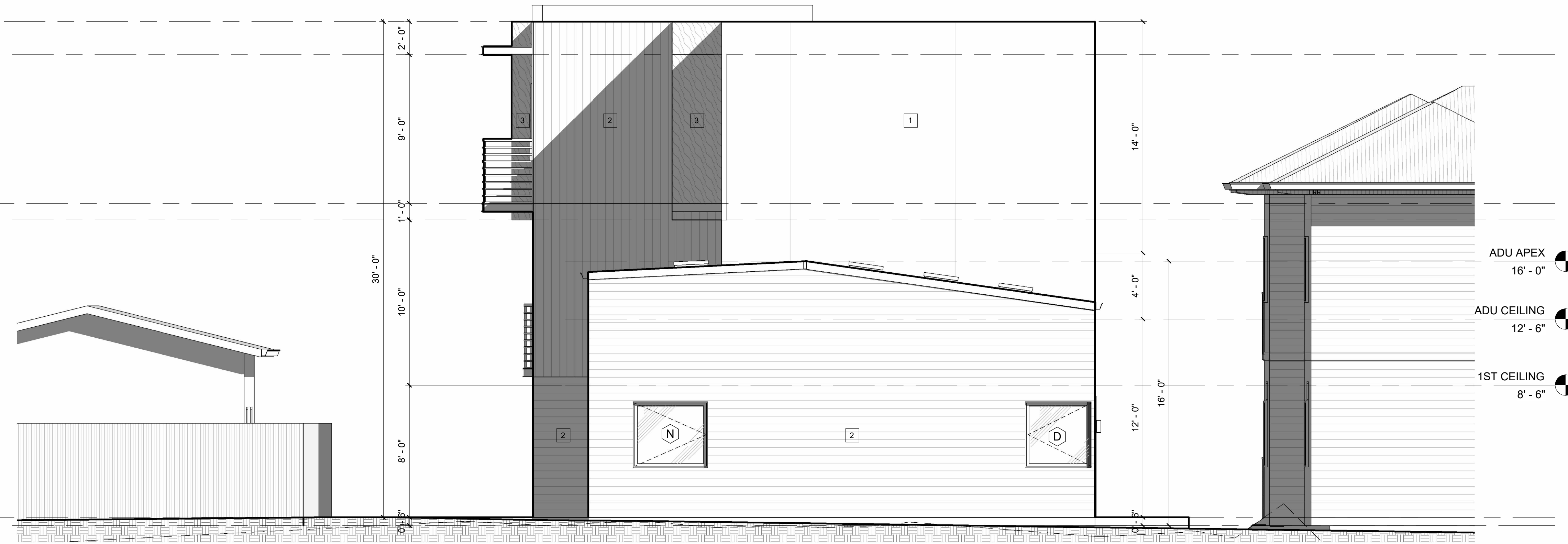
REVISION

DATE/DESC.

- PARAPET
30' - 6"
- 3RD CEILING
28' - 6"

- 3RD FLOOR
19' - 6"
- 2ND CEILING
18' - 6"

- 1ST FLOOR
0' - 6"
- GRADE LINE
0' - 0"



- ADU APEX
16' - 0"
- ADU CEILING
12' - 6"
- 1ST CEILING
8' - 6"

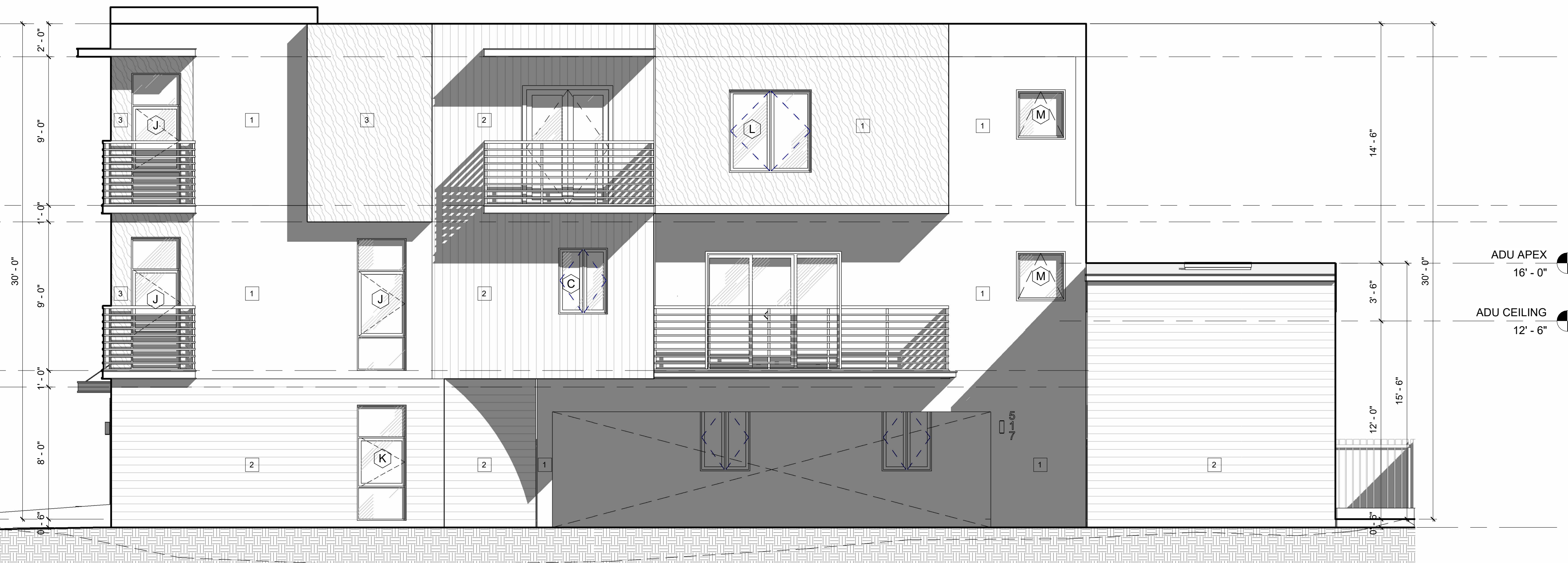
1 NORTH ELEVATION
1/4" = 1'-0"

- PARAPET
30' - 6"
- 3RD CEILING
28' - 6"

- 3RD FLOOR
19' - 6"
- 2ND CEILING
18' - 6"

- 2ND FLOOR
9' - 6"
- 1ST CEILING
8' - 6"

- 1ST FLOOR
0' - 6"
- GRADE LINE
0' - 0"



- ADU APEX
16' - 0"
- ADU CEILING
12' - 6"

2 EAST ELEVATION
1/4" = 1'-0"

AVENUE ALHAMBRA DEVELOPMENT

513 AVENUE ALHAMBRA,
EL GRANADA, CA 94018

SEAL:



TITLE:
PROPOSED EXTERIOR ELEVATION

DATE: AUGUST 22, 2022

SCALE: AS NOTED

JOB #: 22108

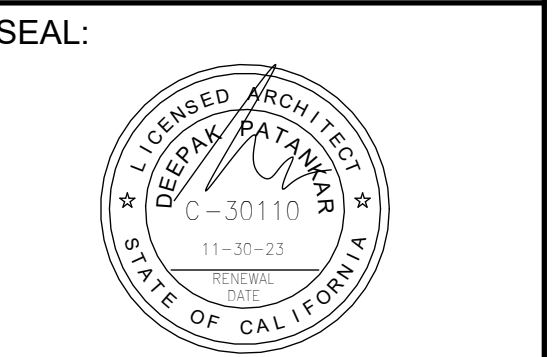
DRAWN BY: DP

A-3.2

REVISION	
DATE/DESC.	

AVENUE ALHAMBRA DEVELOPMENT

513 AVENUE ALHAMBRA,
EL GRANADA, CA 94018



TITLE:
PROPOSED SECTION

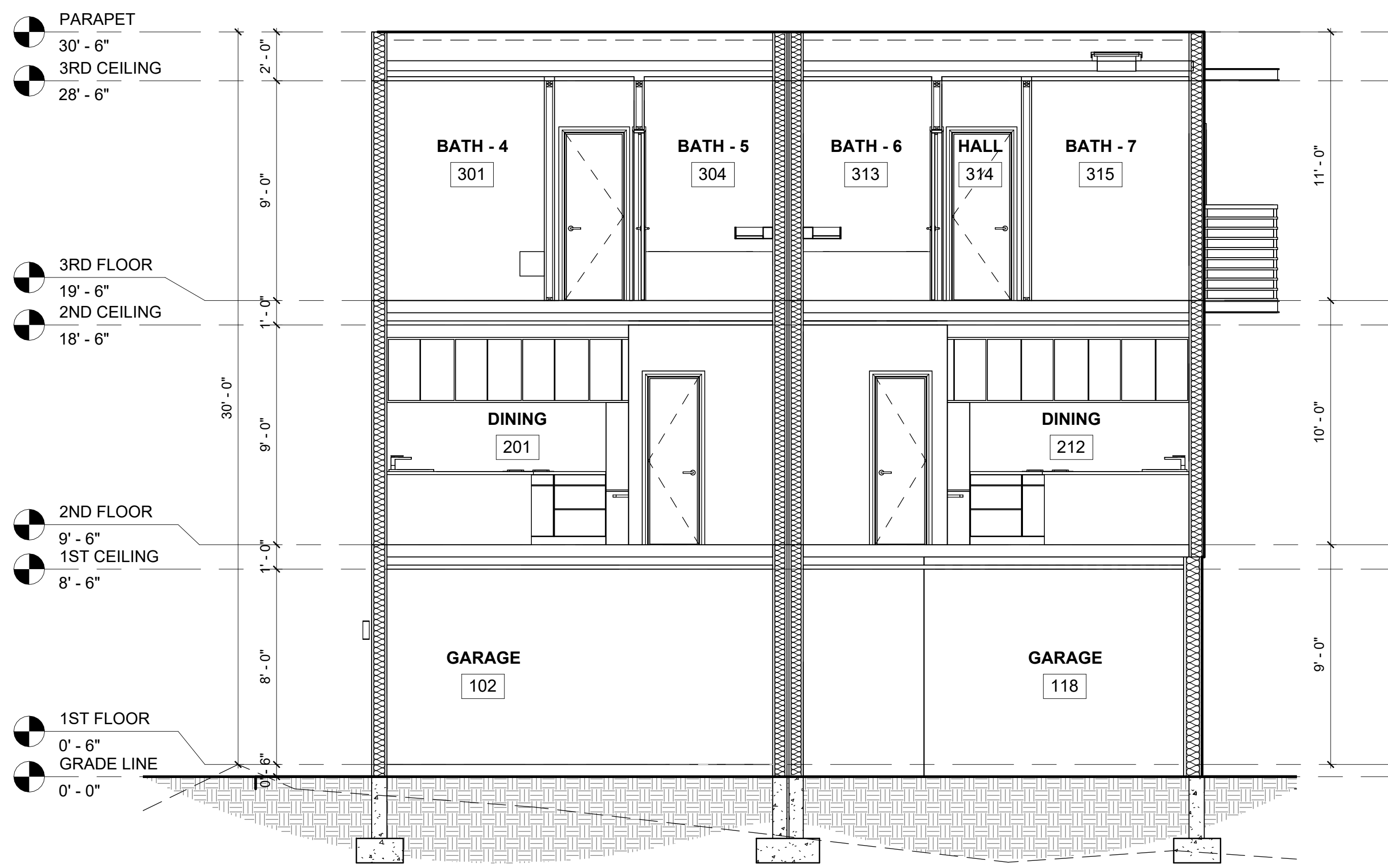
DATE:
AUGUST 22, 2022

SCALE:
AS NOTED

JOB #:
22108

DRAWN BY:
DP

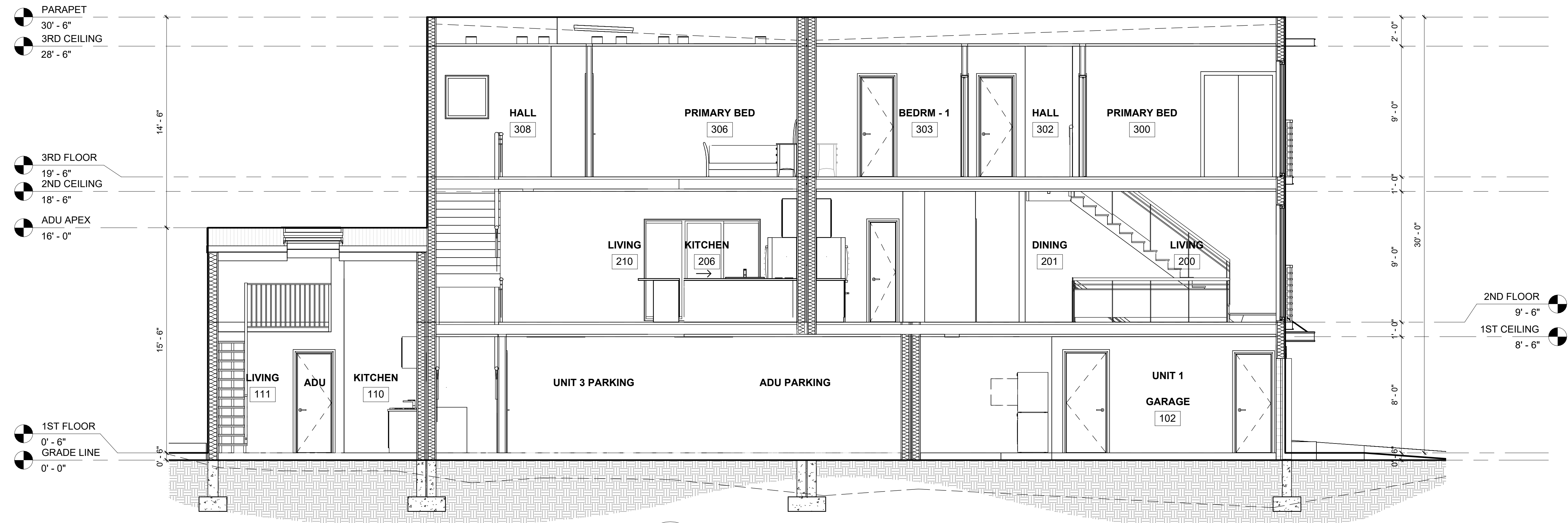
A-4.0



1 CROSS SECTION
1/4" = 1'-0"



3 SECTION THRU BALCONY
1/4" = 1'-0"



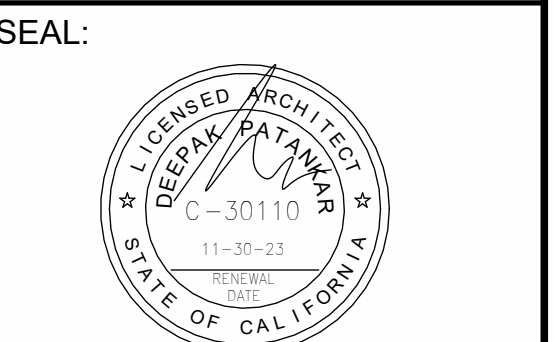
2 LONGITUDINAL SECTION
1/4" = 1'-0"

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REVISION	
DATE/DESC.	

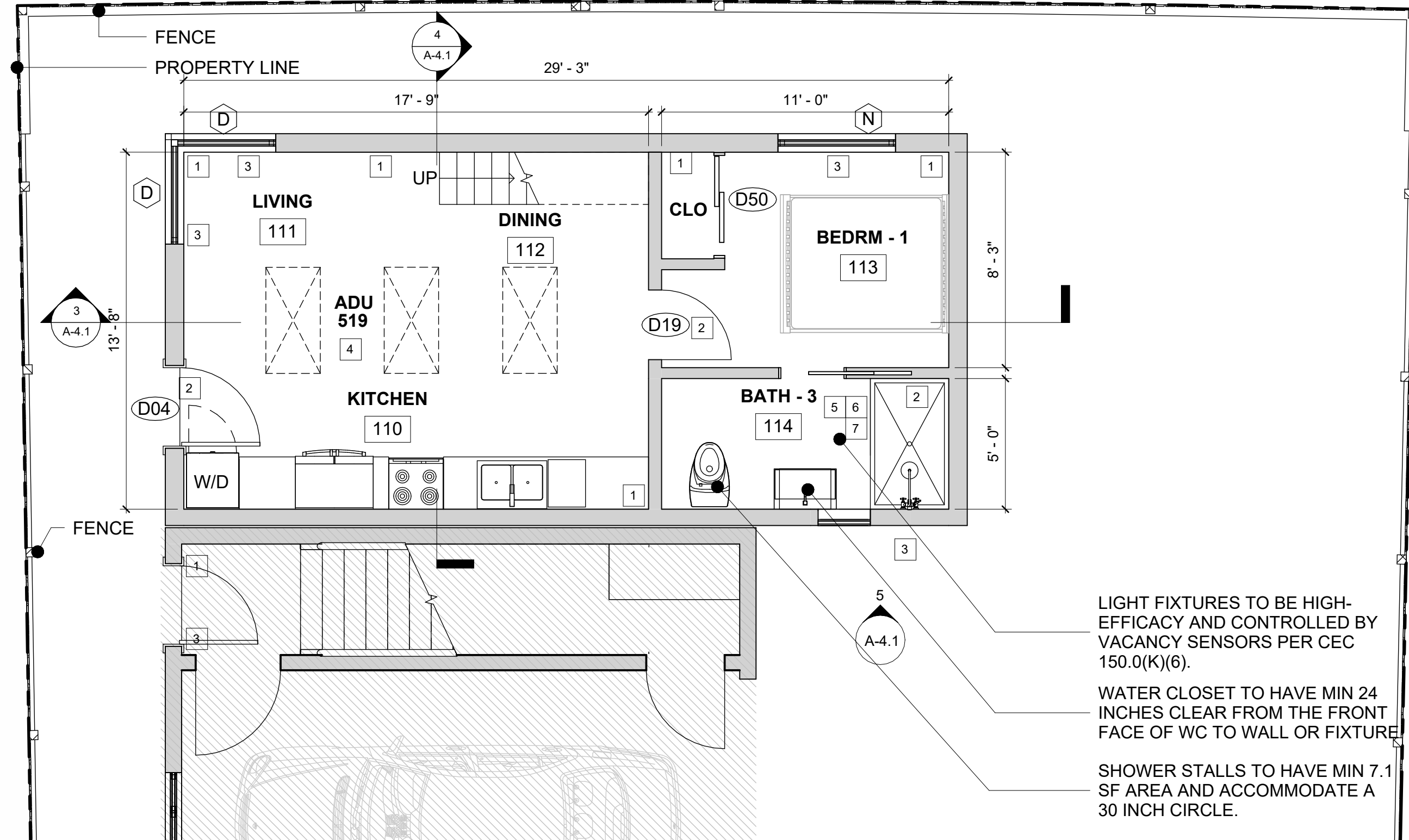
AVENUE ALHAMBRA DEVELOPMENT

513 AVENUE ALHAMBRA,
EL GRANADA, CA 94018



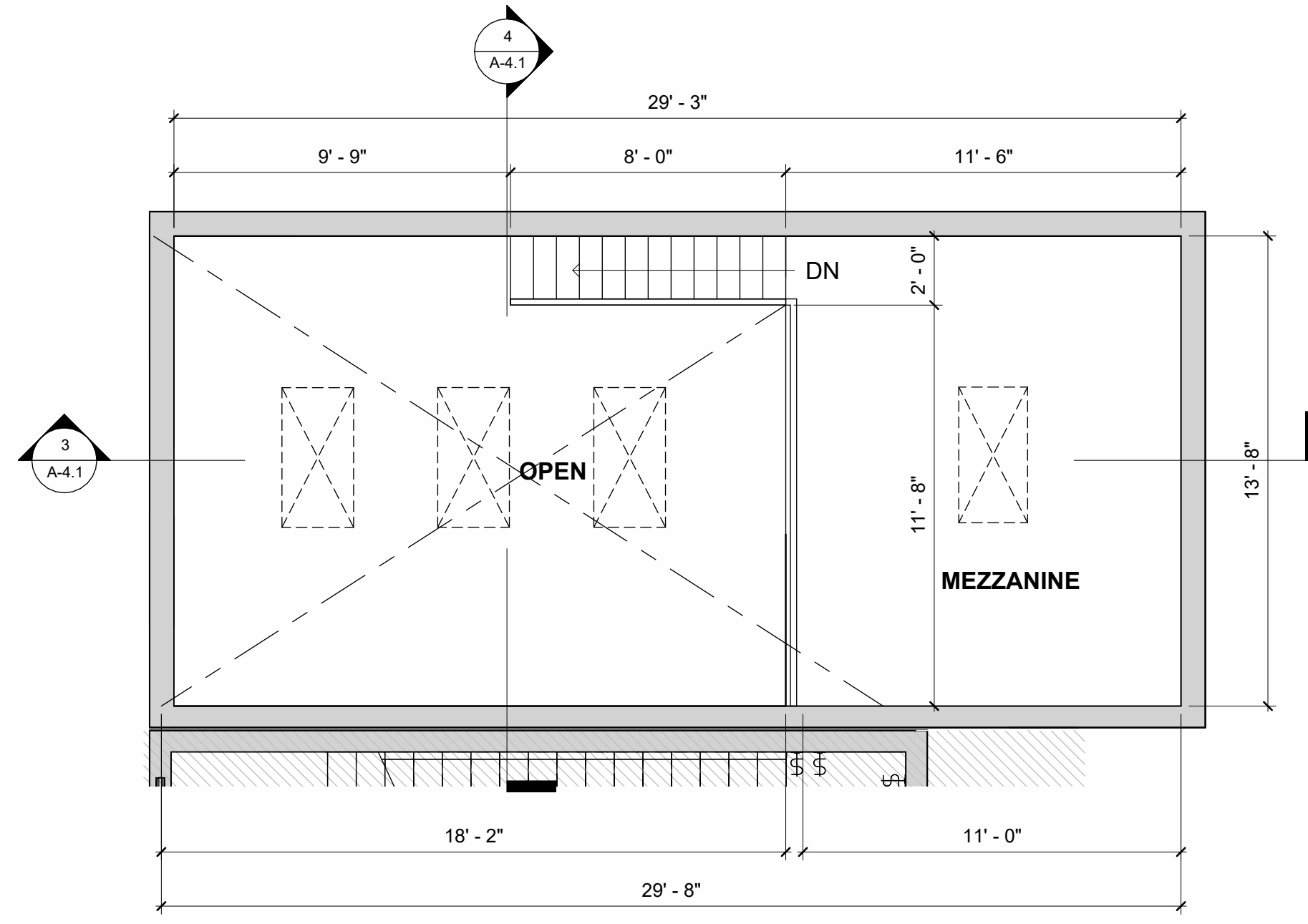
TITLE:
PROPOSED ADU - PLAN, ELEVATION & SECTIONS

DATE:	AUGUST 22, 2022
SCALE:	AS NOTED
JOB #:	22108
DRAWN BY:	DP

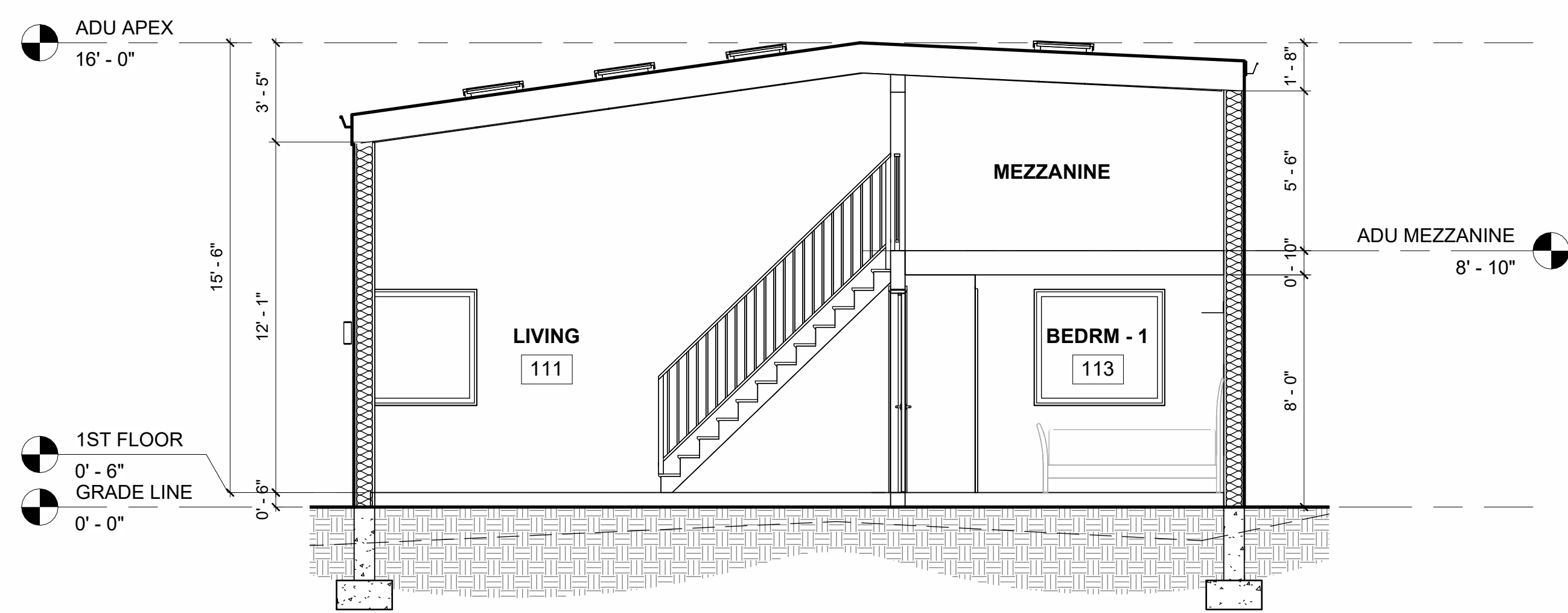
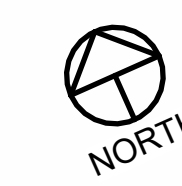


1 PROPOSED - ADU 1ST FLOOR
1/4" = 1'-0"

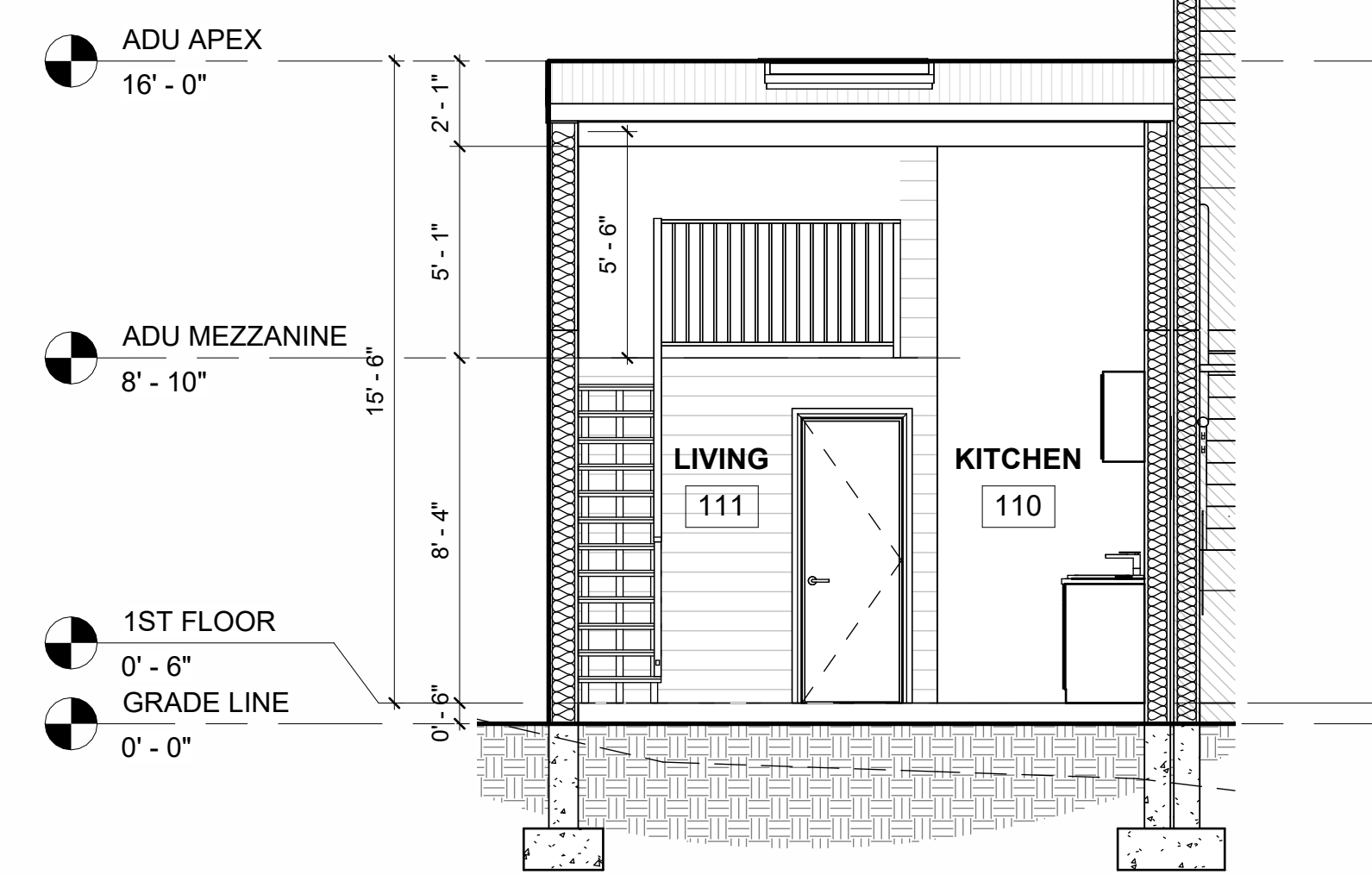
LIGHT FIXTURES TO BE HIGH-EFFICACY AND CONTROLLED BY VACANCY SENSORS PER CEC 150.0(K)(6).
WATER CLOSET TO HAVE MIN 24 INCHES CLEAR FROM THE FRONT FACE OF WC TO WALL OR FIXTURE.
SHOWER STALLS TO HAVE MIN 7.1 SF AREA AND ACCOMMODATE A 30 INCH CIRCLE.



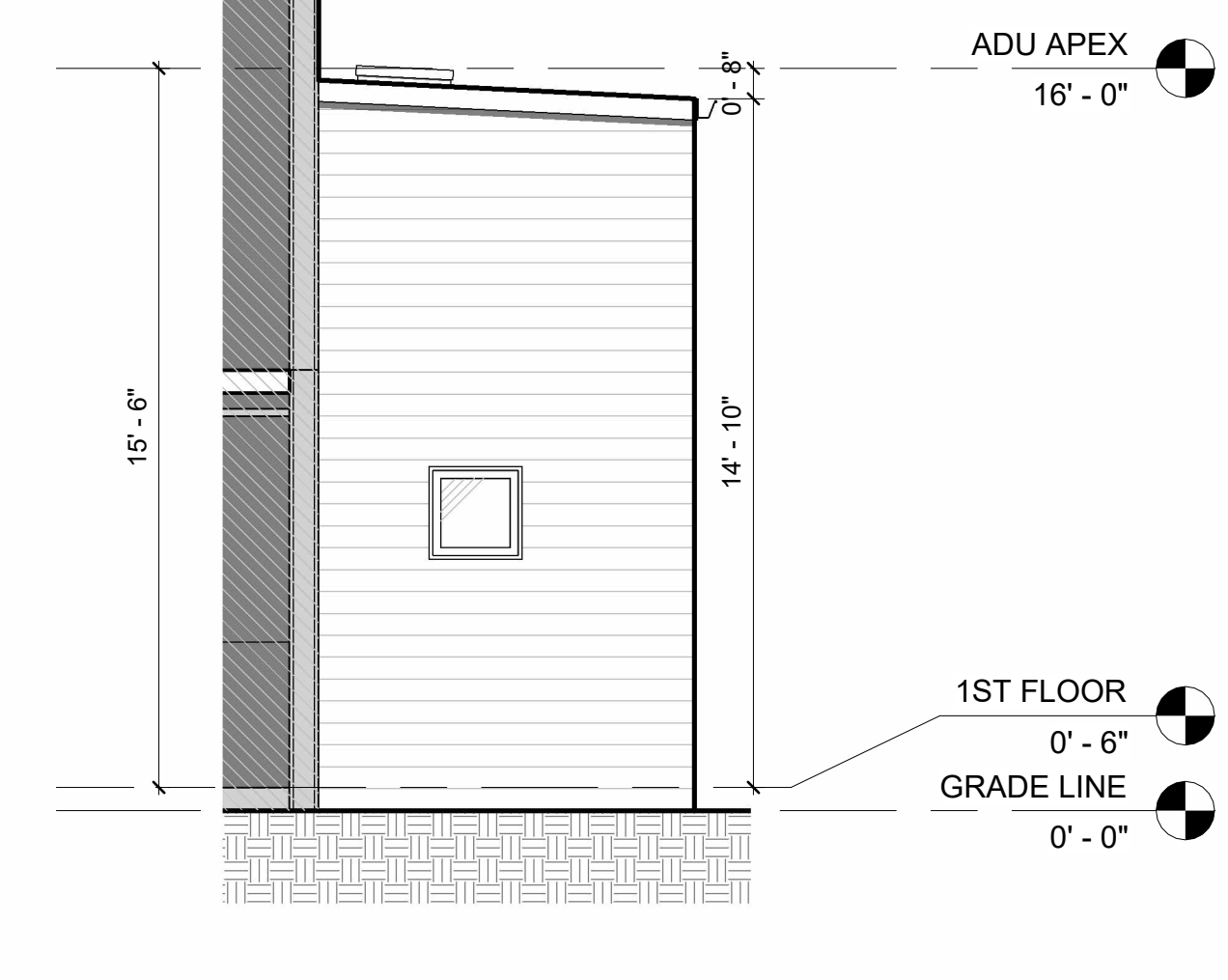
2 PROPOSED - ADU MEZZANINE
1/4" = 1'-0"



3 ADU SECTION 1
1/4" = 1'-0"



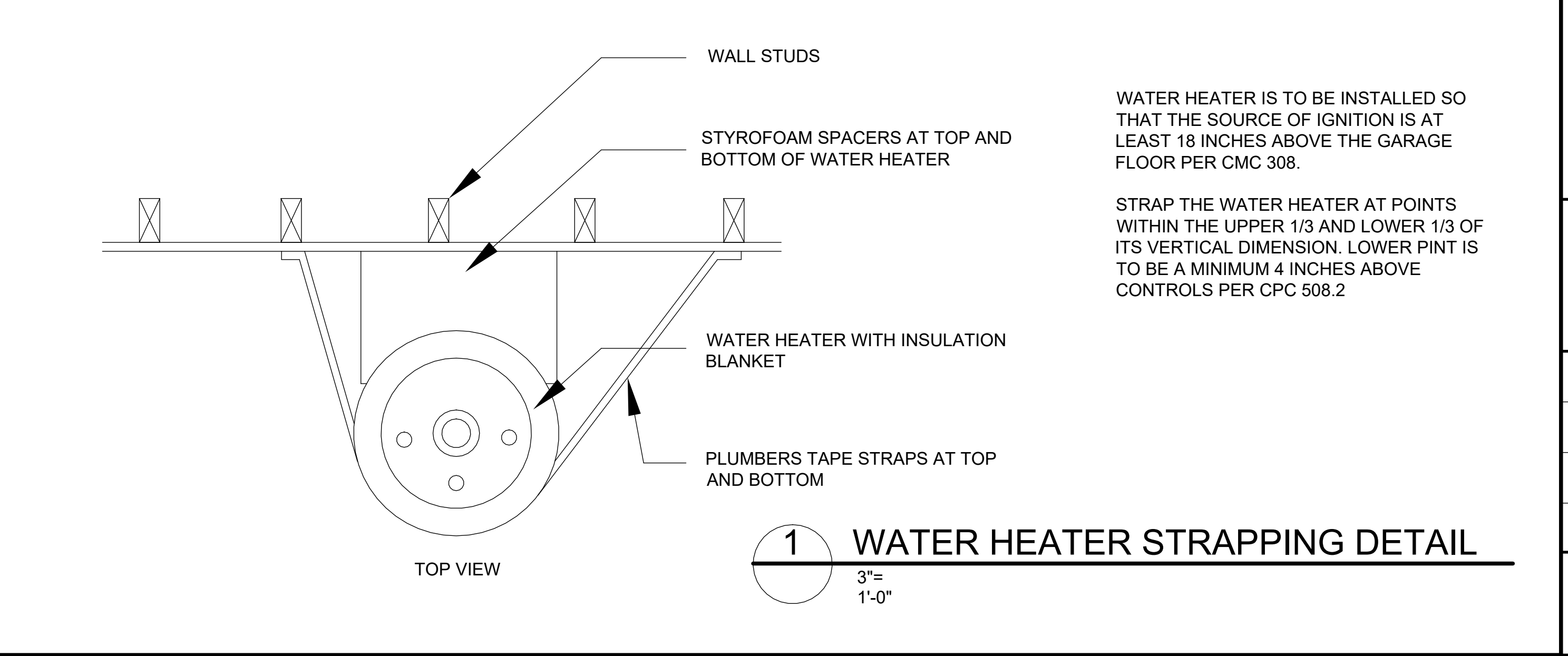
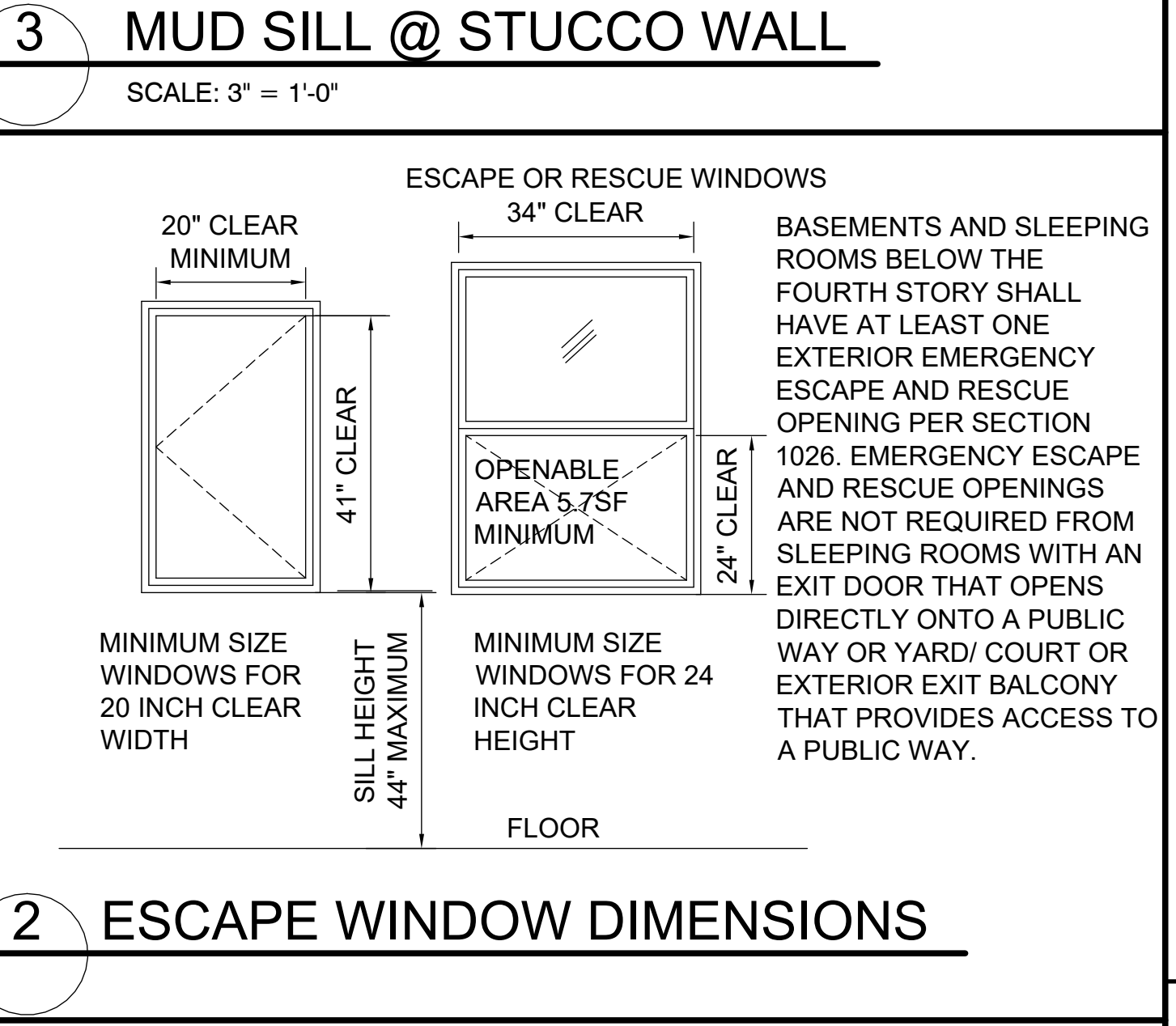
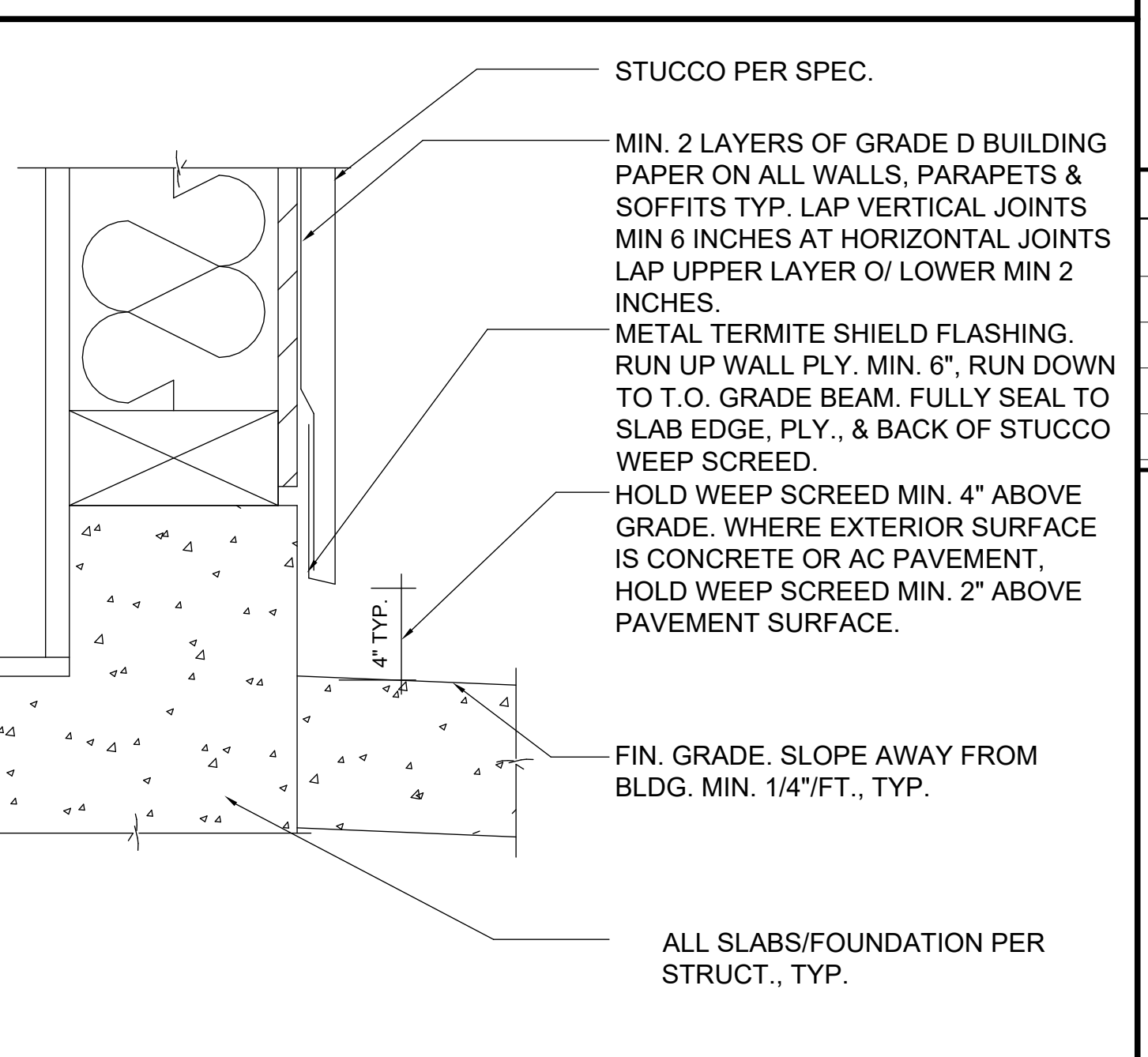
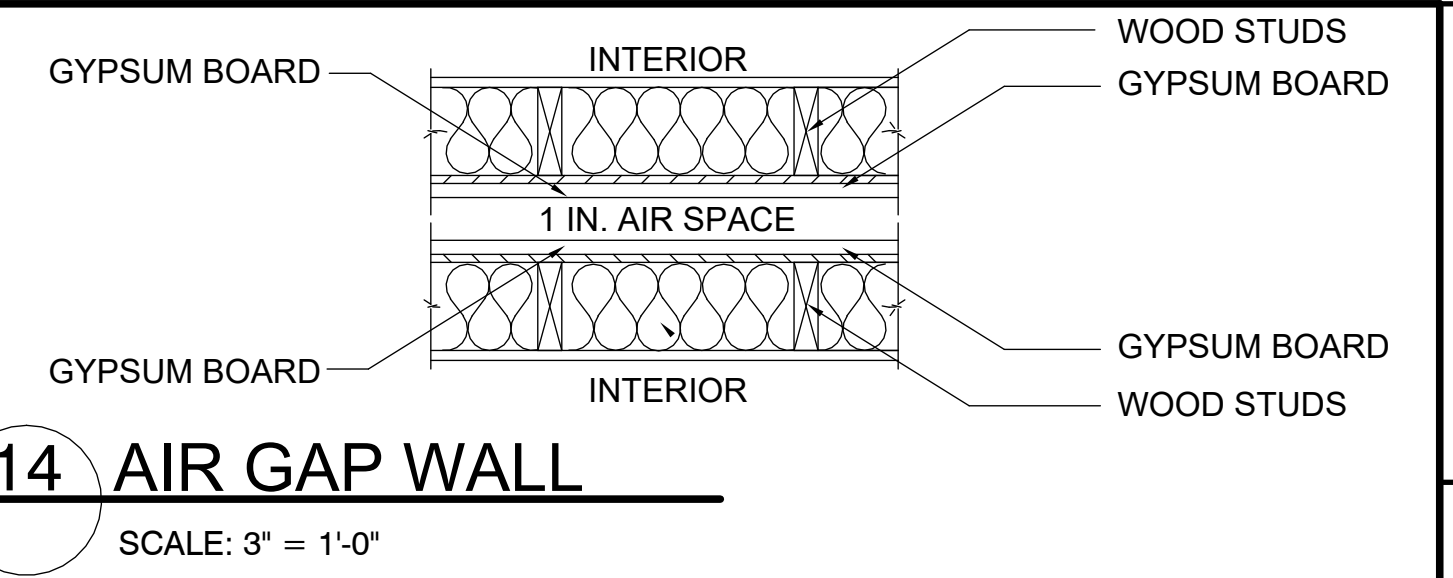
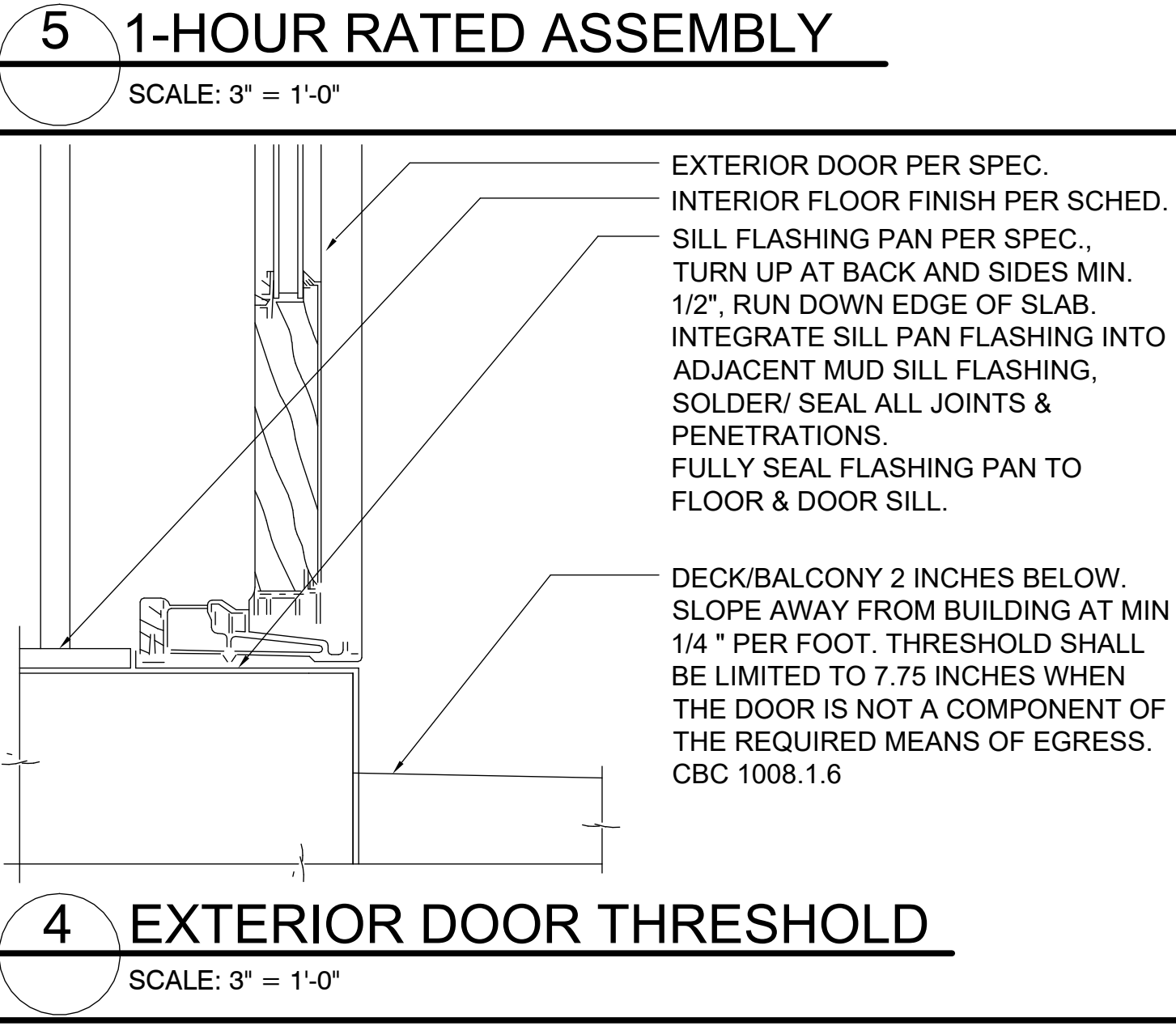
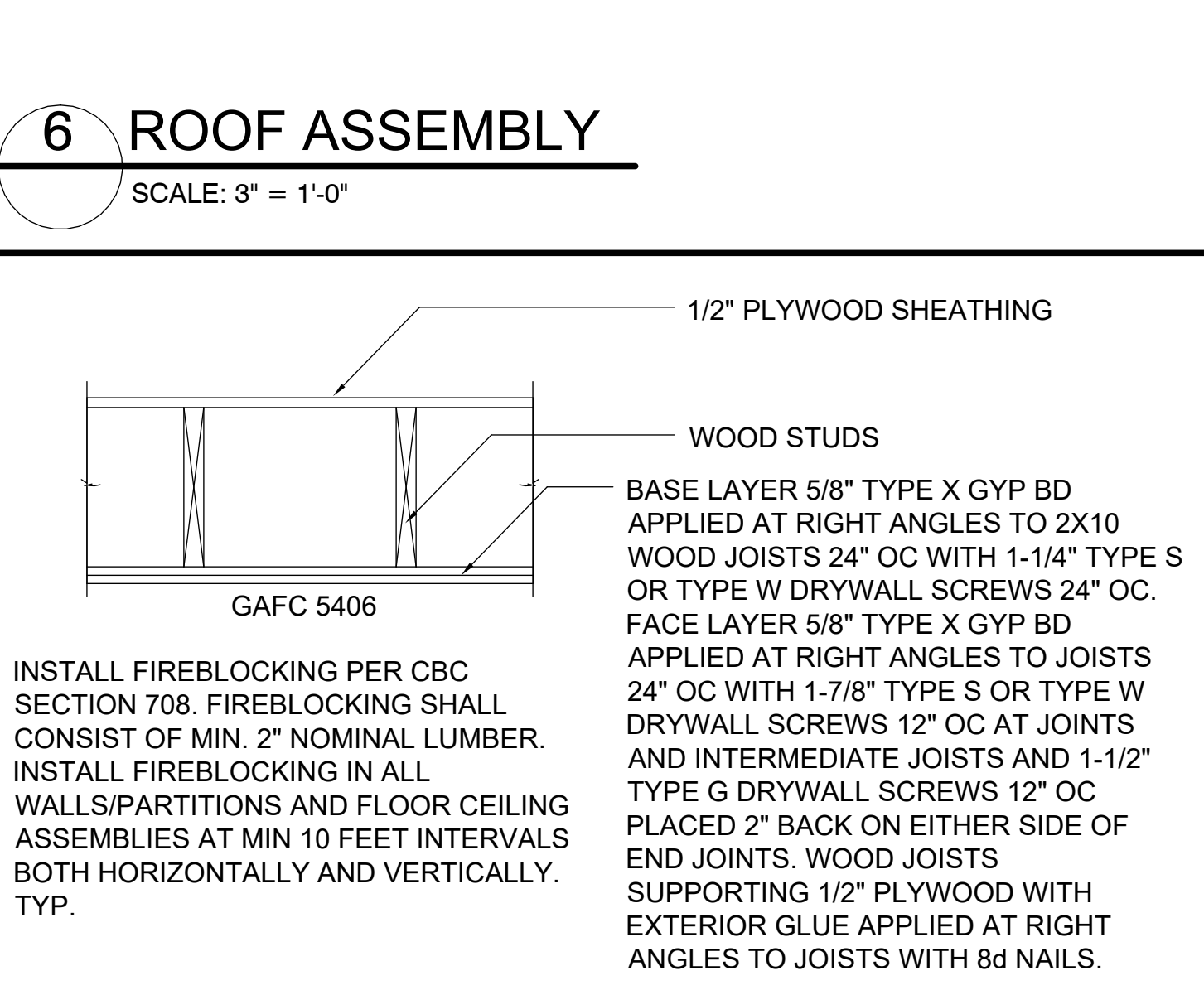
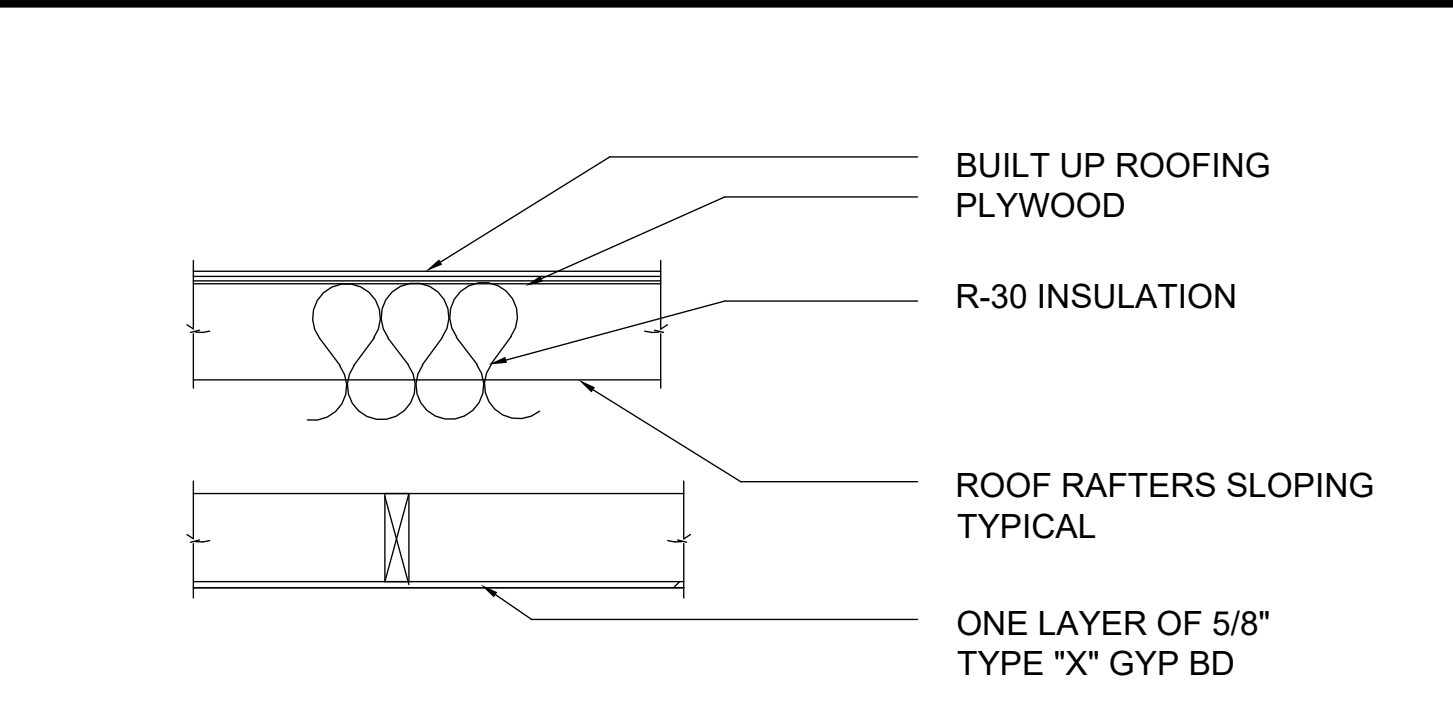
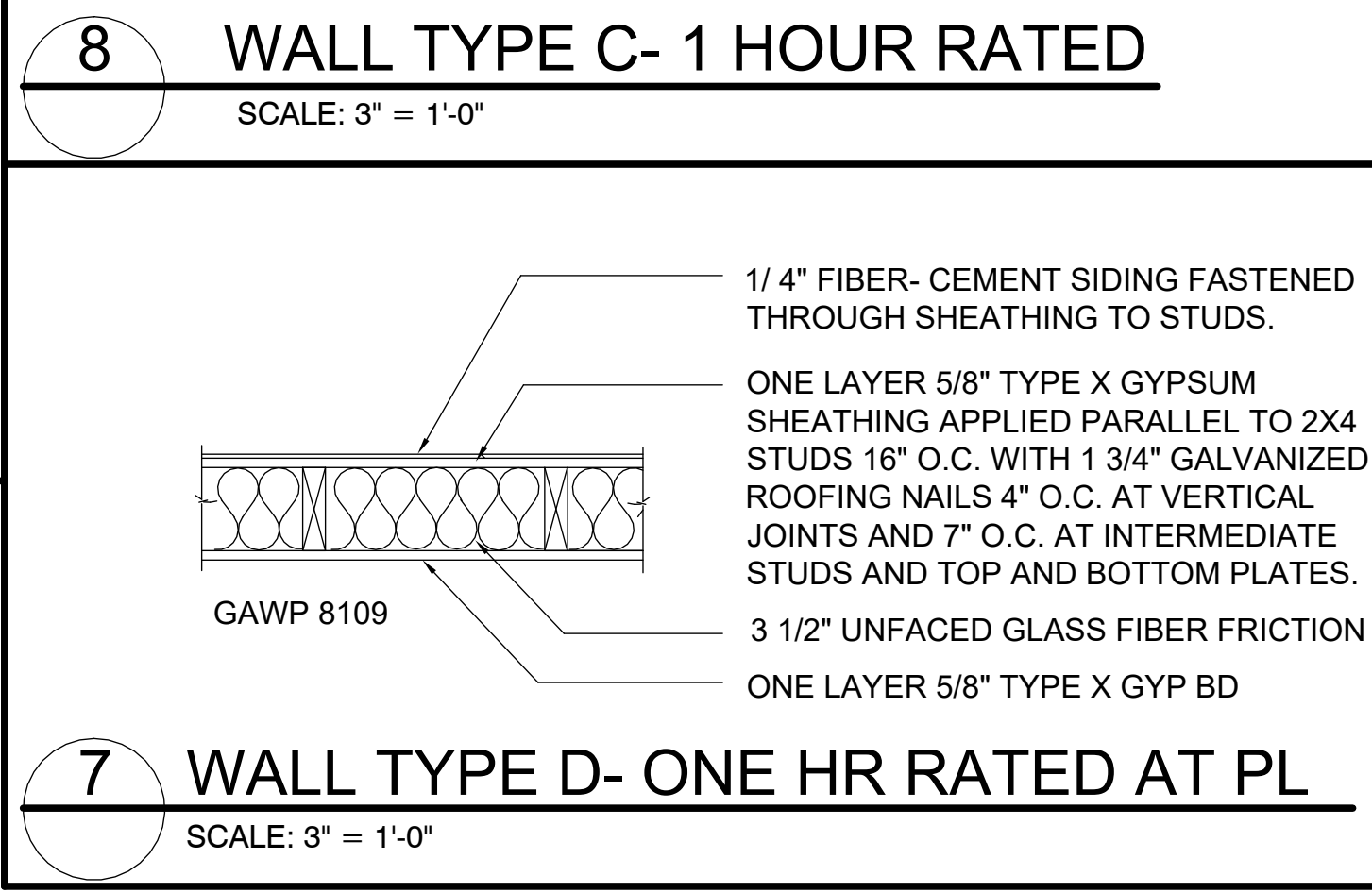
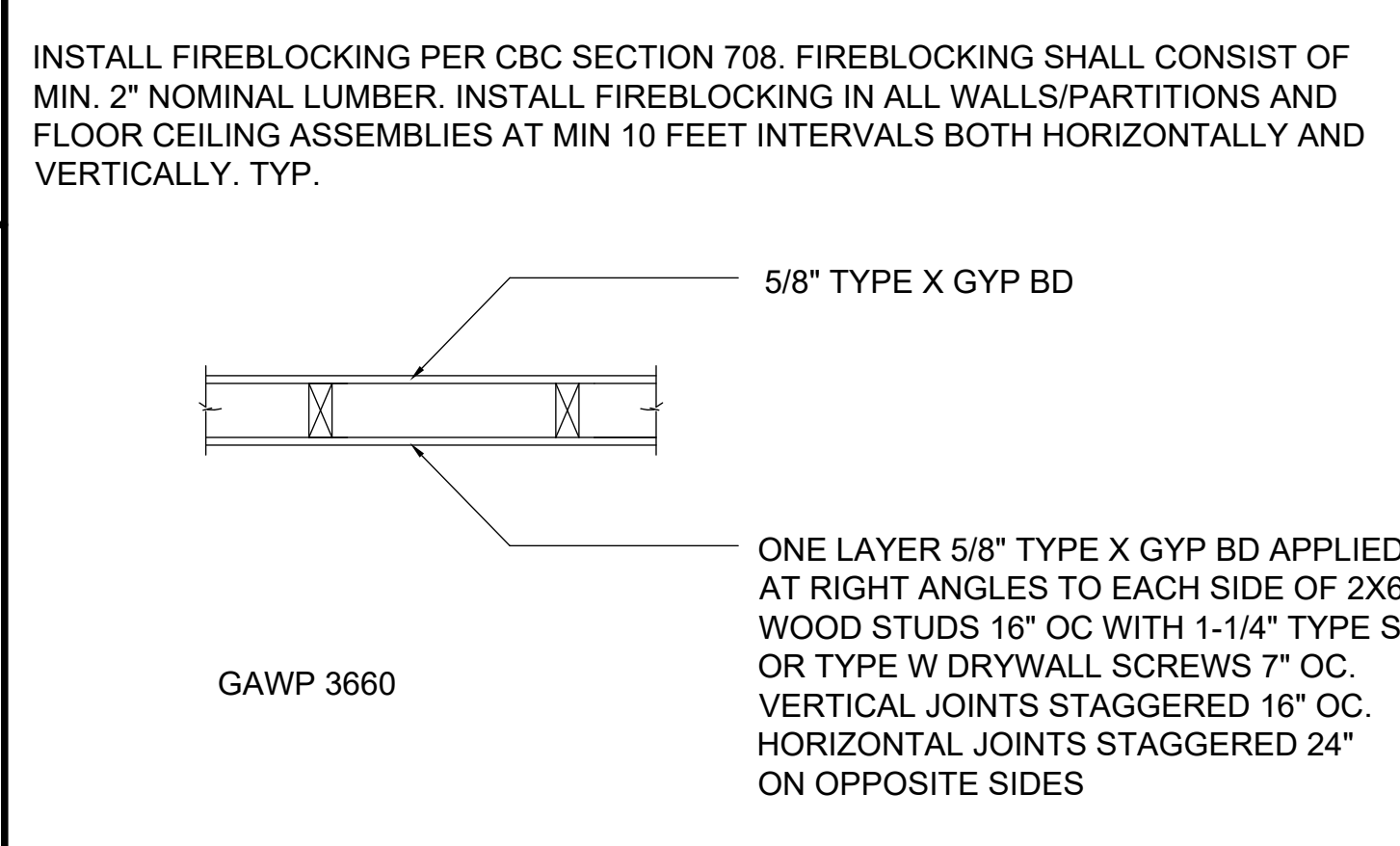
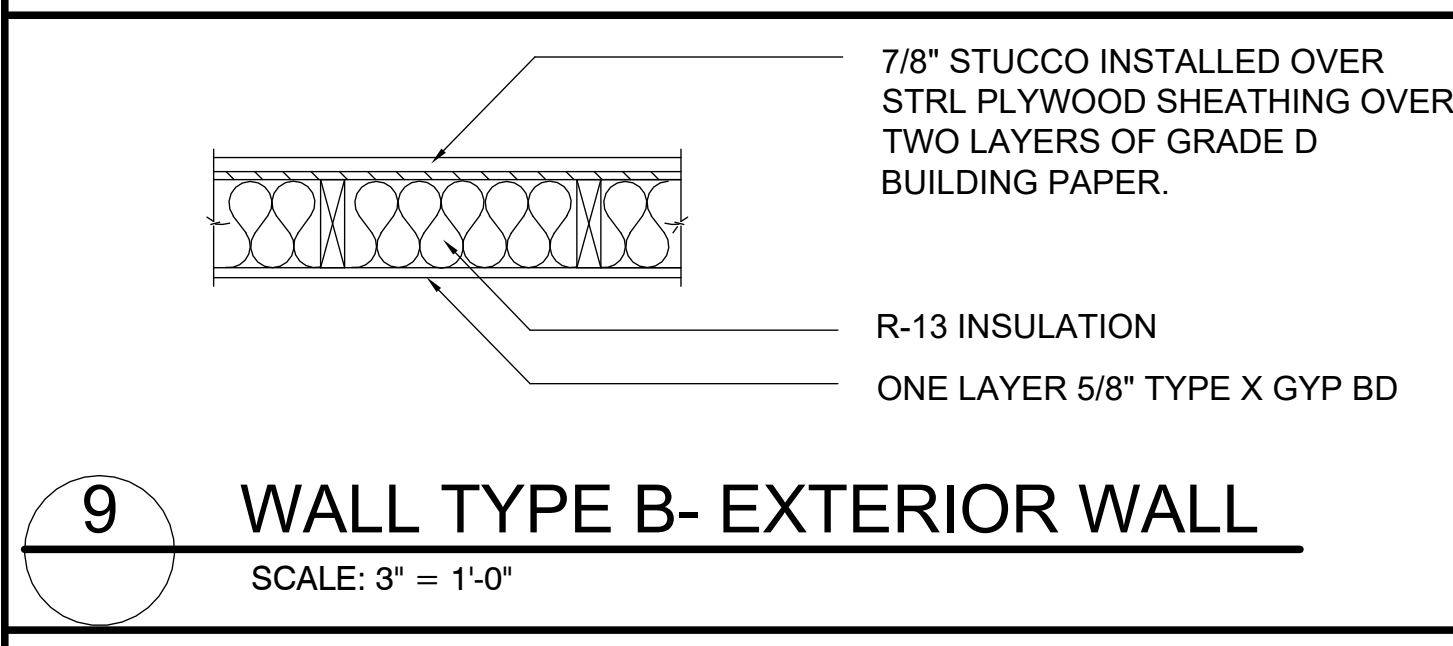
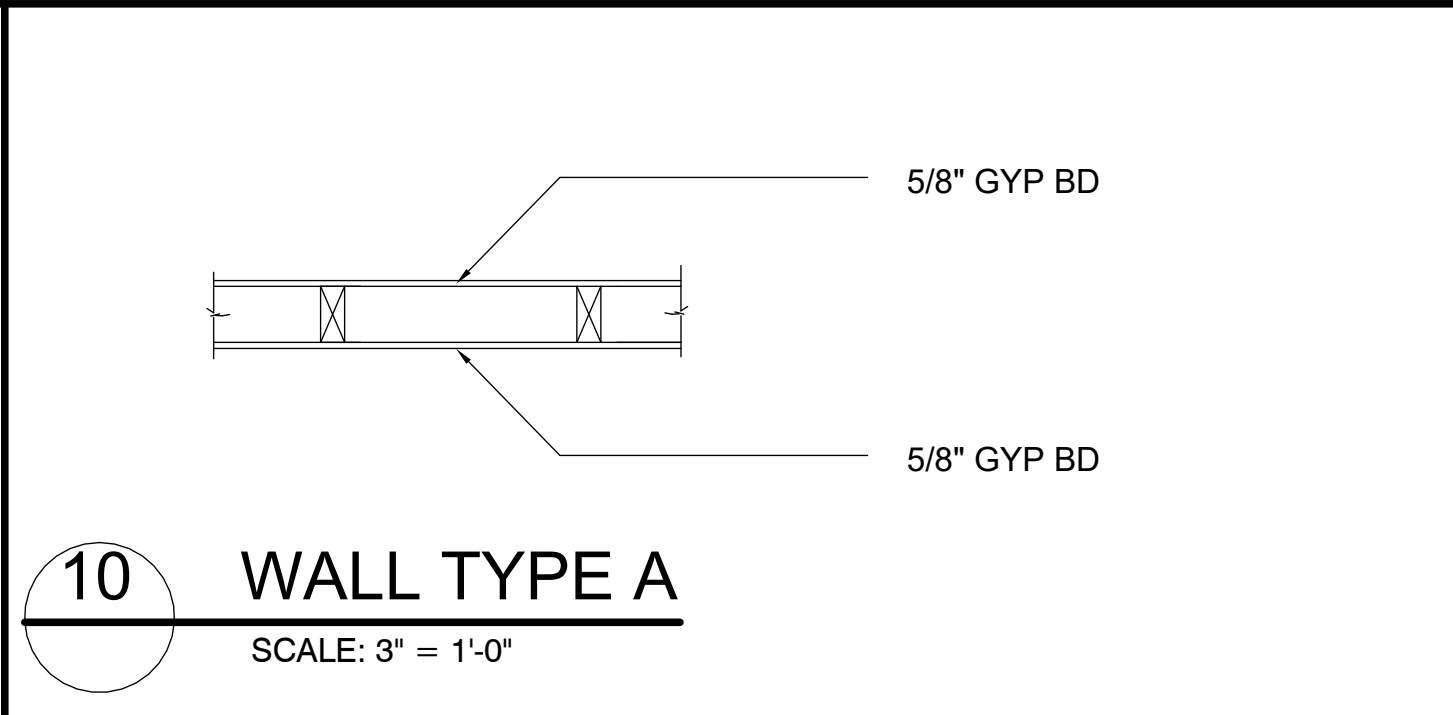
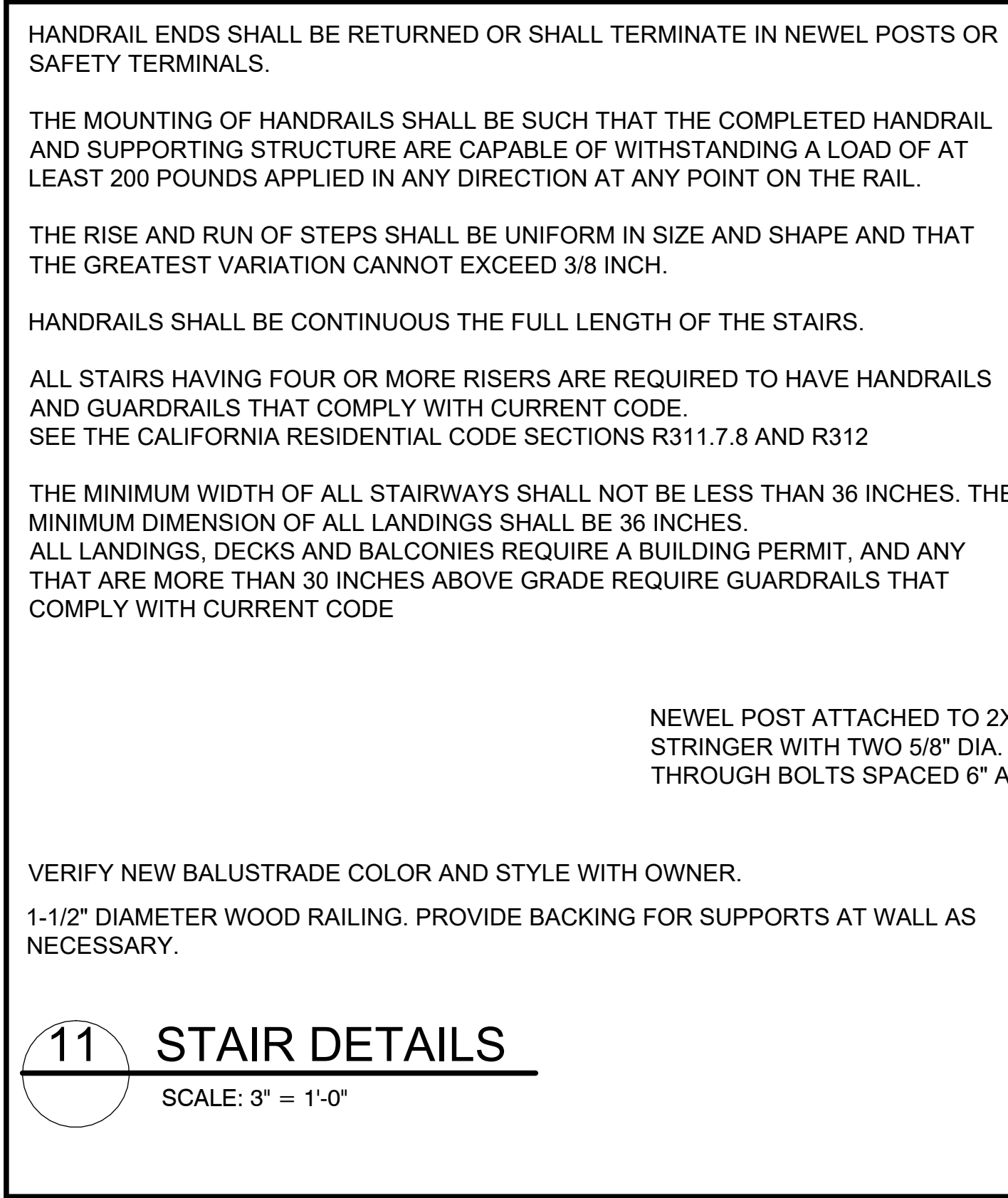
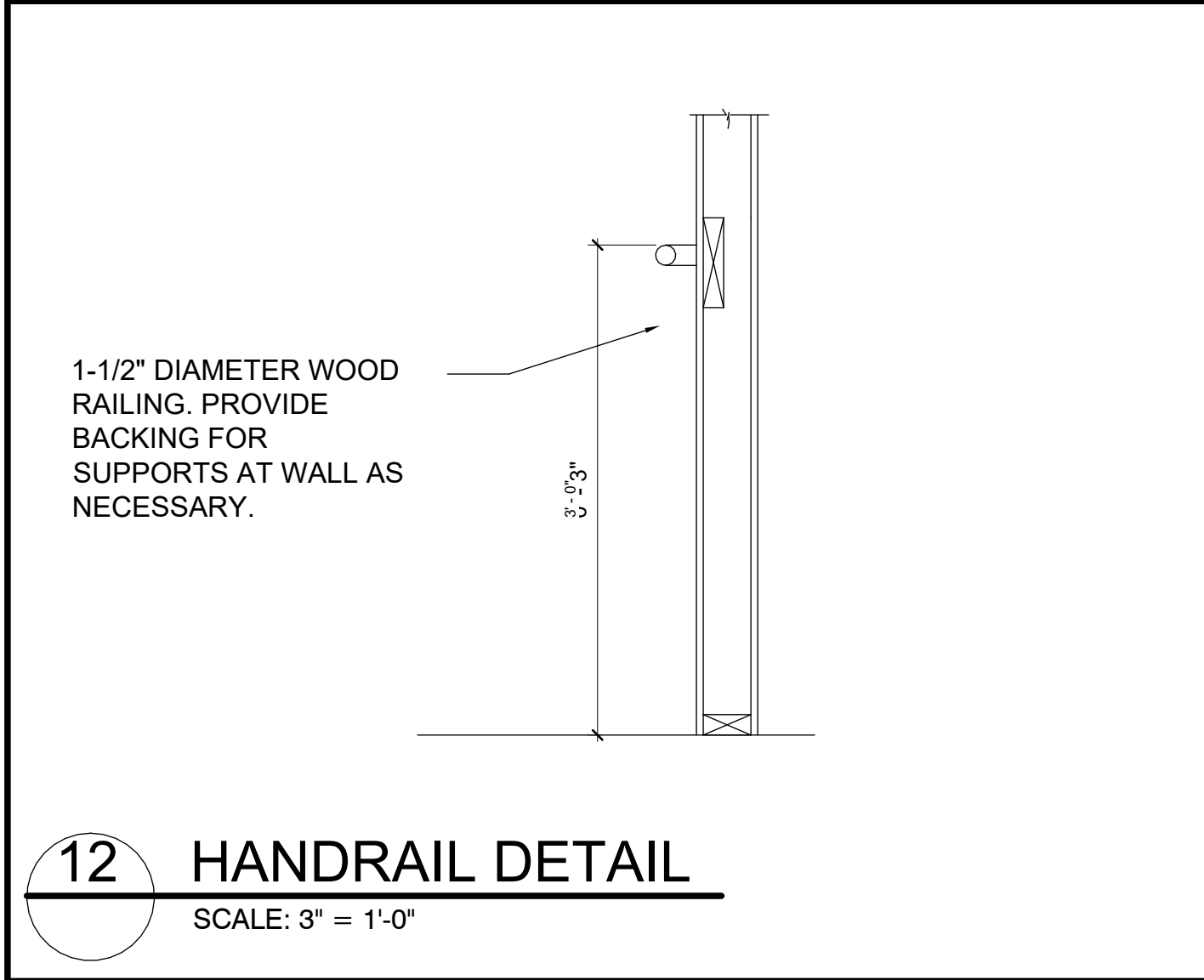
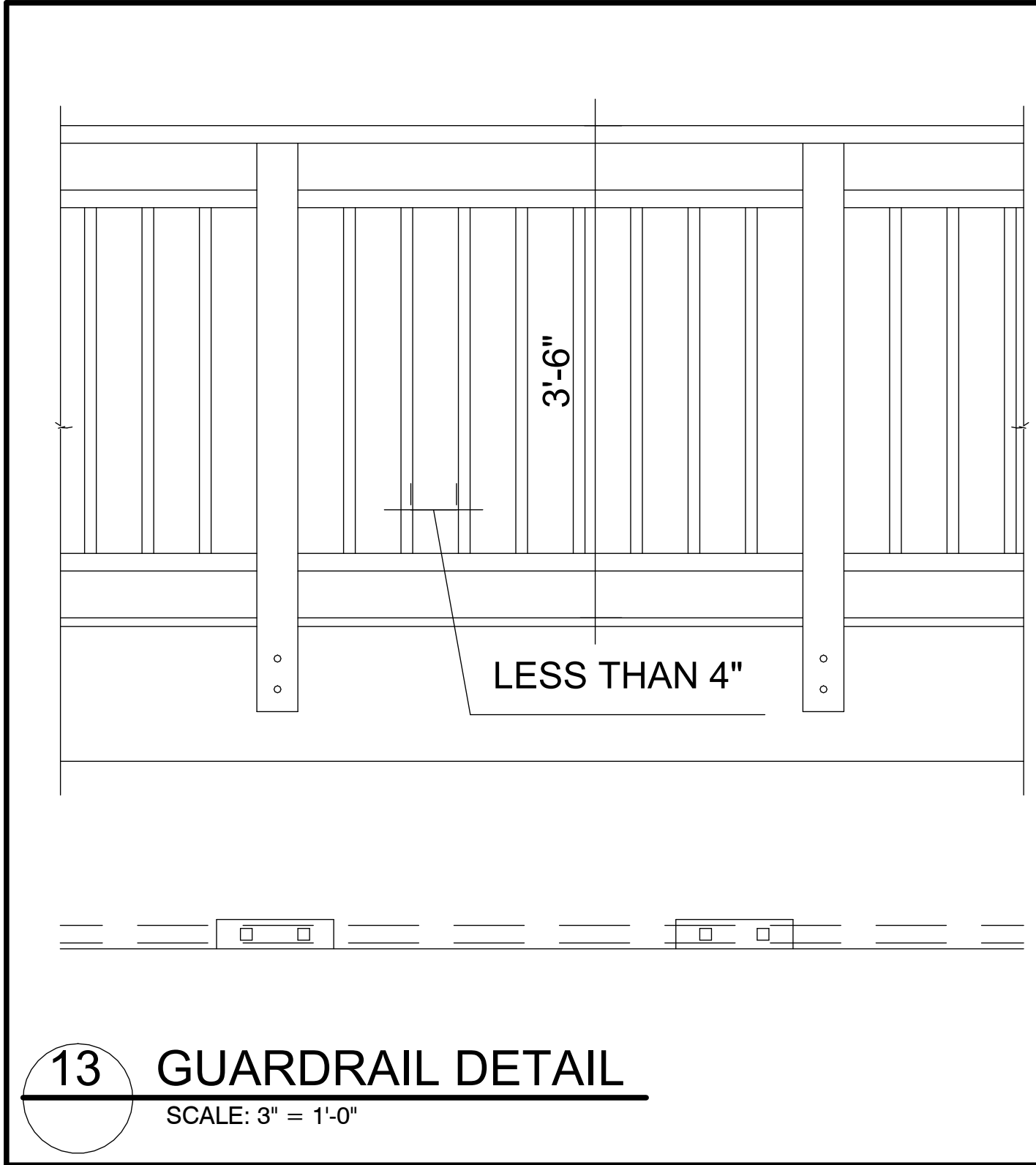
4 ADU SECTION 2
1/4" = 1'-0"



5 ADU SIDE ELEVATION
1/4" = 1'-0"

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RAY W HEKKERT

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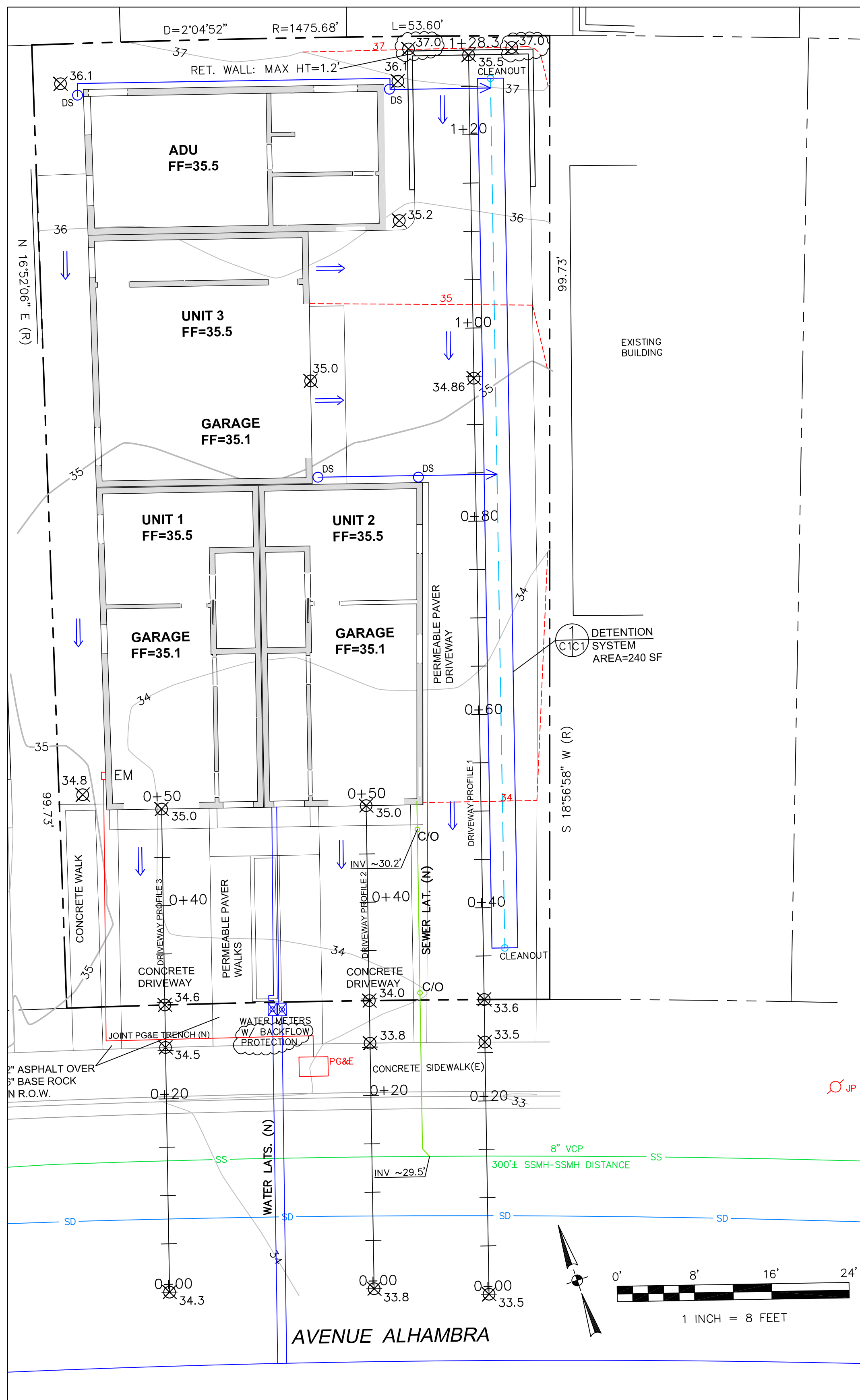
AVENUE ALHAMBRA DEVELOPMENT
513 AVENUE ALHAMBRA,
EL GRANADA, CA 94018

SEAL:

TITLE:
DETAILS

DATE: AUGUST 22, 2022
SCALE: AS NOTED
JOB #: 22108
DRAWN BY: DP

A-6.0



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- DOWNSPOUT
- 4" MIN SOLID DRAIN PIPE
- 4" MIN PERFORATED DRAIN PIPE

GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: RAY HEKKERT, OWNER
2. TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED 2-24-22.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM ASSUMED.
5. THE GEOTECHNICAL REPORT: **GEOTECHNICAL REPORT: AVENUE ALHAMBRA, EL GRANADA, APN 047-206-160**; DATE: JUNE 4, 2022, BY SIGMA PRIME GEOSCIENCES, INC. PROJECT NO. 22-124 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC. ASSOCIATES, WITH THE CONTACT NUMBER (650)-728-3590. THE CONTRACTOR MUST SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS CALL SIGMA PRIME AT 650-728-3590 TO SCHEDULE DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION SYSTEM IN THICKENED GRAVEL LAYER UNDER PERMEABLE PAVER DRIVEWAY, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION SYSTEM TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

CUT VOLUME : 170 CY (BASED ON SLAB FOUNDATION, NO CRAWL SPACE)
 FILL VOLUME: 0 CY

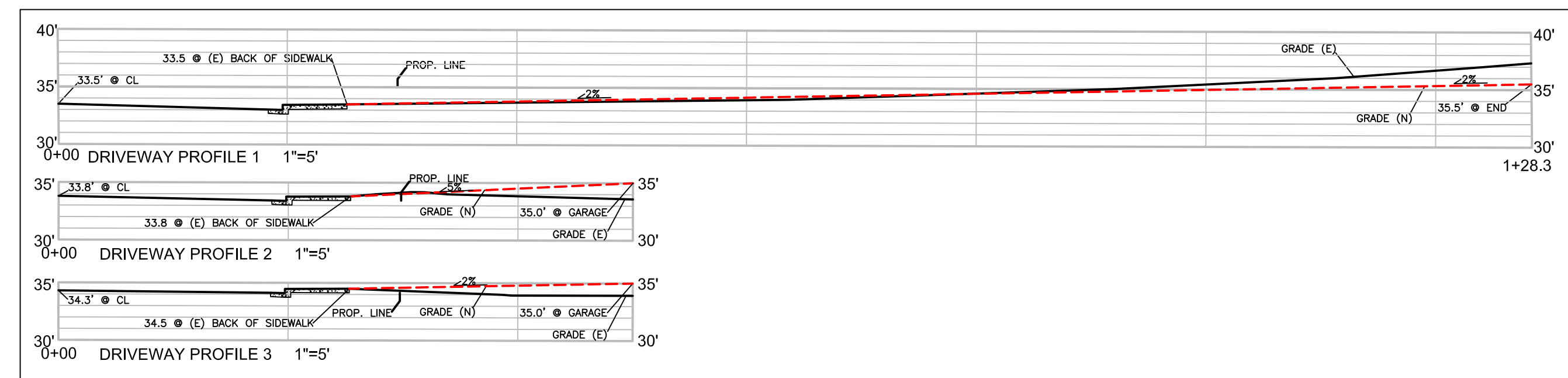
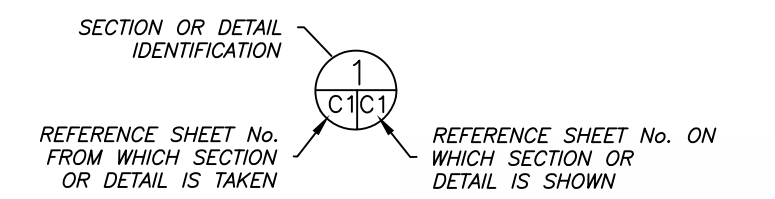
VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

SECTION AND DETAIL CONVENTION

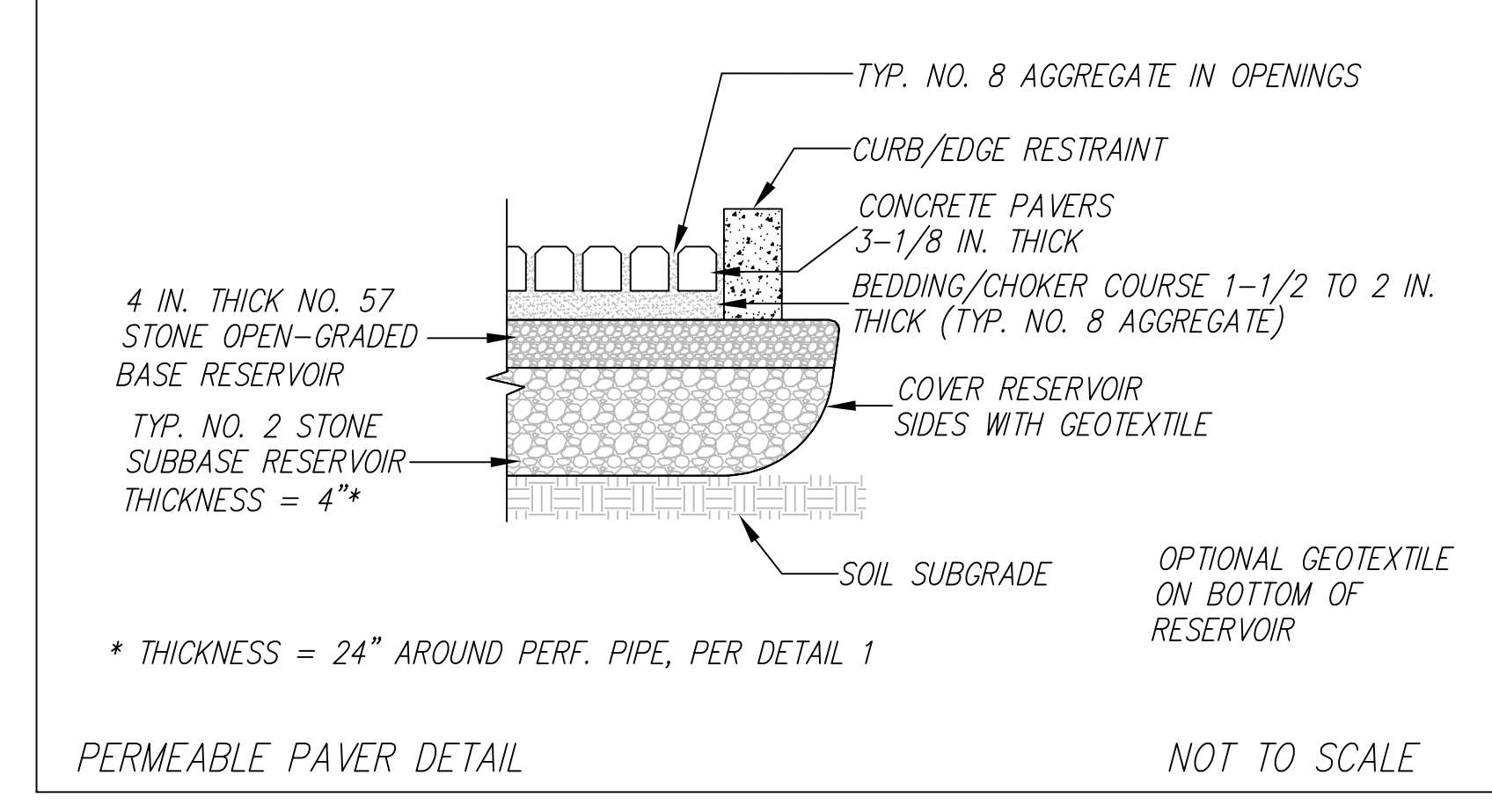
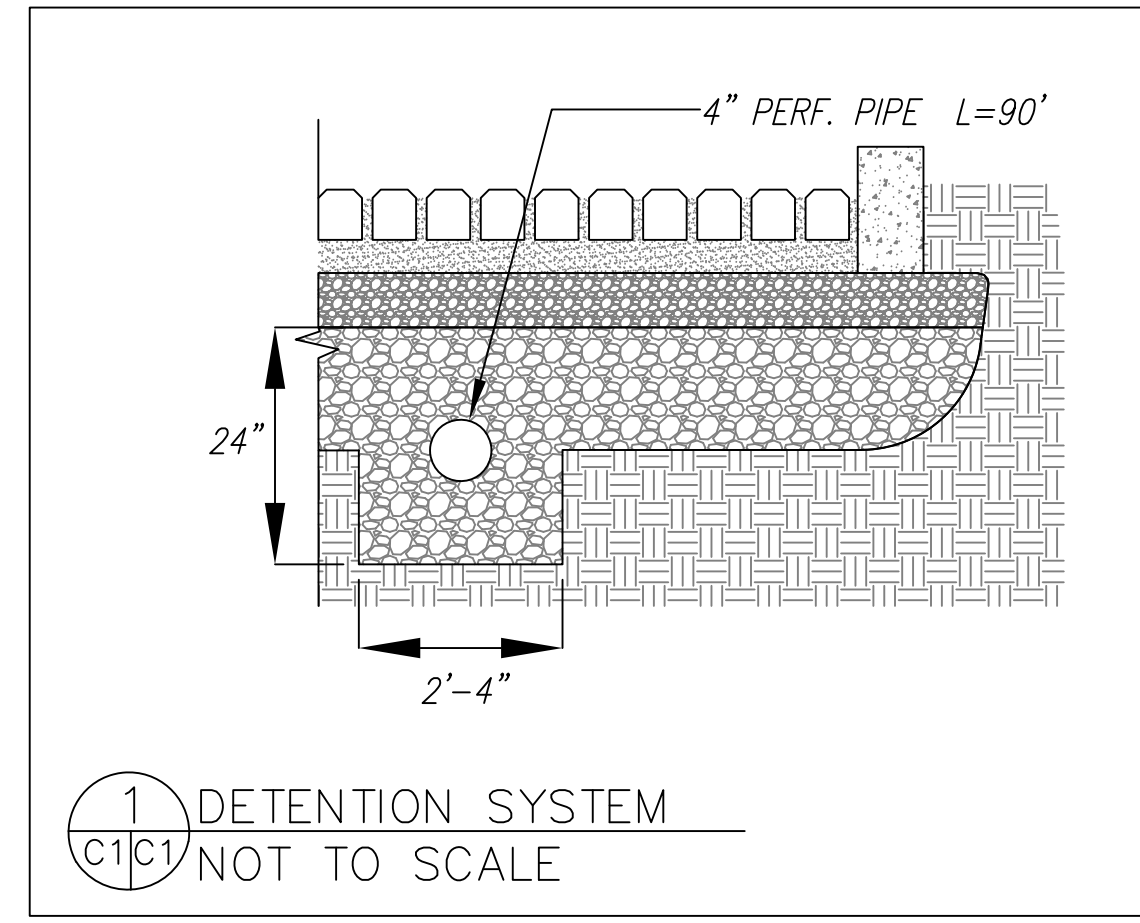


Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
 FAX: 726-3595

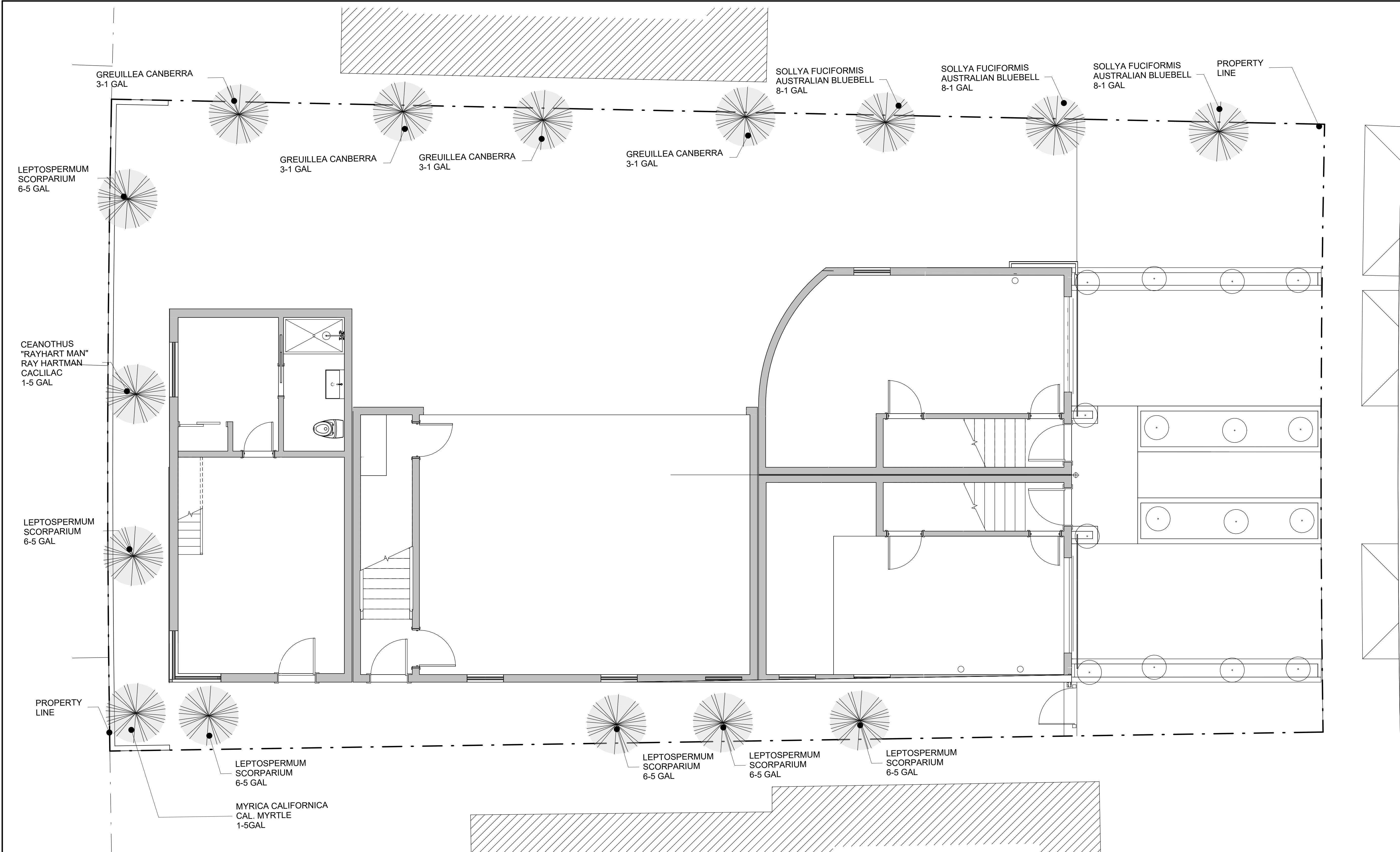
DATE: 11-21-22
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE: 3-17-23
 REV. DATE:
 REV. DATE:

GRADING AND DRAINAGE PLAN
 HEKKERT PROPERTY
 AVENUE ALHAMBRA
 EL GRANADA
 APN 047-206-160,170

SHEET
C-1



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1 LANDSCAPE PLAN
1/4" = 1'-0"

evoco

EVOCO ARCHITECTURE & INTERIORS
470 NOOR AVE, # 1098
SO. SAN FRANCISCO CA 94080
415.312.0454

OWNER:
HARVEST CONSTRUCTION
P.O. BOX 1961
EL GRANADA CA. 94018
RAY W HEKKERT

REVISION	
DATE/DESC.	

AVENUE ALHAMBRA

AVENUE ALHAMBRA DEVELOPMENT

513 AVENUE ALHAMBRA,
EL GRANADA, CA 94018



TITLE:
LANDSCAPE PLAN

DATE: AUGUST 22, 2022

SCALE: AS NOTED

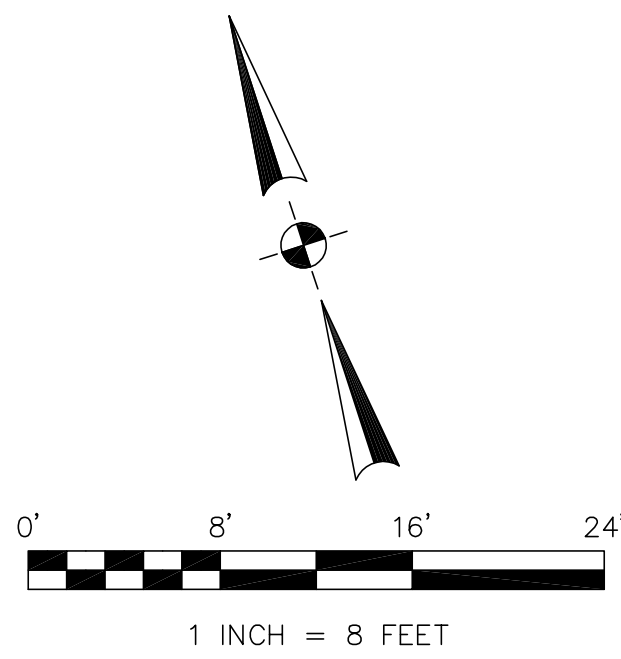
JOB #: 22108

DRAWN BY: Author

PLANT LIST		QTY	SIZE	WI	PLT. TYPE
LEPTOSPERMUM SCOPARIUM	TEA THREE	6	5 GAL	L	SHRUB
CEANOTHUS RAY HARTMAN	RAYHARTMAN CALIF. LILAC	1	5 GAL	L	SHRUB
DIBTES BICOLOR	FORTNIGHT LILLY	6	1 GAL	L	PER.
GREUILLEA CANBERRA	NCN	3	1 GAL	L	SHRUB
SALVIA CLEVELANDI	CLEVELAND SAGE	6	1 GAL	L	PER.
MYRICA CALIFORNICA	CALIFORNICA MYRTLE	1	5 GAL	L	SHRUB
SOLLYA FUCIFORMIS	AUSTRALIAN BLUEBELL	8	1 GAL		GR. COV.

* ALL PLANTING TO BE HAND WATERED

L-1



BASIS OF BEARINGS

BEARINGS SHOWN HEREON TAKEN FROM PARCEL MAP NO. 1142 WHICH WAS FILED FOR RECORD IN VOLUME 84 OF PARCEL MAPS PAGES 72-73 ON MAY 24, 2019, SAN MATEO COUNTY RECORDS (WITH A BEARING CHANGE OF AVE PORTOLA SOUTHWESTERLY OF AVENUE ALHAMBRA AS SHOWN).

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NGS DISK ON HEADWALL SOUTHWESTERLY OF SUBJECT PROPERTY "N 1240" (PID HT0453) WITH AN ELEVATION OF 19.98 FEET.

NOTES:

BGT RELIED UPON A COMMONWEALTH LAND TITLE INSURANCE POLICY OF TITLE INSURANCE, NO. 0052101764, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

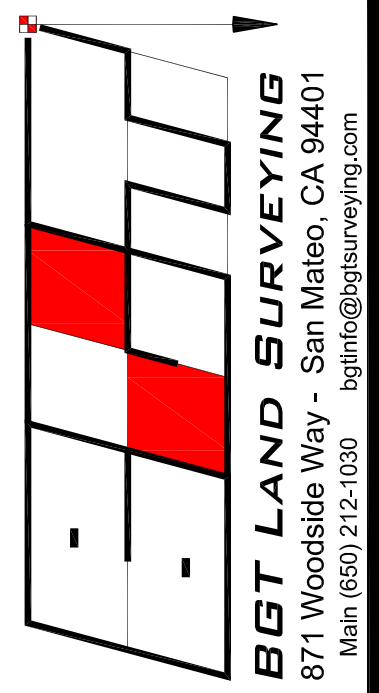
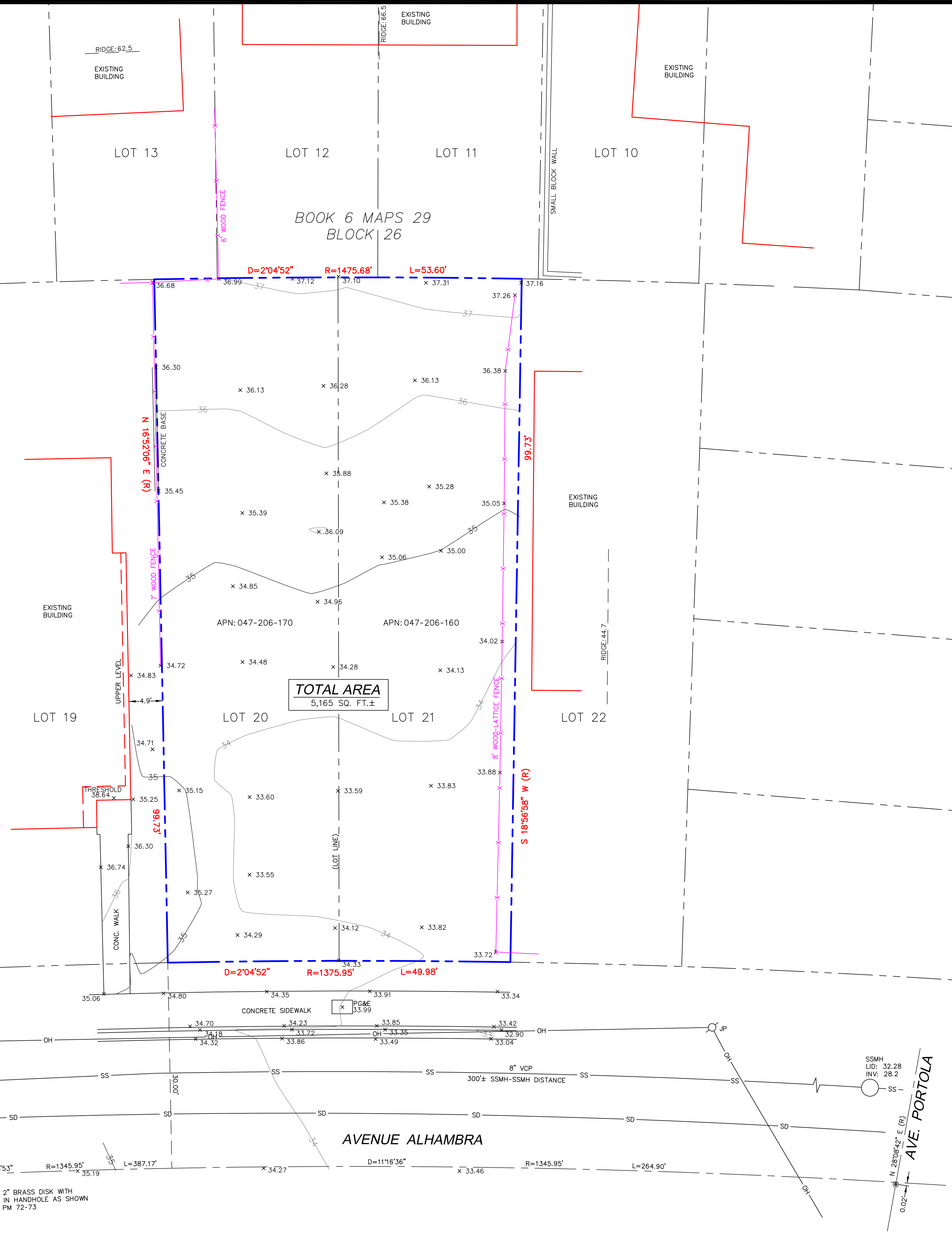
SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtsurveying.com

DATE OF FIELD SURVEY: FEBRUARY 24, 2022
JOB NUMBER: 22-030

LEGEND

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- CPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION LINE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- HCR HANDICAP RAMP
- HVE HIGH-VOLT ELECTRIC
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- KV KILOVOLT
- LAT. LATERAL
- LG LIP OF GUTTER
- MH (TYPE UNKNOWN)
- MON-MON MONUMENT TO MONUMENT DISTANCE
- PBV PACBELL/SBC VAULT
- PGE PG&E VAULT
- PIV POST INDICATOR VALVE
- PP POWER POLE
- SDMH STORM DRAIN MANHOLE
- SL STREET LIGHT
- SLB STREET LIGHT BOX
- SLV STREET LIGHT VAULT
- SSMH SANITARY SEWER MANHOLE
- SSV SANITARY SEWER VAULT
- TBC TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- TS TRAFFIC SIGNAL
- TSB TRAFFIC SIGNAL BOX
- UNK UNKNOWN TYPE
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- T- TELEPHONE LINE
- W- WATER LINE

FERDINAND AVE.



BOUNDARY AND TOPOGRAPHIC SURVEY
VACANT LOTS, AVENUE ALHAMBRA

LOTS 20-21, BLOCK 26, "PLAT OF RE-SUBDIVISION OF SUBDIVISION NOS. 2 AND 3 OF GRANADA" (BOOK 6 MAPS 29)

Assessor Parcel Number:
047-206-160
047-206-170

Prepared For:
HARVEST CONSTRUCTION
PO BOX 1981
EL GRANADA, CA 94018

Date: FEB. 2022
Scale: 1" = 8'
Contour Interval: 1'
Drawn by: BGT
Revisions:

SU-1

Job No. 22-030