

ELECTRICAL SYMBOLS LEGEND

OR-	RECESSED LIGHT FIXTURE
OR-F	RECESSED LIGHT FIXTURE W/ ADJUSTIBLE TRIM
SC	WALL MOUNTED LIGHT FIXTURE
CM-	CEILING MOUNTED LIGHT FIXTURE
MP-	ADJUSTABLE MONO POINT FIXTURE (CEILING MTD)
P-	PENDANT TYPE FIXTURE
U	U = UNDERCABINET SURFACE MOUNTED FIXTURE, L = LENGTH IN FEET
EX-	EXTERIOR LIGHT FIXTURE
F	EXHAUST FAN
MS	COMBINATION SMOKE/CARBON MONOXIDE ALARM
MS	MOTION SENSOR
LS	LIGHT SWITCH, WALL MOUNT AT +42" ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED
LS3	3 WAY LIGHT SWITCH, WALL MOUNT AT +42" ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED
LS3D	LIGHT SWITCH WITH DIMMER, WALL MOUNT AT +42" ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED
LS3D	3 WAY LIGHT SWITCH WITH DIMMER, WALL MOUNT AT +42" ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED
DS	DOOR ACTIVATED SWITCH
MS	MOTION SENSOR
SM	SMART SWITCH
OS	WIRELESS, BATTERY POWERED CEILING MTD OCCUPANT/VACANCY SENSOR
OS	VACANCY SENSOR SWITCH W/ AUTOMATIC OFF AND MANUAL ON W/ DIMMER
C	NEW COMBINED CAT5 ETHERNET /HDMI, WALL MOUNT AT +12" ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED
C	NEW CABLE OUTLET, WALL MOUNT AT +12" ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED
C	EXISTING TELEPHONE LINE
C	NEW DUPLEX OUTLET, WALL MOUNT AT +12" ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED
C	NEW QUADPLEX OUTLET, TAMPER PROOF, WALL MOUNT AT +12" A.F.F., U.O.N.
CHCG	NEW COMBINED CABLE / HDMI / CAT5 OUTLET
C	EXISTING DUPLEX OUTLET
GFI	GROUND FAULT CIRCUIT INTERRUPTER
DO	DUPLEX FLOOR OUTLET
NW	NETWORK POINT/ CABLE OR FIBER MAIN INTERIOR FT OF CONNECTION, ROUTER LOCATION
DB	DOORBELL
DC	DOORBELL CHIME
TV	RECESSED TV BOX FOR POWER AND DATA
W	RECESSED IN-WALL LIGHT, SEE LANDSCAPE DRAWINGS FOR FIXTURE SPEC
PM GFCI	UNDERCABINET MOUNTED GFCI PLUG MOLD, INT. DESIGNER TO PROVIDE SPEC AND LENGTH
EMC	ELECTRIFIED MEDICINE CABINET

ABBREVIATIONS

ADJ.	Adjacent	LEV.	Level
A.F.F.	Above Finish Floor	LOC.	Location
AI	Aluminum	MAX.	Maximum
BD.	Board	MECH.	Mechanical
BETW.	Between	MEMB.	Membrane
BLKG.	Blocking	MF.R.	Manufacturer
BM.	Beam	MIN.	Minimum
C.J.	Control Joint	MTD.	Mounted
C.L.	Center Line	MTL.	Metal
CLNG.	Ceiling	MOD.	Module
CLR.	Clear	N.I.C.	Not in Contract
COL.	Column	NO.	Number
CONC.	Concrete	(N)	New
CONST.	Construction	O.C.	On Center
CONT.	Continuous	OPNG.	Opening
DBL.	Double	OPP.	Opposite
DIA.	Diameter	P.L.	Property Line
DIM.	Dimension	PLT.	Plate
DN.	Down	PLY.	Plywood
DR.	Door	PT.	Point
DTL.	Detail	PTD.	Painted
DWG.	Drawing	RAD.	Radius, Radii
E.A.	Each	R.D.	Roof Drain
EL.	Elevation	RE.	Refer To
ELEC.	Electrical	RES.	Resistant
ELEV.	Elevator	RESIL.	Resilient
EQV.	Equal/Equal To	REQD.	Required
EQUIP.	Equipment	RM.	Room
EXP.	Expansion	R.O.	Rough Opening
EXT.	Exterior	S.C.	Solid Core
(E)XT.	Existing	SCHED.	Scheduled
F.F.	Finish Floor	SECT.	Section
FLR.	Floor	SHT.	Sheet
FLUOR.	Fluorescent	SIM.	Similar
FIN.	Finish	SKID GD.	Skid Guard
F.O.	Face Of	SSD	See Structural Dwg's.
F.O.S.	Face of Stud	ST. STL.	Stainless Steel
F.O.W.	Face of Wall	STRUC.	Structural
GA.	Gauge	SUSP.	Suspended
GR.	Grade	THK.	Thick
GSM	Galvanized Sheet Metal	THRU	Through
GYP BD.	Gypsum Board	T.O.	Top Of
H.C.	Hollow Core	TYP.	Typical
H.M.	Hollow Metal	U.O.N.	Unless Otherwise Noted
HR.	Hour	VEN.	Veneer
HT.	Height	VEST.	Vestibule
INS.	Insulation	VER.	Verify
INT.	Interior	V.I.F.	Verify in Field
JT.	Joint	W/	With
		WD.	Wood

8 ABBREVIATIONS
SCALE: N/A

ARCHITECTURAL

- A001 VICINITY MAP, ASSESSOR'S PARCEL MAP, NOTES, ZONING SUMMARY, SCOPE OF WORK, ABBREVIATIONS SITE SURVEY
- A101 EXISTING SITE PLAN
- A102 PROPOSED SITE PLAN
- A103 AREA ANALYSIS
- A104 3D MODEL VIEWS
- A201 PROPOSED GROUND FLOOR PLANS
- A202 PROPOSED SECOND FLOOR PLANS
- A203 PROPOSED ROOF PLAN
- A301 PROPOSED BUILDING ELEVATIONS
- A302 PROPOSED BUILDING ELEVATIONS
- A303 PROPOSED BUILDING ELEVATIONS
- A401 PROPOSED BUILDING SECTIONS
- A402 PROPOSED BUILDING SECTIONS
- A403 PROPOSED BUILDING SECTIONS
- A501 WINDOW AND SKYLIGHT SCHEDULES, FLASHING SEQUENCE
- A502 DOOR SCHEDULE

LANDSCAPE

- L1.0 LANDSCAPE PLAN

CIVIL

- C1 EXISTING CONDITIONS AND DEMOLITION PLAN
- C2 GRADING DRAINAGE AND UTILITY PLAN
- C3 EROSION CONTROL PLAN
- C4 STORMWATER BEST MANAGEMENT PRACTICES

7 DRAWINGS LIST
SCALE: N/A

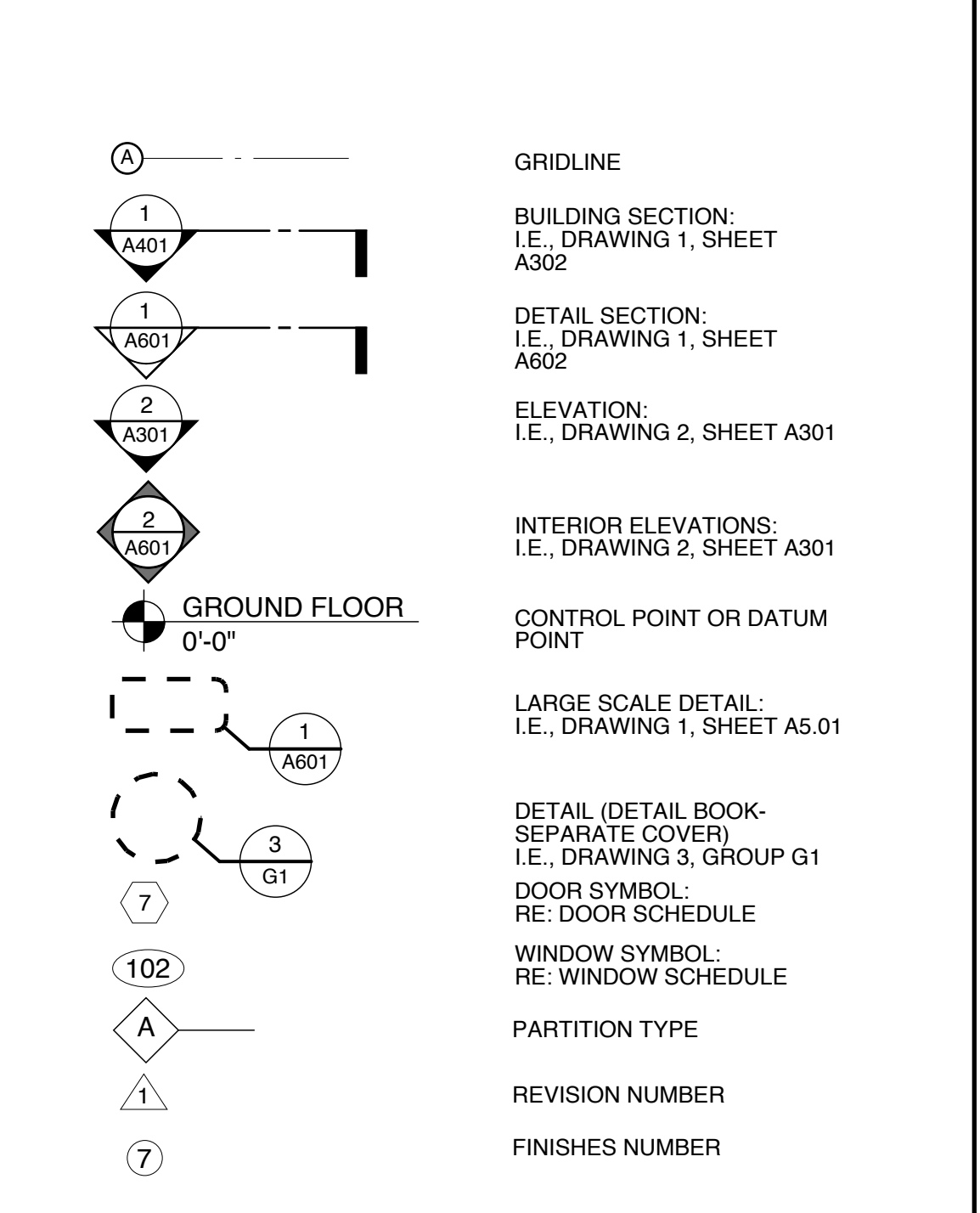
- ALL CONSTRUCTION AND DETAILS SHALL BE COMPLETED IN FULL COMPLIANCE WITH 2022 CALIFORNIA RESIDENTIAL CODE, 2022 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA ELECTRICAL CODE, 2022 CALIFORNIA FIRE CODE, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA ENERGY CODE, AND ALL OTHER APPLICABLE LOCAL AND STATE CODES AND REQUIREMENTS. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS, LAWS, ORDINANCES AND ORDERS BY ANY PUBLIC AUTHORITY HAVING JURISDICTION OF THE PROJECT.
- THE CONTRACTOR AND HIS/HER SUB-CONTRACTORS SHALL STUDY AND COMPARE THE CONTRACT DOCUMENTS AND SHALL AT ONCE REPORT TO THE ARCHITECT IN WRITING ALL ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED AND VERIFY ALL DIMENSIONS ON SITE **PRIOR TO COMMENCING THE WORK**. IF THE CONTRACTOR PROCEEDS WITH ANY OF THE WORK SO AFFECTED WITHOUT WRITTEN INSTRUCTIONS OF THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD AT HIS OWN COST ANY RESULTING ERROR, DAMAGE, OR DEFECTS. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK WITHOUT CONTRACT DOCUMENTS OR, WHERE REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT DATA OR SAMPLES FOR SUCH PORTION OF THE WORK.
- THE INTENT OF THESE DRAWINGS IS TO PROVIDE A COMPLETE AND FINISHED JOB IN ALL RESPECTS. CONTRACTOR TO MAKE ACCURATE FIELD INSPECTIONS OF ALL ASPECTS OF THE JOB, VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO STARTING WORK, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. EXTRAS WILL NOT BE ALLOWED UNLESS AUTHORIZED BY THE OWNER AND ARCHITECT BY WRITTEN CHANGE ORDER.
- ALL GRID LINES AND DIMENSIONS ARE TO CENTER LINE OF ARCHITECTURAL ELEMENT, CENTER LINE OF STUD, OR FACE OF FINISH UNLESS OTHERWISE NOTED. ONLY WRITTEN DIMENSIONS ON DRAWINGS SHALL BE CONSIDERED FOR DIMENSIONING PURPOSES. **DO NOT SCALE DRAWINGS.**
- BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO CONFORM WITH THE CODE, AND TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
- CONTRACTOR SHALL CHECK WITH ALL EQUIPMENT AND PRODUCT MANUFACTURERS TO VERIFY DIMENSIONS AND DETAILS PRIOR TO THE COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTION PROGRAMS IN CONNECTION WITH WORK, AND FOR MAINTAINING APPROPRIATE INSURANCE TO PROTECT THE CONTRACTOR, THE OWNER AND THE ARCHITECT.
- CONTRACTOR SHALL ERECT AND MAINTAIN TEMPORARY BARRICADES AND DUST-PROOF PARTITIONS AS NEEDED FOR PROTECTION AGAINST ACCIDENT, AND SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF HIS/HER ONGOING WORK AND THE OWNER'S PROPERTY FROM DAMAGE OR LOSS ARISING IN CONNECTION WITH ANY CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AT THE JOB AS NECESSARY AND REQUIRED BY CODE.
- IMPROVEMENTS ON THE JOB SITE, WORK IN PROGRESS, STORED MATERIALS AND PUBLIC AND PRIVATE IMPROVEMENTS ON THE PREMISES SHALL BE PROTECTED BY THE CONTRACTOR FROM DAMAGE ARISING FROM THE WORK. ALL DAMAGE SO OCCURRING SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST TO OWNER OR ARCHITECT.
- NO PART OF THE STRUCTURE SHALL BE OVERLOADED BEYOND ITS SAFE CARRYING CAPACITY BY THE PLACING OF MATERIALS, EQUIPMENT, TOOLS, MACHINERY OR ANY OTHER ITEMS.
- WHERE SPECIFIED ITEMS ARE MENTIONED, THE CONTRACTOR MAY SUBMIT ALTERNATE MATERIALS FOR APPROVAL BY THE OWNER AND THE ARCHITECT.
- ANY CHANGE, MODIFICATION OR INTERPRETATION OF THE SCOPE OR REQUIREMENTS OUTLINED WITHIN THESE DOCUMENTS, UNDERTAKEN WITHOUT CONSULTATION WITH THE ARCHITECT (OR ANY UNFORESEEN CONDITIONS RESULTING THEREFROM) SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR RESPECTIVELY. AS STIPULATED WITHIN THE OWNER/ARCHITECT AGREEMENT, THE ARCHITECT SHALL BE HELD HARMLESS FROM ANY CLAIMS RESULTING FROM SUCH ACTIVITY.
- BUILDING APPROVED HVAC MECHANICAL ENGINEER TO REVIEW DRAWINGS AND EXISTING SYSTEM TO CONFIRM CODE COMPLIANCE, AND COMPLETE WORK AS NECESSARY TO MEET BUILDING CODE.
- CONTRACTOR IS TO CALL USA NORTH 811 AND GET A TICKET BEFORE ANY SITE DIGGING.

6 GENERAL NOTES
SCALE: N/A

7 NORTHVIEW AREA SUMMARY

APN	057-131-400	AREAS (PROPOSED)		LOT COVERAGE (PROPOSED)		EXISTING DESIGN	
LOT AREA	12053 SF	PRIMARY DWELLING GROUND FLOOR (W/ GARAGE):	2115 SF	PRIMARY DWELLING GROUND FLOOR (W/ GARAGE):	2115 SF	PRIMARY DWELLING GROUND FLOOR (W/CARPORPTS):	2020 SF
MAX. LOT COVERAGE 25%:	3013 SF	PRIMARY DWELLING SECOND FLOOR:	1497 SF	PRIMARY DWELLING SECOND FLOOR ABOVE ADU:	395 SF	PRIMARY DWELLING TOTAL:	2020 SF
MAX. FAR 30%:	3616 SF	PRIMARY DWELLING TOTAL:	3612 SF	BEDROOM 2 ROOF DECK:	263 SF		
MAX. ADU:	800 SF			PRIMARY DECK:	66 SF		
				PRIMARY DWELLING CANTILEVER:	74 SF		
				ENTRY PERGOLA:	60 SF		
				TOTAL LOT COVERAGE:	2973 SF		

5 AREA SUMMARY/ AREA CALCS
SCALE: N/A



9 SYMBOLS LEGEND
SCALE: N/A

LOCATION: 7 NORTHVIEW WAY, EMERALD HILLS CA 94062

APN: 057-131-400

ZONING: RH/DR (RESIDENTIAL HILLSIDE DISTRICT/DESIGN REVIEW DISTRICT)

USE: SINGLE FAMILY DWELLING

HEIGHT LIMIT: 28'

LOT AREA: 12 053 sf

CONSTRUCTION TYPE: V-B

SET BACKS: FRONT: 20 Ft
REAR: 20 Ft
SIDE: AGGREGATE OF 20 Ft, NO SIDE SHALL BE LESS THAN 7.5 Ft

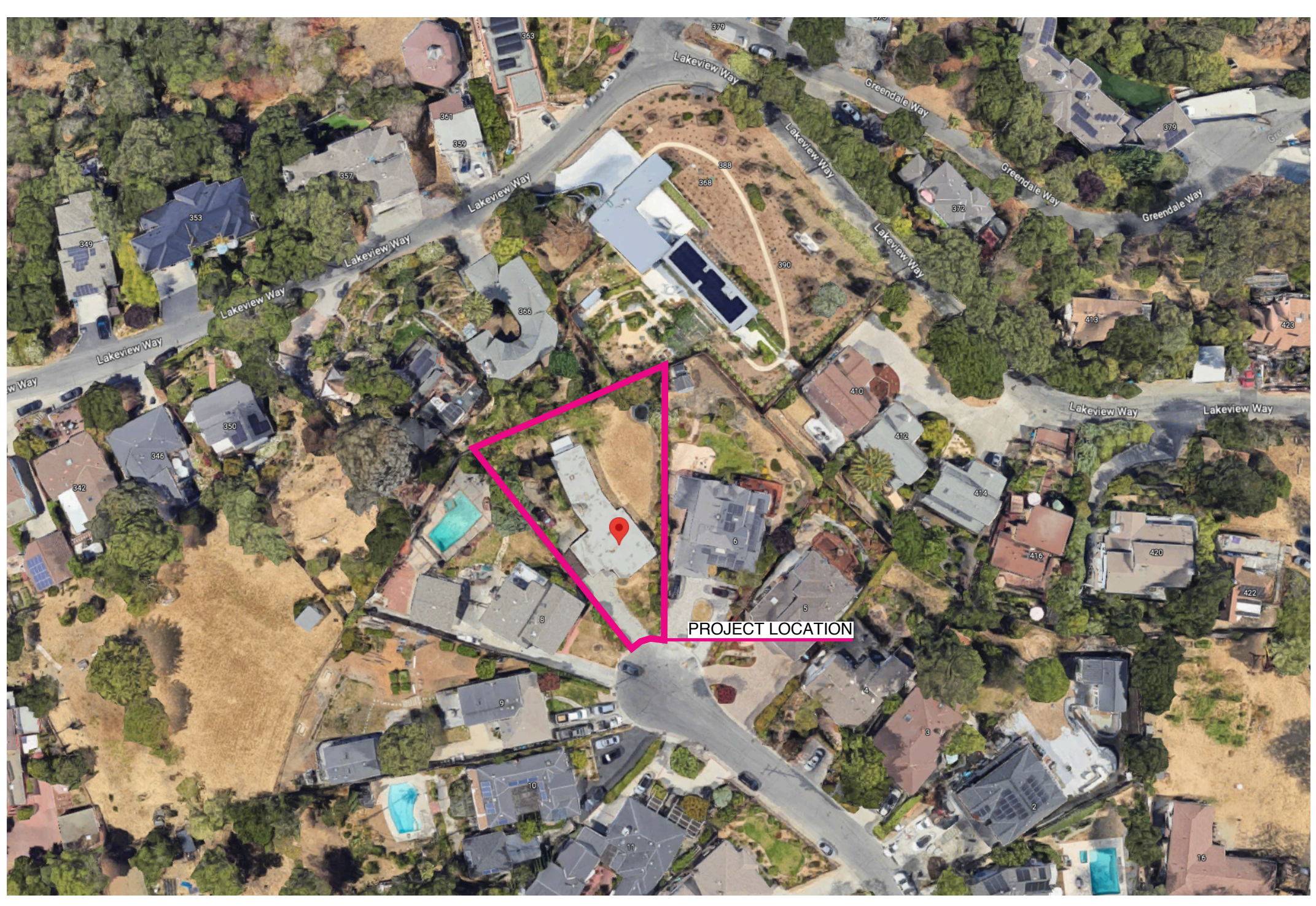
PARKING: 2 COVERED + 2 GUEST PARKINGS
1 ADU PARKING

4 ZONING SUMMARY
SCALE: N/A

DEMO (E) PRIMARY DWELLING UNIT, CONSTRUCTION OF (N) DWELLING UNIT AND ATTACHED ADU

2 SCOPE OF WORK
SCALE: N/A

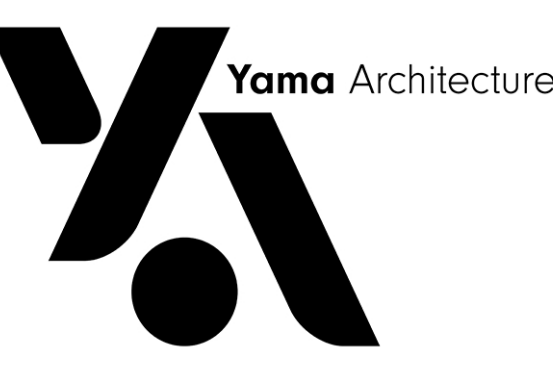
1 ASSESSOR MAP
SCALE: N/A



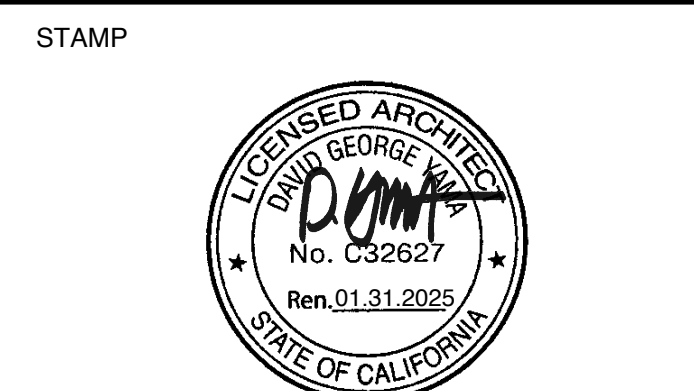
4 VICINITY & CONTEXT MAPS
SCALE: N/A



7 NORTHVIEW - DESIGN REVIEW SUBMITTAL CYCLE 2 (REV1)



Yama Architecture.com
84 Tamalpais Road Berkeley CA 94708 (510) 541 0556



PROJECT ADDRESS
7 Northview Way,
Emerald Hills, CA 94062

PROJECT TEAM

OWNER: Manish Singhal & Suma Nulu
7 Northview Way
Emerald Hills, CA 94062
contact: Manish Singhal or Suma Nulu
maddmanish@gmail.com
sumanulu@gmail.com

ARCHITECT: Yama Architecture
84 Tamalpais Road
Berkeley, CA 94708
(510) 541-0556 c
contact: David Yama
yama@yamaarchitecture.com

LANDSCAPE ARCHITECT: Design Focus
PO BOX 485
Ben Lomom, CA 95005
(831) 336-3100
contact: Katie Herman
katie@designfocus.com

CIVIL: Sterling Consultants
46560 Fremont Boulevard, Suite 205
Fremont, CA 94538
(925) 705-9633
contact: Michael Mount
mmount@sterlingconsultants.com

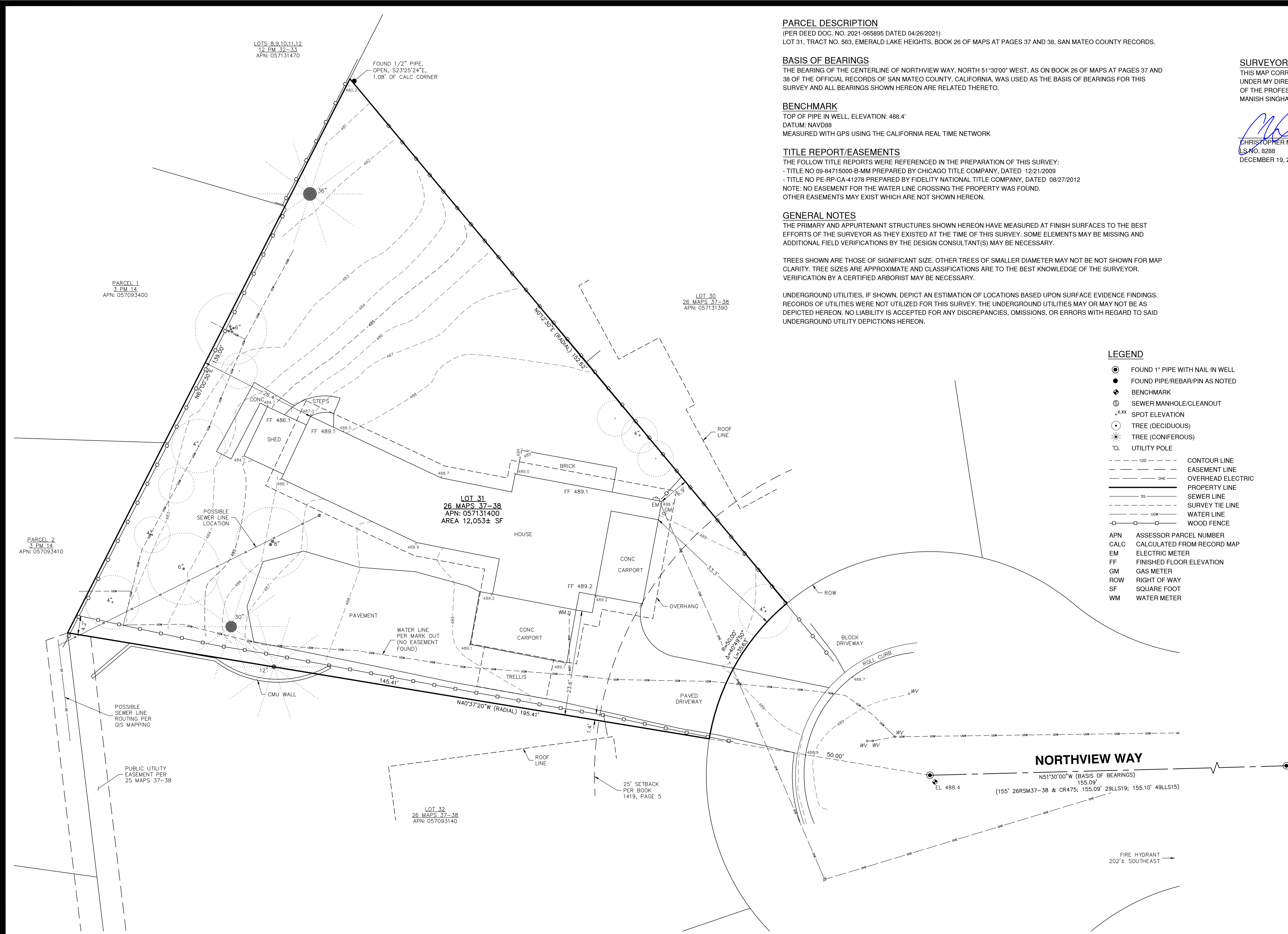
ISSUE	DELTA	DATE	DESCRIPTION
		10.12.23	DESIGN REVIEW
		12.18.23	DESIGN REVIEW REV1 - CYCLE 2

10:50 AM 12/20/23

JOB NO. #2303 SINGHAL NULU RESIDENCE

DESCRIPTION
DRAWING INDEX, VICINITY MAP, ASSESSOR'S MAP, ZONING SUMMARY AND AREA CALCS, SCOPE OF WORK, GENERAL NOTES, ABBREVIATIONS, SYMBOLS

A001



PARCEL DESCRIPTION
 (PER DEED DOC. NO. 2021-065895 DATED 04/26/2021)
 LOT 31, TRACT NO. 563, EMERALD LAKE HEIGHTS, BOOK 26 OF MAPS AT PAGES 37 AND 38, SAN MATEO COUNTY RECORDS.

BASIS OF BEARINGS
 THE BEARING OF THE CENTERLINE OF NORTHVIEW WAY, NORTH 51°30'00" WEST, AS ON BOOK 26 OF MAPS AT PAGES 37 AND 38 OF THE OFFICIAL RECORDS OF SAN MATEO COUNTY, CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY AND ALL BEARINGS SHOWN HEREON ARE RELATED THERETO.

BENCHMARK
 TOP OF PIPE IN WELL, ELEVATION: 488.4'
 DATUM: NAVD88
 MEASURED WITH GPS USING THE CALIFORNIA REAL TIME NETWORK

TITLE REPORT/EASEMENTS
 THE FOLLOWING TITLE REPORTS WERE REFERENCED IN THE PREPARATION OF THIS SURVEY:
 - TITLE NO 09-84715000-B-MM PREPARED BY CHICAGO TITLE COMPANY, DATED 12/21/2009
 - TITLE NO PE-PP-CA-41278 PREPARED BY FIDELITY NATIONAL TITLE COMPANY, DATED 08/27/2012
 NOTE: NO EASEMENT FOR THE WATER LINE CROSSING THE PROPERTY WAS FOUND.
 OTHER EASEMENTS MAY EXIST WHICH ARE NOT SHOWN HEREON.

GENERAL NOTES
 THE PRIMARY AND APPURTENANT STRUCTURES SHOWN HEREON HAVE MEASURED AT FINISH SURFACES TO THE BEST EFFORTS OF THE SURVEYOR AS THEY EXISTED AT THE TIME OF THIS SURVEY. SOME ELEMENTS MAY BE MISSING AND ADDITIONAL FIELD VERIFICATIONS BY THE DESIGN CONSULTANT(S) MAY BE NECESSARY.

TREES SHOWN ARE THOSE OF SIGNIFICANT SIZE. OTHER TREES OF SMALLER DIAMETER MAY NOT BE SHOWN FOR MAP CLARITY. TREE SIZES ARE APPROXIMATE AND CLASSIFICATIONS ARE TO THE BEST KNOWLEDGE OF THE SURVEYOR. VERIFICATION BY A CERTIFIED ARBORIST MAY BE NECESSARY.

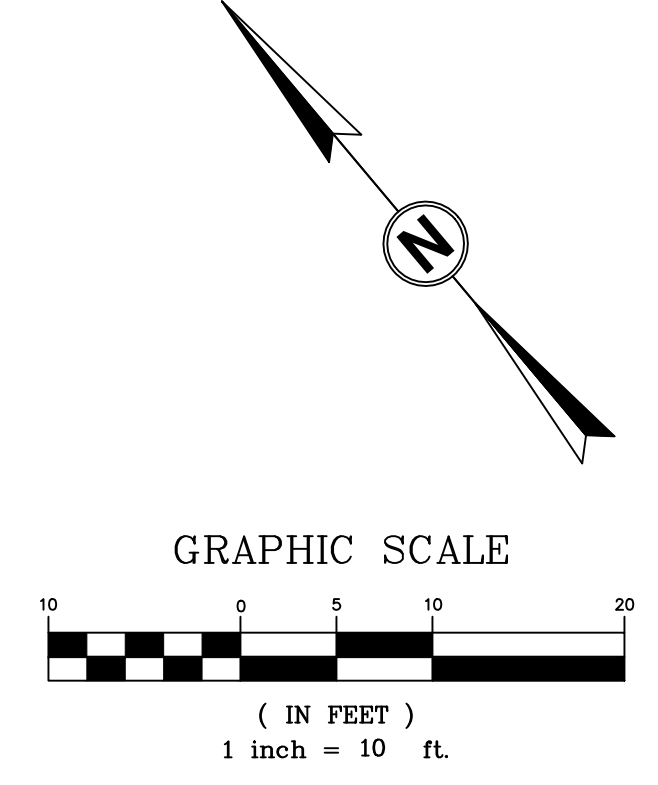
UNDERGROUND UTILITIES, IF SHOWN, DEPICT AN ESTIMATION OF LOCATIONS BASED UPON SURFACE EVIDENCE FINDINGS. RECORDS OF UTILITIES WERE NOT UTILIZED FOR THIS SURVEY. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED HEREON. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS, OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS HEREON.

SURVEYOR'S STATEMENT
 THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF MANISH SINGHAL IN JANUARY 2023.

Christopher M. Coppens
 CHRISTOPHER M. COPPENS
 LS NO. 8288
 DECEMBER 19, 2023



- LEGEND**
- FOUND 1" PIPE WITH NAIL IN WELL
 - FOUND PIPE/REBAR/PIN AS NOTED
 - ◆ BENCHMARK
 - ⊕ SEWER MANHOLE/CLEANOUT
 - SPOT ELEVATION
 - ☀ TREE (DECIDUOUS)
 - ☀ TREE (CONIFEROUS)
 - UTILITY POLE
 - 100 --- CONTOUR LINE
 - EASEMENT LINE
 - OVERHEAD ELECTRIC
 - PROPERTY LINE
 - SS --- SEWER LINE
 - SURVEY TIE LINE
 - UGW --- WATER LINE
 - WOOD FENCE
 - APN ASSESSOR PARCEL NUMBER
 - CALC CALCULATED FROM RECORD MAP
 - EM ELECTRIC METER
 - FF FINISHED FLOOR ELEVATION
 - GM GAS METER
 - ROW RIGHT OF WAY
 - SF SQUARE FOOT
 - WM WATER METER



Copyright © 2023 Coppens Land Surveying. All Rights Reserved.

1755 Matthews Ln, Santa Cruz, CA 95062
 www.surv-a.com

This map was prepared as an instrument of service for the preparation of plans and specifications for proposed construction. The information shown hereon shall not be used in whole or in part for any other project without the consent of Coppens Land Surveying. Any plan using the information shown hereon shall contain the statement: "Survey performed by Coppens Land Surveying"

SUBMITTALS		
0	03/22/2023	PRELIMINARY SUBMITTAL
1	03/23/2023	ADD DEED, TITLE & SETBACK
2	03/28/2023	ISSUED S&S SURVEY
3	12/19/2023	REVISED SHEET TITLE

SITE

**7 NORTHVIEW WAY
 EMERALD HILLS, CA 94062**

**UNINCORPORATED
 SAN MATEO COUNTY**

APN: 057131400

TITLE

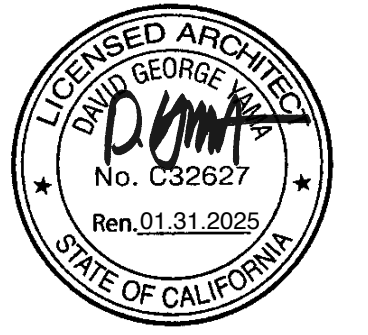
**BOUNDARY &
 TOPOGRAPHIC
 SURVEY**

CLS Project # 23004



Yama Architecture.com
84 Tamalpais Road Berkeley CA 94708 (510) 541 0556

STAMP



PROJECT ADDRESS

7 Northview Way,
Emerald Hills, CA 94062

PROJECT TEAM

OWNER: Manish Singhal & Suma Nulu
7 Northview Way
Emerald Hills, CA 94062
contact: Manish Singhal or
Suma Nulu
maddmanish@gmail.com
sumanulu@gmail.com

ARCHITECT: Yama Architecture
84 Tamalpais Road
Berkeley, CA 94708
(510) 541-0556 c
contact: David Yama
yama@yamaarchitecture.com

LANDSCAPE ARCHITECT: Design Focus
PO BOX 485
Ben Lomom, CA 95005
(831) 336-3100
contact: Katie Herman
katie@designfocus.com

CIVIL: Sterling Consultants
46560 Fremont Boulevard, Suite 205
Fremont, CA 94538
(925) 705-9633
contact: Michael Mount
mimount@sterlingconsultants.com

LEGEND

- NEW 1-HR FIRE RATED ASSEMBLY
- EXISTING AREA OF DEMOLITION
- NEW BEAM ABOVE (PLAN)
- NEW SHEAR WALL (PLAN)
- NEW SHEAR WALL (ELEVATION/SECTION)

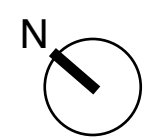
ISSUE

DELTA	DATE	DESCRIPTION
	10.12.23	DESIGN REVIEW
▲	12.18.23	DESIGN REVIEW REV1 - CYCLE 2

9:27 AM 12/19/23

JOB NO. #2303 SINGHAL NULU
RESIDENCE

DESCRIPTION
EXISTING SITE PLAN



A101

LOTS 8,9,10,11,12
12 PM 32-33
APN: 057131470

SHED
FOUND 1/2" PIPE, OPEN,
S23°25'24"E, 1.08' OF
CALC CORNER

LOT 30
26 MAPS 37-38
APN: 057131390

PARCEL 1
3 PM 14
APN: 057093400

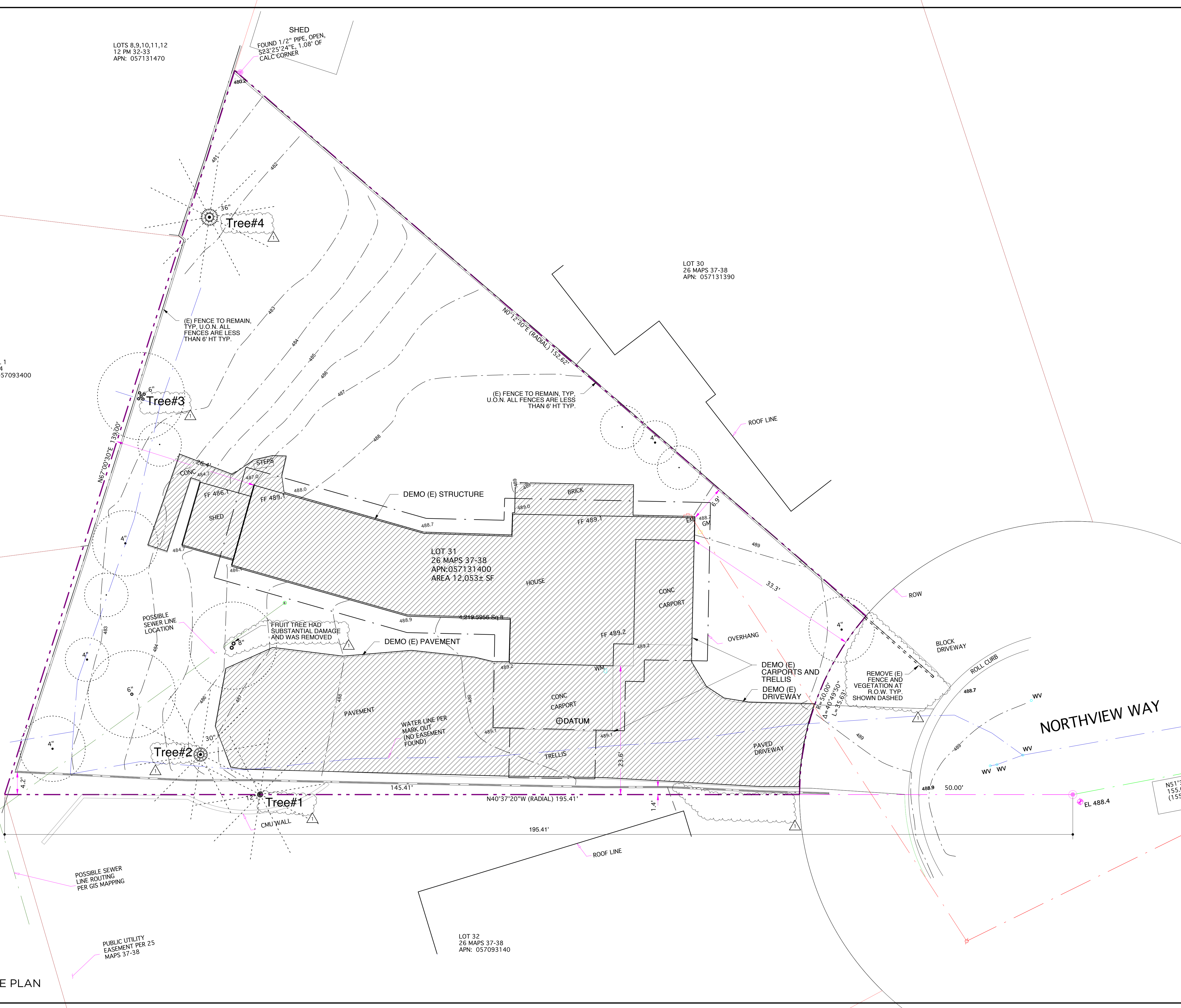
PARCEL 2
3 PM 14
APN: 057093410

LOT 32
26 MAPS 37-38
APN: 057093140

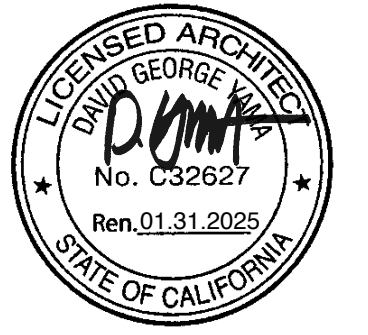
© YAMA ARCHITECTURE, 2023. PRINTED: 12/19/23, 9:27 AM. FILE: APPLICATION ARCHIVE_#2303_SINGHAL_NULU_SITE_PLAN.rvt. PROJECT: 2303 SINGHAL NULU RESIDENCE (Redwood City) 2023-08. Arch Drawings: 2D, 2303-08. Current Drawings: 2023.12.13 DESIGN REVIEW CYCLE 2 PERMIT

1 EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"



STAMP



PROJECT ADDRESS

**7 Northview Way,
Emerald Hills, CA 94062**

PROJECT TEAM


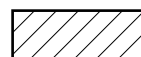
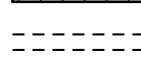

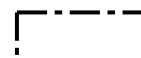
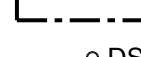
OWNER: Manish Singhal & Suma Nulu
7 Northview Way
Emerald Hills, CA 94062
contact: Manish Singhal or
Suma Nulu
maddmanish@gmail.com
sumanulu@gmail.com

ARCHITECT: Yama Architecture
84 Tamalpais Road
Berkeley, CA 94708
(510) 541-0556 c
contact: David Yama
yama@yamaarchitecture.com

LANDSCAPE ARCHITECT: Design Focus
PO BOX 485
Ben Lomax, CA 95005
(831) 336-3100
contact: Katie Herman
katie@designfocus.com

CIVIL: Sterling Consultants
46560 Fremont Boulevard, Suite 205
Fremont, CA 94538
(925) 705-9633
contact: Michael Mount
mmount@sterlingconsultants.com

LEGEND

-  NEW 1-HR FIRE RATED ASSEMBLY
-  EXISTING AREA OF DEMOLITION
-  NEW BEAM ABOVE (PLAN)
-  NEW SHEAR WALL (PLAN)
-  NEW SHEAR WALL (ELEVATION/SECTION)
-  DS DOWN SPOUTS

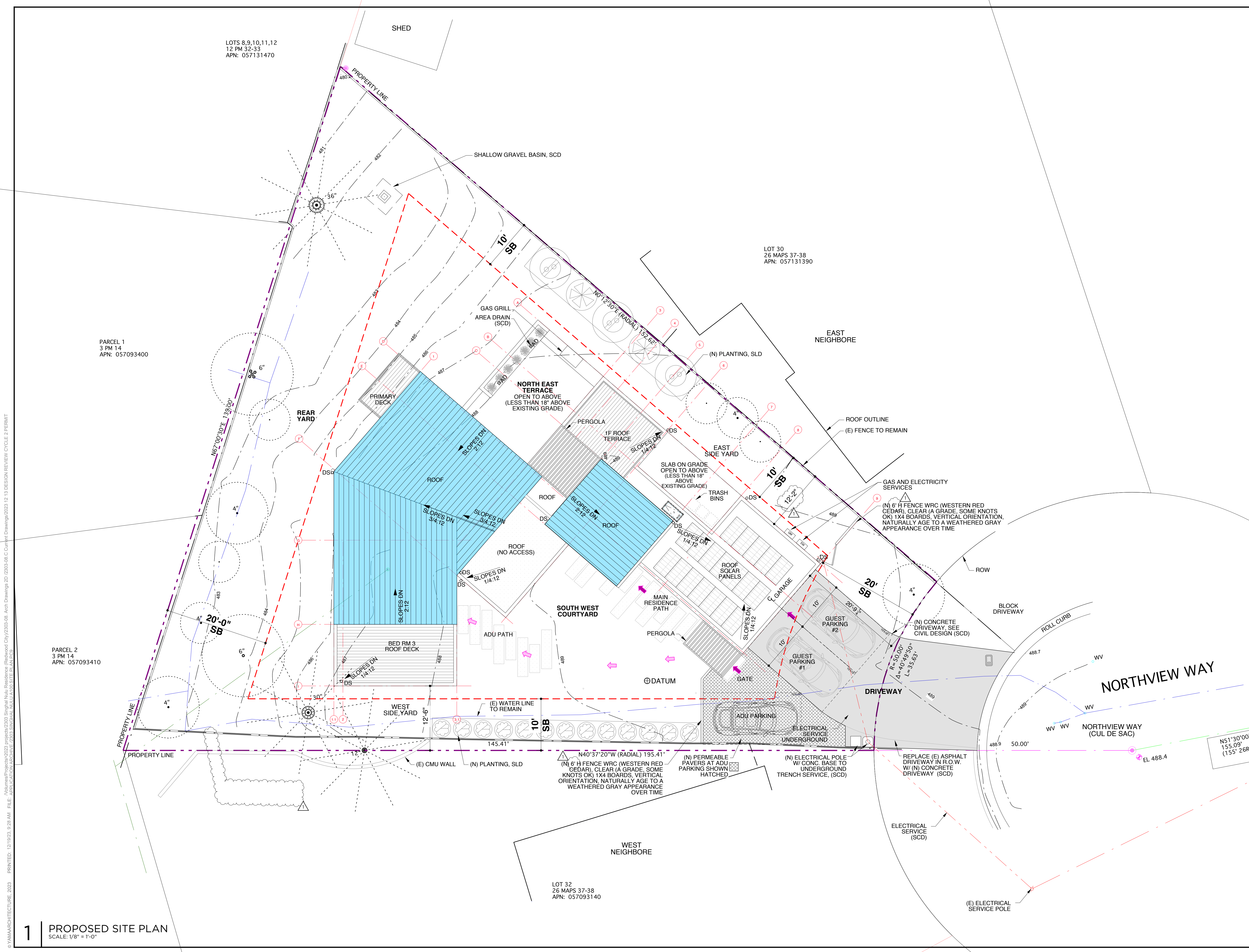
ISSUE	DELTA	DATE	DESCRIPTION
		10.12.23	DESIGN REVIEW
		12.18.23	DESIGN REVIEW REV1 - CYCLE 2

9:28 AM 12/19/23

JOB NO. #2303 SINGHAL NULU RESIDENCE

DESCRIPTION PROPOSED SITE PLAN

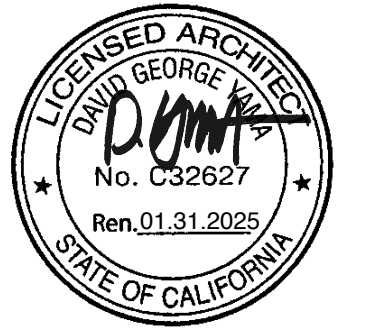
A102



YAMA ARCHITECTURE, 2023. PRINTED: 12/19/23, 9:28 AM. FILE: APPLICATION ARCHIVE #2303 SINGHAL NULU ADU SITE PLAN.rvt
 Volume: Projects\2023\Projects\2303 Singhal Nulu Residence (Redwood City)\2303-08 Arch Drawings\2D\2303-08.c Current Drawings\2023 12 13 DESIGN REVIEW CYCLE 2 PERMIT

1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

STAMP



PROJECT ADDRESS

7 Northview Way,
Emerald Hills, CA 94062

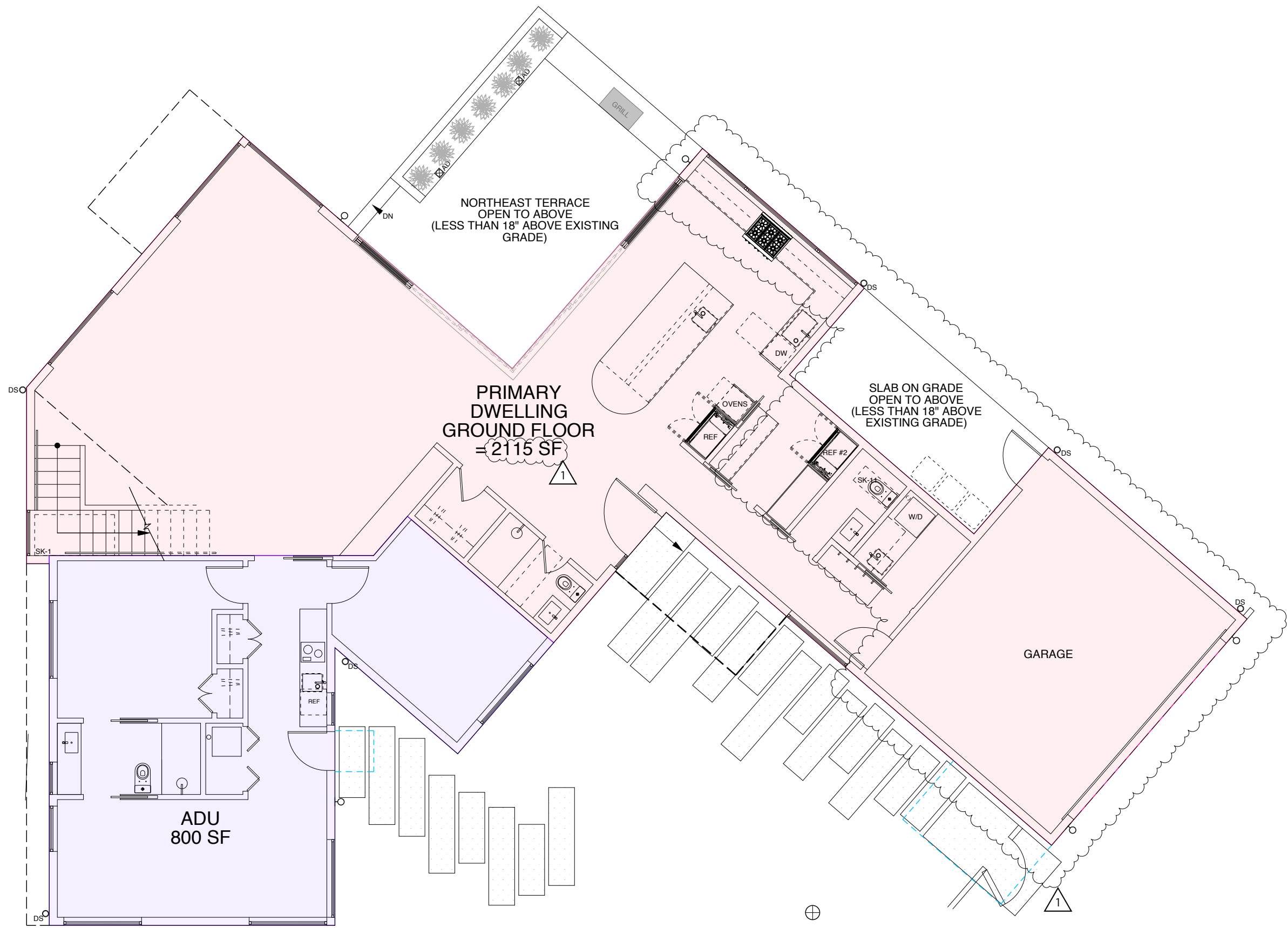
PROJECT TEAM

OWNER: Manish Singhal & Suma Nulu
7 Northview Way,
Emerald Hills, CA 94062
contact: Manish Singhal or
Suma Nulu
maddmanish@gmail.com
sumanulu@gmail.com

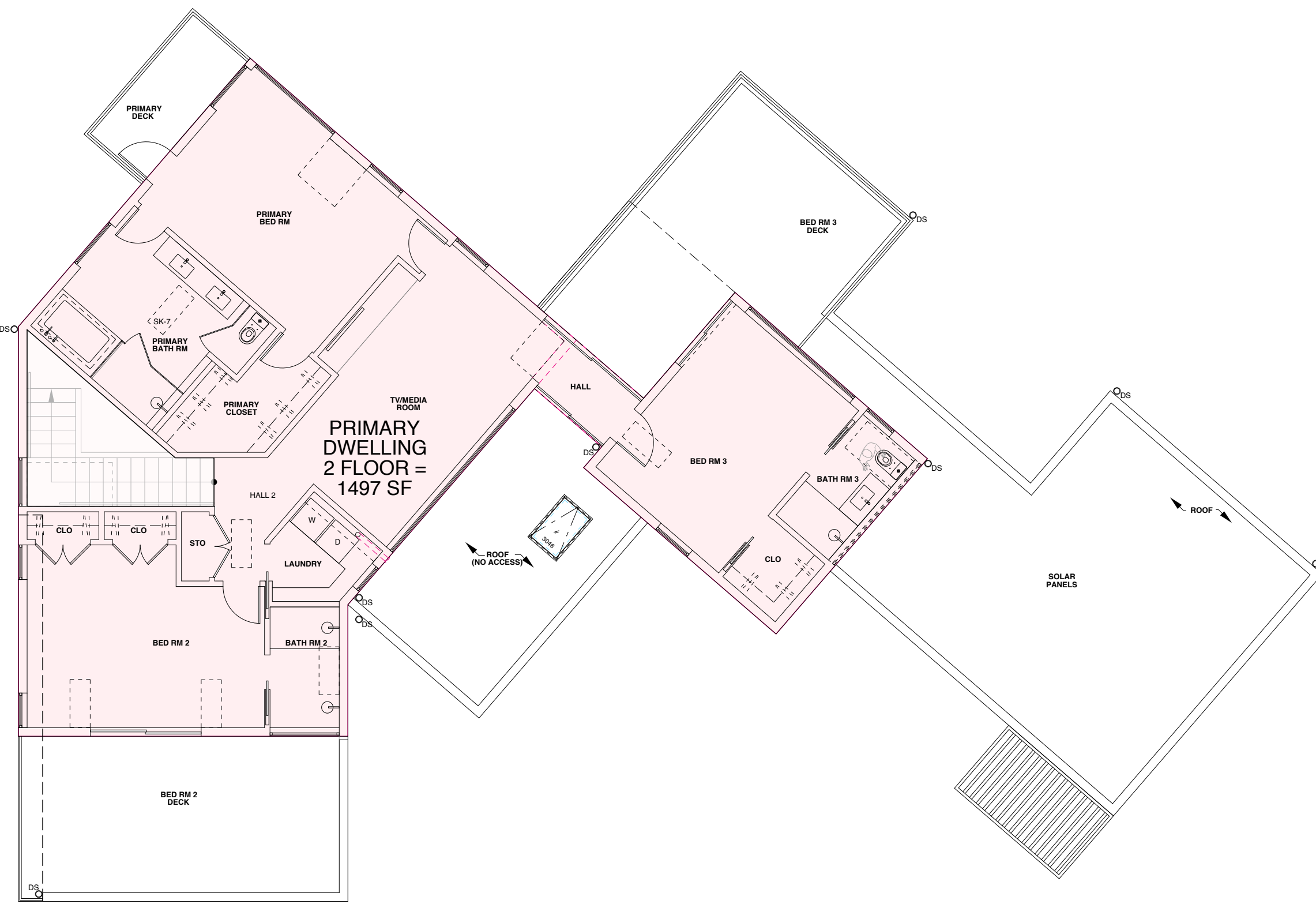
ARCHITECT: Yama Architecture
84 Tamalpais Road
Berkeley, CA 94708
(510) 541-0556 c
contact: David Yama
yama@yamaarchitecture.com

LANDSCAPE ARCHITECT: Design Focus
PO BOX 485
Ben Lomom, CA 95005
(831) 336-3100
contact: Katie Herman
katie@designfocus.com

CIVIL: Sterling Consultants
46560 Fremont Boulevard, Suite 205
Fremont, CA 94538
(925) 705-9633
contact: Michael Mount
mmount@sterlingconsultants.com



GROUND FLOOR



SECOND FLOOR

7 NORTHVIEW AREA SUMMARY

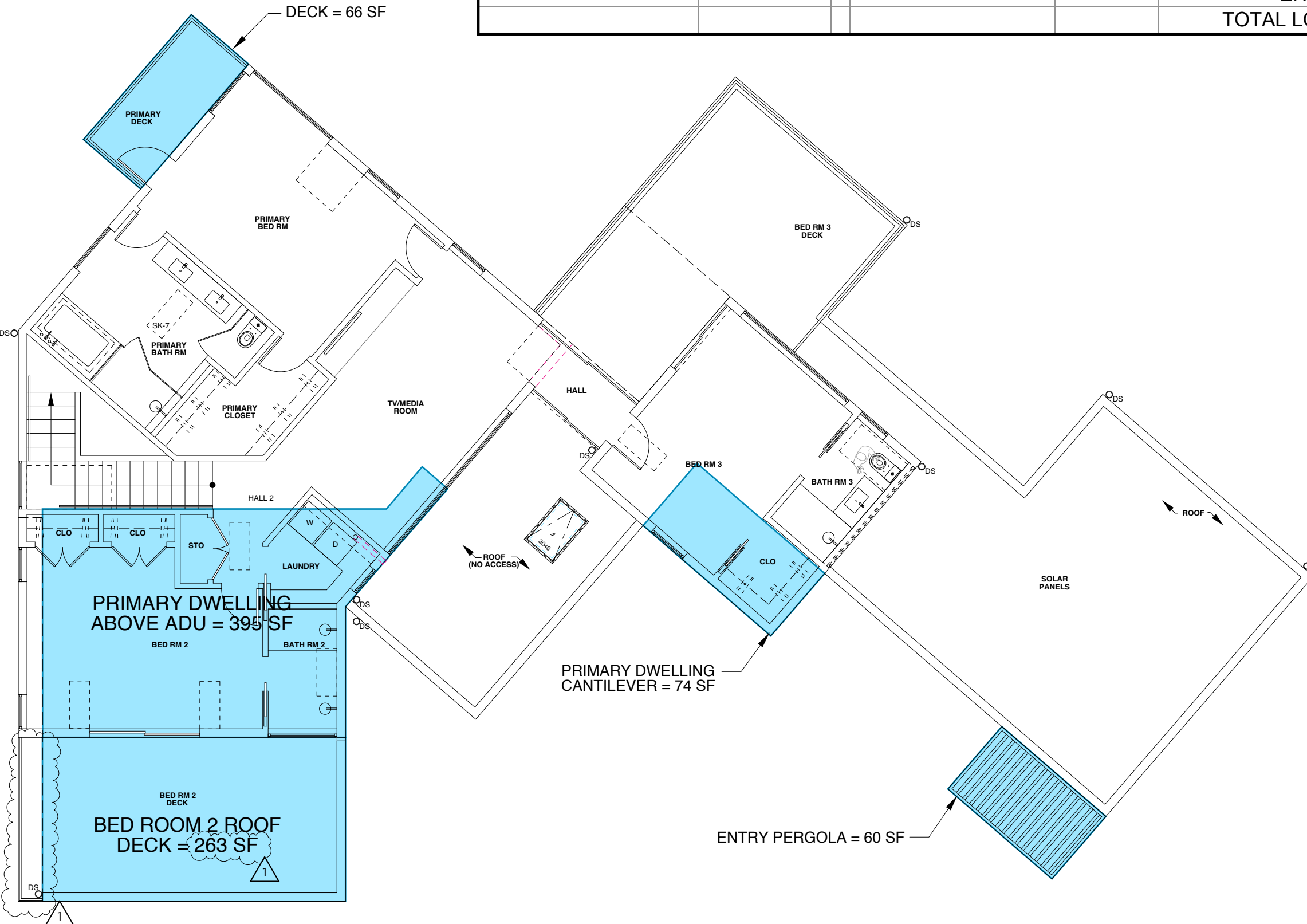
APN	057-131-400	FAR	LOT COVERAGE
LOT AREA	12053 SF	GROUND FLOOR (W/ GARAGE): 2115 SF	PRIMARY DWELLING GROUND FLOOR (W/ GARAGE): 2115 SF
MAX. LOT COVERAGE 25%:	3013 SF	SECOND FLOOR: 1497 SF	PRIMARY DWELLING SECOND FLOOR ABOVE ADU: 395 SF
MAX. FAR 30%:	3616 SF	PRIMARY DWELLING TOTAL: 3612 SF	BEDROOM 2 ROOF DECK: 263 SF
MAX. ADU:	800 SF		PRIMARY DECK: 66 SF
			PRIMARY DWELLING CANTILEVER: 74 SF
			ENTRY PERGOLA: 60 SF
			TOTAL LOT COVERAGE: 2973 SF

2 FLOOR AREA RATIO (FAR) ANALYSIS

SCALE: 1/8" = 1'-0"



GROUND FLOOR



SECOND FLOOR

LEGEND

- INDICATES MAIN RESIDENCE AREA
- INDICATES ADU AREA
- INDICATES AREA COUNTED TOWARDS LOT COVERAGE

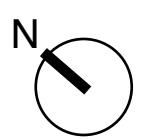
ISSUE

DELTA	DATE	DESCRIPTION
	10.12.23	DESIGN REVIEW
▲	12.18.23	DESIGN REVIEW REV1 - CYCLE 2

10:52 AM 12/20/23

JOB NO. #2303 SINGHAL NULU
RESIDENCE

DESCRIPTION
AREA CALCULATIONS



A103



1. VIEW 1: SOUTH- FRONT



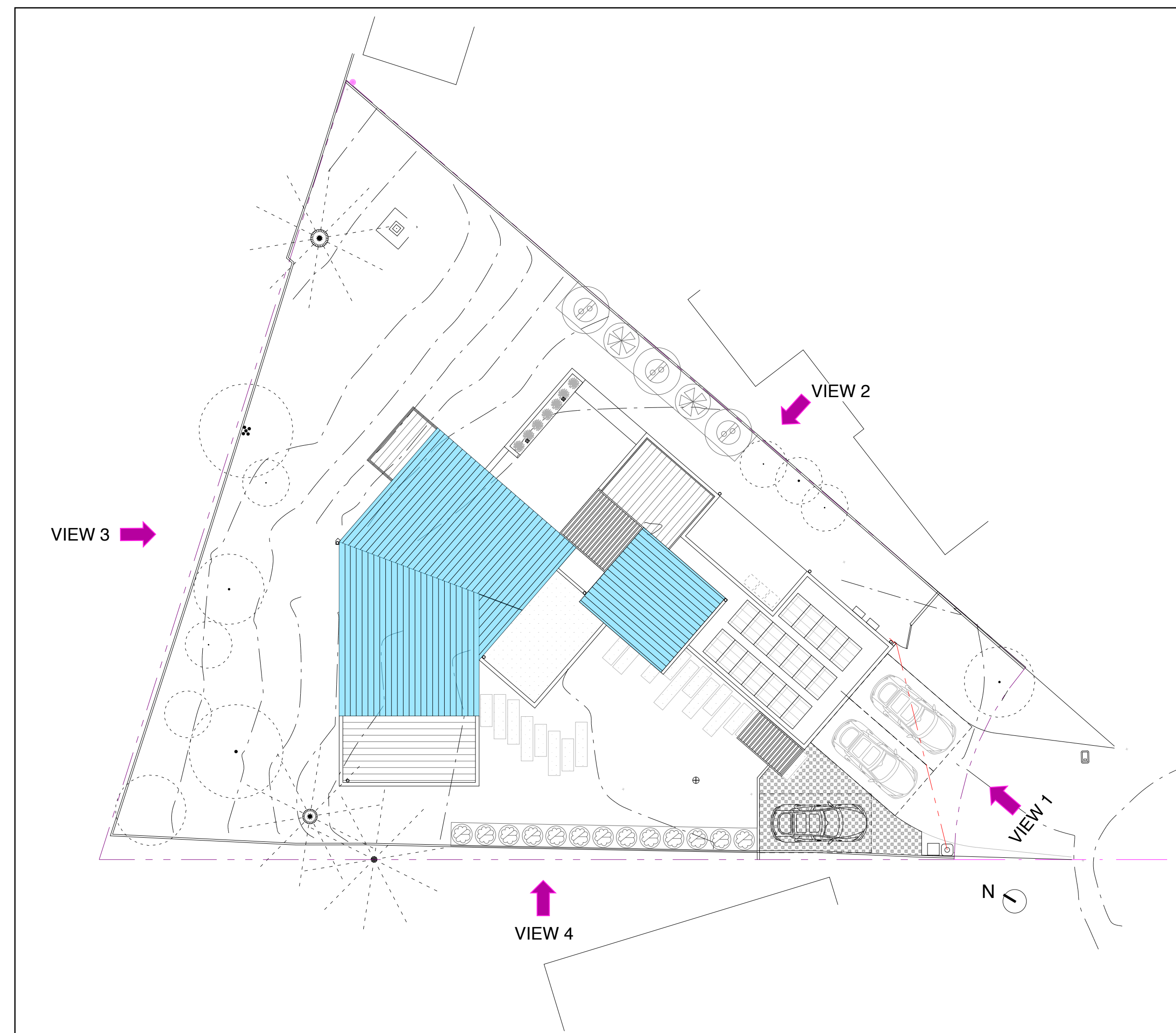
2. VIEW 2: EAST- SIDE



3. VIEW 3: NORTH- REAR



4. VIEW 4: WEST- SIDE

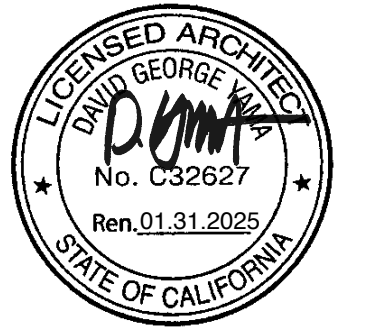


VIEW KEY PLAN



Yama Architecture.com
84 Tamalpais Road Berkeley CA 94708 (510) 541 0556

STAMP



PROJECT ADDRESS

7 Northview Way,
Emerald Hills, CA 94062

PROJECT TEAM

OWNER:
Manish Singhal & Suma Nulu
7 Northview Way
Emerald Hills, CA 94062
contact: Manish Singhal or
Suma Nulu
maddmanish@gmail.com
sumanulu@gmail.com

ARCHITECT:
Yama Architecture
84 Tamalpais Road
Berkeley, CA 94708
(510) 541-0556 c
contact: David Yama
yama@yamaarchitecture.com

LANDSCAPE ARCHITECT:
Design Focus
PO BOX 485
Ben Lomom, CA 95005
(831) 336-3100
contact: Katie Herman
katie@designfocus.com

CIVIL:
Sterling Consultants
46560 Fremont Boulevard, Suite 205
Fremont, CA 94538
(925) 705-9633
contact: Michael Mount
mimount@sterlingconsultants.com

ISSUE

DELTA	DATE	DESCRIPTION
	10.12.23	DESIGN REVIEW

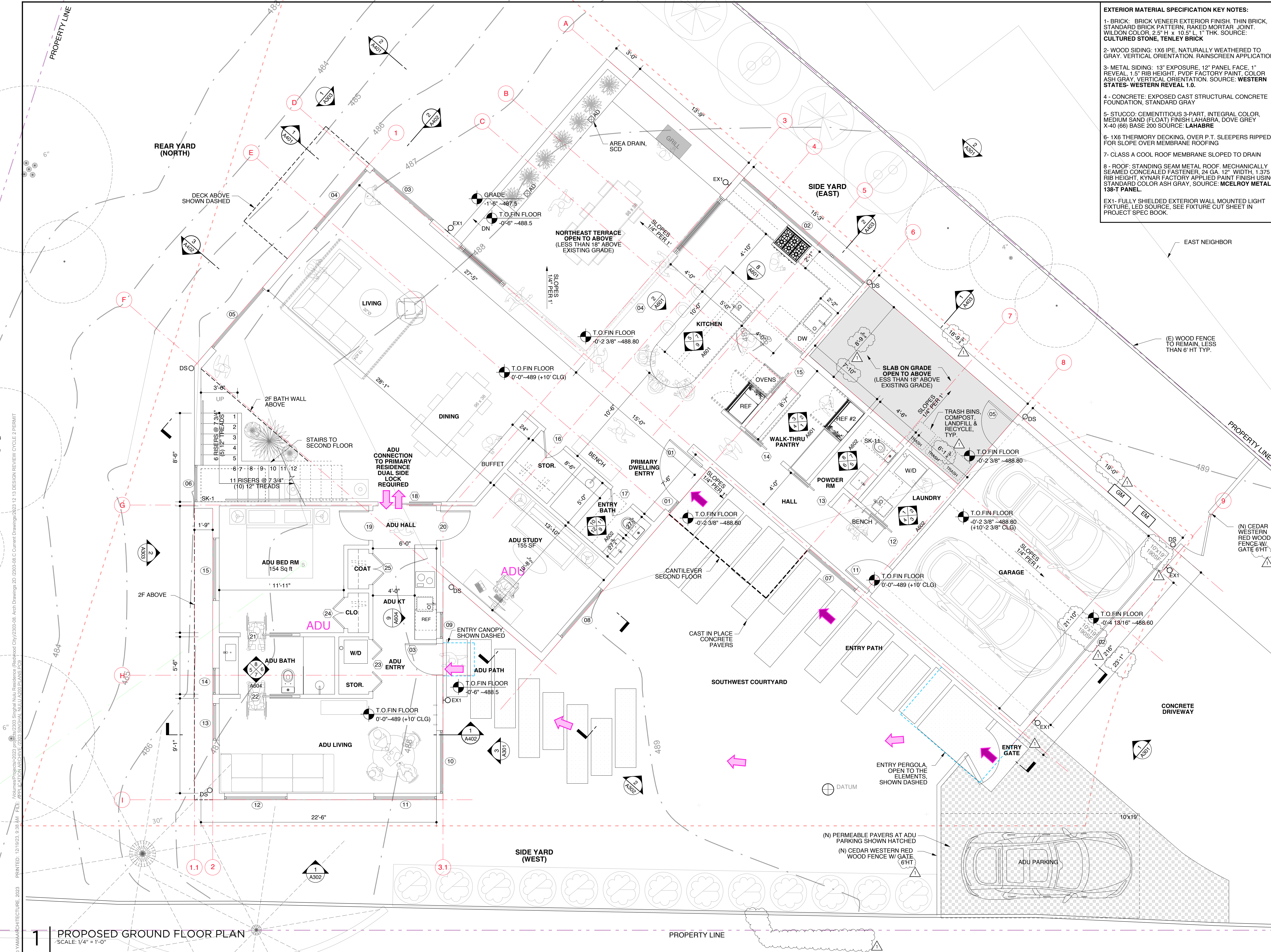
12:48 PM 10/13/23

JOB NO. #2303 SINGHAL NULU
RESIDENCE

DESCRIPTION

3D VIEWS & VIEW KEY PLAN
OPTION 1

A104



- EXTERIOR MATERIAL SPECIFICATION KEY NOTES:**
- 1- BRICK: BRICK VENEER EXTERIOR FINISH. THIN BRICK, STANDARD BRICK PATTERN, RAKED MORTAR JOINT. WILDON COLOR. 2.5" H x 10.5" L, 1" THK. SOURCE: CULTURED STONE, TENLEY BRICK
 - 2- WOOD SIDING: 1X6 IPE, NATURALLY WEATHERED TO GRAY. VERTICAL ORIENTATION. RAINSCREEN APPLICATION
 - 3- METAL SIDING: 13" EXPOSURE, 12" PANEL FACE, 1" REVEAL, 1.5" RIB HEIGHT, PVDF FACTORY PAINT, COLOR ASH GRAY, VERTICAL ORIENTATION. SOURCE: WESTERN STATES- WESTERN REVEAL 1.0.
 - 4 - CONCRETE: EXPOSED CAST STRUCTURAL CONCRETE FOUNDATION, STANDARD GRAY
 - 5- STUCCO: CEMENTITIOUS 3-PART, INTEGRAL COLOR, MEDIUM SAND (FLOAT) FINISH LAHABRA, DOVE GREY X-40 (66) BASE 200 SOURCE: LAHABRE
 - 6- 1X6 THERMORY DECKING, OVER P.T. SLEEPERS RIPPED FOR SLOPE OVER MEMBRANE ROOFING
 - 7- CLASS A COOL ROOF MEMBRANE SLOPED TO DRAIN
 - 8 - ROOF: STANDING SEAM METAL ROOF. MECHANICALLY SEAMED CONCEALED FASTENER, 24 GA. 12" WIDTH, 1.375" RIB HEIGHT. KYMAR FACTORY APPLIED PAINT FINISH USING STANDARD COLOR ASH GRAY, SOURCE: MCELROY METAL 138-T PANEL.
- EX1- FULLY SHIELDED EXTERIOR WALL MOUNTED LIGHT FIXTURE, LED SOURCE. SEE FIXTURE CUT SHEET IN PROJECT SPEC BOOK.

Yama Architecture
 Yama Architecture.com
 84 Tamalpais Road Berkeley CA 94708 (510) 541 0556

STAMP

PROJECT ADDRESS
**7 Northview Way,
 Emerald Hills, CA 94062**

PROJECT TEAM
 OWNER: Manish Singhal & Suma Nulu
 7 Northview Way,
 Emerald Hills, CA 94062
 contact: Manish Singhal or
 Suma Nulu
 maddmanish@gmail.com
 sumanulu@gmail.com

ARCHITECT: Yama Architecture
 84 Tamalpais Road
 Berkeley, CA 94708
 (510) 541-0556 c
 contact: David Yama
 yama@yamaarchitecture.com

LANDSCAPE ARCHITECT: Design Focus
 PO BOX 485
 Ben Lomom, CA 95005
 (831) 336-3100
 contact: Katie Herman
 katie@designfocus.com

CIVIL: Sterling Consultants
 46560 Fremont Boulevard, Suite 205
 Fremont, CA 94538
 (925) 705-9633
 contact: Michael Mount
 mmount@sterlingconsultants.com

LEGEND

- NEW 1-HR FIRE RATED ASSEMBLY
- EXISTING AREA OF DEMOLITION
- NEW BEAM ABOVE (PLAN)
- NEW SHEAR WALL (PLAN)
- NEW SHEAR WALL (ELEVATION/SECTION)

ISSUE

DELTA	DATE	DESCRIPTION
△	10.12.23	DESIGN REVIEW
△	12.18.23	DESIGN REVIEW REV1 - CYCLE 2

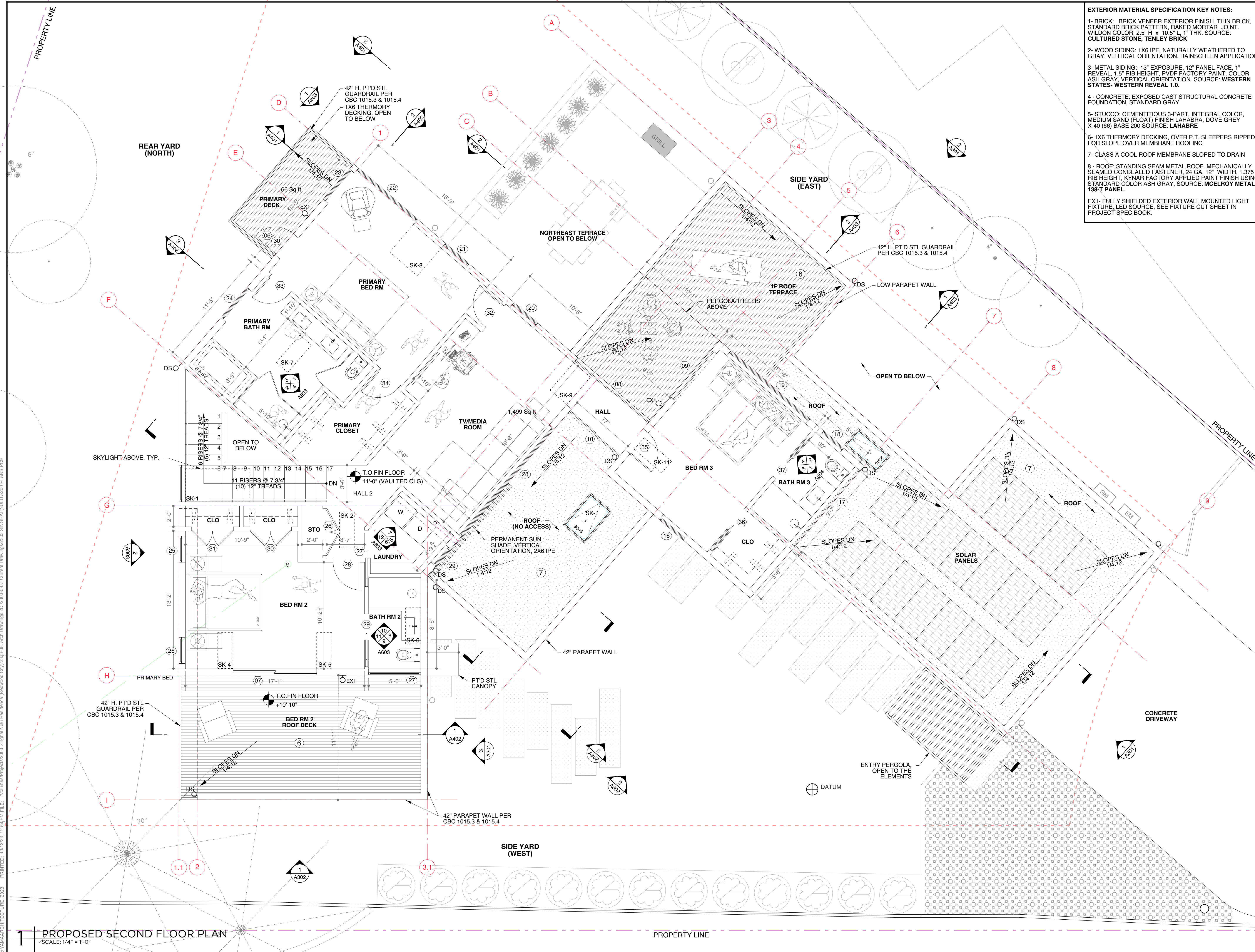
9:38 AM 12/19/23

JOB NO. **#2303 SINGHAL NULU RESIDENCE**

DESCRIPTION
PROPOSED FLOOR PLAN

A201

YAMA ARCHITECTURE, 2023. PRINTED: 12/19/23, 9:38 AM. FILE: \\volunteer\projects\2023\proj\2303 Singhal Nulu Residence (Richwood City)\2303-08 Arch Drawings\2D\2303-08-C Current Drawings\2023 12 13 DESIGN REVIEW CYCLE 2 PERMIT LOCATION ARCHITECTURE\2303 SINGHAL NULU 2301 PLANS.rvt
 © YAMA ARCHITECTURE, 2023. PRINTED: 12/19/23, 9:38 AM. FILE: \\volunteer\projects\2023\proj\2303 Singhal Nulu Residence (Richwood City)\2303-08 Arch Drawings\2D\2303-08-C Current Drawings\2023 12 13 DESIGN REVIEW CYCLE 2 PERMIT LOCATION ARCHITECTURE\2303 SINGHAL NULU 2301 PLANS.rvt



EXTERIOR MATERIAL SPECIFICATION KEY NOTES:

- 1- BRICK: BRICK VENEER EXTERIOR FINISH. THIN BRICK, STANDARD BRICK PATTERN, RAKED MORTAR JOINT. WILDON COLOR. 2.5" H x 10.5" L, 1" THK. SOURCE: CULTURED STONE, TENLEY BRICK
- 2- WOOD SIDING: 1X6 IPE, NATURALLY WEATHERED TO GRAY. VERTICAL ORIENTATION. RAINSCREEN APPLICATION
- 3- METAL SIDING: 13" EXPOSURE, 12" PANEL FACE, 1" REVEAL, 1.5" RIB HEIGHT, PVDF FACTORY PAINT, COLOR ASH GRAY. VERTICAL ORIENTATION. SOURCE: WESTERN STATES- WESTERN REVEAL 1.0.
- 4- CONCRETE: EXPOSED CAST STRUCTURAL CONCRETE FOUNDATION, STANDARD GRAY
- 5- STUCCO: CEMENTITIOUS 3-PART, INTEGRAL COLOR, MEDIUM SAND (FLOAT) FINISH LAHABRA, DOVE GREY X-40 (66) BASE 200 SOURCE: LAHABRA
- 6- 1X6 THERMORY DECKING, OVER P.T. SLEEPERS RIPPED FOR SLOPE OVER MEMBRANE ROOFING
- 7- CLASS A COOL ROOF MEMBRANE SLOPED TO DRAIN
- 8- ROOF: STANDING SEAM METAL ROOF. MECHANICALLY SEALED CONCEALED FASTENER, 24 GA. 12" WIDTH, 1.375" RIB HEIGHT. KYMAR FACTORY APPLIED PAINT FINISH USING STANDARD COLOR ASH GRAY. SOURCE: MCELROY METAL 138-T PANEL.

EX1- FULLY SHIELDED EXTERIOR WALL MOUNTED LIGHT FIXTURE, LED SOURCE. SEE FIXTURE CUT SHEET IN PROJECT SPEC BOOK.

Yama Architecture
 84 Tamalpais Road Berkeley CA 94708 (510) 541 0556

STAMP

PROJECT ADDRESS
**7 Northview Way,
 Emerald Hills, CA 94062**

PROJECT TEAM
 OWNER: Manish Singhal & Suma Nulu
 7 Northview Way,
 Emerald Hills, CA 94062
 contact: Manish Singhal or
 Suma Nulu
 maddmanish@gmail.com
 sumanulu@gmail.com

ARCHITECT: Yama Architecture
 84 Tamalpais Road
 Berkeley, CA 94708
 (510) 541-0556 c
 contact: David Yama
 yama@yamaarchitecture.com

LANDSCAPE ARCHITECT: Design Focus
 PO BOX 485
 Ben Lomax, CA 95005
 (831) 336-3100
 contact: Katie Herman
 katie@designfocus.com

CIVIL: Sterling Consultants
 46560 Fremont Boulevard, Suite 205
 Fremont, CA 94538
 (925) 705-9633
 contact: Michael Mount
 mmount@sterlingconsultants.com

LEGEND

- NEW 1-HR FIRE RATED ASSEMBLY
- EXISTING AREA OF DEMOLITION
- NEW BEAM ABOVE (PLAN)
- NEW SHEAR WALL (PLAN)
- NEW SHEAR WALL (ELEVATION/SECTION)

ISSUE

DELTA	DATE	DESCRIPTION
	10.12.23	DESIGN REVIEW

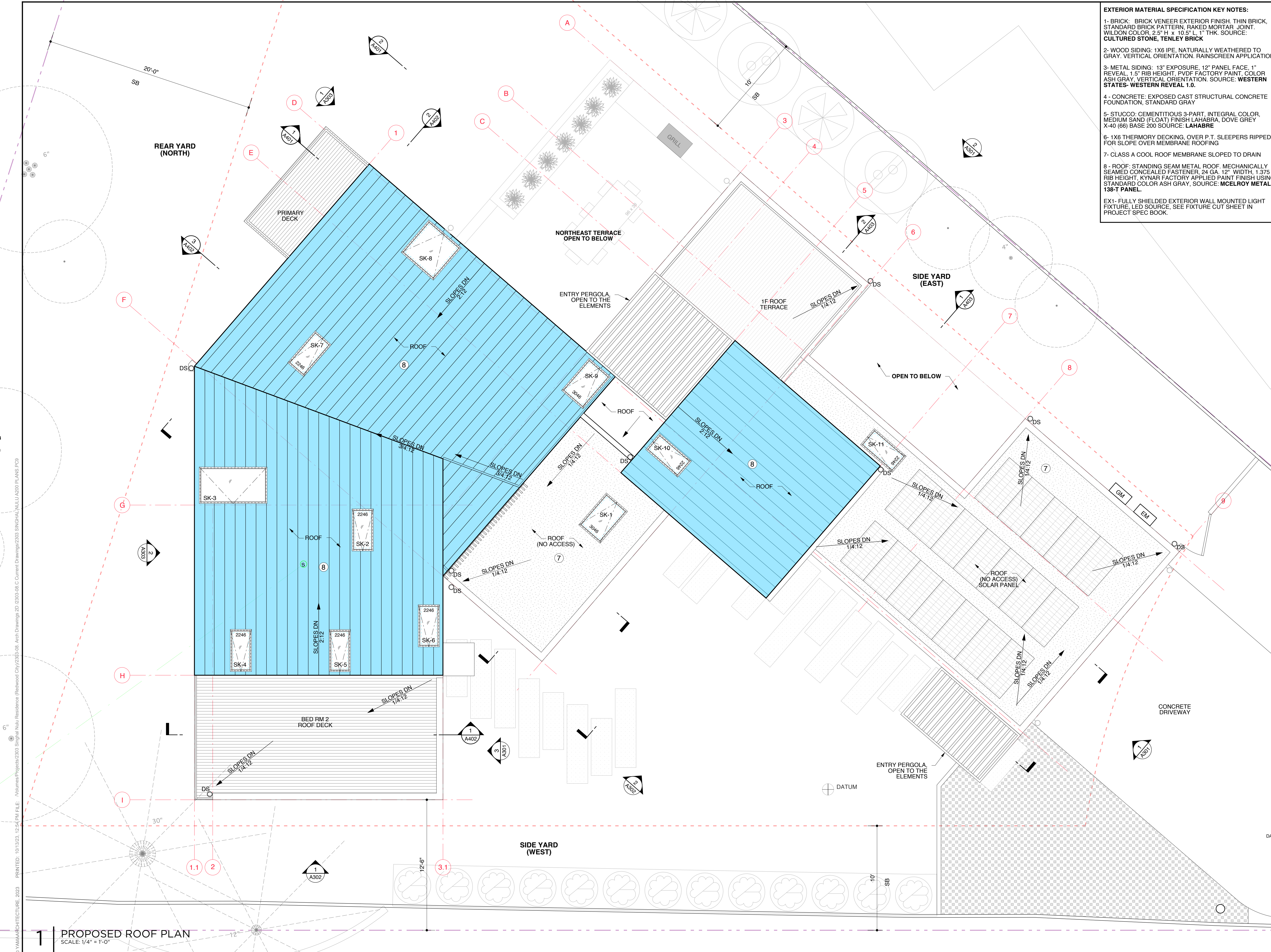
12:54 PM 10/13/23

JOB NO. **#2303 SINGHAL NULU RESIDENCE**

DESCRIPTION
PROPOSED SECOND FLOOR PLAN

1 PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

© YAMA ARCHITECTURE, 2023. PRINTED: 10/13/23, 12:54 PM. FILE: /Volumes/Projects/2303_Singhal Nulu Residence (Revised) Chy/2303_08_Arch Drawings/2D/2303_08_C Current Drawings/2303_SINGHAL NULU A2001 PLANS.PCD



- EXTERIOR MATERIAL SPECIFICATION KEY NOTES:**
- 1- BRICK: BRICK VENEER EXTERIOR FINISH. THIN BRICK, STANDARD BRICK PATTERN, RAKED MORTAR JOINT. WILDON COLOR. 2.5" H x 10.5" L, 1" THK. SOURCE: CULTURED STONE, TENLEY BRICK
 - 2- WOOD SIDING: 1X6 IPE, NATURALLY WEATHERED TO GRAY. VERTICAL ORIENTATION. RAINSCREEN APPLICATION
 - 3- METAL SIDING: 13" EXPOSURE, 12" PANEL FACE, 1" REVEAL, 1.5" RIB HEIGHT, PVDF FACTORY PAINT, COLOR ASH GRAY. VERTICAL ORIENTATION. SOURCE: WESTERN STATES- WESTERN REVEAL 1.0.
 - 4- CONCRETE: EXPOSED CAST STRUCTURAL CONCRETE FOUNDATION, STANDARD GRAY
 - 5- STUCCO: CEMENTITIOUS 3-PART, INTEGRAL COLOR, MEDIUM SAND (FLOAT) FINISH LAHABRA, DOVE GREY X-40 (66) BASE 200 SOURCE: LAHABRE
 - 6- 1X6 THERMORY DECKING, OVER P.T. SLEEPERS RIPPED FOR SLOPE OVER MEMBRANE ROOFING
 - 7- CLASS A COOL ROOF MEMBRANE SLOPED TO DRAIN
 - 8- ROOF: STANDING SEAM METAL ROOF. MECHANICALLY SEALED CONCEALED FASTENER, 24 GA. 12" WIDTH, 1.375" RIB HEIGHT. KYMAR FACTORY APPLIED PAINT FINISH USING STANDARD COLOR ASH GRAY. SOURCE: MCELROY METAL 138-T PANEL.
- EX1- FULLY SHIELDED EXTERIOR WALL MOUNTED LIGHT FIXTURE, LED SOURCE. SEE FIXTURE CUT SHEET IN PROJECT SPEC BOOK.

Yama Architecture
 Yama Architecture.com
 84 Tamalpais Road Berkeley CA 94708 (510) 541 0556

STAMP

PROJECT ADDRESS
**7 Northview Way,
 Emerald Hills, CA 94062**

PROJECT TEAM
 OWNER: Manish Singhal & Suma Nulu
 7 Northview Way,
 Emerald Hills, CA 94062
 contact: Manish Singhal or
 Suma Nulu
 maddmanish@gmail.com
 sumanulu@gmail.com

ARCHITECT: Yama Architecture
 84 Tamalpais Road
 Berkeley, CA 94708
 (510) 541-0556 c
 contact: David Yama
 yama@yamaarchitecture.com

LANDSCAPE ARCHITECT: Design Focus
 PO BOX 485
 Ben Lomax, CA 95005
 (831) 336-3100
 contact: Katie Herman
 katie@designfocus.com

CIVIL: Sterling Consultants
 46560 Fremont Boulevard, Suite 205
 Fremont, CA 94538
 (925) 705-9633
 contact: Michael Mount
 mmount@sterlingconsultants.com

LEGEND

- NEW 1-HR FIRE RATED ASSEMBLY
- EXISTING AREA OF DEMOLITION
- NEW BEAM ABOVE (PLAN)
- NEW SHEAR WALL (PLAN)
- NEW SHEAR WALL (ELEVATION/SECTION)

ISSUE

DELTA	DATE	DESCRIPTION
	10.12.23	DESIGN REVIEW

12:54 PM 10/13/23

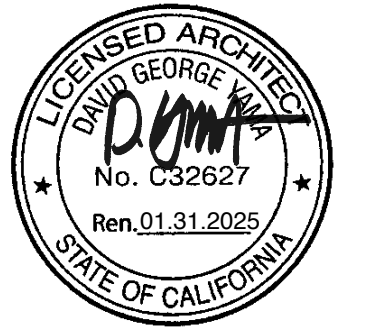
DATUM JOB NO. **#2303 SINGHAL NULU RESIDENCE**

DESCRIPTION
PROPOSED ROOF PLAN

1 PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"

© YAMA ARCHITECTURE, 2023. PRINTED: 10/13/23, 12:54 PM. FILE: /Volumes/Projects/2303_Singhal Nulu Residence (Revised) Chy/2303_08_Arch Drawings/2D/2303_08_C Current Drawings/2303_SINGHAL NULU A203 PLANS.PCD

STAMP



PROJECT ADDRESS

7 Northview Way,
Emerald Hills, CA 94062

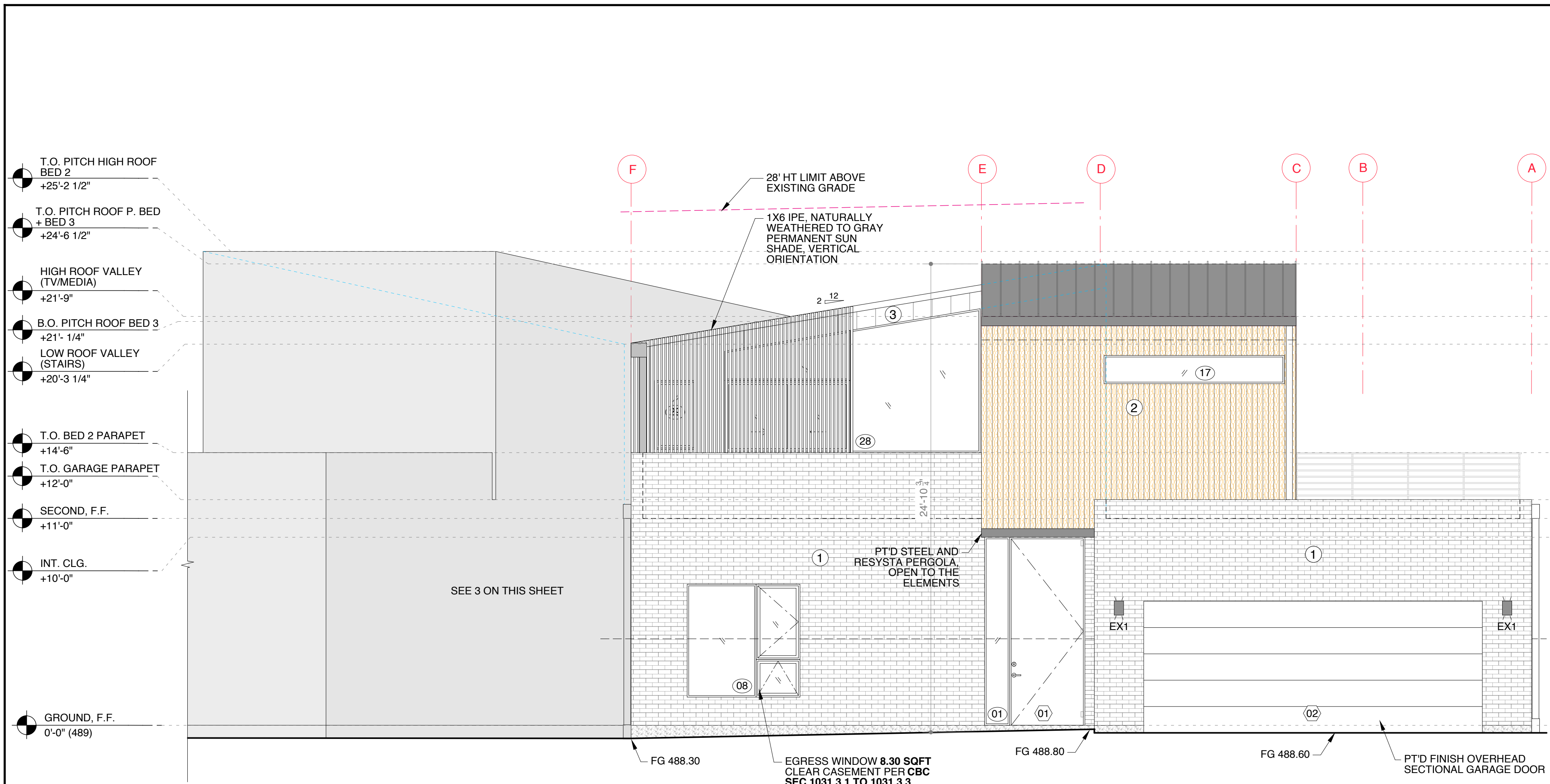
PROJECT TEAM

OWNER: Manish Singhal & Suma Nulu
7 Northview Way
Emerald Hills, CA 94062
contact: Manish Singhal or
Suma Nulu
maddmanish@gmail.com
sumanulu@gmail.com

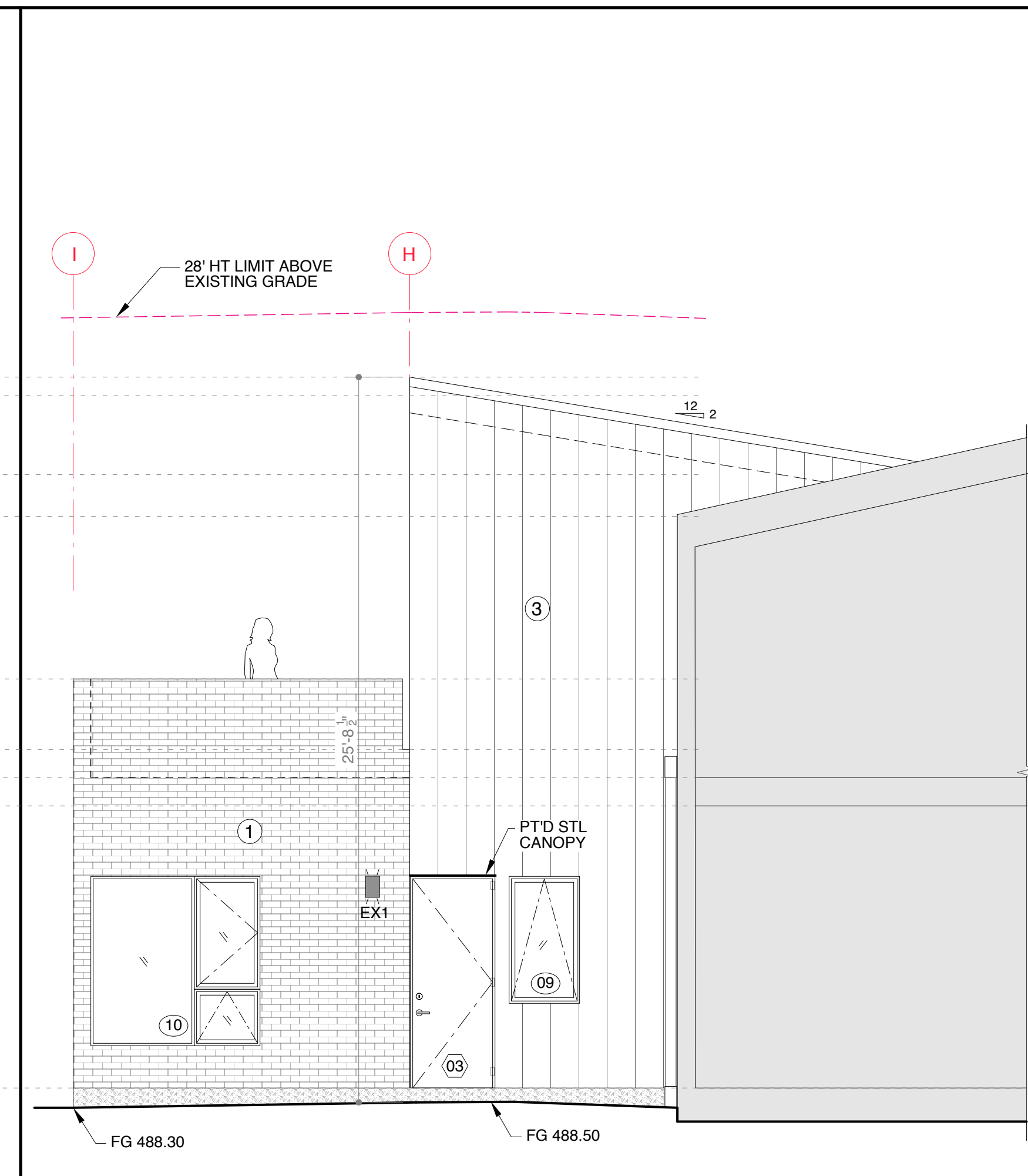
ARCHITECT: Yama Architecture
84 Tamalpais Road
Berkeley, CA 94708
(510) 541-0556 c
contact: David Yama
yama@yamaarchitecture.com

LANDSCAPE ARCHITECT: Design Focus
PO BOX 485
Ben Lomax, CA 95005
(831) 336-3100
contact: Katie Herman
katie@designfocus.com

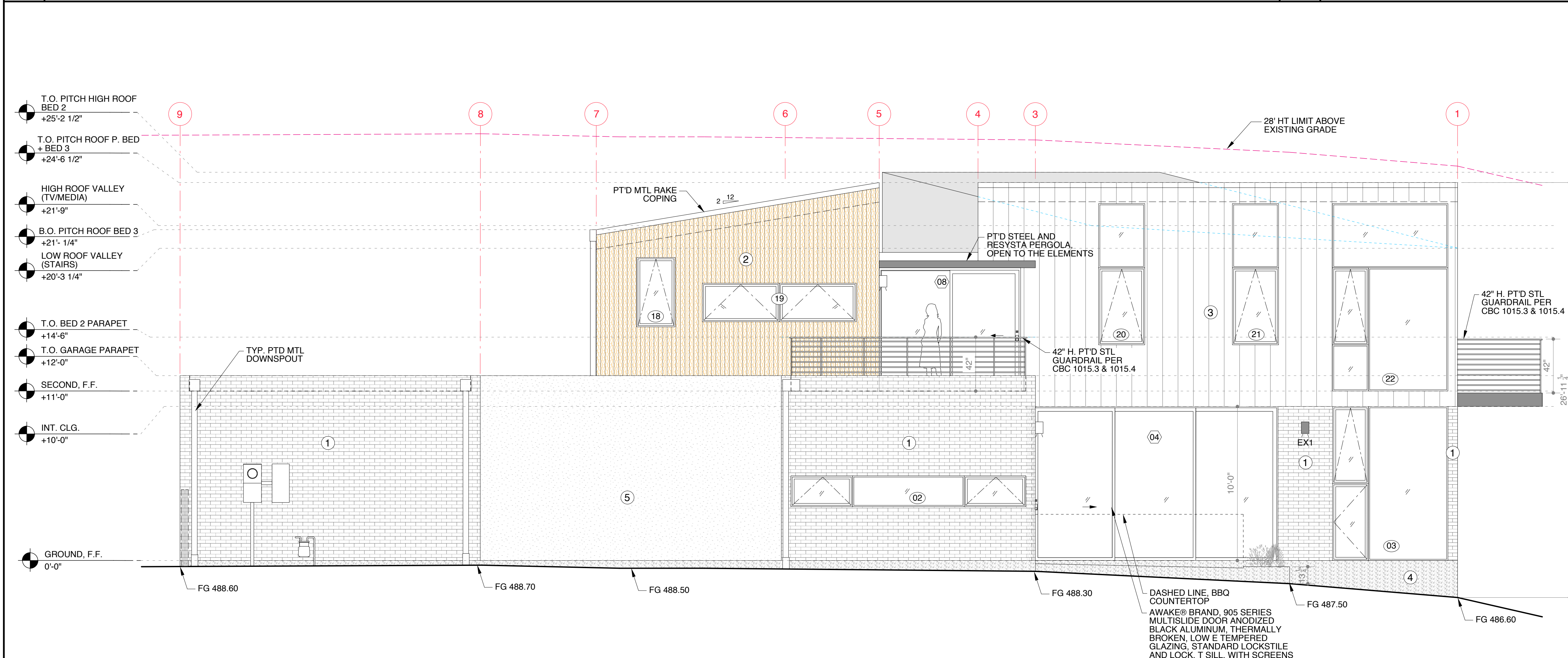
CIVIL: Sterling Consultants
46560 Fremont Boulevard, Suite 205
Fremont, CA 94538
(925) 705-9633
contact: Michael Mount
mrmount@sterlingconsultants.com



1 | PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 | PROPOSED EAST ELEVATION (ADU ENTRY)
SCALE: 1/4" = 1'-0"



2 | PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIAL SPECIFICATION KEY NOTES:

- 1- BRICK: BRICK VENEER EXTERIOR FINISH. THIN BRICK, STANDARD BRICK PATTERN, RAKED MORTAR JOINT. WILDON COLOR: 2.5" H x 10.5" L, 1" THK. SOURCE: CULTURED STONE, TENLEY BRICK
- 2- WOOD SIDING: 1X6 IPE, NATURALLY WEATHERED TO GRAY. VERTICAL ORIENTATION. RAINSCREEN APPLICATION
- 3- METAL SIDING: 13" EXPOSURE, 12" PANEL FACE, 1" REVEAL, 1.5" RIB HEIGHT. PVDF FACTORY PAINT, COLOR ASH GRAY, VERTICAL ORIENTATION. SOURCE: WESTERN STATES- WESTERN REVEAL 1.0.
- 4- CONCRETE: EXPOSED CAST STRUCTURAL CONCRETE FOUNDATION, STANDARD GRAY
- 5- STUCCO: CEMENTITIOUS 3-PART: INTEGRAL COLOR, MEDIUM SAND (FLOAT) FINISH LAHABRA, DOVE GREY X-40 (66) BASE 200. SOURCE: LAHABRE
- 6- 1X6 THERMORY DECKING, OVER P.T. SLEEPERS RIPPED FOR SLOPE OVER MEMBRANE ROOFING
- 7- CLASS A COOL ROOF MEMBRANE SLOPED TO DRAIN
- 8- ROOF: STANDING SEAM METAL ROOF. MECHANICALLY SEALED CONCEALED FASTENER, 24 GA. 12" WIDTH, 1.375 RIB HEIGHT, KYNAR FACTORY APPLIED PAINT FINISH USING STANDARD COLOR ASH GRAY. SOURCE: MCELROY METAL 138-T PANEL.
- EX1- FULLY SHIELDED EXTERIOR WALL MOUNTED LIGHT FIXTURE, LED SOURCE, SEE FIXTURE CUT SHEET IN PROJECT SPEC BOOK.



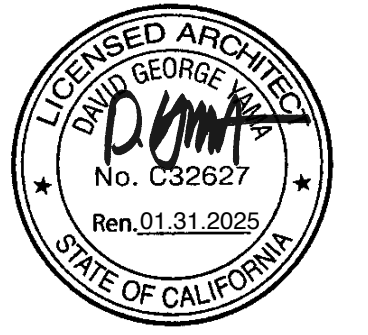
ISSUE	DELTA	DATE	DESCRIPTION
		10.12.23	DESIGN REVIEW

1:07 PM 10/13/23

JOB NO. #2303 SINGHAL NULU RESIDENCE

DESCRIPTION
BUILDING ELEVATIONS

STAMP



PROJECT ADDRESS

7 Northview Way,
Emerald Hills, CA 94062

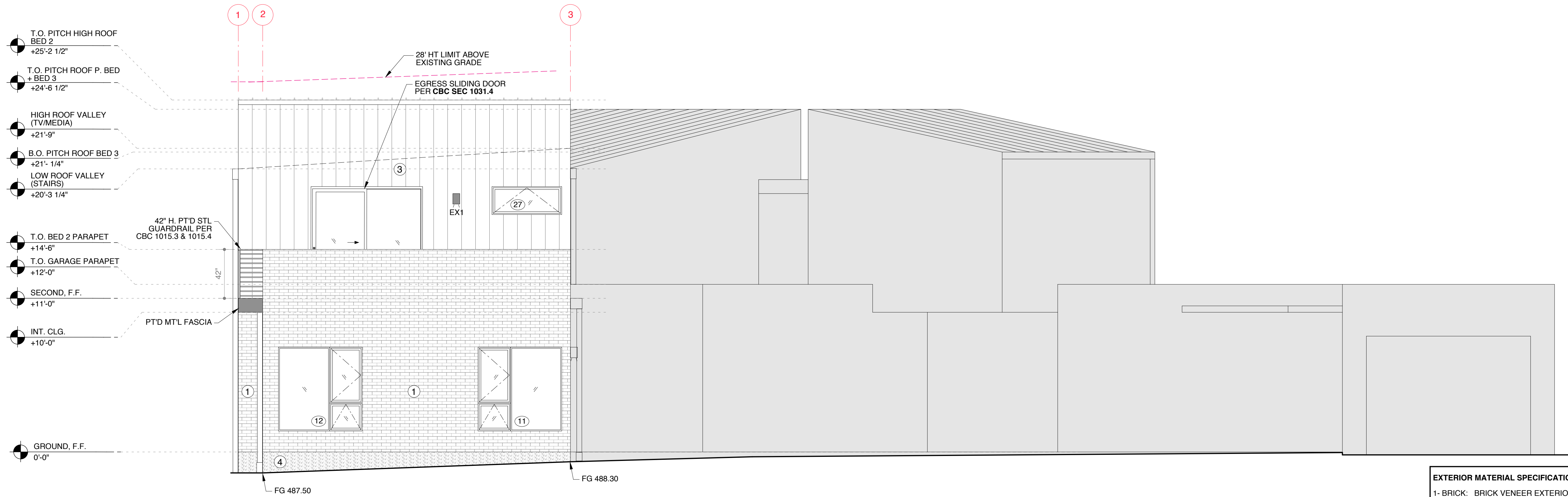
PROJECT TEAM

OWNER: Manish Singhal & Suma Nulu
7 Northview Way
Emerald Hills, CA 94062
contact: Manish Singhal or
Suma Nulu
maddmanish@gmail.com
sumanulu@gmail.com

ARCHITECT: Yama Architecture
84 Tamalpais Road
Berkeley, CA 94708
(510) 541-0556 c
contact: David Yama
yama@yamaarchitecture.com

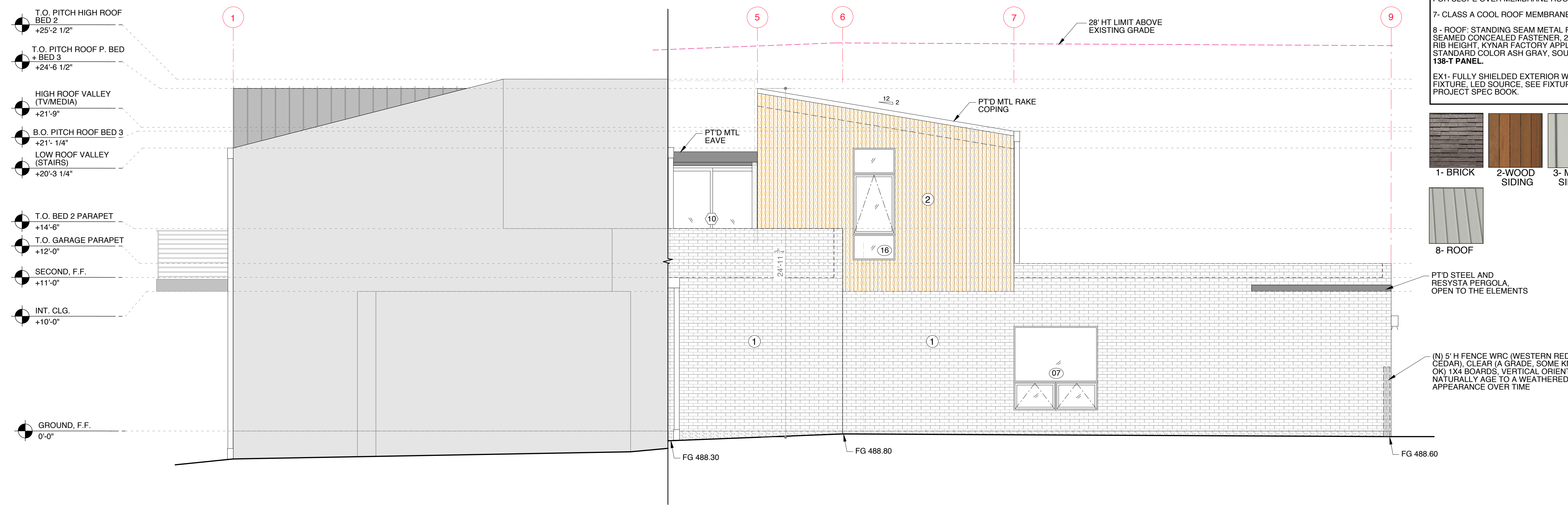
LANDSCAPE ARCHITECT: Design Focus
PO BOX 485
Ben Lomax, CA 95005
(831) 336-3100
contact: Katie Herman
katie@designfocus.com

CIVIL: Sterling Consultants
46560 Fremont Boulevard, Suite 205
Fremont, CA 94538
(925) 705-9633
contact: Michael Mount
mmount@sterlingconsultants.com



1 | PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

- EXTERIOR MATERIAL SPECIFICATION KEY NOTES:**
- 1- BRICK: BRICK VENEER EXTERIOR FINISH. THIN BRICK, STANDARD BRICK PATTERN, RAKED MORTAR JOINT. WILDON COLOR. 2 5/8" H x 10 5/8" L, 1" THK. SOURCE: CULTURED STONE, TENLEY BRICK
 - 2- WOOD SIDING: 1X6 IPE, NATURALLY WEATHERED TO GRAY. VERTICAL ORIENTATION. RAINSCREEN APPLICATION
 - 3- METAL SIDING: 13" EXPOSURE, 12" PANEL FACE, 1" REVEAL. 1.5" RIB HEIGHT. PVDF FACTORY PAINT. COLOR ASH GRAY. VERTICAL ORIENTATION. SOURCE: WESTERN STATES- WESTERN REVEAL 1.0.
 - 4- CONCRETE: EXPOSED CAST STRUCTURAL CONCRETE FOUNDATION. STANDARD GRAY
 - 5- STUCCO: CEMENTITIOUS 3-PART. INTEGRAL COLOR, MEDIUM SAND (FLOAT) FINISH LAHABRA, DOVE GREY X-40 (66) BASE 200 SOURCE: LAHABRE
 - 6- 1X6 THERMORY DECKING, OVER P.T. SLEEPERS RIPPED FOR SLOPE OVER MEMBRANE ROOFING
 - 7- CLASS A COOL ROOF MEMBRANE SLOPED TO DRAIN
 - 8- ROOF: STANDING SEAM METAL ROOF. MECHANICALLY SEAMED CONCEALED FASTENER, 24 GA. 12" WIDTH, 1.375 RIB HEIGHT. KYNAR FACTORY APPLIED PAINT FINISH USING STANDARD COLOR ASH GRAY. SOURCE: MCELROY METAL 138-T PANEL.
 - EX1- FULLY SHIELDED EXTERIOR WALL MOUNTED LIGHT FIXTURE. LED SOURCE. SEE FIXTURE CUT SHEET IN PROJECT SPEC BOOK.



2 | PROPOSED WEST ELEVATION 2
SCALE: 1/4" = 1'-0"

PTD STEEL AND RYSYSTA PERGOLA OPEN TO THE ELEMENTS

(N) 5' H FENCE WRC (WESTERN RED CEDAR), CLEAR (A GRADE. SOME KNOTS OK) 1X4 BOARDS, VERTICAL ORIENTATION, NATURALLY AGE TO A WEATHERED GRAY APPEARANCE OVER TIME

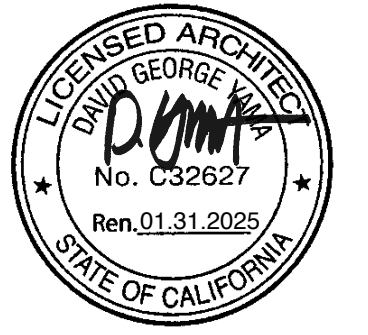
ISSUE	DELTA	DATE	DESCRIPTION
		10.12.23	DESIGN REVIEW

11:01 AM 10/13/23

JOB NO. #2303 SINGHAL NULU RESIDENCE

DESCRIPTION
BUILDING ELEVATIONS

STAMP



PROJECT ADDRESS

7 Northview Way,
Emerald Hills, CA 94062

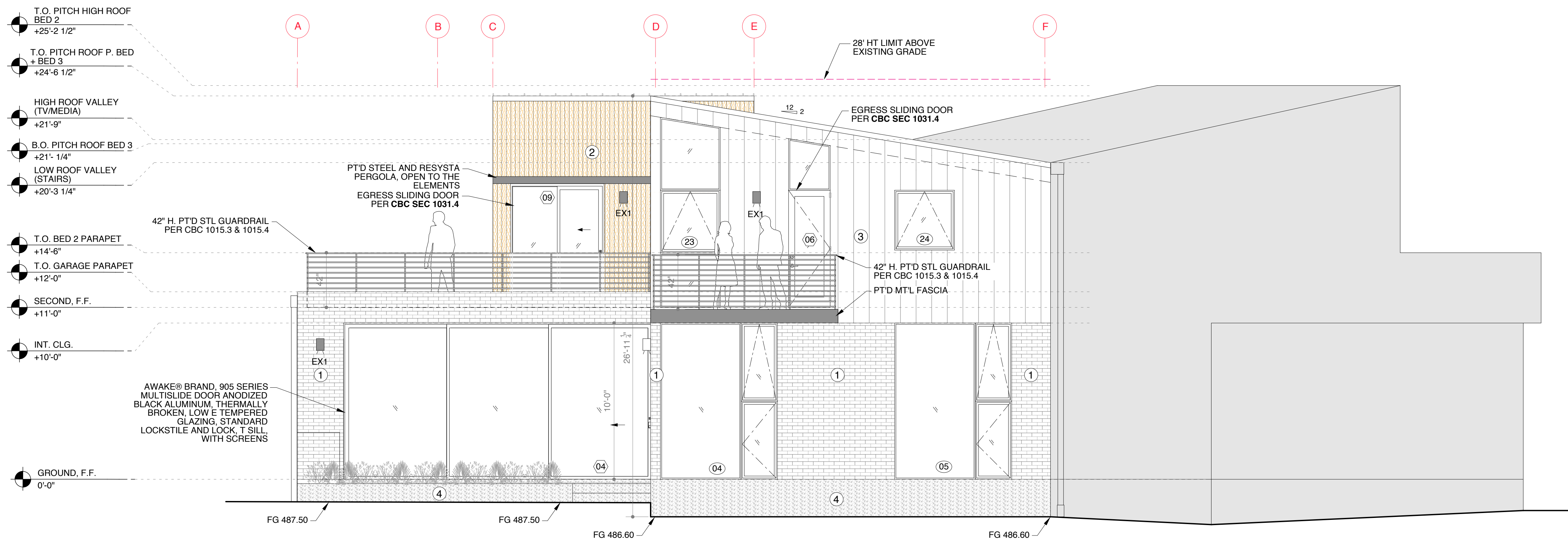
PROJECT TEAM

OWNER: Manish Singhal & Suma Nulu
7 Northview Way
Emerald Hills, CA 94062
contact: Manish Singhal or
Suma Nulu
maddmanish@gmail.com
sumanulu@gmail.com

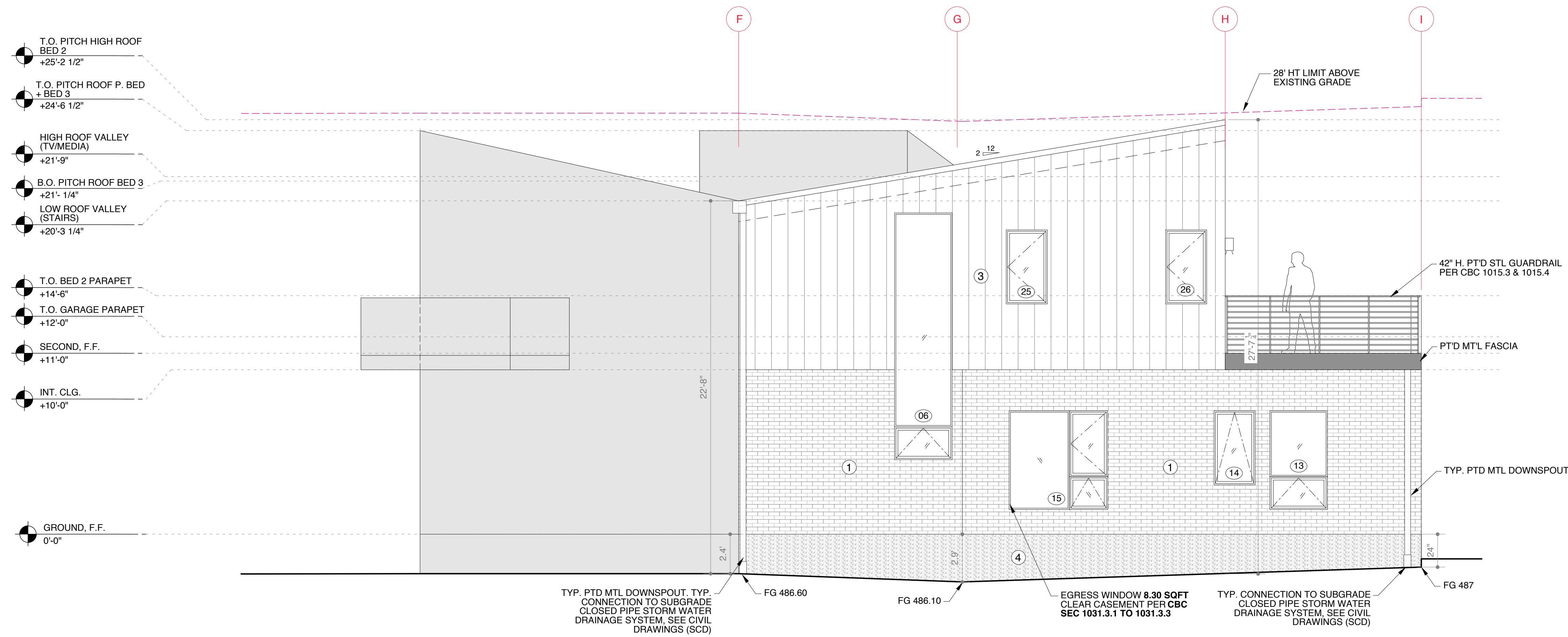
ARCHITECT: Yama Architecture
84 Tamalpais Road
Berkeley, CA 94708
(510) 541-0556 c
contact: David Yama
yama@yamaarchitecture.com

LANDSCAPE ARCHITECT: Design Focus
PO BOX 485
Ben Lomton, CA 95005
(831) 336-3100
contact: Katie Herman
katie@designfocus.com

CIVIL: Sterling Consultants
46560 Fremont Boulevard, Suite 205
Fremont, CA 94538
(925) 705-9633
contact: Michael Mount
mimount@sterlingconsultants.com



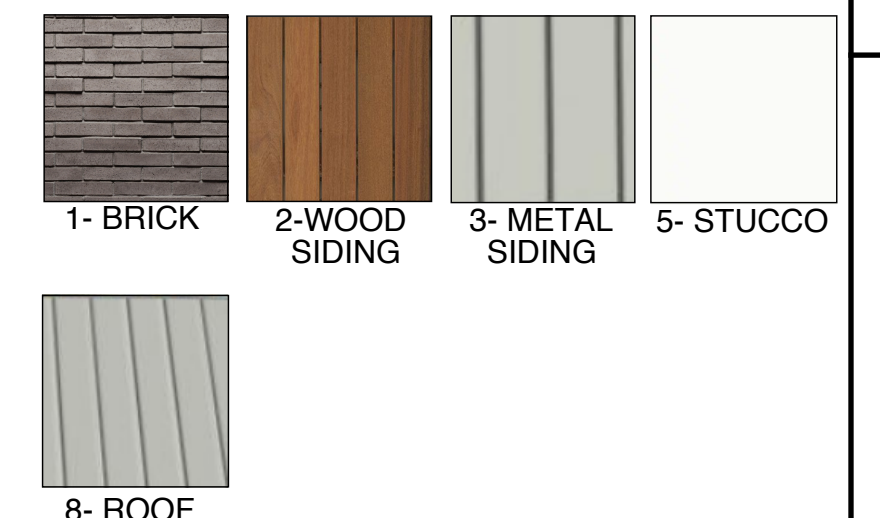
1 | PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 | PROPOSED NORTH ELEVATION 2
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIAL SPECIFICATION KEY NOTES:

- 1- BRICK: BRICK VENEER EXTERIOR FINISH. THIN BRICK, STANDARD BRICK PATTERN, RAKED MORTAR JOINT. WILDON COLOR: 2.5" H x 10.5" L, 1" THK. SOURCE: CULTURED STONE, TENLEY BRICK
- 2- WOOD SIDING: 1X6 IPE, NATURALLY WEATHERED TO GRAY. VERTICAL ORIENTATION. RAINSCREEN APPLICATION
- 3- METAL SIDING: 13" EXPOSURE, 12" PANEL FACE, 1" REVEAL, 1.5" RIB HEIGHT. PVDF FACTORY PAINT, COLOR ASH GRAY. VERTICAL ORIENTATION. SOURCE: WESTERN STATES- WESTERN REVEAL 1.0.
- 4- CONCRETE: EXPOSED CAST STRUCTURAL CONCRETE FOUNDATION, STANDARD GRAY
- 5- STUCCO: CEMENTITIOUS 3-PART: INTEGRAL COLOR, MEDIUM SAND (FLOAT) FINISH LAHABRA, DOVE GREY X-40 (66) BASE 200. SOURCE: LAHABRE
- 6- 1X6 THERMORY DECKING, OVER P.T. SLEEPERS RIPPED FOR SLOPE OVER MEMBRANE ROOFING
- 7- CLASS A COOL ROOF MEMBRANE SLOPED TO DRAIN
- 8- ROOF: STANDING SEAM METAL ROOF. MECHANICALLY SEALED CONCEALED FASTENER, 24 GA. 12" WIDTH, 1.375" RIB HEIGHT, KYNAR FACTORY APPLIED PAINT FINISH USING STANDARD COLOR ASH GRAY. SOURCE: MCELROY METAL 138-T PANEL.
- EX1- FULLY SHIELDED EXTERIOR WALL MOUNTED LIGHT FIXTURE, LED SOURCE. SEE FIXTURE CUT SHEET IN PROJECT SPEC BOOK.



ISSUE	DELTA	DATE	DESCRIPTION
		10.12.23	DESIGN REVIEW

11:01 AM 10/13/23

JOB NO. #2303 SINGHAL NULU RESIDENCE

DESCRIPTION
BUILDING ELEVATIONS

A303

STAMP



PROJECT ADDRESS

7 Northview Way,
Emerald Hills, CA 94062

PROJECT TEAM

OWNER: Manish Singhal & Suma Nulu
7 Northview Way
Emerald Hills, CA 94062
contact: Manish Singhal or
Suma Nulu
maddmanish@gmail.com
sumanulu@gmail.com

ARCHITECT: Yama Architecture
84 Tamalpais Road
Berkeley, CA 94708
(510) 541-0556 c
contact: David Yama
yama@yamaarchitecture.com

LANDSCAPE ARCHITECT: Design Focus
PO BOX 485
Ben Lomom, CA 95005
(831) 336-3100
contact: Katie Herman
katie@designfocus.com

CIVIL: Sterling Consultants
46560 Fremont Boulevard, Suite 205
Fremont, CA 94538
(925) 705-9633
contact: Michael Mount
mmount@sterlingconsultants.com

LEGEND

- NEW 1-HR FIRE RATED ASSEMBLY
- EXISTING AREA OF DEMOLITION
- NEW BEAM ABOVE (PLAN)
- NEW SHEAR WALL (PLAN)
- NEW SHEAR WALL (ELEVATION/SECTION)

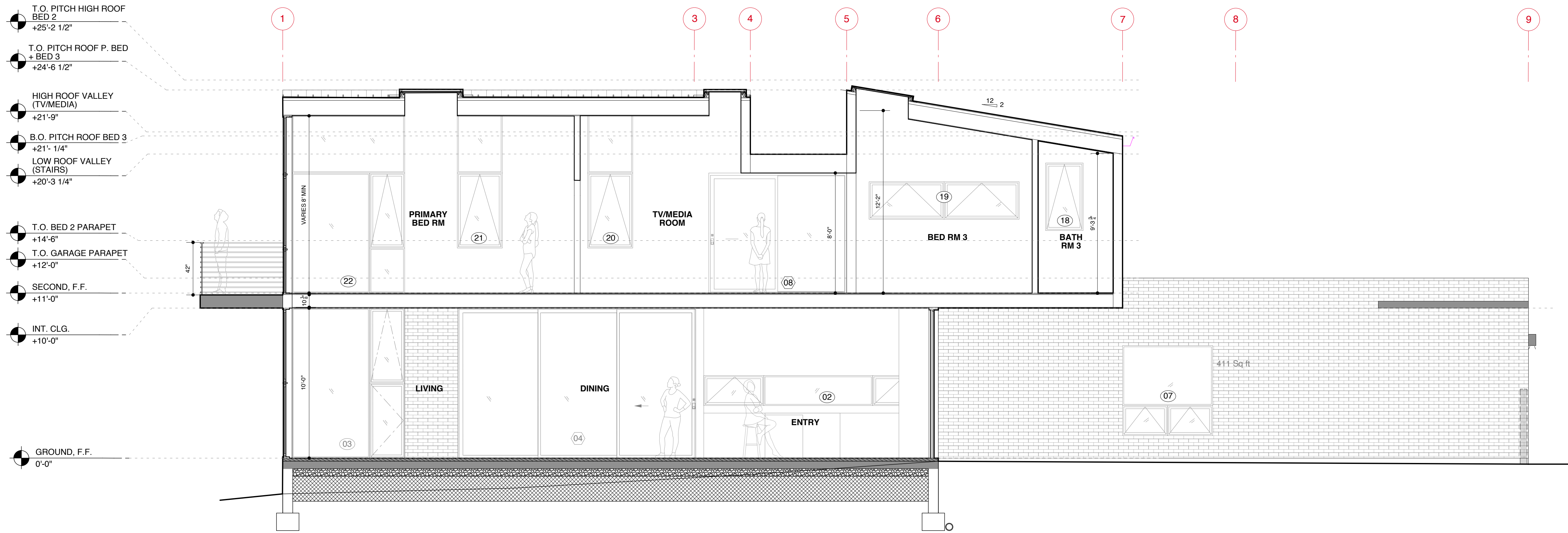
ISSUE	DELTA	DATE	DESCRIPTION
		10.12.23	DESIGN REVIEW

11:54 AM 10/13/23

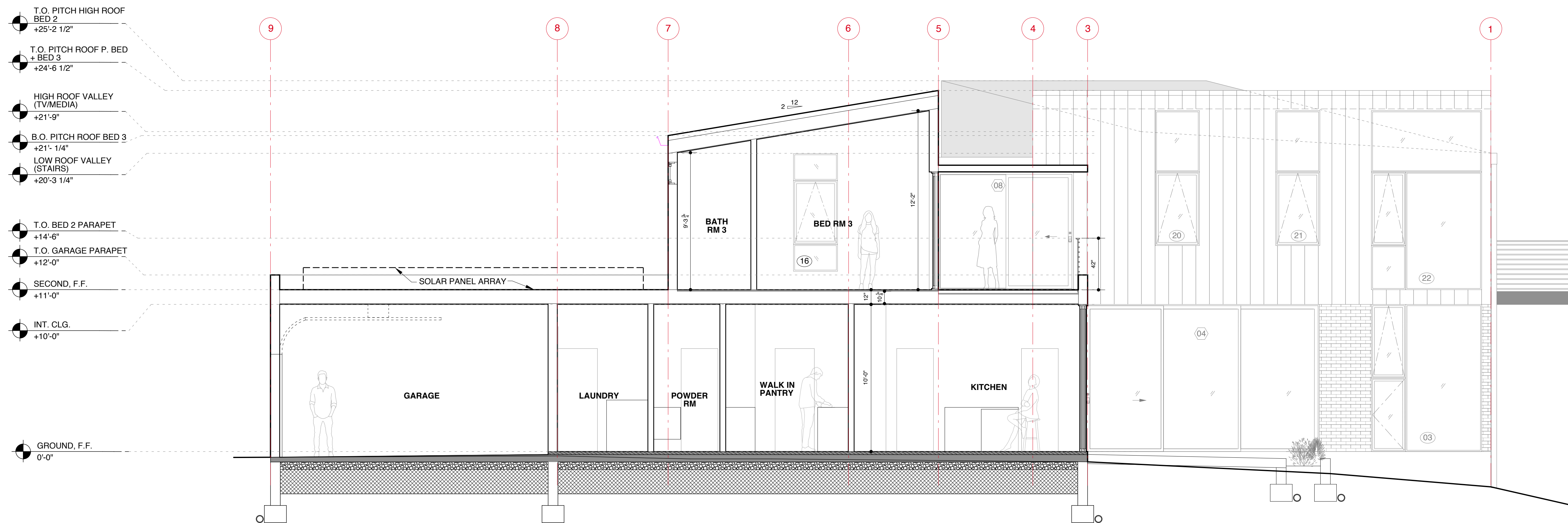
JOB NO. **#2303 SINGHAL NULU RESIDENCE**

DESCRIPTION
PROPOSED BUILDING & SITE SECTION

A401



1 SECTION A
SCALE: 1/4" = 1'-0"



2 SECTION B
SCALE: 1/4" = 1'-0"

© YAMAARCHITECTURE, 2023. PRINTED: 10/13/23, 11:54 AM. FILE: /Volumes/Projects/2303_Singhal Nulu Residence (Revised) Chy/2303_08_Arch Drawings/2D/2303_08_C Current Drawings/2303_SINGHAL NULU A401 SECTIONS_PC3.PCS

STAMP



PROJECT ADDRESS

7 Northview Way,
Emerald Hills, CA 94062

PROJECT TEAM

OWNER: Manish Singhal & Suma Nulu
7 Northview Way,
Emerald Hills, CA 94062
contact: Manish Singhal or
Suma Nulu
maddmanish@gmail.com
sumanulu@gmail.com

ARCHITECT: Yama Architecture
84 Tamalpais Road
Berkeley, CA 94708
(510) 541-0556 c
contact: David Yama
yama@yamaarchitecture.com

LANDSCAPE ARCHITECT: Design Focus
PO BOX 485
Ben Lomom, CA 95005
(831) 336-3100
contact: Katie Herman
katie@designfocus.com

CIVIL: Sterling Consultants
46560 Fremont Boulevard, Suite 205
Fremont, CA 94538
(925) 705-9633
contact: Michael Mount
mimount@sterlingconsultants.com

LEGEND

- NEW 1-HR FIRE RATED ASSEMBLY
- EXISTING AREA OF DEMOLITION
- NEW BEAM ABOVE (PLAN)
- NEW SHEAR WALL (PLAN)
- NEW SHEAR WALL (ELEVATION/SECTION)

ISSUE

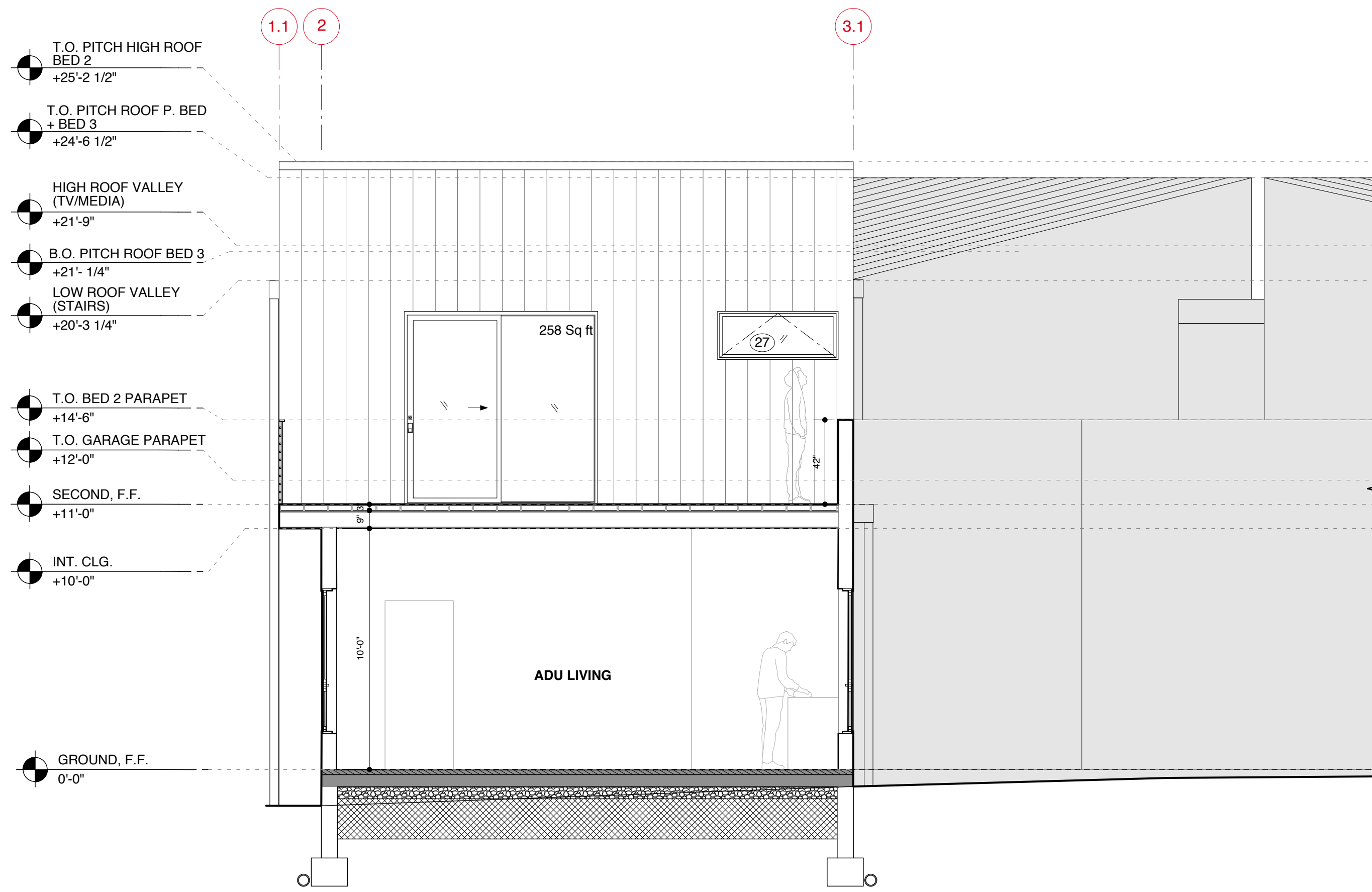
DELTA	DATE	DESCRIPTION
	10.12.23	DESIGN REVIEW

11:54 AM 10/13/23

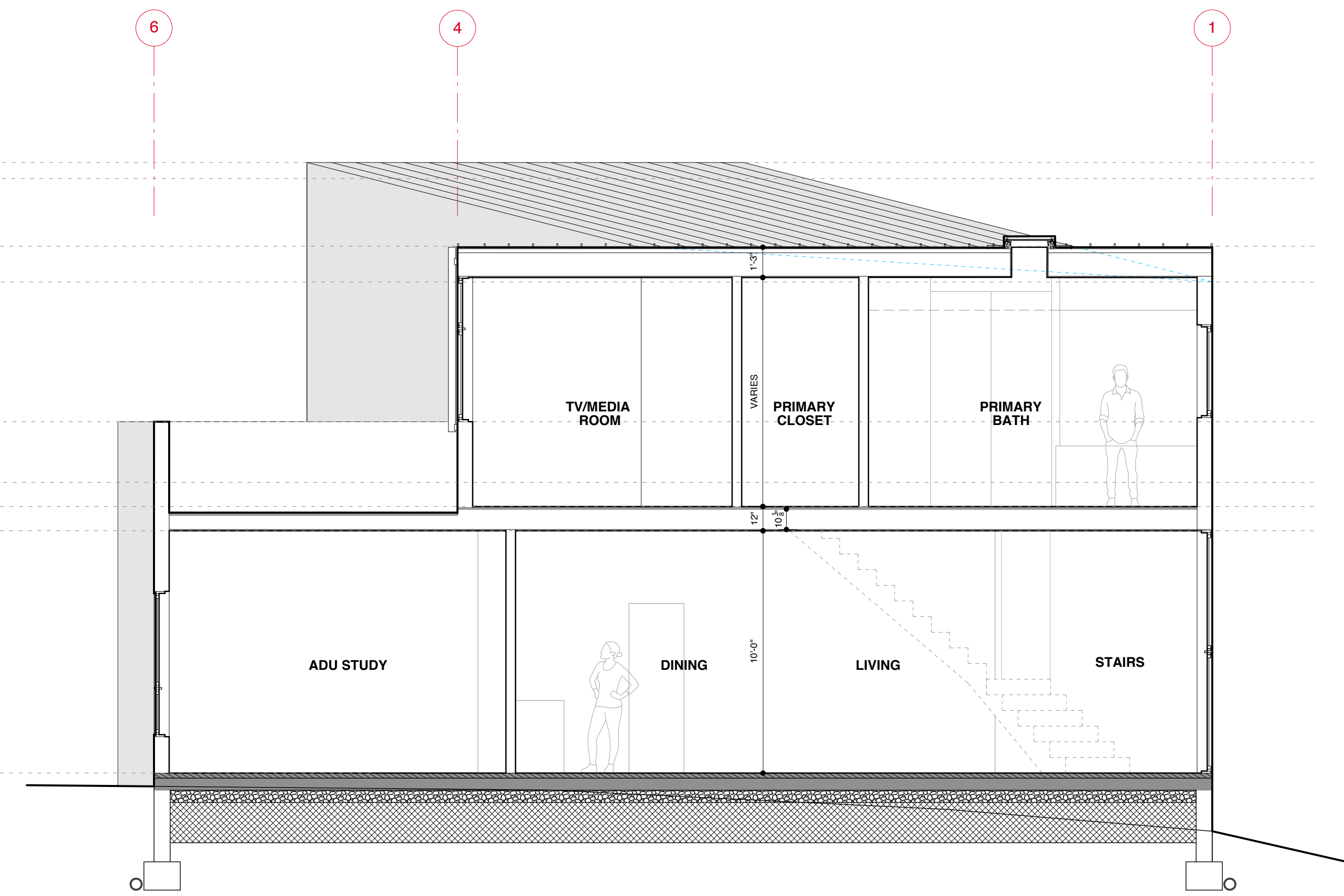
JOB NO. #2303 SINGHAL NULU
RESIDENCE

DESCRIPTION
PROPOSED BUILDING & SITE
SECTION

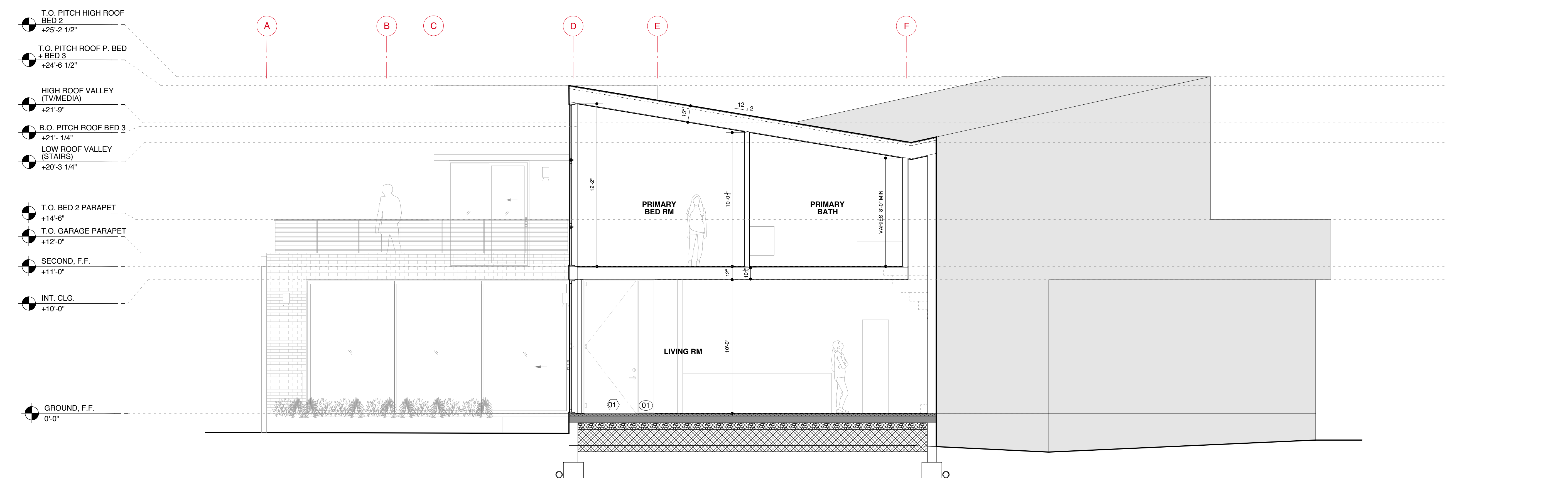
A402



1 SECTION C
SCALE: 1/4" = 1'-0"



3 SECTION E
SCALE: 1/4" = 1'-0"



2 SECTION D
SCALE: 1/4" = 1'-0"

© YAMAARCHITECTURE, 2023. PRINTED: 10/13/23, 11:54 AM. FILE: /Volumes/Projects/2303_Singhal Nulu Residence (Revised) City/2303-08_Arch Drawings/2D/2303-08-C Current Drawings/2303_SINGHAL NULU A402 SECTIONS_PC3.PCS

STAMP



PROJECT ADDRESS

7 Northview Way,
Emerald Hills, CA 94062

PROJECT TEAM

OWNER: Manish Singhal & Suma Nulu
7 Northview Way
Emerald Hills, CA 94062
contact: Manish Singhal or
Suma Nulu
maddmanish@gmail.com
sumanulu@gmail.com

ARCHITECT: Yama Architecture
84 Tamalpais Road
Berkeley, CA 94708
(510) 541-0556 c
contact: David Yama
yama@yamaarchitecture.com

LANDSCAPE ARCHITECT: Design Focus
PO BOX 485
Ben Lomom, CA 95005
(831) 336-3100
contact: Katie Herman
katie@designfocus.com

CIVIL: Sterling Consultants
46560 Fremont Boulevard, Suite 205
Fremont, CA 94538
(925) 705-9633
contact: Michael Mount
mmount@sterlingconsultants.com

LEGEND

- NEW 1-HR FIRE RATED ASSEMBLY
- EXISTING AREA OF DEMOLITION
- NEW BEAM ABOVE (PLAN)
- NEW SHEAR WALL (PLAN)
- NEW SHEAR WALL (ELEVATION/SECTION)

ISSUE

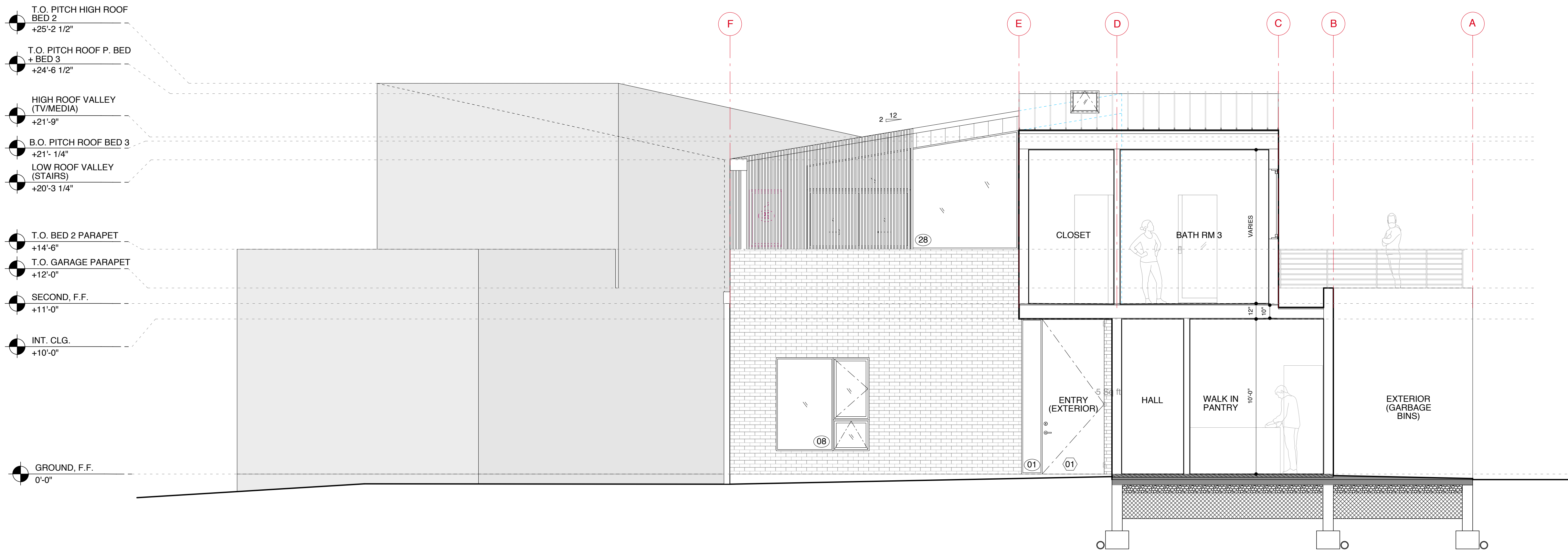
DELTA	DATE	DESCRIPTION
	10.12.23	DESIGN REVIEW

11:54 AM 10/13/23

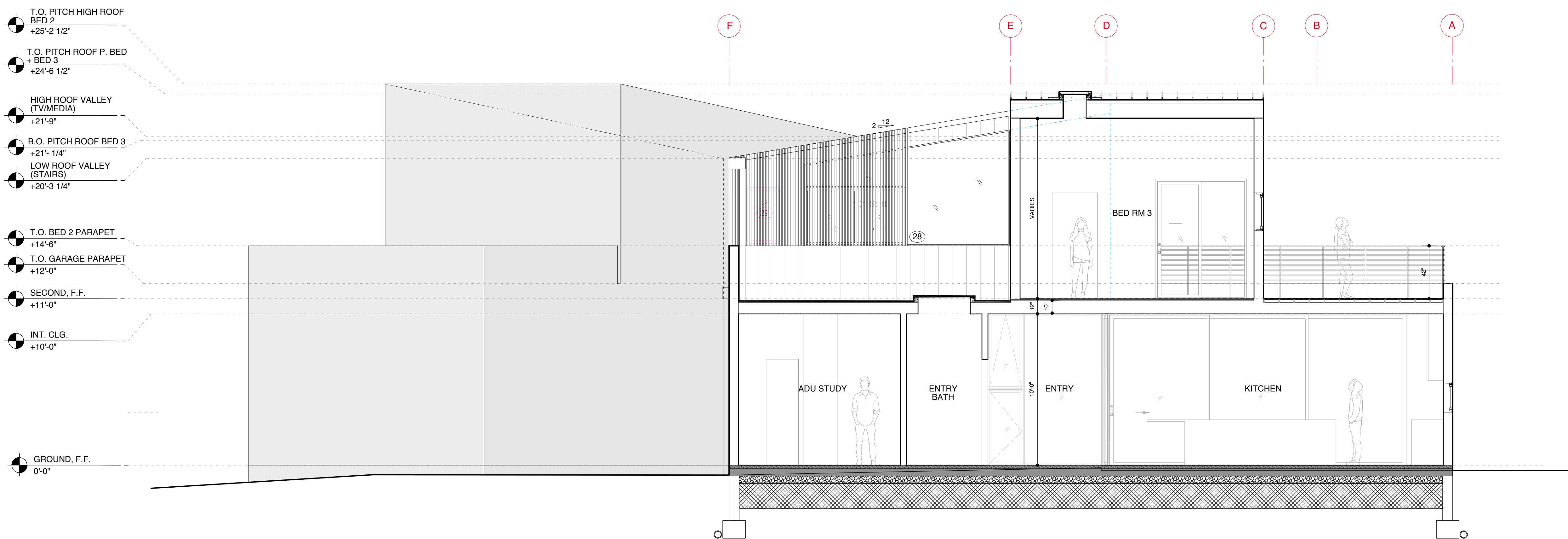
JOB NO. #2303 SINGHAL NULU
RESIDENCE

DESCRIPTION
PROPOSED BUILDING & SITE
SECTION

A403

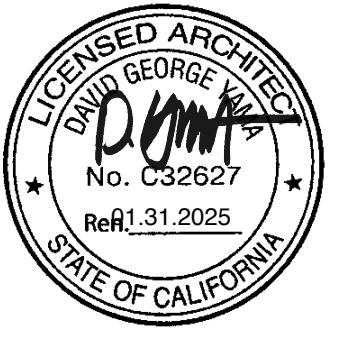


1 SECTION F
SCALE: 1/4" = 1'-0"



2 SECTION G
SCALE: 1/4" = 1'-0"

STAMP



PROJECT ADDRESS

7 Northview Way,
Emerald Hills, CA 94062

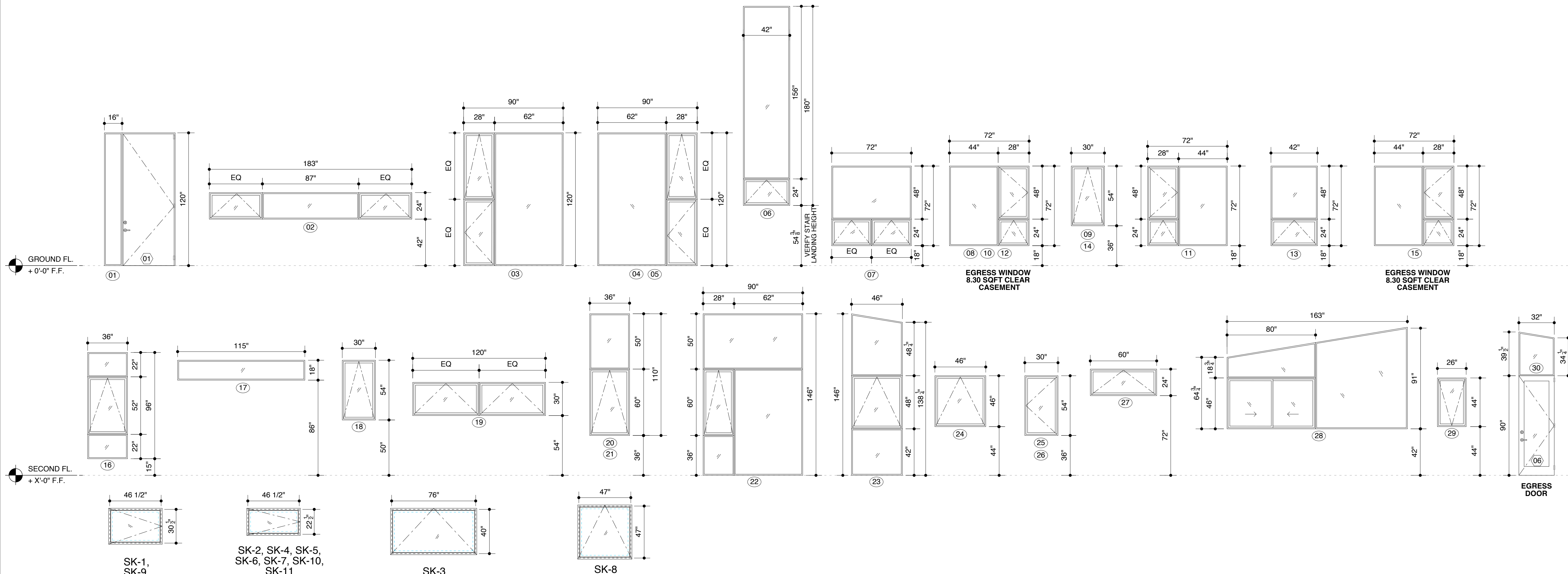
PROJECT TEAM

OWNER: Manish Singhal & Suma Nulu
7 Northview Way,
Emerald Hills, CA 94062
contact: Manish Singhal or
Suma Nulu
maddmanish@gmail.com
sumanulu@gmail.com

ARCHITECT: Yama Architecture
84 Tamalpais Road
Berkeley, CA 94708
(510) 541-0556 c
contact: David Yama
yama@yamarchitecture.com

LANDSCAPE ARCHITECT: Design Focus
PO BOX 485
Ben Lom, CA 95005
(831) 336-3100
contact: Katie Herman
katie@designfocus.com

CIVIL: Sterling Consultants
46560 Fremont Boulevard, Suite 205
Fremont, CA 94538
(925) 705-9633
contact: Michael Mount
mmount@sterlingconsultants.com



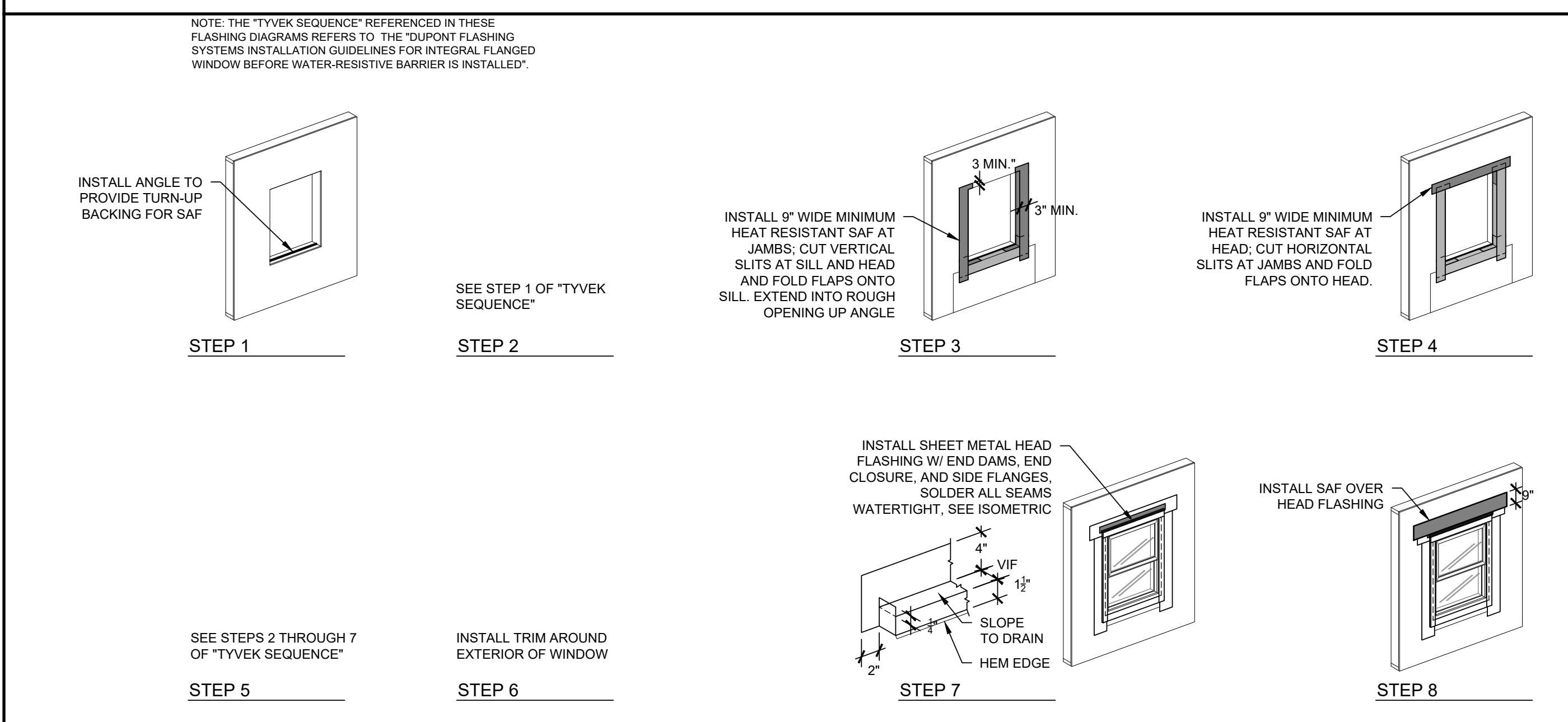
7 NORTHVIEW WINDOW SCHEDULE									
No.	LOCATION	SIZE W X H	TYPE	FINISH	INSTALL	TRIM	GLAZING	REMARKS	
GROUND FLOOR									
1	ENTRY	16 X 120	FIXED	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
2	KITCHEN	183 X 24	OP AWNING + FIXED + OP AWNING	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
3	LIVING	90 X 120	OP AWNING + OP CASSEMENT + FIXED	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
4	LIVING	90 X 120	OP AWNING + OP CASSEMENT + FIXED	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
5	LIVING	90 X 120	OP AWNING + OP CASSEMENT + FIXED	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
6	STAIRS	42 X 180	OP AWNING + FIXED	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
7	HALL	72 X 72	OP AWNING (2) + FIXED	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
8	ADU STUDY	72 X 72	OP AWNING + OP CASSEMENT + FIXED	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
9	ADU KT	30 X 54	OP AWNING	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
10	ADU LIVING	72 X 72	OP AWNING + OP CASSEMENT + FIXED	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
11	ADU LIVING	72 X 72	OP AWNING + OP CASSEMENT + FIXED	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
12	ADU LIVING	72 X 72	OP AWNING + OP CASSEMENT + FIXED	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
13	ADU LIVING	42 X 72	OP AWNING + FIXED	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
14	ADU BATH	30 X 54	OP AWNING	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
15	ADU BED RM	72 X 72	OP AWNING + OP CASSEMENT + FIXED	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
SECOND FLOOR									
16	BED RM 3	36 X 96	OP AWNING + FIXED (2)	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
17	BATH RM 3	115 X 18	FIXED	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
18	BATH RM 3	30 X 54	OP AWNING	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
19	BED RM 3	120 X 30	OP AWNING (2)	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
20	TV/MEDIA ROOM	36 X 110	OP AWNING + FIXED	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
21	PRIMARY BED RM	36 X 110	OP AWNING + FIXED	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
22	PRIMARY BED RM	90 X 146	OP AWNING + FIXED	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
23	PRIMARY BED RM	46 X 146 TO 138 1/4	OP AWNING + FIXED (2)	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
24	PRIMARY BATH RM	46 X 46	OP AWNING	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
25	BED RM 2	30 X 54	OP CASSEMENT	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
26	BED RM 3	30 X 54	OP CASSEMENT	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
27	BATH RM 2	60 X 24	OP AWNING	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
28	TV/MEDIA ROOM	163 X 64 3/4 TO 91	SLIDER + FIXED (2)	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
29	LAUNDRY	26 X 26	OP HOPPER	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E	VERIFY WASHER DRYER HEIGHT	
30	PRIMARY BED RM	32 X 39 1/2 TO 34 1/4	FIXED	CLAD BLK ANOD ALUM/PT GRD INT	NAIL FIN	NONE	TEMPERED, INSULATED, LOW-E		
ROOF SKYLIGHTS									
SK-1	ENTRY BATH	30.5 X 46.5	VELUX VCS 3046 OPERABLE CURB MOUNTED	FACTORY PAINT ALUM	CURB MOUNT	NA	TEMPERED, INSULATED, LOW-E		
SK-2	HALL 2	22.5 X 46.5	VELUX VCS 2246 OPERABLE CURB MOUNTED	FACTORY PAINT ALUM	CURB MOUNT	NA	TEMPERED, INSULATED, LOW-E		
SK-3	STAIRS	76 X 40	VELUX VCS OPERABLE CURB MOUNTED CUSTOM	FACTORY PAINT ALUM	CURB MOUNT	NA	TEMPERED, INSULATED, LOW-E		
SK-4	BED RM 2	22.5 X 46.5	VELUX VCS 2246 OPERABLE CURB MOUNTED	FACTORY PAINT ALUM	CURB MOUNT	NA	TEMPERED, INSULATED, LOW-E	WITH ELECT. SHADES	
SK-5	BED RM 2	22.5 X 46.5	VELUX VCS 2246 OPERABLE CURB MOUNTED	FACTORY PAINT ALUM	CURB MOUNT	NA	TEMPERED, INSULATED, LOW-E	WITH ELECT. SHADES	
SK-6	BATH RM 2	22.5 X 46.5	VELUX VCS 2246 OPERABLE CURB MOUNTED	FACTORY PAINT ALUM	CURB MOUNT	NA	TEMPERED, INSULATED, LOW-E		
SK-7	PRIMARY BATH	22.5 X 46.5	VELUX VCS 2246 OPERABLE CURB MOUNTED	FACTORY PAINT ALUM	CURB MOUNT	NA	TEMPERED, INSULATED, LOW-E		
SK-8	PRIMARY BED	47 X 47	VELUX VCS OPERABLE CURB MOUNTED CUSTOM	FACTORY PAINT ALUM	CURB MOUNT	NA	TEMPERED, INSULATED, LOW-E	WITH ELECT. SHADES	
SK-9	TV/MEDIA ROOM	30.5 X 46.5	VELUX VCS 3046 OPERABLE CURB MOUNTED	FACTORY PAINT ALUM	CURB MOUNT	NA	TEMPERED, INSULATED, LOW-E	WITH ELECT. SHADES	
SK-10	BED RM 3	22.5 X 46.5	VELUX VCS 2246 OPERABLE CURB MOUNTED	FACTORY PAINT ALUM	CURB MOUNT	NA	TEMPERED, INSULATED, LOW-E	WITH ELECT. SHADES	
SK-11	POWDER ROOM	22.5 X 46.6	VELUX VCS 2246 OPERABLE CURB MOUNTED	FACTORY PAINT ALUM	CURB MOUNT	NA	TEMPERED, INSULATED, LOW-E		

WINDOW GENERAL NOTES

- ALL GLASS TO BE LOW-E, INSULATED, TEMPERED (NO BUG VISIBLE). EXTERIOR DOORS SHALL BE OF NON COMBUSTIBLE OR IGNITION-RESISTANT MATERIALS OR BE CONSTRUCTED OF SOLID CORE WOOD 1-3/8" THICK OR HAVE A FIRE-RESISTIVE RATING OF NOT LESS THAN 20 MINUTES, TYP.
- 0.30 MAXIMUM U-FACTOR AND MAXIMUM SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.25 FOR ALL NEW GLAZING UNITS INCLUDING WINDOWS, DOORS, AND SKYLIGHTS
- SQUARE PROFILE FOR ALL GLAZING STOPS, NO OGEE OR CURVED PROFILES. IF GLAZED FROM EXTERIOR SIDE, GLAZING STOPS TO BE SLOPED MIN. 1/4" PER FT TO SHED WATER.
- ALL SIZES ARE APPROXIMATE FOR PRICING. GC TO CONFIRM ACTUAL SIZE AND ROUGH OPENING PRIOR TO PLACING ORDER OR FABRICATION.
- NOTE RAIL AND STILE DIMENSIONS, AND FABRICATE ACCORDINGLY.
- WINDOWS TO HAVE SCREENS
- CONFIRM BACKSET DIMENSIONS OF LEVERSETS AND LOCKSETS BEFORE CROSS BORING.
- OPENING ORIENTATION VARIES, REFER TO PLANS

CODE NOTES:

EMERGENCY ESCAPE AND RESCUE WINDOW SHALL HAVE A NET CLEAR OPENING < 5.7 SF PER SEC 1031.3.1 CBC WITH MINIMUM HEIGHT OF 24" AND WIDTH 20" OF THE NORMAL OPERATION OF THE OPENING PER SEC 1031.3.2. CBC BOTTOM OF CLEAR OPENING SHALL BE NOT GRATER THAN 44" FROM INTERIOR FLOOR PER SEC 1031.3.3. CBC EXC: THE MIN. NET CLEAR OPENING FOR GRADEFLOOR EMERGENCY RESCUE = < 5 SF. WHERE A DOOR IS PROVIDED IT SHALL BE A SWINGING OR A SLIDING DOOR PER SEC 1031.4 CBC



ISSUE	DELTA	DATE	DESCRIPTION
		10.12.23	DESIGN REVIEW

12:02 PM 10/13/23

JOB NO. #2303 SINGHAL NULU RESIDENCE

DESCRIPTION WINDOW & SKYLIGHTS SCHEDULE

© YAMAARCHITECTURE, 2023. PRINTED: 10/13/23, 12:02 PM. FILE: /Volumes/Projects/2303_Singhal_Nulu_Residence/Revit/Chy/2303-08_Arch/Drawings/2303_SINGHAL_NULU_A501_Schedule.dwg



Yama Architecture.com
84 Tamalpais Road Berkeley CA 94708 (510) 541 0556

STAMP



PROJECT ADDRESS

7 Northview Way,
Emerald Hills, CA 94062

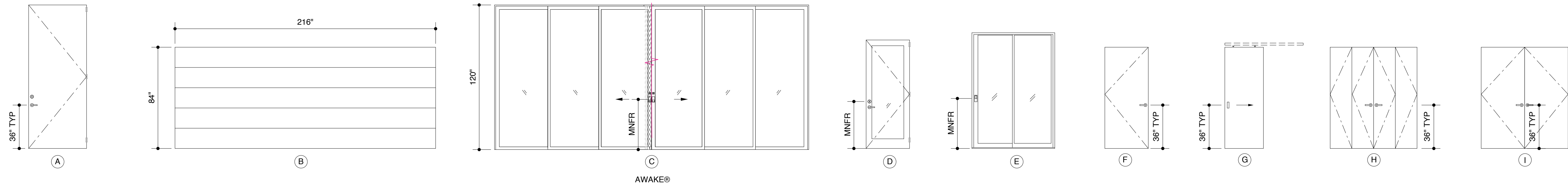
PROJECT TEAM

OWNER: Manish Singhal & Suma Nulu
7 Northview Way
Emerald Hills, CA 94062
contact: Manish Singhal or
Suma Nulu
maddmanish@gmail.com
sumanulu@gmail.com

ARCHITECT: Yama Architecture
84 Tamalpais Road
Berkeley, CA 94708
(510) 541-0556 c
contact: David Yama
yama@yamaarchitecture.com

LANDSCAPE ARCHITECT: Design Focus
PO BOX 485
Ben Lomom, CA 95005
(831) 336-3100
contact: Katie Herman
katie@designfocus.com

CIVIL: Sterling Consultants
46560 Fremont Boulevard, Suite 205
Fremont, CA 94538
(925) 705-9633
contact: Michael Mount
mmount@sterlingconsultants.com



No.	LOCATION	SIZE W X H X THK	TYPE	STYLE	MATERIAL/FINISH	RE GROUP	THRESHOLD	REMARKS
GROUND FLOOR EXTERIOR DOORS								
1	ENTRY	48 X 120 X 1 3/4	SLAB	A	NATURAL WOOD		YES	
2	GARAGE	216 X 84	SECTIONAL	B	PT WOOD-METAL		NO	
3	ADU ENTRY	36 X 90 X 1 3/4	SLAB	A	METAL?		YES	
4	KITCHEN/DINING	192 3/4 + 239 3/4 X 120	MULTI SLIDER RAIL & STILE CORNER	C	BRNZ ANOD OR MATT BLACK		YES	PER MANUF SPEC. W/ INTEGRATED BUG SCREEN
5	GARAGE	36 X 90 X 1 3/4	SLAB	A	PT GRD SC		YES	
SECOND FLOOR EXTERIOR DOORS								
6	PRIMARY DECK	32 X 90	OUTSWING RAIL & STILE W LITE	D	BRNZ ANOD OR MATT BLACK		YES	
7	BED RM 2 DECK	96 X 96	SLIDER RAIL & STILE	E	BRNZ ANOD OR MATT BLACK		YES	PER MANUF SPEC. W/ INTEGRATED BUG SCREEN
8	BED RM 3 DECK	110 X 96	SLIDER RAIL & STILE	E	BRNZ ANOD OR MATT BLACK		YES	PER MANUF SPEC. W/ INTEGRATED BUG SCREEN
9	BED RM 3 DECK	72 X 96	SLIDER RAIL & STILE	E	BRNZ ANOD OR MATT BLACK		YES	PER MANUF SPEC. W/ INTEGRATED BUG SCREEN
10	ROOF ACCESS	77 X 96	SLIDER RAIL & STILE	E	BRNZ ANOD OR MATT BLACK		YES	PER MANUF SPEC. W/ INTEGRATED BUG SCREEN
GROUND FLOOR INTERIOR DOORS								
11	GARAGE	36 X 84 X 1 3/4	SLAB	F	PT GRD SC		YES	SMOKE GASKET
12	LAUNDRY	32 X 84 X 1 3/8	SLAB	G	PT GRD POCKET		NO	POCKET CLR OPENING INDICATED/ ACTUAL SIZE AS REQ'D FOR POCKET APPLICATION
13	POWDER RM	30 X 84 X 1 3/8	SLAB	G	PT GRD POCKET		NO	POCKET CLR OPENING INDICATED/ ACTUAL SIZE AS REQ'D FOR POCKET APPLICATION
14	PANTRY	30 X 84 X 1 3/8	SLAB	G	PT GRD POCKET		NO	POCKET CLR OPENING INDICATED/ ACTUAL SIZE AS REQ'D FOR POCKET APPLICATION
15	PANTRY	30 X 84 X 1 3/8	SLAB	G	PT GRD POCKET		NO	POCKET CLR OPENING INDICATED/ ACTUAL SIZE AS REQ'D FOR POCKET APPLICATION
16	STORAGE	30 X 84 X 1 3/8	SLAB	F	PT GRD SC		NO	
17	ENTRY BATH	30 X 84 X 1 3/8	SLAB	F	PT GRD SC		NO	
18	ADU/PRIMARY RESIDENCE	36 X 84 X 1 3/8	SLAB	G	PT GRD POCKET		NO	POCKET CLR OPENING INDICATED/ ACTUAL SIZE AS REQ'D FOR POCKET APPLICATION
19	ADU BED RM	34 X 84 X 1 3/8	SLAB	F	PT GRD SC		NO	
20	ADU STUDY	34 X 84 X 1 3/8	SLAB	F	PT GRD SC		NO	
21	ADU BATH	34 X 84 X 1 3/8	SLAB	G	PT GRD POCKET		NO	POCKET CLR OPENING INDICATED/ ACTUAL SIZE AS REQ'D FOR POCKET APPLICATION
22	ADU BATH	34 X 84 X 1 3/8	SLAB	G	PT GRD POCKET		NO	POCKET CLR OPENING INDICATED/ ACTUAL SIZE AS REQ'D FOR POCKET APPLICATION
23	ADU STORAGE	60 X 84 X 1 3/8	SLAB	H	PT GRD BI-FOLD		NO	
24	ADU CLOSET	36 X 84 X 1 3/8	SLAB PAIR	I	PT GRD SC		NO	
25	ADU COAT	36 X 84 X 1 3/8	SLAB PAIR	I	PT GRD SC		NO	
SECOND FLOOR INTERIOR DOORS								
26	HALLWAY STORAGE	54 X 84 X 1 3/8	SLAB PAIR	I	PT GRD SC		NO	
27	LAUNDRY	32 X 84 X 1 3/8	SLAB	G	PT GRD POCKET		NO	POCKET CLR OPENING INDICATED/ ACTUAL SIZE AS REQ'D FOR POCKET APPLICATION
28	BED RM 2	32 X 84 X 1 3/8	SLAB	F	PT GRD SC		NO	
29	BATH RM 2	30 X 84 X 1 3/8	SLAB	G	PT GRD POCKET		NO	POCKET CLR OPENING INDICATED/ ACTUAL SIZE AS REQ'D FOR POCKET APPLICATION
30	CLOSET BED RM 2	48 X 84 X 1 3/8	SLAB PAIR	I	PT GRD SC		NO	
31	CLOSET BED RM 2	48 X 84 X 1 3/8	SLAB PAIR	I	PT GRD SC		NO	
32	PRIMARY BED RM	32 X 84 X 1 3/8	SLAB	F	PT GRD SC		NO	
33	PRIMARY BATH RM	30 X 84 X 1 3/8	SLAB	F	PT GRD SC		NO	
34	PRIMARY CLOSET	30 X 84 X 1 3/8	SLAB	F	PT GRD SC		NO	
35	BED RM 3	32 X 84 X 1 3/8	SLAB	F	PT GRD SC		NO	
36	CLOSET BED RM 3	30 X 84 X 1 3/8	SLAB	G	PT GRD POCKET		NO	POCKET CLR OPENING INDICATED/ ACTUAL SIZE AS REQ'D FOR POCKET APPLICATION
37	BATH RM 3	30 X 84 X 1 3/8	SLAB	G	PT GRD POCKET		NO	POCKET CLR OPENING INDICATED/ ACTUAL SIZE AS REQ'D FOR POCKET APPLICATION

DOOR GENERAL NOTES

- ALL GLASS TO BE LOW-E, INSULATED, TEMPERED (NO BUG VISIBLE). EXTERIOR DOORS SHALL BE OF NON COMBUSTIBLE OR IGNITION-RESISTANT MATERIALS OR BE CONSTRUCTED OF SOLID CORE WOOD 1-3/8" THICK OR HAVE A FIRE-RESISTIVE RATING OF NOT LESS THAN 20 MINUTES, TYP.
- 0.30 MAXIMUM U-FACTOR AND MAXIMUM SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.25 FOR ALL NEW GLAZING UNITS INCLUDING WINDOWS, DOORS, AND SKYLIGHTS
- SQUARE PROFILE FOR ALL GLAZING STOPS, NO OGEE OR CURVED PROFILES. IF GLAZED FROM EXTERIOR SIDE, GLAZING STOPS TO BE SLOPED MIN. 1/4" PER FT TO SHED WATER.
- ALL SIZES ARE APPROXIMATE FOR PRICING, GC TO CONFIRM ACTUAL SIZE AND ROUGH OPENING PRIOR TO PLACING ORDER OR FABRICATION.
- NOTE RAIL AND STILE DIMENSIONS, AND FABRICATE ACCORDINGLY.
- CONFIRM BACKSET DIMENSIONS OF LEVERSETS AND LOCKSETS BEFORE CROSS BORING.
- 5/16" MAX UNDERCUT @ DOOR BOTTOMS. UNDERCUT ONLY AT CARPETED AREAS.
- DOORS ARE IDENTIFIED IN DOOR SCHEDULE
- 3 HINGES PER DOOR U.O.N.
- DOOR JAMBSTOPS TO BE INTEGRAL (NOT ADD ON TYPE).
- CONFIRM ACTIVE LEAF FOR PAIRS W/ OWNER OR ARCHITECT PRIOR TO ORDERING.
- OPENING ORIENTATION VARIES, REFER TO PLANS

CODE NOTES:

EMERGENCY ESCAPE AND RESCUE WINDOW SHALL HAVE A NET CLEAR OPENING < 5.7 SF PER SEC 1031.3.1 CBC WITH MINIMUM HEIGHT OF 24" AND WIDTH 20" OF THE NORMAL OPERATION OF THE OPENING PER SEC 1031.3.2. CBC BOTTOM OF CLEAR OPENING SHALL BE NOT GRATER THAN 44" FROM INTERIOR FLOOR PER SEC 1031.3.3. CBC EXC: THE MIN. NET CLEAR OPENING FOR GRADEFLOOR EMERGENCY RESCUE = < 5 SF. WHERE A DOOR IS PROVIDED IT SHALL BE A SWINGING OR A SLIDING DOOR PER SEC 1031.4 CBC

ISSUE	DELTA	DATE	DESCRIPTION
		10.12.23	DESIGN REVIEW

12:02 PM 10/13/23

JOB NO. **#2303 SINGHAL NULU RESIDENCE**

DESCRIPTION
DOORS SCHEDULE

A502

YAMAARCHITECTURE, 2023. PRINTED: 10/13/23, 12:02 PM FILE: \\yama\projects\2303_Singhal Nulu Residence (Revised) City\2303-08_Arch Drawings\20 2303_08_C-Comment Drawings\2303_SINGHAL NULU ADU01_Schedule.dwg

LANDSCAPE
SCREENING PLAN

DESIGN

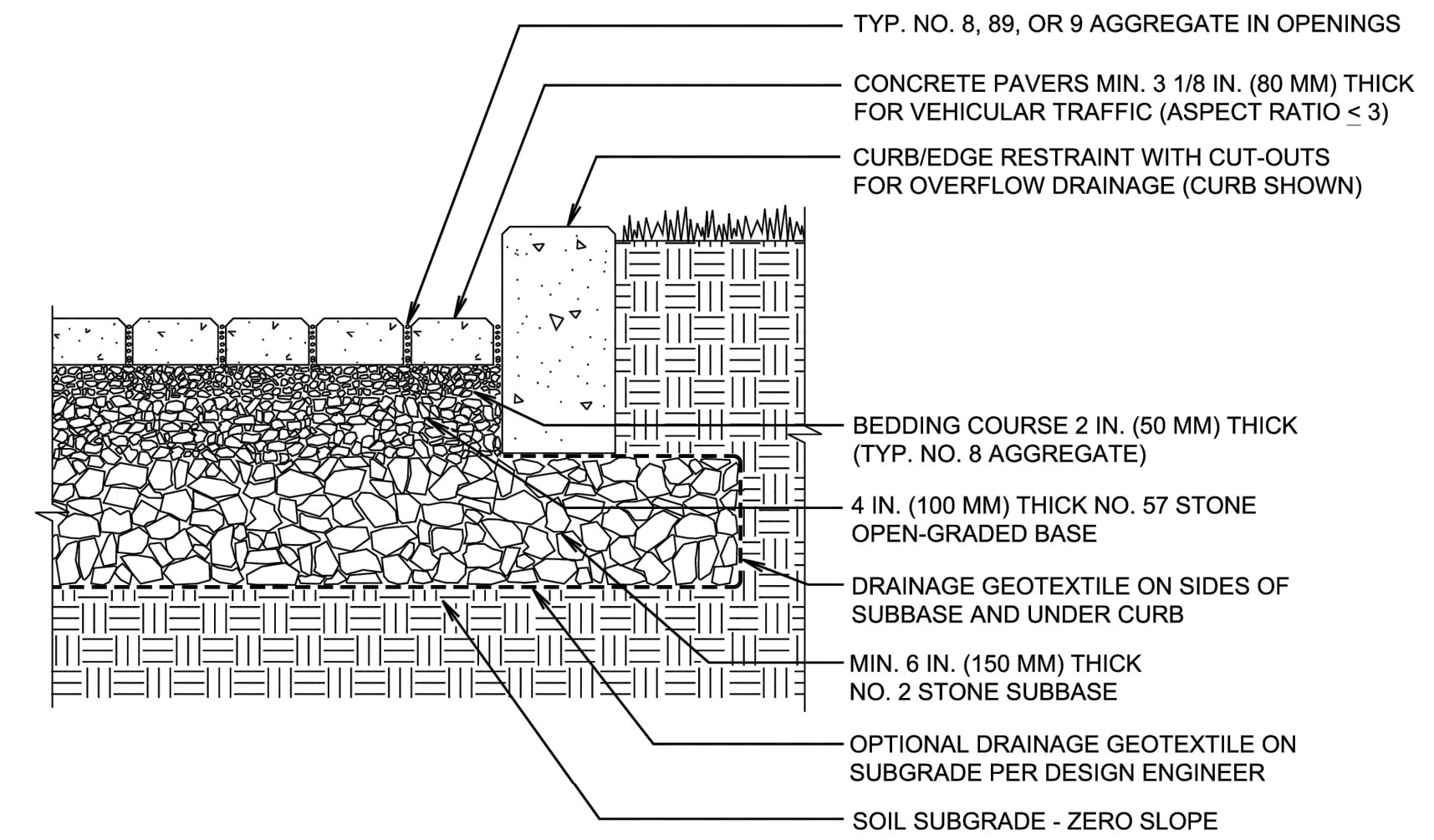
PO BOX 485
BEN LOMOND, CA 95005
(831) 336-3100

FOCUS

DESIGN FOCUS
LANDSCAPE ARCHITECTURE
& CONSTRUCTION



REVISED: 9/28/2023
DESIGN BY: KH
DRAWN BY: KH
SCALE: 1/8"=1'-0"

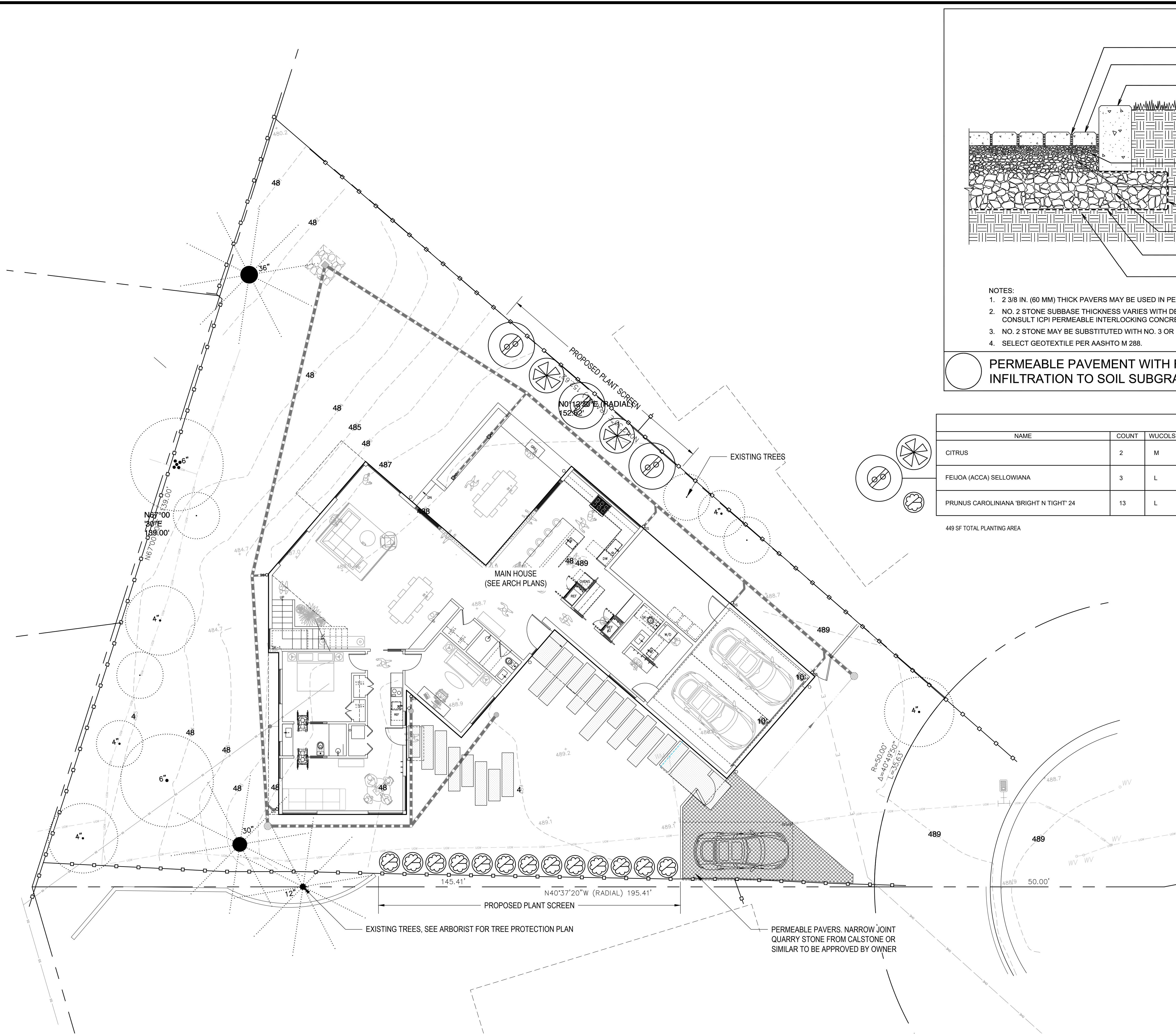


- NOTES:
- 2 3/8 IN. (60 MM) THICK PAVERS MAY BE USED IN PEDESTRIAN AND RESIDENTIAL APPLICATIONS.
 - NO. 2 STONE SUBBASE THICKNESS VARIES WITH DESIGN. CONSULT ICPI PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.
 - NO. 2 STONE MAY BE SUBSTITUTED WITH NO. 3 OR NO. 4 STONE.
 - SELECT GEOTEXTILE PER AASHTO M 288.


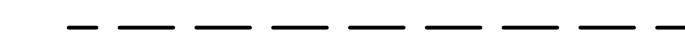
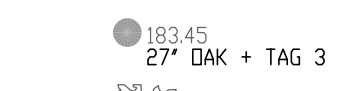
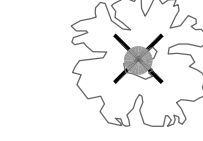

	PERMEABLE PAVEMENT WITH FULL INFILTRATION TO SOIL SUBGRADE	DRAWING NO.	ICPI-68
		SCALE	NO SCALE

NAME	COUNT	WUCOLS	SIZE	NOTES
CITRUS	2	M	24"	DWARF CITRUS BUSH
FEIJOA (ACCA) SELLOWIANA	3	L	24"	STANDARD PINEAPPLE GUAVA
PRUNUS CAROLINIANA 'BRIGHT N TIGHT' 24	13	L	24"	

449 SF TOTAL PLANTING AREA



DEMOLITION LEGEND

-  PROPERTY LINE
-  SAWCUT LINE
-  EX. TREE WITH GROUND ELEV., DBH.
-  REMOVE EXISTING TREE
-  REMOVE EXISTING AC/CONC./BUILDING

REMOVAL NOTES

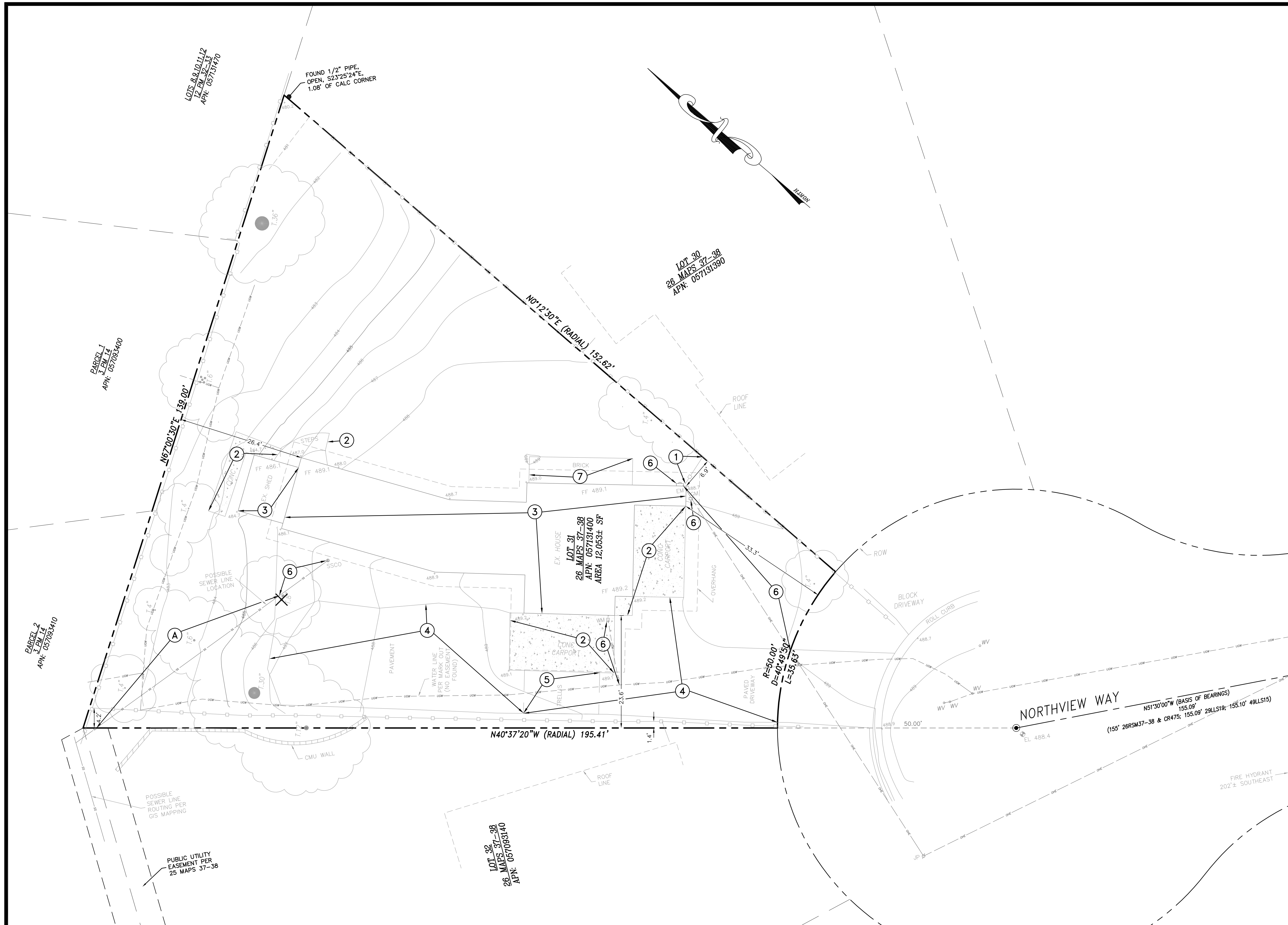
- ① REMOVE EXISTING FENCE
- ② REMOVE EXISTING CONCRETE
- ③ REMOVE EXISTING BUILDING
- ④ REMOVE EXISTING ASPHALT
- ⑤ REMOVE EXISTING TRELLIS
- ⑥ REMOVE EXISTING UTILITY
- ⑦ REMOVE EXISTING BRICK

PROTECTION NOTES

- Ⓐ PROTECT EXISTING UTILITY

DEMOLITION NOTES

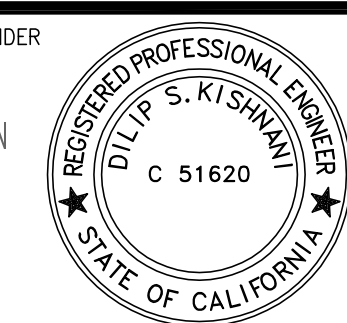
1. DEVELOPER'S CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM COUNTY'S BUILDING DEPARTMENT PRIOR TO START OF DEMOLITION.
2. THE PROPERTY LINE SHALL BE THE LIMITS OF DEMOLITION UNDER THE GRADING PERMIT.
3. CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTIONS WITH THE RESPECTIVE UTILITY AGENCIES PRIOR TO START OF DEMOLITION ON THE SITE.
4. UTILITIES TO BE ABANDONED WITHIN THE AREAS OF PROPOSED IMPROVEMENTS SHALL BE REMOVED IN THEIR ENTIRETY OR ABANDONED IN PLACE PER RECOMMENDATIONS OF THE PROJECT SOILS REPORT.



COPYRIGHT NOTE:
 COPYRIGHT © STERLING CONSULTANTS ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPIING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF STERLING CONSULTANTS. COPIES OF THIS DRAWING WITHOUT AN ORIGINAL SIGNATURE AND STAMP ARE NOT VALID.

DATE: OCTOBER 1, 2023					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					
	NO.	BY	DATE	REVISIONS	CITY APPR

PREPARED BY, OR UNDER THE DIRECTION OF:
 NOT APPROVED FOR CONSTRUCTION

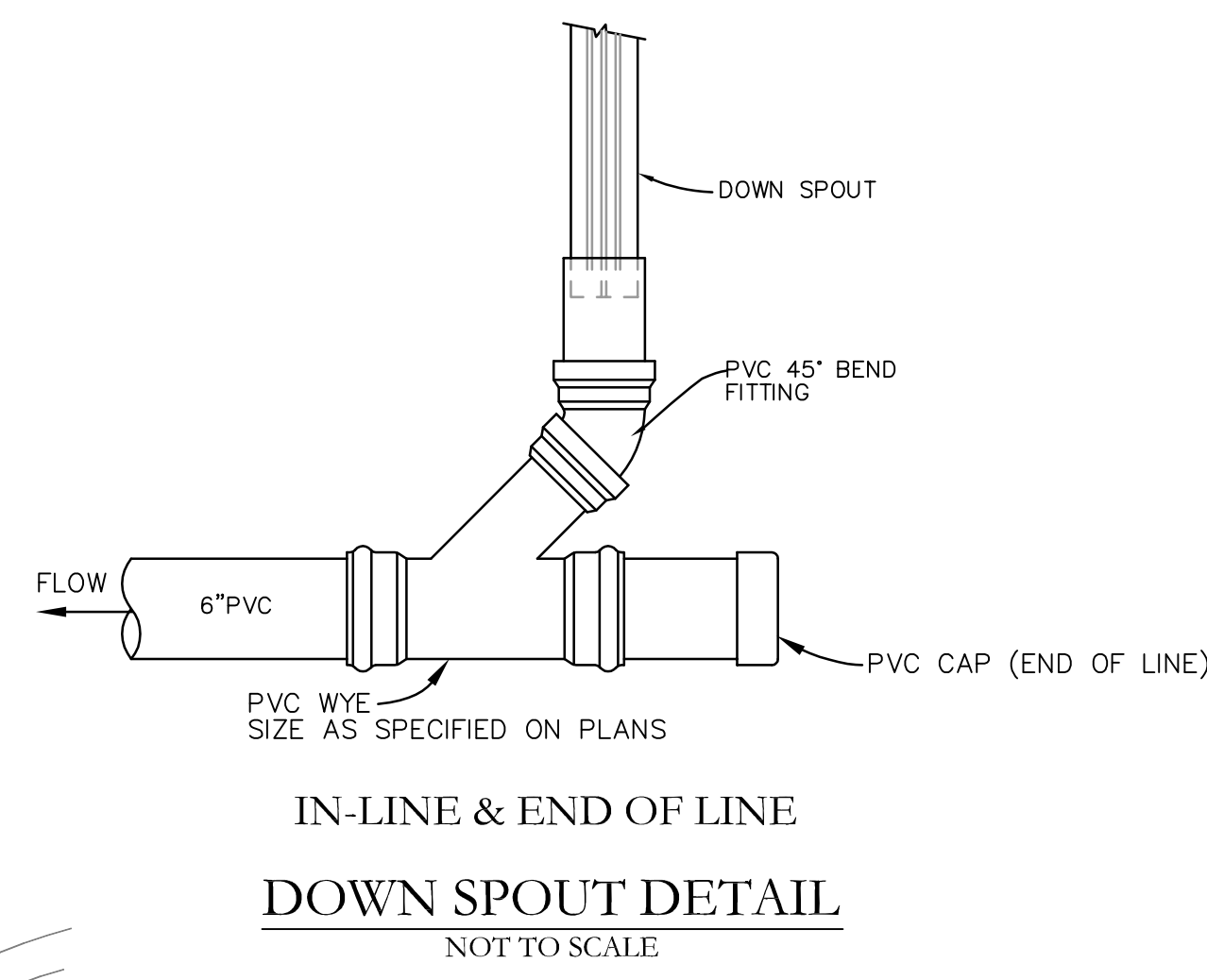
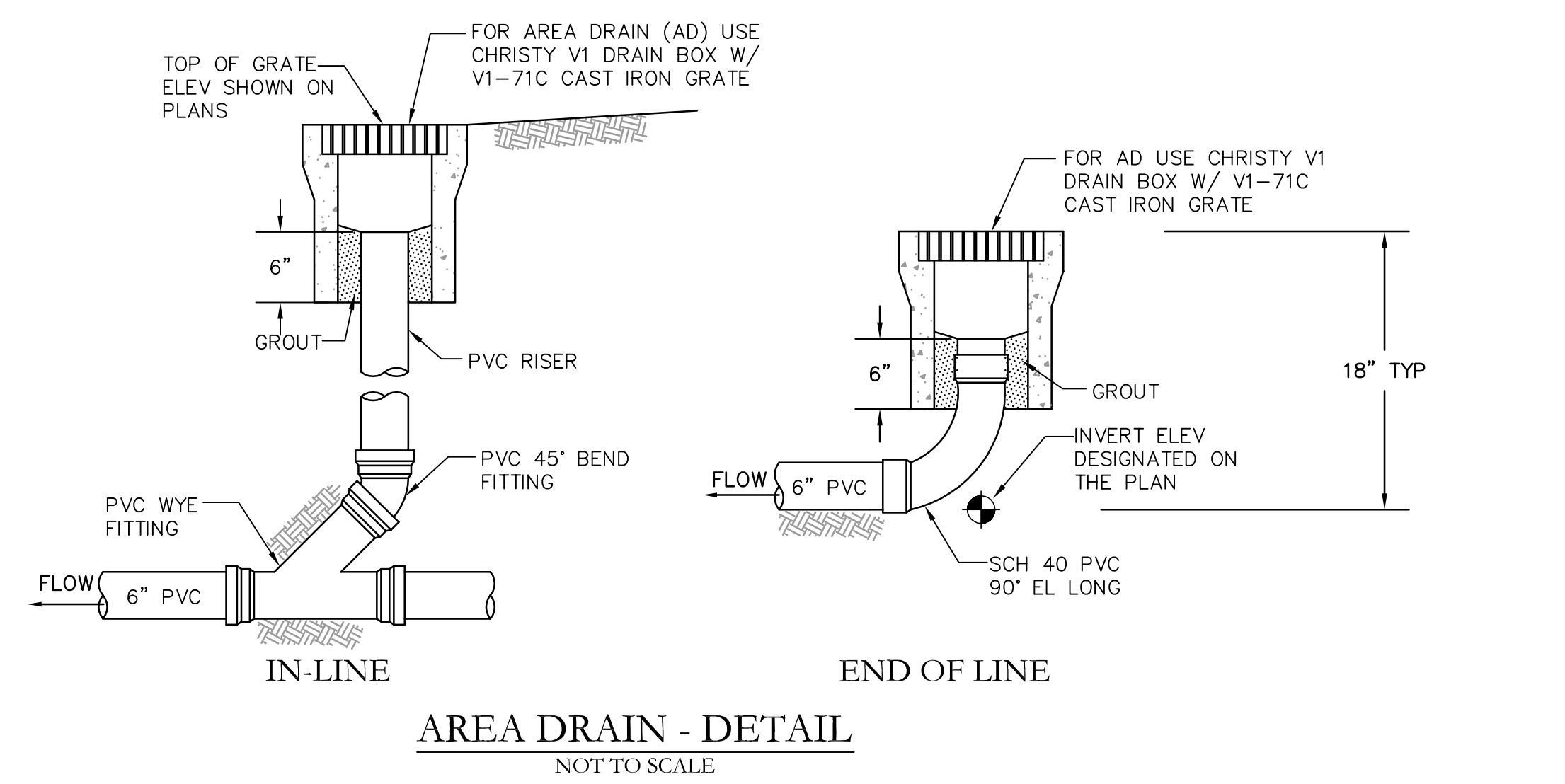
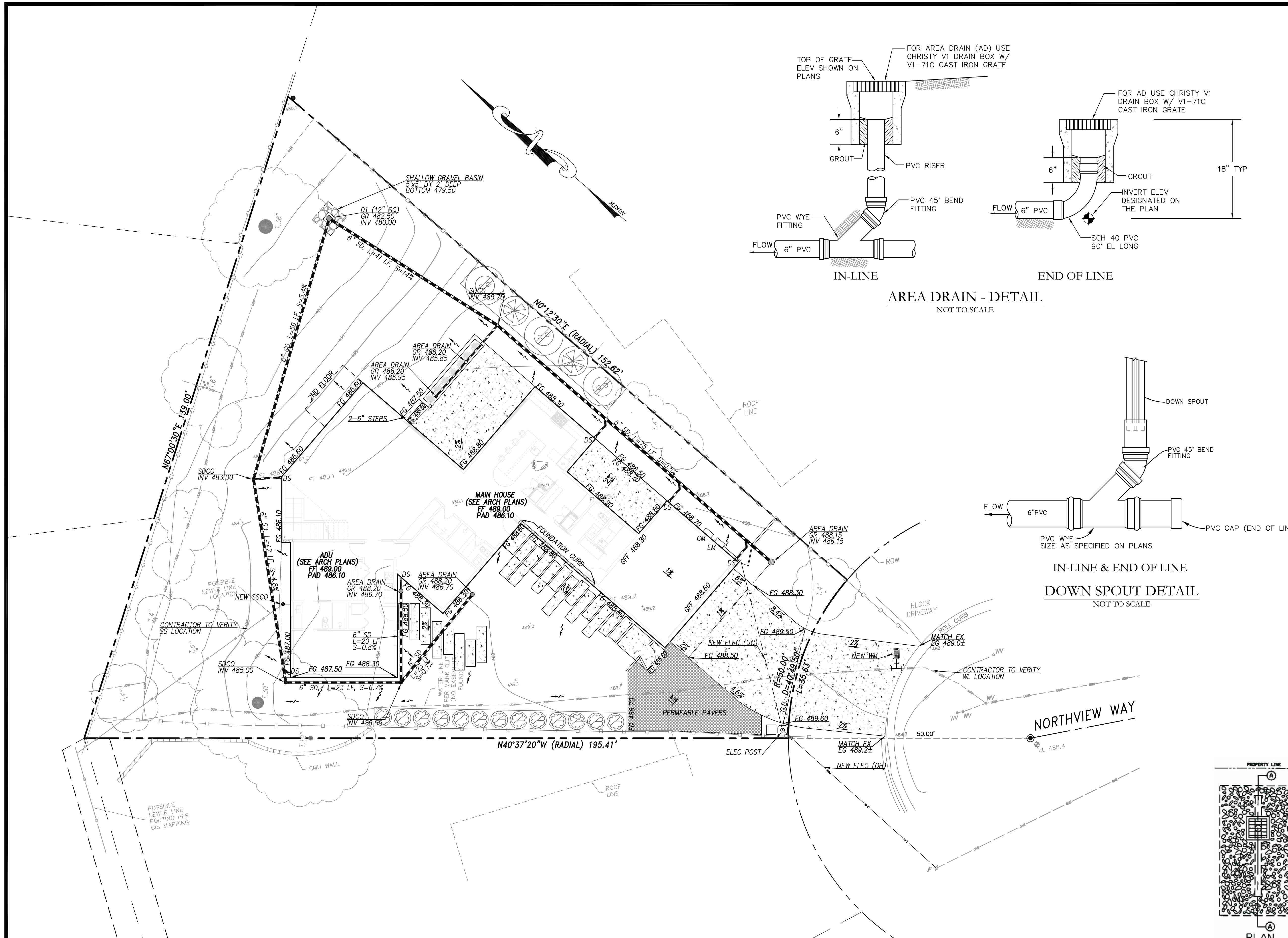


PREPARED BY:
STERLING CONSULTANTS
 4650 FREMONT BOULEVARD, SUITE NO. 205
 FREMONT, CA 94538
 1sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:
 MANISH SINGHAL
 7 NORTHVIEW WAY
 REDWOOD CITY, CA

APN: 057-131-400
 7 NORTHVIEW WAY
EXISTING CONDITIONS & DEMOLITION PLAN
 EMERALD HILLS (UNINCORPORATED) COUNTY OF SAN MATEO CALIFORNIA

SHEET NO. **C1**
 1 OF 4 SHEETS
 JOB NO. 2023-125



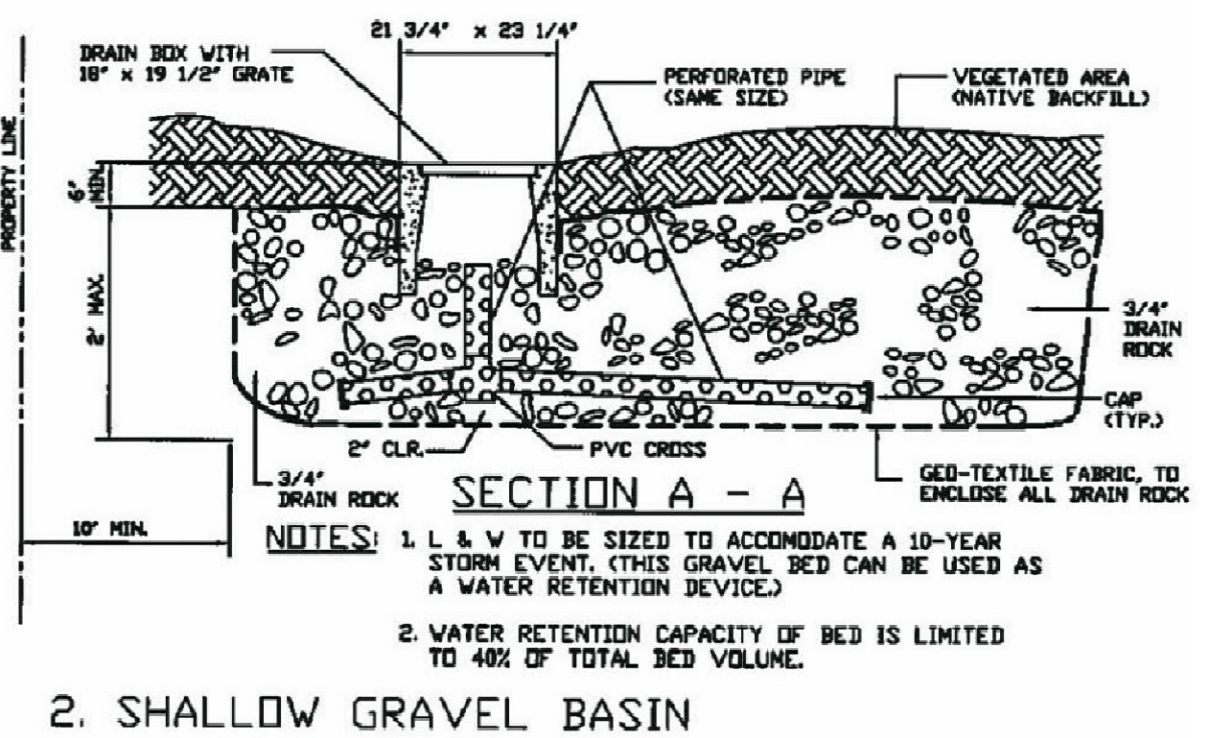
GRADING NOTES:

1. SITE GRADING & EXCAVATIONS SHALL ADHERE TO ALL RECOMMENDATIONS CONTAINED IN THE PROJECT GEOTECHNICAL REPORT.
2. ALL GRADES SHOWN ARE FINISHED GRADES, UNLESS OTHERWISE NOTED.
3. ALL CUT AND FILL SLOPES AT THE BOUNDARY LINES SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ADJACENT FENCES WILL NOT BE DAMAGED. GRADING SHALL CONFORM AT BOUNDARY LINES.
4. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES OVER FIVE FEET IN HEIGHT SHALL BE PLANTED WITH SUITABLE GROUND COVER.
5. DURING GRADING OPERATIONS, THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES BOTH ON-SITE. STREETS SHALL BE SWEEPED PER REQUIREMENTS SPECIFIED IN BLUEPRINT FOR CLEAN BAY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SAID GRADING QUANTITIES PRIOR TO THE START OF THE GRADING OPERATION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLY MATERIAL FOR DEFICIENCIES TO BRING PAVEMENT OR LOTS TO REQUIRED GRADE. CLARIFICATION OF GRADING SHALL BE DONE BY THE ENGINEER.
7. WASTEWATER GENERATED DURING CONSTRUCTION SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM. THIS INCLUDES WASTE FROM PAINTING, SAWCUTTING, CONCRETE WORK, ETC. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO ELIMINATE DISCHARGES TO THE STORM DRAIN SYSTEM AND, IF NECESSARY, PROVIDE AN AREA FOR ON-SITE WASHING ACTIVITIES DURING CONSTRUCTION. MATERIALS WHICH COULD CONTAMINATE STORM RUNOFF SHALL BE STORED IN AREAS WHICH ARE DESIGNED TO PREVENT EXPOSURE TO RAINFALL AND TO NOT ALLOW STORM WATER TO RUN ONTO THE AREA.
8. FLUSHING OF STREETS/PARKING LOTS TO REMOVE DIRT AND CONSTRUCTION DEBRIS IS PROHIBITED UNLESS PROPER SEDIMENT CONTROLS ARE USED. AREAS REQUIRING CLEANING SHOULD BE SWEEPED.
9. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS NEEDED.
10. WHERE ABANDONED UNDERGROUND STRUCTURES ARE ENCOUNTERED IN THE STREET AREAS, REMOVE TO SUFFICIENT DEPTH TO ALLOW UNDERGROUND LINES TO CROSS, BACKFILL AND COMPACT DURING ROUGH GRADING. THE INSPECTOR MAY REQUIRE FURTHER WORK TO BE DONE IF VISUAL INSPECTION INDICATES SO DURING CONSTRUCTION.
11. PRIOR TO ANY GRADING, DEMOLITION OF THE SITE SHOULD BE COMPLETED. DEMOLITION SHOULD INCLUDE THE COMPLETE REMOVAL OF ALL SURFACE AND SUBSURFACE STRUCTURES, IF ANY OF THE FOLLOWING ARE ENCOUNTERED: TREE ROOT SYSTEMS, CONCRETE, SEPTIC TANKS, GAS OR OIL TANKS, STORM INLETS, IRRIGATION PIPES, FOUNDATIONS, ASPHALT, DEBRIS AND TRASH. THESE SHOULD ALSO BE REMOVED, WITH THE EXCEPTION OF ITEMS SPECIFIED BY THE OWNER FOR SALVAGE.
12. EARTHWORK QUANTITIES IF SHOWN ON THESE PLANS ARE APPROXIMATE ESTIMATED QUANTITIES AND ARE FURNISHED FOR THE COUNTY'S INFORMATION ONLY. THE ACTUAL AMOUNT MAY VARY DEPENDING ON COMPACTION, CONSOLIDATION, STRIPPING AND THE CONTRACTOR'S METHOD OF OPERATION.
13. ALL NEW/UPGRADED UTILITIES SHALL BE INSTALLED UNDERGROUND.

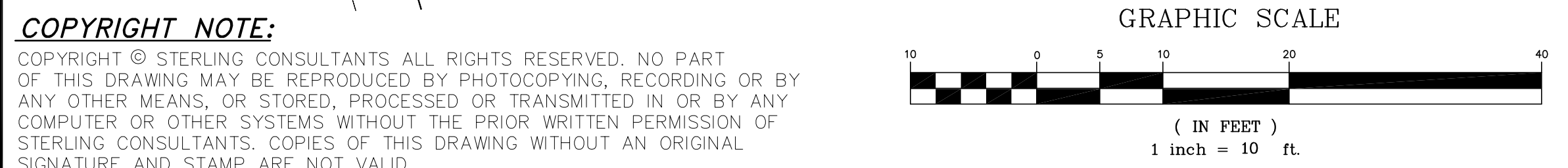
EARTHWORK SUMMARY

MEASURED RAW CUT: 190 CY
 (UNDER FOOTPRINT & OUTSIDE)
 MEASURED RAW FILL: 0 CY
 (UNDER FOOTPRINT & OUTSIDE)
 ESTIMATED EXPORT: 190 CY

EARTHWORK QUANTITIES SHOWN HEREON ARE APPROXIMATE ONLY FOR ESTABLISHMENT OF FEES. CONTRACTORS SHALL BASE BID AND OR CONTRACT AMOUNTS UPON THEIR OWN EARTHWORK ESTIMATES FOR COMPLETION OF THE WORK SHOWN HEREON, NOT ON THE QUANTITIES SHOWN ABOVE.
 NO ADJUSTMENTS HAVE BEEN APPLIED FOR SHRINK OR SWELL.



INFILTRATION DEVICE
NOT TO SCALE



COPYRIGHT NOTE:
 COPYRIGHT © STERLING CONSULTANTS ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPIING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF STERLING CONSULTANTS. COPIES OF THIS DRAWING WITHOUT AN ORIGINAL SIGNATURE AND STAMP ARE NOT VALID.

DATE: OCTOBER 1, 2023					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					
NO.	BY	DATE	REVISIONS	CITY APPR	

PREPARED BY, OR UNDER THE DIRECTION OF:
 NOT APPROVED FOR CONSTRUCTION

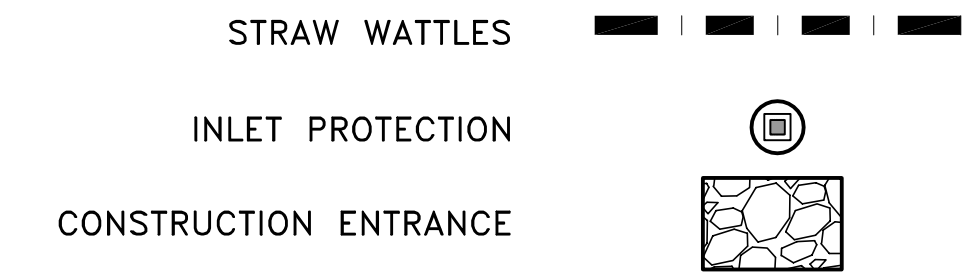
PREPARED BY:
STERLING CONSULTANTS
 4650 FREMONT BOULEVARD, SUITE NO. 205
 FREMONT, CA 94538
 1sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:
 MANISH SINGHAL
 7 NORTHVIEW WAY
 REDWOOD CITY, CA

APN: 057-131-400
 7 NORTHVIEW WAY
GRADING, DRAINAGE & UTILITY PLAN
 EMERALD HILLS (UNINCORPORATED) COUNTY OF SAN MATEO CALIFORNIA

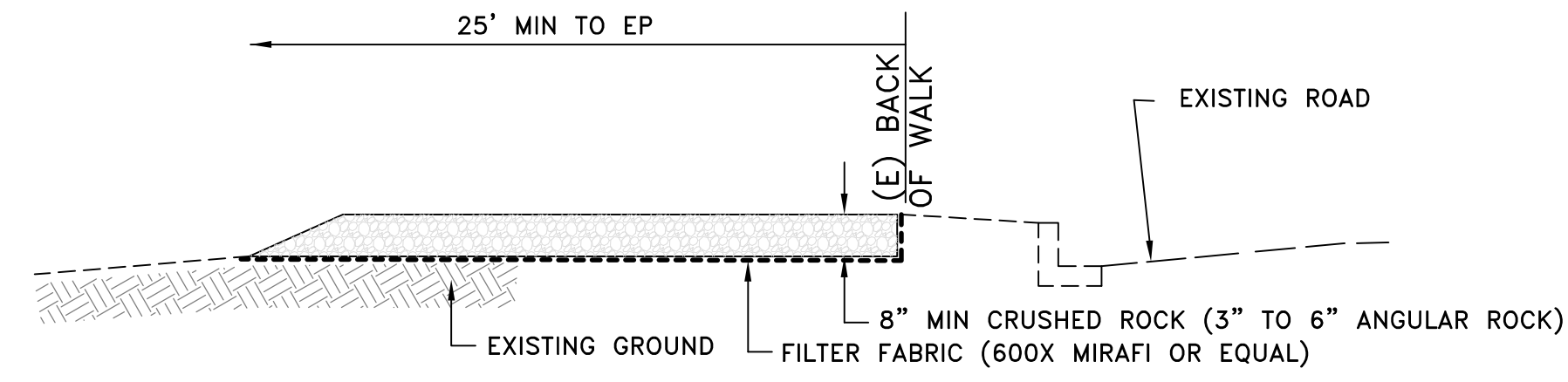
SHEET NO.
C2
 2 OF 4 SHEETS
 JOB NO.
 2023-125

EROSION CONTROL LEGEND



EROSION CONTROL NOTES

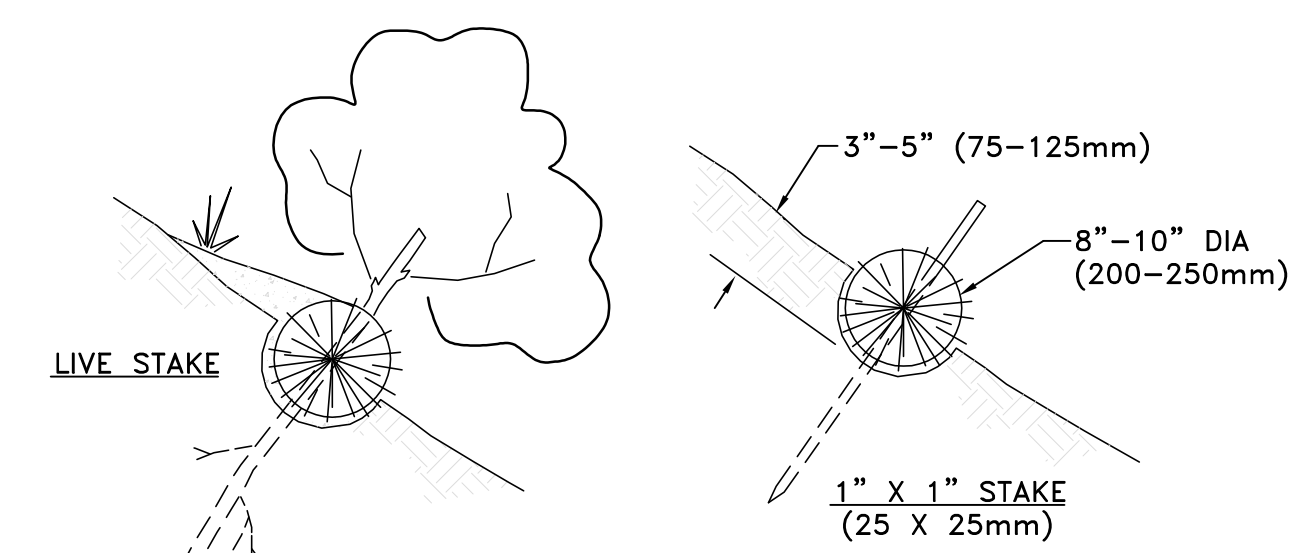
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN CONFORMANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
- THE DEVELOPER IS RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND/OR STOP ORDERS.
- ANY VEHICLE OR EQUIPMENT WASHING/STEAM CLEANING MUST BE DONE AT AN APPROPRIATELY EQUIPPED FACILITY WHICH DRAINS TO THE SANITARY SEWER. OUTDOOR WASHING MUST BE MANAGED IN SUCH A WAY THAT THERE IS NO DISCHARGE OF SOAPS, SOLVENTS, CLEANING AGENTS OR OTHER POLLUTANTS TO THE STORM DRAINS. WASH WATER SHALL DISCHARGE TO THE SANITARY SEWER, SUBJECT TO REVIEW AND APPROVAL OF THE COUNTY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LITTER CONTROL AND SWEEPING OF ALL PAVED SURFACES DURING CONSTRUCTION.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. EROSION CONTROL MEASURES ARE TO BE FUNCTIONAL PRIOR TO OCTOBER 1ST OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
- ALL ON-SITE STORM DRAINS SHALL BE CLEANED IMMEDIATELY BEFORE THE START OF THE RAINY SEASON BEGINNING ON OCTOBER 1ST EACH YEAR, SUBJECT TO THE REVIEW OF THE BUILDING/ENGINEERING INSPECTOR.
- IF RAINY WEATHER BECOMES IMMINENT, GRADING OPERATIONS SHALL BE STOPPED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PROTECT DISTURBED AREAS.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
- CONSTRUCTION ENTRANCES SHALL CONSIST OF A MINIMUM 8" THICK LAYER OF 3"-6" FRACTURED STONE AGGREGATE UNDERLAID WITH GEOTEXTILE LINER FOR A MINIMUM DISTANCE OF 50 FEET, AND IS TO BE PROVIDED AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. THE DEPTH AND LENGTH OF AGGREGATE MAY NEED TO BE ADJUSTED IN THE FIELD TO ENSURE NO TRACKING OF SEDIMENT ONTO EXISTING PAVED STREETS. CONSTRUCTION ENTRANCES SHALL SLOPE AWAY FROM EXISTING PAVED STREETS.
- INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL MEASURES ARE TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE COUNTY ENGINEER.
- ALL DISTURBED AREAS INCLUDING FLAT PADS ARE TO BE TREATED WITH STRAW AND TACKIFIER AT A RATE OF 2 TONS PER ACRE APPROXIMATELY 3 INCHES THICK.



NOTES:

- PROVIDE A FANNED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET.
- INSTALL 12 FEET WIDE STABILIZED CONSTRUCTION ENTRANCE AT EXISTING DRIVEWAY ENTRANCES TO SITE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING W/ ADDITIONAL STONE AS CONDITION DEMANDS.

TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



STRAW WATTLE
NOT TO SCALE

NOTES:

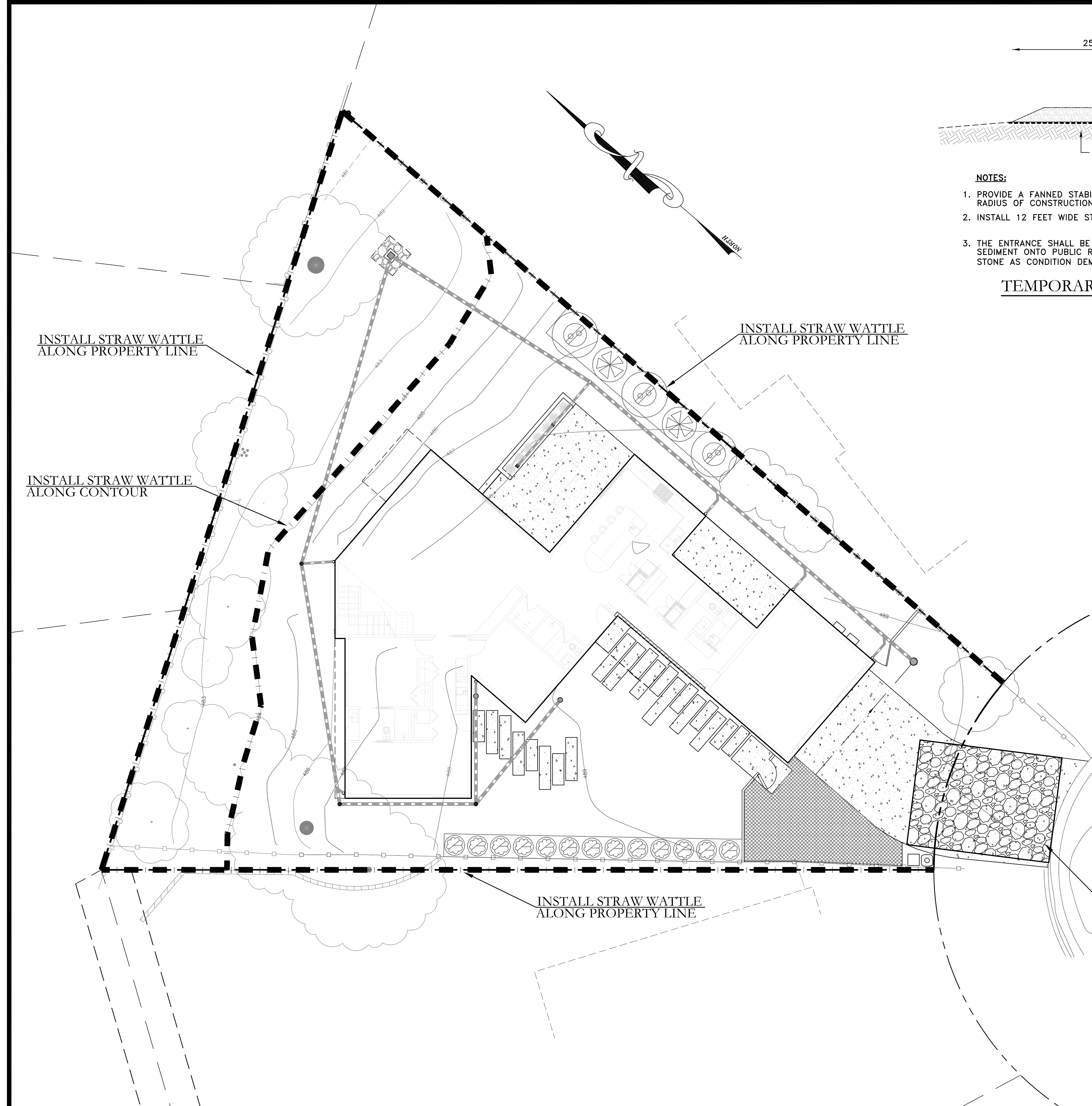
STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 5" (75 TO 125 MM) DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.

FOR SECURING STRAW ROLLS IN EXISTING PAVEMENT AREA USE APPROPRIATE STEEL REBAR STAKES.

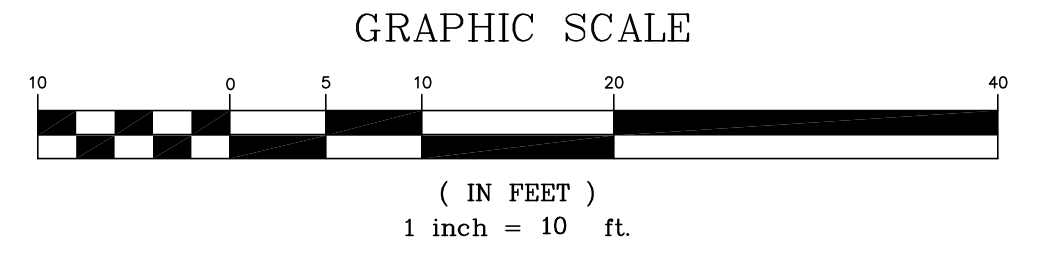
FOR SECURING STRAW ROLLS ADJACENT TO EXISTING AND/OR NEW CONSTRUCTION FENCE USE APPROPRIATE GAUGED WIRE OR STAKES.

INSPECT AND REPAIR STRAW ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.

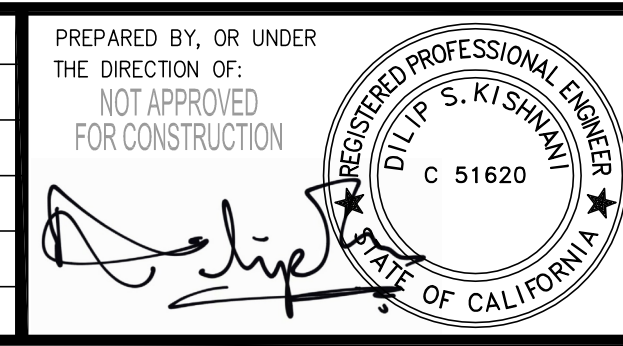
REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND



COPYRIGHT NOTE:
COPYRIGHT © STERLING CONSULTANTS ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPIING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF STERLING CONSULTANTS. COPIES OF THIS DRAWING WITHOUT AN ORIGINAL SIGNATURE AND STAMP ARE NOT VALID.



DATE: OCTOBER 1, 2023					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					
	NO.	BY	DATE	REVISIONS	CITY APPR



PREPARED BY:
STERLING CONSULTANTS
46500 FREMONT BOULEVARD, SUITE NO. 205
FREMONT, CA 94538
sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:
MANISH SINGHAL
7 NORTHVIEW WAY
REDWOOD CITY, CA

APN: 057-131-400
7 NORTHVIEW WAY
EROSION CONTROL PLAN
EMERALD HILLS (UNINCORPORATED) COUNTY OF SAN MATEO CALIFORNIA

SHEET NO. **C3**
3 OF 4 SHEETS
JOB NO. 2023-125

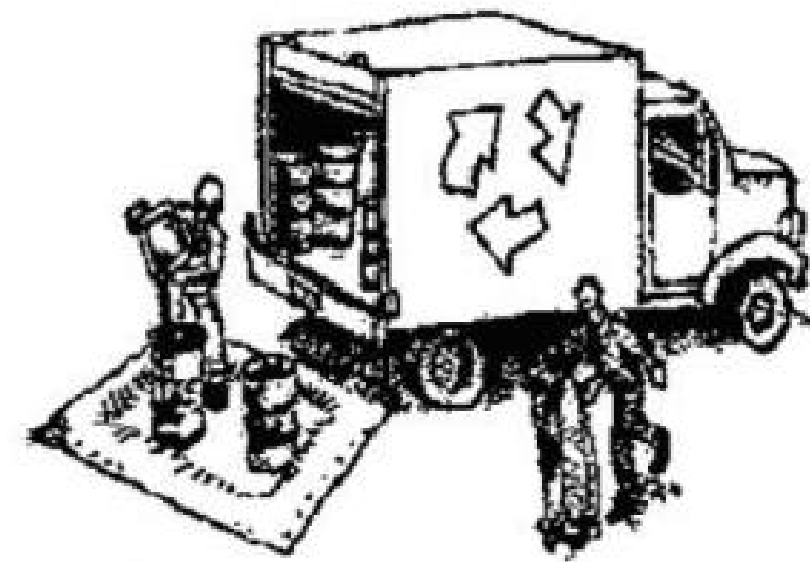


SAN MATEO COUNTYWIDE
**Water Pollution
 Prevention Program**
 Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



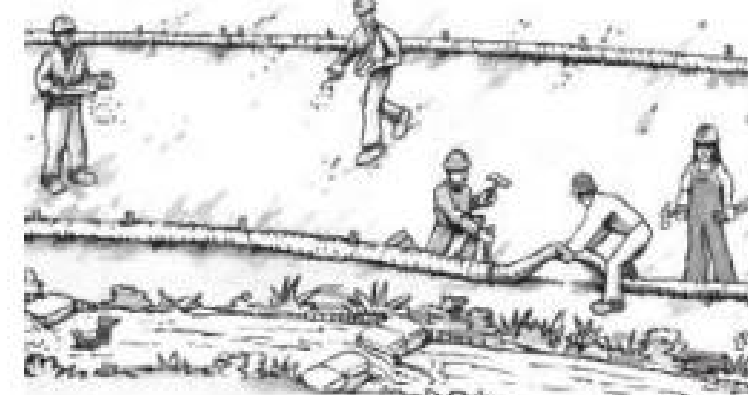
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

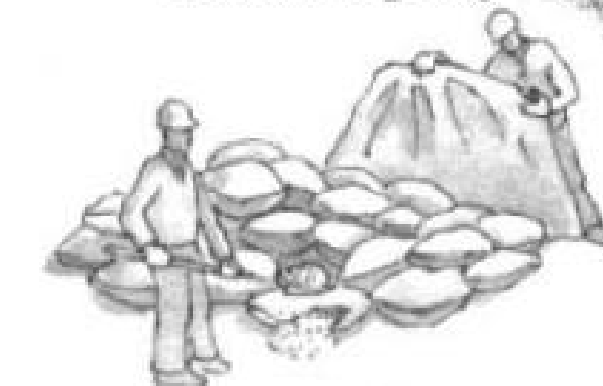
- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



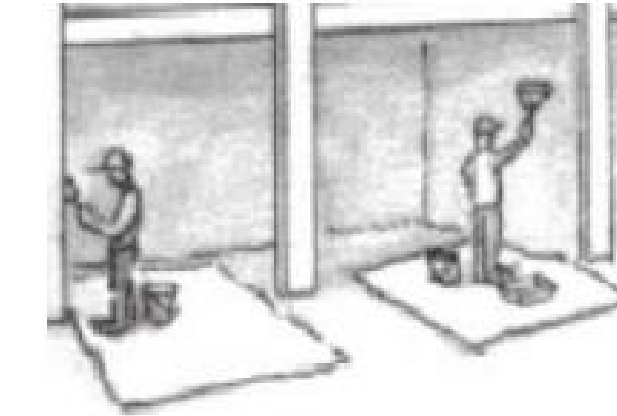
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

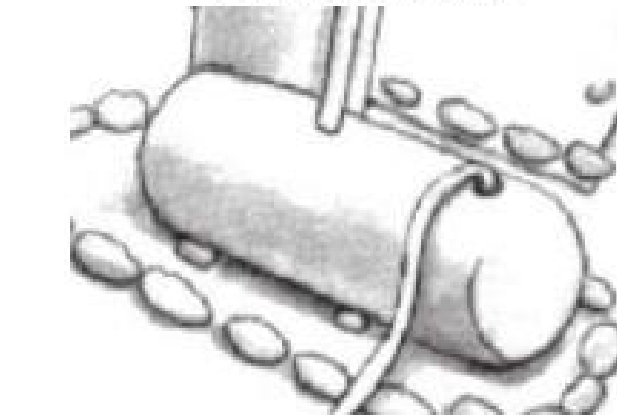
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



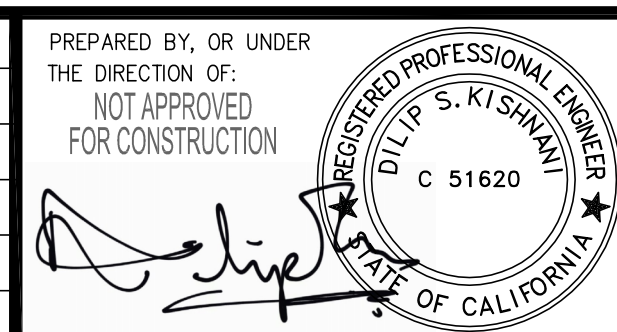
- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

COPYRIGHT NOTE:

COPYRIGHT © STERLING CONSULTANTS ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPIING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF STERLING CONSULTANTS. COPIES OF THIS DRAWING WITHOUT AN ORIGINAL SIGNATURE AND STAMP ARE NOT VALID.

DATE: OCTOBER 1, 2023					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					
	NO.	BY	DATE	REVISIONS	CITY APPR



PREPARED BY:
 THE DIRECTION OF
 NOT APPROVED
 FOR CONSTRUCTION

STERLING CONSULTANTS
 46500 FREMONT BOULEVARD, SUITE NO. 205
 FREMONT, CA 94538
 1sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:
 MANISH SINGHAL
 7 NORTHVIEW WAY
 REDWOOD CITY, CA

APN: 057-131-400

7 NORTHVIEW WAY

SHEET NO.

STORMWATER BEST MANAGEMENT PRACTICES

C4

4 OF 4 SHEETS

EMERALD HILLS (UNINCORPORATED) COUNTY OF SAN MATEO

CALIFORNIA

JOB NO. 2023-125