



Ann M. Stillman
Director

County Government Center
555 County Center, 5th Floor
Redwood City, CA 94063
650-363-4100 T
650-361-8220 F
www.smcgov.org

January 11, 2024

COUNTY OF SAN MATEO

REALIZE FLOOD PARK PROJECT – PHASE ONE

COUNTY PROJECT NO. P30W1

PROJECT FILE NO. E5041

ADDENDUM NO. 1 (RE-BID)

TO ALL PLAN HOLDERS:

The following **Addendum No. 1 (Re-Bid)** to the above referenced project, dated November 7, 2023, shall be included in the project specifications and plans.

1. The Bid Opening has been postponed from Thursday, January 18, 2024 to Thursday, February 1, 2024. Bids are due by 2:30PM on Thursday, February 1, 2024.
2. Pages 1 and 2 of the Notice to Bidders and Bid Instructions Section shall be replaced in the Project Specifications.

Replace pages 1 and 2 of the Notice to Bidders and Bid Instructions Section with pages 1 (rev) and 2 (rev).

3. Section 00800, "Special Provisions" Page 1 shall be replaced in the Project Specifications.

Replace page 1 of Section 00800 with page 1 (rev).

4. Section 320190, "Operation and Maintenance of Planting," and Section 329600, "Tree Transplanting," of Division 32 – Exterior Improvements have been revised. Pages 320190-3, 320190-5, 320190-7, and pages 329600-2 through 329600-7 of the Division 32 – Exterior Improvements Section shall be replaced in the Project Specifications.

Replace pages 320190-3, 320190-5, and 320190-7 of Section 320190 with pages 320190-3 (rev), 320190-5 (rev), and 320190-7 (rev).

Replace pages 329600-2 through 329600-7 of Section 329600 with pages 329600-2 (rev) through 329600-7 (rev).



To All Plan Holders
Realize Flood Park Project – Phase One
Addendum No. 1 (Re-Bid)
January 11, 2024

Page 2

5. Sheets C3.0-C3.5, C10.1, L1-100, L1-110, L1-123, L1-124, L1-210, L1-224, L1-310, L1-324, L1-E32, L6-211, L6-221 of the Plans shall be replaced in the Project Plans.

Replace Plan Sheets C3.0 - C3.5 with Sheets C3.0 - C3.5 (rev).
Replace Plan Sheet C10.1 with Sheet C10.1 (rev).
Replace Plan Sheet L1-100 with Sheet L1-100 (rev).
Replace Plan Sheet L1-110 with Sheet L1-110 (rev).
Replace Plan Sheet L1-123 with Sheet L1-123 (rev).
Replace Plan Sheet L1-124 with Sheet L1-124 (rev).
Replace Plan Sheet L1-210 with Sheet L1-210 (rev).
Replace Plan Sheet L1-224 with Sheet L1-224 (rev).
Replace Plan Sheet L1-310 with Sheet L1-310 (rev).
Replace Plan Sheet L1-324 with Sheet L1-324 (rev).
Replace Plan Sheet L1-E32 with Sheet L1-E32 (rev).
Replace Plan Sheet L6-211 with Sheet L6-211 (rev).
Replace Plan Sheet L6-221 with Sheet L6-221 (rev).

Please sign and return the attached “Receipt of Addendum No. 1 (Re-Bid)” form. The “Receipt of Addendum No. 1 (Re-Bid)” form MUST be received in this office no later than 2:00 PM, Wednesday, January 31, 2024 or the bid will NOT be considered. The Receipt of Addendum can be emailed to Anthony Lum’s attention at alum@smcgov.org, with carbon copy to enacpil@smcgov.org.

All plan holders are advised to review the project webpage for the latest updates on Request for Information. The project webpage address is:
<https://www.smcgov.org/publicworks/Realize-Flood-Park-Project-Phase-One-POTB>.

If you have any questions or require additional information, please contact Edward Nacpil or Anthony Lum of our office at (650) 363-4100. They can also be reached by e-mail at:

enacpil@smcgov.org
alum@smcgov.org

Very truly yours,



Ann M. Stillman
Director of Public Works

AMS:KL:CC:AL:EN

To All Plan Holders
Realize Flood Park Project – Phase One
Addendum No. 1 (Re-Bid)
January 11, 2024

Page 3

F:\Users\design\C3D\E5041000_Re-Imagine Flood Park Project\14 Bid Process\Addendums\Addendum #1_Rebid\Complete Addendum
1 Rebid Package

Encl.- “Receipt of Addendum No. 1 (Re-Bid)” Form

Revised Pages 1 (rev) and 2 (rev) of the Notice to Bidders and Bid Instructions Section

Revised Page 1 (rev) of the Special Provisions Section 00800

Revised Pages 320190-3 (rev), 320190-5 (rev), and 320190-7 (rev) of the Operation and
Maintenance of Planting Section 320190

Revised Pages 329600-2 (rev) through 329600-7 (rev) of the Tree Transplanting Section
329600

Revised Sheets C3.0 (rev)-C3.5 (rev), C10.1 (rev), L1-100 (rev), L1-110 (rev), L1-123 (rev),
L1-124 (rev), L1-210 (rev), L1-224 (rev), L1-310 (rev), L1-324 (rev), L1-E32 (rev), L6-211
(rev), and L6-221 (rev) of the Project Plans

cc: Krzysztof Lisaj, Deputy Director, Engineering and Resource Protection
Carter Choi, Acting Principal Civil Engineer, Engineering and Construction
Anthony Lum, Senior Civil Engineer, Project Development and Design
Edward Nacpil, Associate Engineer, Project Development and Design



Ann M. Stillman
Director

County Government Center
555 County Center, 5th Floor
Redwood City, CA 94063
650-363-4100 T
650-361-8220 F
www.smcgov.org

January 11, 2024

COUNTY OF SAN MATEO

REALIZE FLOOD PARK PROJECT – PHASE ONE

COUNTY PROJECT NO. P30W1

PROJECT FILE NO. E5041

RECEIPT OF ADDENDUM NO. 1 (RE-BID)

I, _____, an
authorized representative for _____,
have received **Addendum No. 1 (Re-Bid)** for the Realize Flood Park Project – Phase
One from an authorized representative of the County of San Mateo, which is to be
included in the Specifications for the above referenced project.

This form must be signed and received in the offices of the County of San Mateo,
Department of Public Works ***no later than 2:00 P.M., Wednesday, January 31, 2024.***

“Contractor”

(Print)

(Signature)

(Date)



NOTICE TO BIDDERS

NOTICE IS HEREBY GIVEN that the County of San Mateo will receive sealed bids for the Realize Flood Park project located at Flood Park, Menlo Park, CA in accordance with the plans and specifications prepared by **CMG Landscape Architecture** ("Design Team").

1. Time of Opening: Bids will be opened on **Thursday, February 1, 2024**. Bid documents must be sealed, marked with the project name and project number. All Bids must be received at the office of the County Executive/Clerk of the Board Supervisor, Hall of Justice and Records at 400 County Center, Redwood City, CA 94063 **BEFORE 2:30 p.m.** Bids which are submitted on or after **2:30 p.m.** or facsimile bid transmissions will not be accepted. The bids will be publicly opened and read aloud for the following project in accordance with the specifications therefore and to which special reference is made as follows:

REALIZE FLOOD PARK PROJECT – PHASE ONE**COUNTY PROJECT NO. P30W1
PROJECT FILE NO. E5041**

2. Contractors Requirements:

a. All Bidders must have and maintain a General Engineering “A” Class or General Contractor “B” Class contractor’s license in order for their bids to be considered responsive. Bidder may bid only on work of a kind for which it is properly licensed by the California Contractors' State License Board. Joint venture Bidders must possess a joint venture license. The Bidder must be licensed at the time of bid and the license must remain current for the duration of the Project. Failure to supply complete license requirement information and signature under penalty of perjury on the bid form may result in the bid being considered non-responsive and rejected.

b. Pursuant to Senate Bill (SB) 854, all bidders on public works, including any project resulting from this bid process, must register with the California Department of Industrial Relations (DIR) and pay an annual renewal fee to the DIR. Only bidders that have registered with the DIR and that are current in payment of annual renewal fees are eligible to bid as contractors or subcontractors on any project resulting from this bid process. Likewise, only contractors and subcontractors that have registered with the DIR and who are current in payment of their annual renewal fees shall be eligible to receive a contract or subcontract or to perform work under any contracts resulting from this bid process. Pursuant to the California Labor Code, the general prevailing rate of per diem wages and for holiday and overtime work shall be paid to all workers employed by the contractor selected for this project. Copies of prevailing rates of per diem wages are available upon request at the County’s Offices or at www.dir.ca.gov. The Department of Industrial Relations/Labor Commissioner will monitor and enforce compliance with applicable prevailing wage requirements on this project and enforce compliance with applicable prevailing wage requirements in accordance with the California Labor Code, including sections 1771, 1774, 1776, 1777.5, 1813, and 1815. Contractors on any project resulting from this bid process will be required to submit certified payroll records in electronic format to the California Labor Commissioner unless excused by the Labor Commissioner from this requirement.

3. Duration of Bid: All bid proposals submitted shall be considered irrevocable offers to perform the work in accordance with the Contract Documents if a Notice of Award is issued within thirty (30) days from the bid opening.

4. Plans and Specifications: Plans and specifications for the above-mentioned project will be available on **November 7, 2023 on the San Mateo County Department of Public Works website (<https://www.smcgov.org/publicworks/Realize-Flood-Park-Project-Phase-One-POTB>)**.

County recommends the Contractors to be placed on a Plan Holders List for bidding. To be placed on the Plan Holders List, the Contractor shall either:

- a. Complete and sign the following Plan Holder’s Affidavit by using the link below and you will receive a separate link for downloading an electronic copy of the Plans and Specifications:

<https://www.smcgov.org/publicworks/affidavit-form-realize-flood-park-project>

The Contractor is advised that the table should be received by the County no later than three (3) working days prior to the bid opening date.

- b. If Plans and specifications are obtained through a source other than those outlined in 1a above, complete and sign the following Plan Holder’s Affidavit and return to the County by either PDF via email to alum@smcgov.org. The Contractor is advised that the table should be received by the County no later than three (3) working days prior to the bid opening date.

Plan Holder’s Affidavit	
Project Title	REALIZE FLOOD PARK – PHASE ONE
Project No.	P30W1
Project Engineer:	Anthony Lum
Project Manager:	Anthony Lum
Bid Open Date and Time:	2:30 p.m., Thursday, February 1, 2024
Company Name:	_____
Mailing Address:	_____
Phone Number:	Fax Number: _____
E-mail Address:	_____
(Name and Title of Authorized Representative of Bidder)	
(Signature of Authorized Representative of Bidder)	

00800
SPECIAL PROVISIONS

1.1 CONSTRUCTION MILESTONE SCHEDULE

The time for completion of all Work is within **187 working days** of the date of the Notice to Proceed, which shall be in accordance with the General Conditions as indicated in section 00700 - Scope of Work. To implement this project on schedule, the Contractor is responsible for providing all necessary dewatering, water diversion, tarping, and protection from inclement weather. The milestones' completion time is as set forth in the below Construction Milestone Schedule. The exact terms and restrictions govern any extensions of time for completion of milestones as applicable to extensions of the Contract Time referenced in the General Conditions.

Schedule of Work to accommodate the following milestone requirements:

Bid Date	February 1, 2024
BOS Approval of Construction Agreement	February 27, 2024
Anticipated Notice to Proceed (NTP) #1	February 28, 2024
Begin submittals and procurement	February 29, 2024
Project Kickoff Meeting (no later than)	March 13, 2024
Mobilization and Start of Construction (no later than)	March 14, 2024

Phase 1.1 – Work Suitable for “winter conditions”

Perimeter Fencing and signage are complete	March 18, 2024
SWPP/BMP are Complete	March 25, 2024
Complete Bay Rd. Construction Entrance	March 29, 2024
Tree Protection installation is complete	April 12, 2024
Tree Removal operations are complete	April 15, 2024
Drop-In Picnic Area Removal is complete	May 09, 2024
Site Demolition (removal of exposed elements not impacted by potential rain)	May 24, 2024

Phase 1.2 – Work not Suitable for “winter conditions”

Anticipated Notice to Proceed #2	April 15, 2024
Complete Installation of Sedimentary Concrete Grill Counters	August 15, 2024
Complete Site Paving	August 30, 2024
Complete Athletic Facilities	September 15, 2024
Complete installation of all landscaping and plants	October 15, 2024
Final Inspections Complete	October 15, 2024
All project scopes are complete	October 30, 2024 (Target date; SMCP understands PG&E drives this)
Contract Completion Date	November 1, 2024
End of 90-Day Landscape Maintenance Period	January 13, 2025
Record “Notice of Completion”	January 17, 2025

PART 2 - PRODUCTS

2.1 MATERIALS

- A. General: All materials and equipment, shall be provided by the Contractor, except as specified below.
- B. Water: Clean, potable and fresh, as available from Owner.
- C. Fertilizers:
 - 1. As indicated in recommendations in soils analysis submitted under “Soil Preparation” Section.
- D. Pesticides including Herbicides, Insecticides, and Fungicides:
 - 1. As approved by the Owners Representative and consistent with the County of San Mateo Integrated Pest Management Policies included as supplemental documents.
 - 2. Pesticide use shall be in accordance with established guidelines, and treatments shall be made with the goal of removing only target organisms. Pest control materials shall be selected and applied in a manner that minimizes risks to human health, beneficial and nontarget organisms, and the environment.
 - 3. Best quality materials with original manufacturers' containers, properly labeled with guaranteed analysis.
 - 4. Use non-staining materials.
- E. Perennials/groundcovers: Nursery-grown in specified sizes, full, healthy plants.
- F. Replacement Tree Stakes and Ties: Match originally accepted existing materials on the site.

2.2 EQUIPMENT

- A. General: Use only the proper tool for each job. Maintain all tools in sharp, properly-functioning condition. Clean and sterilize pruning tools prior to usage.
- B. Insect/Disease Prevention: Take all acceptable measures to prevent introduction of insect or disease-laden materials onto the site.

PART 3 - EXECUTION

3.1 ESTABLISHING THE MAINTENANCE PERIOD

- A. Preliminary Review: As soon as planting is substantially completed per documents, hold a preliminary review to determine the condition of the work.
- B. Date of Review: Notify Landscape Architect at least **ten** (10) working days prior to anticipated date of review.

1. General planting and Shrub areas: All bare areas shall be infilled or replaced based on plant spacing in planting plans.
 2. Ground cover and Grassland Planting areas: All bare areas areas larger than 2 x 2 feet shall be infilled.
 3. Perennial Areas: All bare areas areas larger than 18 x 18 inches shall be infilled or replaced.
- E. Tree Care and Pruning: A preapproved tree care specialist shall be responsible for tree care and pruning of all trees.
1. Prune trees to select and develop permanent scaffold branches that are smaller in diameter than the trunk or branch to which they are attached, and which have vertical spacing of 18 in. to 48 in. and radial orientation so as not to overlay one another.
 2. Prune trees to eliminate diseased or damaged growth, and narrow V-shaped branch forks that lack strength. Reduce toppling and wind damage by thinning out crowns.
 3. Prune trees to maintain growth within space limitations, maintaining a natural appearance and balancing crown with roots.
 4. No stripping of lower branches ("raising up") of young trees will be permitted.
 5. Retain lower branches in a "tipped back" or pinched condition to promote caliper trunk growth (tapered trunk). Do not cut back to fewer than six buds or leaves on such branches. Only cut lower branches flush with the trunk after the tree is able to stand erect without staking or other support.
 6. Thin out and shape evergreen trees when necessary to prevent wind and storm damage. Do primary pruning of deciduous trees during the dormant season. Do not permit any pruning of trees prone to excessive "bleeding" during growth season.
 7. Prune damaged trees or those that constitute health or safety hazards at any time of year as required.
 8. Make all cuts clean and close to the trunk, without cutting into the branch collar. "Stubbing" will not be permitted. Cut smaller branches flush with trunk or lateral branch. Make larger cuts (1 in. in diameter or larger) parallel to shoulder rings, with the top edge of the cut at the trunk or lateral branch.
 9. Branches too heavy to handle shall be precut in three stages to prevent splitting or peeling of bark. Make the first two cuts 18 in. or more from the trunk to remove the branch. Make the third cut at the trunk to remove the resulting stub.
 10. Do not prune or clip shrubs into balled or boxed forms unless specifically called for by design.
 11. Take extreme care to avoid transmitting disease from one infected plant to another. Properly sterilize pruning tools before going from one infected plant to all other plants.
 12. Pruning Season: Prune **trees** during dormant season consistent with arboricultural standards for species to be pruned.
- F. Staking and Guying of Trees:
1. Inspect stakes and ties at least once a month to check for rubbing that causes bark wounds.
 2. Inspect guy wires and ties at least once a month to check for proper tension and prevent girdling that causes bark wounds. Guy wires will require frequent adjustment during the establishment period when trees are growing rapidly.

3.4 GROUNDCOVERS

- A. Watering:

1. Continually monitor the irrigation systems to verify that they are functioning properly as designed. Make program adjustments required by changing field conditions.
2. Clear irrigation systems as often as necessary to keep the irrigation systems free of sand and other debris. At least three times after the installation is complete. Once at the end of the installation, once at the beginning of the maintenance period, and once at the conclusion of the maintenance period and acceptance of the landscaping.
3. Prevent spraying on windows, building walls, (game courts) by balancing the throttle control on the remote control valves and the adjustment screws on the sprinkler heads. Do not allow water to atomize and drift.

3.8 TERMINATION OF THE MAINTENANCE PERIOD

A. Final Acceptance Procedure:

1. Work will be accepted by the Landscape Architect upon satisfactory completion of all work, including maintenance period, but exclusive of replacement of materials under the Warranty Period.
2. Submit a written request to Landscape Architect for review for Final Acceptance at least five (5) working days prior to anticipated Final Review date, which is at the end of the Maintenance Period.
3. Submit maintenance operations manual to Owner.

B. Corrective Work:

1. Work requiring corrective action or replacement shall be performed within **thirty** (30) calendar days after the Final Review.
2. Perform corrective work and materials replacement in accordance with the Drawings and Specifications, and shall be made by the Contractor at no cost to the Owner.
3. After corrective work is completed, the Contractor shall again request a Final Review for Final Acceptance as outlined above.
4. Continue maintenance of all landscaped areas until such time as all corrective measures have been completed and accepted.

C. Conditions for Acceptance of Work at End of Maintenance Period:

1. Each plant shall be alive and thriving, showing signs of growth and no signs of stress, disease, or any other weaknesses.
2. Replace all plants not meeting these conditions. An additional Warranty Period equal in length to the original shall be commenced for all such plants and planted areas.

D. Final Acceptance Date: The date on which the Landscape Architect issues a Letter of Final Acceptance. Upon Final Acceptance, the Owner will assume responsibility for maintenance of the work.

3.9 CLEANING

- A. Dispose of all pruned materials, vacuum all lawn clippings and leaves, sweep all walkways and rake smooth all mulched areas.

- F. Root Flare: Also called "trunk flare." The area at the base of the tree's stem or trunk where the stem or trunk broadens to form roots; the area of transition between the root system and the stem or trunk.

1.5 QUALITY ASSURANCE

- A. Tree-Service Firm Qualifications: An experienced landscaping contractor or tree-moving firm that has successfully completed transplanting work similar to that required for this Project and that will assign an experienced, qualified arborist to Project site during execution of the Work.

- 1. **Qualification Data: Submit Statement of qualifications for qualified tree-transplant firm and arborist as a part of the Bid Proposal, including reference contact information for minimum 5 completed tree relocation projects using spades and including trees of similar size and site logistics requirements. Include project name, location, date completed, number, species and size of relocated trees.**

- B. Arborist Qualifications: Licensed arborist in jurisdiction where Project is located.

- C. **Tree-Transplanting Program: Prepare a written plan by arborist for transplanting trees for the whole Project, including each phase or process, tree maintenance, and protection of surrounding materials during operations. Describe in detail the materials, methods, and equipment to be used for each phase of the transplanting work.**

- 1. **Include transplanting times appropriate for each species at the Project location unless otherwise indicated on Drawings or directed by arborist.**
- 2. **Include a transplanting schedule for each species to be transplanted, coordinated with the Project schedule.**
- 3. **Include site plans clearly marked to show tree-moving routes from extraction to planting locations. Indicate proposed equipment, weight, and turning radii.**
- 4. **Show details of temporary protective barriers where needed.**
- 5. **Include diagrams showing clearances to utility lines and other encumbrances along route.**
- 6. **Include care and maintenance provisions and eventual removal of tree stabilization.**

1.6 **POST-BID REVIEW AND INSTALLATION MEETINGS**

- A. **Post-Bid Review and verification of Transplant Feasibility: Contractors shall retain a certified arborist and/or transplant specialist to verify tree health and advise on transplant feasibility for each transplant tree identified in the Plans.**

- 1. **Based on Arborist and tree moving specialist review, include a list of Transplant Trees (based on numbers in the Plans) that are included as part of the proposal and a list of Trees that are considered not feasible for transplant. Include a summary of why any trees are not considered feasible.**

- B. Preinstallation Conference: Conduct conference at the site.

- 1. Review methods and procedures related to transplanting work include, but are not limited to, the following:

- a. Construction schedule. Verify availability of materials, personnel, equipment, and unimpeded access needed to make progress and avoid delays.
- b. Tree and plant protection.
- c. Tree maintenance.
- d. Arborist's responsibilities.

1.7 ACTION SUBMITTALS

- A. Product Data: For each type of product.
- B. Pruning Schedule: Written schedule prepared by certified arborist (provided by contractor) detailing scope and extent of pruning for each tree in preparation for and subsequent to transplanting.
 1. Species and size of plant.
 2. Location on site plan. Include unique identifier for each.
 3. Reason for pruning.
 4. Seasonal limitations on pruning.
 5. Preparatory Pruning: Time schedule and description of preparatory pruning to be performed.
 - a. Indicate time in months preceding the extraction of the tree.
 - b. Indicate diameter of root ball and depth of root pruning for each tree.
 6. Description of root and crown pruning during and subsequent to transplanting.
 7. Description of maintenance following pruning.

1.8 INFORMATIONAL SUBMITTALS

- A. Certification: From arborist, certifying that transplanted trees have been protected during construction and that trees were promptly and properly treated and repaired when damaged.
- B. Maintenance Recommendations: From arborist, recommended procedures to be established by Owner for care and protection of trees after completing the Work.
 1. Submit before completing the Work.
- C. Tree-Transplanting Program: Submit before work begins.
- D. Sample Warranties: For special warranties.
- E. Tree-maintenance reports.

1.9 DELIVERY, STORAGE, AND HANDLING

- A. Packaged Materials: Deliver packaged materials in original, unopened containers showing weight, certified analysis, name and address of manufacturer, and indication of conformance with state and federal laws if applicable.
- B. Bulk Materials:

1. Do not dump or store bulk materials near structures, utilities, walkways and pavements, or on existing turf areas or trees.
 2. Provide erosion-control measures to prevent erosion or displacement of bulk materials, discharge of soil-bearing water runoff, and airborne dust reaching adjacent properties, water conveyance systems, or walkways.
 3. Accompany each delivery with appropriate certificates.
- C. Protect bark, branches, and root systems from sun scald, drying, wind burn, sweating, whipping, and other handling and tying damage. Do not bend or bind-tie trees in such a manner as to destroy their natural shape.
- D. Completely cover foliage when transporting trees while they are in foliage.
- E. Handle trees by root ball. Do not drop trees.
- F. Move trees after preparations for planting have been completed, and install immediately. If planting is delayed more than six hours after moving, set trees in their appropriate aspect (sun, filtered sun, or shade), protect from weather and mechanical damage, and keep roots moist.

1.10 FIELD CONDITIONS

- A. Field Measurements: Verify final grade elevations and final locations of trees and construction contiguous with trees by field measurements before proceeding with transplanting work. Perform transplanting only after finish grades are established.
- B. Seasonal Restrictions: Transplant trees during the following in-season periods:
1. Fall: October -December
 2. Winter: January - March
- C. Weather Limitations: Proceed with transplanting only when existing and forecasted weather conditions permit planting to be performed when beneficial and optimum results may be obtained. Do not transplant during excessively wet or frozen conditions. Apply products during favorable weather conditions according to manufacturer's written instructions and warranty requirements.
- D. Tree and Landscape Protection: Refer to Section 015639 "Tree & Landscape Protection" for requirements of all work within Tree Protection Zones.
- E. Coordination with Seeded Areas: Perform transplanting before Seeding and Mulching.

1.11 WARRANTY

- A. Installer's Special Warranty: Tree-service firm agrees to repair or replace trees and related materials that fail within specified warranty period.
1. Failures include, but are not limited to, the following:
 - a. Death and unsatisfactory growth except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner, or incidents that are beyond Contractor's control.

- b. Death and unsatisfactory growth is defined as more than 25 percent dead or in an unhealthy condition or failure to meet general performance requirements at end of warranty period.
 - c. Structural failures including trees falling or blowing over.
 - d. Faulty performance of materials and devices related to tree plantings including tree stabilization and watering devices.
2. Warranty Periods from Date of Substantial Completion:
- a. Trees: 12 months.
3. Include the following remedial actions as a minimum:
- a. Remove dead trees and trees with unsatisfactory growth at end of warranty period; replace when directed.
 - b. A limit of one replacement of each tree will be required except for losses or replacements due to failure to comply with requirements.
 - c. Replace materials and devices related to tree plantings.
 - d. Provide extended warranty for period equal to original warranty period, for replaced trees.

1.12 MAINTENANCE SERVICE

- A. Initial Maintenance Service: Provide tree maintenance by skilled employees of tree-service firm and as required in Part 3. Begin maintenance immediately after trees are installed and continue until plantings are healthy and well established but for not less than maintenance period below.
 - 1. Maintenance Period: 12 months from date of transplanting completion Substantial Completion.

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

- A. General Performance: Transplanted trees shall be healthy and resume vigorous growth within 6 months of transplanting without dieback due to defective extracting, handling, planting, maintenance, or other defects in the Work.

2.2 PLANTING MATERIALS

- A. Backfill Soil: Planting soil of suitable moisture content and granular texture for placing and compacting in planting pit around tree, and free of stones, roots, plants, sod, clods, clay lumps, pockets of coarse sand, concrete slurry, concrete layers or chunks, cement, plaster, building debris, and other extraneous materials harmful to plant growth.
 - 1. Topsoil as specified in Section 329113 "Soil Preparation."

2.3 MISCELLANEOUS PRODUCTS

- A. Organic Mulch: Arbormulch as provided by County Parks Department.

- B. Antidesiccant: Water-insoluble emulsion, permeable moisture retarder, film forming, for trees. Deliver in original, sealed, and fully labeled containers and mix according to manufacturer's written instructions.
- C. Burlap: Non-synthetic, biodegradable.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Erosion and Sedimentation Control: Examine the site to verify that temporary erosion- and sedimentation-control measures are in place. Verify that flows of water redirected from construction areas or generated by construction activity do not enter or cross transplanting areas.
- B. For the record, prepare written report, endorsed by arborist, listing conditions detrimental to transplanting work and tree protection and health.
- C. Proceed with transplanting only after unsatisfactory conditions have been corrected.

3.2 PREPARATION

- A. Protect structures, utilities, sidewalks, pavements, other facilities, turf areas, and other plants and planting areas from damage caused by transplanting operations.
- B. Utility Locator Service: Notify utility locator service for area where Project is located before beginning excavation.
- C. Locate and clearly identify trees for transplanting. Flag each tree at 54 inches above the ground.
- D. Lay out individual transplant locations and areas for multiple plantings. Stake locations, outline areas, adjust locations when requested, and obtain Landscape Architect's acceptance of layout before transplanting. Make minor adjustments as required.
- E. Apply antidesiccant to trees uniformly, using power spray to provide an adequate film over trunks (before wrapping), branches, stems, twigs, and foliage to protect during extracting, handling, and transportation.
 - 1. If deciduous trees are moved in full leaf, spray with antidesiccant before extracting and again two weeks after transplanting.
- F. Wrap trees with burlap fabric over trunks, branches, stems, twigs, and foliage to protect from wind and other damage during extracting, handling, and transporting.

3.3 PREPARATORY PRUNING

- A. Root Pruning: Perform preparatory root pruning under direction of arborist as far in advance of extracting each tree as the Project Schedule allows.

1. Dig exploratory pits or trench by hand or with air spade around perimeter of tree at indicated root-ball width to determine locations of main lateral roots.
2. Dig trench by hand or with tree spade around perimeter of tree at indicated root-ball width to the depth of the root system. Do not use a backhoe or other equipment that rips, tears, or pulls roots.
3. Root-Ball Width: As determined by the Tree Transplant Firm and Arborist.
4. If encountering large, main lateral roots, expose roots beyond excavation limits as required to bend and redirect them without breaking.
5. Use narrow-tine spading forks to comb soil to expose roots with minimal damage to root system.
6. Cut exposed roots manually with sharp pruning instruments; do not break, tear, chop, or slant the cuts. Do not use a backhoe or other equipment that rips, tears, or pulls roots.
7. Do not paint or apply sealants on cut root ends.
8. Backfill trench with excavated soil.

B. Crown Pruning (Tip Pruning):

1. Perform preparatory crown pruning as directed by arborist.

3.4 EXCAVATION AND PLANTING EQUIPMENT

- A. Tree Spade: Track-mounted mechanized tree mover; sized according to manufacturer's size recommendation for each tree being transplanted.

3.5 EXCAVATING PLANTING PITS

- A. General: Excavate under supervision of the arborist.

1. Excavate planting pits or trenches with sides sloping. Trim perimeter of bottom leaving center area of bottom raised slightly to support root ball and assist in drainage away from center. Do not further disturb base. Ensure that root ball will sit on undisturbed base soil. Scarify sides of planting pit smeared or smoothed during excavation.
2. Excavate approximately two times as wide as root ball.
3. Keep excavations covered or otherwise protected until replanting trees.

- B. Subsoil and topsoil removed from excavations may be used as planting soil.

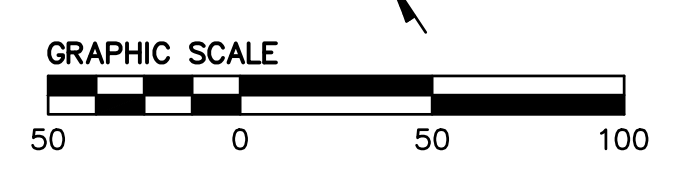
- C. Obstructions: Notify Landscape Architect if unexpected rock or obstructions detrimental to trees are encountered in excavations.

1. Hardpan Layer: Drill 6-inch- diameter holes, 24 inches apart, into free-draining strata or to a depth of 10 feet, whichever is less, and backfill with free-draining material.

- D. Seepage: Notify Architect if subsoil conditions evidence unexpected water seepage into tree-planting pits.

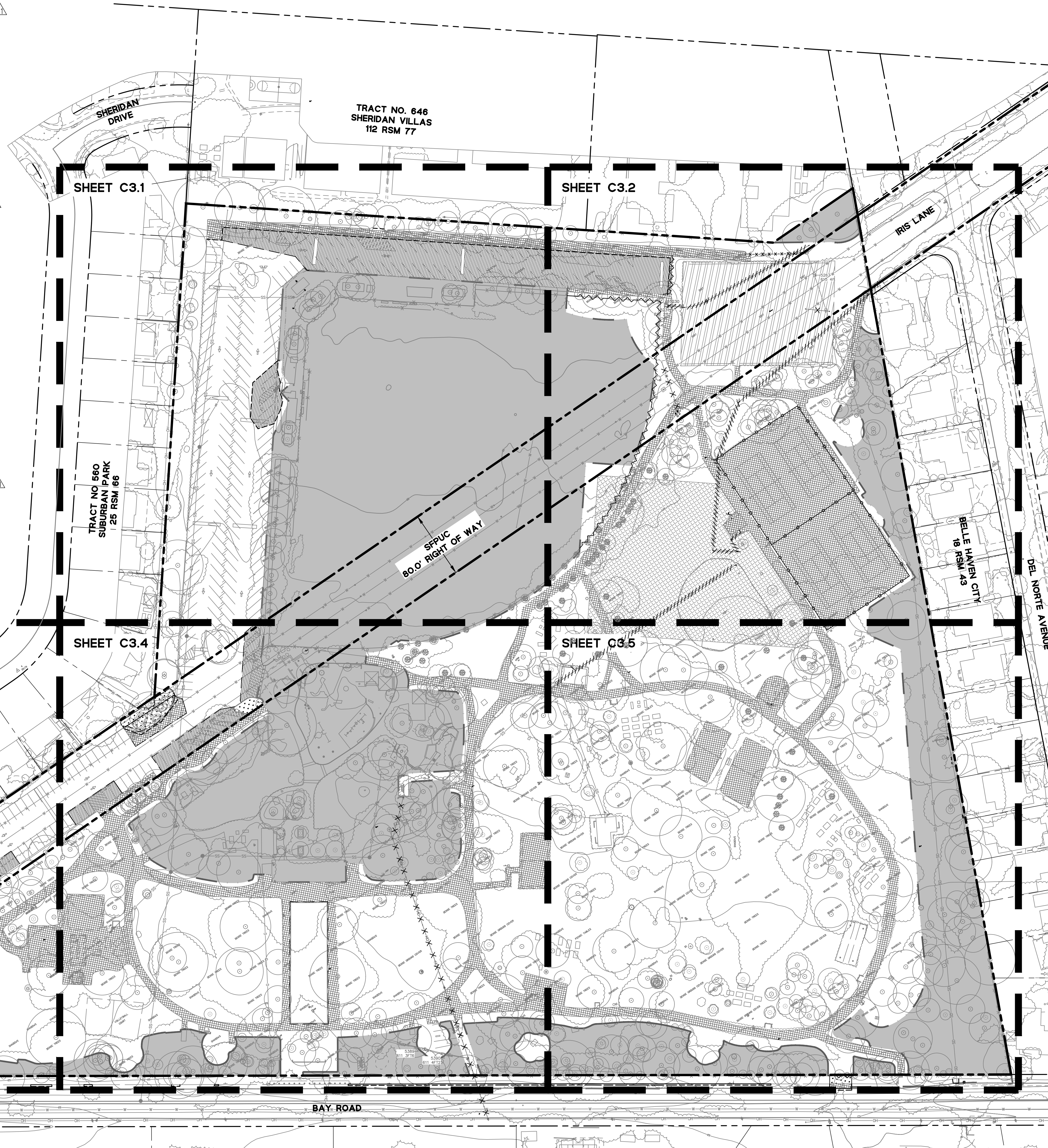
- E. Drainage: Fill planting pit or trench with 6 inches of water and time the infiltration rate of the soil. If the drainage rate is less than 0.25 inch per hour, notify Landscape Architect to determine need for subsurface drainage.

NO.	ISSUE	DATE
	100% SCHEMATIC DESIGN (30%)	07.18.22
	PHASE 1 - CD PROGRESS SET	09.30.22
	PHASE 1 - 75% PS&E	11.04.22
	PHASE 1 - 90% PS&E	12.09.22
	PHASE 1 - 100% PS&E BID CHK SET	03.20.23
	PHASE 1 - 100% PS&E BID SET	04.28.23
	PHASE 1 - BID PS&E DOCUMENTS	05.26.23
1	BID ADDENDUM 1	07.03.23
2	BID ADDENDUM 2	08.04.23
	PHASE 1 - RE-BID PS&E DOCS	11.01.23
R1	BID ADDENDUM R1	12.22.23



- NOTES:**
- REFER TO C1.0 FOR BASIS OF BEARINGS AND BENCHMARK.
 - EXISTING BOUNDARY AND EASEMENT INFORMATION IS BASED ON A REVIEW OF AVAILABLE RECORD MAPS AND TITLE REPORTS FOR THE PROJECT AREA.
 - EXISTING UTILITIES AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON A SITE FIELD SURVEY BY BKF ENGINEERS IN MAY 2022. SHOULD FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN ON THESE PLANS, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTION AND CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES.
 - PLANTING REMOVAL SHOWN HEREON FOR REFERENCE. REFER TO LANDSCAPE PLANS FOR DISPOSITION OF EXISTING LANDSCAPING.
 - SEE SEPARATE LANDSCAPE PLAN FOR TREE REMOVAL AND PROTECTION LOCATIONS.
 - WORK IN CANOPY AND STRUCTURAL ROOT ZONES WILL REQUIRE HAND WORK AND/OR AIR SPADING. REFER TO LANDSCAPE PLANS FOR MORE DETAILS AND INFORMATION.
 - HISTORIC ADOBE WALL IS TO BE PROTECTED IN PLACE AND UNDISTURBED. WORK AROUND HISTORIC ADOBE WALL WILL REQUIRE HAND WORK. NOTIFY CIVIL ENGINEER AND/OR LANDSCAPE ARCHITECT AS REQUIRED.
 - DEMOLITION OF EXISTING STRUCTURE INCLUDING THE FOUNDATION WILL REQUIRE A PRE-DEMOLITION LEAD/ASBESTOS SAMPLING REPORT PRIOR TO DEMOLITION. IF LEAD/ASBESTOS TRACES ARE FOUND, DEMOLITION WILL BE HANDLED AS HAZARDOUS MATERIAL REMOVAL.
 - SAWCUT SHALL BE FULL DEPTH FOR PAVEMENT UNRAVELING.
 - CONTRACTOR TO COORDINATE WITH UTILITY OWNER FOR DEMOLITION OF EXISTING PRIVATE AND PUBLIC ELECTRICAL, CABLE, FIBER OPTIC, AND COMMUNICATION STRUCTURES. CONTRACTOR TO COORDINATE WITH COUNTY PARKS STAFF FOR PHASED DISCONNECT OF EXISTING UTILITIES TO MAINTAIN SERVICE TO SPECIFIC AREAS AS REQUIRED DURING CONSTRUCTION.
 - CONSTRUCTION WITHIN THE TREE PROTECTION FENCES AROUND EXISTING TREES TO REMAIN SHOULD BE REVIEWED AND INSPECTED BY THE PROJECT ARBORIST AND CONFORM TO THE RECOMMENDATIONS CONTAINED IN THE PROJECT ARBORIST REPORT AND TREE PROTECTION NOTES HELD BY THE LANDSCAPE ARCHITECT.
 - EXERCISE CAUTION WHEN REMOVING STORM DRAIN, SANITARY SEWER, AND WATER PIPES DUE TO THE POTENTIAL FOR THE PRESENCE OF ASBESTOS CEMENT PIPE (ACP) AT THE PROJECT SITE. HANDLE AND DISPOSE ASBESTOS PRODUCTS PER APPLICABLE HEALTH CODE REQUIREMENTS.
 - REFER TO G-200 SERIES FOR ALL TREE REMOVAL AND PROTECTION REQUIREMENTS, INCLUDING REQUIREMENTS FOR DEMOLITION OPERATIONS WITHIN TREE DRIP ZONES.
 - CONTRACTOR TO REMOVE ALL EXISTING CONCRETE AND STEEL PICNIC TABLES. ALL COUNTERS, GRILLS AND OTHER APPURTENANCES INCLUDING THOSE NOT SHOWN ON THE PLANS SHALL BE REMOVED AND DISPOSED OF.

- CONTRACTOR TO REMOVE OAK PICNIC AREA METAL PICNIC TABLE FRAMES, WOOD TOPS AND BENCHES, AND COORDINATE WITH CSM PARKS STAFF TO REVIEW SALVAGE OF WOOD AND METAL FRAMES.
- SFPUC ABOVE GROUND APPURTENANCES TO BE PROTECTED IN PLACE. CONTRACTOR TO PROVIDE WOOD STAKES AND SNOW FENCING AROUND ALL APPURTENANCES PER SFPUC STANDARDS.
- CONTRACTOR TO REPLACE IN KIND AREAS WHERE TRENCHING ACTIVITIES WILL OCCUR.
- HISTORIC STONE BBQ KITCHENS ARE TO BE RETAINED IN-SITU. ALL OTHERS SHALL BE REMOVED AND SALVAGED. STONE SHALL BE DELIVERED TO CSM PARKS. CONTRACTOR TO FIELD COORDINATE WITH LANDSCAPE ARCHITECT PRIOR TO DEMOLITION.
- CSM PARKS STAFF WILL REMOVE AND SALVAGE SPLIT RAIL FENCING PRIOR TO CONSTRUCTION. CONTRACTOR IS NOT RESPONSIBLE FOR REMOVAL AND SALVAGE.
- CONTRACTOR TO COORDINATE WITH CSM PARKS STAFF REGARDING STORAGE OF ALL ITEMS TO BE SALVAGED OR PRESERVED.
- CONTRACTOR TO COORDINATE WITH MENLO PARK ARBORIST AND DPW FOR PROPOSED IMPROVEMENTS ON BAY ROAD AND SUBMIT REQUIRED ENCROACHMENT PERMITS, TREE PROTECTION PLANS AND OTHERS AS REQUIRED. WORK WITHIN MENLO PARK ROW TO CONFORM TO MENLO PARK DPW & ARBORIST STANDARDS. ALL ON-SITE WORK IS TO BE COORDINATED WITH PROJECT ARBORIST AND LANDSCAPE ARCHITECT.
- ALL EXISTING SITE SIGNAGE, DRINKING FOUNTAINS AND BEAR SAVER TRASH/RECYCLING RECEPTACLES SHALL BE SALVAGED AND DELIVERED TO CSM.
- EXISTING AGGREGATE BASE MATERIAL SHALL BE SALVAGED AND STOCKPILED FOR REUSE PENDING TESTING, REVIEW, AND APPROVAL BY THE GEOTECHNICAL ENGINEER.
- REFER TO THE LANDSCAPE UNDERSTORY PLANTING DRAWINGS FOR CLEARING AND GRUBBING REQUIRED FOR SITE IMPROVEMENTS AND UNDERSTORY PLANTING.
- FOR ITEMS THAT WILL BE SALVAGED OR PRESERVED, PARKS WILL NEED TO CONFIRM WHERE THE ITEMS WILL BE STORED BEFORE THEY BECOME REUSED.
- CONTRACTOR TO CONFIRM EXISTENCE IN FIELD AND COORDINATE WITH COUNTY PARKS STAFF FOR REMOVAL IF ACTIVE. WHERE NOTED ON THE PLANS TO BE ABANDONED IN PLACE, CONTRACTOR TO PROVIDE COUNTY PARKS A FIELD REVIEWED MAP OF ALL ABANDONED EXISTING UTILITIES.
- CONTRACTOR TO SAMPLE DEPTHS OF EXISTING MATERIAL AND REMOVE TO DEPTH ALLOWABLE BY SFPUC REQUIREMENTS. CONTRACTOR TO COORDINATE WITH SFPUC FOR APPROVED METHODS OF REMOVAL. SEE LANDSCAPE UNDERSTORY PLANTING SCHEDULE FOR TOPSOIL REQUIREMENTS.
- CONTRACTOR TO OBTAIN REQUIRED PERMITS FOR HAUL ROUTES PRIOR TO DEMOLITION AND CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE BAAQMD AIR QUALITY PERMIT.
- CONTRACTOR TO COORDINATE WITH MENLO PARK MUNICIPAL WATER (MPMW) FOR WATER METER REMOVAL. CONTRACTOR TO REMOVE EXISTING VAULT ONCE MPMW HAS REMOVED THE WATER METER.
- CONTRACTOR TO THOROUGHLY INVESTIGATE AND FIELD VERIFY EXISTING WATER SYSTEM FEED FROM IRIS LANE PRIOR TO DEMOLITION, AND COORDINATE WITH COUNTY PARKS STAFF FOR PHASED DISCONNECT TO MAINTAIN SERVICE TO SPECIFIC AREAS WITHIN THE PARK AS REQUIRED DURING CONSTRUCTION.



DRAWING NAME: \\BKF-55\VOL\A\2021\0178_Re\img\ne\Flood_Park_Design\ENR\CD\SHEETS\C3.0_DEMO.dwg
PLOT DATE: 12-29-23 PLOTTED BY: cmg



NO.	ISSUE	DATE
	100% SCHEMATIC DESIGN (30%)	07.18.22
	PHASE 1 - CD PROGRESS SET	09.30.22
	PHASE 1 - 75% PS&E	11.04.22
	PHASE 1 - 90% PS&E	12.09.22
	PHASE 1 - 100% PS&E BID CHK SET	03.20.23
	PHASE 1 - 100% PS&E BID SET	04.28.23
	PHASE 1 - BID PS&E DOCUMENTS	05.26.23
1	BID ADDENDUM 1	07.03.23
2	BID ADDENDUM 2	08.04.23
	PHASE 1 - RE-BID PS&E DOCS	11.01.23
R1	BID ADDENDUM R1	12.22.23



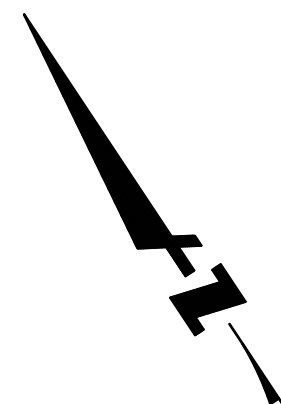
PROJECT	DRAWN BY
20210178	JM, CP, BA
SCALE	CHECKED BY
AS SHOWN	JW, JD
SHEET NUMBER	

NOTES:

- REFER TO C1.0 FOR BASIS OF BEARINGS AND BENCHMARK.
- EXISTING BOUNDARY AND EASEMENT INFORMATION IS BASED ON A REVIEW OF AVAILABLE RECORD MAPS AND TITLE REPORTS FOR THE PROJECT AREA.
- EXISTING UTILITIES AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON A SITE FIELD SURVEY BY BKF ENGINEERS IN MAY 2022. SHOULD FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN ON THESE PLANS, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTION AND CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES.
- PLANTING REMOVAL SHOWN HEREON FOR REFERENCE. REFER TO LANDSCAPE PLANS FOR DISPOSITION OF EXISTING LANDSCAPING.
- SEE SEPARATE LANDSCAPE PLAN FOR TREE REMOVAL AND PROTECTION LOCATIONS.
- WORK IN CANOPY AND STRUCTURAL ROOT ZONES WILL REQUIRE HAND WORK AND/OR AIR SPADING. REFER TO LANDSCAPE PLANS FOR MORE DETAILS AND INFORMATION.
- HISTORIC ADOBE WALL IS TO BE PROTECTED IN PLACE AND UNDISTURBED. WORK AROUND HISTORIC ADOBE WALL WILL REQUIRE HAND WORK. NOTIFY CIVIL ENGINEER AND/OR LANDSCAPE ARCHITECT AS REQUIRED.
- DEMOLITION OF EXISTING STRUCTURE INCLUDING THE FOUNDATION WILL REQUIRE A PRE-DEMOLITION LEAD/ASBESTOS SAMPLING REPORT PRIOR TO DEMOLITION. IF LEAD/ASBESTOS TRACES ARE FOUND, DEMOLITION WILL BE HANDLED AS HAZARDOUS MATERIAL REMOVAL.
- SAWCUT SHALL BE FULL DEPTH FOR PAVEMENT UNRAVELING.
- CONTRACTOR TO COORDINATE WITH UTILITY OWNER FOR DEMOLITION OF EXISTING PRIVATE AND PUBLIC ELECTRICAL, CABLE, FIBER OPTIC, AND COMMUNICATION STRUCTURES. CONTRACTOR TO COORDINATE WITH COUNTY PARKS STAFF FOR PHASED DISCONNECT OF EXISTING UTILITIES TO MAINTAIN SERVICE TO SPECIFIC AREAS AS REQUIRED DURING CONSTRUCTION.
- CONSTRUCTION WITHIN THE TREE PROTECTION FENCES AROUND EXISTING TREES TO REMAIN SHOULD BE REVIEWED AND INSPECTED BY THE PROJECT ARBORIST AND IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE PROJECT ARBORIST REPORT AND TREE PROTECTION NOTES HELD BY THE LANDSCAPE ARCHITECT.
- EXERCISE CAUTION WHEN REMOVING STORM DRAIN, SANITARY SEWER, AND WATER PIPES DUE TO THE POTENTIAL FOR THE PRESENCE OF ASBESTOS CEMENT PIPE (ACP) AT THE PROJECT SITE. HANDLE AND DISPOSE ASBESTOS PRODUCTS PER APPLICABLE HEALTH CODE REQUIREMENTS.
- REFER TO G-200 SERIES FOR ALL TREE REMOVAL AND PROTECTION REQUIREMENTS, INCLUDING REQUIREMENTS FOR DEMOLITION OPERATIONS WITHIN TREE DRIP ZONES.
- CONTRACTOR TO REMOVE ALL EXISTING CONCRETE AND STEEL PICNIC TABLES. ALL COUNTERS, GRILLS AND OTHER APPURTENANCES INCLUDING THOSE NOT SHOWN ON THE PLANS SHALL BE REMOVED AND DISPOSED OF.
- CONTRACTOR TO REMOVE OAK PICNIC AREA METAL PICNIC TABLE FRAMES, WOOD TOPS AND BENCHES AND COORDINATE WITH CSM PARKS STAFF TO REVIEW SALVAGE OF WOOD AND METAL FRAMES.
- SFPUC ABOVE GROUND APPURTENANCES TO BE PROTECTED IN PLACE. CONTRACTOR TO PROVIDE WOOD STAKES AND SNOW FENCING AROUND ALL APPURTENANCES PER SFPUC STANDARDS.
- CONTRACTOR TO REPLACE IN KIND AREAS WHERE TRENCHING ACTIVITIES WILL OCCUR.
- HISTORIC STONE BBQ KITCHENS ARE TO BE RETAINED IN-SITU. ALL OTHERS SHALL BE REMOVED AND SALVAGED STONE SHALL BE DELIVERED TO CSM PARKS. CONTRACTOR TO FIELD COORDINATE WITH LANDSCAPE ARCHITECT PRIOR TO DEMOLITION.
- CONTRACTOR TO COORDINATE WITH CSM PARKS STAFF REGARDING STORAGE OF ALL ITEMS TO BE SALVAGED OR PRESERVED.
- CONTRACTOR TO COORDINATE WITH MENLO PARK ARBORIST AND DPW FOR PROPOSED IMPROVEMENTS ON BAY ROAD AND SUBMIT REQUIRED PERMITS, TREE PROTECTION PLANS, AND OTHER AS REQUIRED. WORK WITHIN MENLO PARK ROW TO CONFORM TO MENLO PARK DPW & ARBORIST STANDARDS. ALL ON-SITE WORK IS TO BE COORDINATED WITH PROJECT ARBORIST AND LANDSCAPE ARCHITECT.
- ALL EXISTING SITE SIGNAGE, DRINKING FOUNTAINS AND BEAR SAVER TRASH/RECYCLING RECEPTACLES SHALL BE SALVAGED AND DELIVERED TO CSM.
- CONTRACTOR TO OBTAIN REQUIRED PERMITS FOR HAUL ROUTES PRIOR TO DEMOLITION AND CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE BAAQMD AIR QUALITY PERMIT.
- CONTRACTOR TO COORDINATE WITH MENLO PARK MUNICIPAL WATER (MPMW) FOR WATER METER REMOVAL. CONTRACTOR TO REMOVE EXISTING VAULT ONCE MPMW HAS REMOVED THE WATER METER.
- CONTRACTOR TO THOROUGHLY INVESTIGATE AND FIELD VERIFY EXISTING WATER SYSTEM FEED FROM IRIS LANE PRIOR TO DEMOLITION, AND COORDINATE WITH COUNTY PARKS STAFF FOR PHASED DISCONNECT TO MAINTAIN SERVICE TO SPECIFIC AREAS WITHIN THE PARK AS REQUIRED DURING CONSTRUCTION.

LEGEND:

- 1 TO REMAIN/PROTECT IN PLACE
- 2 TO BE DEMOLISHED AND REMOVED
- 3 TO BE ABANDONED
- 4 EXISTING PICNIC TABLES (SEE NOTES 14 & 15)
- 5 TO BE REINSTALLED IN PLACE
- 6 TO BE SALVAGED AND DELIVERED TO COUNTY PARKS
- 7 FUTURE IMPROVEMENTS OUTSIDE OF PHASE 1 SHOWN HEREON FOR REFERENCE ONLY
- 8 HARDSCAPE TO BE DEMOLISHED & REMOVED
- 9 AB TO BE DEMOLISHED AND REMOVED
- 10 AC GRIND AND OVERLAY
- 11 CLEAR AND GRUB EXISTING LANDSCAPE, SLP PER NOTE 24
- 12 CLEARING UNDER PROPOSED PAVING AND MULTI-USE FIELD. REMOVE AND DISPOSE OF 3-4 INCHES OF EXISTING VEGETATION, ORGANIC MATERIAL AND DEBRIS.
- 13 LIMIT OF WORK
- 14 SAWCUT LINE
- 15 LIMIT OF GRIND & OVERLAY
- 16 FENCE TO BE REMOVED
- 17 FENCE TO BE DISASSEMBLED AND STOCKPILED AT MAINTENANCE YARD
- 18 UTILITY TO BE ABANDONED
- 19 UTILITY TO BE REMOVED
- 20 CONCRETE CURB TO BE REMOVED
- 21 EXISTING TREE, SLP FOR TREE DISPOSITION



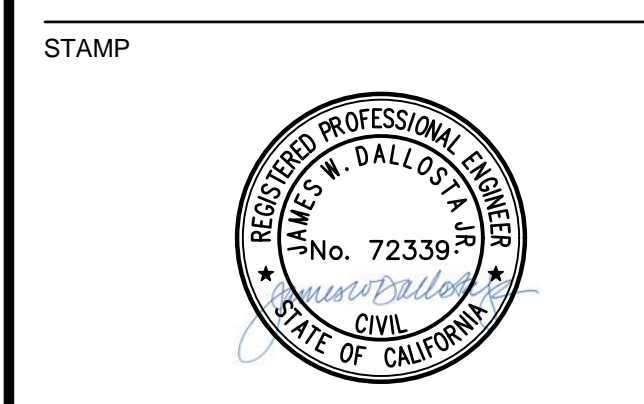
SEE SHEET C3.2 FOR CONTINUATION

SEE SHEET C3.4 FOR CONTINUATION

DRAWING NAME: \\BKF-55\VOL\A\2021\210178_Reimagining_Flood_Park_Design\ENR\CD\SHEETS\C3.0_DEMO.dwg
PLOT DATE: 12-29-23 PLOTTED BY: jmg

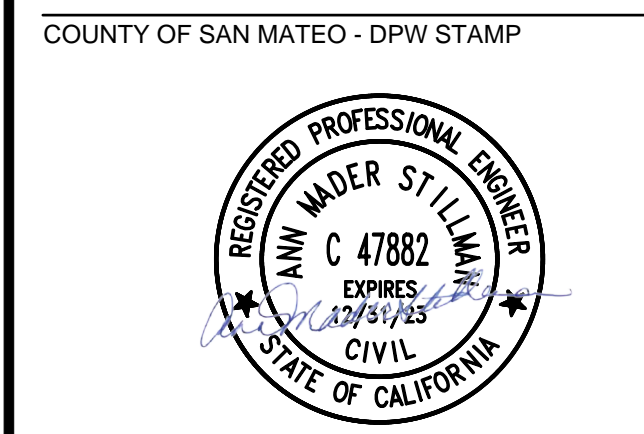


PROJECT NAME
FLOOD PARK
 215 BAY RD,
 MENLO PARK, CA 94025



PHASE
**PHASE 1 BID PS&E
 DOCUMENTS**

NO.	ISSUE	DATE
	100% SCHEMATIC DESIGN (30%)	07.18.22
	PHASE 1 - CD PROGRESS SET	09.30.22
	PHASE 1 - 75% PS&E	11.04.22
	PHASE 1 - 90% PS&E	12.09.22
	PHASE 1 - 100% PS&E BID CHK SET	03.20.23
	PHASE 1 - 100% PS&E BID SET	04.28.23
	PHASE 1 - BID PS&E DOCUMENTS	05.26.23
1	BID ADDENDUM 1	07.03.23
2	BID ADDENDUM 2	08.04.23
	PHASE 1 - RE-BID PS&E DOCS	11.01.23
R1	BID ADDENDUM R1	12.22.23



SHEET TITLE
DEMOLITION PLAN

PROJECT	20210178	DRAWN BY	JM, CP, BA
SCALE	AS SHOWN	CHECKED BY	JW, JD
SHEET NUMBER			

C3.2
 (REV.)

- NOTES:**
- REFER TO C1.0 FOR BASIS OF BEARINGS AND BENCHMARK.
 - EXISTING BOUNDARY AND EASEMENT INFORMATION IS BASED ON A REVIEW OF AVAILABLE RECORD MAPS AND TITLE REPORTS FOR THE PROJECT AREA.
 - EXISTING UTILITIES AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON A SURVEY BY BKF ENGINEERS IN MAY, 2022. SHOULD FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN ON THESE PLANS, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTION AND CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES.
 - PLANTING REMOVAL SHOWN HEREON FOR REFERENCE. REFER TO LANDSCAPE PLANS FOR DISPOSITION OF EXISTING LANDSCAPING.
 - SEE SEPARATE LANDSCAPE PLAN FOR TREE REMOVAL AND PROTECTION LOCATIONS.
 - WORK IN CANOPY AND STRUCTURAL ROOT ZONES WILL REQUIRE HAND WORK AND/OR AIR SPADING. REFER TO LANDSCAPE PLANS FOR MORE DETAILS AND INFORMATION.
 - HISTORIC ADOBE WALL IS TO BE PROTECTED IN PLACE AND UNDISTURBED. WORK AROUND HISTORIC ADOBE WALL WILL REQUIRE HAND WORK. NOTIFY CIVIL ENGINEER AND/OR LANDSCAPE ARCHITECT AS REQUIRED.
 - DEMOLITION OF EXISTING STRUCTURE INCLUDING THE FOUNDATION WILL REQUIRE A PRE-DEMOLITION LEAD/ASBESTOS SAMPLING REPORT PRIOR TO DEMOLITION. IF LEAD/ASBESTOS TRACES ARE FOUND, DEMOLITION WILL BE HANDLED AS HAZARDOUS MATERIAL REMOVAL.
 - SAWCUT SHALL BE FULL DEPTH FOR PAVEMENT UNRAVELING.
 - CONTRACTOR TO COORDINATE WITH UTILITY OWNER FOR DEMOLITION OF EXISTING PRIVATE AND PUBLIC ELECTRICAL, CABLE, FIBER OPTIC, AND COMMUNICATIONS STRUCTURES. CONTRACTOR TO COORDINATE WITH COUNTY PARKS STAFF FOR PHASED DISCONNECT OF EXISTING UTILITIES TO MAINTAIN SERVICE TO SPECIFIC AREAS AS REQUIRED DURING CONSTRUCTION.
 - CONSTRUCTION WITHIN THE TREE PROTECTION FENCES AROUND EXISTING TREES TO REMAIN SHOULD BE REVIEWED AND INSPECTED BY THE PROJECT ARBORIST AND CONFORM TO THE RECOMMENDATIONS CONTAINED IN THE PROJECT ARBORIST REPORT AND TREE PROTECTION NOTES HELD BY THE LANDSCAPE ARCHITECT.
 - EXERCISE CAUTION WHEN REMOVING STORM DRAIN, SANITARY SEWER, AND WATER PIPES DUE TO THE POTENTIAL FOR THE PRESENCE OF ASBESTOS CEMENT PIPE (ACP) AT THE PROJECT SITE. HANDLE AND DISPOSE ASBESTOS PRODUCTS PER APPLICABLE HEALTH CODE REQUIREMENTS.
 - REFER TO G-200 SERIES FOR ALL TREE REMOVAL AND PROTECTION REQUIREMENTS, INCLUDING REQUIREMENTS FOR DEMOLITION OPERATIONS WITHIN TREE DRIP ZONES.
 - CONTRACTOR TO REMOVE ALL EXISTING CONCRETE AND STEEL PICNIC TABLES, ALL COUNTERS, GRILLS AND OTHER APPURTENANCES INCLUDING THOSE NOT SHOWN ON THE PLANS SHALL BE REMOVED AND DISPOSED OF.
 - CONTRACTOR TO REMOVE OAK PICNIC AREA METAL PICNIC TABLE FRAMES, WOOD TOPS AND BENCHES, AND COORDINATE WITH CSM PARKS STAFF TO REVIEW SALVAGE OF WOOD AND METAL FRAMES.
 - SFPUC ABOVE GROUND APPURTENANCES TO BE PROTECTED IN PLACE. CONTRACTOR TO PROVIDE WOOD STAKES AND SNOW FENCING AROUND ALL APPURTENANCES PER SFP STANDARDS.
 - CONTRACTOR TO REPLACE IN KIND AREAS WHERE TRENCHING ACTIVITIES WILL OCCUR.
 - HISTORIC STONE BBQ KITCHENS ARE TO BE RETAINED IN-SITU. ALL OTHERS SHALL BE REMOVED AND SALVAGED STONE SHALL BE DELIVERED TO CSM PARKS. CONTRACTOR TO FIELD COORDINATE WITH LANDSCAPE ARCHITECT PRIOR TO DEMOLITION.
 - CSM PARKS STAFF WILL REMOVE AND SALVAGE SPLIT RAIL FENCING PRIOR TO CONSTRUCTION. CONTRACTOR IS NOT RESPONSIBLE FOR REMOVAL AND SALVAGE.
 - CONTRACTOR TO COORDINATE WITH CSM PARKS STAFF REGARDING STORAGE OF ALL ITEMS TO BE SALVAGED OR PRESERVED.
 - CONTRACTOR TO COORDINATE WITH MENLO PARK ARBORIST AND DPW FOR PROPOSED IMPROVEMENTS ON BAY ROAD AND SUBMIT REQUIRED ENFORCEMENT PERMITS, TREE PROTECTION PLANS, AND OTHER AS REQUIRED. WORK WITHIN MENLO PARK ROW TO CONFORM TO MENLO PARK DPW & ARBORIST STANDARDS. ALL ON-SITE WORK IS TO BE COORDINATED WITH PROJECT ARBORIST AND LANDSCAPE ARCHITECT.
 - ALL EXISTING SITE SIGNAGE, DRINKING FOUNTAINS AND BEAR SAVER TRASH/RECYCLING RECEPTACLES SHALL BE SALVAGED AND DELIVERED TO CSM.
 - EXISTING AGGREGATE BASE MATERIAL SHALL BE SALVAGED AND STOCKPILED FOR USE PENDING TESTING, REVIEW, AND APPROVAL BY THE GEOTECHNICAL ENGINEER.
 - REFER TO THE LANDSCAPE UNDERSTORY PLANTING DRAWINGS FOR CLEARING AND GRUBBING REQUIRED FOR SITE IMPROVEMENTS AND UNDERSTORY PLANTING.
 - FOR ITEMS THAT WILL BE SALVAGED OR PRESERVED, PARKS WILL NEED TO CONFIRM WHERE THE ITEMS WILL BE STORED BEFORE THEY BECOME REUSED.
 - CONTRACTOR TO CONFIRM EXISTENCE IN FIELD AND COORDINATE WITH COUNTY PARKS STAFF FOR REMOVAL OF ACTIVE, WHERE NOTED ON THE PLANS TO BE ABANDONED IN PLACE, CONTRACTOR TO PROVIDE COUNTY PARKS A FIELD REVIEWED MAP OF ALL ABANDONED EXISTING UTILITIES.
 - CONTRACTOR TO SAMPLE DEPTHS OF EXISTING MATERIAL AND REMOVE TO DEPTH ALLOWABLE BY SFPUC REQUIREMENTS. CONTRACTOR TO COORDINATE WITH SFPUC FOR APPROVED METHODS OF REMOVAL. SEE LANDSCAPE UNDERSTORY PLANTING SCHEDULE FOR TOPSOIL REQUIREMENTS.
 - CONTRACTOR TO OBTAIN REQUIRED PERMITS FOR HAUL ROUTES PRIOR TO DEMOLITION AND CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE BAQMD AIR QUALITY PERMIT.
 - CONTRACTOR TO COORDINATE WITH MENLO PARK MUNICIPAL WATER (MPMW) FOR WATER METER REMOVAL. CONTRACTOR TO REMOVE EXISTING VAULT ONCE MPMW HAS REMOVED THE WATER METER.
 - CONTRACTOR TO THOROUGHLY INVESTIGATE AND FIELD VERIFY EXISTING WATER SYSTEM FEED FROM IRIS LANE PRIOR TO DEMOLITION, AND COORDINATE WITH COUNTY PARKS STAFF FOR PHASED DISCONNECT TO MAINTAIN SERVICE TO SPECIFIC AREAS WITHIN THE PARK AS REQUIRED DURING CONSTRUCTION.

- LEGEND:**
- 1 TO REMAIN/PROTECT IN PLACE
 - 2 TO BE DEMOLISHED AND REMOVED
 - 3 TO BE ABANDONED
 - 4 EXISTING PICNIC TABLES (SEE NOTES 14 & 15)
 - 5 TO BE REINSTALLED IN PLACE
 - 6 TO BE SALVAGED AND DELIVERED TO COUNTY PARKS
 - 7 FUTURE IMPROVEMENTS OUTSIDE OF PHASE 1 SHOWN HEREON FOR REFERENCE ONLY
 - 8 HARDSCAPE TO BE DEMOLISHED & REMOVED
 - 9 AB TO BE DEMOLISHED AND REMOVED
 - 10 AC GRIND AND OVERLAY
 - 11 CLEAR AND GRUB EXISTING LANDSCAPE, SLP PER NOTE 24
 - 12 CLEARING UNDER PROPOSED PAVING AND MULTI-USE FIELD. REMOVE AND DISPOSE OF 3-4 INCHES OF EXISTING VEGETATION, ORGANIC MATERIAL AND DEBRIS.
 - 13 LIMIT OF WORK
 - 14 SAWCUT LINE
 - 15 LIMIT OF GRIND & OVERLAY
 - 16 FENCE TO BE REMOVED
 - 17 FENCE TO BE DISASSEMBLED AND STOCKPILED AT MAINTENANCE YARD
 - 18 UTILITY TO BE ABANDONED
 - 19 UTILITY TO BE REMOVED
 - 20 CONCRETE CURB TO BE REMOVED
 - 21 EXISTING TREE, SLP FOR TREE DISPOSITION



SEE SHEET C3.1 FOR CONTINUATION

SEE SHEET C3.5 FOR CONTINUATION

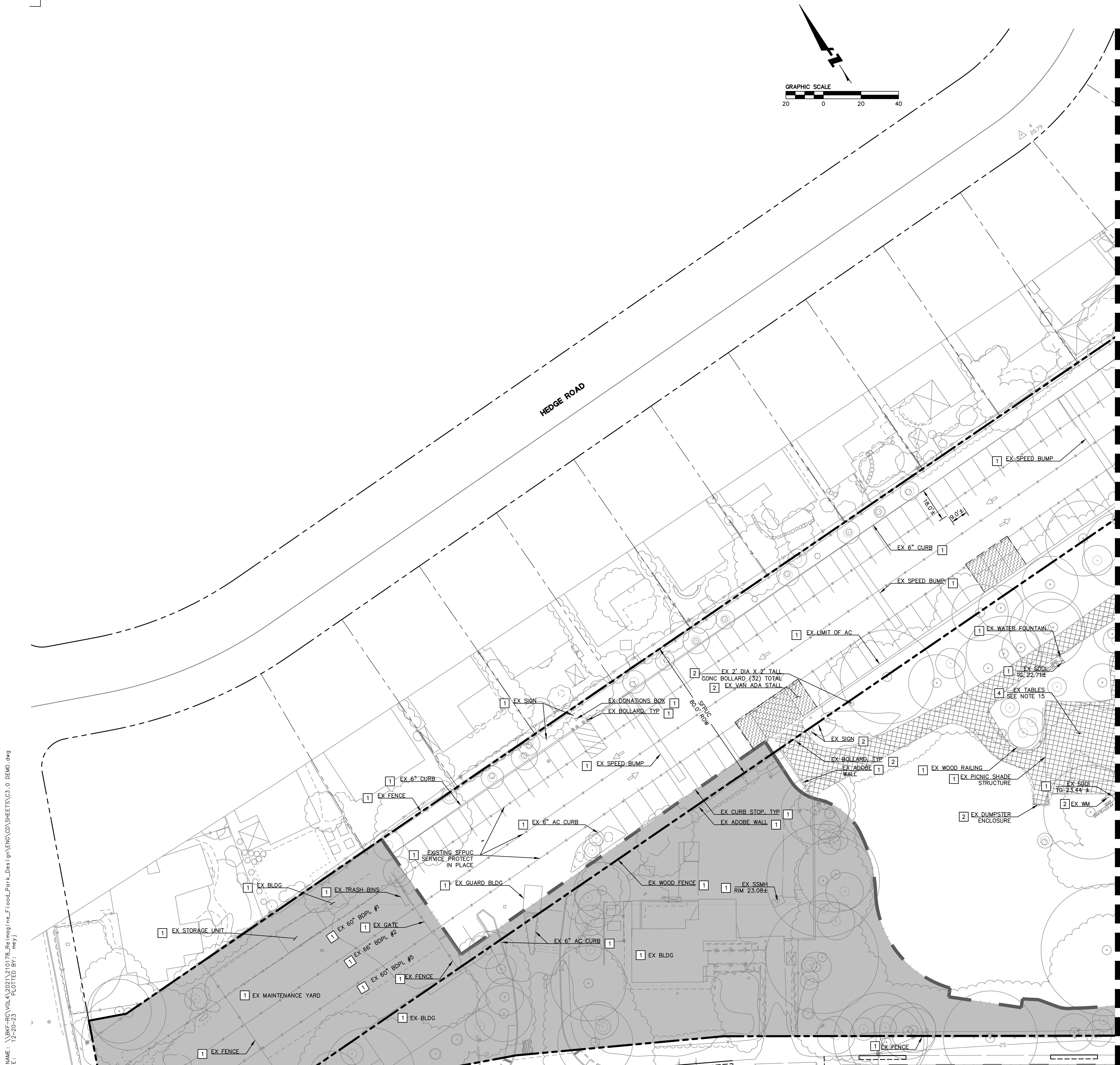
DRAWING NAME: \\BKF-RC\vol4\2021\210178_Re\img\ine_flood_Park_Des\gn\ENG\CD\SHEETS\C3.0 DEMO.dwg
 PLOT DATE: 12-20-23 PLOTTED BY: mey



NO.	ISSUE	DATE
	100% SCHEMATIC DESIGN (30%)	07.18.22
	PHASE 1 - CD PROGRESS SET	09.30.22
	PHASE 1 - 75% PS&E	11.04.22
	PHASE 1 - 90% PS&E	12.09.22
	PHASE 1 - 100% PS&E BID CHK SET	03.20.23
	PHASE 1 - 100% PS&E BID SET	04.28.23
	PHASE 1 - BID PS&E DOCUMENTS	05.26.23
1	BID ADDENDUM 1	07.03.23
2	BID ADDENDUM 2	08.04.23
	PHASE 1 - RE-BID PS&E DOCS	11.01.23
R1	BID ADDENDUM R1	12.22.23



PROJECT	20210178	DRAWN BY	JM, CP, BA
SCALE	AS SHOWN	CHECKED BY	JW, JD
SHEET NUMBER			



NOTES:

- REFER TO C1.0 FOR BASIS OF BEARINGS AND BENCHMARK.
- EXISTING BOUNDARY AND EASEMENT INFORMATION IS BASED ON A REVIEW OF AVAILABLE RECORD MAPS AND TITLE REPORTS FOR THE PROJECT AREA.
- EXISTING UTILITIES AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON A SITE FIELD SURVEY BY BKF ENGINEERS IN MAY, 2022. SHOULD FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN ON THESE PLANS, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTION AND CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES.
- PLANTING REMOVAL SHOWN HEREON FOR REFERENCE. REFER TO LANDSCAPE PLANS FOR DISPOSITION OF EXISTING LANDSCAPING.
- SEE SEPARATE LANDSCAPE PLAN FOR TREE REMOVAL AND PROTECTION LOCATIONS.
- WORK IN CANOPY AND STRUCTURAL ROOT ZONES WILL REQUIRE HAND WORK AND/OR AIR SPADING. REFER TO LANDSCAPE PLANS FOR MORE DETAILS AND INFORMATION.
- HISTORIC ADOBE WALL IS TO BE PROTECTED IN PLACE AND UNDISTURBED. WORK AROUND HISTORIC ADOBE WALL WILL REQUIRE HAND WORK. NOTIFY CIVIL ENGINEER AND/OR LANDSCAPE ARCHITECT AS REQUIRED.
- DEMOLITION OF EXISTING STRUCTURE INCLUDING THE FOUNDATION WILL REQUIRE A PRE-DEMOLITION LEAD/ASBESTOS SAMPLING REPORT PRIOR TO DEMOLITION. IF LEAD/ASBESTOS TRACES ARE FOUND, DEMOLITION WILL BE HANDLED AS HAZARDOUS MATERIAL REMOVAL.
- SAWCUT SHALL BE FULL DEPTH FOR PAVEMENT UNRAVELING.
- CONTRACTOR TO COORDINATE WITH UTILITY OWNER FOR DEMOLITION OF EXISTING PRIVATE AND PUBLIC ELECTRICAL, CABLE, FIBER OPTIC, AND COMMUNICATION STRUCTURES. CONTRACTOR TO COORDINATE WITH COUNTY PARKS STAFF FOR PHASED DISCONNECT OF EXISTING UTILITIES TO MAINTAIN SERVICE TO SPECIFIC AREAS AS REQUIRED DURING CONSTRUCTION.
- CONSTRUCTION WITHIN THE TREE PROTECTION FENCES AROUND EXISTING TREES TO REMAIN SHOULD BE REVIEWED AND INSPECTED BY THE PROJECT ARBORIST AND CONFORM TO THE RECOMMENDATIONS CONTAINED IN THE PROJECT ARBORIST REPORT AND TREE PROTECTION NOTES HELD BY THE LANDSCAPE ARCHITECT.
- EXERCISE CAUTION WHEN REMOVING STORM DRAIN, SANITARY SEWER, AND WATER PIPES DUE TO THE POTENTIAL FOR THE PRESENCE OF ASBESTOS CEMENT PIPE (ACP) AT THE PROJECT SITE. HANDLE AND DISPOSE ASBESTOS PRODUCTS PER APPLICABLE HEALTH CODE REQUIREMENTS.
- REFER TO G-200 SERIES FOR ALL TREE REMOVAL AND PROTECTION REQUIREMENTS, INCLUDING REQUIREMENTS FOR DEMOLITION OPERATIONS WITHIN TREE DRIP ZONES.
- CONTRACTOR TO REMOVE ALL EXISTING CONCRETE AND STEEL PICNIC TABLES. ALL COUNTERS, GRILLS AND OTHER APPURTENANCES INCLUDING THOSE NOT SHOWN ON THE PLANS SHALL BE REMOVED AND DISPOSED OF.
- CONTRACTOR TO REMOVE OAK PICNIC AREA METAL PICNIC TABLE FRAMES, WOOD TOPS AND BENCHES, AND COORDINATE WITH CSM PARKS STAFF TO REVIEW SALVAGE OF WOOD AND METAL FRAMES.
- SFPUC ABOVE GROUND APPURTENANCES TO BE PROTECTED IN PLACE. CONTRACTOR TO PROVIDE WOOD STAKES AND SNOW FENCING AROUND ALL APPURTENANCES PER SFPUC STANDARDS.
- CONTRACTOR TO REPLACE IN KIND AREAS WHERE TRENCHING ACTIVITIES WILL OCCUR.
- HISTORIC STONE BBQ KITCHENS ARE TO BE RETAINED IN-SITU. ALL OTHERS SHALL BE REMOVED AND SALVAGED STONE SHALL BE DELIVERED TO CSM PARKS. CONTRACTOR TO FIELD COORDINATE WITH LANDSCAPE ARCHITECT PRIOR TO DEMOLITION.
- CSM PARKS STAFF WILL REMOVE AND SALVAGE SPLIT RAIL FENCING PRIOR TO CONSTRUCTION. CONTRACTOR IS NOT RESPONSIBLE FOR REMOVAL AND SALVAGE.
- CONTRACTOR TO COORDINATE WITH CSM PARKS STAFF REGARDING STORAGE OF ALL ITEMS TO BE SALVAGED OR PRESERVED.
- CONTRACTOR TO COORDINATE WITH MENLO PARK ARBORIST AND DPW FOR PROPOSED IMPROVEMENTS ON BAY ROAD AND SUBMIT REQUIRED ENCROACHMENT PERMITS, TREE PROTECTION PLANS, AND OTHER AS REQUIRED. WORK WITHIN MENLO PARK TO CONFORM TO MENLO PARK DPW & ARBORIST STANDARDS. ALL ON-SITE WORK IS TO BE COORDINATED WITH PROJECT ARBORIST AND LANDSCAPE ARCHITECT.
- ALL EXISTING SITE SIGNAGE, DRINKING FOUNTAINS AND BEAR SAVER TRASH/RECYCLING RECEPTACLES SHALL BE SALVAGED AND DELIVERED TO CSM.
- EXISTING AGGREGATE BASE MATERIAL SHALL BE SALVAGED AND STOCKPILED FOR REUSE PENDING TESTING, REVIEW, AND APPROVAL BY THE GEOTECHNICAL ENGINEER.
- REFER TO THE LANDSCAPE UNDERSTORY PLANTING DRAWINGS FOR CLEARING AND GRUBBING REQUIRED FOR SITE IMPROVEMENTS AND UNDERSTORY PLANTING.
- FOR ITEMS THAT WILL BE SALVAGED OR PRESERVED, PARKS WILL NEED TO CONFIRM WHERE THE ITEMS WILL BE STORED BEFORE THEY BECOME REUSED.
- CONTRACTOR TO CONFIRM EXISTENCE IN FIELD AND COORDINATE WITH COUNTY PARKS STAFF FOR REMOVAL IF ACTIVE. WHERE NOTED ON THE PLANS TO BE ABANDONED IN PLACE, CONTRACTOR TO PROVIDE COUNTY PARKS A FIELD REVIEWED MAP OF ALL ABANDONED EXISTING UTILITIES.
- CONTRACTOR TO SAMPLE DEPTHS OF EXISTING MATERIAL AND REMOVE TO DEPTH ALLOWABLE BY SFPUC REQUIREMENTS. CONTRACTOR TO COORDINATE WITH SFPUC FOR APPROVED METHODS OF REMOVAL. SEE LANDSCAPE UNDERSTORY PLANTING SCHEDULE FOR TOPSOIL REQUIREMENTS.
- CONTRACTOR TO OBTAIN REQUIRED PERMITS FOR HAUL ROUTES PRIOR TO DEMOLITION AND CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE BAQMD AIR QUALITY PERMIT.
- CONTRACTOR TO COORDINATE WITH MENLO PARK MUNICIPAL WATER (MPMW) FOR WATER METER REMOVAL. CONTRACTOR TO REMOVE EXISTING VAULT ONCE MPMW HAS REMOVED THE WATER METER.
- CONTRACTOR TO THOROUGHLY INVESTIGATE AND FIELD VERIFY EXISTING WATER SYSTEM FEED FROM RIS AND PRIOR TO DEMOLITION, AND COORDINATE WITH COUNTY PARKS STAFF FOR PHASED DISCONNECT TO MAINTAIN SERVICE TO SPECIFIC AREAS WITHIN THE PARK AS REQUIRED DURING CONSTRUCTION.

LEGEND:

- 1 TO REMAIN/PROTECT IN PLACE
- 2 TO BE DEMOLISHED AND REMOVED
- 3 TO BE ABANDONED
- 4 EXISTING PICNIC TABLES (SEE NOTES 14 & 15)
- 5 TO BE REINSTALLED IN PLACE
- 6 TO BE SALVAGED AND DELIVERED TO COUNTY PARKS
- [Hatched Box] FUTURE IMPROVEMENTS OUTSIDE OF PHASE 1 SHOWN HEREON FOR REFERENCE ONLY
- [Cross-hatched Box] HARDSCAPE TO BE DEMOLISHED & REMOVED
- [Diagonal Lines] AB TO BE DEMOLISHED AND REMOVED
- [Dotted Box] AC GRIND AND OVERLAY
- [Wavy Lines] CLEAR AND GRUB EXISTING LANDSCAPE, SLP PER NOTE 24
- [Diagonal Lines] CLEARING UNDER PROPOSED PAVING AND MULTI-USE FIELD. REMOVE AND DISPOSE OF 3-4 INCHES OF EXISTING VEGETATION, ORGANIC MATERIAL AND DEBRIS.
- [Solid Line] LIMIT OF WORK
- [Dashed Line] SAWCUT LINE
- [Dotted Line] LIMIT OF GRIND & OVERLAY
- [Dashed Line with Circles] FENCE TO BE REMOVED
- [Wavy Line with Circles] FENCE TO BE DISASSEMBLED AND STOCKPILED AT MAINTENANCE YARD
- [Dashed Line with Circles] UTILITY TO BE ABANDONED
- [X-X-X-X] UTILITY TO BE REMOVED
- [Dashed Line with Circles] CONCRETE CURB TO BE REMOVED
- [Tree Symbol] EXISTING TREE, SLP FOR TREE DISPOSITION

DRAWING NAME: \\BKF-RC\Vol4\2021\210178_Re\img\ine_flood_Park_Des\gn\ENG\CD\SHEETS\C3.0 DEMO.dwg
 PLOT DATE: 12-20-23 PLOTTED BY: mey

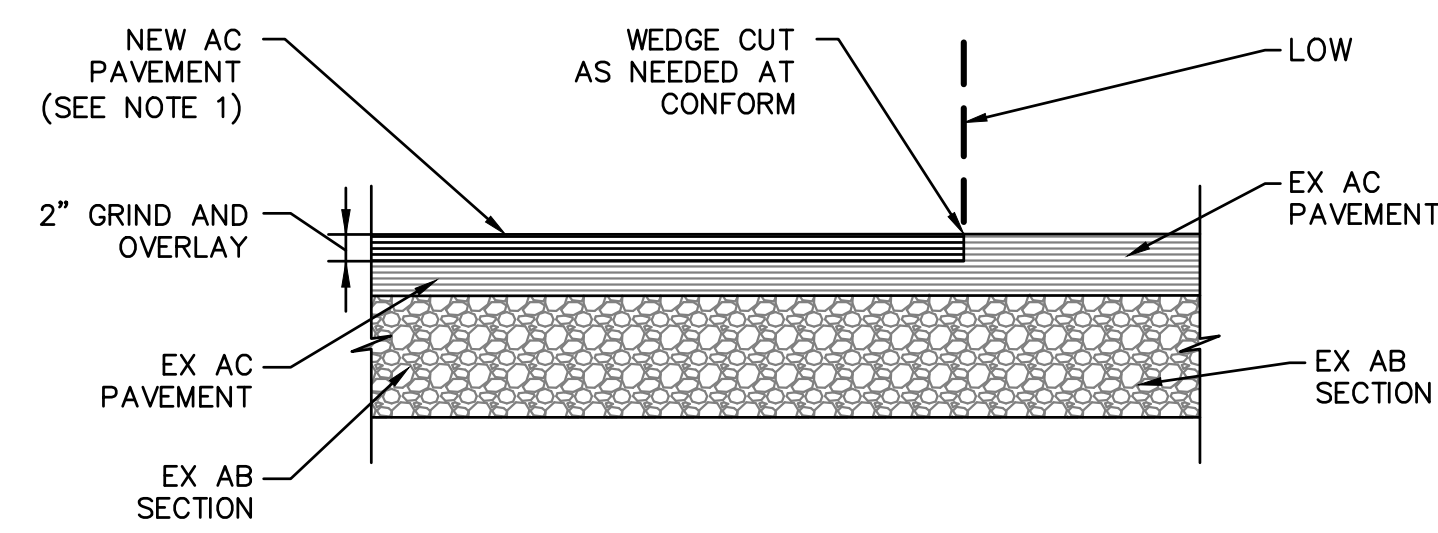
SEE SHEET C3.4 FOR CONTINUATION



NO.	ISSUE	DATE
	100% SCHEMATIC DESIGN (30%)	07.18.22
	PHASE 1 - CD PROGRESS SET	09.30.22
	PHASE 1 - 75% PS&E	11.04.22
	PHASE 1 - 90% PS&E	12.09.22
	PHASE 1 - 100% PS&E BID CHK SET	03.20.23
	PHASE 1 - 100% PS&E BID SET	04.28.23
	PHASE 1 - BID PS&E DOCUMENTS	05.26.23
1	BID ADDENDUM 1	07.03.23
2	BID ADDENDUM 2	08.04.23
	PHASE 1 - RE-BID PS&E DOCS	11.01.23
R1	BID ADDENDUM R1	12.22.23

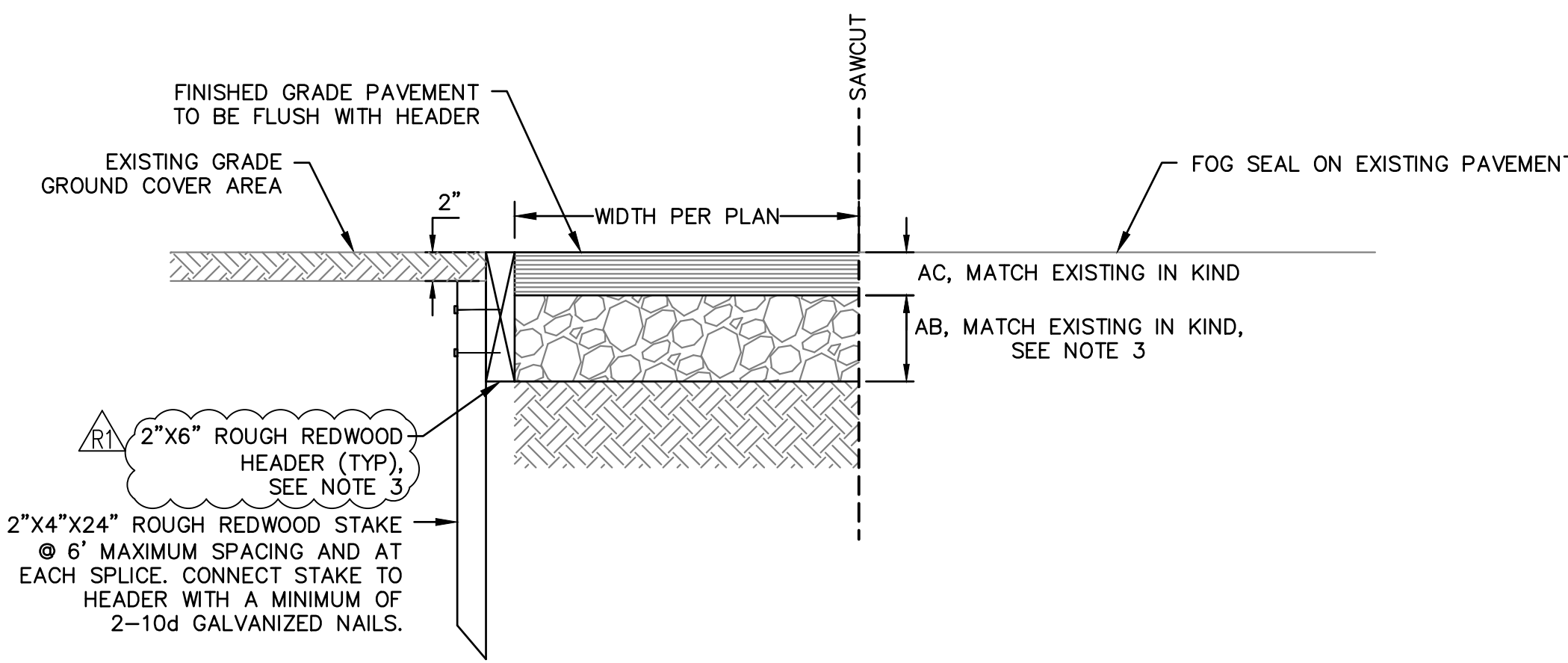


PROJECT	20210178	DRAWN BY	JM, CP, BA
SCALE	AS SHOWN	CHECKED BY	JW, JD
SHEET NUMBER			



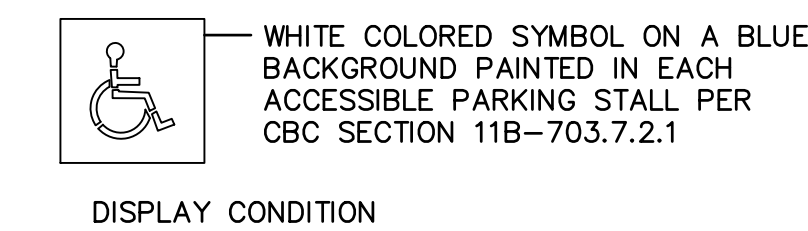
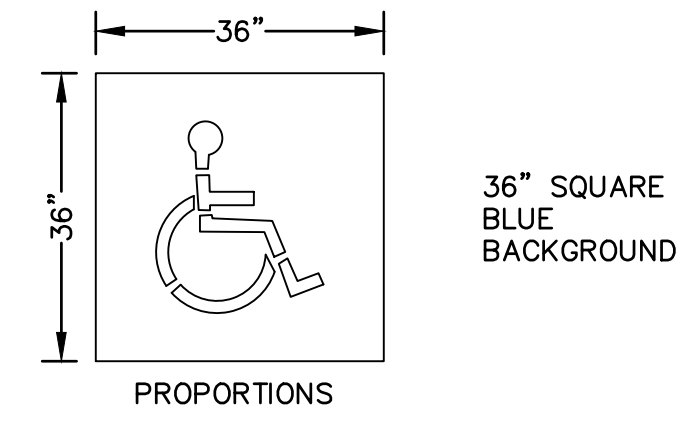
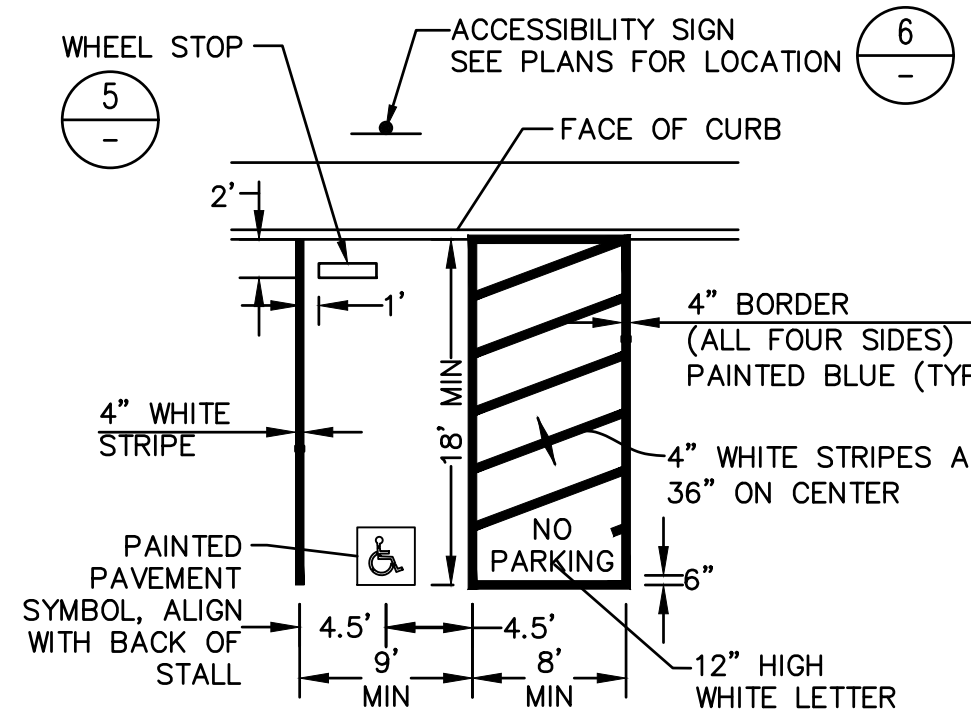
- NOTE:
 1. GRIND EXISTING AC 2" MIN AND OVERLAY TO MATCH EX STREET CROSS SLOPE, SEE PLANS FOR LIMIT OF OVERLAY.

1
 2" GRIND AND OVERLAY
 NTS

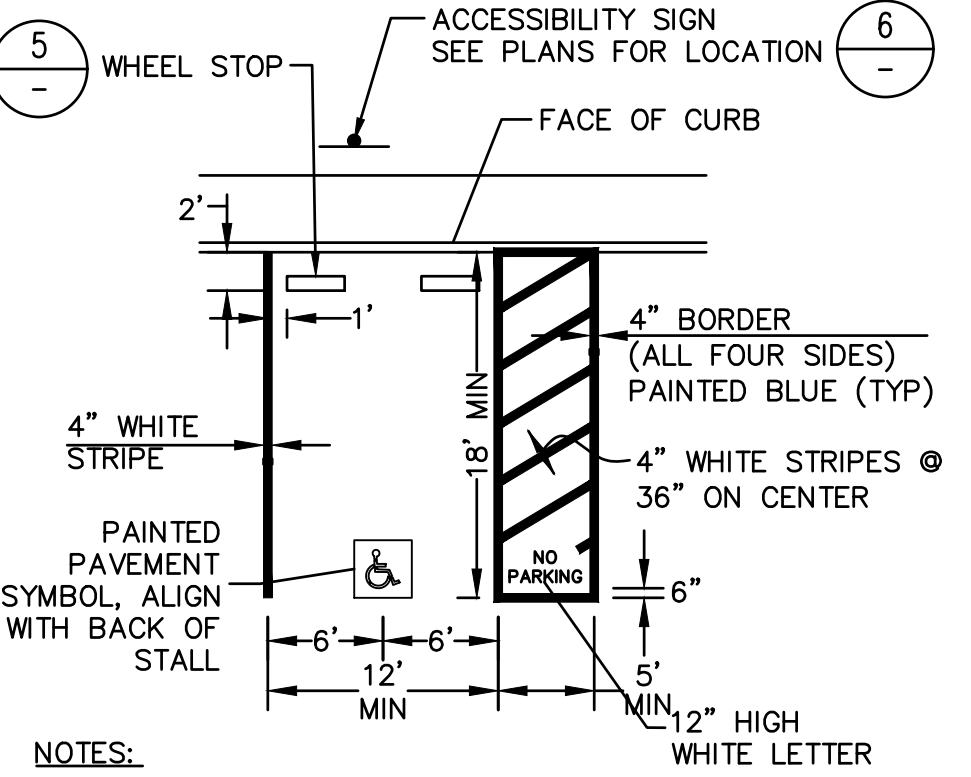


- NOTES:
 1. ALL REDWOOD SHALL BE CONSTRUCTION HEART GRADE.
 2. ALL STAKES SHALL BE INSTALLED ON LANDSCAPE SIDE OF REDWOOD HEADER.
 3. CONTRACTOR TO CONFIRM PAVEMENT SECTION DEPTH PRIOR TO PLACING REDWOOD HEADER. REDWOOD HEADER TO MATCH OR EXTEND PAST BOTTOM OF AB LAYER.

2
 REDWOOD HEADER
 NTS

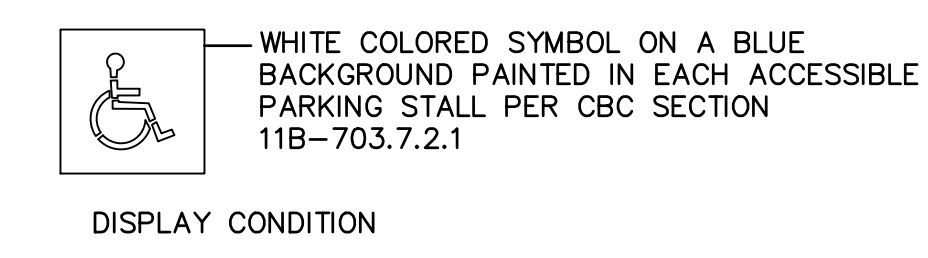
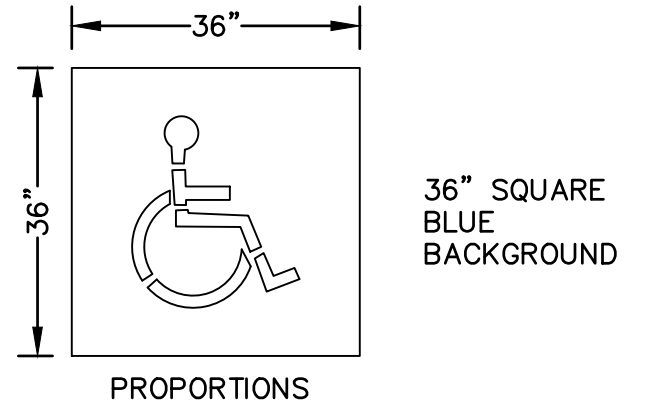


PAINTED PAVEMENT SYMBOL



- NOTES:
 1. EACH ACCESSIBLE SPACE SHALL HAVE SURFACE IDENTIFICATION IN COMPLIANCE WITH CBC SECTIONS 11B-502.6.4.1 OR 11B-502.6.4.2.
 2. "NO PARKING" PAVEMENT MARKING SHALL BE 12" HIGH WHITE LETTERS AND SHALL BE LOCATED TO BE VISIBLE FROM ADJACENT VEHICULAR WAY. (CBC 11B-502.3.3)
 3. SURFACE OF PARKING SPACE AND ACCESS AISLE SHALL NOT BE STEEPER THAN 1:48 (2%) IN ANY DIRECTION. NO CHANGES IN ELEVATION ARE ALLOWED. (CBC 11B-502.4)
 4. VERTICAL CLEARANCE SHALL NOT BE LESS THAN 8'-2". (CBC 11B-502.5)
 5. ACCESS AISLE SHALL BE LOCATED ON THE PASSENGER SIDE OF VEHICLE PARKING SPACE. (CBC 11B-502.3.4)
 7. ON THE GROUND, AT THE ACCESSIBLE PARKING LOADING/UNLOADING AISLE, A PAINTED SIGN INDICATING "NO PARKING" SHALL BE PAINTED IN 12" HIGH WHITE LETTERS AND LOCATED SO THAT IT IS VISIBLE TO TRAFFIC ENFORCEMENT OFFICIALS PER CBC 11B-502.3.3.

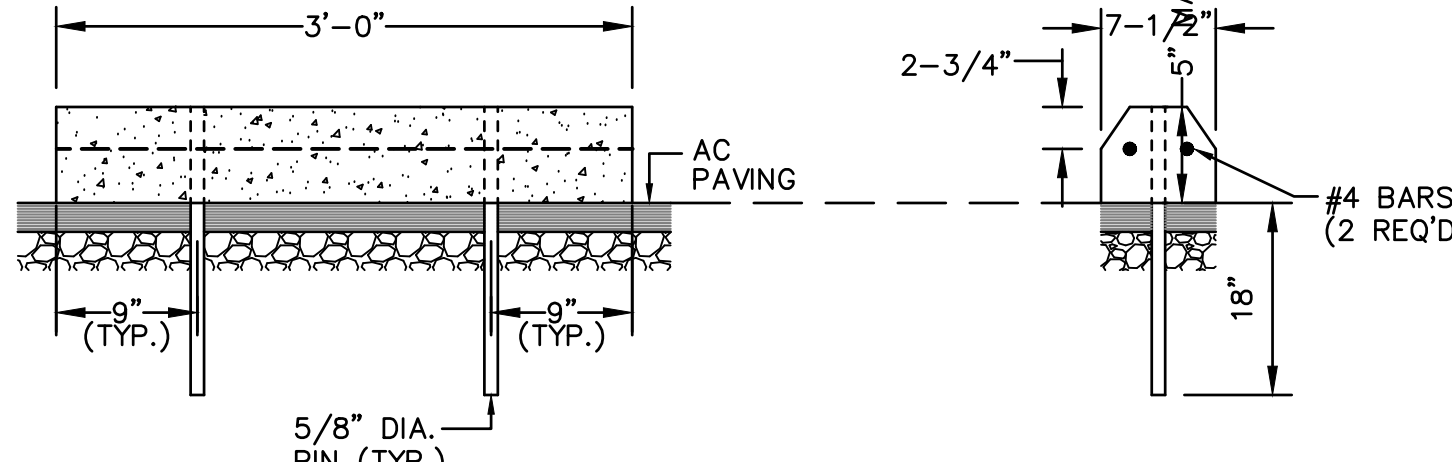
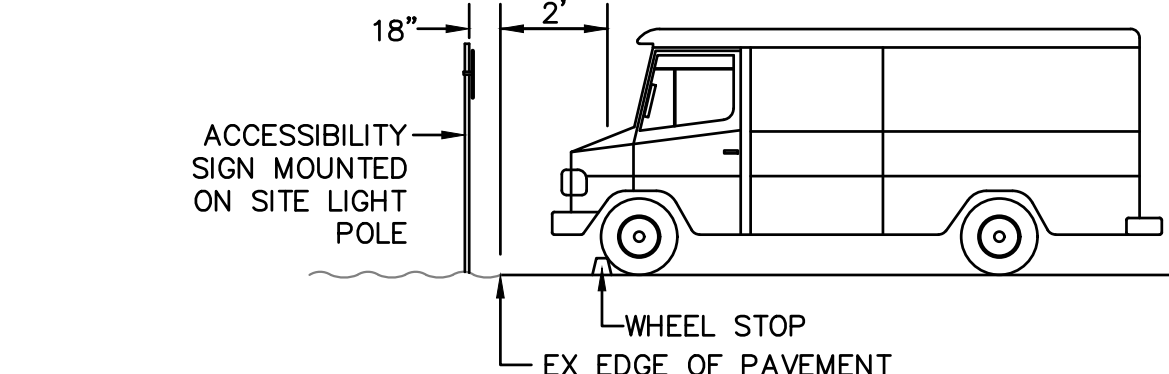
4
 VAN ADA PARKING STALL
 NTS



PAINTED PAVEMENT SYMBOL

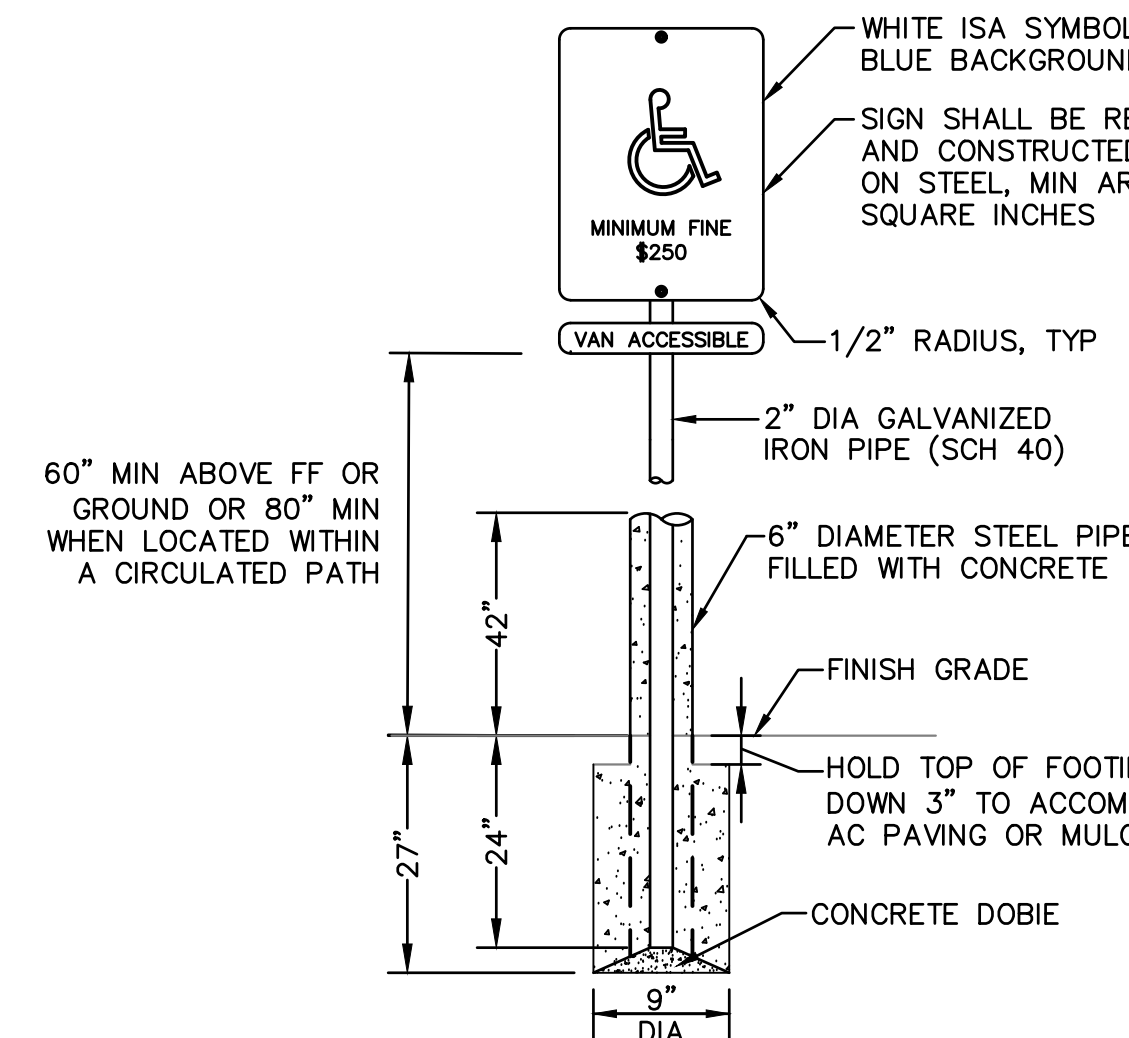
- NOTES:
 1. EACH ACCESSIBLE SPACE SHALL HAVE SURFACE IDENTIFICATION IN COMPLIANCE WITH CBC SECTIONS 11B-502.6.4.1 OR 11B-502.6.4.2.
 2. "NO PARKING" PAVEMENT MARKING SHALL BE 12" HIGH WHITE LETTERS AND SHALL BE LOCATED TO BE VISIBLE FROM ADJACENT VEHICULAR WAY. (CBC 11B-502.3.3)
 3. SURFACE OF PARKING SPACE AND ACCESS AISLE SHALL NOT BE STEEPER THAN 1:48 (2%) IN ANY DIRECTION. NO CHANGES IN ELEVATION ARE ALLOWED. (CBC 11B-502.4)
 4. VERTICAL CLEARANCE SHALL NOT BE LESS THAN 8'-2". (CBC 11B-502.5)
 5. ACCESS AISLE SHALL BE LOCATED ON EITHER SIDE OF VEHICLE PARKING SPACE. (CBC 11B-502.3.4)

3
 STANDARD ADA PARKING STALL
 NTS



- NOTE:
 1. PROVIDE WHEEL STOP IN COMPLIANCE WITH CBC SECTION 11B-502.7.2

5
 CONCRETE WHEEL STOP
 NTS



- NOTES:
 1. A PARKING SPACE IDENTIFICATION SIGN SHALL BE VISIBLE FROM EACH PARKING SPACE. SIGNS SHALL BE PERMANENTLY POSTED EITHER IMMEDIATELY ADJACENT TO THE PARKING SPACE OR WITHIN THE PROJECTED PARKING SPACE WIDTH AT THE HEAD END OF THE PARKING SPACE. SIGNS MAY ALSO BE PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE. (CBC 11B-502.6)
 2. SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN WITH THE DESIGNATION "VAN ACCESSIBLE".

6
 ACCESSIBLE PARKING SIGN
 NTS

DRAWING NAME: \\BKF-rc\vol4\2021\210178\Re\img\ine_flood_Park_Design\ENG\CD\SHEETS\C10.1_0 DETAILS.dwg
 PLOT DATE: 12-20-23 PLOTTED BY: mey

CSM 2101 - MATERIALS SCHEDULE

PAVING table with columns: TAG, SYMBOL, TYPE, DETAIL, MANUFACTURER, PRODUCT, NOTES/DESCRIPTION. Includes items like ASPHALT PAVING, DETECTABLE WARNING STRIPS, TENNIS COURT PAVING, etc.

SITE ELEMENTS table with columns: TAG, SYMBOL, TYPE, DETAIL, MANUFACTURER, PRODUCT, NOTES/DESCRIPTION. Includes items like SPECTATOR SEATING, DRINKING FOUNTAIN, WASTE RECEPTACLES, BENCH, etc.

PICNIC AREAS table with columns: TAG, SYMBOL, TYPE, DETAIL, MANUFACTURER, PRODUCT, NOTES/DESCRIPTION. Includes items like OAK PICNIC AREA STRUCTURES, PICNIC TABLES, GRILL COUNTERS, etc.

SPORTS COURT/FIELD ELEMENTS table with columns: TAG, SYMBOL, TYPE, DETAIL, MANUFACTURER, PRODUCT, NOTES/DESCRIPTION. Includes items like BASKETBALL RIM, TENNIS COURT FENCE, TENNIS COURT NET, etc.

RESERVABLE PICNIC AREA (R.P.A.) KEY table with columns: AREA KEY, CAPACITY, ACCESSIBLE TABLES, STANDARD TABLES, COUNTERS, GRILLS, NOTES. Includes items like OAK PICNIC AREA, BAY R.P.A., MAPLE R.P.A., etc.

DROP-IN PICNIC AREA KEY table with columns: AREA KEY, CAPACITY, ACCESSIBLE TABLES, STANDARD TABLES, GRILLS, NOTES. Includes items like D1, D2, D3, etc.

GENERAL NOTES

- 1. SEE CIVIL DRAWINGS FOR PARKING LOT PAVING/STRIPING
2. EXISTING PAVING/STRUCTURES NOT NOTED FOR DEMOLITION TO REMAIN PROTECTED DURING CONSTRUCTION
3. ALL PRODUCTS SPECIFIED BY SPECIFIC PRODUCT OR MANUFACTURER MAY BE SUBSTITUTED FOR APPROVED EQUAL...

SYNTHETIC TURF CALIFORNIA MULTIPLE AWARD SCHEDULE (CMAS) PROCUREMENT NOTES:

- 1. THE SYNTHETIC TURF FOR THE SMALL MULTIUSE FIELD AND THE VOLLEYBALL SEATING AREA SHALL BE PROVIDED AND INSTALLED BY A VENDOR THROUGH A CALIFORNIA MULTIPLE AWARD SCHEDULE (CMAS) PROCUREMENT PROCESS.
2. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE COUNTY CONSTRUCTION MANAGEMENT TEAM AND THE VENDOR TO COORDINATE SITE PREPARATION AND SCHEDULING OF THE WORK.

REUSE OF EXISTING AGGREGATE BASE MATERIAL

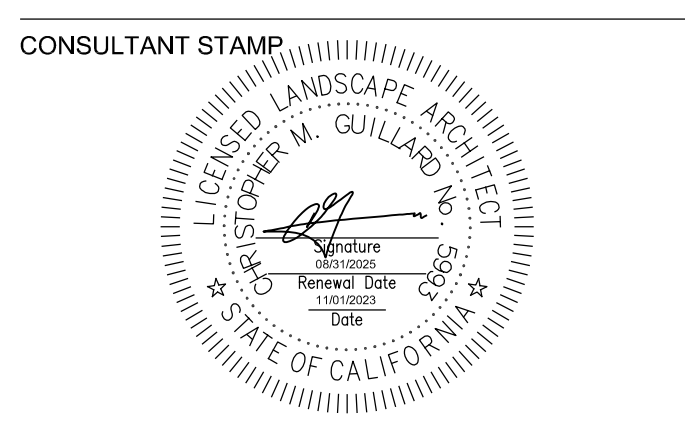
- 1. EXISTING AGGREGATE BASE ROCK MAY BE STOCKPILED AND REUSED PENDING FIELD REVIEW AND TESTING AS DIRECTED BY THE GEOTECHNICAL ENGINEER.

cmg Landscape Architecture 444 Bryant St San Francisco, CA 94107 415.495.3070 www.cmg-site.com

OWNER/CLIENT SAN MATEO COUNTY PARKS DEPARTMENT, 455 COUNTY CENTER, 4TH FLOOR REDWOOD CITY, CA 94063

CONSULTANTS

PROJECT NAME FLOOD PARK 215 BAY RD. MENLO PARK, CA 94025



PHASE 1 BID PS&E DOCUMENTS

Table with columns: NO., ISSUE, DATE. Lists revision history for 100% SCHEMATIC DESIGN (30%), PHASE 1 - CD PROGRESS SET, PHASE 1 - 75% PS&E, etc.

COUNTY OF SAN MATEO - DPW STAMP

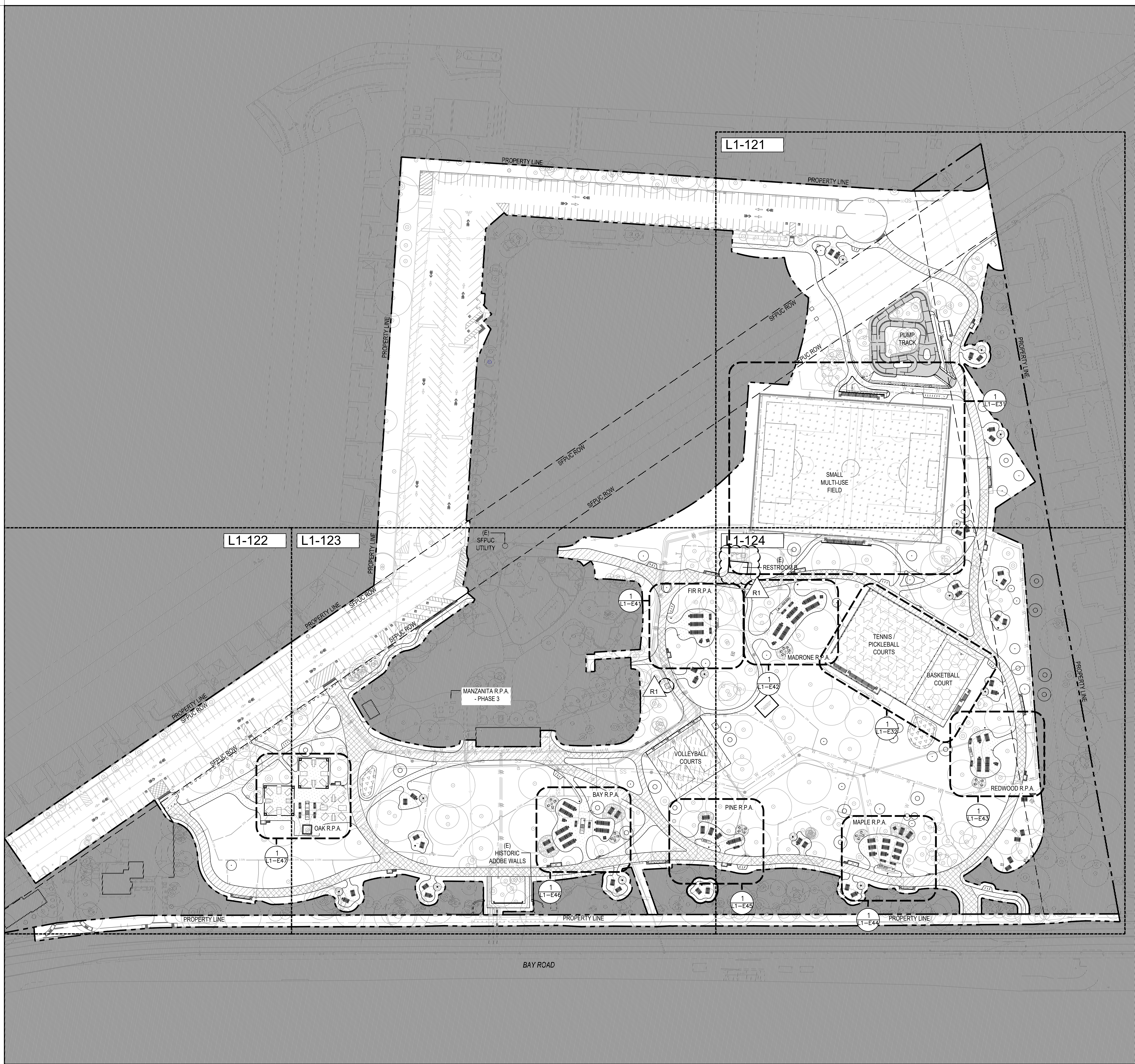


SHEET TITLE

LANDSCAPE MATERIALS SCHEDULE

Table with columns: PROJECT, SCALE, SHEET NUMBER, DRAWN BY, CHECKED BY. Values include CSM 2101, AFO, JY, NA, AMP, CG, AMP.

L1-100 (REV.)



CSM 2101 - MATERIALS SCHEDULE

PAVING

TAG	SYMBOL	TYPE
P1	[Symbol]	ASPHALT PAVING - PEDESTRIAN
P2	[Symbol]	ASPHALT PAVING - VEHICULAR
P3	[Symbol]	ASPHALT PAVING - VEHICULAR AT TREE ZONE
P4	[Symbol]	DETECTABLE WARNING STRIPS
P5	[Symbol]	STABILIZED CRUSHED STONE PAVING
P6	[Symbol]	TENNIS COURT PAVING AND SURFACING
P7	[Symbol]	BASKETBALL COURT PAVING AND SURFACING
P8	[Symbol]	PUMP TRACK
P9	[Symbol]	VOLLEYBALL SAND
P10	[Symbol]	CONCRETE CURB
P11	[Symbol]	SYNTHETIC TURF
P12	[Symbol]	FLAGSTONE PAVING
P13	[Symbol]	GRAVEL MULCH
P14	[Symbol]	ATHLETIC FIELD CONC. PERIMETER CURB

SITE ELEMENTS

TAG	SYMBOL	TYPE
S1	[Symbol]	SPECTATOR SEATING
S2	[Symbol]	DRINKING FOUNTAIN
S3	[Symbol]	WASTE RECEPTACLES
S4	[Symbol]	BENCH
S5	[Symbol]	ADIRONDACK CHAIRS AND RECLAIMED LOG TABLES
S6	[Symbol]	BIKE RACKS
S7	[Symbol]	VEHICULAR CHAINLINK GATE
S8	[Symbol]	WIFI POLE
S9	[Symbol]	REMOVABLE BOLLARDS
S10	[Symbol]	PARKING LOT BOULDERS
S11	[Symbol]	UTILITY FENCE AT RESTROOM B
S12	[Symbol]	ELECTRICAL EQUIPMENT ENCLOSURE
S13	[Symbol]	PUMP TRACK FENCE
S14	[Symbol]	TREE BRANCH BRACES
S15	[Symbol]	BIKE REPAIR STATION

PICNIC AREAS

TAG	SYMBOL	TYPE
A1	[Symbol]	OAK PICNIC AREA STRUCTURES
A2	[Symbol]	PICNIC TABLES (OAK PICNIC AREA)
A3	[Symbol]	KIDS PICNIC TABLE
A4	[Symbol]	STD. 8' PICNIC TABLE
A5	[Symbol]	STD. 10' PICNIC TABLE
A6	[Symbol]	NEW PEDESTAL GRILLS
A7	[Symbol]	LARGE COUNTERTOP GRILLS
A8	[Symbol]	SMALL COUNTERTOP GRILLS
A9	[Symbol]	SINKS
A10	[Symbol]	GRILL COUNTERS
A11	[Symbol]	WOOD COUNTERS
A12	[Symbol]	DUMPSTERS AND ENCLOSURES
A13	[Symbol]	PINATA HANGERS (N.I.C)

SPORTS COURT/FIELD ELEMENTS

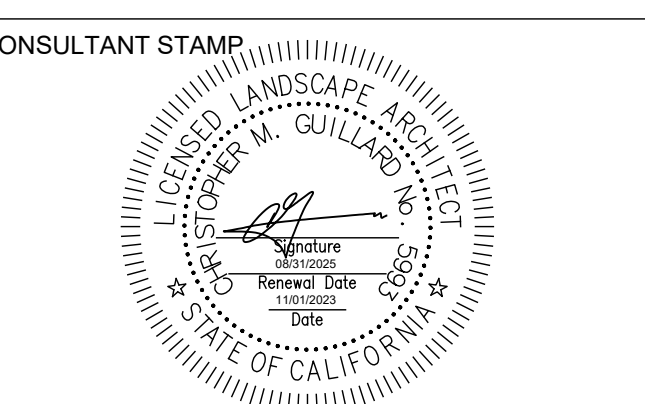
TAG	SYMBOL	TYPE
F1	[Symbol]	BASKETBALL RIM, BACKBOARD, POLE AND NYLON NET
F2	[Symbol]	TENNIS COURT FENCE
F3	[Symbol]	TENNIS COURT NET
F4	[Symbol]	VOLLEYBALL NET, POLE & RATCHET, J-BOLT, AND ANCHOR
F5	[Symbol]	STORAGE SHED
F6	[Symbol]	S12 SOCCER GOALS

cmg
 Landscape Architecture
 444 Bryant St
 San Francisco, CA 94107
 415.495.3070
 www.cmgsite.com

OWNER/CLIENT
 SAN MATEO COUNTY
 PARKS DEPARTMENT,
 455 COUNTY CENTER, 4TH FLOOR
 REDWOOD CITY, CA 94063

CONSULTANTS

PROJECT NAME
FLOOD PARK
 215 BAY RD.
 MENLO PARK, CA 94025



PHASE
PHASE 1 BID PS&E DOCUMENTS

NO.	ISSUE	DATE
	100% SCHEMATIC DESIGN (30%)	07.18.22
	PHASE 1 - CD PROGRESS SET	10.07.22
	PHASE 1 - 75% PS&E	11.04.22
	PHASE 1 - 90% PS&E	12.09.22
	PHASE 1 - 100% PS&E BID CHK SET	03.20.23
	PHASE 1 - 100% PS&E BID SET	04.28.23
	PHASE 1 - BID PS&E DOCUMENTS	05.26.23
1	BID ADDENDUM 1	07.03.23
2	BID ADDENDUM 2	08.04.23
	PHASE 1 - RE-BID PS&E DOCS	11.01.23
R1	BID ADDENDUM R1	12.22.23

COUNTY OF SAN MATEO - DPW STAMP



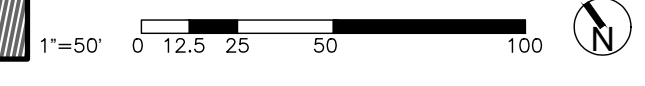
SHEET TITLE

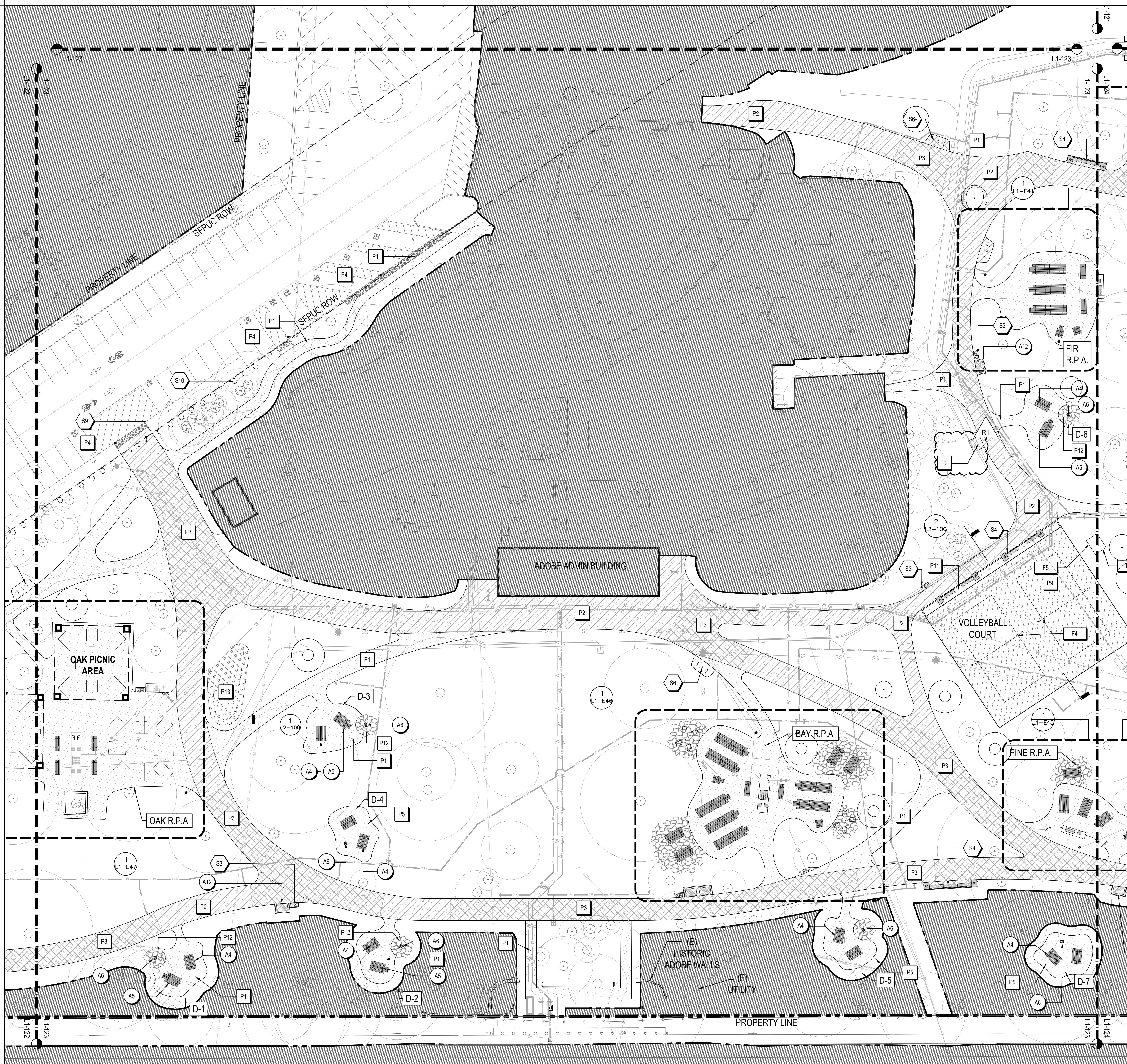
LANDSCAPE MATERIALS PLAN

PROJECT CSM 2101 DRAWN BY AFO, JY, NA, AMP
 SCALE CHECKED BY CG, AMP

SHEET NUMBER

L1-110
 (REV.)





CSM 2101 - MATERIALS SCHEDULE

PAVING

TAG	SYMBOL	TYPE
P1	[Symbol]	ASPHALT PAVING - PEDESTRIAN
P2	[Symbol]	ASPHALT PAVING - VEHICULAR
P3	[Symbol]	ASPHALT PAVING - VEHICULAR AT TREE ZONE
P4	[Symbol]	DETECTABLE WARNING STRIPS
P5	[Symbol]	STABILIZED CRUSHED STONE PAVING
P6	[Symbol]	TENNIS COURT PAVING AND SURFACING
P7	[Symbol]	BASKETBALL COURT PAVING AND SURFACING
P8	[Symbol]	PUMP TRACK
P9	[Symbol]	VOLLEYBALL SAND
P10	[Symbol]	CONCRETE CURB
P11	[Symbol]	SYNTHETIC TURF
P12	[Symbol]	FLAGSTONE PAVING
P13	[Symbol]	GRAVEL MULCH
P14	[Symbol]	ATHLETIC FIELD CONC. PERIMETER CURB

SITE ELEMENTS

TAG	SYMBOL	TYPE
S1	[Symbol]	SPECTATOR SEATING
S2	[Symbol]	DRINKING FOUNTAIN
S3	[Symbol]	WASTE RECEPTACLES
S4	[Symbol]	BENCH
S5	[Symbol]	ADIRONDACK CHAIRS AND RECLAIMED LOG TABLES
S6	[Symbol]	BIKE RACKS
S7	[Symbol]	VEHICULAR CHAINLINK GATE
S8	[Symbol]	WIFI POLE
S9	[Symbol]	REMOVABLE BOLLARDS
S10	[Symbol]	PARKING LOT BOULDERS
S11	[Symbol]	UTILITY FENCE AT RESTROOM B
S12	[Symbol]	ELECTRICAL EQUIPMENT ENCLOSURE
S13	[Symbol]	PUMP TRACK FENCE
S14	[Symbol]	TREE BRANCH BRACES
S15	[Symbol]	BIKE REPAIR STATION

PICNIC AREAS

TAG	SYMBOL	TYPE
A1	[Symbol]	OAK PICNIC AREA STRUCTURES
A2	[Symbol]	PICNIC TABLES (OAK PICNIC AREA)
A3	[Symbol]	KIDS PICNIC TABLE
A4	[Symbol]	STD. 8' PICNIC TABLE
A5	[Symbol]	STD. 10' PICNIC TABLE
A6	[Symbol]	NEW PEDESTAL GRILLS
A7	[Symbol]	LARGE COUNTERTOP GRILLS
A8	[Symbol]	SMALL COUNTERTOP GRILLS
A9	[Symbol]	SINKS
A10	[Symbol]	GRILL COUNTERS
A11	[Symbol]	WOOD COUNTERS
A12	[Symbol]	DUMPSTERS AND ENCLOSURES
A13	[Symbol]	PINATA HANGERS (N.I.C)

SPORTS COURT/FIELD ELEMENTS

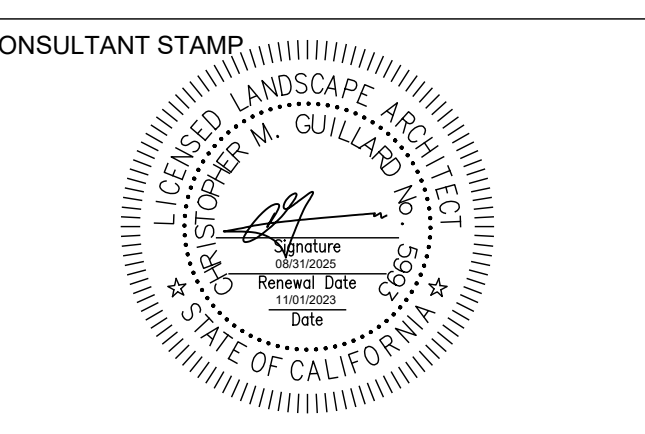
TAG	SYMBOL	TYPE
F1	[Symbol]	BASKETBALL RIM, BACKBOARD, POLE AND NYLON NET
F2	[Symbol]	TENNIS COURT FENCE
F3	[Symbol]	TENNIS COURT NET
F4	[Symbol]	VOLLEYBALL NET, POLE & RATCHET, J-BOLT, AND ANCHOR
F5	[Symbol]	STORAGE SHED
F6	[Symbol]	S12 SOCCER GOALS

cmg
 Landscape Architecture
 444 Bryant St
 San Francisco, CA 94107
 415.495.3070
 www.cmg-site.com

OWNER/CLIENT
 SAN MATEO COUNTY
 PARKS DEPARTMENT,
 455 COUNTY CENTER, 4TH FLOOR
 REDWOOD CITY, CA 94063

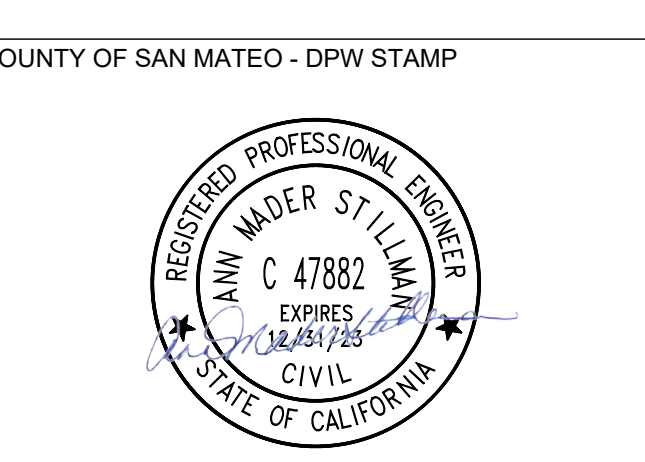
CONSULTANTS

PROJECT NAME
FLOOD PARK
 215 BAY RD.
 MENLO PARK, CA 94025



PHASE
PHASE 1 BID PS&E DOCUMENTS

NO.	ISSUE	DATE
	100% SCHEMATIC DESIGN (30%)	07.18.22
	PHASE 1 - CD PROGRESS SET	10.07.22
	PHASE 1 - 75% PS&E	11.04.22
	PHASE 1 - 90% PS&E	12.09.22
	PHASE 1 - 100% PS&E BID CHK SET	03.20.23
	PHASE 1 - 100% PS&E BID SET	04.28.23
	PHASE 1 - BID PS&E DOCUMENTS	05.26.23
1	BID ADDENDUM 1	07.03.23
2	BID ADDENDUM 2	08.04.23
	PHASE 1 - RE-BID PS&E DOCS	11.01.23
R1	BID ADDENDUM R1	12.22.23



COUNTY OF SAN MATEO - DPW STAMP

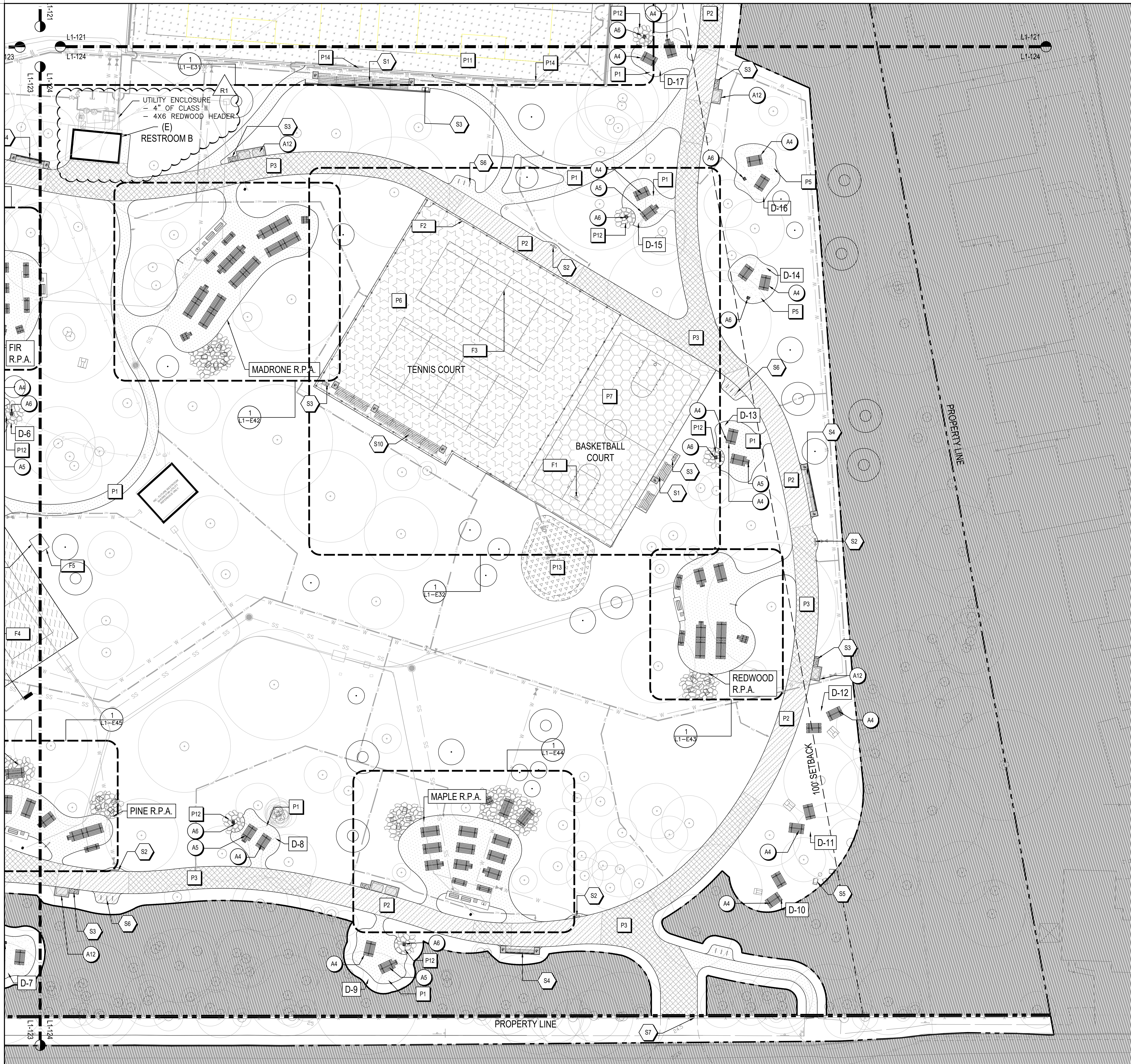
SHEET TITLE
MATERIALS ENLARGEMENT PLAN

PROJECT
 CSM 2101

SCALE
 1" = 20'-0"

SHEET NUMBER

L1-123
 (REV.)



CSM 2101 - MATERIALS SCHEDULE

PAVING		
TAG	SYMBOL	TYPE
P1	[Symbol]	ASPHALT PAVING - PEDESTRIAN
P2	[Symbol]	ASPHALT PAVING - VEHICULAR
P3	[Symbol]	ASPHALT PAVING - VEHICULAR AT TREE ZONE
P4	[Symbol]	DETECTABLE WARNING STRIPS
P5	[Symbol]	STABILIZED CRUSHED STONE PAVING
P6	[Symbol]	TENNIS COURT PAVING AND SURFACING
P7	[Symbol]	BASKETBALL COURT PAVING AND SURFACING
P8	[Symbol]	PUMP TRACK
P9	[Symbol]	VOLLEYBALL SAND
P10	[Symbol]	CONCRETE CURB
P11	[Symbol]	SYNTHETIC TURF
P12	[Symbol]	FLAGSTONE PAVING
P13	[Symbol]	GRAVEL MULCH
P14	[Symbol]	ATHLETIC FIELD CONC. PERIMETER CURB

SITE ELEMENTS		
TAG	SYMBOL	TYPE
S1	[Symbol]	SPECTATOR SEATING
S2	[Symbol]	DRINKING FOUNTAIN
S3	[Symbol]	WASTE RECEPTACLES
S4	[Symbol]	BENCH
S5	[Symbol]	ADIRONDACK CHAIRS AND RECLAIMED LOG TABLES
S6	[Symbol]	BIKE RACKS
S7	[Symbol]	VEHICULAR CHAINLINK GATE
S8	[Symbol]	WIFI POLE
S9	[Symbol]	REMOVABLE BOLLARDS
S10	[Symbol]	PARKING LOT BOULDERS
S11	[Symbol]	UTILITY FENCE AT RESTROOM B
S12	[Symbol]	ELECTRICAL EQUIPMENT ENCLOSURE
S13	[Symbol]	PUMP TRACK FENCE
S14	[Symbol]	TREE BRANCH BRACES
S15	[Symbol]	BIKE REPAIR STATION

PICNIC AREAS		
TAG	SYMBOL	TYPE
A1	[Symbol]	OAK PICNIC AREA STRUCTURES
A2	[Symbol]	PICNIC TABLES (OAK PICNIC AREA)
A3	[Symbol]	KIDS PICNIC TABLE
A4	[Symbol]	STD. 8' PICNIC TABLE
A5	[Symbol]	STD. 10' PICNIC TABLE
A6	[Symbol]	NEW PEDESTAL GRILLS
A7	[Symbol]	LARGE COUNTERTOP GRILLS
A8	[Symbol]	SMALL COUNTERTOP GRILLS
A9	[Symbol]	SINKS
A10	[Symbol]	GRILL COUNTERS
A11	[Symbol]	WOOD COUNTERS
A12	[Symbol]	DUMPSTERS AND ENCLOSURES
A13	[Symbol]	PINATA HANGERS (N.I.C)

SPORTS COURT/FIELD ELEMENTS		
TAG	SYMBOL	TYPE
F1	[Symbol]	BASKETBALL RIM, BACKBOARD, POLE AND NYLON NET
F2	[Symbol]	TENNIS COURT FENCE
F3	[Symbol]	TENNIS COURT NET
F4	[Symbol]	VOLLEYBALL NET, POLE & RATCHET, J-BOLT, AND ANCHOR
F5	[Symbol]	STORAGE SHED
F6	[Symbol]	S12 SOCCER GOALS

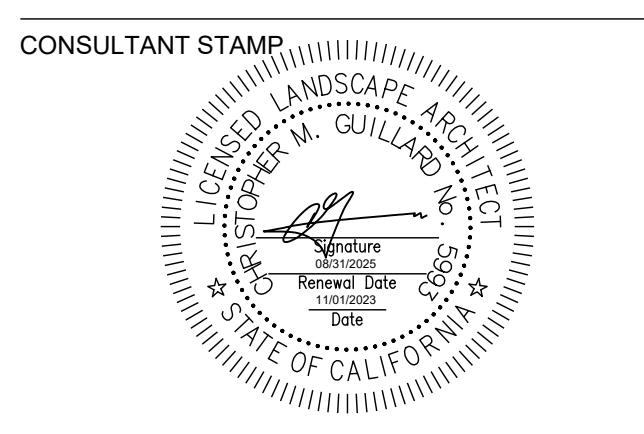


Landscape Architecture
 444 Bryant St
 San Francisco, CA 94107
 415.495.3070
 www.cmgsite.com

OWNER/CLIENT
 SAN MATEO COUNTY
 PARKS DEPARTMENT,
 455 COUNTY CENTER, 4TH FLOOR
 REDWOOD CITY, CA 94063

CONSULTANTS

PROJECT NAME
FLOOD PARK
 215 BAY RD.
 MENLO PARK, CA 94025



PHASE
PHASE 1 BID PS&E DOCUMENTS

NO.	ISSUE	DATE
	100% SCHEMATIC DESIGN (30%)	07.18.22
	PHASE 1 - CD PROGRESS SET	10.07.22
	PHASE 1 - 75% PS&E	11.04.22
	PHASE 1 - 90% PS&E	12.09.22
	PHASE 1 - 100% PS&E BID CHK SET	03.20.23
	PHASE 1 - 100% PS&E BID SET	04.28.23
	PHASE 1 - BID PS&E DOCUMENTS	05.26.23
1	BID ADDENDUM 1	07.03.23
2	BID ADDENDUM 2	08.04.23
	PHASE 1 - RE-BID PS&E DOCS	11.01.23
R1	BID ADDENDUM R1	12.22.23

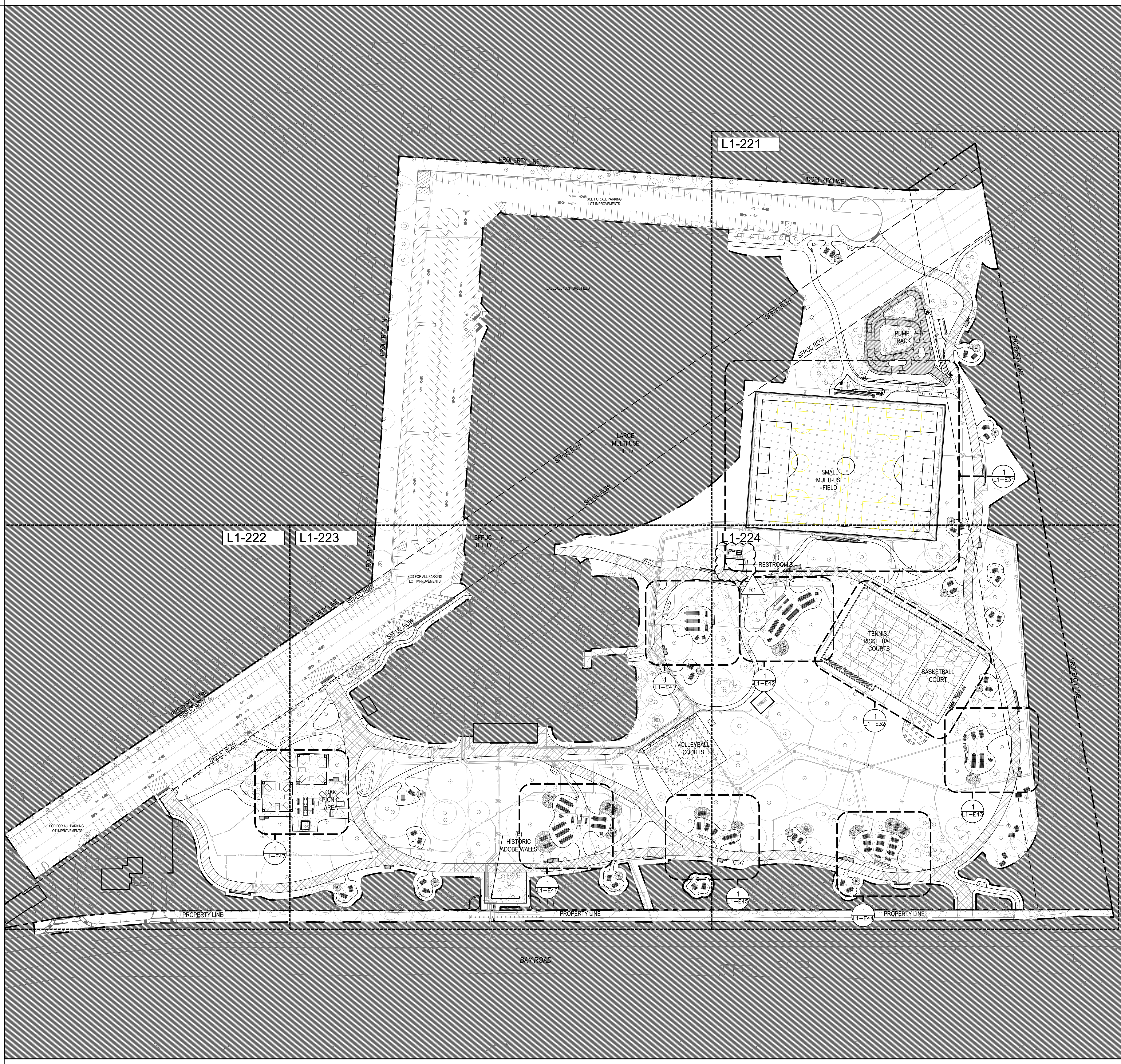
COUNTY OF SAN MATEO - DPW STAMP



SHEET TITLE
MATERIALS ENLARGEMENT PLAN

PROJECT CSM 2101 DRAWN BY AFO, JY, NA, AMP
 SCALE 1" = 20'-0" CHECKED BY CG, AMP
 SHEET NUMBER

L1-124
 (REV.)



LAYOUT LEGEND

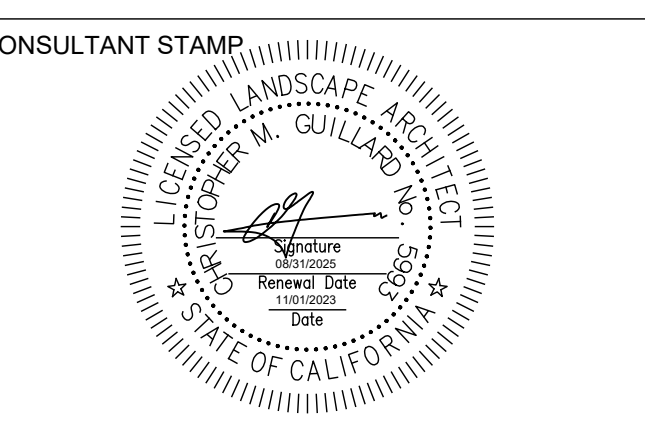
- DIMENSION
- ANGLE
- ARC LENGTH
- RADIUS
- ALIGN
- STAKING - CONTROL POINT

cmg
 Landscape
 Architecture
 444 Bryant St
 San Francisco, CA 94107
 415.495.3070
 www.cmg-site.com

OWNER/CLIENT
 SAN MATEO COUNTY
 PARKS DEPARTMENT,
 455 COUNTY CENTER, 4TH FLOOR
 REDWOOD CITY, CA 94063

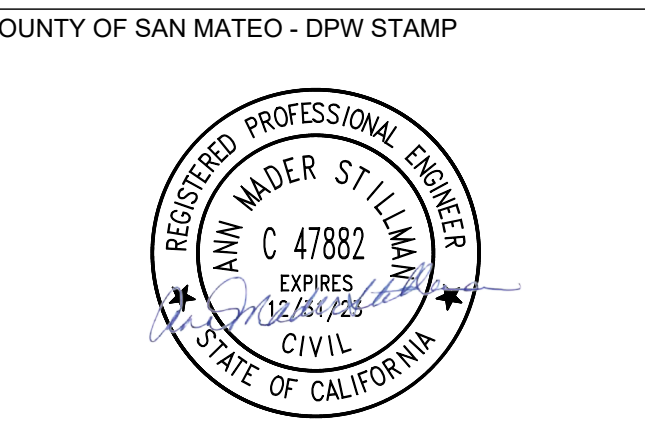
CONSULTANTS

PROJECT NAME
FLOOD PARK
 215 BAY RD.
 MENLO PARK, CA 94025



PHASE
PHASE 1 BID PS&E DOCUMENTS

NO.	ISSUE	DATE
	100% SCHEMATIC DESIGN (30%)	07.18.22
	PHASE 1 - CD PROGRESS SET	10.07.22
	PHASE 1 - 75% PS&E	11.04.22
	PHASE 1 - 90% PS&E	12.09.22
	PHASE 1 - 100% PS&E BID CHK SET	03.20.23
	PHASE 1 - 100% PS&E BID SET	04.28.23
	PHASE 1 - BID PS&E DOCUMENTS	05.26.23
1	BID ADDENDUM 1	07.03.23
2	BID ADDENDUM 2	08.04.23
	PHASE 1 - RE-BID PS&E DOCS	11.01.23
R1	BID ADDENDUM R1	12.22.23



SHEET TITLE
HORIZONTAL CONTROL AND LAYOUT PLAN

PROJECT
 CSM 2101

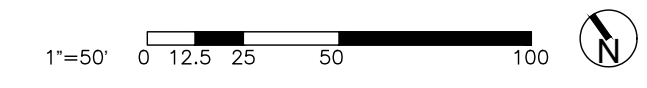
DRAWN BY
 AFO, JY, NA, AMP

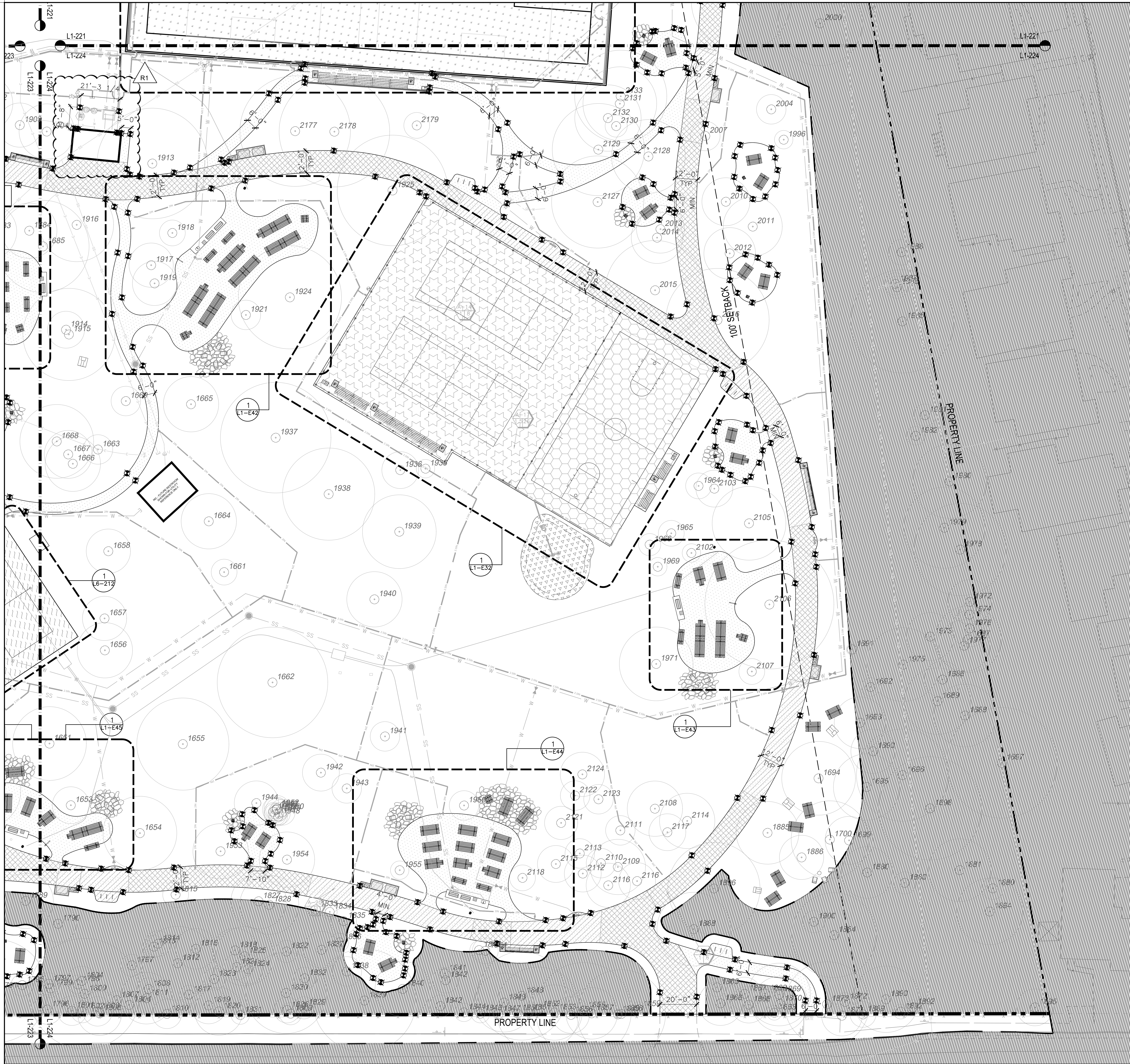
SCALE

CHECKED BY
 CG, AMP

SHEET NUMBER

L1-210
 (REV.)





LAYOUT LEGEND

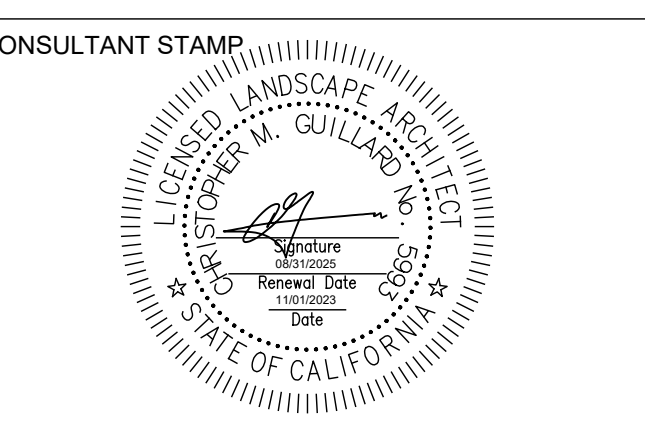
- DIMENSION
- ANGLE
- ARC LENGTH
- RADIUS
- ALIGN
- STAKING - CONTROL POINT

cmg
 Landscape
 Architecture
 444 Bryant St
 San Francisco, CA 94107
 415.495.3070
 www.cmg-site.com

OWNER/CLIENT
 SAN MATEO COUNTY
 PARKS DEPARTMENT,
 455 COUNTY CENTER, 4TH FLOOR
 REDWOOD CITY, CA 94063

CONSULTANTS

PROJECT NAME
FLOOD PARK
 215 BAY RD.
 MENLO PARK, CA 94025



PHASE
PHASE 1 BID PS&E DOCUMENTS

NO.	ISSUE	DATE
	100% SCHEMATIC DESIGN (30%)	07.18.22
	PHASE 1 - CD PROGRESS SET	10.07.22
	PHASE 1 - 75% PS&E	11.04.22
	PHASE 1 - 90% PS&E	12.09.22
	PHASE 1 - 100% PS&E BID CHK SET	03.20.23
	PHASE 1 - 100% PS&E BID SET	04.28.23
	PHASE 1 - BID PS&E DOCUMENTS	05.26.23
1	BID ADDENDUM 1	07.03.23
2	BID ADDENDUM 2	08.04.23
	PHASE 1 - RE-BID PS&E DOCS	11.01.23
R1	BID ADDENDUM R1	12.22.23

COUNTY OF SAN MATEO - DPW STAMP



SHEET TITLE
HORIZONTAL CONTROL AND LAYOUT ENLARGEMENT PLAN

PROJECT
 CSM 2101

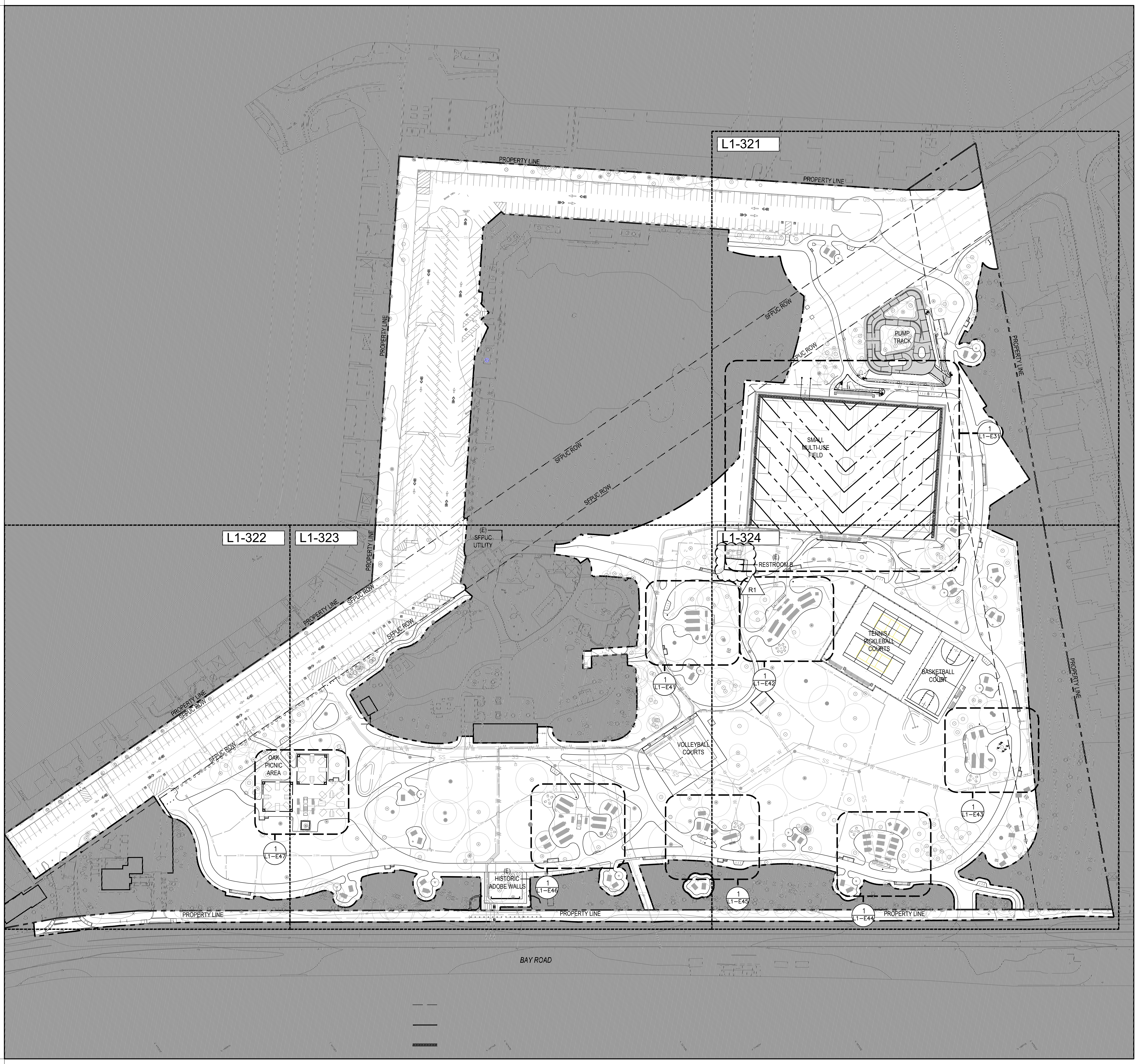
DRAWN BY
 AFO, JY, NA, AMP

SCALE
 1" = 20'-0"

CHECKED BY
 CG, AMP

SHEET NUMBER

L1-224
 (REV.)



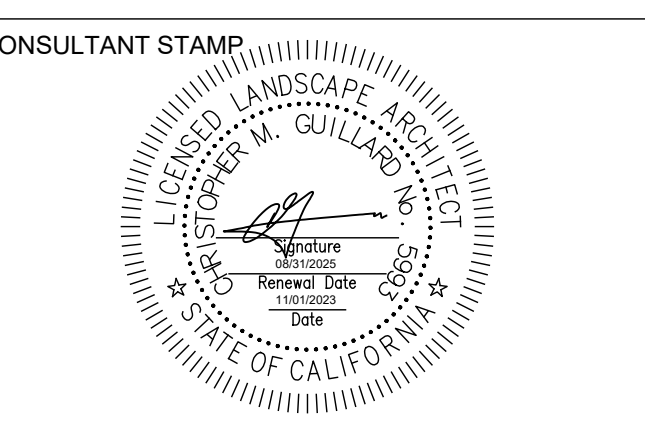
GRADING & DRAINAGE SCHEDULE		
TAG	SYMBOL	TYPE
		SLOPE
		SPOT ELEVATION
		GRADE BREAK
		EXTENT OF TRANSITION GRADING
01		SLOT DRAIN
02		FIELD INFILTRATION TRENCH
03		VOLLEYBALL UNDERDRAIN
04		FIELD UNDERDRAIN
05		SOLID PIPE
06		AREA DRAIN IN PAVING & PLANTING
07		BTA BUBBLE UP

cmg
 Landscape Architecture
 444 Bryant St
 San Francisco, CA 94107
 415.495.3070
 www.cmg-site.com

OWNER/CLIENT
 SAN MATEO COUNTY
 PARKS DEPARTMENT,
 455 COUNTY CENTER, 4TH FLOOR
 REDWOOD CITY, CA 94063

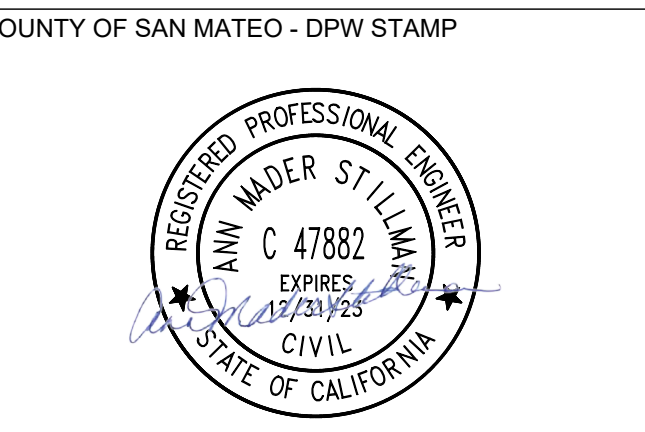
CONSULTANTS

PROJECT NAME
FLOOD PARK
 215 BAY RD.
 MENLO PARK, CA 94025



PHASE
PHASE 1 BID PS&E DOCUMENTS

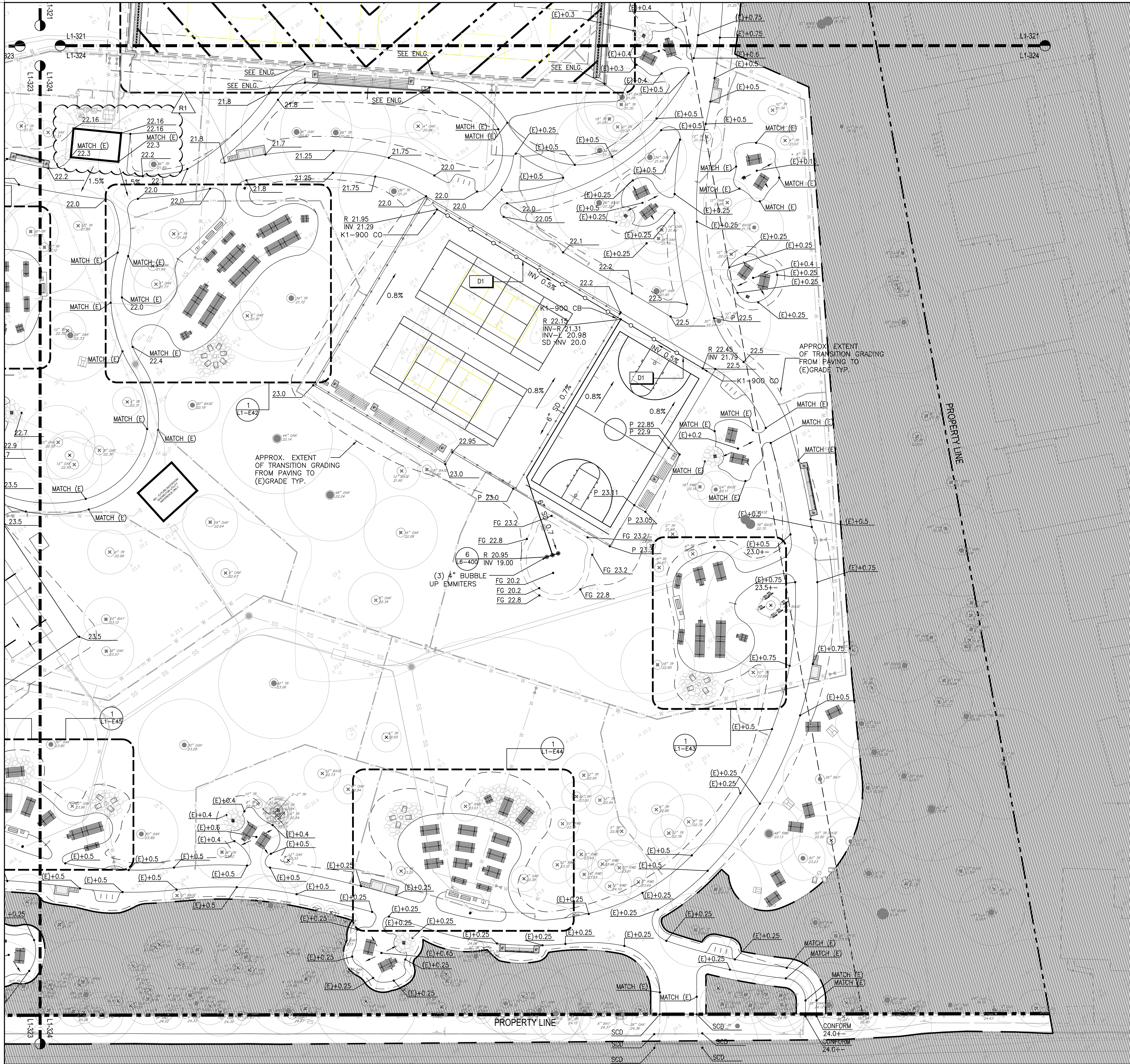
NO.	ISSUE	DATE
	100% SCHEMATIC DESIGN (30%)	07.18.22
	PHASE 1 - CD PROGRESS SET	10.07.22
	PHASE 1 - 75% PS&E	11.04.22
	PHASE 1 - 90% PS&E	12.09.22
	PHASE 1 - 100% PS&E BID CHK SET	03.20.23
	PHASE 1 - 100% PS&E BID SET	04.28.23
	PHASE 1 - BID PS&E DOCUMENTS	05.26.23
1	BID ADDENDUM 1	07.03.23
2	BID ADDENDUM 2	08.04.23
	PHASE 1 - RE-BID PS&E DOCS	11.01.23
R1	BID ADDENDUM R1	12.22.23



SHEET TITLE
LANDSCAPE GRADING + DRAINAGE PLAN

PROJECT	CSM 2101	DRAWN BY	AFO, JY, NA, AMP
SCALE		CHECKED BY	CG, AMP
SHEET NUMBER			

L1-310
 (REV.)



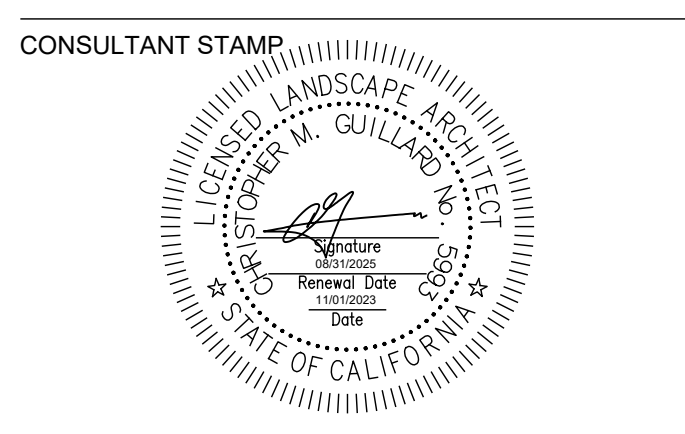
GRADING & DRAINAGE SCHEDULE		
TAG	SYMBOL	TYPE
	— SLOPE	SLOPE
	(E)+0.5	SPOT ELEVATION
	---	GRADE BREAK
	---	EXTENT OF TRANSITION GRADING
D1	○	SLOT DRAIN
D2	▬	FIELD INFILTRATION TRENCH
D3	▬	VOLLEYBALL UNDERDRAIN
D4	▬	FIELD UNDERDRAIN
D5	—	SOLID PIPE
D6	●	AREA DRAIN IN PAVING & PLANTING
D7	●	BTA BUBBLE UP

cmg
 Landscape Architecture
 444 Bryant St
 San Francisco, CA 94107
 415.495.3070
 www.cmg-site.com

OWNER/CLIENT
 SAN MATEO COUNTY
 PARKS DEPARTMENT,
 455 COUNTY CENTER, 4TH FLOOR
 REDWOOD CITY, CA 94063

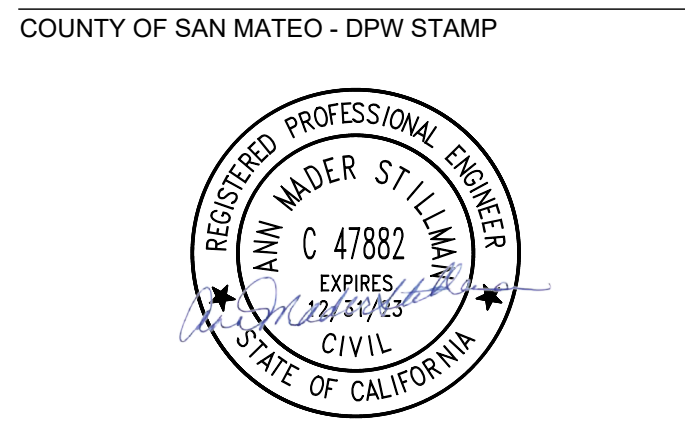
CONSULTANTS

PROJECT NAME
FLOOD PARK
 215 BAY RD.
 MENLO PARK, CA 94025



PHASE
PHASE 1 BID PS&E DOCUMENTS

NO.	ISSUE	DATE
	100% SCHEMATIC DESIGN (30%)	07.18.22
	PHASE 1 - CD PROGRESS SET	10.07.22
	PHASE 1 - 75% PS&E	11.04.22
	PHASE 1 - 90% PS&E	12.09.22
	PHASE 1 - 100% PS&E BID CHK SET	03.20.23
	PHASE 1 - 100% PS&E BID SET	04.28.23
	PHASE 1 - BID PS&E DOCUMENTS	05.26.23
1	BID ADDENDUM 1	07.03.23
2	BID ADDENDUM 2	08.04.23
	PHASE 1 - RE-BID PS&E DOCS	11.01.23
R1	BID ADDENDUM R1	12.22.23



SHEET TITLE
LANDSCAPE GRADING + DRAINAGE PLAN

PROJECT
 CSM 2101

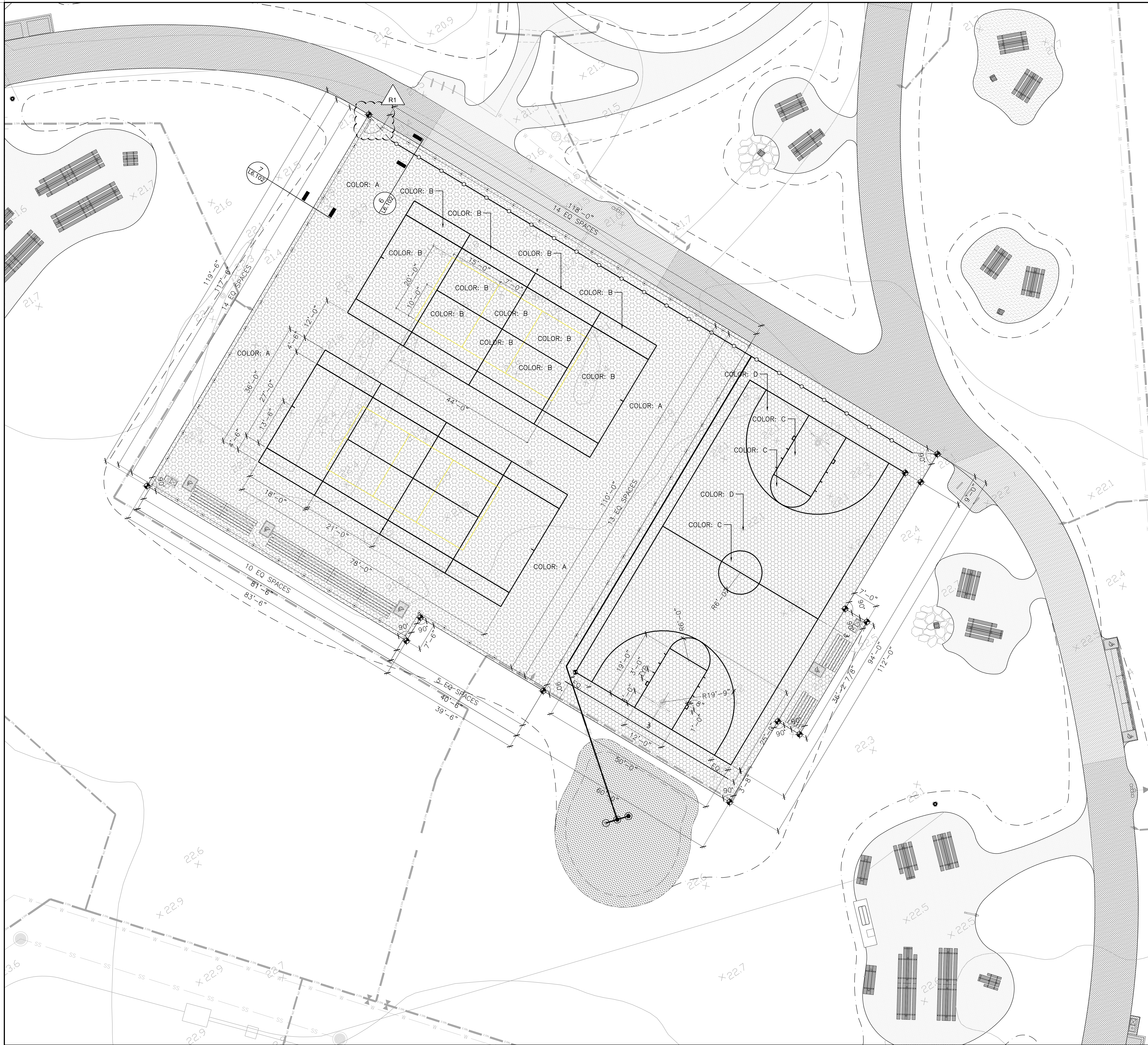
DRAWN BY
 AFO, JY, NA, AMP

SCALE
 1" = 20'-0"

CHECKED BY
 CG, AMP

SHEET NUMBER

L1-324
 (REV.)



LAYOUT LEGEND

1"=0" DIMENSION

30° ANGLE

1'-1/4" ARC LENGTH

16" RADIUS

ALIGN

POINT OF BEGINNING (POB)

LINE OF ALIGNMENT

COURT COLOR CHART

COLOR AREA	COLOR
COLOR A	LAYKOLD DARK GREEN
COLOR B	LAYKOLD US OPEN GREEN
COLOR C	STANDARD COLOR TBD
COLOR D	STANDARD COLOR TBD

NOTES

TENNIS:

- ALL MEASUREMENTS ARE TO OUTSIDE OF LINES, EXCEPT THE CENTER SERVICE LINE WHICH IS EQUALLY DIVIDED.
- BASE LINES SHALL BE 3" WIDE. ALL OTHER LINES SHALL BE 2" WIDE.
- TENNIS LINES TO GO OVER BADMINTON/PICKLEBALL LINES.
- ALL LINES SHALL BE PAINTED WHITE.

PICKLEBALL:

- ALL MEASUREMENTS ARE TO OUTSIDE OF LINES, EXCEPT THE CENTER SERVICE LINE WHICH IS EQUALLY DIVIDED.
- BASE LINES SHALL BE 3" WIDE. ALL OTHER LINES SHALL BE 2" WIDE.
- ALL LINES SHALL BE PAINTED YELLOW.

BASKETBALL:

- ALL MEASUREMENTS ARE TO OUTSIDE OF LINES, EXCEPT THE CENTER LINE WHICH IS EQUALLY DIVIDED.
- ALL LINES SHALL BE 2" WIDE.
- ALL LINES SHALL BE PAINTED WHITE.
- SEE PLAN ABOVE FOR THE FIELD COLOR.
- ALL DIMENSIONS ARE TO BE PER NCA BASKETBALL STANDARDS.
- CONTRACTOR TO ASSUME HALFCOURT COLOR AREAS MIRROR EACH OTHER

GENERAL:

- ALL DIMENSIONS SHALL BE VERIFIED IN FIELD AND CHALKED, STRING LINED, OR FLAGGED BY THE CONTRACTOR PRIOR TO CONSTRUCTION FOR APPROVAL BY LANDSCAPE ARCHITECT.

GRADING & DRAINAGE SCHEDULE

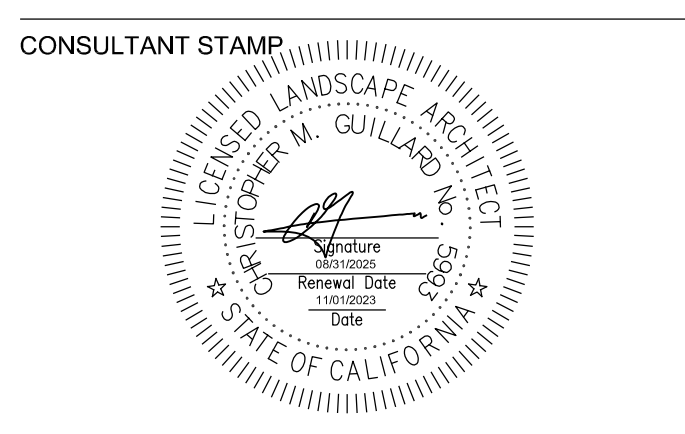
TAG	SYMBOL	TYPE
		SLOPE
		SPOT ELEVATION
		GRADE BREAK
		EXTENT OF TRANSITION GRADING
D1		SLOT DRAIN
D2		FIELD INFILTRATION TRENCH
D3		VOLLEYBALL UNDERDRAIN
D4		FIELD UNDERDRAIN
D5		SOLID PIPE
D6		AREA DRAIN IN PAVING & PLANTING
D7		BTA BUBBLE UP

cmg
 Landscape Architecture
 444 Bryant St
 San Francisco, CA 94107
 415.495.3070
 www.cmg-site.com

OWNER/CLIENT
 SAN MATEO COUNTY
 PARKS DEPARTMENT,
 455 COUNTY CENTER, 4TH FLOOR
 REDWOOD CITY, CA 94063

CONSULTANTS

PROJECT NAME
FLOOD PARK
 215 BAY RD.
 MENLO PARK, CA 94025



PHASE
PHASE 1 BID PS&E DOCUMENTS

NO.	ISSUE	DATE
	100% SCHEMATIC DESIGN (30%)	07.18.22
	PHASE 1 - CD PROGRESS SET	10.07.22
	PHASE 1 - 75% PS&E	11.04.22
	PHASE 1 - 90% PS&E	12.09.22
	PHASE 1 - 100% PS&E BID CHK SET	03.20.23
	PHASE 1 - 100% PS&E BID SET	04.28.23
	PHASE 1 - BID PS&E DOCUMENTS	05.26.23
1	BID ADDENDUM 1	07.03.23
2	BID ADDENDUM 2	08.04.23
	PHASE 1 - RE-BID PS&E DOCS	11.01.23
R1	BID ADDENDUM R1	12.22.23

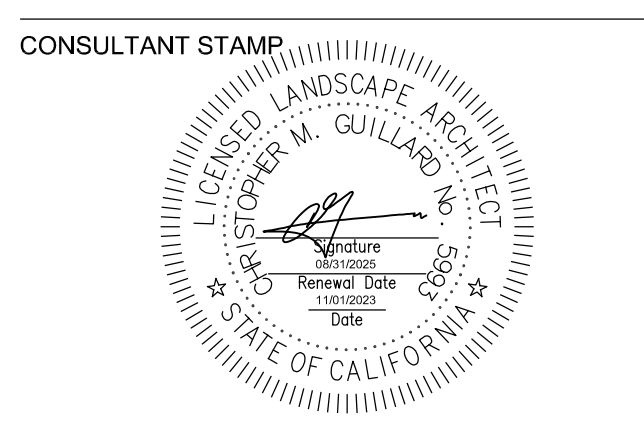
COUNTY OF SAN MATEO - DPW STAMP



SHEET TITLE
SPORT COURT ENLARGEMENTS

PROJECT CSM 2101 DRAWN BY AFO, JY, NA, AMP
 SCALE CHECKED BY CG, AMP
 SHEET NUMBER

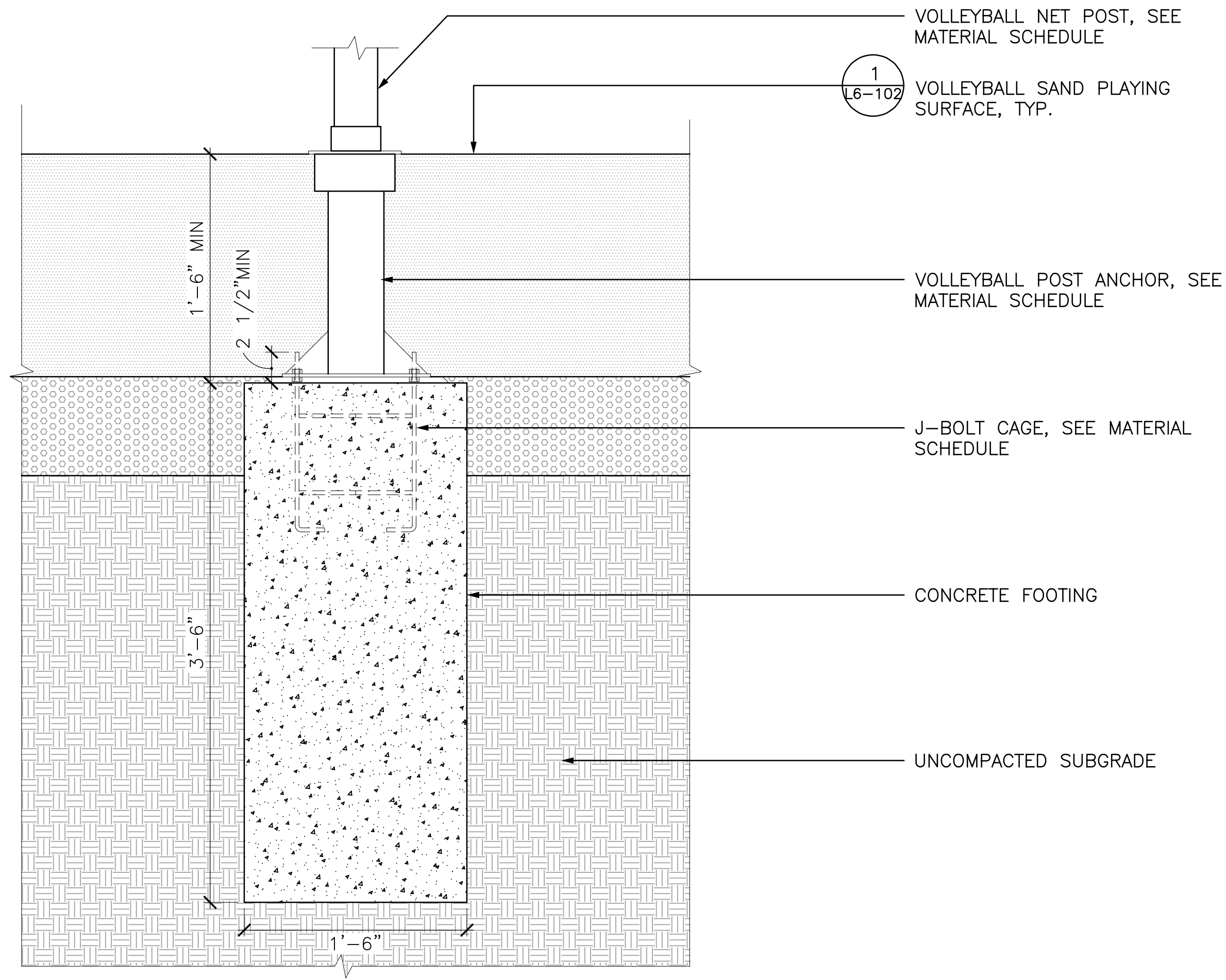
L1-E32
 (REV.)



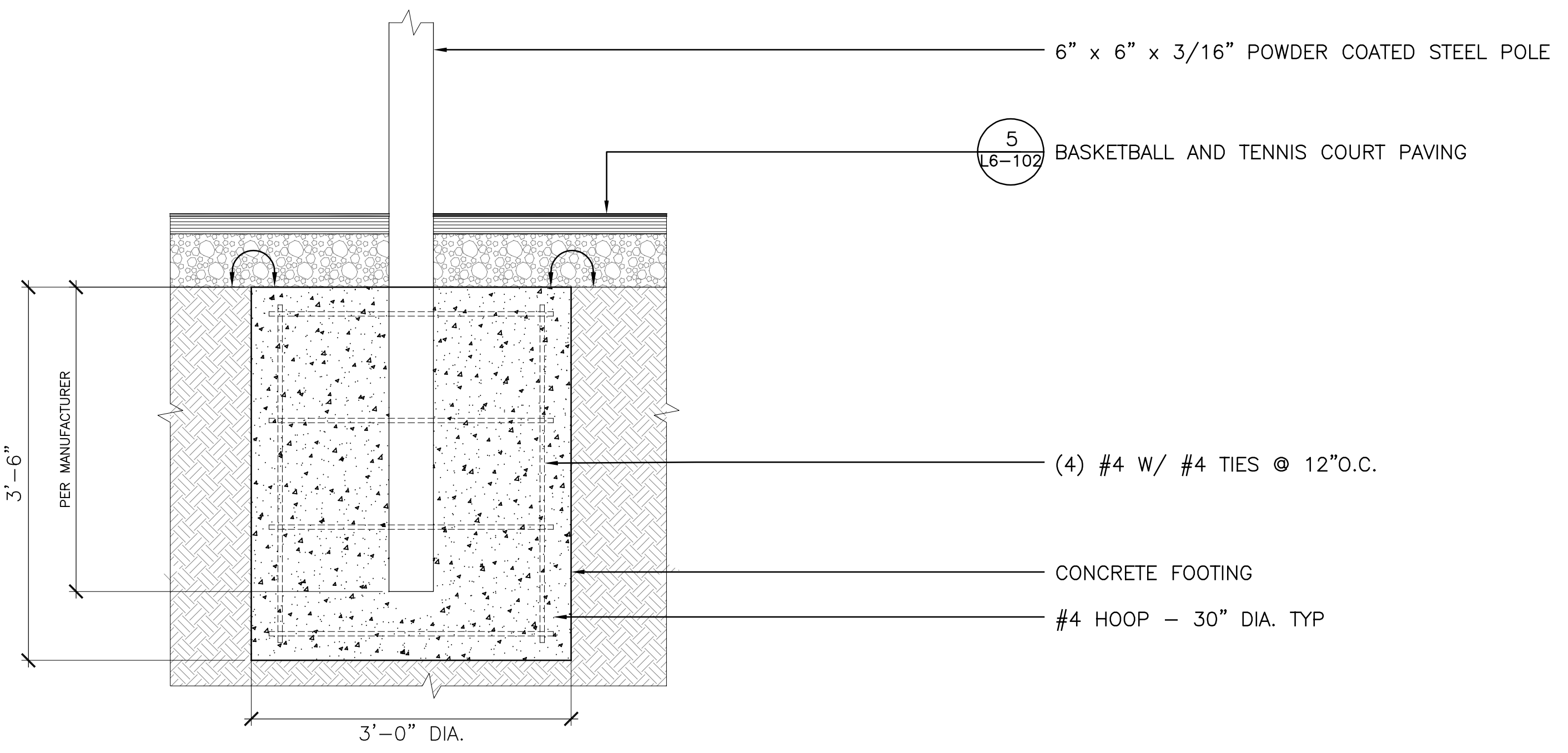
NO.	ISSUE	DATE
	100% SCHEMATIC DESIGN (30%)	07.18.22
	PHASE 1 - CD PROGRESS SET	10.07.22
	PHASE 1 - 75% PS&E	11.04.22
	PHASE 1 - 90% PS&E	12.09.22
	PHASE 1 - 100% PS&E BID CHK SET	03.20.23
	PHASE 1 - 100% PS&E BID SET	04.28.23
	PHASE 1 - BID PS&E DOCUMENTS	05.26.23
1	BID ADDENDUM 1	07.03.23
2	BID ADDENDUM 2	08.04.23
	PHASE 1 - RE-BID PS&E DOCS	11.01.23
R1	BID ADDENDUM R1	12.22.23



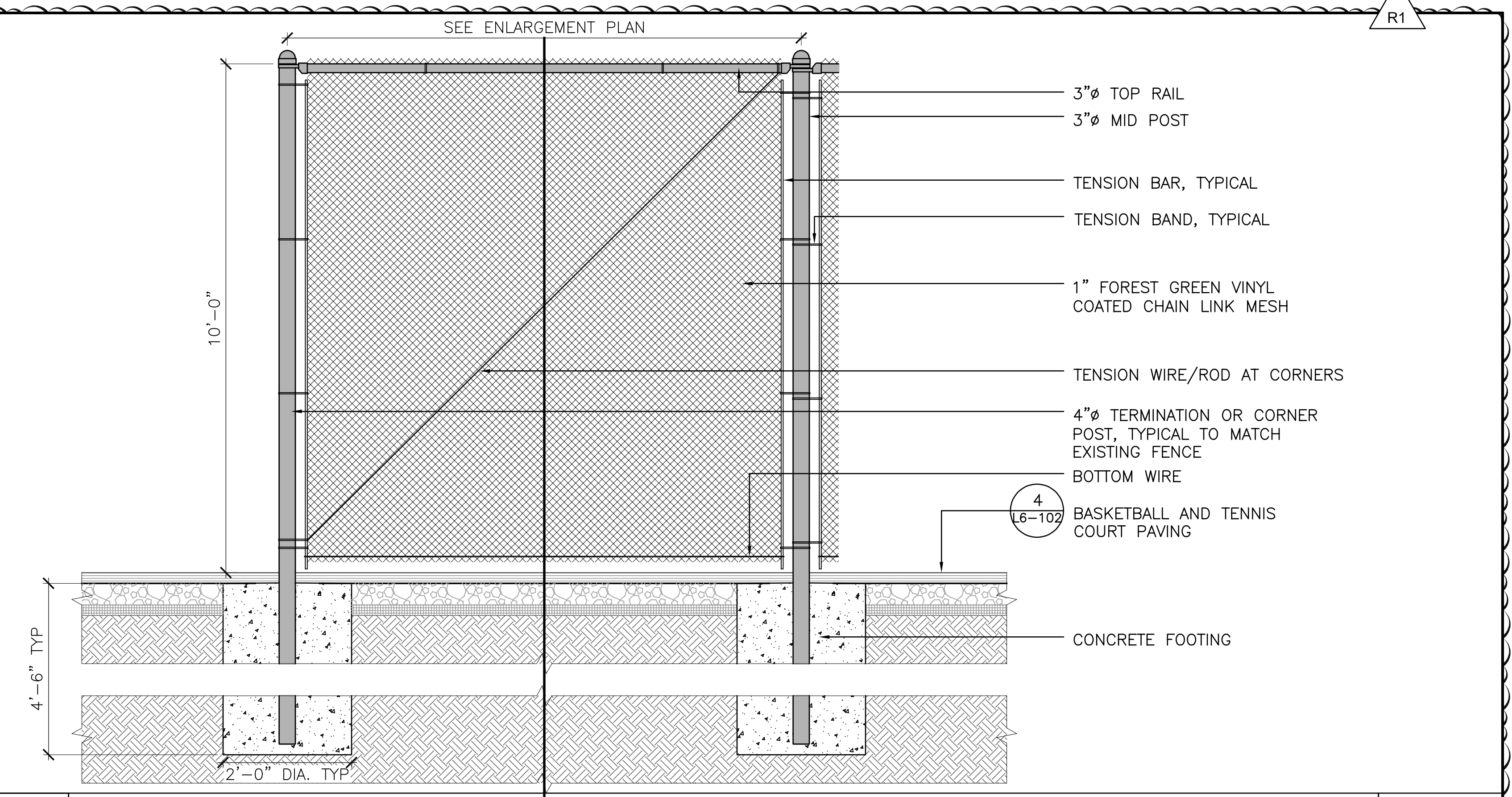
PROJECT	CSM 2101	DRAWN BY	AFO, JY, NA, AMP
SCALE		CHECKED BY	CG, AMP
SHEET NUMBER			



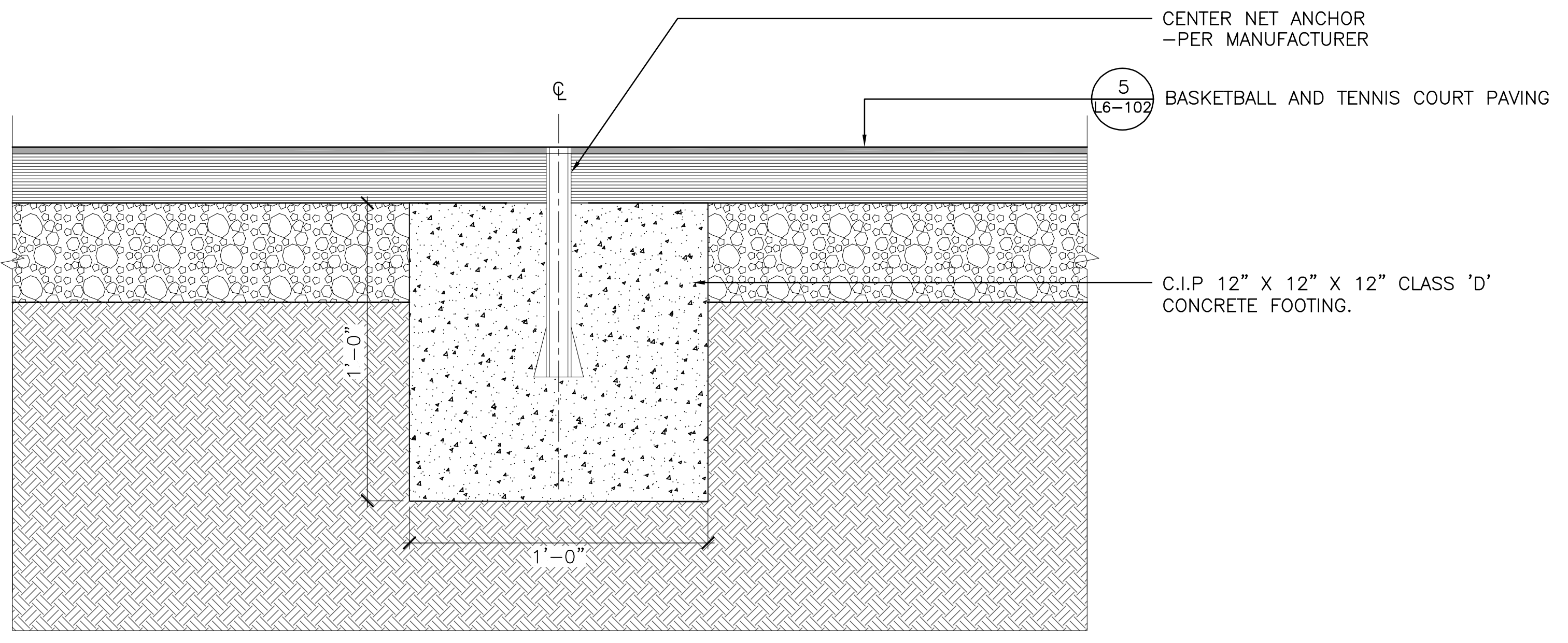
5 VOLLEYBALL NET GROUND SLEEVE AND FOOTING SCALE: 1 1/2"=1'-0"



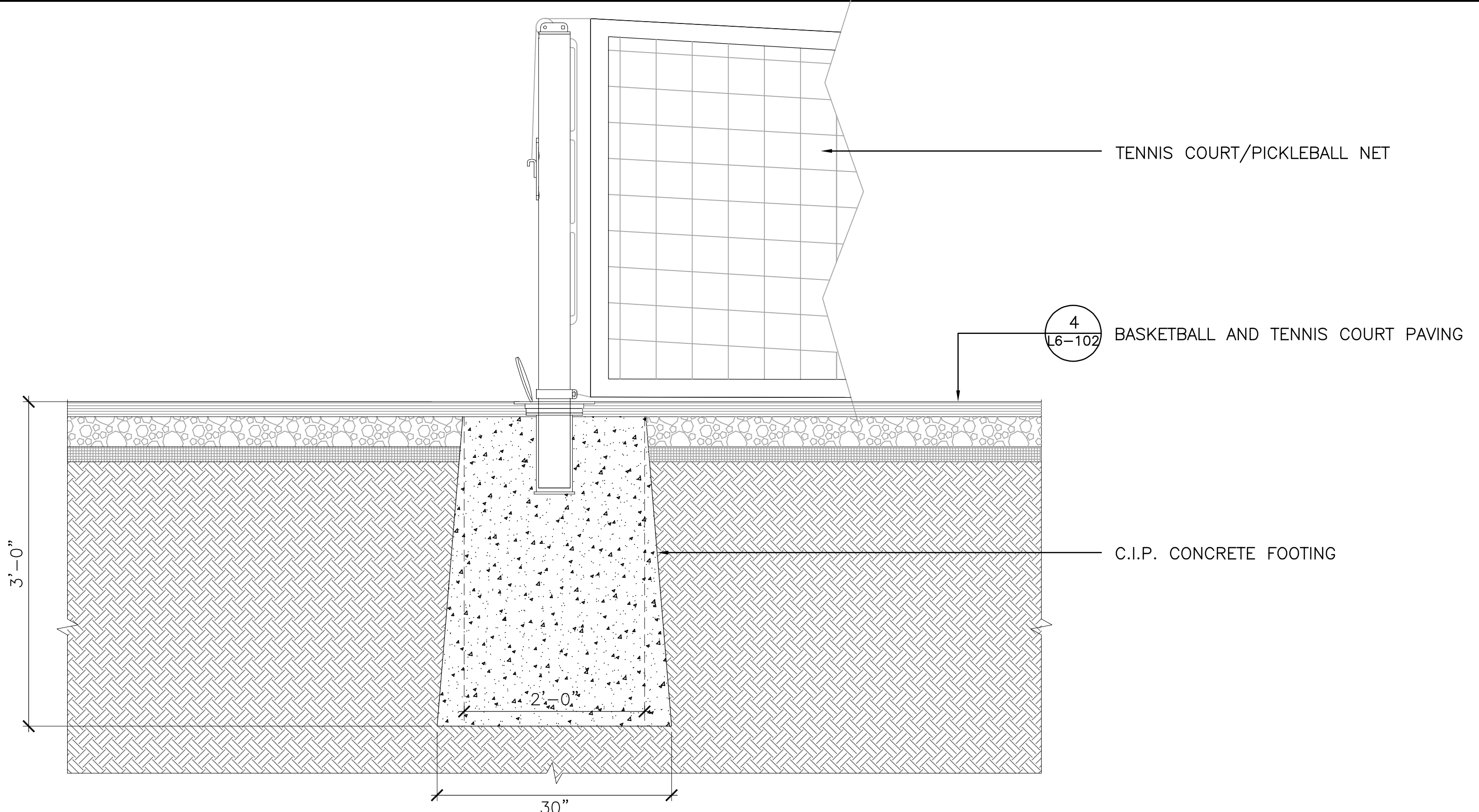
4 CONCRETE FOOTING FOR BASKETBALL POLE SCALE: 1"=1'-0"



3 TENNIS COURT CHAIN LINK FENCE SCALE: 3/4"=1'-0"

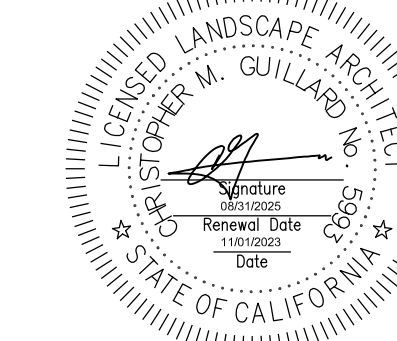


2 TENNIS NET CENTER STRAP ANCHOR SCALE: 3"=1'-0"



1 TENNIS COURT NET GROUND SLEEVE AND FOOTING SCALE: 1"=1'-0"

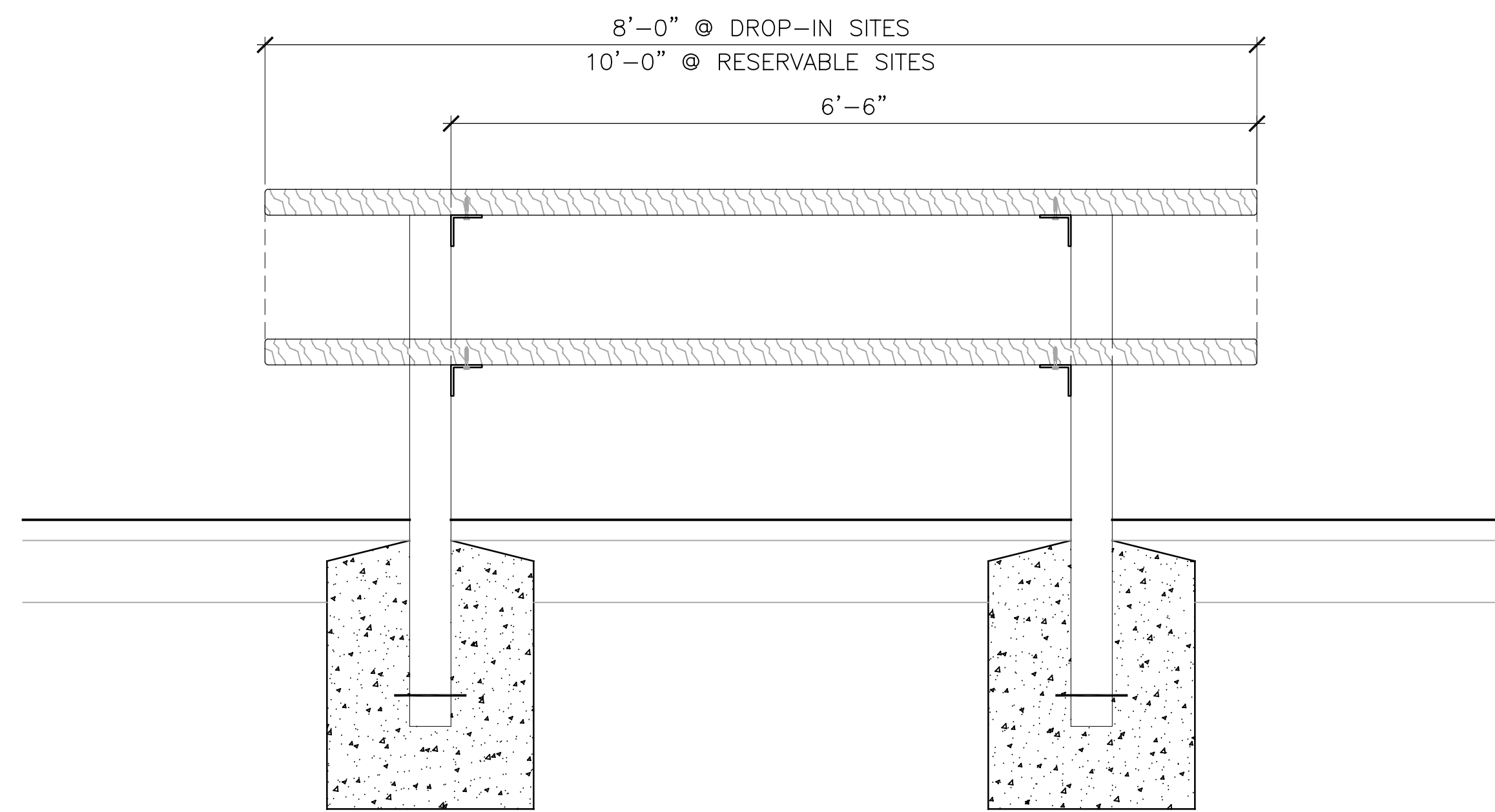
NOTE: ALL FOOTING DIMENSIONS AND REINFORCEMENT TO BE CONFIRMED BY STRUCTURAL ENGINEER.



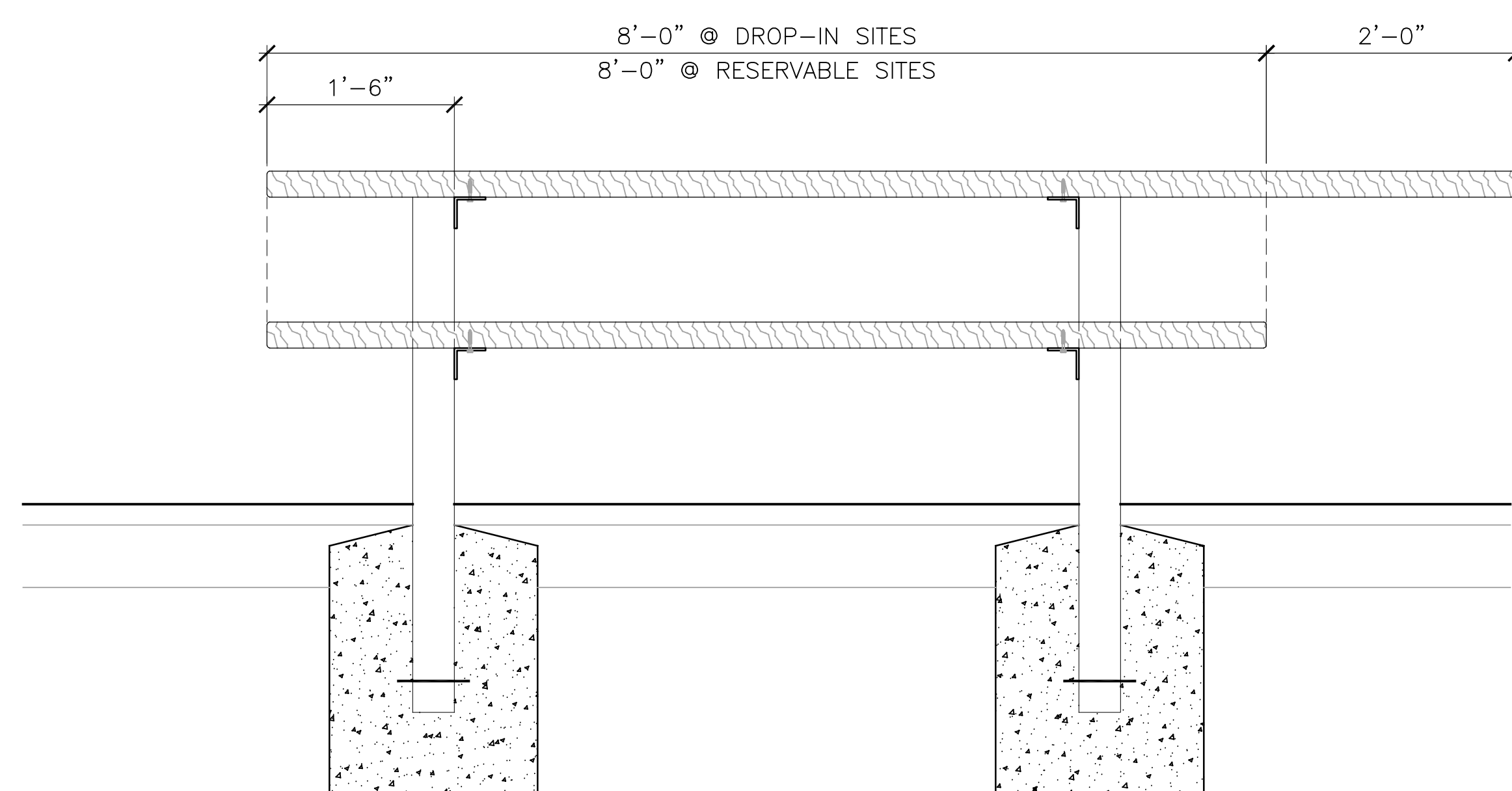
NO.	ISSUE	DATE
	100% SCHEMATIC DESIGN (90%)	07.18.22
	PHASE 1 - CD PROGRESS SET	10.07.22
	PHASE 1 - 75% PS&E	11.04.22
	PHASE 1 - 90% PS&E	12.09.22
	PHASE 1 - 100% PS&E BID CHK SET	03.20.23
	PHASE 1 - 100% PS&E BID SET	04.28.23
	PHASE 1 - BID PS&E DOCUMENTS	05.26.23
1	BID ADDENDUM 1	07.03.23
2	BID ADDENDUM 2	08.04.23
	PHASE 1 - RE-BID PS&E DOCS	11.01.23
R1	BID ADDENDUM R1	12.22.23



PROJECT	CSM 2101	DRAWN BY	AFO, JY, NA, AMP
SCALE		CHECKED BY	CG, AMP
SHEET NUMBER			



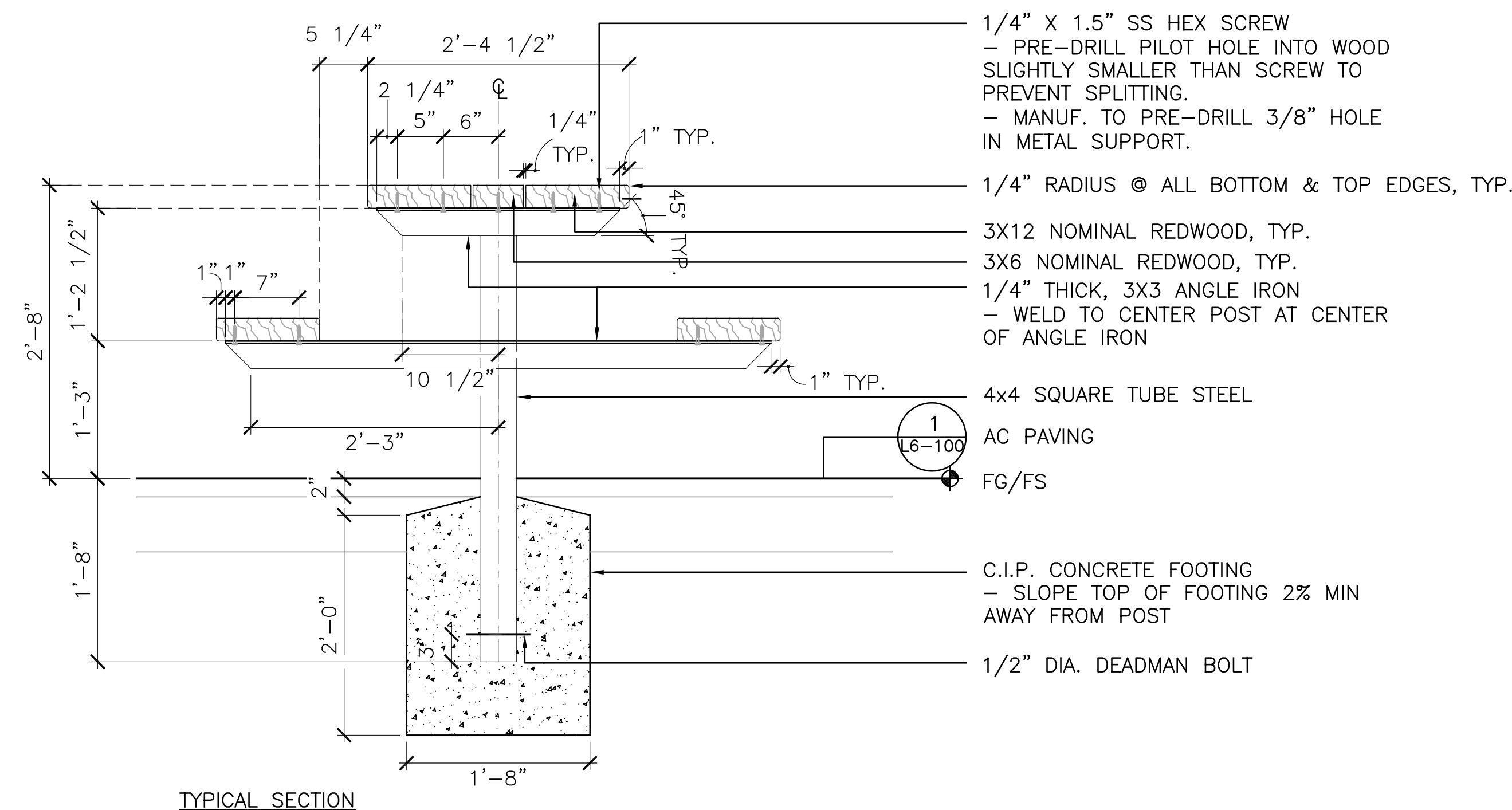
TYPICAL ELEVATION - NON-ACCESSIBLE



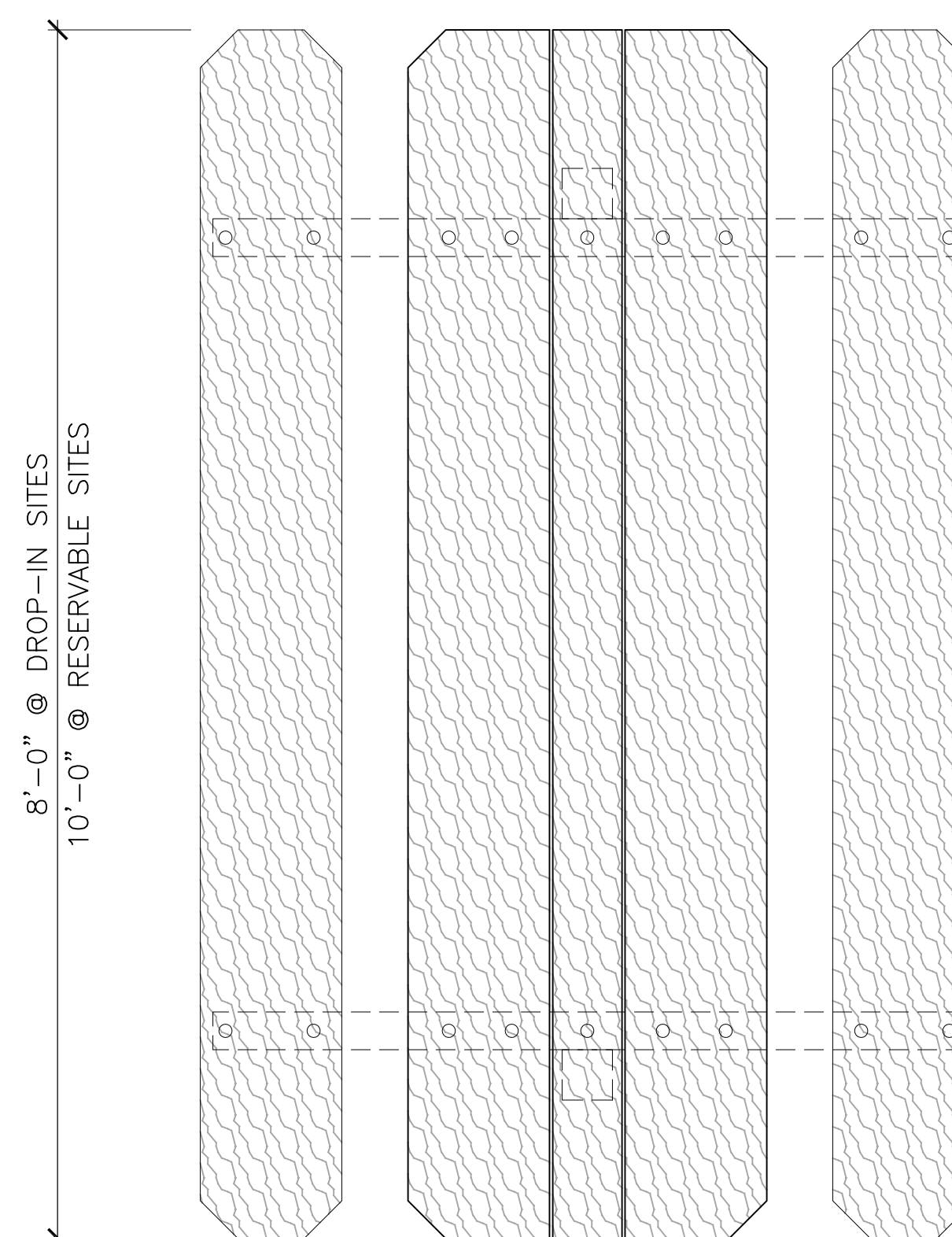
TYPICAL ELEVATION - ACCESSIBLE



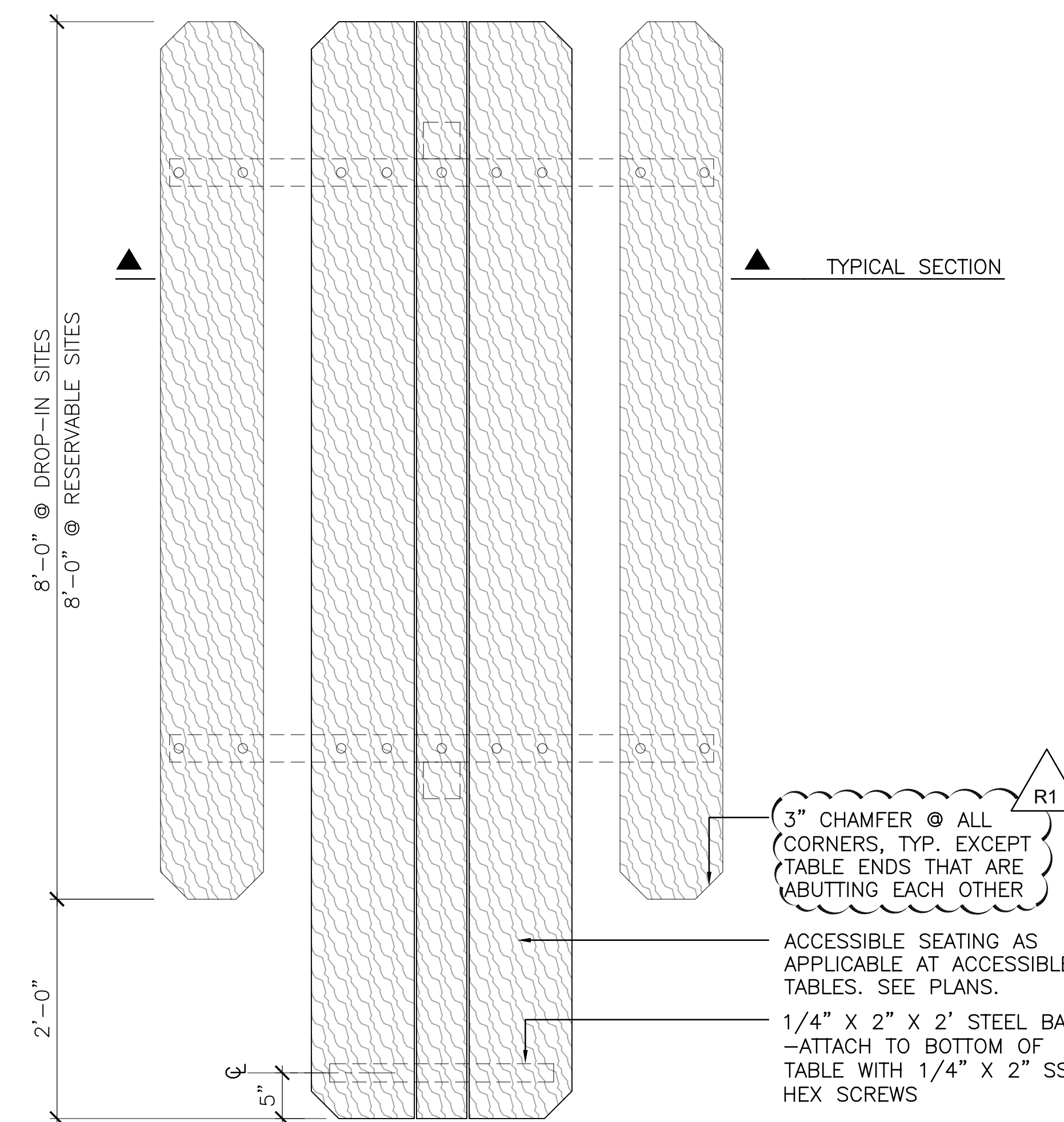
EXISTING TABLE FOR REFERENCE (NTS)



TYPICAL SECTION



TYPICAL PLAN - NON-ACCESSIBLE



TYPICAL PLAN - ACCESSIBLE

NOTES:
1. ALL HOLES IN STEEL ARE TO BE 3/8", PRE-DRILLED BY MANUFACTURER.