

Sixteenth (16th) Avenue

(from End to approximately 789 16th Avenue)

Eighth (8th) Avenue

(from Middlefield Road to Edison Way)

January 10, 2024

County of San Mateo
Department of Public Works

COUNTY OF SAN MATEO



Meeting Procedures

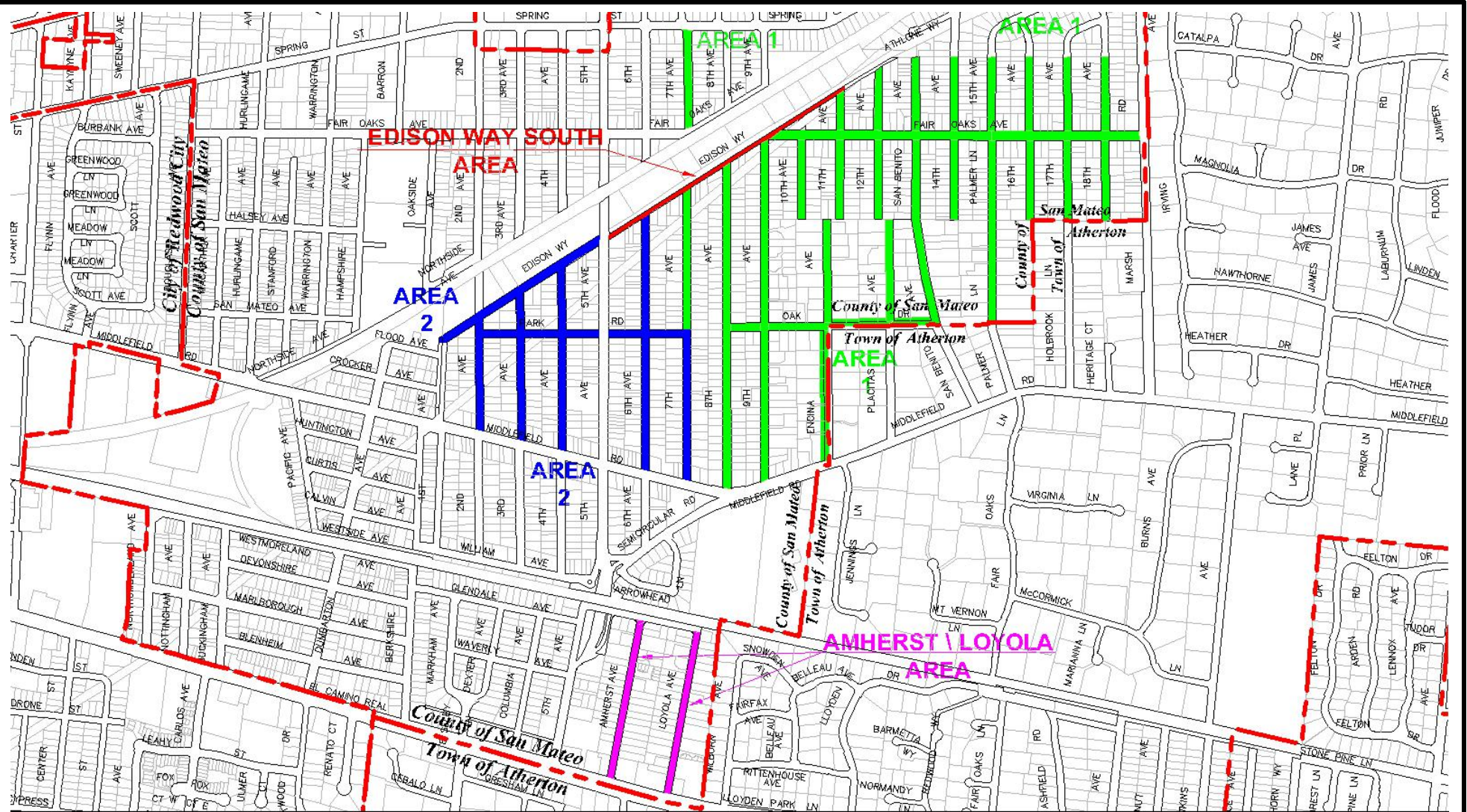
- This meeting is being recorded and will be posted on the Project website after the meeting.
- Tonight's meeting will start with a presentation, which will be followed by a question-and-answer period.
- During the question-and-answer period, please click the "raise hand" feature in "Reaction" to indicate you wish to speak.
- If you are joining by phone, use *9 to raise your hand.
- When you hear your name called, please unmute your microphone and you may begin speaking.
- To get to all the questions. Speakers' questions will be limited to **one minute**. If there is time at the end of the meeting, additional time will be granted to speakers. (One minute time limit may be extended depending on number of speakers.)
- Meeting will end promptly at 7:30 pm.

Agenda

- North Fair Oaks Area Road Improvement Standards and Priority List
- Project Description, Paint Markings, Property Owner Survey
- Design Issues and Considerations
- Project Funding
- Proposed Process and Timeline
- Questions, Comments, and Input

Road Improvement Standards and Priority List

- **2001** – Began development of Road Improvement Standards and Priority List
 - Property owner surveys on unimproved streets and public meetings
 - Priority based on drainage and road condition
- **2002** - Board of Supervisors (Board) adopted Road Improvement Standards and Priority List



LEGEND

 COUNTY / TOWN / CITY LIMITS

 AREA 1

 AREA 2

 EDISON WAY SOUTH AREA
(Between 5th Avenue and 12th Avenue)

 AMHERST/LOYOLA AREA
(Between El Camino Real and Glendale Avenue)

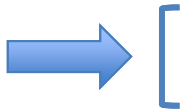


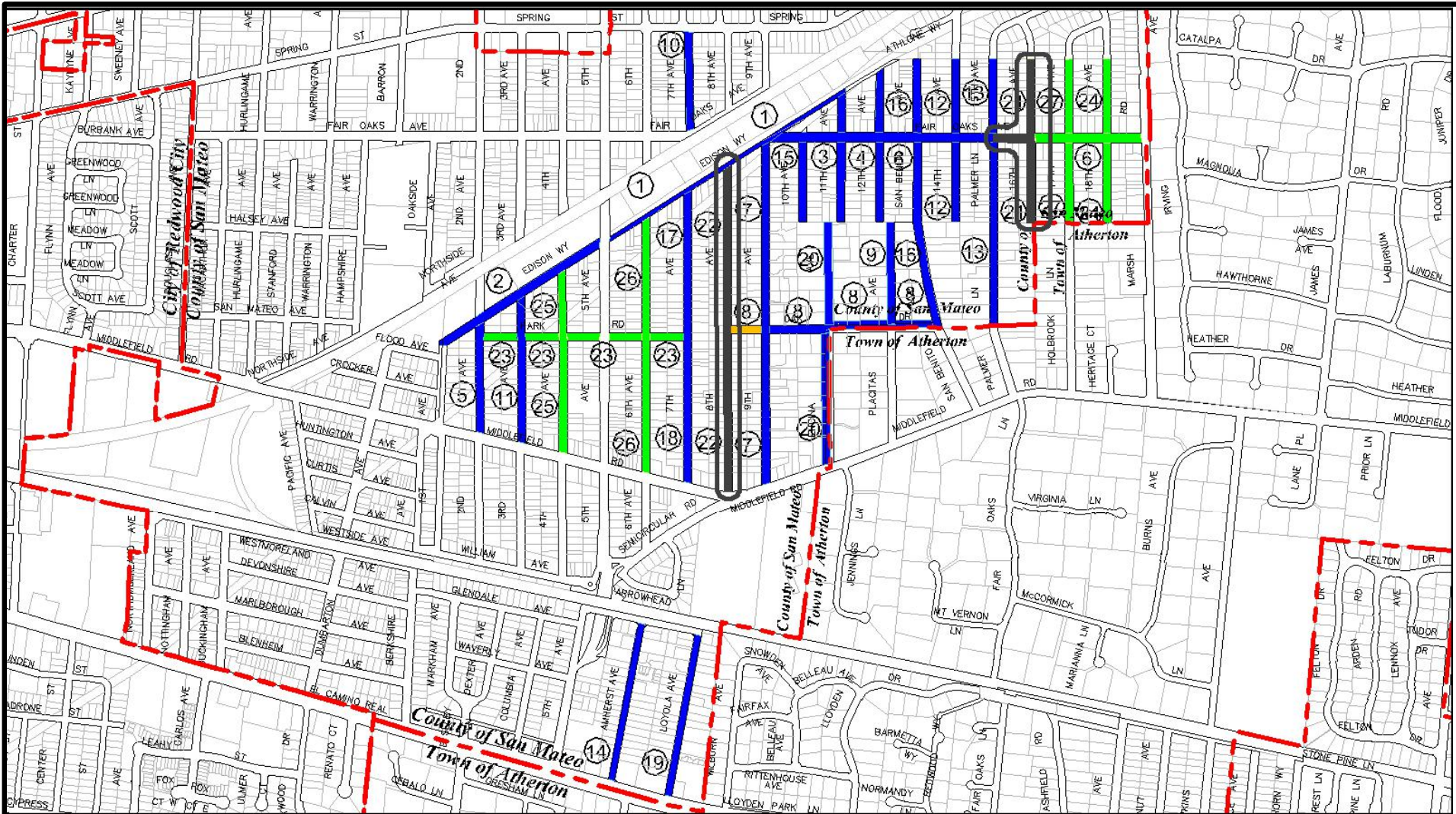
North Fair Oaks Area Priority List

Priority No	Road Name	Begin Location	End Location
1	EDISON WAY	5TH AVENUE	11TH AVENUE (END)
2	EDISON WAY	1ST AVENUE	5TH AVENUE
3	11TH AVENUE	EDISON WAY	END (SOUTHWEST OF FAIR OAKS AVENUE)
4	12TH AVENUE	END (SOUTHWEST OF FAIR OAKS AVENUE)	END (NORTHEAST OF FAIR OAKS AVENUE)
5	2ND AVENUE	MIDDLEFIELD ROAD	EDISON WAY
6	FAIR OAKS AVENUE	EDISON WAY	MARSH ROAD
7	9TH AVENUE	MIDDLEFIELD ROAD	EDISON WAY
8	OAK DRIVE	8TH AVENUE	SAN BENITO AVENUE
9	PLACITAS AVENUE	OAK DRIVE	END (NORTHEAST OF OAK DRIVE)
10	7TH AVENUE	FAIR OAKS AVENUE	SPRING STREET
11	3RD AVENUE	MIDDLEFIELD ROAD	EDISON WAY
12	14TH AVENUE	END (SOUTHWEST OF FAIR OAKS AVENUE)	300' SOUTHWEST OF ATHLONE WAY
13	15TH AVENUE / PALMER LANE	789 15TH AVENUE	COUNTY BOUNDARY (AT 501 PALMER LANE)
14	AMHERST AVENUE	EL CAMINO REAL	GLENDALE AVENUE
15	10TH AVENUE	END (SOUTHWEST OF FAIR OAKS AVENUE)	FAIR OAKS AVENUE






North Fair Oaks Area Priority List

Priority No	Road Name	Begin Location	End Location
16	SAN BENITO AVENUE	OAK DRIVE	END (NORTHEAST OF FAIR OAKS AVENUE)
17	7TH AVENUE	PARK ROAD	EDISON WAY
18	7TH AVENUE	MIDDLEFIELD ROAD	PARK ROAD
19	LOYOLA AVENUE	EL CAMINO REAL	GLENDALE AVENUE
20	ENCINA AVENUE	MIDDLEFIELD ROAD	END
21	16TH AVENUE	END (SOUTHWEST OF FAIR OAKS AVENUE)	789 16TH AVENUE
22	8TH AVENUE	MIDDLEFIELD ROAD	EDISON WAY
23	PARK ROAD	2ND AVENUE	7TH AVENUE
24	18TH AVENUE	END (SOUTHWEST OF FAIR OAKS AVENUE)	247-FT SOUTHWEST OF 17TH AVENUE
25	4TH AVENUE	MIDDLEFIELD ROAD	EDISON WAY
26	6TH AVENUE	MIDDLEFIELD ROAD	EDISON WAY
27	17TH AVENUE	COUNTY BOUNDARY / HOLBROOK LANE	775 17TH AVENUE





LEGEND

-  COUNTY / TOWN / CITY LIMITS
 -  ROAD COMPLETED
 -  REMAINING ON ROAD LIST
 -  PROPERTY OWNERS VOTED "NO" TO IMPROVEMENTS AREA
 -  AREA OF PROPOSED ROAD IMPROVEMENTS
- # PRIORITY LIST NUMBER



Road Standards and Options

16th and 8th Avenue (Area 1)

Road Standards and Options

16th and 8th Avenue

Option 1 – Maintain as is

Option 2 – Repair and resurface the existing pavement

Option 3 – Reconstruct road with 18 feet of pavement with 6-inch wide concrete bands

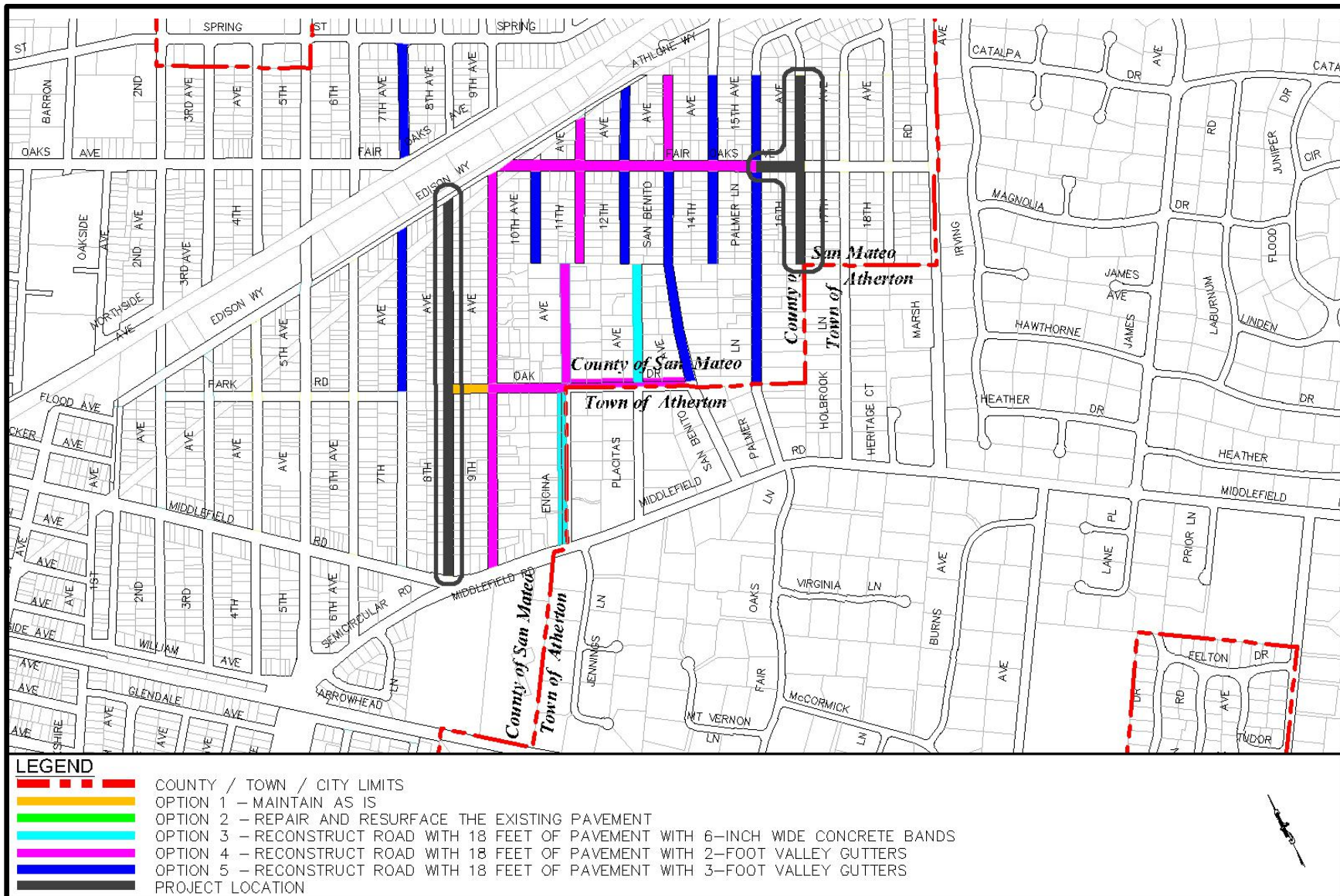
Option 4 – Reconstruct road with 18 feet of pavement with 2-foot valley gutters

Option 5 – Reconstruct road with 18 feet of pavement with 3-foot valley gutters

- Based on the Board's policy the improvements will be centered in the road right-of-way unless the road must be moved to avoid trees or other major encroachments in the road right-of-way.

Area 1

Sample of Constructed Road Standards



16TH AVENUE (OPTION 1)
END TO APPROXIMATELY 789 16TH AVENUE
OPTION 1 – MAINTAIN AS IS
(Pictorial Not Illustrated To Scale)

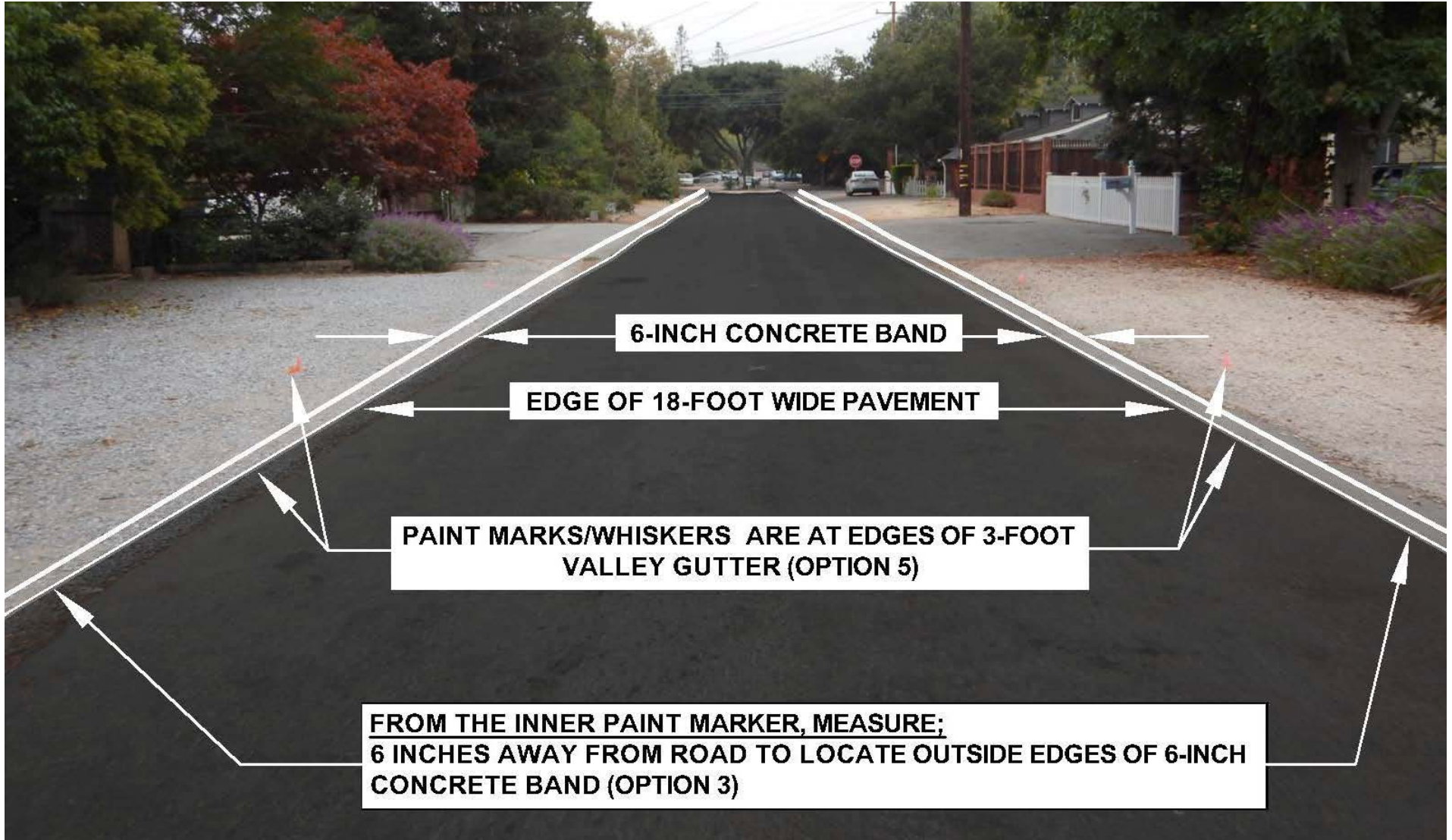


16TH AVENUE (OPTION 2)
END TO APPROXIMATELY 789 16TH AVENUE
OPTION 2 – REPAIR AND RESURFACE THE EXISTING PAVEMENT
(Pictorial Not Illustrated To Scale)



16TH AVENUE (OPTION 3) END TO APPROXIMATELY 789 16TH AVENUE

OPTION 3 – RECONSTRUCT ROAD WITH 18 FEET OF PAVEMENT WITH 6-INCH WIDE CONCRETE BANDS
(Pictorial Not Illustrated To Scale)

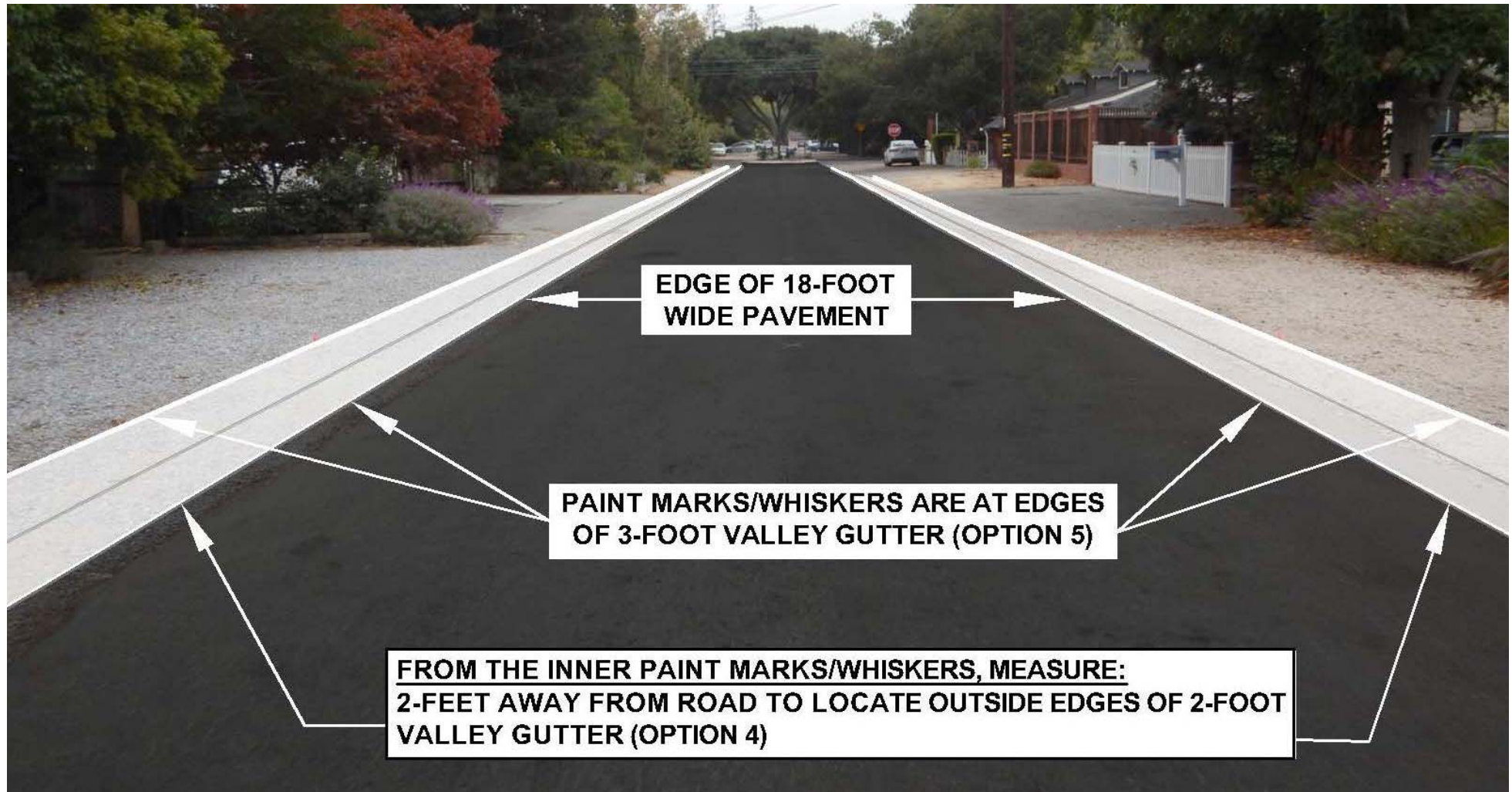


16TH AVENUE (OPTIONS 4 & 5)
END TO APPROXIMATELY 789 16TH AVENUE

OPTION 4 – RECONSTRUCT ROAD WITH 18 FEET OF PAVEMENT WITH 2-FOOT VALLEY GUTTERS

OPTION 5 – RECONSTRUCT ROAD WITH 18 FEET OF PAVEMENT WITH 3-FOOT VALLEY GUTTERS

(Pictorial Not Illustrated To Scale)



8TH AVENUE (OPTION 1)
MIDDLEFIELD ROAD TO EDISON WAY
OPTION 1 – MAINTAIN AS IS
(Pictorial Not Illustrated To Scale)

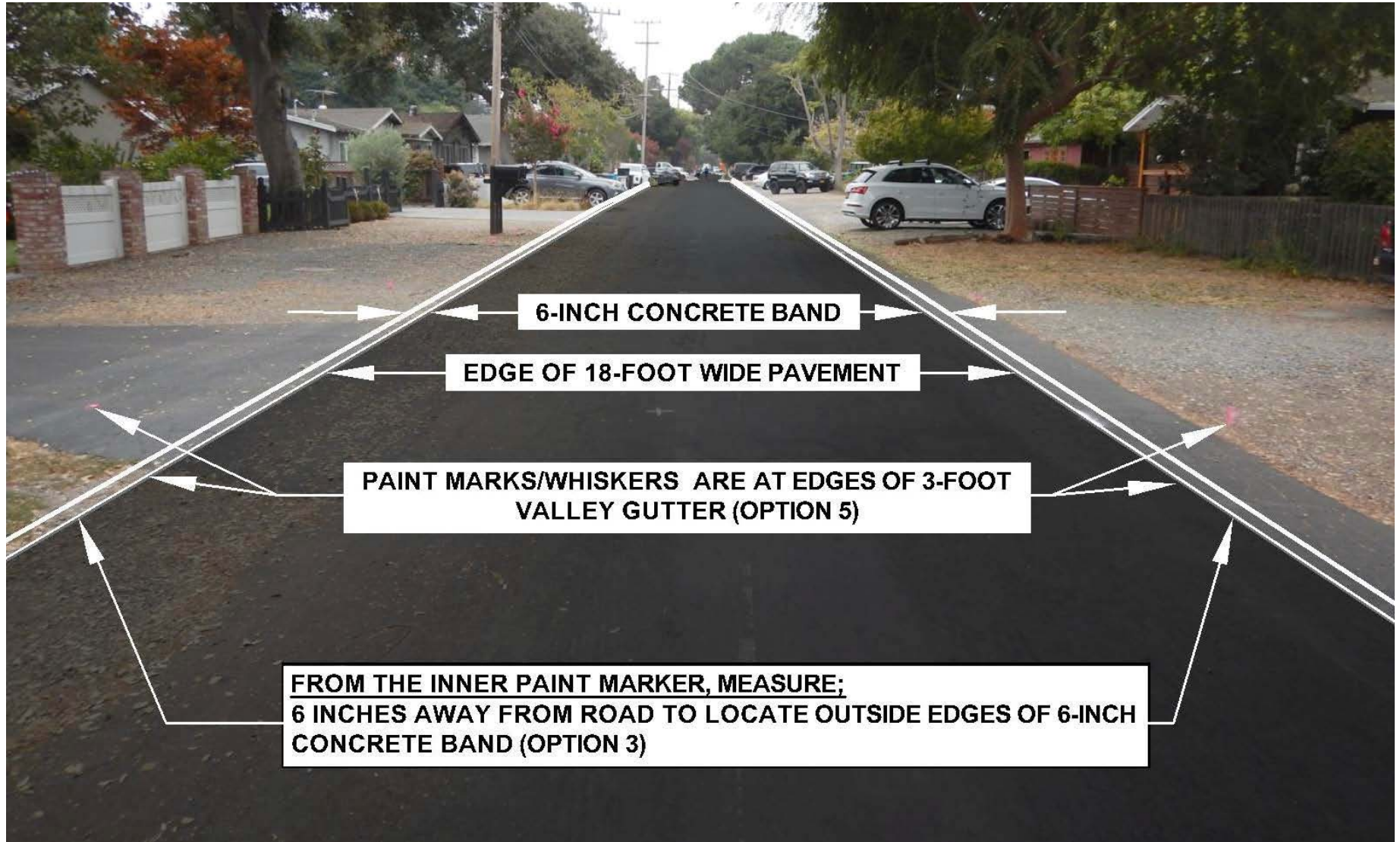


8TH AVENUE (OPTION 2)
MIDDLEFIELD ROAD TO EDISON WAY
OPTION 2 – REPAIR AND RESURFACE THE EXISTING PAVEMENT
(Pictorial Not Illustrated To Scale)



8TH AVENUE (OPTION 3) MIDDLEFIELD ROAD TO EDISON WAY

OPTION 3 – RECONSTRUCT ROAD WITH 18 FEET OF PAVEMENT WITH 6-INCH WIDE CONCRETE BANDS
(Pictorial Not Illustrated To Scale)

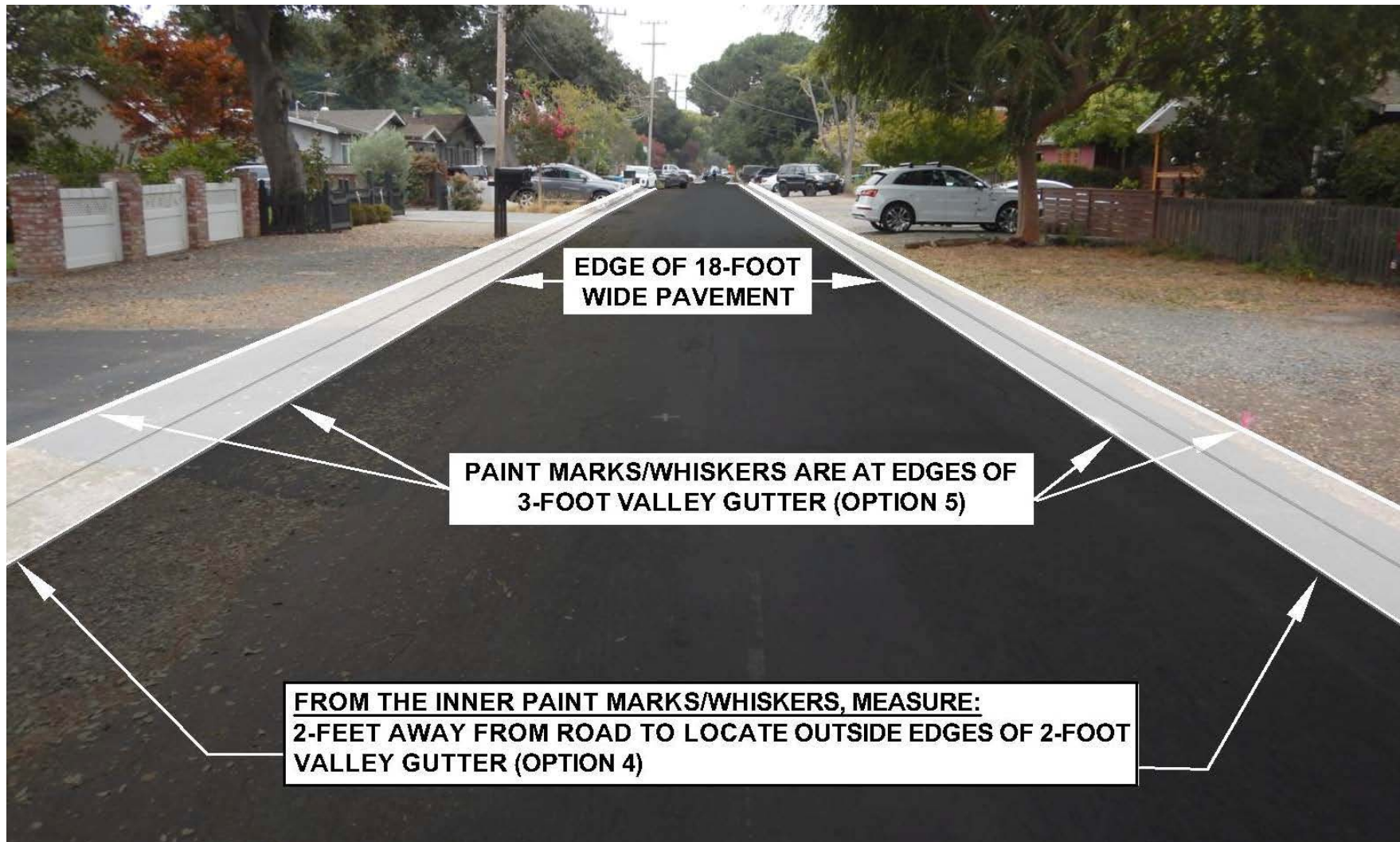


8TH AVENUE (OPTIONS 4 & 5) MIDDLEFIELD ROAD TO EDISON WAY

OPTION 4 – RECONSTRUCT ROAD WITH 18 FEET OF PAVEMENT WITH 2-FOOT VALLEY GUTTERS

OPTION 5 – RECONSTRUCT ROAD WITH 18 FEET OF PAVEMENT WITH 3-FOOT VALLEY GUTTERS

(Pictorial Not Illustrated To Scale)



Property Owner Survey

16th and 8th Avenue

Your input is very important to us. Please take the time to fill out the form and mail it to us by **Friday, January 26, 2024**. **Street improvements will not be constructed unless at least fifty percent (50%) of the property owners on a given block (based on front footage) indicate that improvements are desired.**

The following should be the minimum standard used for reconstructing the street adjacent to my property. (Please check **only one**):

- Option 1** – Maintain as is.
- Option 2** – Repair and resurface the existing pavement.
- Option 3** – Reconstruct road with 18 feet of pavement with 6-inch wide concrete bands.
- Option 4** – Reconstruct road with 18 feet of pavement with 2-foot valley gutters.
- Option 5** – Reconstruct road with 18 feet of pavement with 3-foot valley gutters.

Note:

Should a majority of property owners on a given block vote for improvements, the option constructed will be the one that receives at least fifty percent (50%) of the vote (based on front footage).

If no option receives at least fifty percent (50%) of the vote, then Option 3, the default option, will be constructed.

Design Issues and Considerations

Sixteenth (16th) Avenue

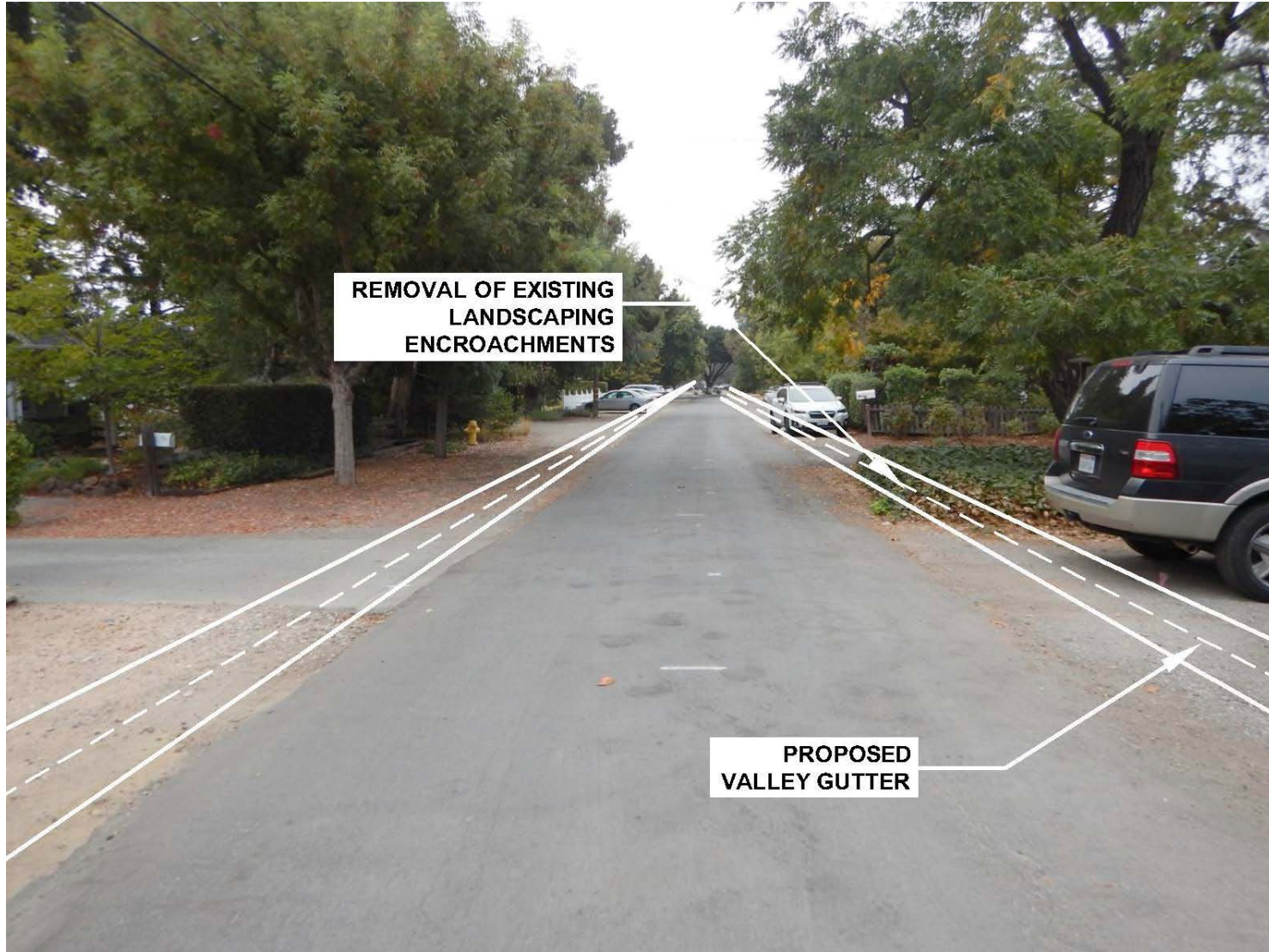
Eighth (8th) Avenue

- Impacts to existing landscaping/shoulder area/trees/mailboxes/drainage boxes
- Relocation of existing encroachments
- Roadway drainage

16TH AVENUE

FROM END TO APPROXIMATELY 789 (16TH) AVENUE

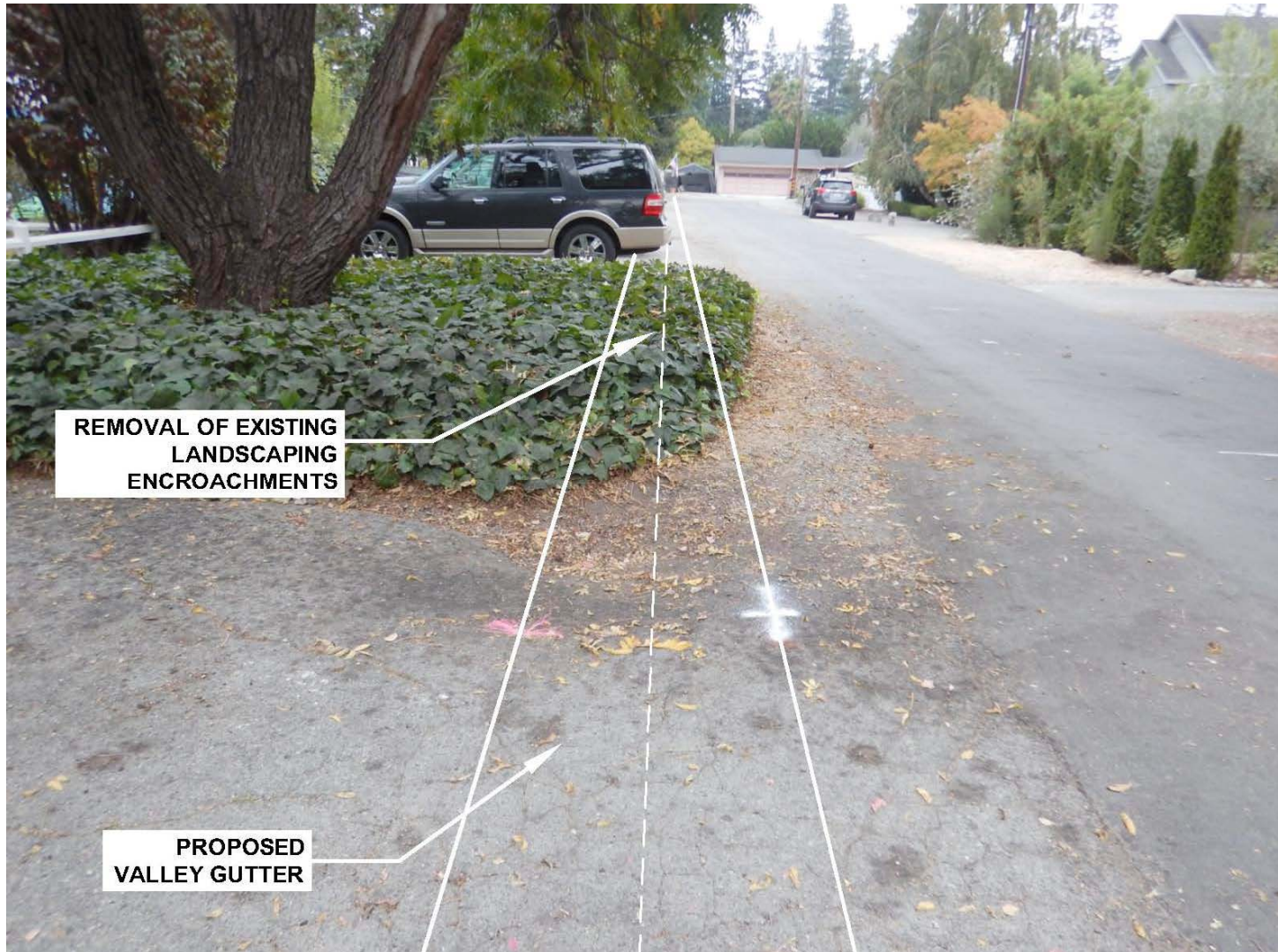
Design Issues and Considerations – working around landscaping



16TH AVENUE

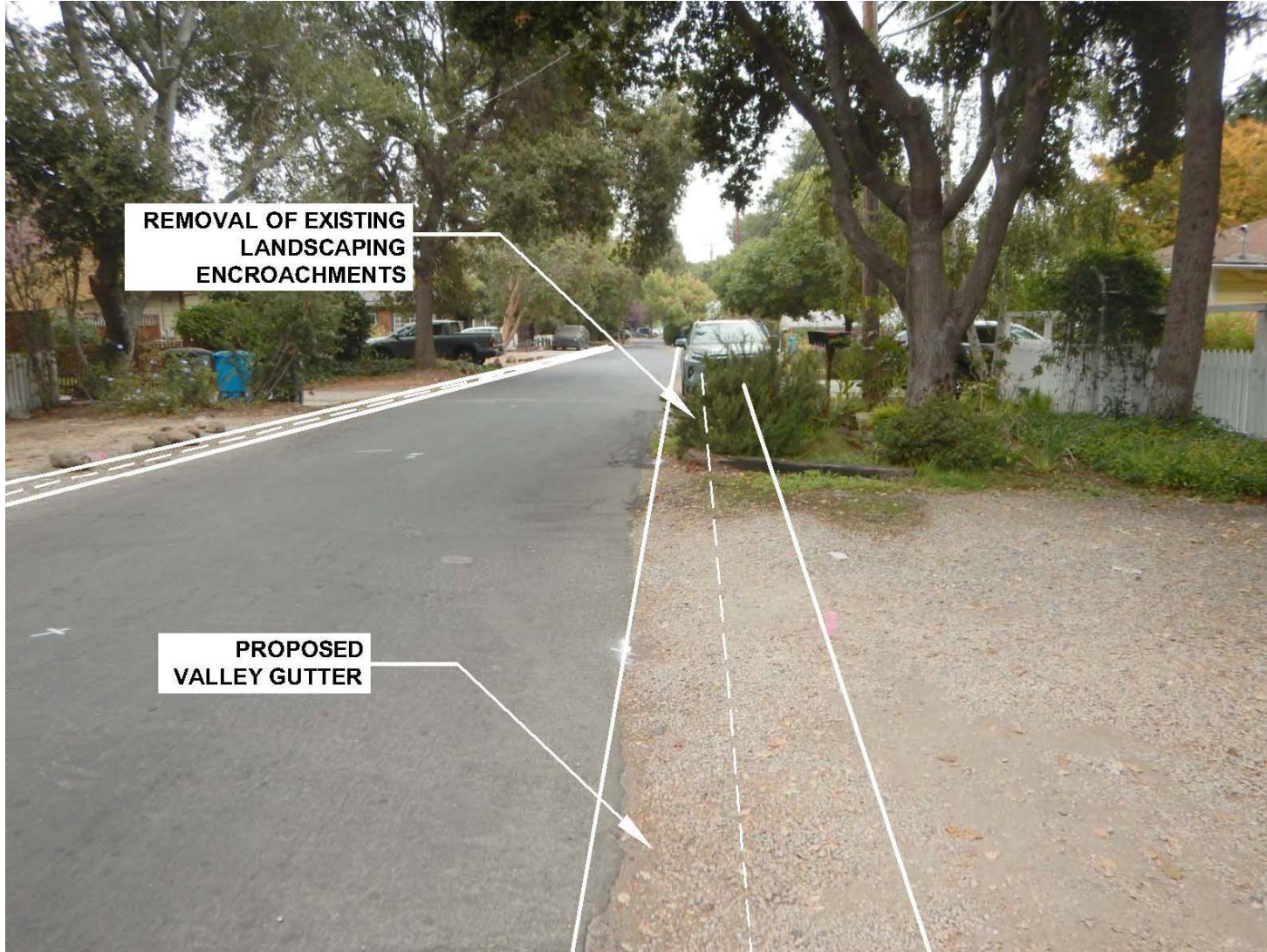
FROM END TO APPROXIMATELY 789 (16TH) AVENUE

Design Issues and Considerations – working around landscaping



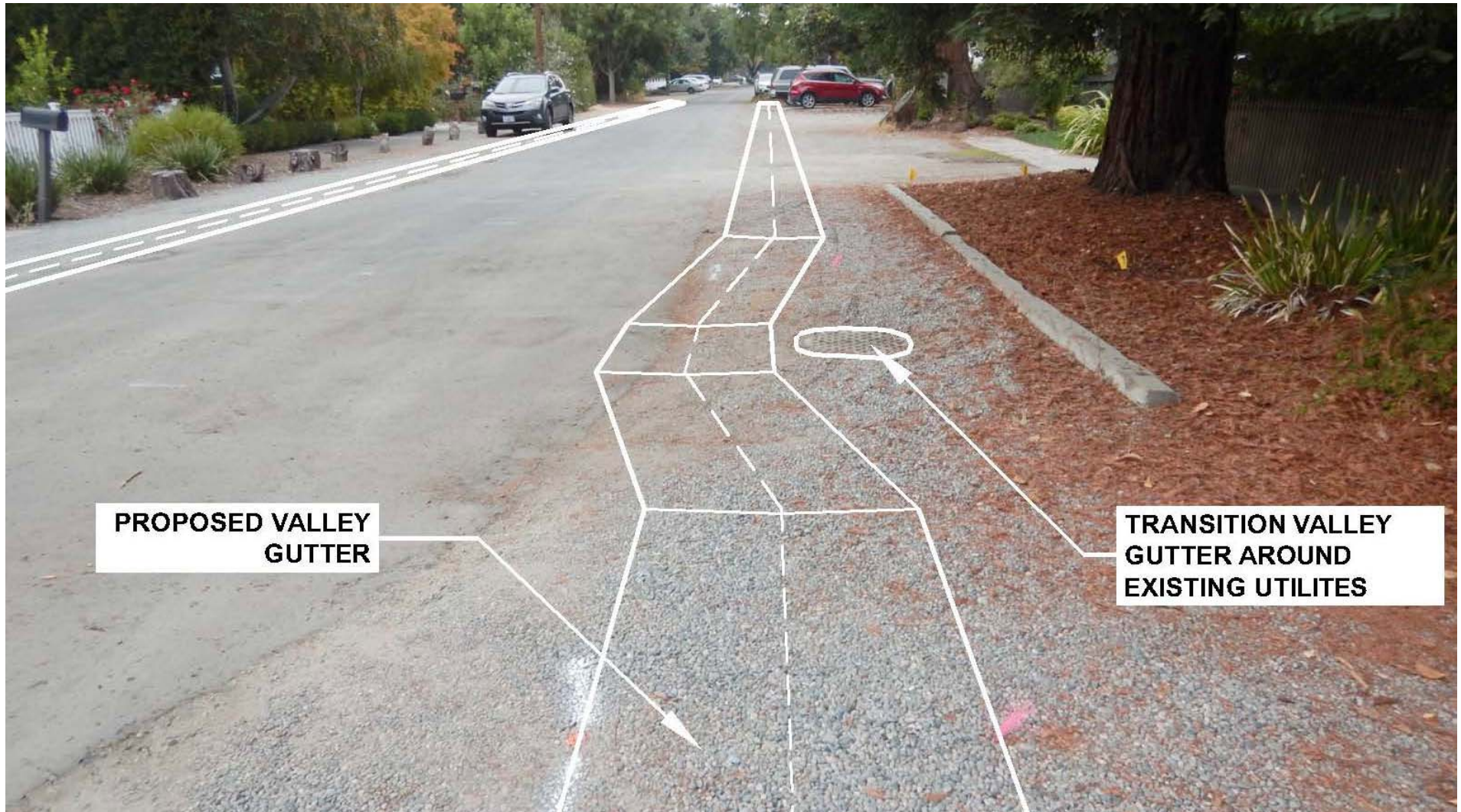
8TH AVENUE FROM MIDDLEFIELD ROAD TO EDISON WAY

Design Issues and Considerations – working around landscaping



16TH AVENUE
FROM END TO APPROXIMATELY 789 16TH AVENUE

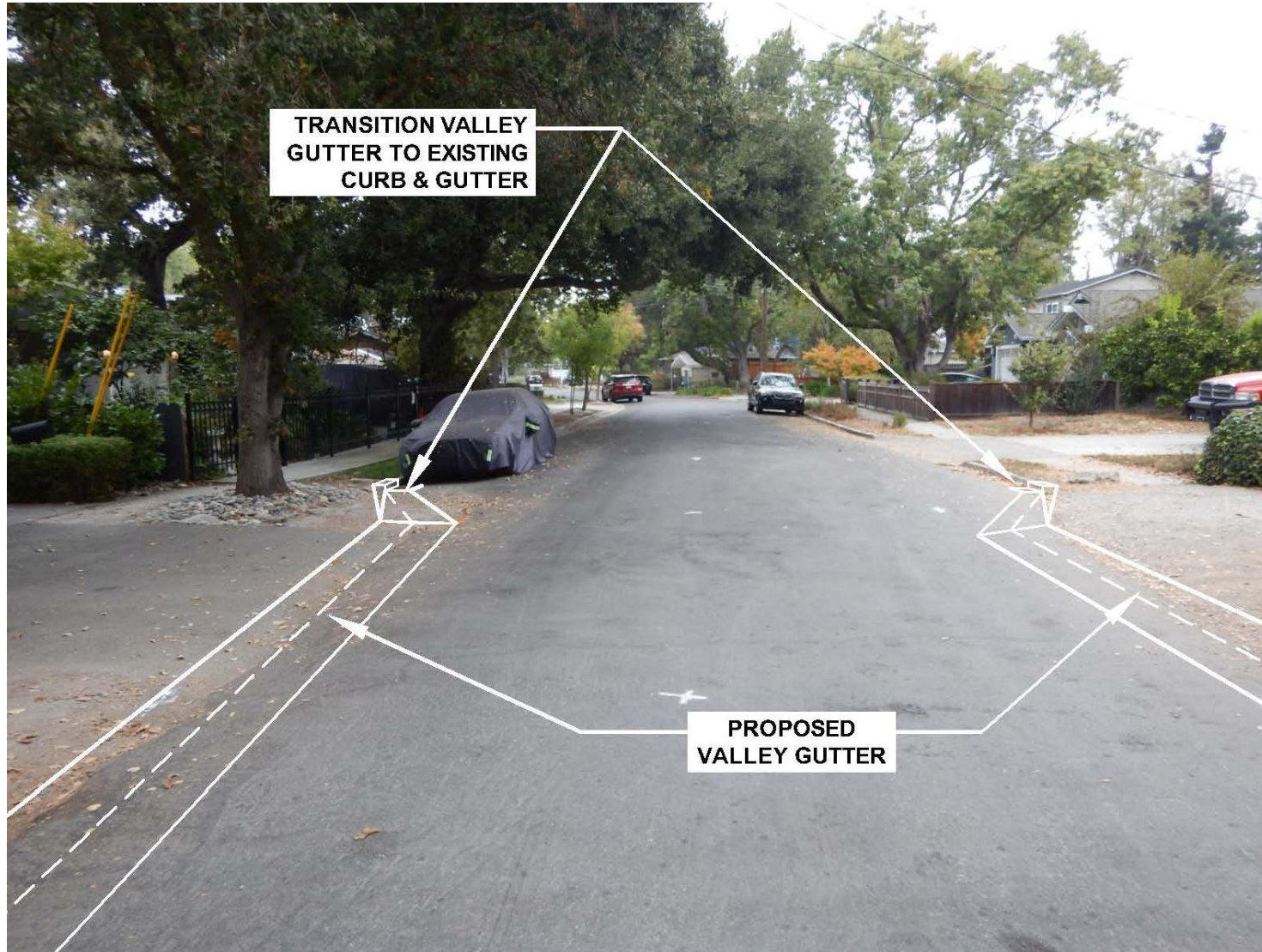
Design Issues and Considerations – working around existing utilities



16TH AVENUE

FROM END TO APPROXIMATELY 789 16TH AVENUE

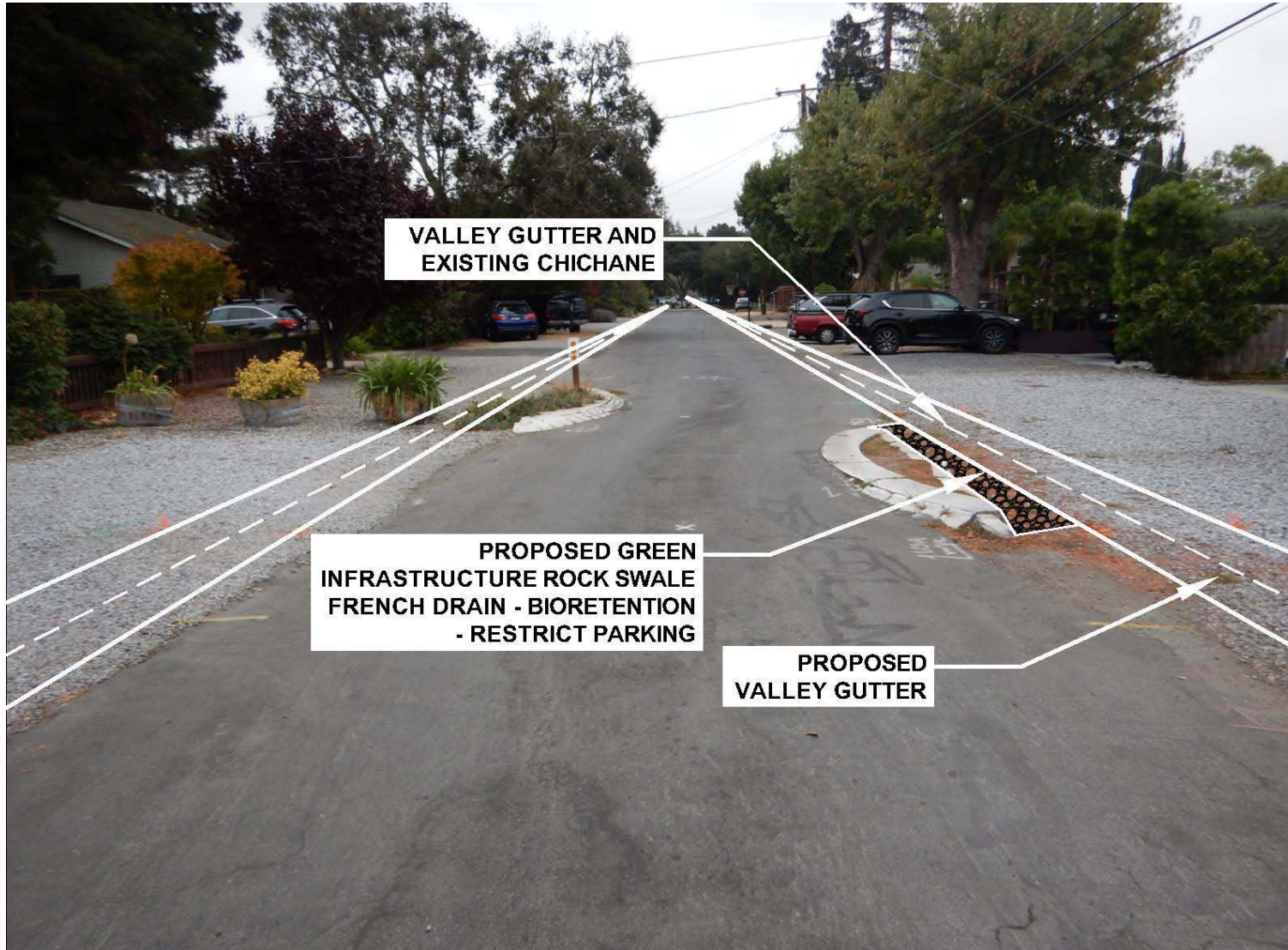
Design Issues and Considerations – working with transitions



16TH AVENUE

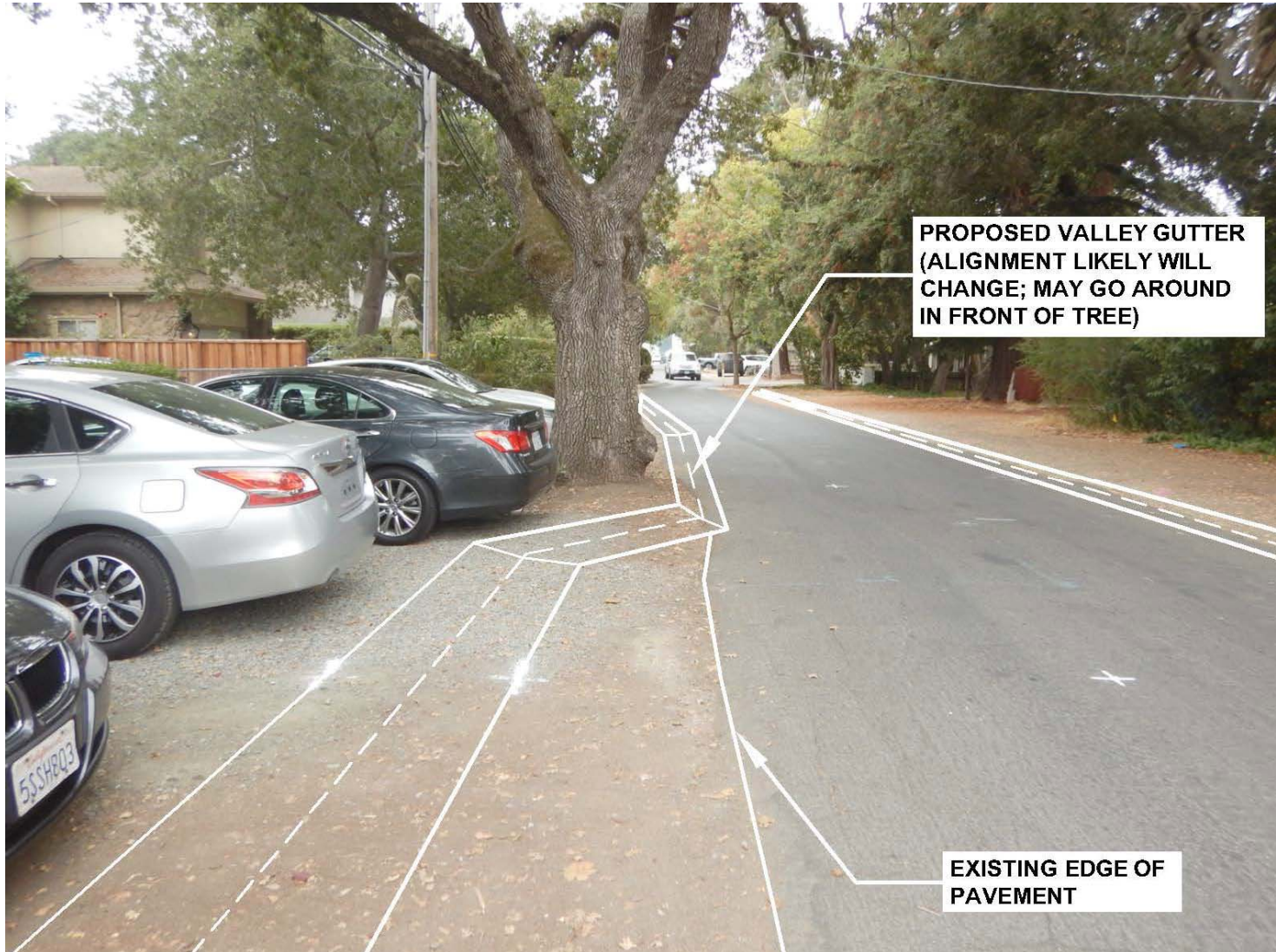
FROM END TO APPROXIMATELY 789 16TH AVENUE

Design Issues and Considerations – potential green infrastructure



8TH AVENUE FROM MIDDLEFIELD ROAD TO EDISON WAY

Design Issues and Considerations – working around landscaping/trees



8TH AVENUE FROM MIDDLEFIELD ROAD TO EDISON WAY

Design Issues and Considerations – working with encroachments



Drainage Considerations

Existing drainage conditions on 16th and 8th Avenue:

- Stormwater drainage generally flows along 16th from end west of Fair Oaks Avenue to 15th Avenue.
- Stormwater drainage generally flows along 8th from Middlefield Road to Edison Way.
- 16th and 8th Avenue, like many roads in the North Fair Oaks area, does not have an underground storm drain system to move the water.
- Stormwater flows along the road shoulders and many shoulder areas are permeable.
- Localized ponding at low points in the shoulder areas
- Permeable roadway shoulder areas allow for stormwater to infiltrate into ground and helps reduce ponding.

Option 1 (Maintain as is) and Option 2 (Repair & Resurface): Allows for existing drainage patterns to remain

Option 3 (6" concrete band): Generally, allows for existing drainage patterns to exist including infiltration into permeable shoulder areas

Option 4 or 5 (2ft or 3ft concrete valley gutters): Convey stormwater more efficiently, removes significant areas of permeability

For Options 3 through 5, the design would need to include evaluation of subsurface storage and infiltration facilities as has been used on other roads in North Fair Oaks (Encina Avenue, Oak Drive, Placitas Avenue, and San Benito Avenue). This evaluation must be very site specific and can only be used where there are no conflicts with existing underground facilities.

DRAINAGE OPTION THAT COULD BE CONSIDERED In areas where there are no underground utilities in conflict



Sewer Work

- The sanitary sewer system will be replaced as part of the project.
- Sanitary sewer work will be one of the first major work to be completed on the project, followed by roadway reconstruction.



Project Funding

- Construction of the roadway options presented
- Work outside of project scope:
 - Landscaping, shoulder and driveway work beyond the required project limit
 - If Property Owners have been contemplating sewer lateral work, completing it prior to roadway work would be advised. Property owners are responsible for maintenance, repair and replacement of the sewer lateral from house to the sewer main in the street.

Other Work

Utilities

- Cal Water - may need to perform work on their existing water line
- PG&E - may need to perform work on their existing gas line
- Any underground utility work to be done will need to happen before any roadwork to avoid damage to the new road.

Schedule

- These items may impact the schedule since we want the best outcome for the roadway.

Proposed Process & Timeline*

16th and 8th Avenues

- **January 2024**: Conduct property owner survey and meet with property owners
- **Late January 2024**: Determine if there is a project and standard to be used (Survey due Jan 26, 2024)
- **Spring 2024**: Develop project scope and design project
- **Early summer 2024**: Advertise and bid out project
- **Summer/Fall 2024**: Project construction*

* Utility work could affect timeline

Thank you

Questions, Comments, and Input

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650-363-4100

**Project Website (presentation and zoom mtg recording
will be posted here):**

<https://www.smcgov.org/publicworks/8th-16th-avenue-reconstruction>

COUNTY OF SAN MATEO

