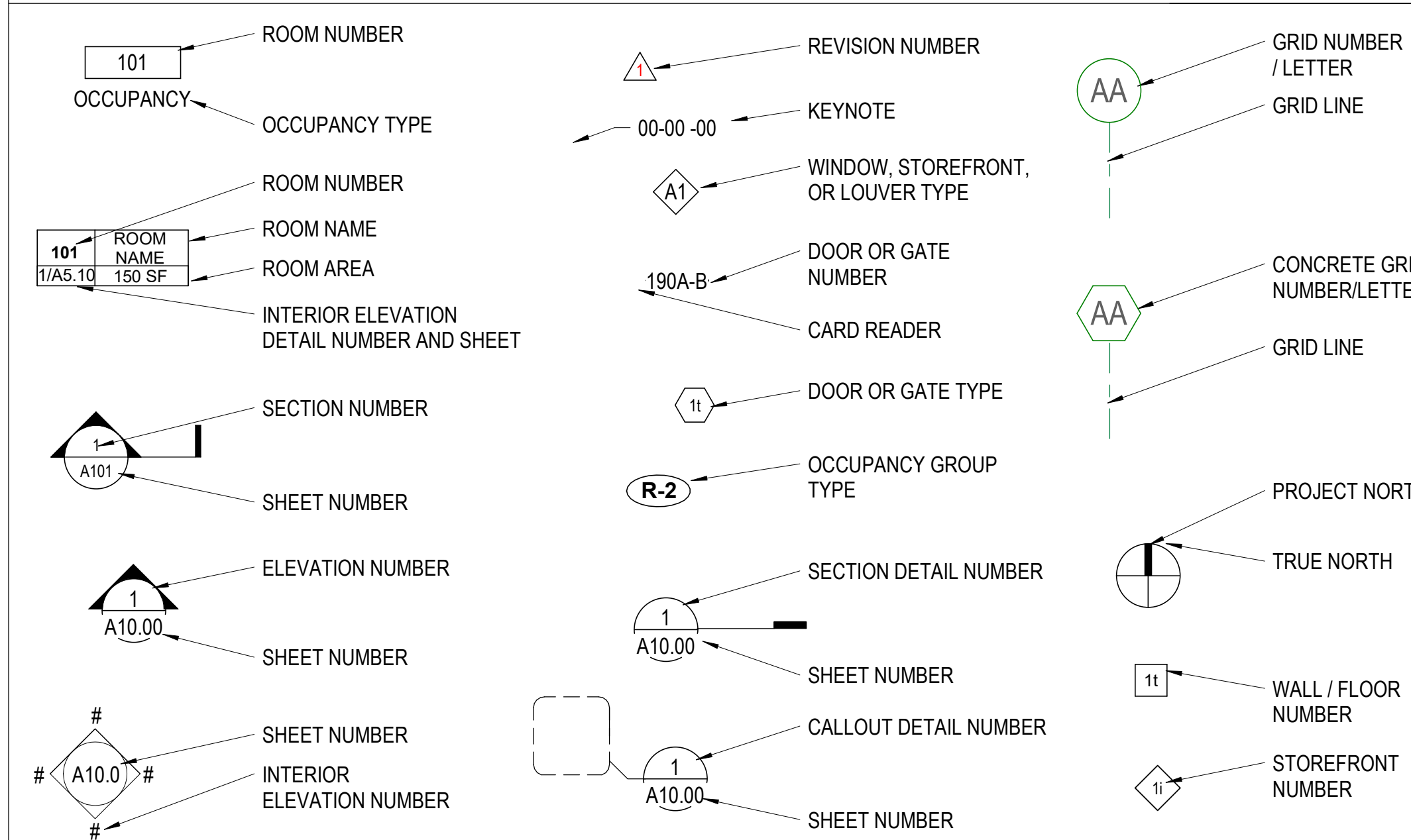


GRAPHIC SYMBOLS



ABBREVIATIONS

&	AND	KIT.	KITCHEN
<	ANGLE	LAU.	LAUNDRY
@	AT	LAND'G	LANDING
A.B.	ANCHOR BOLT	LAV.	LAVATORY
ABV	ABOVE	LT.	LIGHT
A.C.	ASPHALTIC CONC	MAX.	MAXIMUM
ACC	ACCESSIBLE	M.C.	MEDICINE CABINET
ACOUS.	ACOUSTICAL	MECH.	MECHANICAL
A.D.	AREA DRAIN	MTL.	METAL
ADJ.	ADJACENT	MFR.	MANUFACTURER
ALUM.	ALUMINIUM	MIN.	MINIMUM
APL	ASSUMED PROPERTY LINE	MTD.	MOUNTED
AUTO.	AUTOMATIC	MULL.	MULLION
BALC.	BALCONY	N/A	NOT APPLICABLE
BLDG.	BUILDING	N.I.C.	NOT IN CONTRACT
BLKG.	BLOCKING	N.T.S.	NOT TO SCALE
BM.	BEAM	O/	OVER
B.O.C.	BOTTOM OF CURB	O.C.	ON CENTER
BTM.	BOTTOM	OFF.	OFFICE
B.S.W.	BACK OF SIDEWALK	O.H.	OVERHANG
BTWN.	BETWEEN	OPNG.	OPENING
CABT.	CABINET	PERF.	PERFORATED
CEM.PLAS.	CEMENT PLASTER	PL.	PLATE
C.J.	CONTROL JOINT	PLAS. LAM.	PLASTIC LAMINATE
C.L.	CENTERLINE	P.O.	PARTIALLY OPERABLE
CLG.	CEILING	P.T.	PRESSURE TREATED
CLKG.	CAULKING	PTD.	OR POST TENSIONED
CL.	CLOSED	PLYWD.	PAINTED PLYWOOD
CLR.	CLEAR	R	RISER
C.M.U.	CONCRETE MASONRY UNIT	REC.	RECESSED
COL.	COLUMN	REF.	REFRIGERATOR
CONC.	CONCRETE	REINF.	REINFORCED
CONN.	CONNECTION	REQ'D	REQUIRED
CONT.	CONTINUOUS	RM.	ROOM
CONSTR.	CONSTRUCTION	R.O.	ROUGH OPENING
CNTR.	COUNTER	R.W.L.	RAINWATER LEADER
CSMT.	CASEMENT	S.A.D.	SEE ARCHITECTURAL DRAWINGS
D	DRYER	S.C.	SOLID CORE
DBL.	DOUBLE	S.C.D	SEE CIVIL DRAWINGS
DET.	DETAIL	S.S.D	SEE STRUCTURAL DRAWINGS
DIA.	DIAMETER	SCH.	SCHEDULE
DIM.	DIMENSION	SEC.	SECTION
DOR.	DOOR	S.E.D.	SEE ELECTRICAL DRAWINGS
D.S.	DOWNSPOUT	S.F.	SUBFLOOR
DWG.	DRAWING	S.G.	SAFETY GLAZING
EA.	EACH	SH.	SHELF
E.J.	EXPANSION JOINT	SHLVS.	SHELVES
ELEV.	ELEVATION	SHT.	SHEET
ELEC.	ELECTRIC	SIM.	SIMILAR
ENCL.	ENCLOSURE	S.L.D.	SEE LANDSCAPE DRAWINGS
E.P.	ELECTRIC PANEL	S.M.	SHEET METAL
EQ.	EQUAL	S.M.D.	SEE MECHANICAL DRAWINGS
EQPT.	EQUIPMENT	S.P.	STANDPIPE
EXT.	EXTERIOR	S.P.D	SEE PLUMBING DRAWINGS
F.A.I.	FRESH AIR INTAKE	SPECS.	SPECIFICATIONS
F.D.	FLOOR DRAIN	SQ.	SQUARE
F.D.N.	FOUNDATION	S.S.	STAINLESS STEEL
F.E.	FIRE EXTINGUISHER	STD.	STANDARD
F.E.C.	FIRE EXTINGUISHER CABINET	STL.	STEEL
F.F.	FINISHED FLOOR	STOR.	STORAGE
F.IN.	FINISH OR FINISHED	STRUCT.	STRUCTURAL
FLASH'G	FLASHING	SV	SHEET VINYL
FLEX	FLEXIBLE	T.B	TOWEL BAR
FLR.	FLOOR	T&G	TONGUE AND GROOVE
F.O.B.	FACE OF BEAM	TEL.	TELEPHONE
F.O.C.	FACE OF CONCRETE	TEMP.GL.	TEMPERED GLASS
F.O.F.	FACE OF FINISH	THRESH.	THRESHOLD
F.O.S.	FACE OF STUD	T.O.	TOP OF
F.O.W.	FACE OF WALL	T.O.C.	TOP OF CURB
FT.	FOOT	T.O.PL.	TOP OF PLATE
FTG.	FOOTING	T.O.S.	TOP OF SLAB
GA.	Gauge	T.O.W.	TOP OF WALL
GAR.	GARAGE	TPH	TOILET PAPER HOLDER
G.B.	GRAB BAR	T	TREAD (OR TEMPERED) TUBE STEEL
GL.	GLASS	T.S.	TYPICAL
GLAZ.	GLAZING	TYP.	TYPICAL
G.S.M.	GALVANIZED SHEET METAL	U.O.N.	UNLESS OTHERWISE NOTED
G.W.B.	GYPSONUM WALL BOARD	VCT	VINYL COMPOSITION TILE
GYP.	GYPSONUM	VERT.	VERTICAL
H.B.	HOSE BIB	VEST.	VESTIBULE
HDWR.	HARDWARE	V.G.D.F.	VERTICAL GRAIN DOUG. FIR
H.M.	HOLLOW METAL	V.I.F.	VERIFY IN FIELD
HORIZ.	HORIZONTAL	W	WASHER
HPR.	HOPPER	W/	WITH
HR.	HOUR	W.C.	WATER CLOSET
H.R.	HANDRAIL	WD.	WOOD
HT.	HEIGHT	WDW.	WINDOW
IN.	INCHES	W.H.	WATER HEATER
INSUL.	INSULATION	W/O	WITHOUT
INT.	INTERIOR	W.O.	WHERE OCCURS
INTERM.	INTERMEDIATE	W.P.	WATERPROOF
JT.	JOINT	W.S.	WHEELSTOP

PROJECT DESCRIPTION

THE CYPRESS POINT AFFORDABLE HOUSING PROJECT INCLUDES 71 NEW AFFORDABLE FAMILY HOUSING UNITS WITH A MIX OF 1-, 2- AND 3-BR UNITS. NEW BUILDINGS ARE ORGANIZED AROUND A SHARED CENTRAL OPEN SPACE, WITH HOMES ARRANGED TO TAKE ADVANTAGE OF HILLSIDE OCEAN VIEWS WHILE ALSO CREATING A CLOSE KNIT COMMUNITY. A SHARED COMMUNITY BUILDING AT THE HEART OF THE NEW COMMUNITY PROVIDES INDOOR AND OUTDOOR GATHERING SPACES, SHARED LAUNDRY AND RESIDENT SERVICES INCLUDING AFTER SCHOOL PROGRAMS FOR RESIDENTS.

THE EFFICIENT ARRANGEMENT OF NEW HOMES ON THE PREVIOUSLY DEVELOPED PORTION OF THE SITE ALLOWS APPROXIMATELY 50% OF THE SITE TO REMAIN OPEN SPACE AND PROVIDES SETBACKS FROM SURROUNDING HOMES RANGING FROM 100 TO 250 FEET. NEW BUILDINGS ARE SITUATED TO LIMIT THE VISUAL IMPACT FROM SURROUNDING HOMES AND FROM STREETS. OPEN SPACE AREAS UTILIZE NATIVE PLANTINGS FOR ADDITIONAL SCREENING BETWEEN NEW HOMES AND THE EXISTING NEIGHBORHOOD.

ACCESS TO THE SITE IS PROVIDED VIA A NEW DRIVE FROM CARLOS STREET. THE RESIDENTIAL LOOP ROAD PROVIDES ACCESS TO RESIDENT PARKING AND THE SITE FOR EMERGENCY VEHICLES. NEIGHBORS ARE PROVIDED WITH ACCESS TO THE OPEN AREAS OF THE SITE VIA NEW TRAILS THROUGH THE SOUTHERN PORTION OF THE SITE; ACCESS POINTS ARE LOCATED ON CARLOS STREET, SIERRA STREET AND LINCOLN STREET.

NEW RESIDENTIAL BUILDINGS ARE TWO-STORIES IN HEIGHT WITH A MAXIMUM HEIGHT OF 28'-0" MEASURED TO THE RIDGE LINE. THE SIMPLE GABLED FORMS, MODEST SCALE OF BUILDINGS AND CAREFUL INTEGRATION WITH THE TOPOGRAPHY ENSURES THAT BUILDINGS ARE VISUALLY COMPATIBLE WITH THE ADJACENT MOSS BEACH NEIGHBORHOOD AND NATURAL SETTING. HIGH QUALITY HORIZONTAL SIDING AND DEEP COLORS HELP BLEND THE NEW BUILDINGS WITH THE NATURAL SETTING. SITE LIGHTING IS DESIGNED TO PROVIDE A SECURE AND ATTRACTIVE EVENING ENVIRONMENT WHILE AVOIDING GLARE IMPACTS ON NEIGHBORING HOMES AND ADDRESSING NIGHT SKY REQUIREMENTS. SUSTAINABLE FEATURES INCLUDE PASSIVE STORM WATER MANAGEMENT, SOLAR PANELS ON HOMES, EV CHARGING STATIONS, SECURE BICYCLE STORAGE, COMMUNITY GARDEN AND CONVENIENT PEDESTRIAN ROUTES TO ENCOURAGE WALKING.

CYPRESS POINT FAMILY COMMUNITY

CARLOS STREET, MOSS BEACH, SAN MATEO COUNTY, CA

REVISED COASTAL DEVELOPMENT PERMIT SET - JANUARY 2024



PYATOK
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MidPen HOUSING
MIDPEN HOUSING
303 Vintage Park Drive
Suite 250
Foster City, CA 94404

CYPRESS POINT FAMILY COMMUNITY
Carlos Street, Moss Beach

PROJECT TEAM

<p>OWNER / APPLICANT MIDPEN HOUSING CORP. 303 VINTAGE PARK DRIVE, SUITE 250 FOSTER CITY, CA 94404 650.339.0581 CONTACT: SERENA IP</p> <p>ARCHITECT PYATOK ARCHITECTS 1611 TELEGRAPH AVENUE, SUITE 200 OAKLAND, CA 94612 510.465.7010 CONTACT: PETER WALLER</p> <p>CIVIL ENGINEER BKF ENGINEERS 255 SHORELINE DRIVE, SUITE 200 REDWOOD CITY, CA 94065 650.482.6300 CONTACT: LAUREN BOYLE BERMAN</p> <p>LANDSCAPE ARCHITECT JONI L. JANECKI & ASSOCIATES, INC. 515 SWIFT STREET SANTA CRUZ, CA 95060 831.423.6040 CONTACT: GEORGIA LEUNG</p> <p>DRY UTILITY GIACALONE DESIGN 5820 STONERIDGE MALL RD., #345 PLEASANTON, CA 94588 925.467-1740 CONTACT: ROSA OLIVARES</p> <p>CODE (ACCESSIBILITY) TBD CONTACT:</p> <p>CODE (FIRE LIFE SAFETY, FIRE ALARM & SPRINKLER) TBD CONTACT:</p>	<p>STRUCTURAL ENGINEER ELEMENT 580 2ND ST., SUITE 255 OAKLAND, CA 94607 510.573.1557 CONTACT: THUY FONTELEIRA</p> <p>MECHANICAL / ELECTRICAL / PLUMBING ENGINEERS EMERALD CITY ENGINEERING 150 8TH STREET SAN FRANCISCO, CA 94103 425-741-1200 CONTACT: ADAM FRENCH</p> <p>WATERPROOFING CONSULTANT STEELHEAD ENGINEERS INC. 2708 WASATCH DRIVE MOUNTAIN VIEW, CA 94040 650.224.2484 CONTACT: ALAN E. BURNETT</p> <p>SUSTAINABILITY (T24, GPR, SOLAR) BEYOND EFFICIENCY TBD BERKELEY, CA 415.236.1333 CONTACT: JENNIFER LOVE</p> <p>ACOUSTICAL TBD CONTACT:</p> <p>SPECIFICATION WRITER PAWPRINT CONTACT: GLORIA ABSTON EMAIL: GLORIA@PAWPRINTSPECS.COM</p>
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PROJECT DATA

THE PROPOSED PROJECT CONSISTS OF 71 UNITS OF NEW AFFORDABLE MULTIFAMILY RESIDENTIAL UNITS IN 16 BUILDINGS, AND A COMMUNITY BUILDING FOR RESIDENT SERVICES AND LEASING.

PROJECT ADDRESS: CARLOS STREET, MOSS BEACH, SAN MATEO COUNTY, CA

SITE AREA: 11.02 ACRES
TOTAL UNITS: 71 UNITS
SITE DENSITY: 6.4 UNITS / ACRE

CONSTRUCTION TYPE:	RESIDENTIAL BUILDINGS	COMMUNITY BUILDING
OCCUPANCY TYPE:	TYPE VB R2	TYPE VB A3

DEVELOPMENT STANDARDS

BLDG. SETBACK WEST	PROVIDED 20 FT
BLDG. SETBACK SOUTH	157 FT
BLDG. SETBACK EAST	182 FT
BLDG. SETBACK NORTH	137 FT

LOT COVERAGE: 0.94 ACRES
BUILDING HEIGHT: 2 STORIES, 28' MAXIMUM

PARKING SPACES: 142 SPACES

BUILDING GROSS AREAS *GROSS AREA CALCULATIONS INCLUDE COVERED EXT CIRCULATION			
BUILDING TYPE	QUANTITY	SF PER BUILDING	TOTAL SF
BUILDING TYPE A	[1 BLDG]	9,243 SF	9,243 SF
BUILDING TYPE B	[1 BLDG]	6,663 SF	6,663 SF
BUILDING TYPE C	[4 BLDGS]	3,703 SF	14,812 SF
BUILDING TYPE D	[1 BLDG]	11,060 SF	11,060 SF
BUILDING TYPE E	[1 BLDG]	3,703 SF	3,703 SF
BUILDING TYPE F	[8 BLDGS]	2,321 SF	18,568 SF
TOTAL SF OF RESIDENTIAL BLDGS:			64,049 SF
COMMUNITY BUILDING	[1 BLDG]	3,369 SF	3,369 SF
TOTAL SF OF ALL BUILDINGS:			67,418 SF

UNIT TYPE SUMMARY				
UNIT TYPE	DESCRIPTION	# UNITS	% OF TOTAL	UNIT AREA (SF)
A1	1-BR FLAT	16	22.5	497 SF
B1	2-BR FLAT	23	32.0	805 SF
B2	2-BR FLAT	12	17.0	805 SF
B3	2-BR FLAT	1	1.5	887 SF
B4	2-BR TH (MGR)	1	1.5	1,144 SF
C1	3-BR FLAT	2	3.0	1,012 SF
C2	3-BR TH	15	21.0	1,144 SF
C3	3-BR FLAT	1	1.5	1,086 SF
TOTAL # OF UNITS:		71	100.0	

UNIT ACCESSIBILITY SUMMARY			
MOBILITY UNITS REQUIRED (MIN 15% OF EACH UNIT TYPE PER TCAC)			
UNIT TYPE	TOTAL # OF UNITS	MIN REQUIRED	PROVIDED
1-BR	16	2.4	3
2-BR	37	5.55	6
3-BR	18	2.7	3

ADAPTABLE UNITS REQUIRED
(ALL GROUND FLOOR FLATS & MIN 10% TOWNHOMES VISITABLE PER CBC 11B)
ADAPTABLE FLATS: 16 UNITS
VISITABLE TOWNHOMES: 2 UNITS

APPLICABLE CODES & STANDARDS

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA FIRE CODE INCLUDING APPENDICES B, C, & D
2022 CALGREEN
NFPA 10, 13R, 72, & 80
COASTSIDE FIRE PROTECTION DISTRICT DEVELOPED STANDARDS

AERIAL CONTEXT



ACCESSIBILITY SUMMARY

THIS PROJECT IS A PUBLICLY FUNDED PROJECT COMPLYING WITH CHAPTER 11B OF THE CALIFORNIA BUILDING CODE (CBC).

COMMUNITY BUILDING:
THE COMMUNITY BUILDING IS A LEASING OFFICE, RESIDENTIAL SERVICES AND COMMUNITY CENTER AND COMPLIES WITH CHAPTER 11B OF THE CBC.

RESIDENTIAL BUILDINGS:
MINIMUM 15% 1-BR 11B MOBILITY UNITS
MINIMUM 15% 2-BR 11B MOBILITY UNITS
MINIMUM 15% 3-BR 11B MOBILITY UNITS

ALL OTHER GROUND FLOOR FLATS 11B ADAPTABLE

10% OF TOWNHOMES 11B VISITABLE

BUILDING TYPE F:
• MULTI-FAMILY, NON-ELEVATOR-SERVED BUILDINGS COMPRISED OF MULTI-STORY TOWNHOMES WITH GROUND-LEVEL ENTRIES
• 15% OF UNITS MUST COMPLY WITH 11B, AND PROVIDE AN ACCESSIBLE ROUTE

BUILDINGS TYPE A, B, C, D, E:
• MULTI-FAMILY, STACKED FLATS WITH STAIR-ONLY ACCESS TO LEVEL 2 UNITS
• DWELLING UNITS WITH REQUIRED MOBILITY OR HEARING / VISUALLY IMPAIRED FEATURES ARE ALSO LOCATED ON THE GROUND-LEVEL, AND SHALL COMPLY WITH CHAPTER 11B OF THE CBC.

DEFERRED SUBMITTALS

TBD

STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Residential	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/11/22
4	CDP Residential	11/01/23
5	CDP Residential	01/24/24

JOB NUMBER: 1603
DRAWN BY: GP
CHECKED BY: PW
DATE: January 24, 2024
SCALE: 1/2" = 1'-0"
TITLE: TITLE SHEET

SHEET:
G0.00

NOT FOR CONSTRUCTION

DRAWING INDEX

SHEET NUMBER	SHEET NAME	Original CDP	CDP Update
GENERAL			
G0.00	TITLE SHEET	•	•
G0.01	SHEET INDEX	•	•
G1.01	RENDERED SITE VIEWS	•	•
G1.02	RENDERED SITE VIEWS	•	•
G1.03	RENDERED SITE VIEWS	•	•
G1.04	MATERIALS BOARD	•	•
6			
SURVEY			
0 OF 4	TOPOGRAPHIC SURVEY	•	•
1			
CIVIL			
C1.0	EXISTING CONDITIONS PLAN	•	•
C2.0	SITE PLAN	•	•
C3.0	SITE GRADING PLAN	•	•
C4.0	PROPOSED UTILITIES	•	•
C5.0	DRIVEWAY PLAN AND PROFILE	•	•
C6.0	STORMWATER CONTROL PLAN	•	•
C7.0	CONSTRUCTION DETAILS	•	•
C8.0	EROSION CONTROL PLAN	•	•
C8.1	EROSION CONTROL DETAILS	•	•
9			
LANDSCAPE			
TPZ1.00	TREE PROTECTION AND REMOVAL PLAN	•	•
TPZ1.01	TREE REMOVAL LIST	•	•
TPZ1.02	TREE PROTECTION NOTES	•	•
L1.00	OVERALL LANDSCAPE SITE PLAN	•	•
L1.01	LANDSCAPE MATERIAL DETAILS	•	•
L1.02	LANDSCAPE MATERIAL DETAILS	•	•
L1.03	LANDSCAPE MATERIAL DETAILS	•	•
7			
ARCHITECTURE			
A1.00	OVERALL SITE PLAN	•	•
A1.01	OVERALL SITE ROOF PLANS	•	•
A2.11	FLOOR & ROOF PLANS - BUILDING TYPE A (BUILDING 1)	•	•
A2.12	FLOOR & ROOF PLANS - BUILDING TYPE B (BUILDING 2)	•	•
A2.13	FLOOR & ROOF PLANS - BUILDING TYPE C (BUILDINGS 3,5 & 6)	•	•
A2.14	FLOOR & ROOF PLANS - BUILDING TYPE C (BUILDING 4, L1 MOBILITY UNITS)	•	•
A2.15	FLOOR & ROOF PLANS - BUILDING TYPE D (BUILDING 7)	•	•
A2.16	FLOOR & ROOF PLANS - BUILDING TYPE E (BUILDING 8)	•	•
A2.17	FLOOR & ROOF PLANS - BUILDING TYPE F (BUILDINGS 9, 11-16)	•	•
A2.18	FLOOR & ROOF PLANS - BUILDING TYPE F (BUILDING 10)	•	•
A2.19	FLOOR & ROOF PLANS - COMMUNITY BUILDING (BUILDING 17)	•	•
A3.11	ELEVATIONS - BUILDING TYPE A (BUILDING 1)	•	•
A3.12	ELEVATIONS - BUILDING TYPE B (BUILDING 2)	•	•
A3.13	ELEVATIONS - BUILDING TYPE C (BUILDINGS 3-6)	•	•
A3.14	ELEVATIONS - BUILDING TYPE D (BUILDING 7)	•	•
A3.15	ELEVATIONS - BUILDING TYPE E (BUILDING 8)	•	•
A3.16	ELEVATIONS - BUILDING TYPE F (BUILDINGS 9-16)	•	•
A3.17	ELEVATIONS - COMMUNITY BUILDING (BUILDING 17)	•	•
A5.11	BIKE STORAGE & WASTE RM - FLOOR PLANS & ELEVATIONS	•	•
19			
TOTAL SHEETS: 42			



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MIDPEN HOUSING
303 Vintage Park Drive
Suite 250
Foster City, CA 94404

CYPRESS POINT FAMILY COMMUNITY

Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
2	Adjusted Heights	09/10/20
3	Coastal Development Permit	06/11/22
4	CDP Resubmittal	12/01/23

JOB NUMBER: 1603
DRAWN BY: Author
CHECKED BY: Checker
DATE: December 1, 2023
SCALE:
TITLE:

SHEET INDEX

SHEET:

G0.01

CYPRESS POINT FAMILY COMMUNITY
Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	04/11/22
4	CDP Resubmittal	10/01/23
5	CDP Resubmittal	01/24/24

JOB NUMBER: 1603
DRAWN BY: GP
CHECKED BY: PW
DATE: January 24, 2024
SCALE:

TITLE:
RENDERED SITE VIEWS

SHEET:

G1.01



[VIEW 1] SIERRA STREET VIEW, TRANSPARENT LANDSCAPE



[VIEW 1] SIERRA STREET VIEW

CYPRESS POINT FAMILY COMMUNITY
Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	04/11/22
4	CDP Resubmittal	10/10/23
5	CDP Resubmittal	01/24/24

JOB NUMBER: 1603
DRAWN BY: GP
CHECKED BY: PW
DATE: January 24, 2024
SCALE:

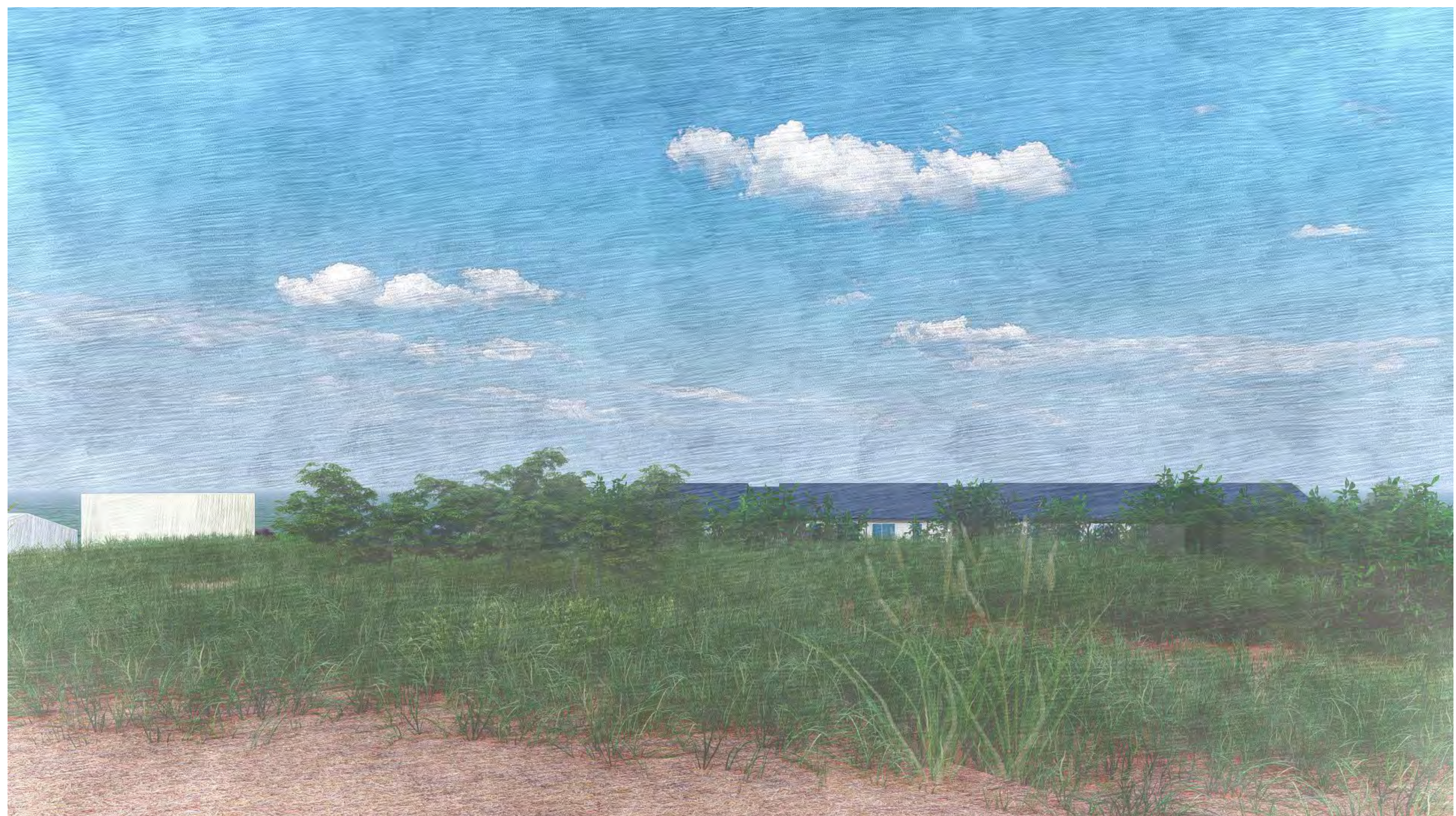
TITLE:
RENDERED SITE VIEWS

SHEET:

G1.02



[VIEW 2] LINCOLN STREET VIEW, TRANSPARENT LANDSCAPE



[VIEW 2] LINCOLN STREET VIEW

CYPRESS POINT FAMILY COMMUNITY
Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/11/22
4	CDP Resubmittal	10/10/23
5	CDP Resubmittal	01/24/24

JOB NUMBER: 1603
DRAWN BY: GP
CHECKED BY: PW
DATE: January 24, 2024
SCALE:

TITLE:
RENDERED SITE VIEWS

SHEET:

G1.03



[VIEW A] SITE ENTRY, TRANSPARENT LANDSCAPE



[VIEW B] INTERIOR SITE VIEW

MATERIAL PALETTE



1 Horizontal Cement Board, 9" Exposure Widths, Smooth Painted Finish



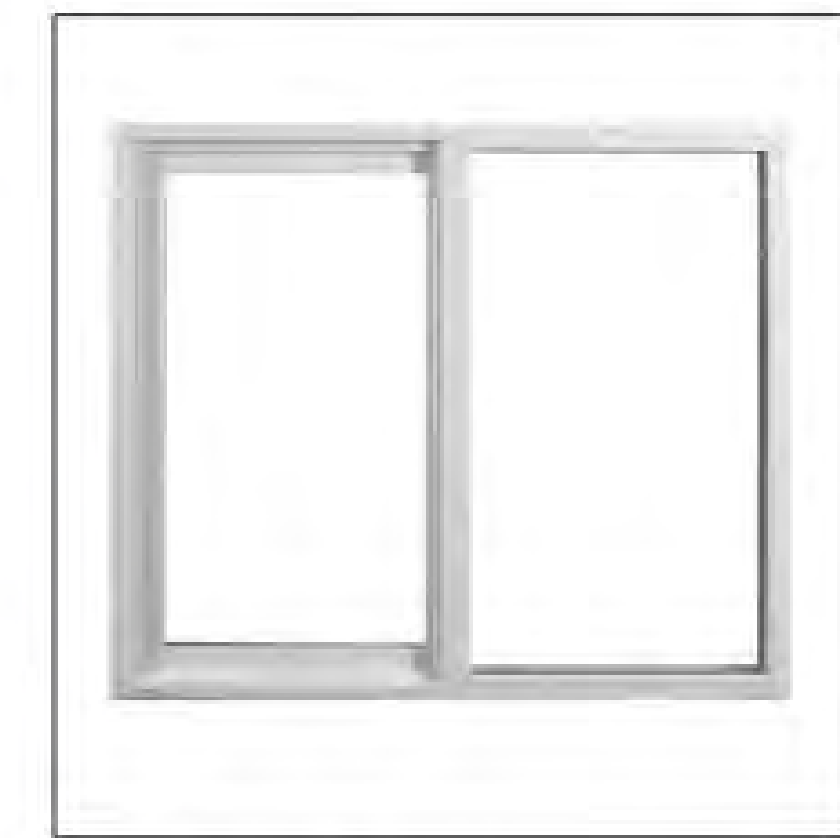
2 Horizontal Cement Board, 6" Exposure Widths, Smooth Painted Finish



3 Fiber Cement Board + Batten Siding, Variable Exposure Widths, Painted Finish



4 Certainteed Solaris Composite Shingle Roof, in Birchwood Color



5 Vinyl Windows, White Finish



6 Fiberglass Entry Door, Painted



7 Wall Mounted Exterior Light Fixture



8 Pole Mounted Exterior Lamp Fixture

COLOR PALETTE

HOUSING SIDING



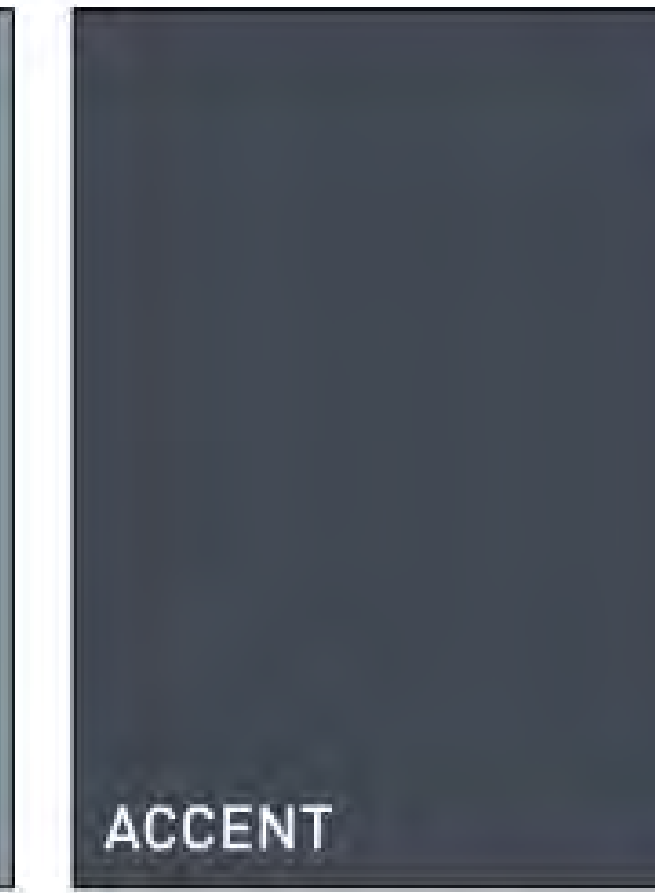
A COUNTRY TWEED SW 9519



B PAVILION BEIGE SW 7512

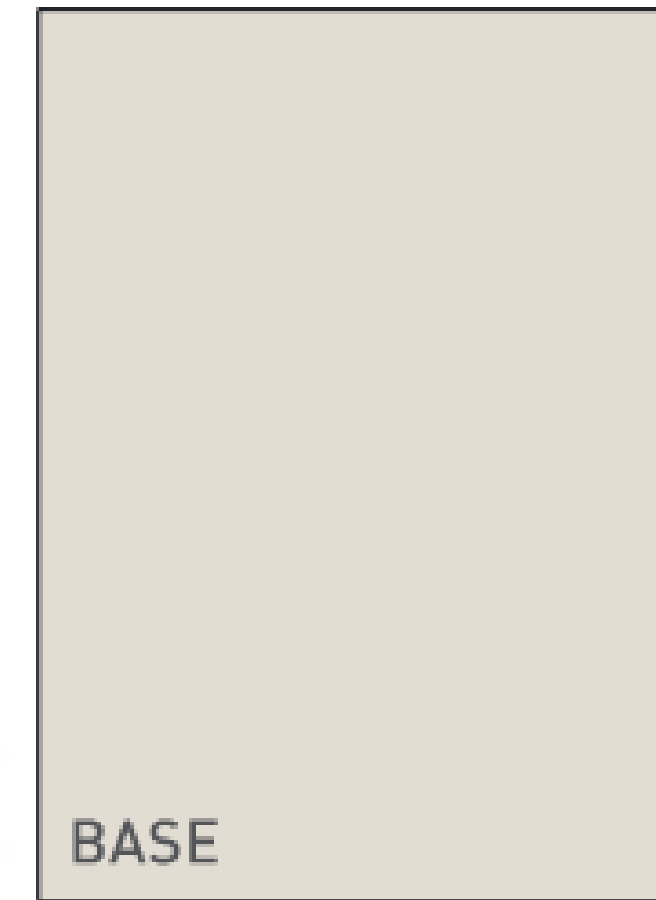


C WHIRLPOOL SW 9135



D SEA MARINER SW 9640

COMMUNITY BUILDING



E AESTHETIC WHITE SW 7035

STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/11/22
4	CDP Resubmittal	10/10/23
5	CDP Resubmittal	01/24/24

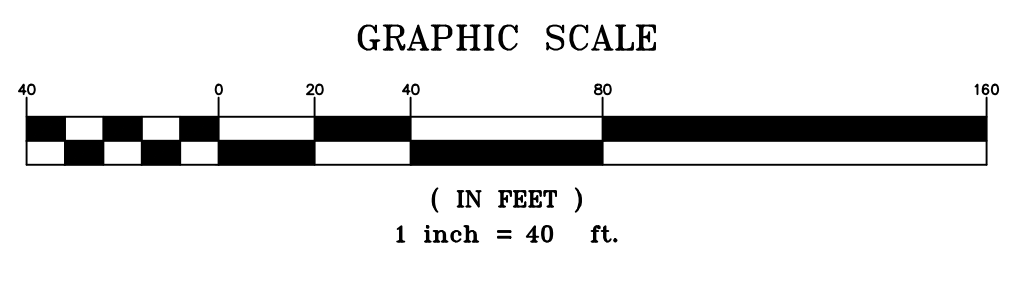
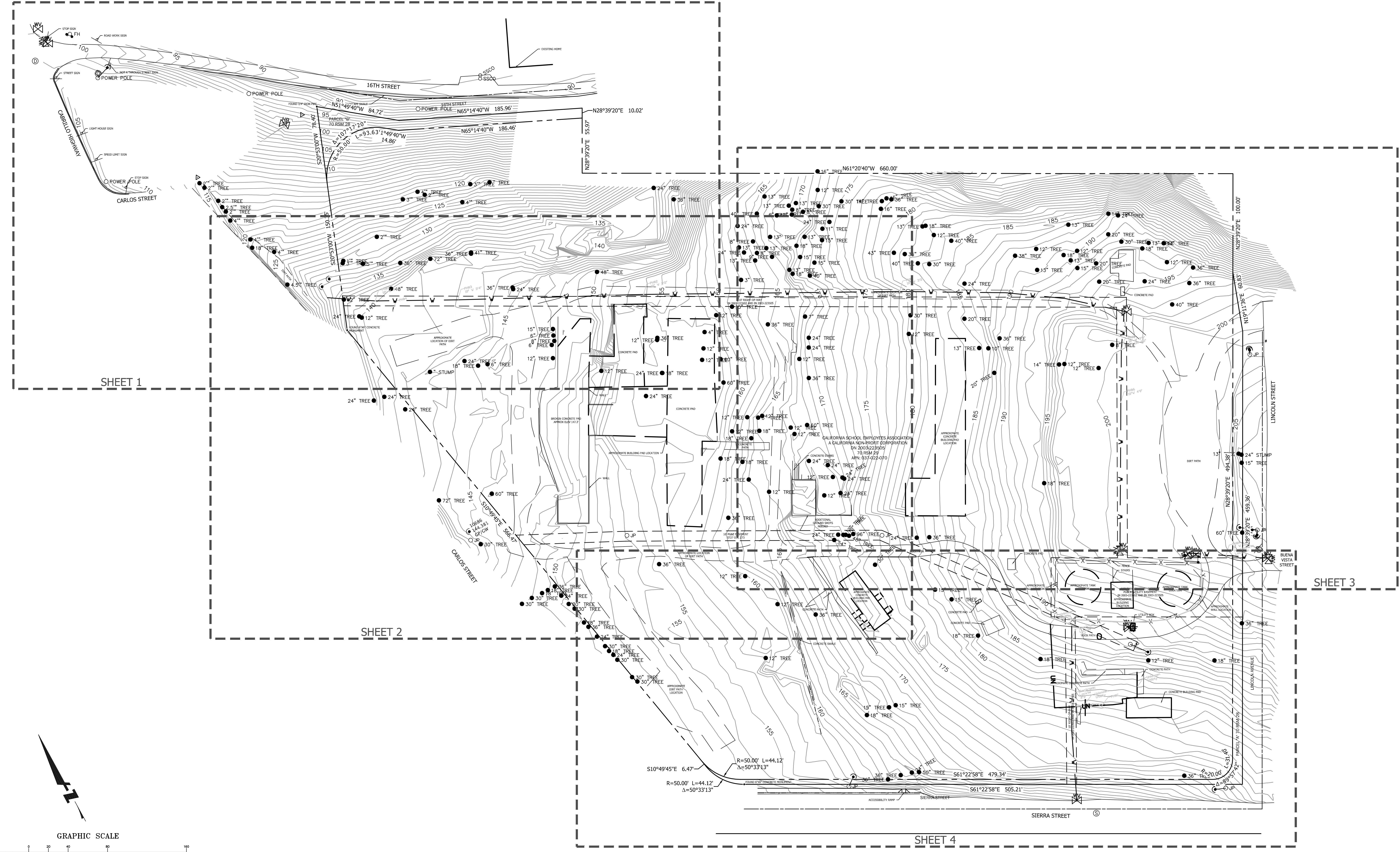
JOB NUMBER: 1603
DRAWN BY: Author
CHECKED BY: Checker
DATE: January 24, 2024
SCALE:

TITLE:
MATERIALS BOARD

SHEET:

G1.04

Revisions	No.	Date	Description



LEGEND

- SSCO SANITARY SEWER CLEAN OUT
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM DRAIN MANHOLE
- ⊙ SIGN
- ⊙ JP JOINT POLE
- ⊙ CUY WIRE
- TREE
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ HOSE BIB
- BOLLARD

ABBREVIATIONS

APPROX	APPROXIMATE
E	EAST
EL / ELEV	ELEVATION
ELEC	ELECTRIC
EMH	ELECTRIC MANHOLE
EP	EDGE OF PAVEMENT
ER	ELECTRIC RISER
EX	EXISTING
HR	HANDICAP RAMP
LLS	LICENSED LAND SURVEYOR
M	MAPS
N	NORTH
OR	OFFICIAL RECORD
PLS	PROFESSIONAL LAND SURVEYOR
S	SOUTH
W	WEST

LINE TABLE

---	BOUNDARY LINE
---	CONCRETE BUILDING PAD
---	EASEMENT LINE
---	EDGE OF PATH
W	WATER LINE (PROVIDED BY OTHERS)
UN	UNKNOWN UTILITY LINE (PROVIDED BY OTHERS)

BASIS OF BEARINGS STATEMENT:
THE BEARING NORTH 10°49'45" WEST WAS TAKEN ON THE NORTHEASTERLY RIGHT OF WAY LINE OF CABRILLO HIGHWAY ROUTE 1 AS SHOWN ON THAT CERTAIN SUBDIVISION MAP FILED FOR RECORD ON DECEMBER 19, 1969 IN VOLUME 70 OF MAPS AT PAGES 28 AND 29, SAN MATEO COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.

BENCHMARK STATEMENT:
AN ASSUMED ELEVATION WAS TAKEN AT POINT 100 WHICH IS A MAG & WASHER. ELEVATION 100.00'.

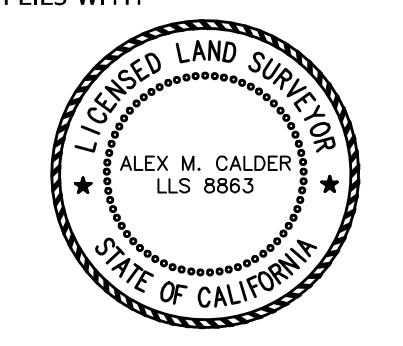
UTILITY NOTE:
THE UTILITY LINES SHOWN ON THIS PLAN ARE DERIVED FROM SURFACE OBSERVATIONS AND ARE APPROXIMATE ONLY. NO WARRANTY IS IMPLIED AS TO THE ACTUAL LOCATION, SIZE OR PRESENCE OF ANY LINES SHOWN HEREON OR ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN.

WATER UTILITY LINE AND ASSOCIATED INFRASTRUCTURE SHOWN IS BASED ON POT HOLE INFORMATION PROVIDED BY OTHERS

SURVEYOR'S NOTE:
THIS SURVEY WAS PERFORMED BY ME, OR UNDER MY DIRECTION, AND COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.

ALEX M. CALDER
P.L.S.# 8863

DATE



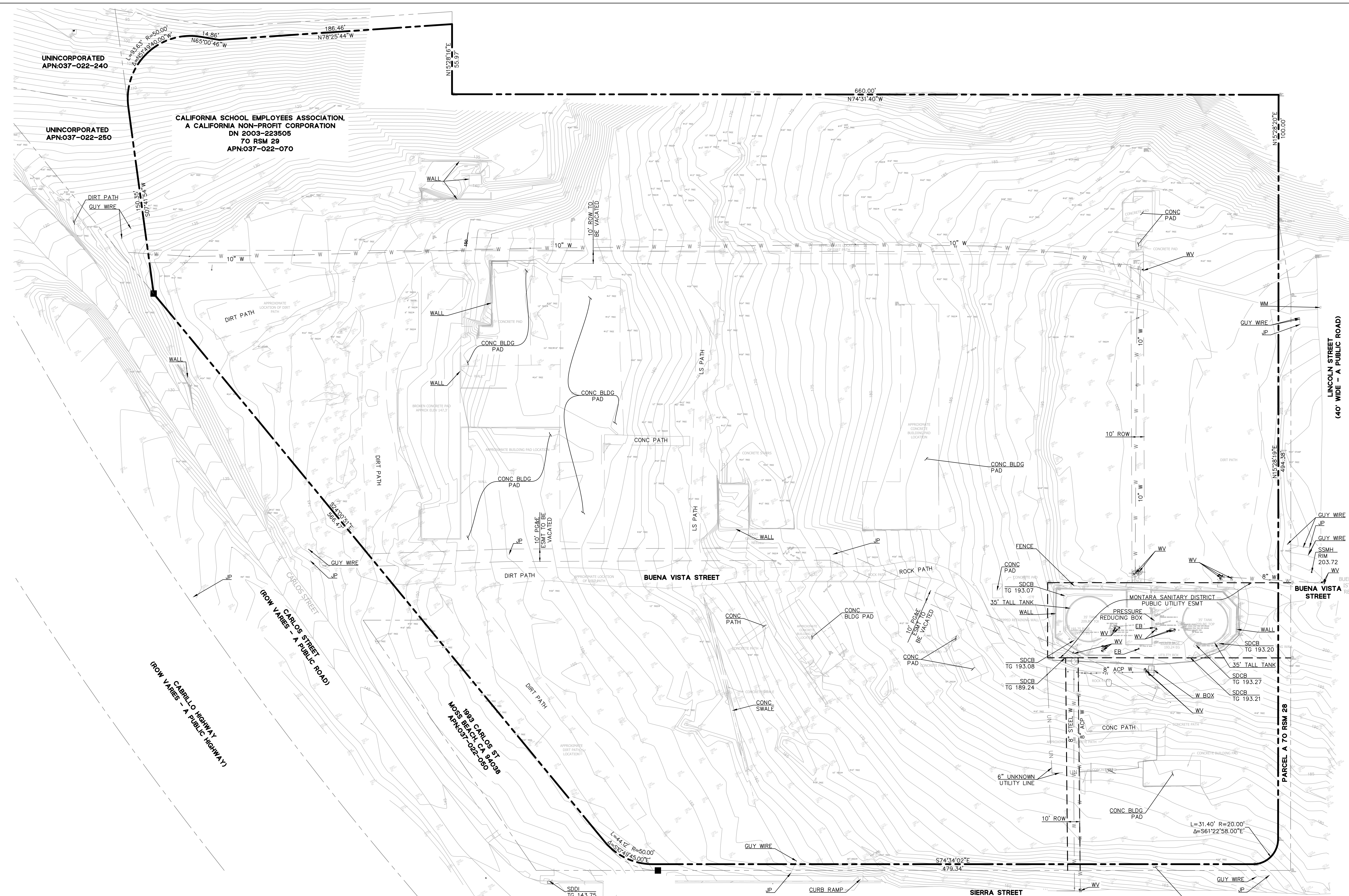
CYPRESS POINT FAMILY COMMUNITY
 Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Initial Release	03/25/19
2	Adjusted Heights	07/10/19
3	General Development Permit	08/21/19

JOB NUMBER:	C20160074
DRAWN BY:	AC/CF
CHECKED BY:	JD
DATE:	01/24/24
SCALE:	AS SHOWN
TITLE:	EXISTING CONDITIONS PLAN

SHEET:
C1.0
 SHEET 6 OF 34



- NOTES:**
- PROJECT BENCHMARK: AN ASSUMED ELEVATION WAS TAKEN AT POINT 100 WHICH IS A MAG & WASHER. ELEVATION 100.00'.
 - BASIS OF BEARINGS: THE BEARING NORTH 10°49'45" WAS TAKEN ON THE NORTHEASTERLY RIGHT OF WAY LINE OF CABRILLO HIGHWAY ROUTE 1 AS SHOWN ON THAT CERTAIN SUBDIVISION MAP FILED FOR RECORD ON DECEMBER 19, 1969 IN VOLUME 70 OF MAPS AT PAGES 28 AND 29, SAN MATEO COUNTY RECORDS WAS TAKEN AS THE BASIS OF BEARINGS SHOWN HEREON.
 - EXISTING UTILITIES AND SITE CONDITIONS SHOWN ON THIS PLAN SET ARE BASED ON AVAILABLE RECORD INFORMATION AND FIELD SURVEY. SHOULD FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN ON THESE PLANS, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTION AND CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES.

- LOCATION AND INVERT INFORMATION FOR EXISTING DOMESTIC WATER, FIRE WATER, RECYCLED WATER, SANITARY SEWER, AND STORM DRAIN CONNECTIONS ARE APPROXIMATE AND BASED ON AVAILABLE RECORD INFORMATION. CONFIRM AND VERIFY EXISTING UTILITY TYPE, SIZE, MATERIAL, CONDITION, AND LOCATION, WHETHER SHOWN OR NOT ON THESE PLANS, PRIOR TO COMMENCING WORK.
- NOTIFY UNDERGROUND SERVICE ALERT (USA) AT 1(800) 642-2444 AT LEAST 48 HOURS PRIOR TO COMMENCING WORK.

ABBREVIATIONS:

ACC	ACCESSIBLE	IRR	IRRIGATION
AC	ASPHALT CONCRETE	JP	JOINT POLE
ACP	ASBESTOS CEMENT PIPE	L	LENGTH
APN	ACCESSOR'S PARCEL NUMBER	LS	LANDSCAPE
APPROX	APPROXIMATE	LVC	LENGTH OF VERTICAL CURVE
BLDG	BUILDING	MWSD	MONTARA WATER AND SANITARY DISTRICT
BVCE	BEGINNING OF VERTICAL CURVE ELEVATION	PH	POT HOLE
BVCS	BEGINNINGS OF VERTICAL CURVE STATION	PVI	POINT OF VERTICAL INTERSECTION
CO	CLEAN OUT	R	RADIUS
CONC	CONCRETE	ROW	RIGHT OF WAY
DIM	DIMENSION	SD	STORM DRAIN
DMA	DRAINAGE MANAGEMENT AREA	SDCB	STORM DRAIN CATCH BASIN
EB	ELECTRICAL BOX	SDDI	STORM DRAIN DROP INLET
ELEV	ELEVATION	SS	SANITARY SEWER
EV	ELECTRIC VEHICLE	SSMH	SANITARY SEWER MANHOLE
EVCE	END OF VERTICAL CURVE ELEVATION	STA	STATION
EVCS	END OF VERTICAL CURVE STATION	TG	TOP OF GRATE
EX	EXISTENT	TW	TOP OF WALL
ESMT	EASEMENT	TYP	TYPICAL
FF	FINISHED FLOOR	UN	UNKNOWN
FS	FINISHED SURFACE	VERT	VERTICAL
FW	FIRE WATER	VACC	VAN ACCESSIBLE
HORIZ	HORIZONTAL	W	WATER
		WM	WATER METER
		WV	WATER VALVE

LEGEND:

---	PROPERTY BOUNDARY
---	ADJACENT PROPERTY BOUNDARY
---	EASEMENT



LOCATION AND/OR ELEVATION OF EXISTING UTILITIES ARE UNKNOWN. CONTRACTOR SHALL POT HOLE AND VERIFY THIS INFORMATION AND NOTIFY THE CIVIL ENGINEER OF ALL CONFLICTS WITH THE DESIGN PRIOR TO START OF CONSTRUCTION.



DRAWING NAME: \\bkf-rc\data\2016\160074_moss_beach_hous\eng\CDP\Sheets\C1.0 - EXCOND.dwg
 PLOT DATE: 01-09-24
 PLOTTED BY: f611

CYPRESS POINT FAMILY COMMUNITY

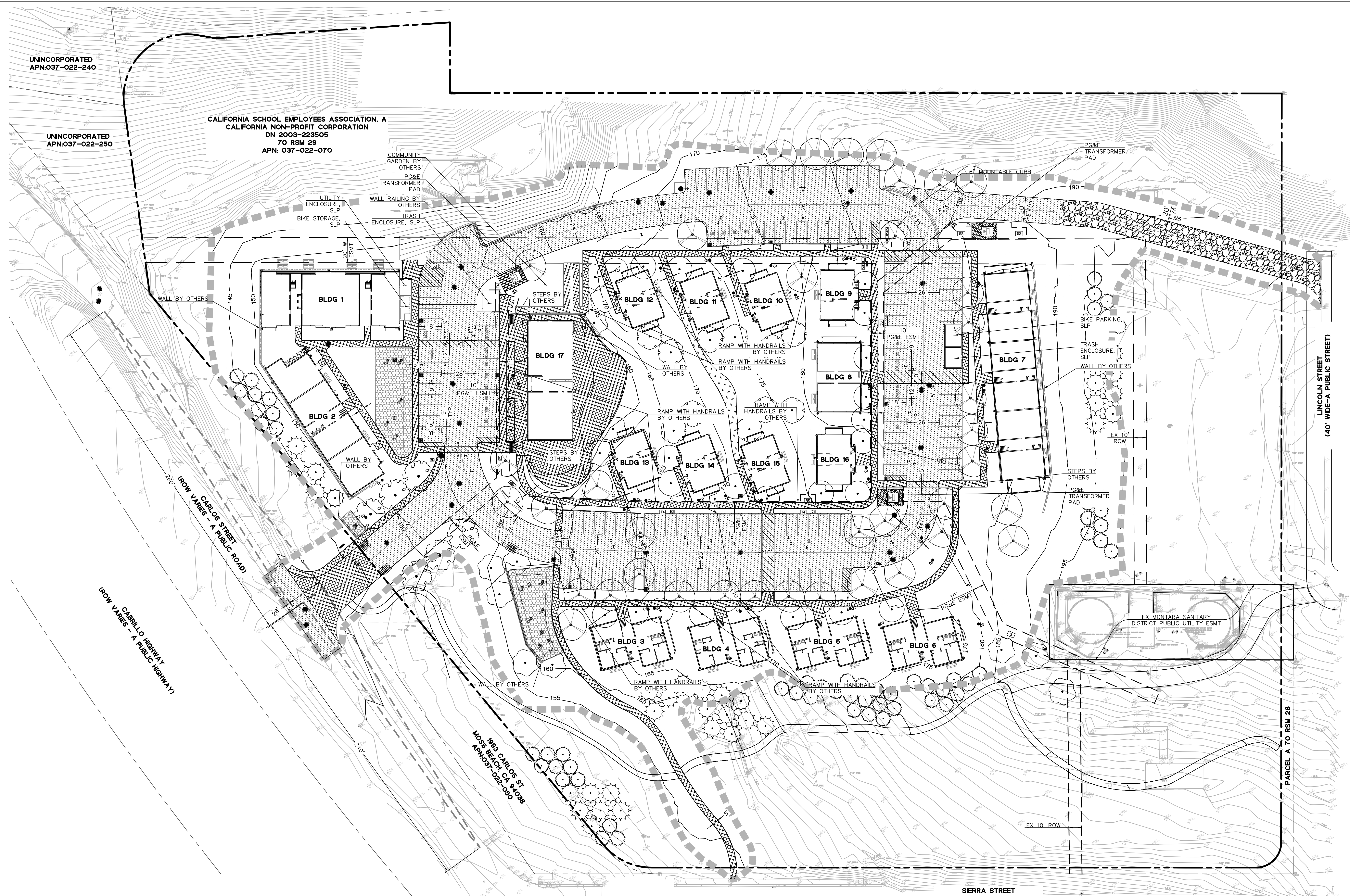
Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Reapproved	03/25/19
2	Revised Permits	07/09/19
3	Construction Permits	06/12/22

JOB NUMBER:	C20160074
DRAWN BY:	AC/CF
CHECKED BY:	JD
DATE:	01/24/24
SCALE:	AS SHOWN
TITLE:	SITE PLAN

SHEET:
C2.0
SHEET 7 OF 34



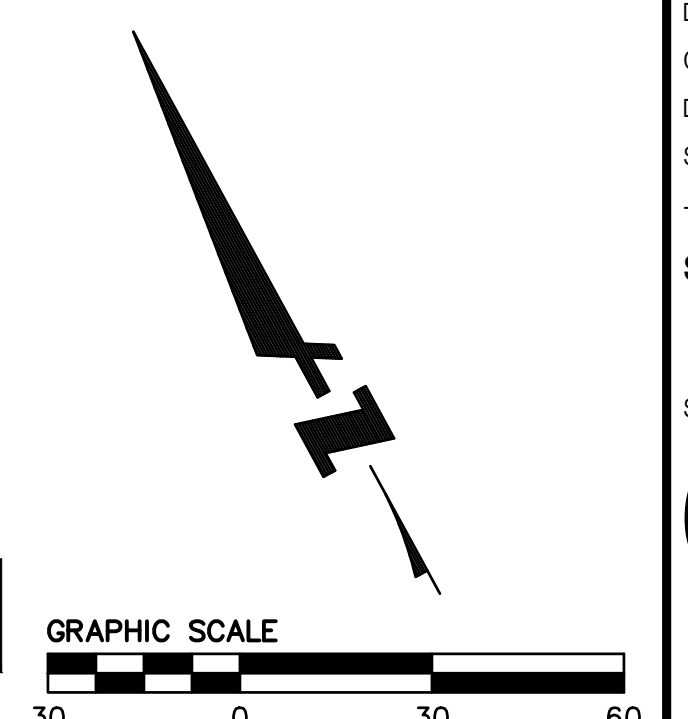
- NOTES:**
- SEE SHEET C1.0 FOR PROJECT BENCHMARK, BASIS OF BEARINGS AND ABBREVIATIONS.
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 - NOTIFY UNDERGROUND SERVICE ALERT (USA) AT 1(800) 642-2444 AT LEAST 48 HOURS PRIOR TO COMMENCING WORK.
 - EMERGENCY VEHICLE ACCESS GRAVEL TYPE MUST MEET LOAD REQUIREMENTS FOR TYPICAL COUNTY FIRE TRUCK.

LEGEND:

	PROPERTY BOUNDARY		BIORETENTION TREATMENT AREA
	ADJACENT PROPERTY BOUNDARY		DECOMPOSED GRANITE, SLP
	EASEMENT		GRAVEL, SLP
	CONFORM		WALL, SLP
	SIGHT TRIANGLE		
	AC PAVING		
	CONCRETE		

811
Know what's below.
Call before you dig.

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DRAWING NAME: \\bkr-c\c\data\2016\160074_moss_beach_housing\ENG\CDP\Sheets\C2.0 - SITE.dwg
PLOT DATE: 01-09-24
PLOTTED BY: fe11

CYPRESS POINT FAMILY COMMUNITY

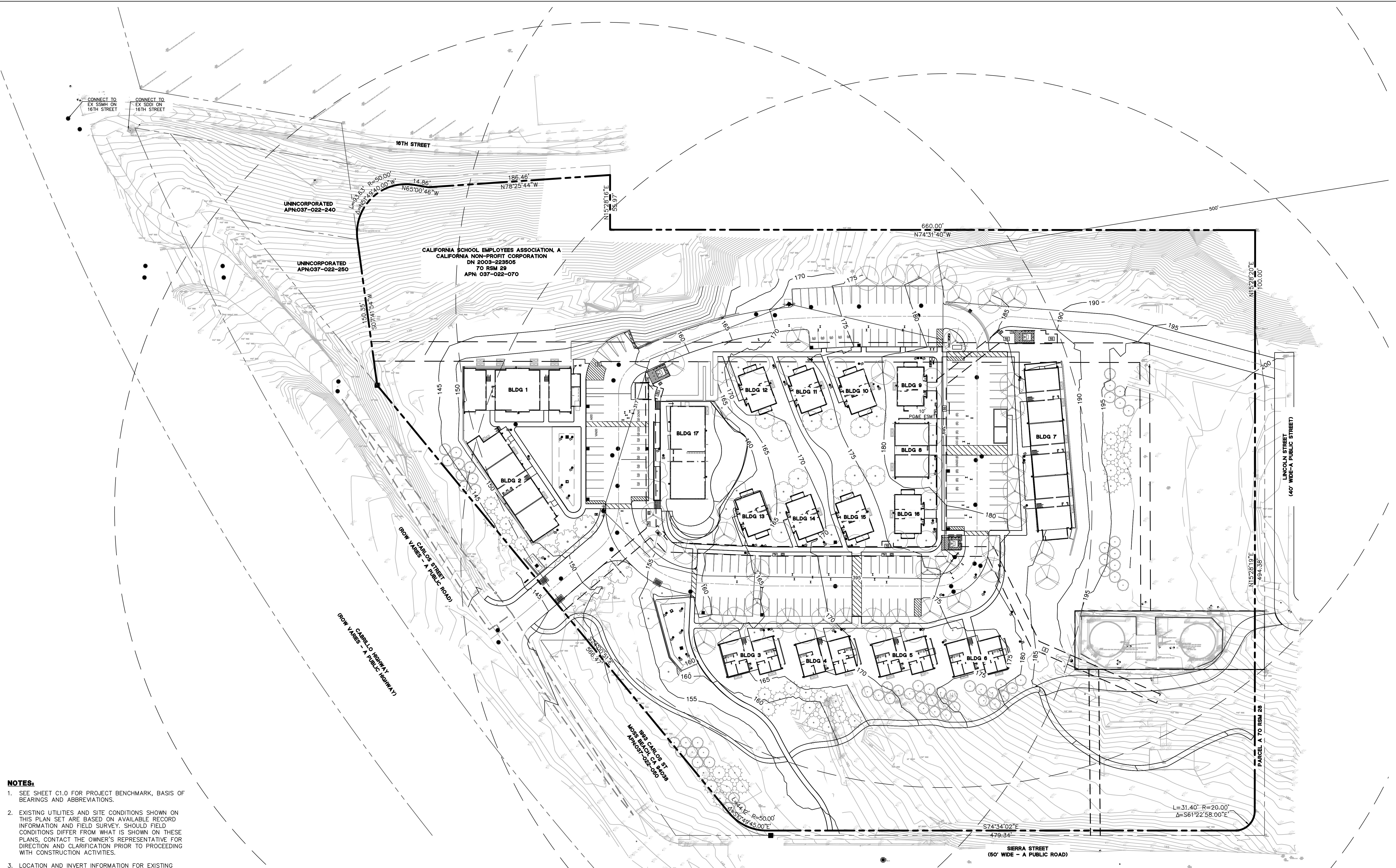
Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Residential	03/25/19
2	Numbering	07/19/19
3	County Development Permit	06/12/22

JOB NUMBER: C20160074
DRAWN BY: AC/CF
CHECKED BY: JD
DATE: 01/24/24
SCALE: AS SHOWN
TITLE: FIRE ACCESS PLAN

SHEET: **C2.1**
SHEET --- OF 34



NOTES:

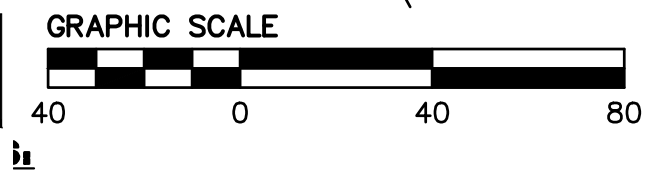
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- NOTIFY UNDERGROUND SERVICE ALERT (USA) AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO COMMENCING WORK.
- EMERGENCY VEHICLE ACCESS GRAVEL TYPE MUST MEET LOAD REQUIREMENTS FOR TYPICAL COUNTY FIRE TRUCK.
- FIRE ACCESS ROADS: FIRE SUPPRESSION OPERATIONS INVOLVE HEAVY PIECES OF APPARATUS THAT MUST SET-UP AND OPERATED CLOSE TO THE BUILDING. CALIFORNIA FIRE CODE AND FIRE DISTRICT ORDINANCES REQUIRE CONSTRUCTION THAT ALLOWS FIRE APPARATUS TO BE PLACED DIRECTLY OUTSIDE THE BUILDING. ADDITIONALLY, IT IS THE DEVELOPER/OWNER'S RESPONSIBILITY TO ASSURE WELL-MARKED FIRE LANES ARE PROVIDED AROUND THE ENTIRE OUTSIDE PERIMETER OF THE BUILDING. WHEN FIRE PROTECTION, INCLUDING FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, IS REQUIRED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION AND BEFORE COMBUSTIBLES ARE ON THE PROJECT SITE. APPROVED SIGNS AND PAINTED CURBS OR LINES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE APPARATUS ACCESS ROADS AND STATE THE PROHIBITION OF THEIR OBSTRUCTION. FIRE LANES SHALL BE IN ACCORDANCE WITH COASTSIDE FIRE DISTRICT SPECIFICATION. CONTACT THE FIRE PREVENTION BUREAU FOR THOSE SPECIFICATIONS.
- FIRE APPARATUS ACCESS ROADS TO BE AN APPROVED ASPHALT SURFACE. GRADES 15% OR GREATER TO BE SURFACED W/ ASPHALT, OR BRUSHED CONCRETE. GRADES 15% OR GREATER SHALL BE LIMITED TO 150 FT. IN LENGTH WITH A MINIMUM OF 500 FT. BETWEEN THE NEXT SECTION. FOR ROADS APPROVED LESS THAN 20 FT., 20 FT. WIDE TURNOUTS SHALL BE ON EACH SIDE OF 15% OR GREATER SECTION. NO GRADES OVER 20% (PLAN AND PROFILE REQUIRED) CFC 503.
- FIRE ACCESS ROADS - THE APPLICANT MUST HAVE A MAINTAINED ASPHALT SURFACE ROAD FOR INGRESS AND EGRESS OF FIRE APPARATUS. THE CITY OF HALF MOON BAY DEPARTMENT OF PUBLIC WORKS, SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS, THE COASTSIDE FIRE DISTRICT ORDINANCE 2019-03, AND THE CALIFORNIA FIRE CODE SHALL SET ROAD STANDARDS. AS PER THE 2019 CFC, DEAD-END ROADS EXCEEDING 150 FEET SHALL BE PROVIDED WITH A TURNAROUND IN ACCORDANCE WITH COASTSIDE FIRE DISTRICT SPECIFICATIONS. AS PER THE 2019 CFC, SECTION APPENDIX D, ROAD WIDTH SHALL NOT BE LESS THAN 20 FEET. FIRE ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO COMBUSTIBLES BEING PLACED ON THE PROJECT SITE AND MAINTAINED DURING CONSTRUCTION. APPROVED SIGNS AND PAINTED CURBS OR LINES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE ACCESS ROADS AND STATE THE PROHIBITION OF THEIR OBSTRUCTION. IF THE ROAD WIDTH DOES NOT ALLOW PARKING ON THE STREET (20 FOOT ROAD) AND ON-STREET PARKING IS DESIRED, AN ADDITIONAL IMPROVED AREA SHALL BE DEVELOPED FOR THAT USE.
- "NO PARKING - FIRE LANE" SIGNS SHALL BE PROVIDED ON BOTH SIDES OF ROADS 20 TO 26 FT. WIDE AND ON ONE SIDE OF ROADS 26 TO 32 FT. WIDE. CFC D103.6.
- GATES SHALL BE A MINIMUM OF 2 FEET WIDER THAN THE ACCESS ROAD/DRIVEWAY THEY SERVE. OVERHEAD GATE STRUCTURES SHALL HAVE A MINIMUM OF 15 FEET OF VERTICAL CLEARANCE. LOCKED GATES SHALL BE PROVIDED WITH A KNOX BOX OR KNOX PADLOCK. ELECTRIC GATES SHALL HAVE A KNOX KEY SWITCH. ELECTRIC GATES SHALL AUTOMATICALLY OPEN DURING POWER FAILURES. CFC 503.6, 506.
- TRAFFIC CALMING DEVICES SHALL BE PROHIBITED UNLESS APPROVED BY THE FIRE OFFICIAL.

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- EASEMENT
- CONFORM
- 500' FIRE HYDRANT RADIUS



Know what's below.
Call before you dig.

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DRAWING NAME: \\BKF-c\data\2016\C20160074\Moss Beach Housing\ENG\CDP\Sheets\C2.0 - SITE.dwg
PLOT DATE: 01-09-24 PLOTTED BY: jf11

CYPRESS POINT FAMILY COMMUNITY

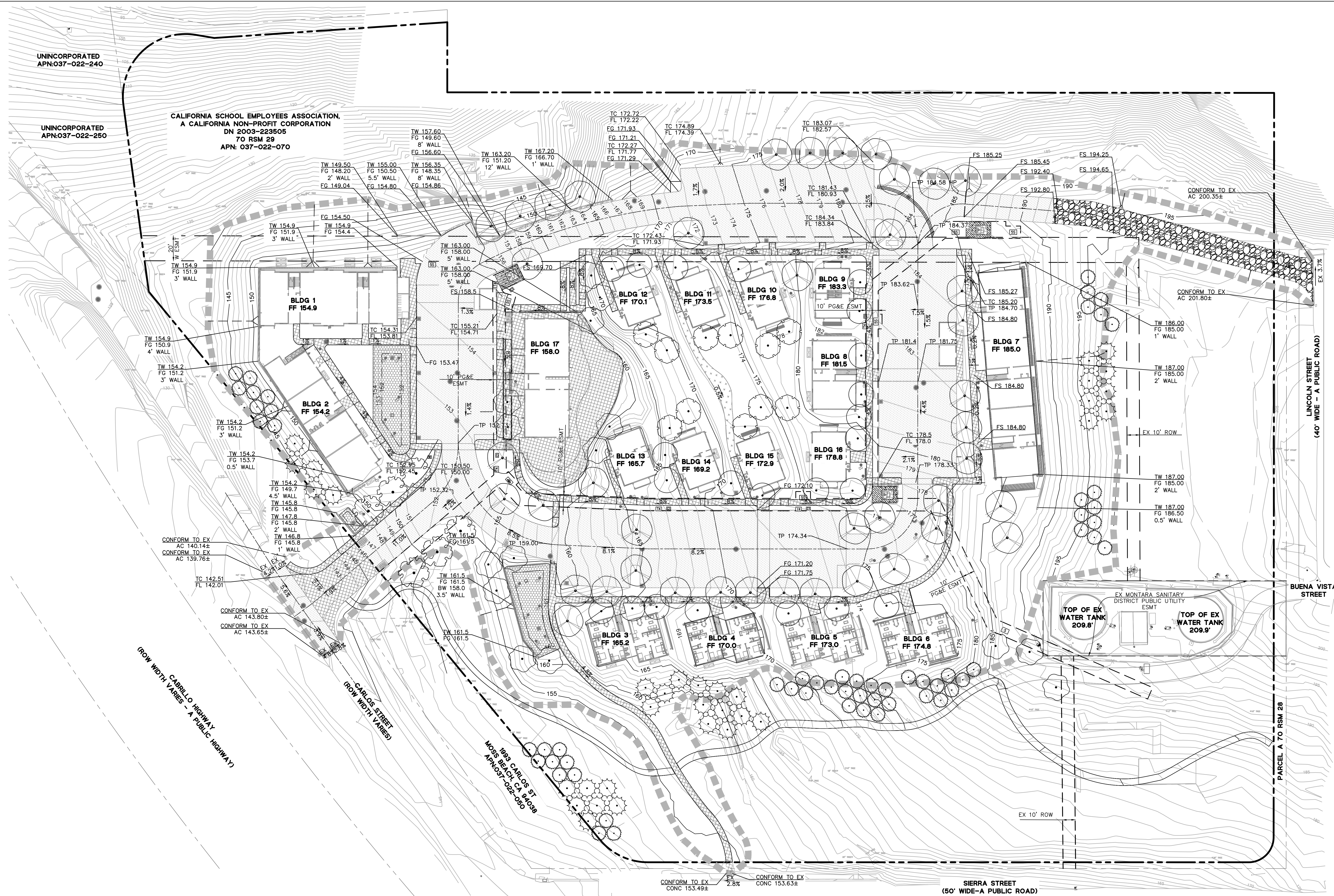
Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Residential	03/25/19
2	Final Grading	07/09/19
3	Final Development Plans	06/12/22

JOB NUMBER: C20160074
DRAWN BY: AC/CF
CHECKED BY: JD
DATE: 01/24/24
SCALE: AS SHOWN
TITLE: **SITE GRADING PLAN**

SHEET: **C3.0**
SHEET 8 OF 34



- NOTES:**
- SEE SHEET C1.0 FOR PROJECT BENCHMARK, BASIS OF BEARINGS, AND ABBREVIATIONS.
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 - ANY WORK IN THE PUBLIC RIGHT-OF-WAY MUST BE CONSTRUCTED PER SAN MATEO COUNTY STANDARDS BY A LICENSED CONTRACTOR AND REQUIRED PERMITS SHALL BE OBTAINED FROM THE APPROPRIATE AGENCIES.

LEGEND:

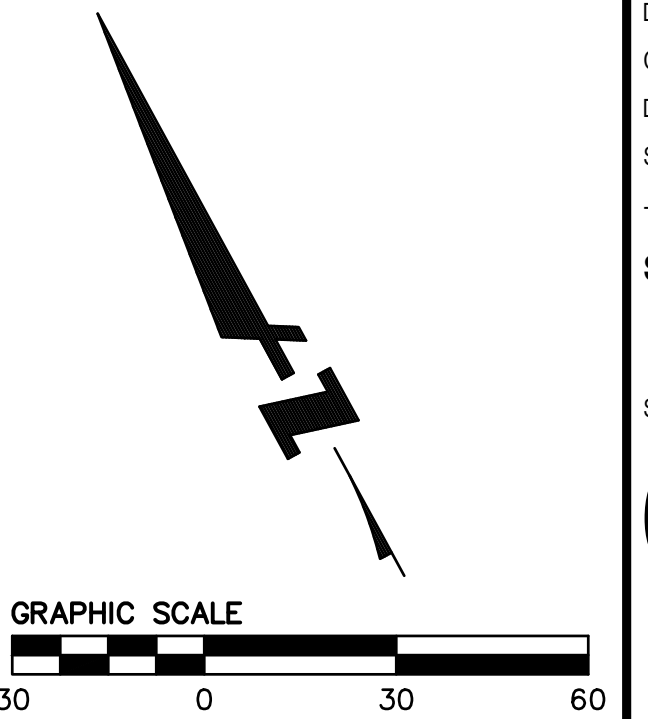
	AC PAVING
	CONCRETE
	BIORETENTION TREATMENT AREA
	DECOMPOSED GRANITE, SLP
	GRAVEL, SLP

EARTHWORK QUANTITIES

SITE	EARTHWORK QUANTITIES	
	CUT	FILL
	9,507 CY	19,388 CY
	BALANCE 9,881 CY(FILL)	



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DRAWING NAME: \\BKF-c\c\data\2016\160074_Moss Beach Housing\ENG\CDP\Sheets\C3.0 - GRD.dwg
PLOT DATE: 01-09-24 PLOTTED BY: 1611

CYPRESS POINT FAMILY COMMUNITY

Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Residential	03/27/19
2	Final Design	07/09/19
3	Final Development Permit	06/12/22

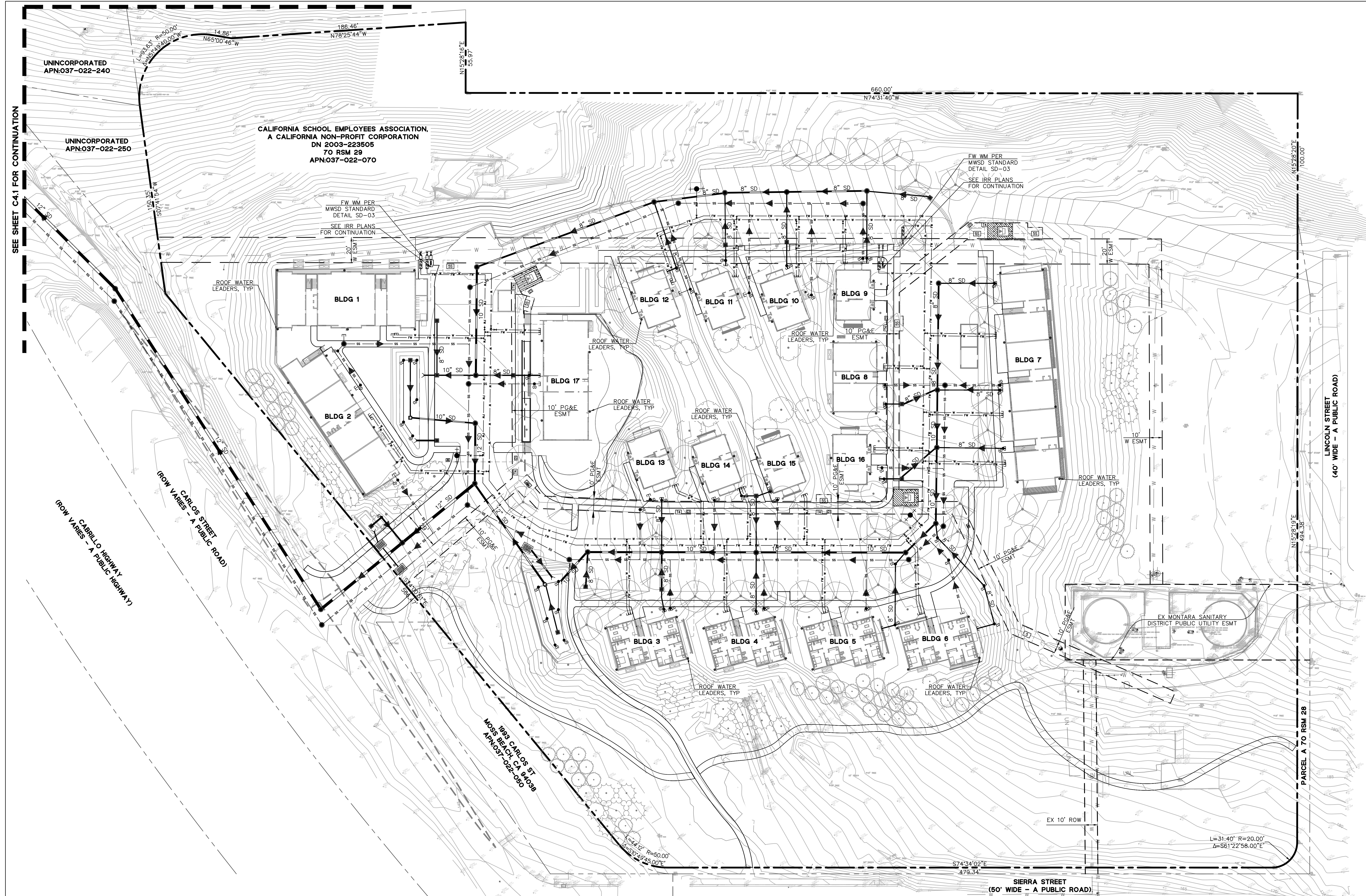
JOB NUMBER:	C20160074
DRAWN BY:	AC/CF
CHECKED BY:	JD
DATE:	01/24/24
SCALE:	AS SHOWN

TITLE:
PROPOSED UTILITIES

SHEET:

C4.0

SHEET 9 OF 34

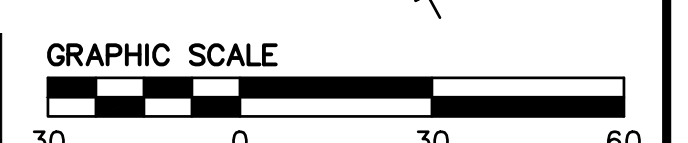


- NOTES:**
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 - IRRIGATION WATER METER, BACKFLOW PREVENTER AND STUB CONNECTION PROVIDED FOR IRRIGATION CONNECTION. REFER TO IRRIGATION PLANS BY OTHERS.
 - REFER TO MEP PLANS FOR DOMESTIC WATER SUBMETERS FOR BUILDINGS.
 - CONTRACTOR TO PIPE BUILDING ROOF WATER LEADERS TO UNDERGROUND STORM DRAIN SYSTEM.
 - ROOF WATER LEADER LOCATIONS ARE PER THE ARCHITECTURAL PLANS.

- LEGEND:**
- STORM DRAIN LINE
 - STORM DRAIN LINE OUTFALL
 - SS— SANITARY SEWER LINE
 - V— DOMESTIC WATER LINE
 - FW— FIRE WATER LINE
 - ▶ FLOW ARROW
 - MANHOLE
 - CLEANOUT
 - STORM DRAIN DROP INLET
 - ▣ STORM DRAIN CATCH BASIN
 - ⊕ FIRE HYDRANT
 - WATER METER
 - ⊕ WATER VALVE
 - ⊕ BFP/DCDA
 - ROOF WATER LEADER (SEE NOTE 8)
 - ORIFICE STRUCTURE



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DRAWING NAME: \\BKF-c\c\data\2016\160074_Moss Beach Housing\ENG\CDP\Sheets\C4.0 - PRUTILL.dwg
PLOT DATE: 01-09-24 PLOTTED BY: H11

CYPRESS POINT FAMILY COMMUNITY

Carlos Street, Moss Beach

STAMP:

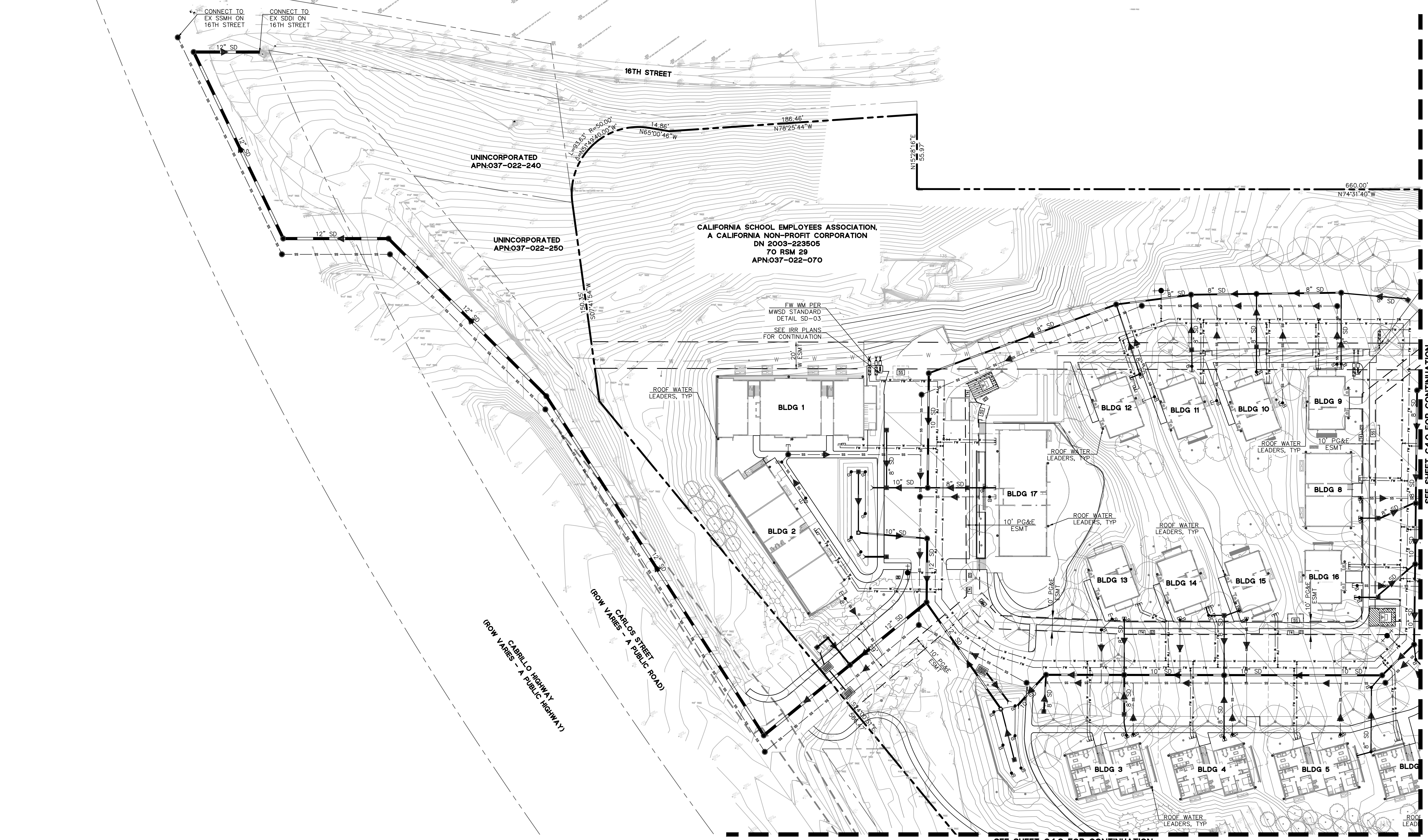
REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Re-submittal	03/25/19
2	Revised Plans	07/09/19
3	Final Development Permit	06/12/22

JOB NUMBER: C20160074
DRAWN BY: AC/CF
CHECKED BY: JD
DATE: 01/24/24
SCALE: AS SHOWN

TITLE: PROPOSED UTILITIES

SHEET: C4.1

SHEET --- OF 34

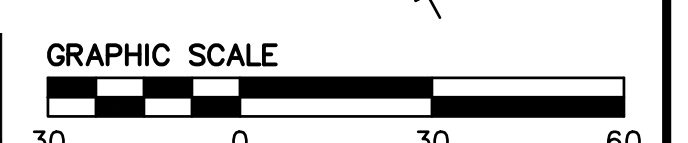


- NOTES:**
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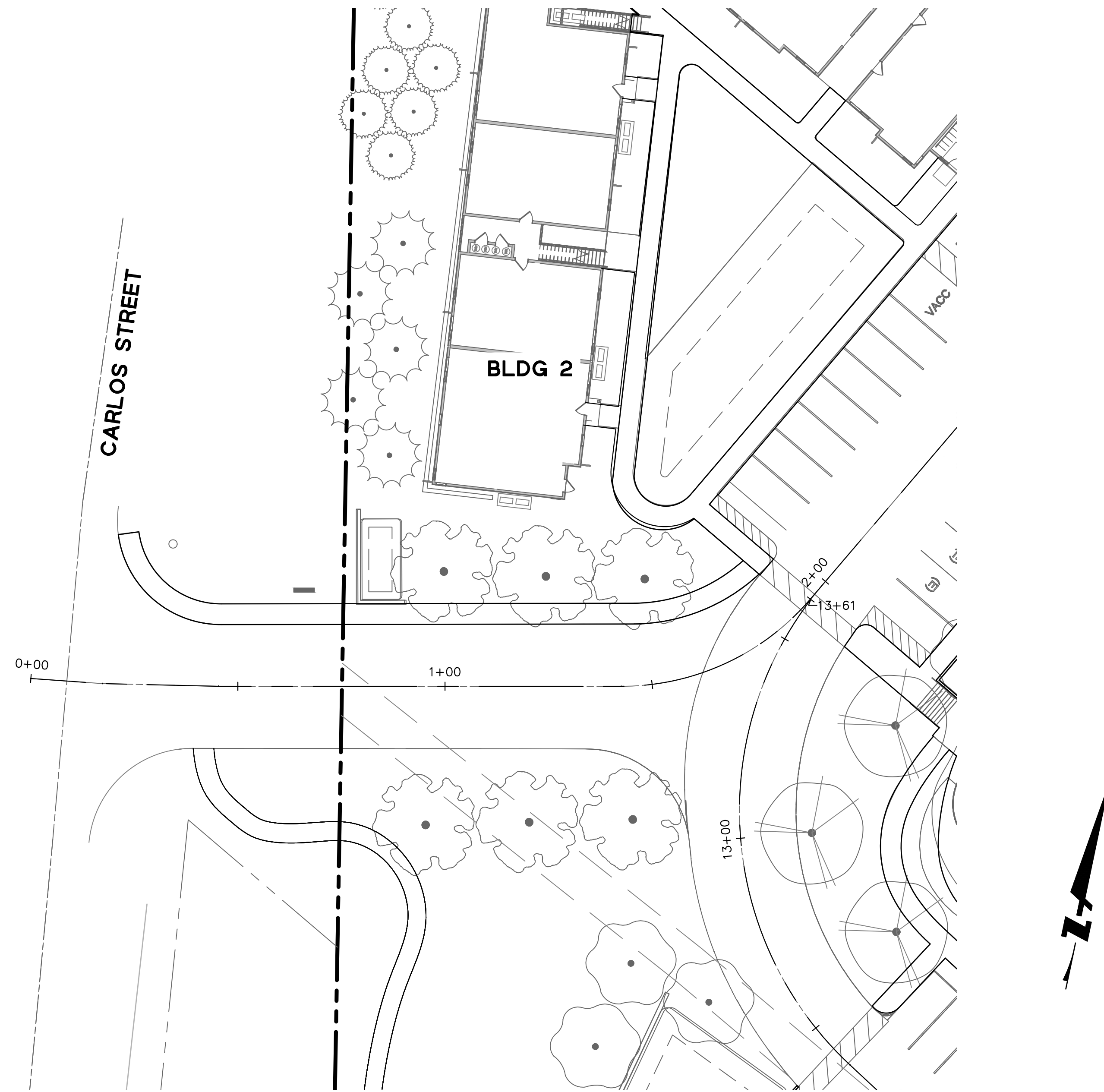
- LEGEND:**
- SD — STORM DRAIN LINE
 - SS — SANITARY SEWER LINE
 - DW — DOMESTIC WATER LINE
 - FW — FIRE WATER LINE
 - ▶ FLOW ARROW
 - MANHOLE
 - CLEANOUT
 - STORM DRAIN DROP INLET
 - ▣ STORM DRAIN CATCH BASIN
 - ⊕ FIRE HYDRANT
 - WATER METER
 - ⊕ WATER VALVE
 - BFP/DCCA
 - ROOF WATER LEADER (SEE NOTE 8)
 - ORIFICE STRUCTURE



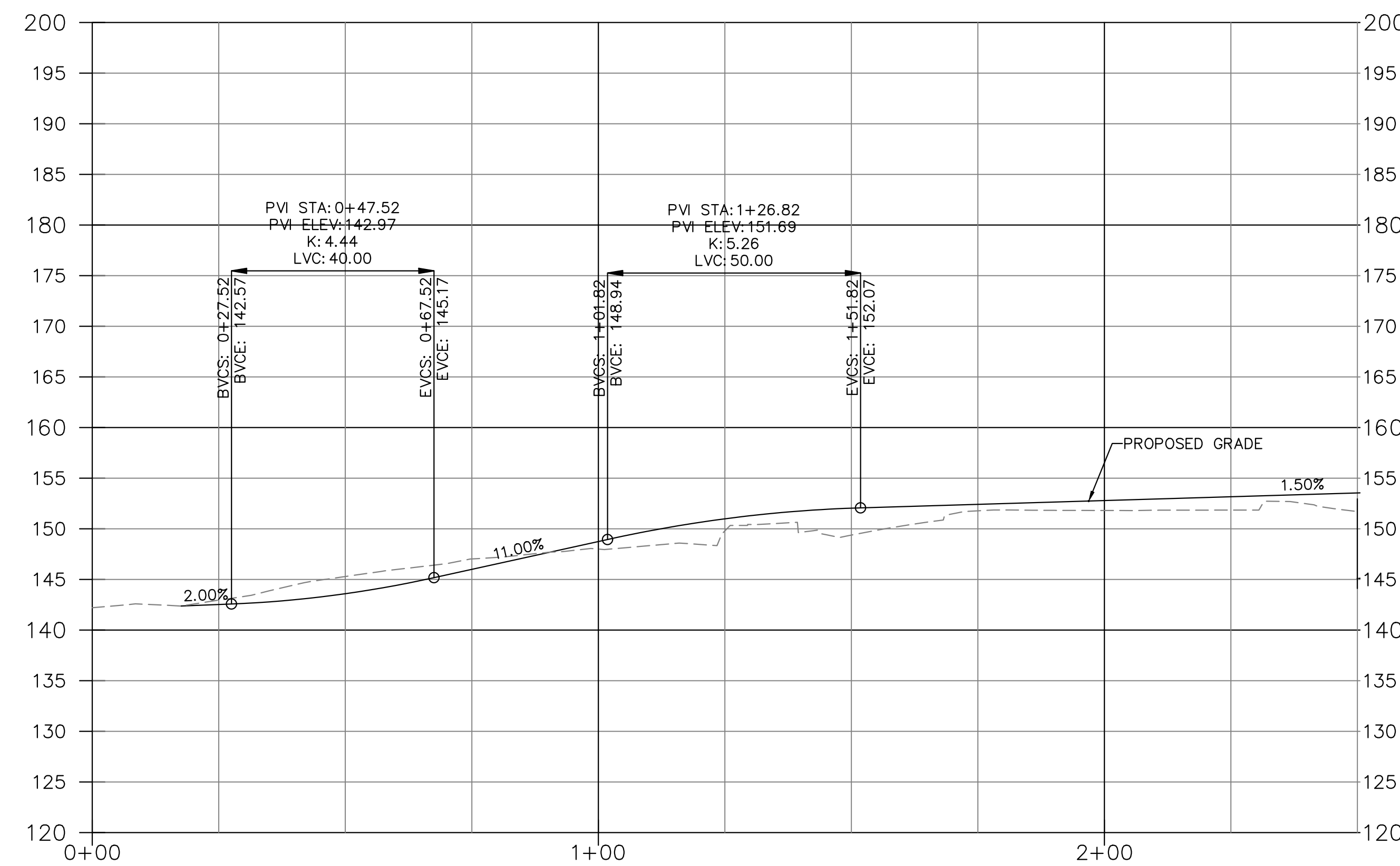
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DRAWING NAME: \\BKF-c\c\data\2016\160074_Moss Beach Housing\ENG\CDP\Sheets\C4.0 - PRUTILL.dwg
PLOT DATE: 01-09-24
PLOTTED BY: f11



CYPRESS POINT DRIVE - PLAN VIEW
 SCALE: 1" = 20'



CYPRESS POINT DRIVE STA: 0+00 TO STA: 6+75
 SCALE: 1" = 20' HORIZ.
 1" = 10' VERT.

DRAWING NAME: \\BKF-RC\DATA\2016\160074_moss_beach_housing\ENG\CIP\Sheets\C5.0 - PLAN\PROF.dwg
 PLOT DATE: 01-09-24 PLOTTED BY: jeh

CYPRESS POINT FAMILY COMMUNITY

Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Residential	03/25/19
2	Special Permits	07/09/19
3	Central Development Permit	06/12/22

JOB NUMBER: C20160074
 DRAWN BY: AC/CF
 CHECKED BY: JD
 DATE: 01/24/24
 SCALE: AS SHOWN
 TITLE:
DRIVEWAY PLAN AND PROFILE

SHEET:
C5.0
 SHEET 10 OF 34

CYPRESS POINT FAMILY COMMUNITY

Carlos Street, Moss Beach

STAMP:

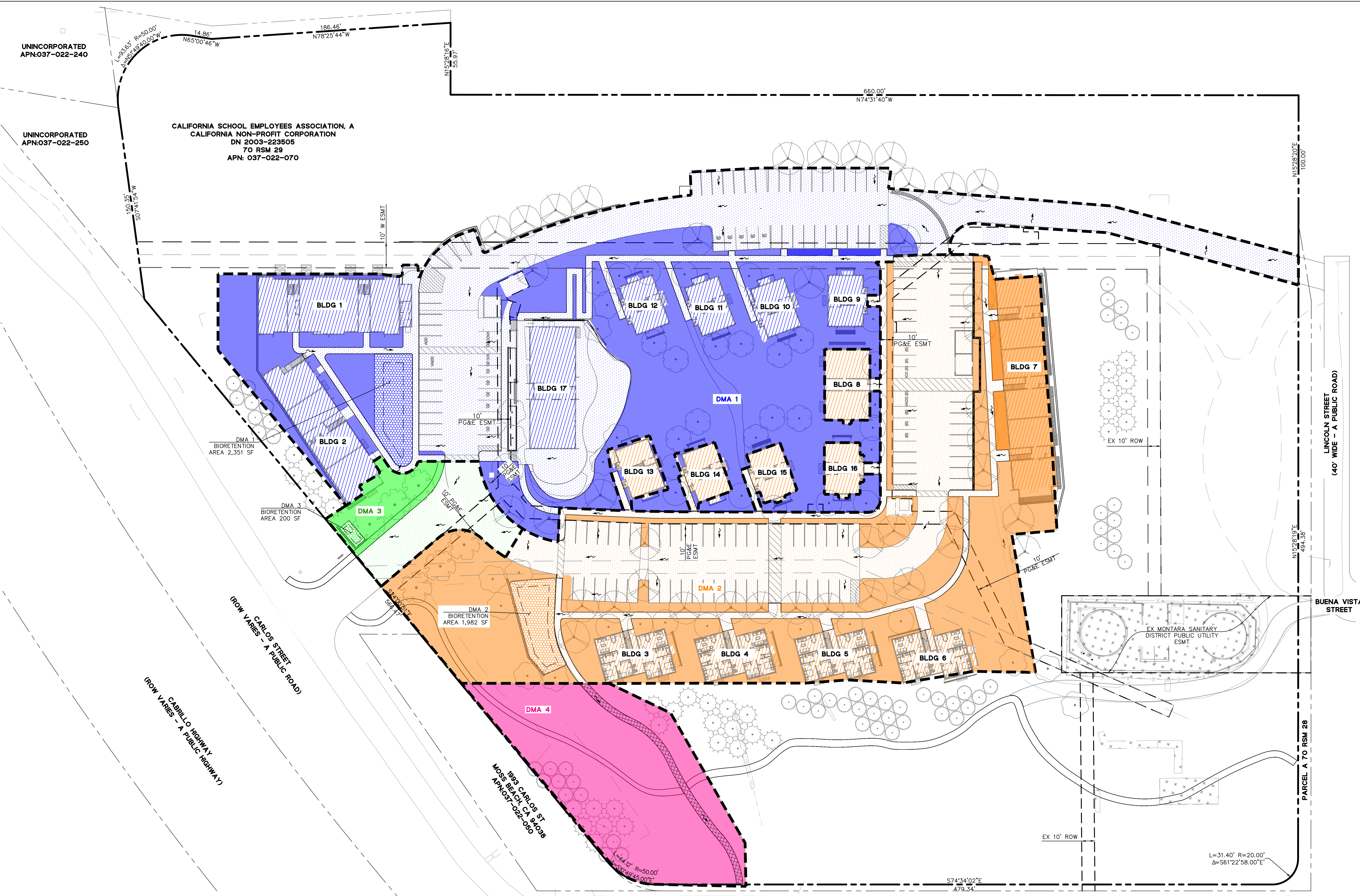
NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
2	Revised Plans	07/10/19
3	Final Development Plans	06/12/22

JOB NUMBER: C20160074
DRAWN BY: AC/CF
CHECKED BY: JD
DATE: 01/24/24
SCALE: AS SHOWN

TITLE:
STORMWATER CONTROL PLAN

SHEET:
C6.0

SHEET 11 OF 34



- NOTES:**
- SEE SHEET C1.0 FOR PROJECT BENCHMARK, BASIS OF BEARINGS AND ABBREVIATIONS.
 - EXISTING UTILITIES AND SITE CONDITIONS SHOWN ON THIS PLAN SET ARE BASED ON AVAILABLE RECORD INFORMATION AND FIELD SURVEY. SHOULD FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN ON THESE PLANS, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTION AND CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES.
 - LOCATION AND INVERT INFORMATION FOR EXISTING DOMESTIC WATER, FIRE WATER, RECYCLED WATER, SANITARY SEWER, AND STORM DRAIN CONNECTIONS ARE APPROXIMATE AND BASED ON AVAILABLE RECORD INFORMATION. CONFIRM AND VERIFY EXISTING UTILITY TYPE, SIZE, MATERIAL, CONDITION, AND LOCATION, WHETHER SHOWN OR NOT ON THESE PLANS, PRIOR TO COMMENCING WORK.
 - NOTIFY UNDERGROUND SERVICE ALERT (USA) AT 1(800) 642-2444 AT LEAST 48 HOURS PRIOR TO COMMENCING WORK.
 - THIS PROJECT IS A C.3 REGULATED PROJECT AS IT CREATES 10,000 SF OR MORE OF IMPERVIOUS SURFACE. STORMWATER TREATMENT WILL BE PROVIDED BY THE BIORETENTION AREAS 1, 2, AND 3.

LEGEND:

	LANDSCAPE AREA
	BIORETENTION AREA
	IMPERVIOUS BUILDINGS
	IMPERVIOUS HARDSCAPE
	EXISTING IMPERVIOUS AREA TO REMAIN
	NEW/REPLACED AREA LESS THAN 10-FT WIDE EXEMPT FROM TREATMENT PER SAN MATEO COUNTY C.3 STORMWATER HANDBOOK.
	SURFACE FLOW DIRECTION

DRAINAGE MANAGEMENT AREAS

DRAINAGE MANAGEMENT AREA	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	BIORETENTION AREA REQUIRED (SF)	BIORETENTION AREA PROVIDED (SF)
DMA 1	111,973	63,134	46,488	2,150	2,351
DMA 2	109,233	72,597	34,654	1,950	1,982
DMA 3	8,188	4,902	3,086	161	200
DMA 4	19,652	996	18,738	0	0
TOTAL	249,046	141,629	102,884	4,261	4,533

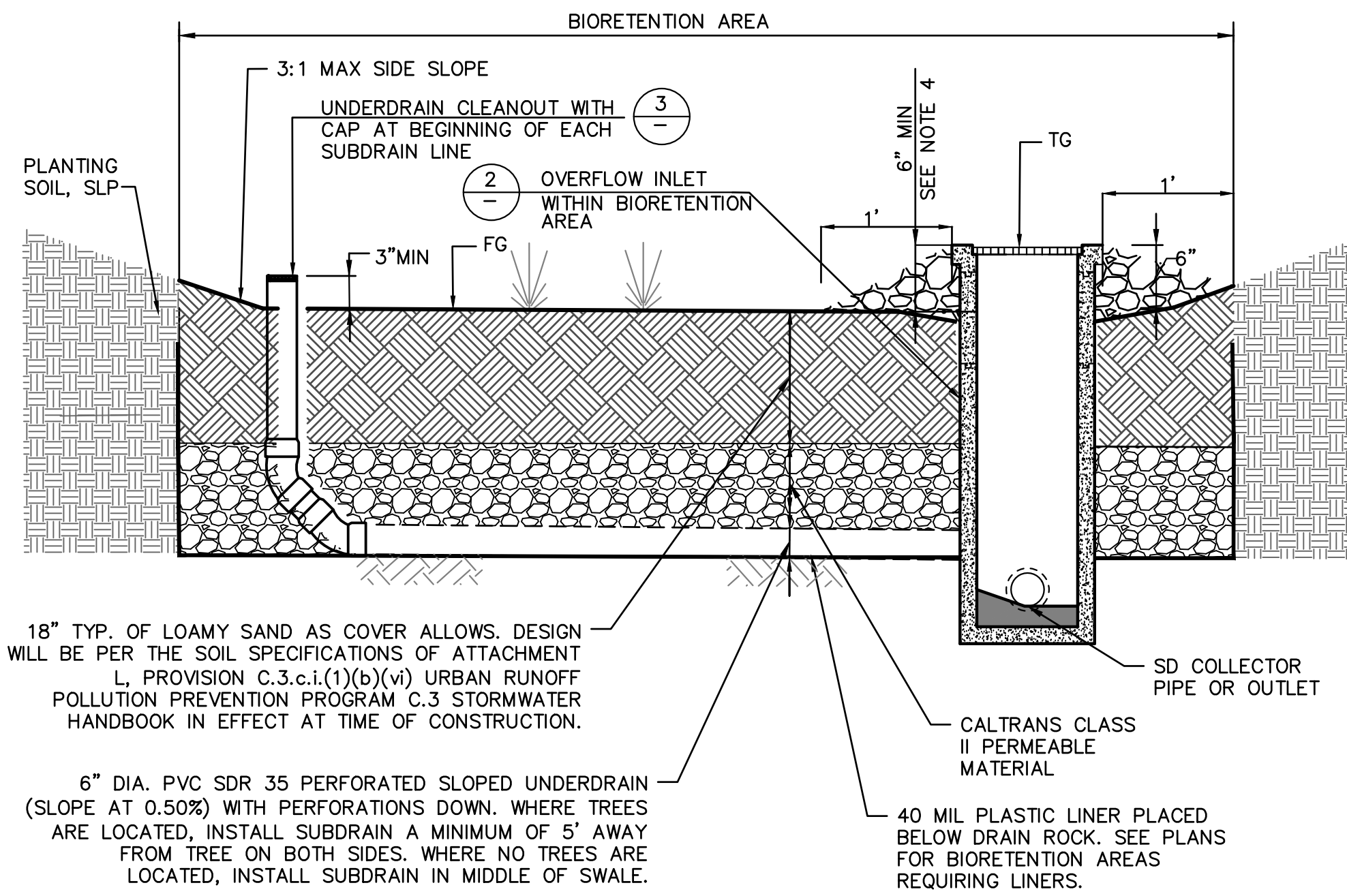
NOTES:
1. EXISTING PERVIOUS LANDSCAPE AREAS DISCHARGING DIRECTLY TO MONTARA CREEK WERE EXCLUDED FROM THE BIORETENTION SIZING CALCULATIONS.



LOCATION AND/OR ELEVATION OF EXISTING UTILITIES ARE UNKNOWN. CONTRACTOR SHALL FOTIHOLE AND VERIFY THIS INFORMATION AND NOTIFY THE CIVIL ENGINEER OF ALL CONFLICTS WITH THE DESIGN PRIOR TO START OF CONSTRUCTION.



DRAWING NAME: \\bkr-c\c\data\2018\160074_moss_beach_housing\ENG\CDP\Sheets\C6.0 - SWCP.dwg
PLOT DATE: 01-09-24 PLOTTED BY: fe11



18" TYP. OF LOAMY SAND AS COVER. DESIGN WILL BE PER THE SOIL SPECIFICATIONS OF ATTACHMENT L, PROVISION C.3.c.i.(1)(b)(vi) URBAN RUNOFF POLLUTION PREVENTION PROGRAM C.3 STORMWATER HANDBOOK IN EFFECT AT TIME OF CONSTRUCTION.

6" DIA. PVC SDR 35 PERFORATED SLOPED UNDERDRAIN (SLOPE AT 0.50%) WITH PERFORATIONS DOWN. WHERE TREES ARE LOCATED, INSTALL SUBDRAIN A MINIMUM OF 5' AWAY FROM TREE ON BOTH SIDES. WHERE NO TREES ARE LOCATED, INSTALL SUBDRAIN IN MIDDLE OF SWALE.

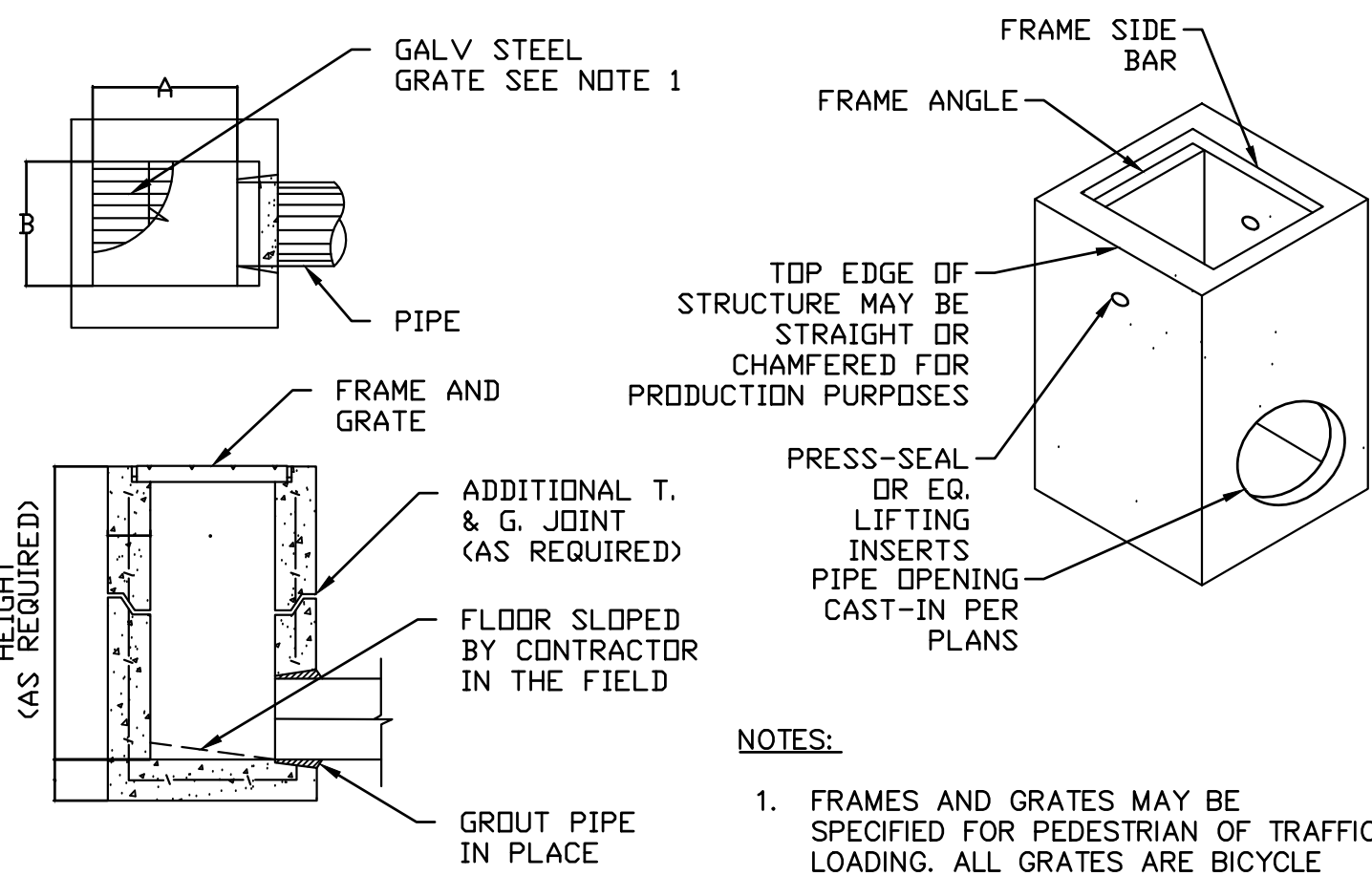
40 MIL PLASTIC LINER PLACED BELOW DRAIN ROCK. SEE PLANS FOR BIORETENTION AREAS REQUIRING LINERS.

CALTRANS CLASS II PERMEABLE MATERIAL

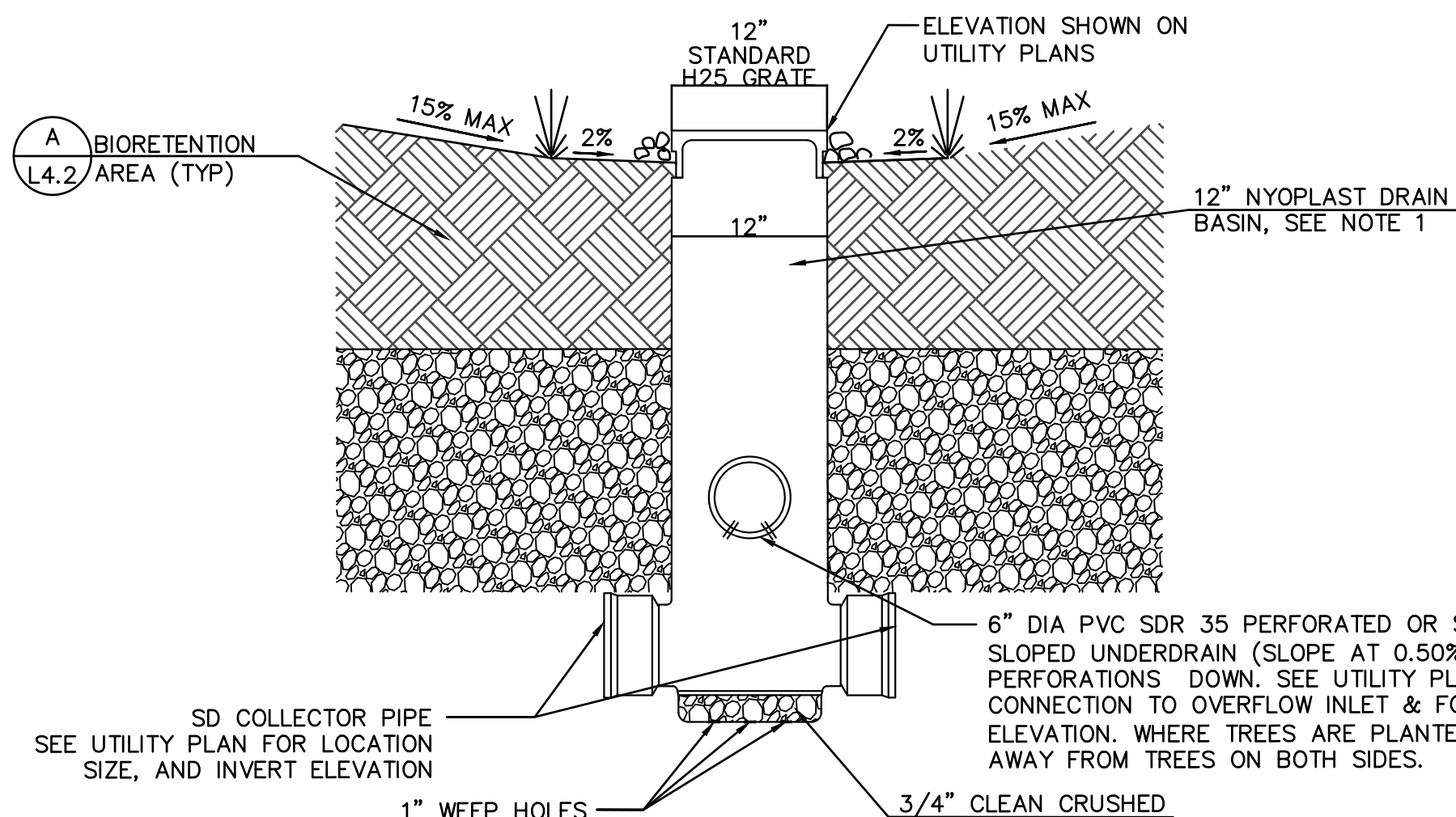
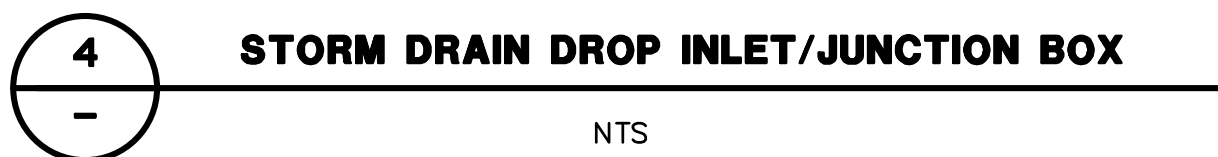
SD COLLECTOR PIPE OR OUTLET

NOTES:

- SEE GRADING PLANS FOR FINISH GRADE OF BIORETENTION AREAS.
- SEE LANDSCAPE PLANS & SPECIFICATIONS FOR PLANTING MATERIALS WITHIN BIORETENTION AREAS.
- ALL BIORETENTION SOILS USED, SHALL BE PER ATTACHMENT L PROVISION C.3.c.i.(1)(b)(vi) OF THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM C.3 HANDBOOK IN EFFECT AT TIME OF CONSTRUCTION.
- PLACE COBBLE FLUSH WITH CHANNEL SURFACE AROUND ALL STRUCTURES WITHIN BIORETENTION AREA (DRAINAGE BUBBLERS, OVERFLOW DRAINS, SIGNS, LIGHT POSTS, IRRIGATION BOXES, ETC.), EXTENDING 12" TYPICAL FROM EDGE OF STRUCTURE. SEE LANDSCAPE PLANS FOR COBBLE SIZE AND COLOR.

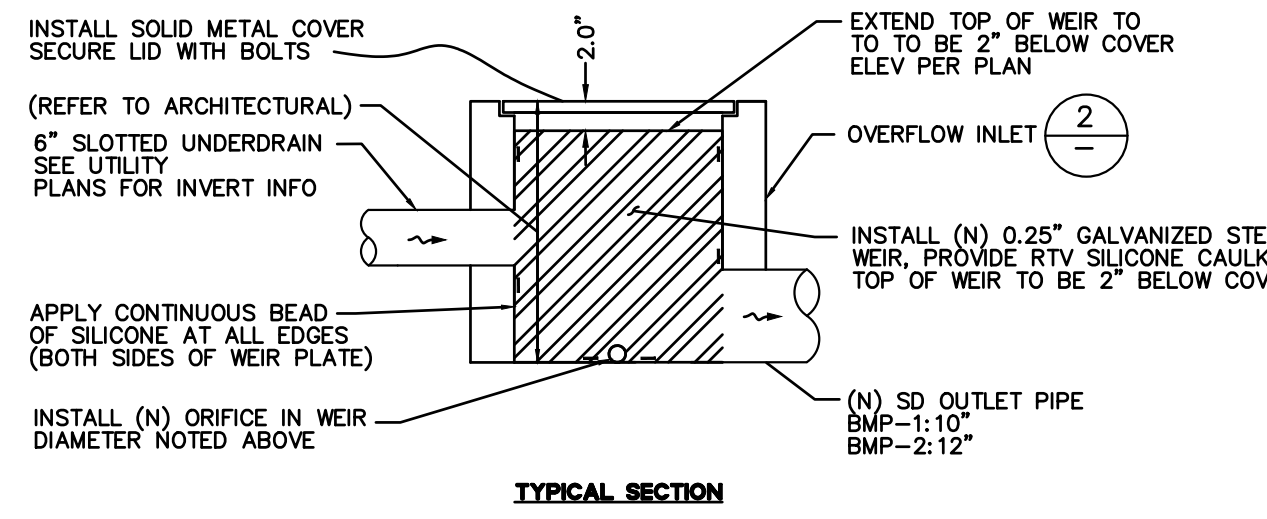
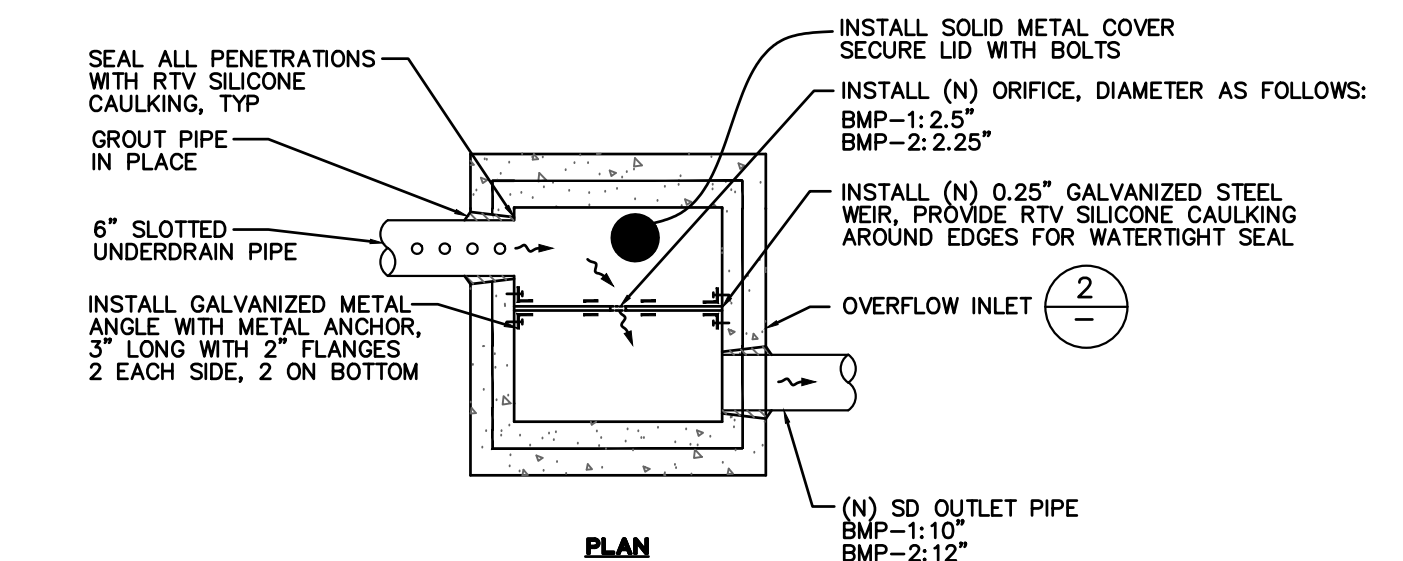
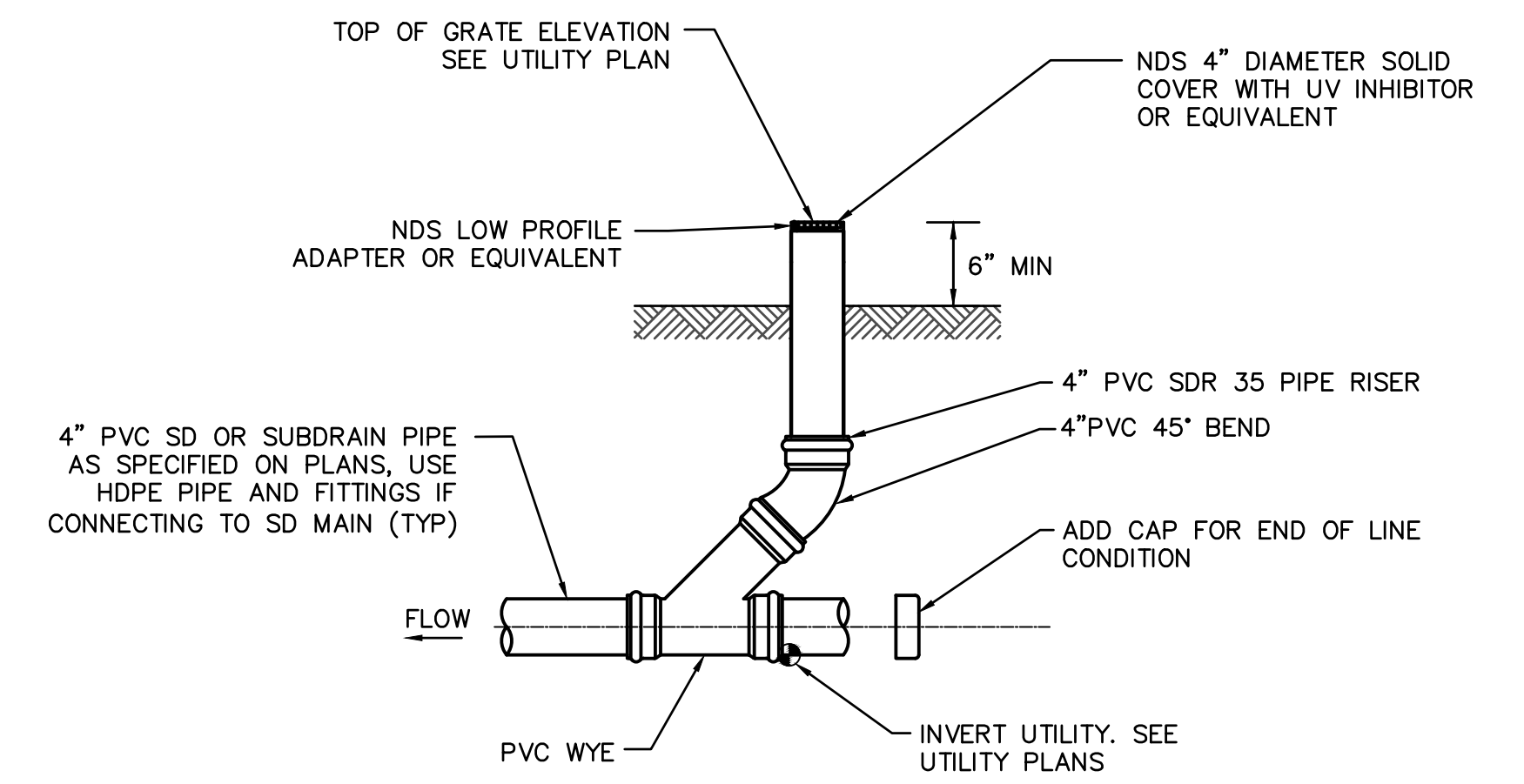
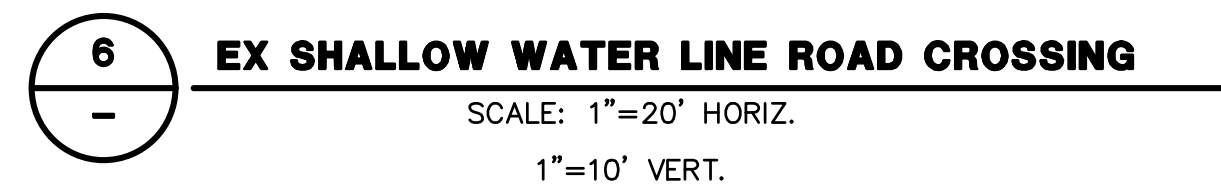
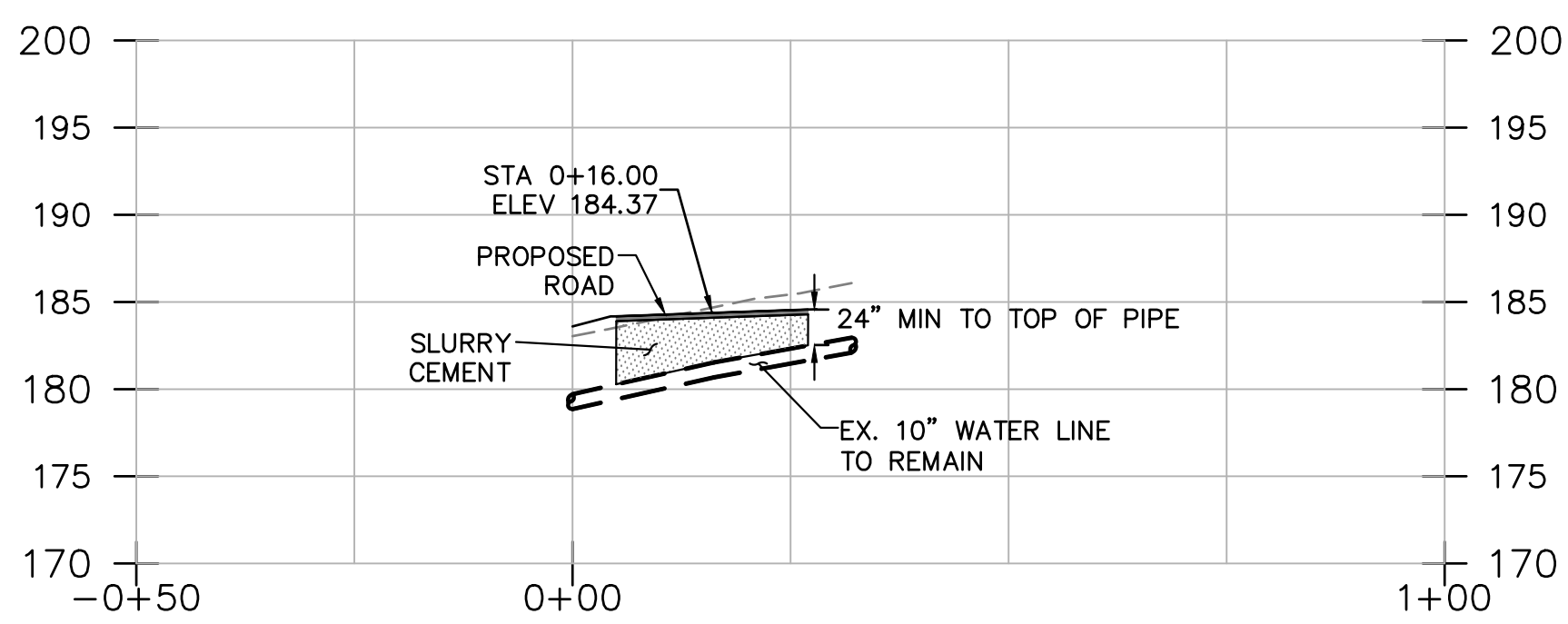
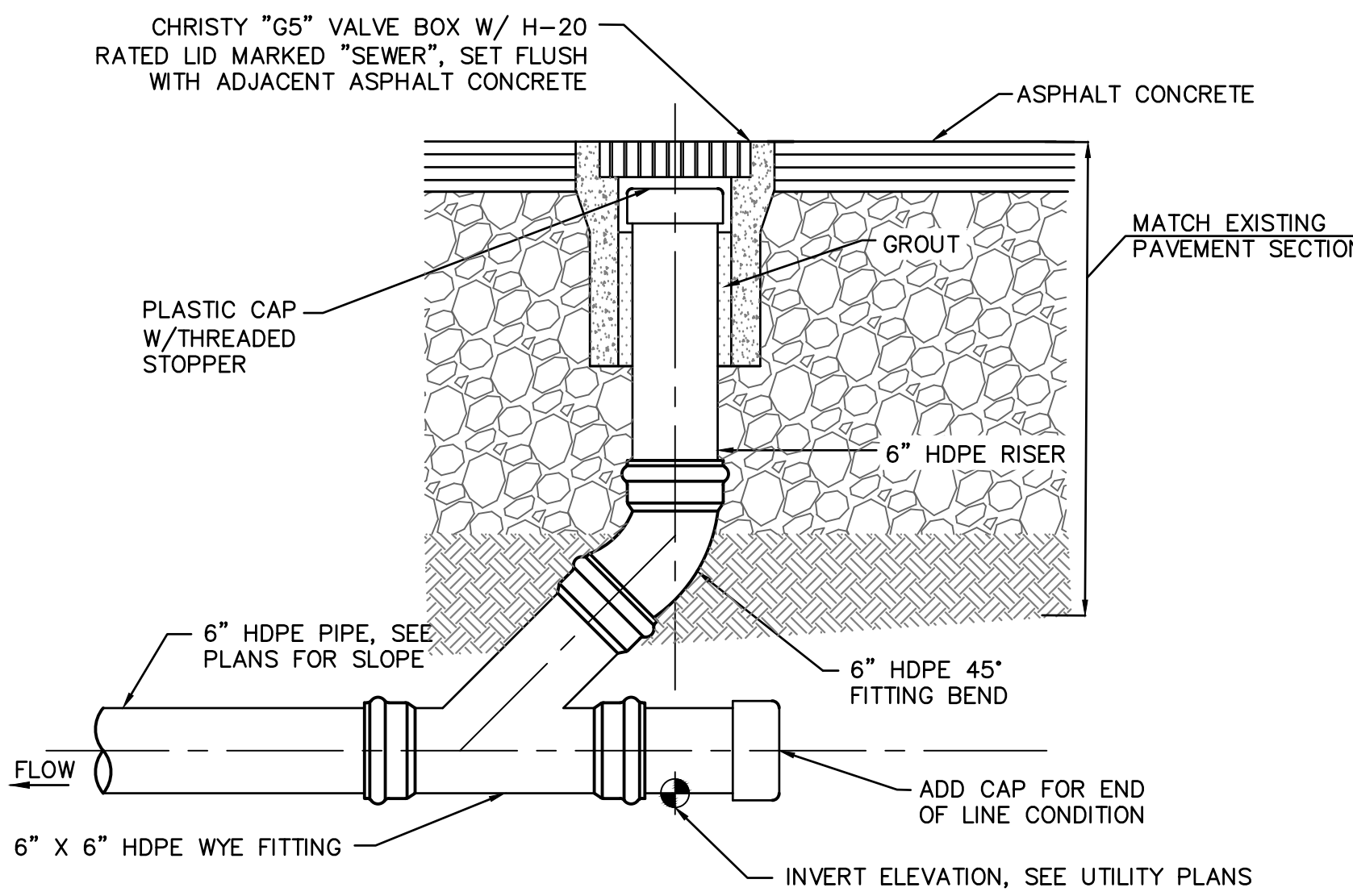


USCPG MODEL No.	SANTA ROSA REF.	A	B	C
		IN	MM	IN
CB1212	EK	12	300	12
CB1818	CK	18	450	18
CB1824	JK	18	450	24
CB2424	2K	24	600	24
CB2430	3K	24	600	30
CB3030	5K	30	750	30
CB2436	IL	24	600	36
CB3636	IM	36	900	36
CB2448	3L	24	600	48
CB3648	3M	36	900	48
CB4848	1R	48	1200	48



NOTES:

- OVERFLOW INLET LOCATED IN BIORETENTION AREA SHALL BE 12 INCH NYOPLAST ADS DRAIN BASIN WITH AN 12 INCH CIRCULAR STANDARD H-25 GRATE. PAINT STRUCTURE BLACK.



STAMP:

NO.	ISSUE	DATE
1	Planning Revisions	03/27/19
2	Revised Plans	07/09/19
3	Final Development Plans	06/12/22

JOB NUMBER: C20160074
DRAWN BY: AC/CF
CHECKED BY: JD
DATE: 01/24/24
SCALE: AS SHOWN

TITLE: CONSTRUCTION DETAILS

SHEET: C7.0

SHEET 12 OF 34

CYPRESS POINT FAMILY COMMUNITY

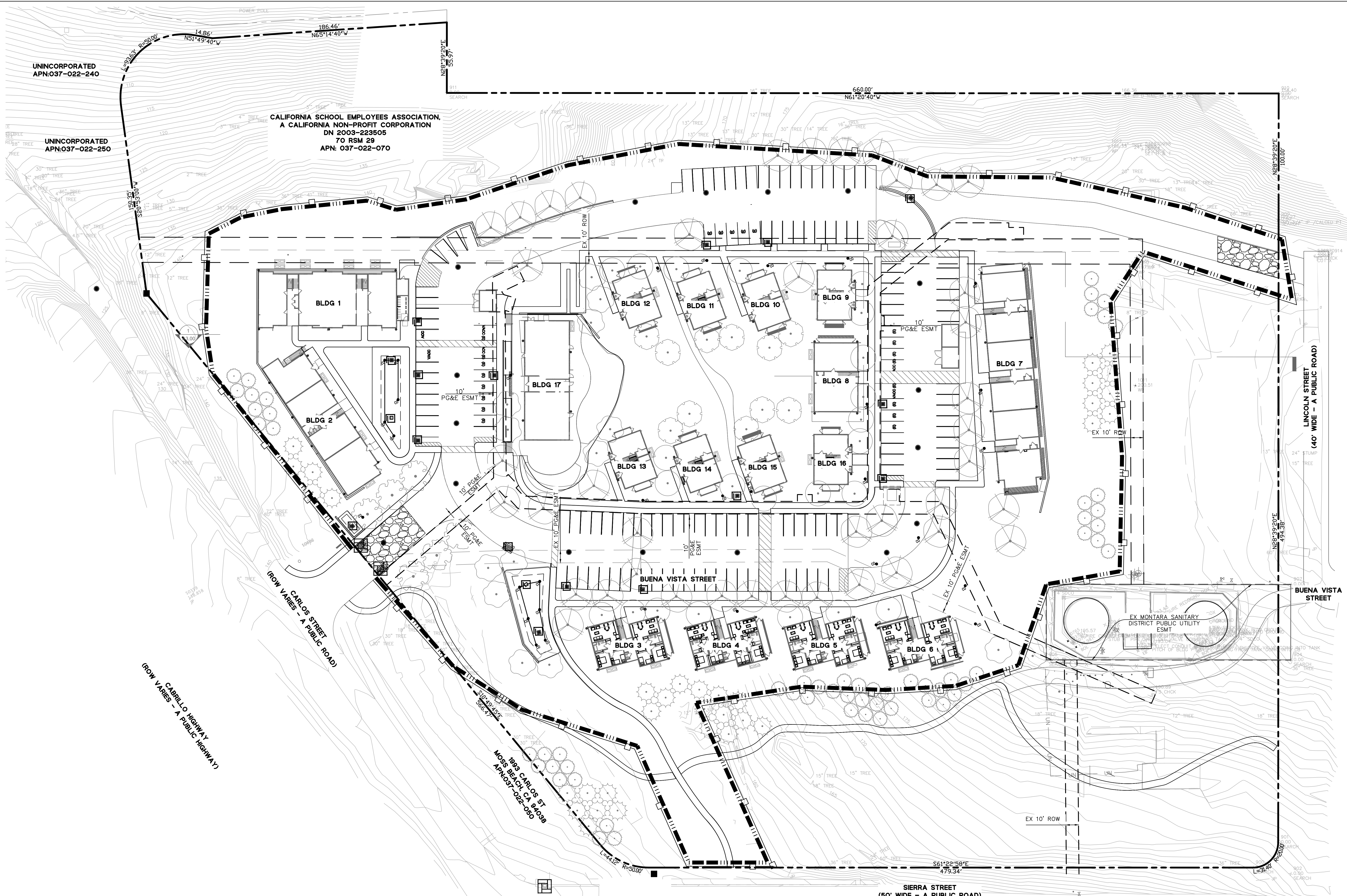
Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Residential	03/25/19
2	Master Planning	07/09/19
3	Central Development Plans	06/12/22

JOB NUMBER: C20160074
DRAWN BY: AC/CF
CHECKED BY: JD
DATE: 01/24/24
SCALE: AS SHOWN
TITLE: EROSION CONTROL PLAN

SHEET: **C8.0**
SHEET 13 OF 34



- NOTES:**
- SEE SHEET C1.0 FOR PROJECT BENCHMARK AND BASIS OF BEARINGS AND ABBREVIATIONS.
 - EXISTING UTILITIES AND SITE CONDITIONS SHOWN ON THIS PLAN SET ARE BASED ON AVAILABLE RECORD INFORMATION AND FIELD SURVEY. SHOULD FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN ON THESE PLANS, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTION AND CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES.
 - LOCATION AND INVERT INFORMATION FOR EXISTING DOMESTIC WATER, FIRE WATER, RECYCLED WATER, SANITARY SEWER, AND STORM DRAIN CONNECTIONS ARE APPROXIMATE AND BASED ON AVAILABLE RECORD INFORMATION. CONFIRM AND VERIFY EXISTING UTILITY TYPE, SIZE, MATERIAL, CONDITION, AND LOCATION, WHETHER SHOWN OR NOT ON THESE PLANS, PRIOR TO COMMENCING WORK.
 - NOTIFY UNDERGROUND SERVICE ALERT (USA) AT 1(800) 227-2600 AT LEAST 48 HOURS PRIOR TO COMMENCING WORK.

- LEGEND:**
- CATCH BASIN INLET PROTECTION, SEE DETAIL 2 ON SHEET C8.1
 - DROP INLET PROTECTION, SEE DETAIL 3 ON SHEET C8.1
 - STABILIZED CONSTRUCTION ENTRANCE, PER DETAIL 4 ON SHEET C8.1
 - CONSTRUCTION FENCE
 - FIBER ROLL PER DETAIL 1 ON SHEET C8.1

811
Know what's below.
Call before you dig.

LOCATION AND/OR ELEVATION OF EXISTING UTILITIES ARE UNKNOWN. CONTRACTOR SHALL FOTHOLE AND VERIFY THIS INFORMATION AND NOTIFY THE CIVIL ENGINEER OF ALL CONFLICTS WITH THE DESIGN PRIOR TO START OF CONSTRUCTION.

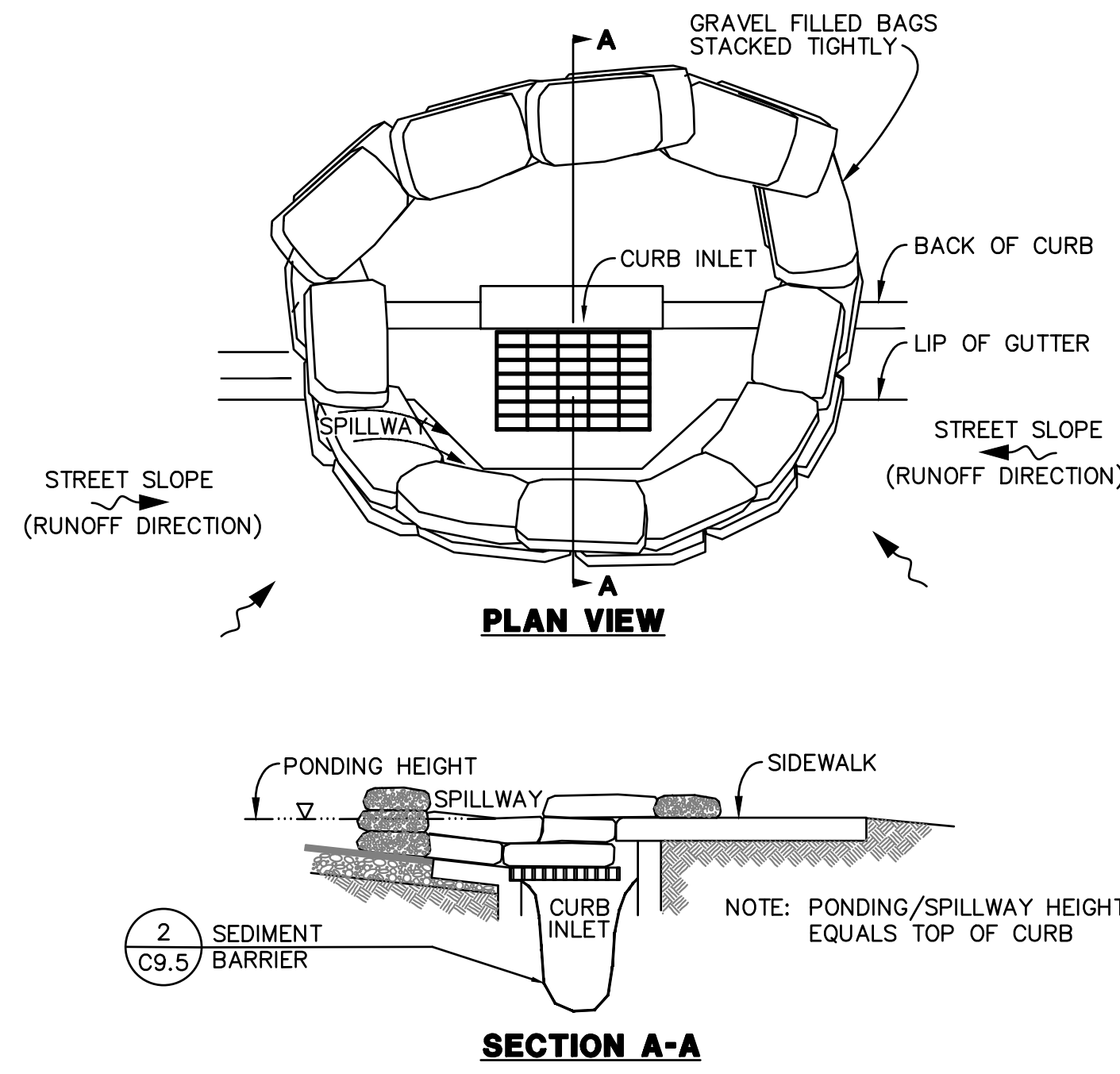
GRAPHIC SCALE
30 0 30 60

DRAWING NAME: \\bkr-c\c\data\2018\160074_moss_beach_housing\ENG\CDP\Sheets\C8.0 - EC.dwg
PLOT DATE: 01-09-24
PLOTTED BY: fe11

STAMP:

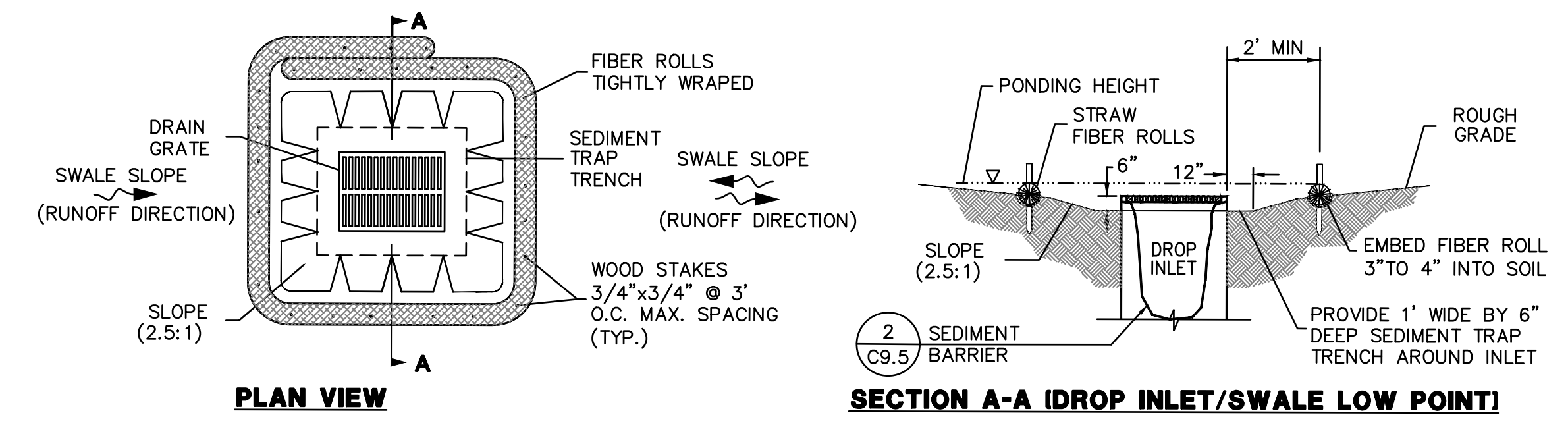
REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Re-submittal	03/25/19
2	Revised Matting	07/10/19
3	Contract Development Permit	06/21/22

JOB NUMBER:	C20160074
DRAWN BY:	AC/CF
CHECKED BY:	JD
DATE:	01/24/24
SCALE:	AS SHOWN
TITLE:	EROSION CONTROL DETAILS



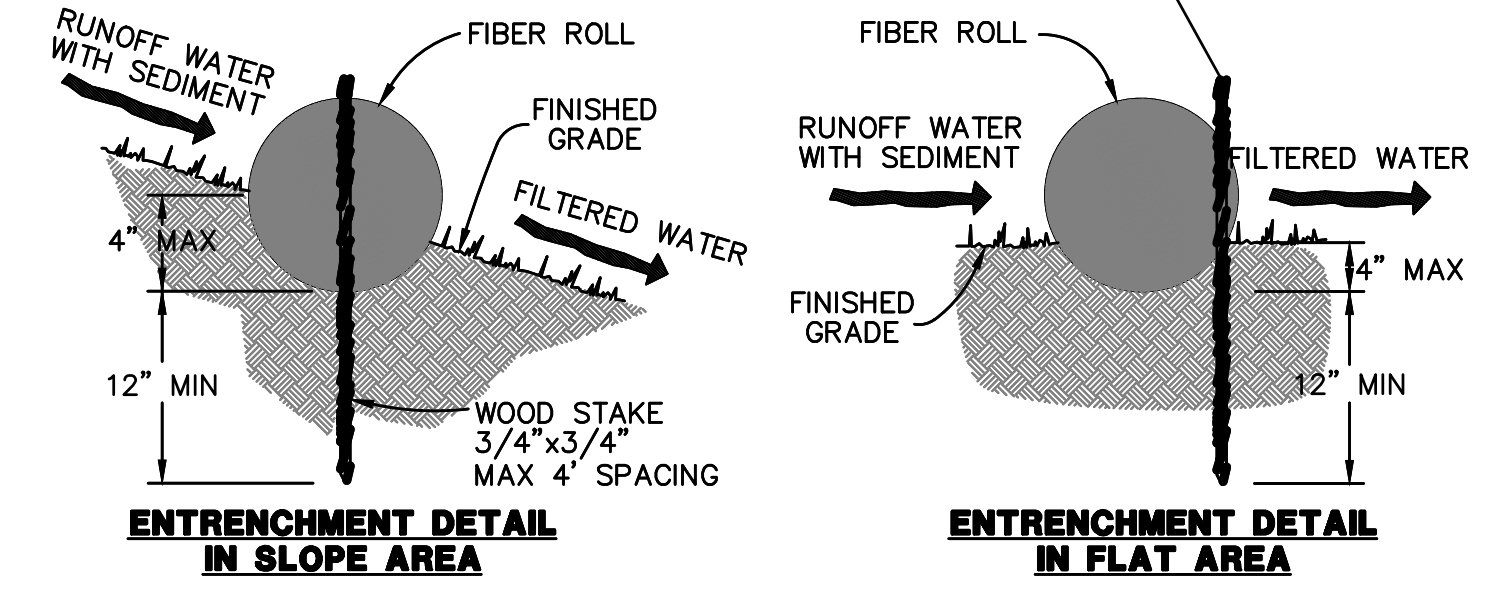
- NOTES:**
1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREETS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
 2. PERVIOUS BAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
 3. LEAVE ONE BAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY OVERFLOW. TOP OF SPILLWAY SHALL BE LOWER THAN TOP OF CURB.
 4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

2 CATCH BASIN INLET PROTECTION
NTS



- NOTES:**
1. PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH DROP INLET GRAVEL BAG PROTECTION AND CURB INLET GRAVEL BAG PROTECTION DETAILS SHOWN ON THIS SHEET. ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING, APPROX. 8" DIAMETER AND 20 TO 30 FEET LONG.
 2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" - 4" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
 3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
 4. TEMPORARY REMOVABLE TRASH RACK: IF SITE CONDITIONS WARRANT, PROVIDE AND INSTALL TRASH RACK MADE FROM GALVANIZED WELDED WIRE FABRIC WITH OPENING SIZE 2" BY 2" FORMED AND ATTACHED TO THE INLET TOP GRADE WITH STEEL WIRE TIES AND BURRY WELDED WIRE FABRIC 4" MINIMUM BELOW TEMPORARY ROUGH GRADE GROUND ELEVATION.

3 DROP INLET PROTECTION
NTS



- NOTES:**
1. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 4" DEEP, DUG ON CONTOUR.
 2. ADJACENT ROLLS SHALL TIGHTLY ABUT.
 3. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.

1 FIBER ROLL
NTS

FODS TRACKOUT CONTROL MAT
Technical Data Sheet

GENERAL INFORMATION

The FODS Composite trackout control system is designed to be used as a temporary construction entrance which provides site access while minimizing sediment leaving the site. The top surface of the FODS mat is a geometric pattern formed in the shape of pyramids. The mats are unidirectional and are meant to have the staggered pyramids in the direction of travel. Individual mats are connected together with hardware to form various configurations to fit your jobsite.

- Mat Size: 12'(w) x 7' (l) x 3.94" (t) (2.78" pyramid height)
- Mat Weight: 430lbs
- Pallet Size: 8-Mats
- Truck-Load: 96-Mats
- Hardware boxes are contained within the palletized mats

FEATURES & BENEFITS

- Re-Usable
- Increased Effectiveness at Reducing Site Trackout
- UV Stable
- Highly Visible
- Easy to Clean
- Economical
- Recyclable / Reduces Waste
- Extreme Durability
- Rapid Installation & Removal
- Excavation not required
- Chemical Resistant
- Rock-Resistant
- Reduces Waste
- Easy and efficient to transport from site-site

TYPICAL INSTALLATION LAYOUTS

Each site must be evaluated to determine the proper layout, width, and duration of the FODS Trackout Control System (FTCS) based site conditions, entry and exit areas, traffic levels, site soil conditions, and ability to the maintain trackout system. Outlined below are a number of common layouts, the mats are unidirectional and due to the versatility of the mats design the FTCS can be engineered to fit the needs of any site.

FODS 1x4, FODS 1x4T, FODS 2x4, FODS 1x7T, FODS 2x7

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4 STABILIZED CONSTRUCTION ENTRANCE/EXIT
NTS

FODS Trackout Control Mat - Technical Data Sheet

COMMON USERS

- Heavy Civil Construction
- Urban Construction / Urban In-Fill
- Bridge & Highway Projects
- Residential Construction
- Land Development
- Forestry
- Energy Exploration
- Oil & Gas Pipeline
- Electrical Power-line
- Temporary Event Access
- Landfill & Waste Management
- Mining

SUITABLE INSTALLATION SUBSTRATE

- Un-Excavated Soil
- Excavated Soil (Min CBR: 4)
- Asphalt
- Concrete

FODS Trackout Control System should be installed near the site exit point, as close to the location where vehicles enter the roadway as is safely as possible. FODS mats should not be installed at a low point on the site where water will pool.

FODS ANCHORING SYSTEMS

- Form-Stakes (8" or 24")
- Cable Earth Anchor
- All-Thread Earth Anchor
- Concrete Sleeve Anchor (asphalt)

CLEANING / MAINTENANCE

Mats should be cleaned once 2.5" of sediment has built up in the lane of travel.

- Slud-steer broom attachment
- FODS Shovel
- Street Sweeper (requires adjusted bristle head)
- Pressure Washer (must have ability to contain water)
- Water Truck (must have ability to contain water)

WARNINGS

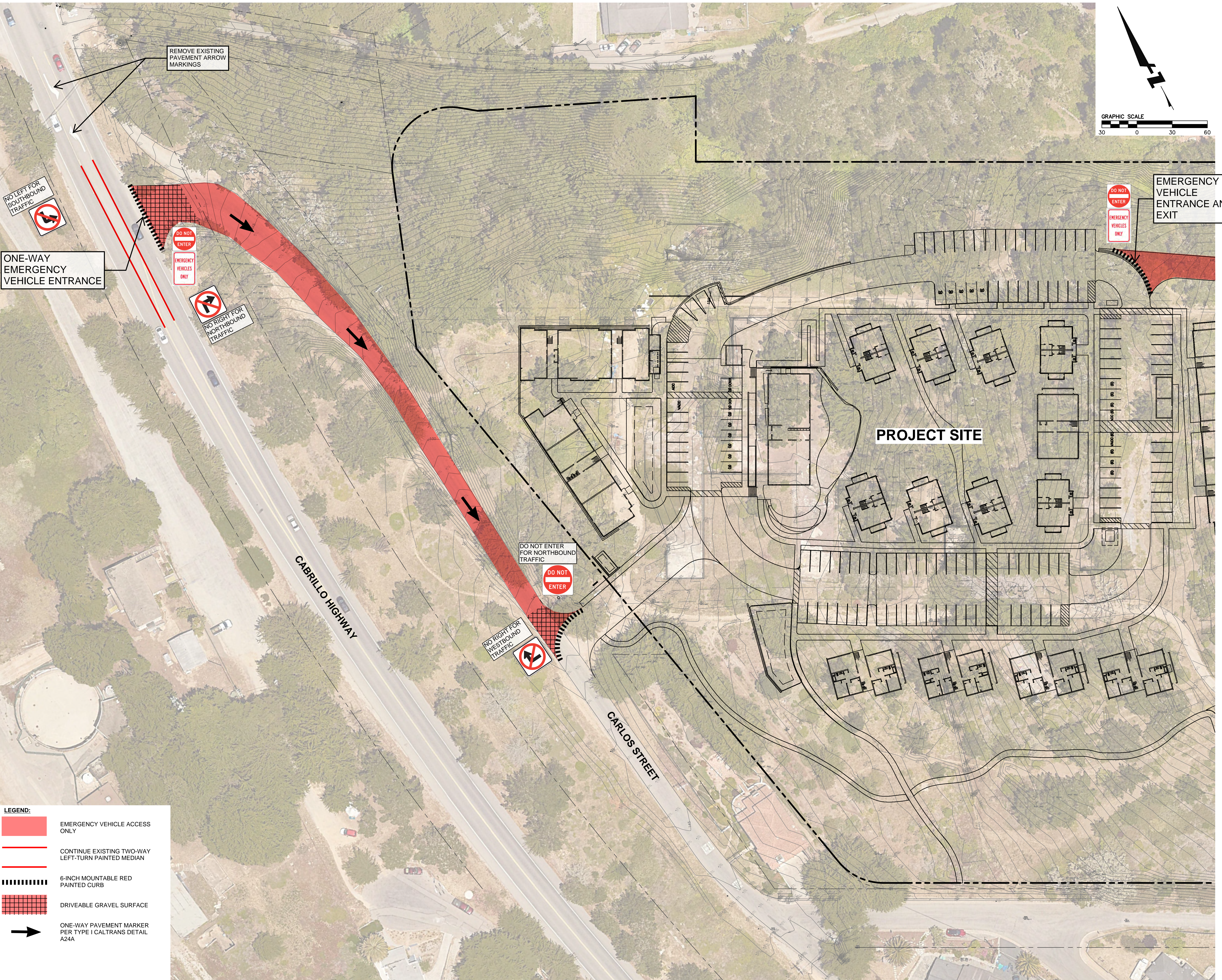
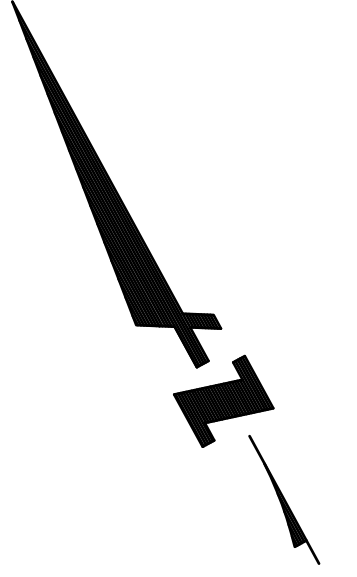
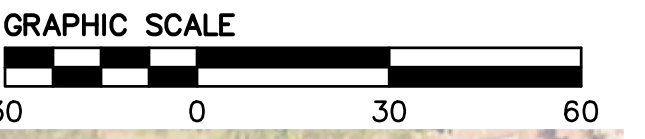
- Cushion is to be used when crossing mats with metal tracked equipment.
- Equipment with aggressive metal tracks should not cross mats.
- Do not drag metal equipment across mats.
- Do not use mats for bridging.




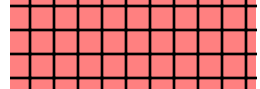
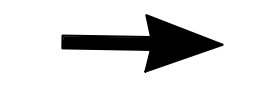
811 Before using earth anchors, call 811 for locates to mark underground utilities! Know what's below. Call before you dig.

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5 INLET SEDIMENT BARRIER
NTS

DRAWING NAME: \\bkr-c\c\data\2018\160074_moss_beach_haus\ing\ENG\CDP\Sheets\C8.0 - EC.dwg
PLOT DATE: 01-09-24 PLOTTED BY: fe11



- LEGEND:**
-  EMERGENCY VEHICLE ACCESS ONLY
 -  CONTINUE EXISTING TWO-WAY LEFT-TURN PAINTED MEDIAN
 -  6-INCH MOUNTABLE RED PAINTED CURB
 -  DRIVEABLE GRAVEL SURFACE
 -  ONE-WAY PAVEMENT MARKER PER TYPE 1 CALTRANS DETAIL A24A

CYPRESS POINT FAMILY COMMUNITY

Carlos Street, Moss Beach

STAMP:

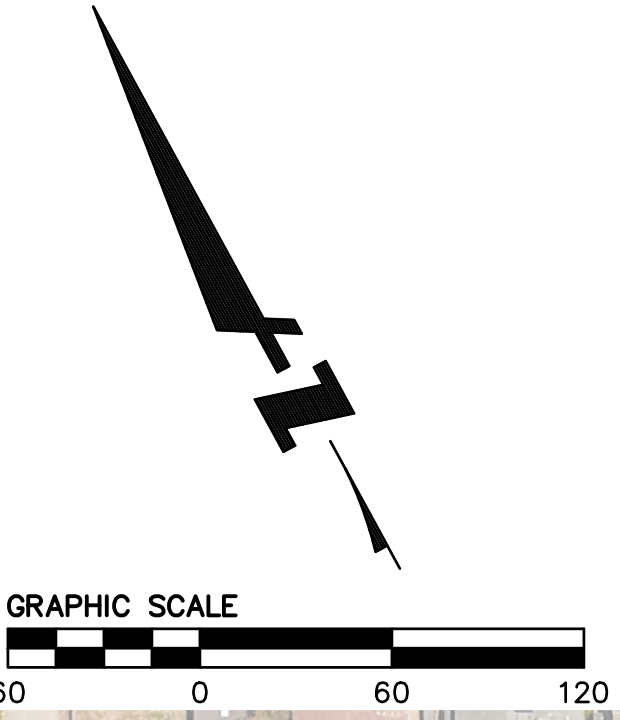
REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
2	Revised Plans	07/19/19
3	Final Developer Plans	06/12/22

JOB NUMBER: C20160074
 DRAWN BY: AC/CF
 CHECKED BY: JO
 DATE: 01/24/24
 SCALE: AS SHOWN

TITLE: OFFSITE IMPROVEMENTS

SHEET:
C9.0
 SHEET --- OF 34

DRAWING NAME: \\bkr-c\c\data\2016\160074_moss_beach_housing\ENG\CRP\Sheets\C9.0 - OFFSITE.dwg
PLOT DATE: 01-09-24 PLOTTED BY: fe11



LEGEND:

	PROPOSED SIDEWALK
	CLEAR/PLANE EXISTING SIDEWALK
	HIGH VISIBILITY CROSSWALK
	EMERGENCY VEHICLE ACCESS ONLY
	6-INCH MOUNTABLE RED PAINTED CURB
	CLASS III SHARROW (BOTH DIRECTIONS)
	STOP BAR AND STAMP
	STOP SIGN
	YIELD SIGN
	EXISTING BUS STOP
	BENCH BUS STOP
	ADVANCED YIELD MARKINGS
	CURB RAMP

DRAWING NAME: \\bkr-c\data\2018\160074_moss_beach_housing\ENG\CDP\Sheets\C9.0 - OFFSITE.dwg
 PLOT DATE: 01-09-24 PLOTTED BY: fe11

CYPRESS POINT FAMILY COMMUNITY

Carlos Street, Moss Beach

STAMP:

NO.	ISSUE	DATE
1	Planning Residential	03/25/19
2	Residential	07/09/19
3	Central Development Permit	06/12/22


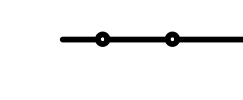
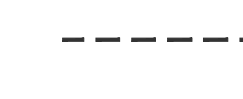

JOB NUMBER: C20160074
 DRAWN BY: AC/CF
 CHECKED BY: JO
 DATE: 01/24/24
 SCALE: AS SHOWN

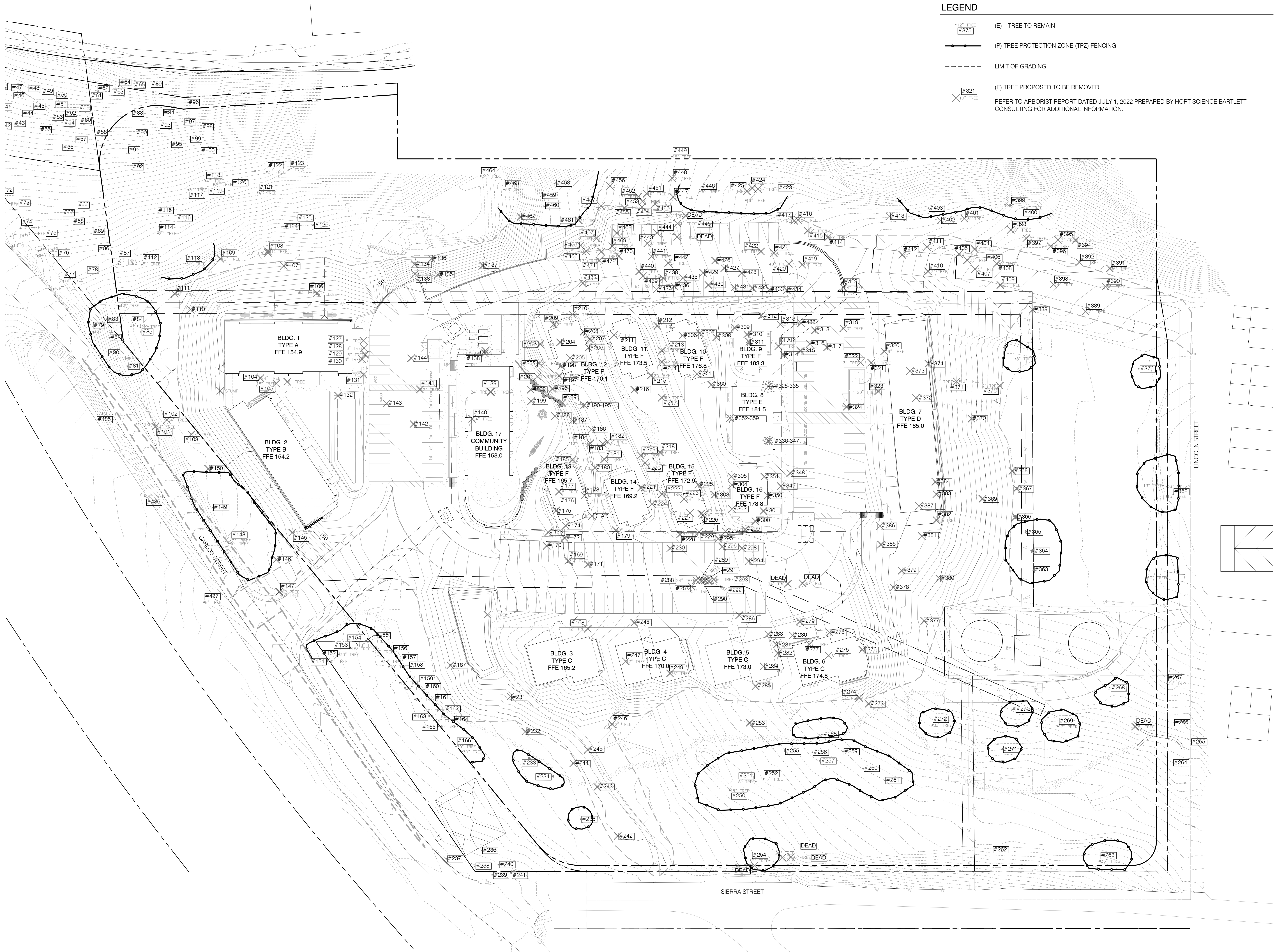
OFFSITE IMPROVEMENTS

SHEET:
C9.1
 SHEET --- OF 34

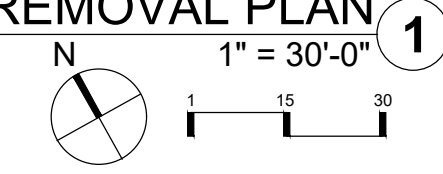
CYPRESS POINT FAMILY COMMUNITY
Carlos Street, Moss Beach

LEGEND

-  (E) TREE TO REMAIN
 -  (P) TREE PROTECTION ZONE (TPZ), FENCING
 -  LIMIT OF GRADING
 -  (E) TREE PROPOSED TO BE REMOVED
- REFER TO ARBORIST REPORT DATED JULY 1, 2022 PREPARED BY HORT SCIENCE BARTLETT CONSULTING FOR ADDITIONAL INFORMATION.



TREE PROTECTION AND REMOVAL PLAN 1



STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Revisions	03/20/20
2	As-built Dimensions	10/06/20
3	Adjusted Heights	01/10/20
4	Footprint Reduction	08/17/22
5	Tree Removal Updates	08/20/22
6	Reduce Site Slope	01/26/24

JOB NUMBER: 1603
DRAWN BY: OWMO
CHECKED BY: GL
DATE: 07/11/2023
SCALE: 1" = 30'-0"
TITLE: TREE PROTECTION AND REMOVAL PLAN

SHEET:

TPZ1.00

T:\PROJECTS\17_230_Pyatok_Moss_Beach\Drawings\MOSS BEACH LANDSCAPE.dwg, TPZ1.00, ENTITLEMENT, 01/12/2024 12:41:19 PM, DWG To PDF, p3, ARCH full bleed E1 (30.00 x 42.00 inches), 1:1

EXISTING TREE TO BE REMOVED

TREE NUMBER	SPECIES	TRUNK DIAMETER (INCHES)
101	MONTEREY CYPRESS	36
102	MONTEREY CYPRESS	16
103	MONTEREY CYPRESS	27
104	MONTEREY CYPRESS	22
105	MONTEREY PINE	24
106	MONTEREY CYPRESS	40,10,10,7,7,6,5
107	MONTEREY CYPRESS	14
108	MONTEREY CYPRESS	42
109	MONTEREY CYPRESS	48,36,26,20,18,17,16,12,12
110	MONTEREY PINE	10
111	MONTEREY CYPRESS	48
127	MONTEREY PINE	17
128	MONTEREY PINE	7
129	MONTEREY PINE	10
130	MONTEREY PINE	8,5
131	MONTEREY PINE	11,7
132	MONTEREY PINE	9
133	MONTEREY PINE	35,28,17
134	MONTEREY PINE	14,11
135	MONTEREY PINE	12
136	MONTEREY PINE	10
137	MONTEREY PINE	23
138	MONTEREY PINE	18
139	MONTEREY PINE	24
140	MONTEREY PINE	18
141	MONTEREY PINE	14
142	MONTEREY PINE	8
143	MONTEREY PINE	10,6,5
144	MONTEREY PINE	6
145	MONTEREY PINE	48,28,28,222,20
146	MONTEREY PINE	11
147	MONTEREY CYPRESS	28,17,13,10,10,8,8,8
150	MONTEREY PINE	16
167	ITALIAN STONE PINE	13,12,11,10
168	MONTEREY CYPRESS	19,19,15,14,14,13,12,12,10,9,7,7
169	MONTEREY CYPRESS	25
170	MONTEREY PINE	8
171	MONTEREY PINE	9
172	MONTEREY PINE	14
173	MONTEREY PINE	11
174	MONTEREY PINE	14
175	MONTEREY PINE	8
176	MONTEREY PINE	18
177	MONTEREY PINE	16
178	MONTEREY PINE	17
179	MONTEREY PINE	17
180	MONTEREY PINE	17
181	MONTEREY PINE	16
182	MONTEREY PINE	12
183	MONTEREY PINE	8
184	MONTEREY PINE	15
185	MONTEREY PINE	15
186	MONTEREY PINE	11
187	MONTEREY PINE	9
188	MONTEREY PINE	11
189	MONTEREY CYPRESS	21,16,15,15,14,10,10
190	MONTEREY PINE	15
191	MONTEREY PINE	8
192	MONTEREY PINE	10
193	MONTEREY PINE	14
194	MONTEREY PINE	14
195	MONTEREY PINE	13
196	MONTEREY PINE	11
197	MONTEREY PINE	15
198	MONTEREY CYPRESS	28,24,16,12,9
199	MONTEREY PINE	8
200	MONTEREY PINE	6
201	MONTEREY PINE	14,8
202	MONTEREY PINE	14
203	MONTEREY PINE	6
204	MONTEREY PINE	7
205	MONTEREY PINE	10
206	MONTEREY PINE	9
207	MONTEREY PINE	13
208	MONTEREY PINE	11
209	MONTEREY PINE	13
210	MONTEREY PINE	18
211	MONTEREY CYPRESS	24,24,22,18,13,13,12,8
212	MONTEREY PINE	9
213	MONTEREY PINE	16,11
214	MONTEREY PINE	17,15,8
215	MONTEREY CYPRESS	10,5,5,5,5
216	MONTEREY PINE	9
217	MONTEREY PINE	22,18
218	MONTEREY CYPRESS	60
219	MONTEREY PINE	12
220	MONTEREY PINE	9
221	MONTEREY CYPRESS	9,4,3,2
222	MONTEREY PINE	16,10,9,8,6
223	MONTEREY PINE	16
224	MONTEREY PINE	19
225	MONTEREY PINE	18
226	MONTEREY CYPRESS	18

227	MONTEREY CYPRESS	8
228	MONTEREY PINE	13
229	MONTEREY CYPRESS	17,7
230	MONTEREY PINE	8
231	MONTEREY PINE	13,9
232	MONTEREY PINE	7
243	MONTEREY PINE	10,9
242	ITALIAN STONE PINE	6
244	MONTEREY PINE	6,3
245	MONTEREY PINE	6
246	MONTEREY PINE	19
247	MONTEREY PINE	7,4
248	MONTEREY PINE	14,11
249	MONTEREY CYPRESS	19,18,12,12,7,6,6,5,4,4,4,4
253	MONTEREY PINE	21,11
273	MONTEREY PINE	22,13,11
274	MONTEREY PINE	26,10,6
275	MONTEREY PINE	25,9
276	MONTEREY PINE	9,8
277	MONTEREY PINE	20
278	MONTEREY PINE	6
279	MONTEREY PINE	8
280	MONTEREY PINE	11
281	MONTEREY PINE	7
282	MONTEREY PINE	7
283	MONTEREY PINE	7
284	MONTEREY PINE	22
285	MONTEREY PINE	10
286	MONTEREY CYPRESS	26,13,13,6,6
287	MONTEREY CYPRESS	38,30,28,26,13
288	MONTEREY CYPRESS	15,15
289	MONTEREY CYPRESS	22,20
290	MONTEREY CYPRESS	15
291	MONTEREY CYPRESS	14
292	MONTEREY CYPRESS	30,22,20
293	MONTEREY CYPRESS	34,30,28,27,24,12
294	MONTEREY CYPRESS	14
295	MONTEREY PINE	7
296	MONTEREY CYPRESS	6
297	MONTEREY CYPRESS	6,4
298	MONTEREY PINE	8
299	MONTEREY CYPRESS	7
300	MONTEREY CYPRESS	9
301	MONTEREY PINE	8
302	MONTEREY PINE	13
303	MONTEREY PINE	14
304	MONTEREY CYPRESS	38
305	MONTEREY PINE	22
306	MONTEREY PINE	7
307	MONTEREY CYPRESS	24
308	MONTEREY CYPRESS	29
309	MONTEREY CYPRESS	68
310	MONTEREY CYPRESS	25
311	MONTEREY CYPRESS	18,15,13,13,13,12,12,12
312	MONTEREY CYPRESS	20,13,6,6,6,5
313	MONTEREY PINE	15
314	MONTEREY CYPRESS	22,8,5,4
315	MONTEREY PINE	24
316	MONTEREY PINE	15
317	MONTEREY PINE	14
318	MONTEREY PINE	8
319	MONTEREY PINE	25
320	MONTEREY PINE	28
321	MONTEREY PINE	10
322	MONTEREY PINE	18
323	MONTEREY PINE	25
324	MONTEREY PINE	15,14,13
325	MONTEREY PINE	16
326	MONTEREY CYPRESS	15,14,7,6,4,4
327	MONTEREY CYPRESS	9,6
328	MONTEREY PINE	15
329	MONTEREY PINE	17
330	MONTEREY PINE	6
331	MONTEREY CYPRESS	6,5
332	MONTEREY CYPRESS	9,4
333	MONTEREY PINE	16
334	MONTEREY CYPRESS	8,5,5,4,3
335	MONTEREY PINE	21
336	MONTEREY PINE	9
337	MONTEREY CYPRESS	10
338	MONTEREY PINE	12
339	MONTEREY PINE	7
340	MONTEREY PINE	10
341	MONTEREY PINE	12
342	MONTEREY CYPRESS	20,10,7,7,6,6
343	MONTEREY CYPRESS	48,25,14,12,12
344	MONTEREY PINE	19
345	MONTEREY PINE	17
346	MONTEREY PINE	12
347	MONTEREY PINE	16
348	MONTEREY PINE	6
349	MONTEREY PINE	8
350	MONTEREY PINE	6
351	MONTEREY PINE	7
352	MONTEREY PINE	10
353	MONTEREY PINE	6
354	MONTEREY CYPRESS	7

355	MONTEREY PINE	12
356	MONTEREY PINE	16
357	MONTEREY CYPRESS	9,8,4
358	MONTEREY CYPRESS	9
359	MONTEREY PINE	7
360	MONTEREY PINE	10
361	MONTEREY CYPRESS	6
366	MONTEREY CYPRESS	7,6,4,4,3,3
367	MONTEREY CYPRESS	6,4,2,2
368	MONTEREY CYPRESS	52
369	MONTEREY PINE	18
370	MONTEREY PINE	12
371	MONTEREY PINE	20,18
372	MONTEREY PINE	8,7,5
373	MONTEREY PINE	10
374	MONTEREY PINE	9
375	MONTEREY PINE	24
377	MONTEREY PINE	6,3
378	MONTEREY PINE	22,9,8,6,6
379	MONTEREY PINE	12
380	MONTEREY PINE	22
381	MONTEREY PINE	9
382	MONTEREY PINE	24
383	MONTEREY PINE	6
384	MONTEREY PINE	7
385	MONTEREY PINE	6
386	MONTEREY PINE	7
387	MONTEREY PINE	6
388	MONTEREY PINE	7
389	MONTEREY PINE	34,18,17,12,10
390	MONTEREY PINE	36
391	MONTEREY PINE	36
392	MONTEREY PINE	13
393	MONTEREY PINE	26
394	MONTEREY PINE	17
395	MONTEREY PINE	16
396	MONTEREY PINE	17
397	MONTEREY PINE	25
398	MONTEREY PINE	19
401	MONTEREY PINE	13
402	MONTEREY PINE	26
404	MONTEREY PINE	13
405	MONTEREY PINE	19
406	MONTEREY PINE	17
407	MONTEREY PINE	19,10,7
408	MONTEREY PINE	20
409	MONTEREY PINE	24
410	MONTEREY PINE	16
411	MONTEREY PINE	10
412	MONTEREY PINE	40
413	MYOPORUM	10
414	MONTEREY PINE	45
415	MONTEREY PINE	14
416	MONTEREY PINE	27
417	MONTEREY PINE	17
418	MONTEREY PINE	22
419	MONTEREY PINE	35
420	MONTEREY PINE	44
421	MONTEREY PINE	38
422	MONTEREY PINE	25,16
423	MONTEREY PINE	38
424	MONTEREY PINE	15
425	MONTEREY PINE	28
426	MONTEREY PINE	-
427	MONTEREY PINE	6
428	MONTEREY PINE	8
429	MONTEREY PINE	7
430	MONTEREY CYPRESS	8
431	MONTEREY PINE	10
432	MONTEREY PINE	7
433	MONTEREY CYPRESS	8
434	MONTEREY PINE	7
435	MONTEREY PINE	18
436	MONTEREY CYPRESS	8
437	MONTEREY PINE	9
438	MONTEREY CYPRESS	24,18,15,12,12,6,6,6
439	MONTEREY PINE	20
440	MONTEREY CYPRESS	19
441	MONTEREY CYPRESS	15
442	MONTEREY PINE	16
443	MONTEREY PINE	23
444	MONTEREY PINE	16
445	MONTEREY PINE	10
447	MONTEREY PINE	30
448	MONTEREY PINE	13
450	MONTEREY PINE	10
451	MONTEREY PINE	14
452	MONTEREY PINE	18
453	MONTEREY PINE	6
454	MONTEREY PINE	8
455	MONTEREY PINE	18
456	MONTEREY PINE	18
457	MONTEREY PINE	33,28,24
461	MONTEREY PINE	23
462	MONTEREY PINE	45
465	MONTEREY PINE	17
466	MONTEREY PINE	24
467	MONTEREY PINE	12

467	MONTEREY PINE	12
468	MONTEREY PINE	18
469	MONTEREY PINE	16
470	MONTEREY PINE	8
471	MONTEREY PINE	18
472	MONTEREY PINE	9
473	MONTEREY PINE	6
488	MONTEREY PINE	18

TREE SUMMARY:
 PROPOSED NUMBER OF EXISTING TREES TO REMAIN: 193
 PROPOSED NUMBER OF EXISTING TREES TO BE REMOVED: 295

REFER TO ARBORIST REPORT DATED JULY 1, 2022 PREPARED BY HORT SCIENCE BARTLETT CONSULTING FOR ADDITIONAL INFORMATION.

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CYPRESS POINT FAMILY COMMUNITY

Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Revisions	03/09/20
2	As-built Dimensions	10/06/20
3	Adjusted Heights	01/10/20
4	Footprint Reduction	09/17/22
5	New Removal System	05/02/23
6	Reduce Site Scope	01/06/24

JOB NUMBER: 1603

DRAWN BY: OWMO

CHECKED BY: GL

DATE: 07/11/2023

SCALE:

TITLE:

TREE REMOVAL LIST

SHEET:

TPZ1.01

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CYPRESS POINT FAMILY COMMUNITY

Carlos Street, Moss Beach

TREE PROTECTION ZONE NOTICE TEMPLATE

**TREE
PRESERVATION
AREA – KEEP
OUT**

TREE PROTECTION ZONE FENCING MUST REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PERIOD
FENCING MUST NOT BE MOVED OR DISMANTLED WITHOUT THE NOTIFICATION OF THE PROJECT MANAGER AND THE WRITTEN CONSENT OF THE PROJECT ARBORIST

TREE PROTECTION AND REMOVAL NOTES

- A TREE PRESERVATION ZONE (TPZ) SHALL BE ESTABLISHED AS SHOWN ON PLAN AND AS VERIFIED IN THE FIELD WITH OWNER'S REPRESENTATIVE OR PROJECT ARBORIST. PROJECT ARBORIST MUST INSPECT AND DOCUMENT THE INSTALLATION OF TREE PROTECTION BEFORE ANY EQUIPMENT COMES ON SITE.
- TREE PROTECTION ZONE FENCING - FENCE HEIGHT TO BE 6 FEET AND MUST COMPRISE OF STEEL CHAIN-LINK CONSTRUCTION, ATTACHED TO STEEL POSTS DRIVEN INTO THE GROUND. LAMINATED TREE PROTECTION NOTICES MUST BE ATTACHED TO TPZ FENCES AT DISTANCES OF EVERY 10-FEET (SEE TREE PROTECTION ZONE NOTICE TEMPLATE ABOVE). ALL CONSTRUCTION ACTIVITIES MUST BE EXCLUDED FROM FENCED TREE PROTECTION ZONES. THESE FENCES MUST NOT BE DISMANTLED OR MOVED AT ANY TIME DURING THE CONSTRUCTION PERIOD, WITHOUT FIRST OBTAINING THE CONSENT OF THE OWNERS REPRESENTATIVE OR PROJECT ARBORIST.
- CONTRACTOR TO SUBMIT SCHEDULE OF TREE PROTECTION FENCE INSTALLATION AND REMOVAL FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO FENCE INSTALLATION OR REMOVAL.
- VEHICLES AND EQUIPMENT MUST BE EXCLUDED FROM TREE PROTECTION ZONES. NO MATERIALS, TOOLS, DEBRIS, EXCESS SOIL, CHEMICALS, OR WASTE PRODUCTS MAY BE STORED OR DISPOSED OF WITHIN THESE PROTECTED AREAS. SOLVENTS, LIQUIDS, CONCRETE WASH-OFF, OR ANY TYPE OF DEBRIS SHOULD BE DISPOSED OF PROPERLY, NEVER WITHIN THIS PROTECTED AREA.
- ALL TRENCHING NEAR EXISTING TREES TO REMAIN SHALL BE HAND DUG AND REVIEWED BY OWNER'S REPRESENTATIVE OR PROJECT ARBORIST.
- NO SOIL COMPACTION SHALL OCCUR WITHIN THE TPZ. SOIL SURFACE WITHIN THE TPZ SHALL BE MULCHED WITH A 4-INCH LAYER OF AGED WOOD CHIPS AND SET BACK 9-INCHES FROM TRUNKS AT GRADE. WOOD CHIP MULCH SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO ORDERING. SUBMIT MULCH SAMPLES TO OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- NATURAL GRADE AROUND TPZ SHALL BE MAINTAINED. NO ADDITIONAL FILL OR EXCAVATION WILL BE PERMITTED WITHIN AREAS OF TREE ROOT DEVELOPMENT.
- UNAUTHORIZED PRUNING OF ANY TREE SHALL NOT BE ALLOWED. IF ANY TREE CANOPY ENCLOSED ON THE PROJECT AREA, THE REQUIRED PRUNING WILL BE DONE WITH AUTHORITY OF OWNER'S REPRESENTATIVE OR PROJECT ARBORIST AND TO INTERNATIONAL SOCIETY OF ARBORICULTURE GUIDELINES (ISA) AND AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.
- PROVIDE TEMPORARY IRRIGATION TO ALL TREES WITHIN THE FENCED AREA. CONTRACTOR TO PROVIDE WATERING SCHEDULE FOR OWNER'S REPRESENTATIVE REVIEW AND APPROVAL. WATERING SCHEDULE TO BE SUBMITTED FOR APPROVAL TEN (10) CALENDAR DAYS BEFORE CONSTRUCTION START DATE AND CONTINUE THROUGHOUT CONSTRUCTION UNTIL FINAL SIGN OFF BY OWNER'S REPRESENTATIVE.
- CONTRACTOR TO REMOVE TREES AS SHOWN ON THE PLAN. PRIOR TO REMOVAL, CONTRACTOR TO CLEARLY MARK TREES AND WALK SITE WITH OWNER'S REPRESENTATIVE TO VERIFY TREES TO BE REMOVED.
- CONTRACTOR TO FULLY REMOVE AND GRIND OR DIG OUT ALL STUMPS OF TREES TO BE REMOVED.
- TREE PROTECTION FENCING TO BE REMOVED BY CONTRACTOR AFTER COMPLETION OF CONSTRUCTION AND AS DIRECTED BY OWNER'S REPRESENTATIVE.
- REFER TO CIVIL PLANS FOR EROSION CONTROL INFORMATION.
- REFER TO CIVIL PLANS FOR GRADING AND DRAINAGE INFORMATION.

ARBORIST'S INSPECTION SCHEDULE

- THE PROJECT ARBORIST MUST ATTEND A PRE-CONSTRUCTION MEETING WITH THE GENERAL CONTRACTOR AND THE GRADING CONTRACTOR BEFORE ANY SITE WORK PROCEEDS IN ORDER TO DISCUSS TREE PROTECTION REQUIREMENTS. THE PROJECT ARBORIST MUST ALSO BE NOTIFIED CONCERNING SCHEDULED SITE MEETINGS THROUGHOUT THE CONSTRUCTION PERIOD.
- TREE PROTECTION ZONE FENCING MUST BE INSTALLED AND APPROVED OF BY THE PROJECT ARBORIST BEFORE ANY EQUIPMENT COMES ON SITE AND ANY SITE WORK PROCEEDS.
- THE PROJECT ARBORIST MUST PROVIDE SUPERVISION AND OVERSIGHT IN THE EVENT THAT ANY GRADING, EXCAVATION OR TRENCHING WORK WILL ENCROACH WITHIN THE TREE PROTECTION ZONES DEFINED BY TPZ FENCES. THE PROJECT ARBORIST MUST PROVIDE DIRECTION AND SUPERVISION CONCERNING REQUIRED ROOT PRESERVATION AND ROOT PRUNING MEASURES.
- THE PROJECT ARBORIST MUST PROVIDE SUPERVISION AND OVERSIGHT CONCERNING ALL CONSTRUCTION DISTURBANCES THAT ENROACH WITHIN THE CRITICAL ROOT ZONES AREAS OF PROTECTED TREES (AS DEFINED BY THEIR CANOPY DRIP LINE PERIMETERS OR THEIR TRUNK DIAMETER MEASUREMENTS).
- THE PROJECT ARBORIST MUST BE NOTIFIED IN THE EVENT THAT SIGNIFICANT ROOT, 2-INCH DIAMETER OR LARGER, ARE FOUND DURING ANY GRADING, TRENCHING, AND CONSTRUCTION ACTIVITIES. THE WORK SHALL STOP, ROOTS SHALL BE COVERED WITH BURLAP OR MULCH, AND OWNER'S REPRESENTATIVE OR PROJECT ARBORIST CONTACTED TO PROVIDE RECOMMENDATIONS ON ROOT CUTTING AND TREATMENT OF IMPACTED ROOTS PRIOR TO CONTINUING WORK.
- PROJECT ARBORIST TO PROVIDE GUIDANCE AND SUPERVISION PERTAINING TO REQUIRED TREE PRUNING WORK. MEET WITH THE APPROVED TREE SERVICE PROVIDER TO DISCUSS THE REQUIRED SCOPE OF WORK AND PROVIDE INSPECTIONS AND OVERSIGHT AS NEEDED.

STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Revisions	03/26/24
2	As-built Dimensions	10/08/24
3	Adjusted Heights	01/10/25
4	Footprint Reduction	09/17/22
5	New Removal Systems	03/25/21
6	Reduce Site Scope	01/26/24

JOB NUMBER: 1603
DRAWN BY: OWMO
CHECKED BY: GL
DATE: 07/11/2023
SCALE:

TITLE:
TREE PROTECTION NOTES

SHEET:

TPZ1.02



NOTES:
 1. ALL LIGHTING TO BE DARK SKY, SHIELDED, AND DOWNWARD DIRECTED.
 2. REFER TO SHEET L1.03 FOR PLANT LIST.

- LEGEND**
- EXISTING TREE
 - ENTRY TREE
 - PARKING LOT SHADE TREE
 - BUILDING ENTRY TREE
 - EVERGREEN SCREENING
 - ACCENT TREE
 - NATIVE TREE
 - GROUNDCOVER AND SHRUBS
 - DETENTION BASINS
 - SLOPE PLANTING - SEE CIVIL DRAWINGS FOR EROSION CONTROL

TREE SUMMARY:

1. PROPOSED NUMBER OF EXISTING TREES TO BE PRESERVED: 193
2. PROPOSED NUMBER OF NEW TREES TO BE PLANTED: 190
3. FINAL PROPOSED TREE COUNT WILL FOLLOW COUNTY REQUIREMENT FOR REPLACEMENT.

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KEY NOTES

- | SYMBOL | DESCRIPTION |
|--------|--|
| 1 | CYPRESS POINT ENTRY DRIVE |
| 2 | BIORETENTION AREA |
| 3 | PLAY STRUCTURE |
| 4 | SYNTHETIC TURF OR ALTERNATIVE PLAY SURFACE |
| 5 | BICYCLE PARKING, SEATING, AND BBQ AREA |
| 6 | BOULDER RETAINING WALL (LESS THAN 30' HIGH) |
| 7 | CONCRETE RETAINING WALL (LESS THAN 30 INCHES) |
| 8 | LOW MAINTENANCE PLANTING ON TERRACED SLOPE - NATIVE TREES, SHRUBS, AND GRASSES |
| 9 | STAIRS WITH HANDRAILS |
| 10 | COMMUNITY GARDEN WITH FENCE, RAISED BEDS, AND COMPOST AREA |
| 11 | WASTE ENCLOSURE AND BICYCLE PARKING (2 TOTAL) |
| 12 | NOTE NOT USED |
| 13 | EXISTING GRAVEL ACCESS ROAD |
| 14 | EXISTING WATER TANKS AND FENCE TO BE PROTECTED IN PLACE |
| 15 | TRAIL - CLEARED DIRT NON-ACCESSIBLE FOOT PATH AROUND SITE WITH MINIMAL GRADING |
| 16 | PARKING LOT - ASPHALT PAVING, SEE CIVIL DRAWINGS |
| 17 | ACCESSIBLE CROSSING |
| 18 | CONCRETE PATH TO SIERRA STREET |
| 19 | EMERGENCY VEHICLE ROUTE (ASPHALT PAVING) |
| 20 | DECOMPOSED GRANITE PATH WITH BENCH |
| 21 | RAMPS WITH HANDRAILS AND LANDINGS |
| 22 | APPROXIMATE LOCATION OF EXISTING TRAIL |

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STAMP:

NO.	ISSUE	DATE
1	Planning Revisions	02/01/19
2	Added Dimensions	10/06/20
3	Adjusted Heights	01/10/20
4	Footprint Revisions	03/17/22
5	New Natural Systems	05/02/23
6	Revised Site Slope	01/04/24

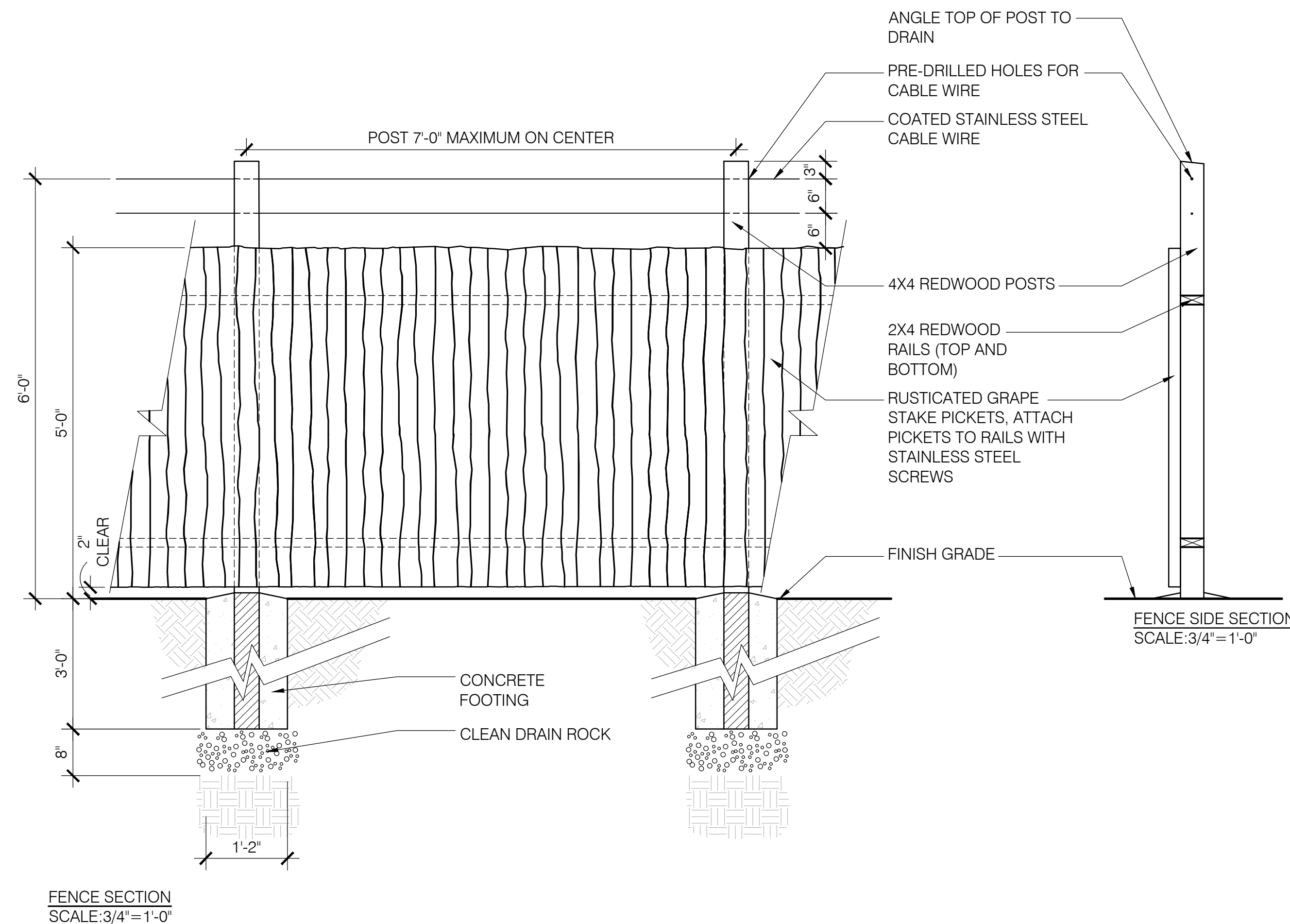
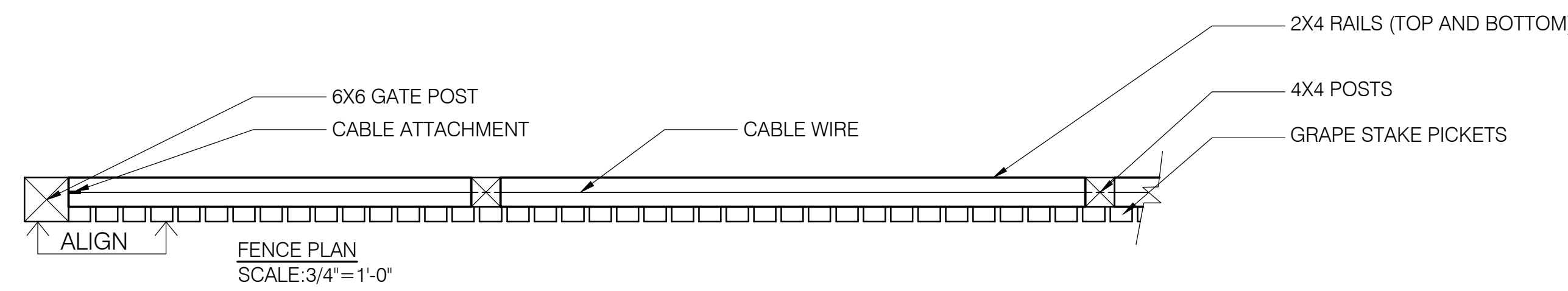
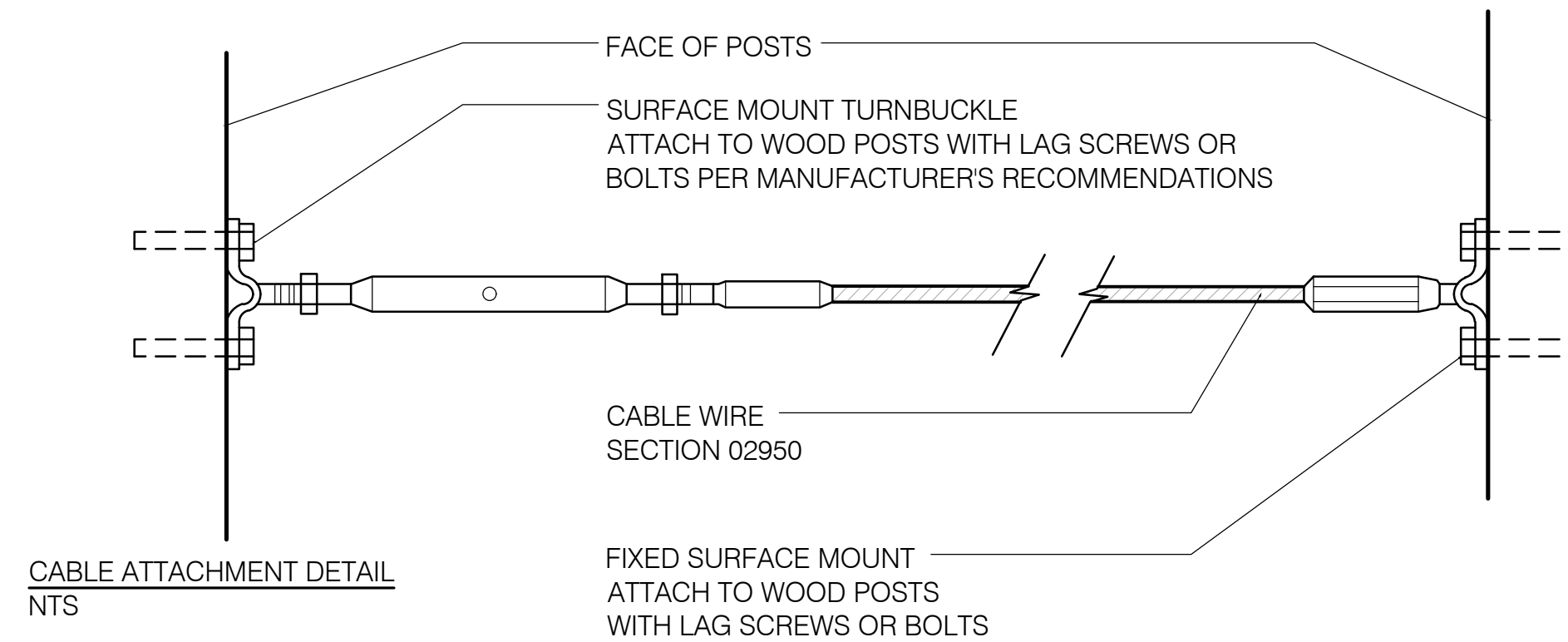
JOB NUMBER: 1603
 DRAWN BY: OWM/O
 CHECKED BY: GL
 DATE: 06/21/2022
 SCALE: 1" = 30'-0"
 TITLE: OVERALL LANDSCAPE SITE PLAN

SHEET:
L1.00

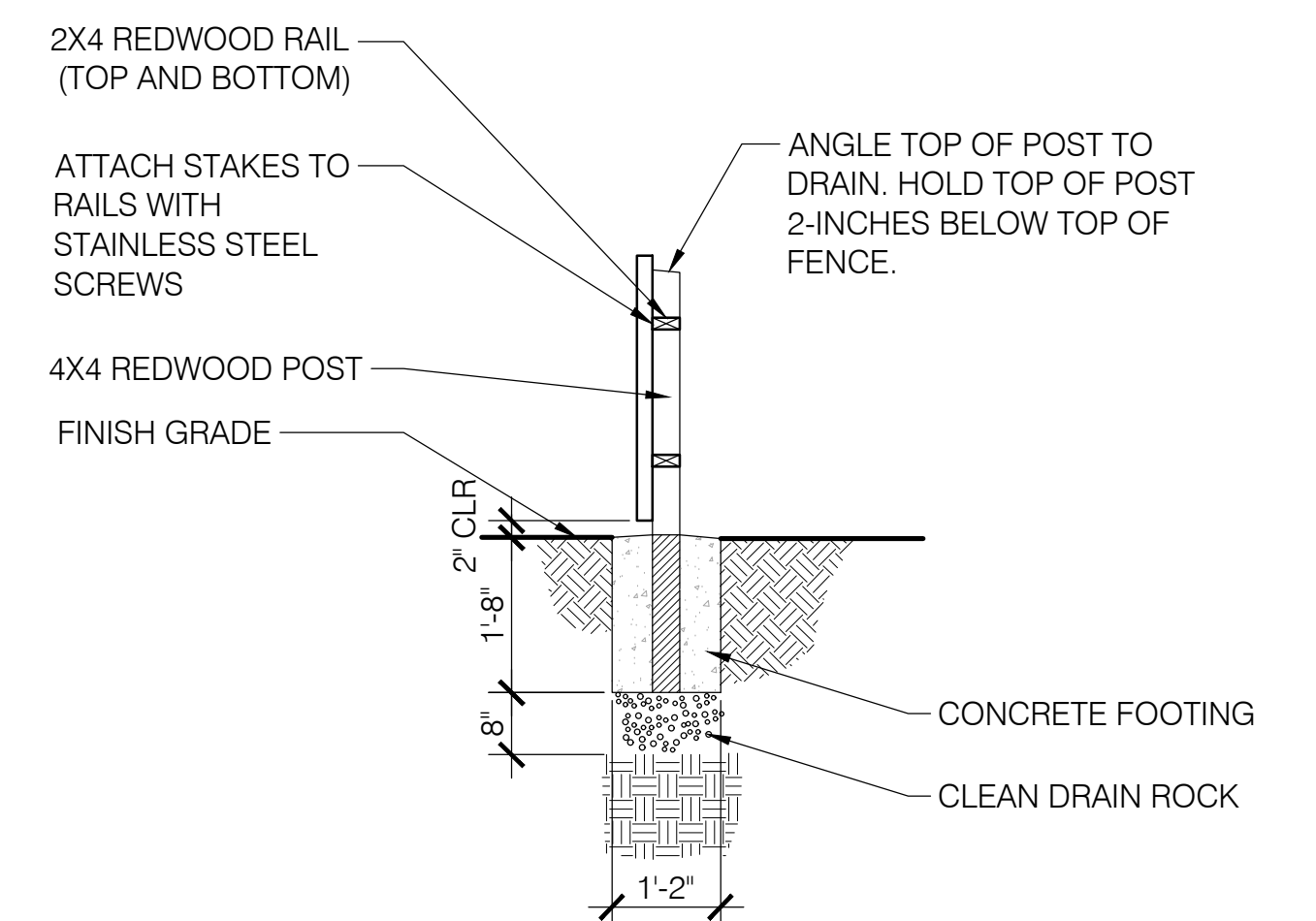
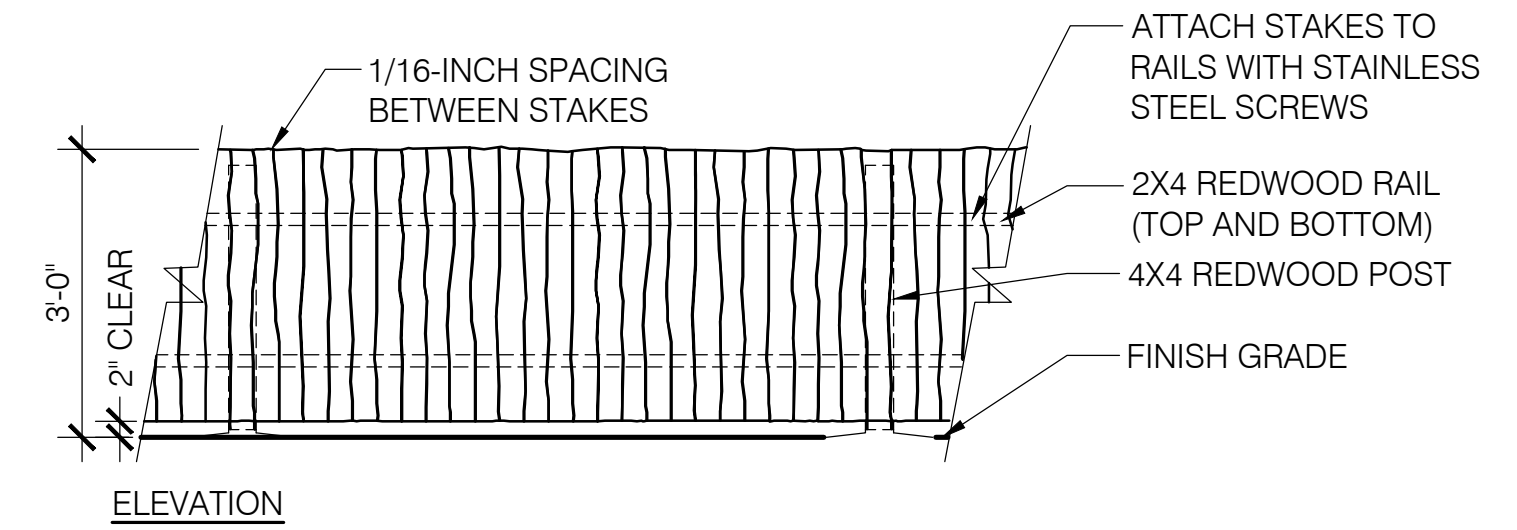
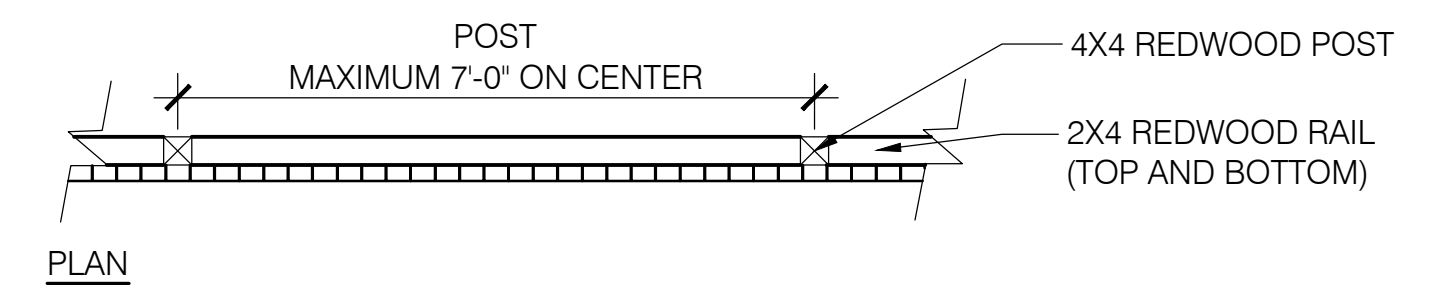
SITE PLAN
 1" = 30'-0"

CYPRESS POINT FAMILY COMMUNITY
Carlos Street, Moss Beach

- NOTES:
1. ALL HARDWARE AND ATTACHMENTS TO BE HOT-DIP GALVANIZED OR STAINLESS STEEL AS NOTED.
 2. SINGLE-SIDED: ATTACH PICKETS TO OUTSIDE/STREET-SIDE FACE OF RAILS.
 3. PROVIDE GRAPE STAKE SAMPLES FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL.
 4. FLAG LOCATION IN FIELD FOR REVIEW WITH LANDSCAPE ARCHITECT.
 5. STAKES TO BE ROUGH EDGE. KEEP TOP AND BOTTOM OF STAKES LEVEL AND CLEAN CUT.



- NOTES:
1. ALL HARDWARE AND ATTACHMENTS TO BE HOT-DIP GALVANIZED OR STAINLESS STEEL AS NOTED.
 2. SINGLE-SIDED: ATTACH PICKETS TO OUTSIDE/STREET-SIDE FACE OF RAILS.
 3. PROVIDE GRAPE STAKE SAMPLES FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL.
 4. FLAG LOCATION IN FIELD FOR REVIEW WITH LANDSCAPE ARCHITECT.
 5. STAKES TO BE ROUGH EDGE. KEEP TOP AND BOTTOM OF STAKES LEVEL AND CLEAN CUT.



STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Plotting Revisions	03/29/20
2	As-Built Dimensions	10/06/20
3	Adjusted Heights	01/10/21
4	Footprint Reduction	09/17/22
5	New Removal Systems	09/20/21
6	Reduce Site Slope	01/04/24

JOB NUMBER: 1603
DRAWN BY: OWMO
CHECKED BY: GL
DATE: 06/21/2022
SCALE: AS NOTED

TITLE: LANDSCAPE MATERIALS DETAILS

SHEET:

L1.01

T:\PROJECTS\17_230_Pyatok-Moss_Beach\Drawings\MOSS BEACH DETAILS\ENTITLEMENTS.dwg, L1.01, 01/12/2024, 12:41:22 PM, DWG To PDF.pc3, ARCH Full bleed ET (30.00 x 42.00 inches), 1:1

STAMP:

NO.	ISSUE	DATE
1	Planning Revisions	03/26/19
2	As-Built Dimensions	10/06/20
3	Adjusted Heights	01/10/20
4	Footprint Reduction	09/17/22
5	New Removal Locations	03/25/23
6	Refine Site Scope	01/26/24

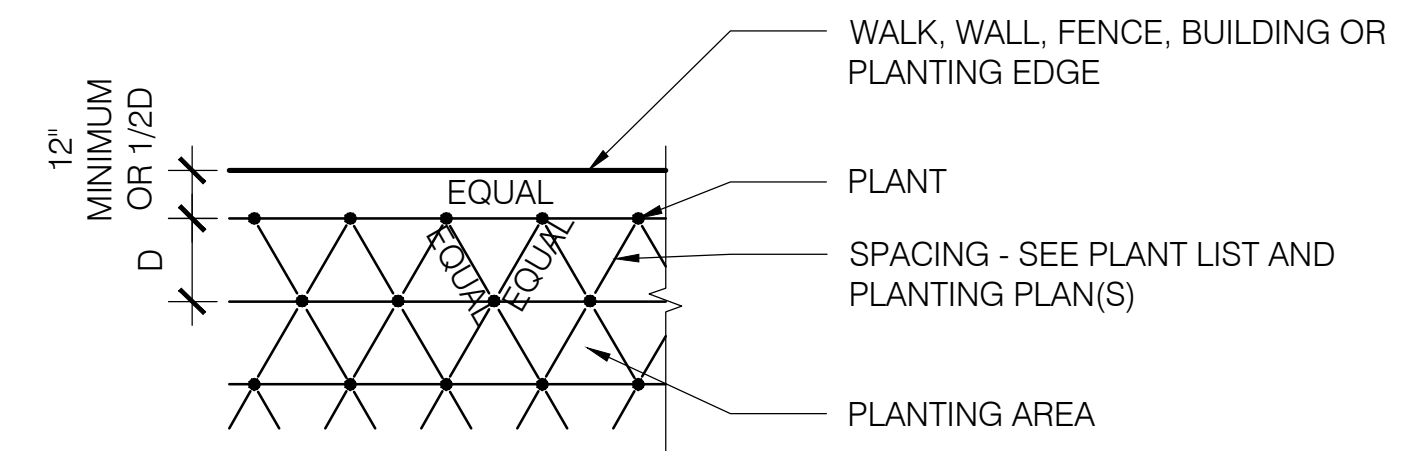
JOB NUMBER: 1603
DRAWN BY: OWM/O
CHECKED BY: GL
DATE: 06/21/2022
SCALE: AS NOTED

TITLE:
PLANTING DETAILS

SHEET:

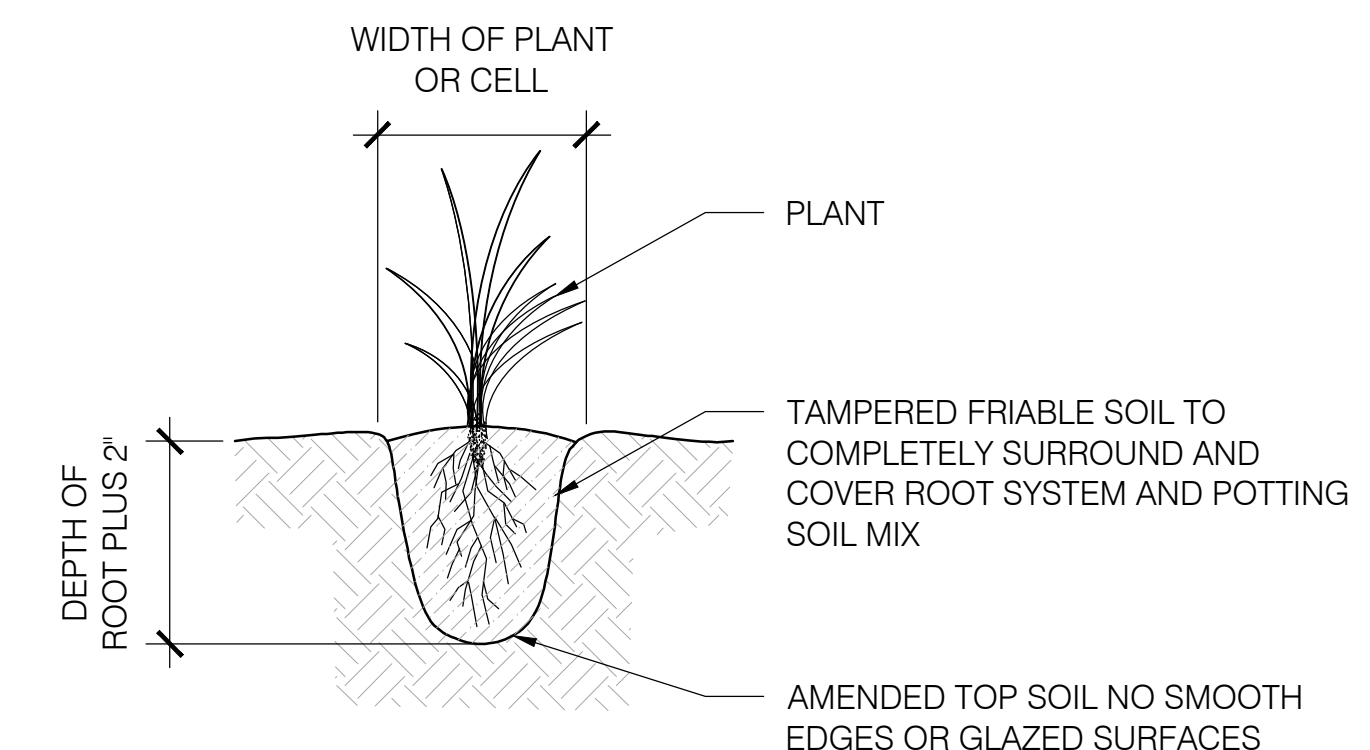
L1.02

NOTE:
1. "D" REFERS TO ON-CENTER SPACING AS SHOWN ON DRAWINGS AND ON PLANT LIST.

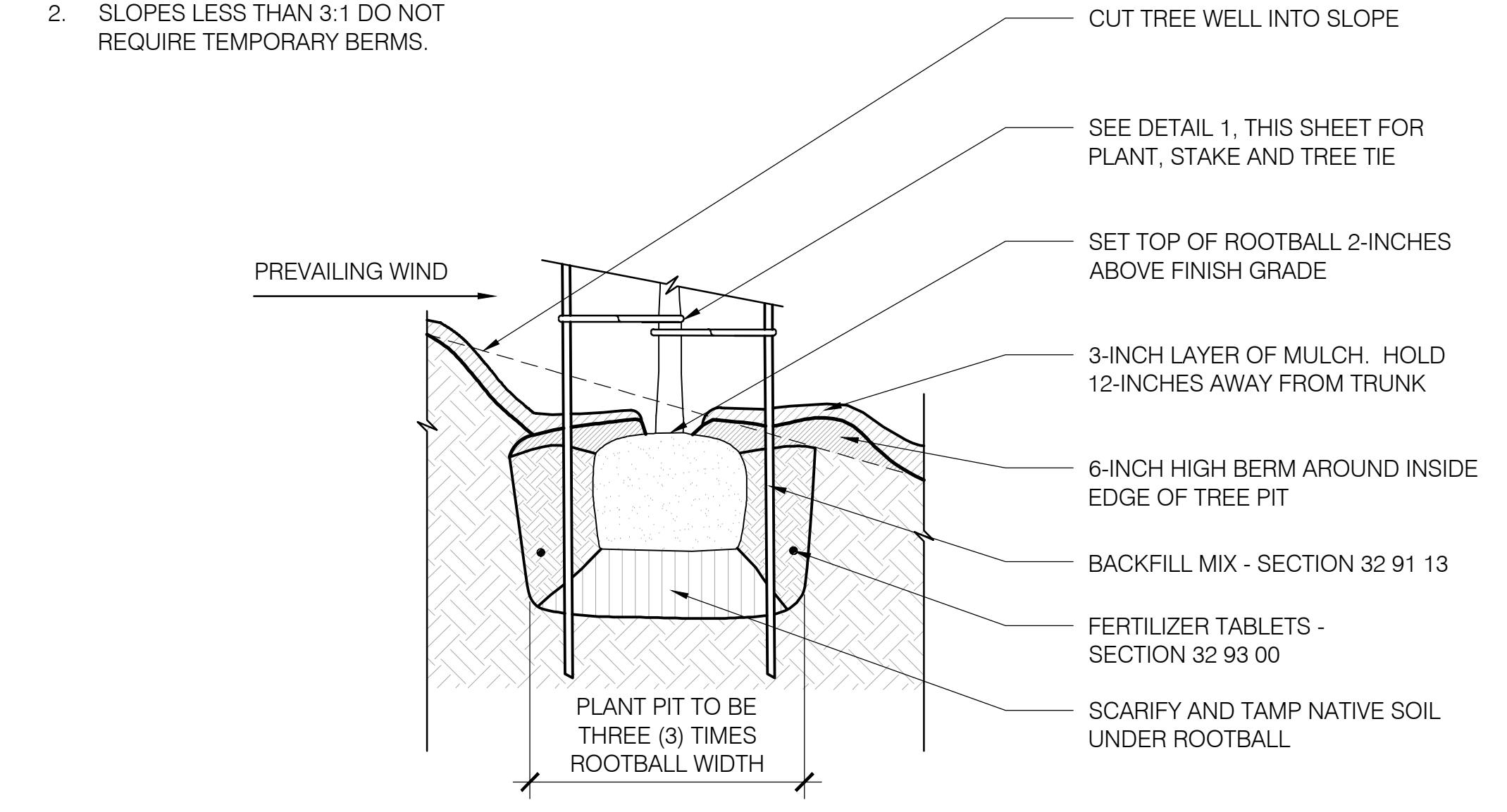


6 TYPICAL PLANT SPACING DETAIL
NOT TO SCALE

NOTES:
1. REFER TO DETAIL 1, THIS SHEET, FOR GENERAL NOTES.
2. SLOPES LESS THAN 3:1 DO NOT REQUIRE TEMPORARY BERMS.

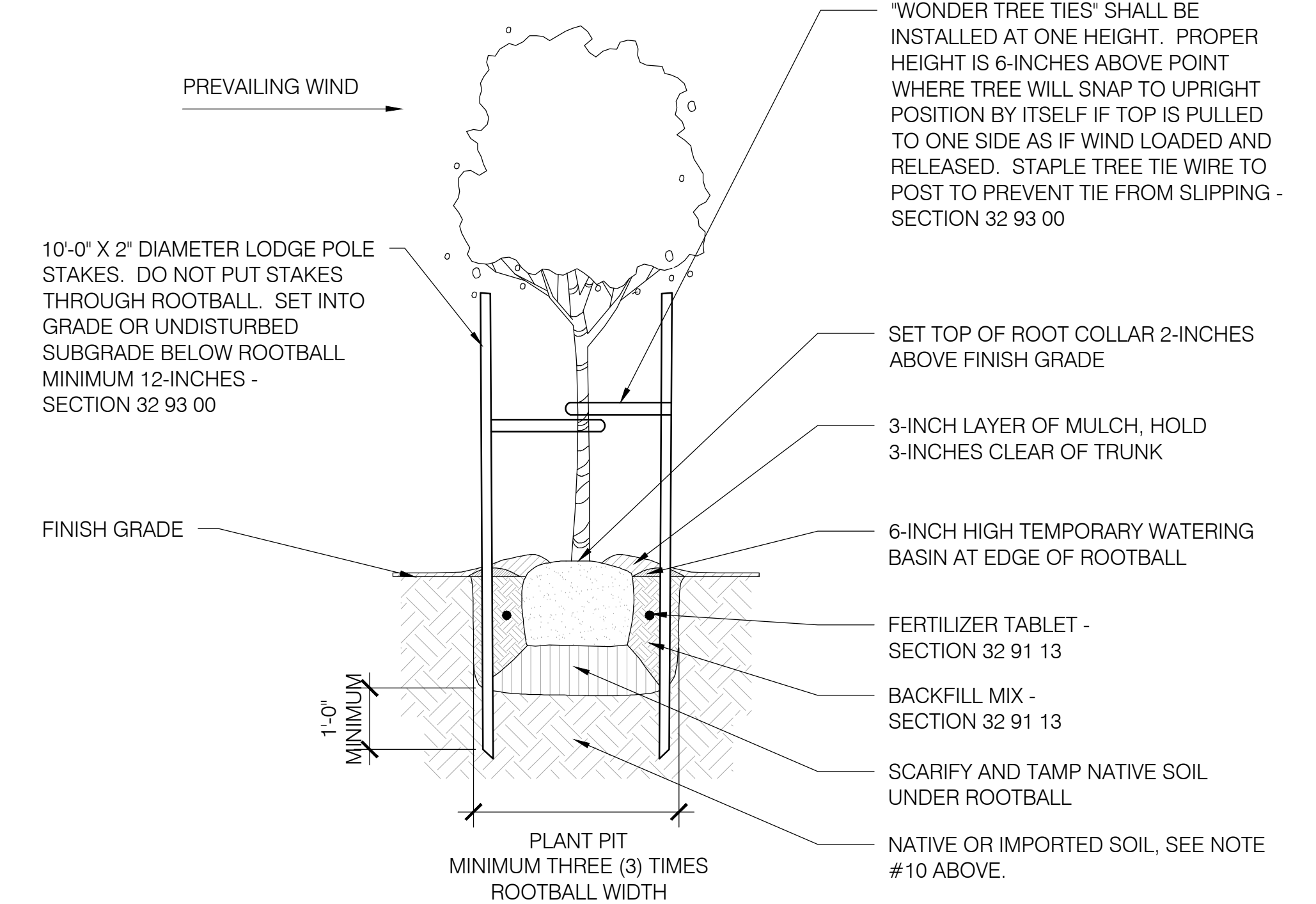


5 PLUG PLANTING DETAIL
NOT TO SCALE



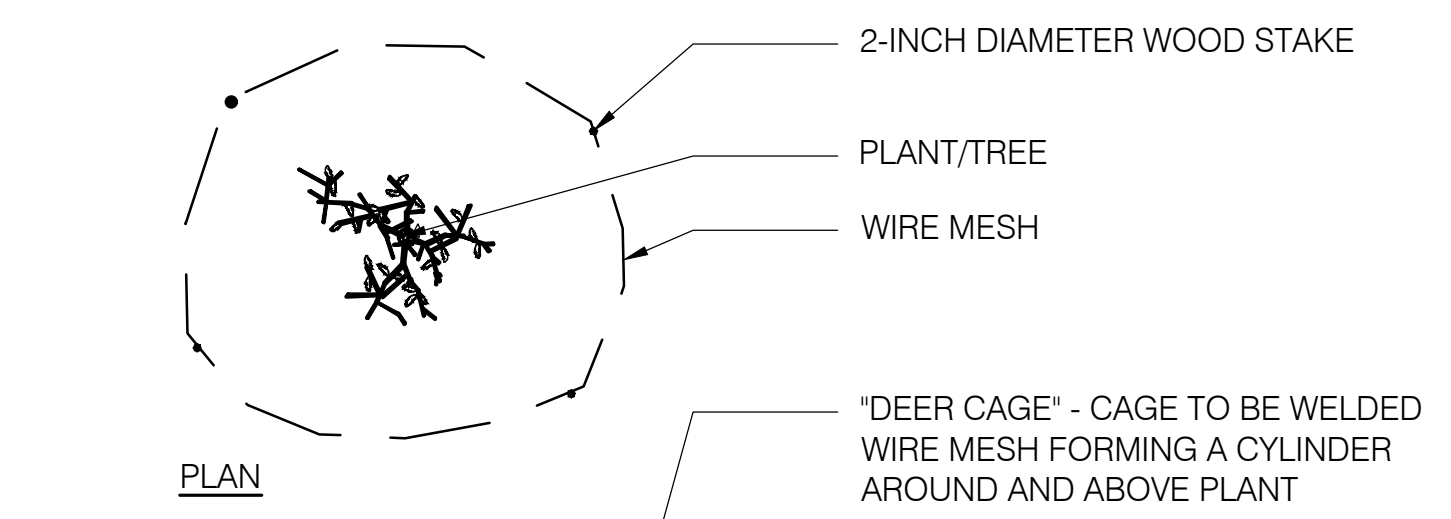
2 TREE PLANTING ON SLOPE DETAIL
NOT TO SCALE

NOTES:
1. ALL TREES TO BE STAKED ON PREVAILING WIND SIDE WHEN TREE IS IN LEAF. VERIFY ALL CONNECTORS ARE SECURE AND TIGHT.
2. CONTRACTOR SHALL DOUBLE STAKE ALL 15 GALLON, 24-INCH & 36-INCH BOX TREES.
3. CONTRACTOR SHALL REMOVE NURSERY STAKE(S) AND TAGS FROM TREES UPON COMPLETION OF STAKING.
4. "WONDER TREE TIES" SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
5. REMOVE TEMPORARY WATERING BASINS ONCE RAINY SEASON HAS COMMENCED.
6. CONTRACTOR TO COORDINATE AND PROVIDE PHOTOS OF PROPOSED TREES.
7. PLANTS WITH LARGE CIRCLING ROOTS OR KINKED ROOTS ON INTERIOR OF THE ROOTBALL WILL NOT BE ACCEPTED.
8. TREES SHALL BE SUPPLIED WITH WELL TAPERED STRONG TRUNKS WHICH WILL STAND ALONE.
9. TREES SUPPLIED WITH TOPS TOO LARGE FOR TRUNKS TO SUPPORT SHALL BE PRUNED AS DIRECTED BY OWNER'S REPRESENTATIVE TO REDUCE CROWN HEIGHT. DO NOT REMOVE LATERALS ALONG TRUNK. DO NOT PRUNE TREES WITHOUT PRIOR APPROVAL FROM OWNER'S REPRESENTATIVE.
10. IF NATIVE SOIL HAS BEEN TREATED WITH LIME, TREATED SOIL TO BE EXCAVATED AND REPLACED WITH IMPORTED SOIL. DRAINAGE/PERCOLATION TEST TO BE ADMINISTERED. SEE CIVIL AND SECTION 32 91 13 FOR MORE INFORMATION.

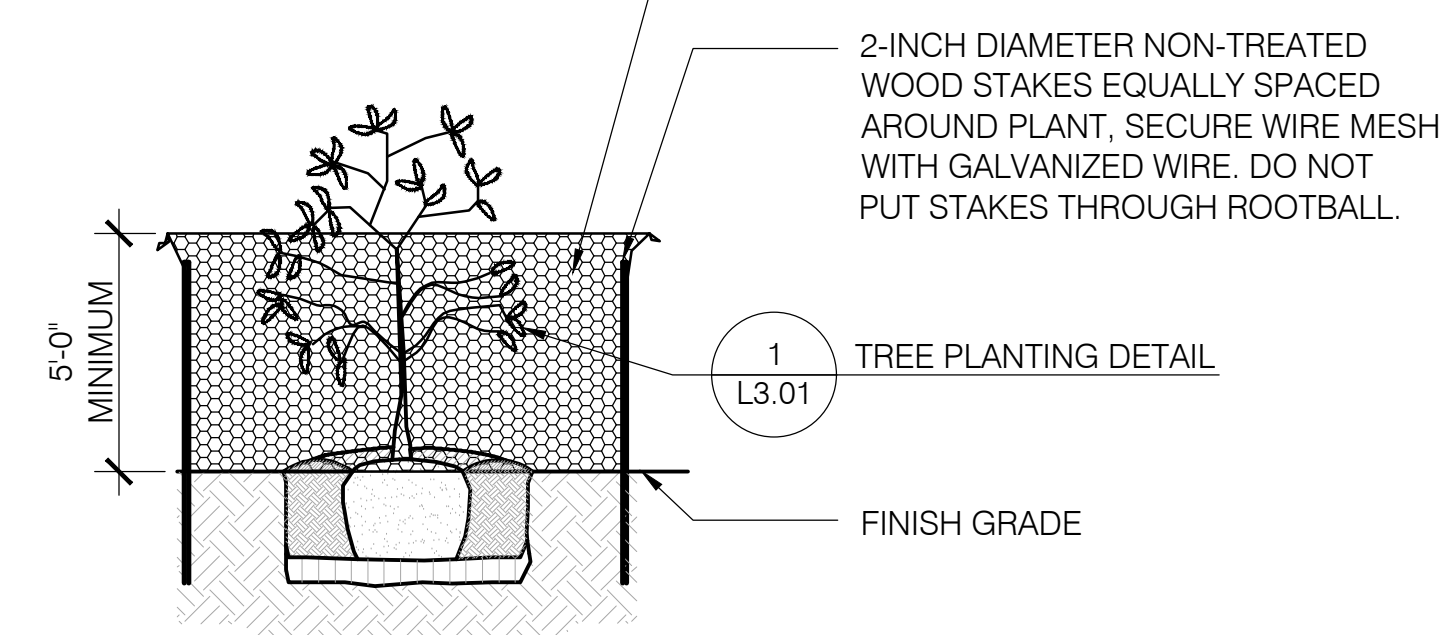


1 TREE PLANTING DETAIL
NOT TO SCALE

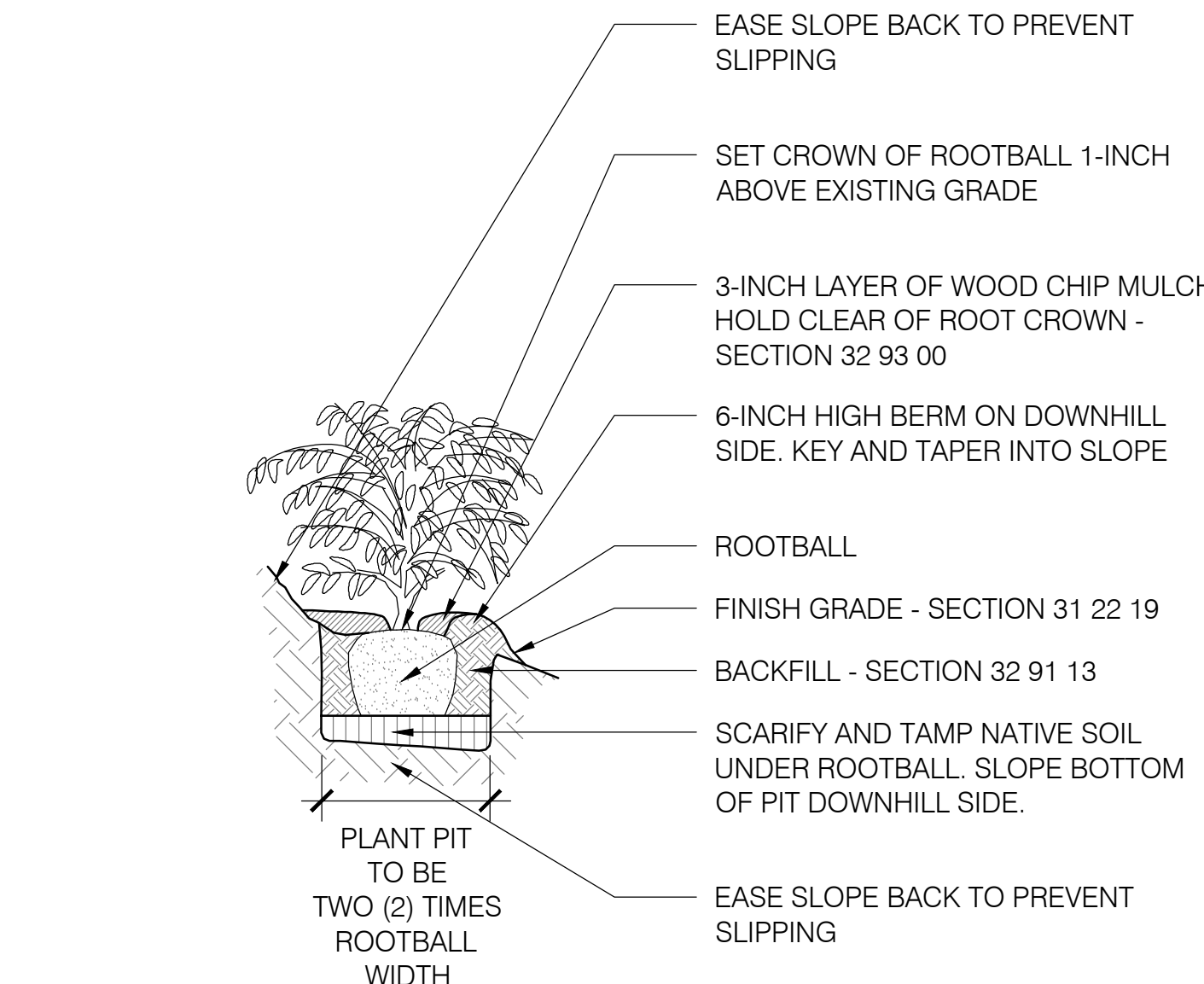
NOTE:
1. CONTRACTOR TO SUBMIT TREE AND SHRUB PROTECTION PLAN FOR REVIEW AND APPROVED BY OWNER'S REPRESENTATIVE. ALL PLANTS TO BE PROTECTED FROM DEER AND RODENTS.



8 DEER PROTECTION DETAIL
NOT TO SCALE

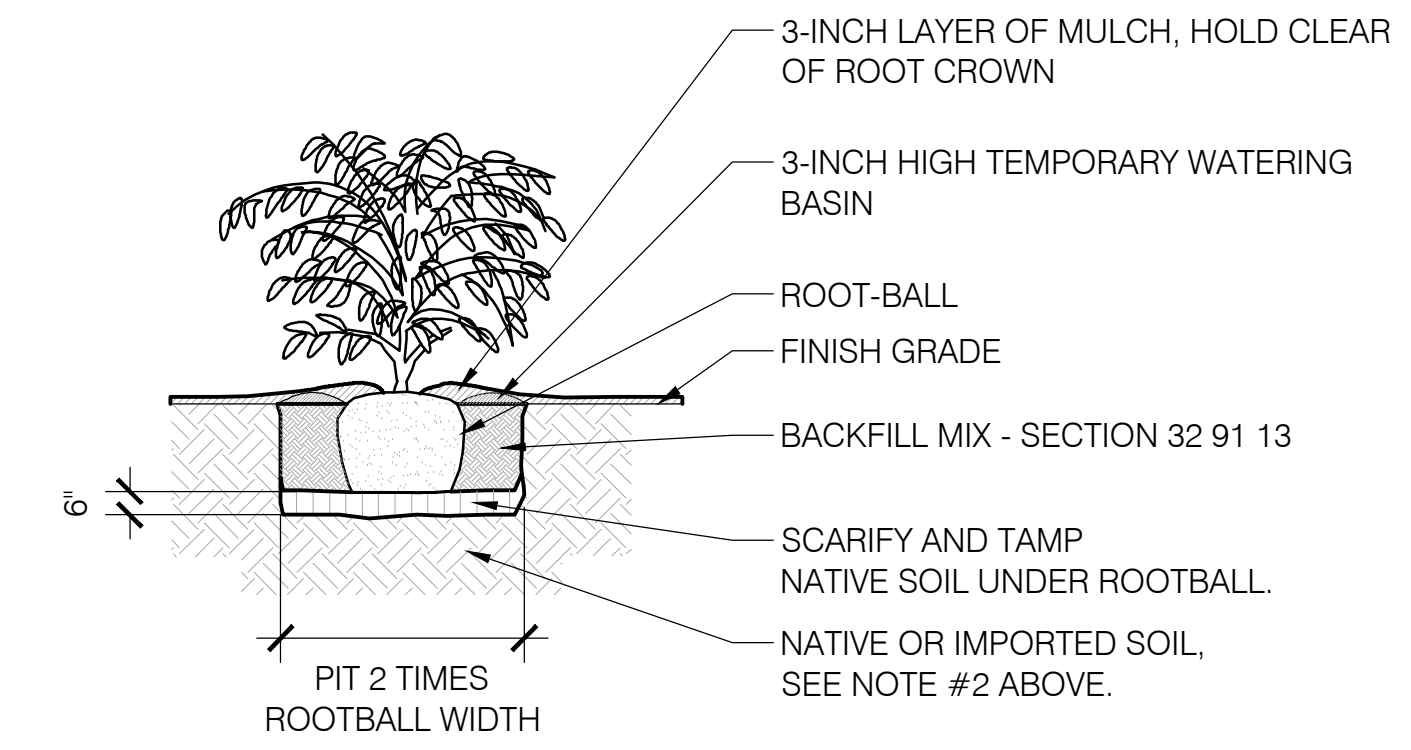


7 RODENT PROTECTION FOR SHRUBS
NOT TO SCALE



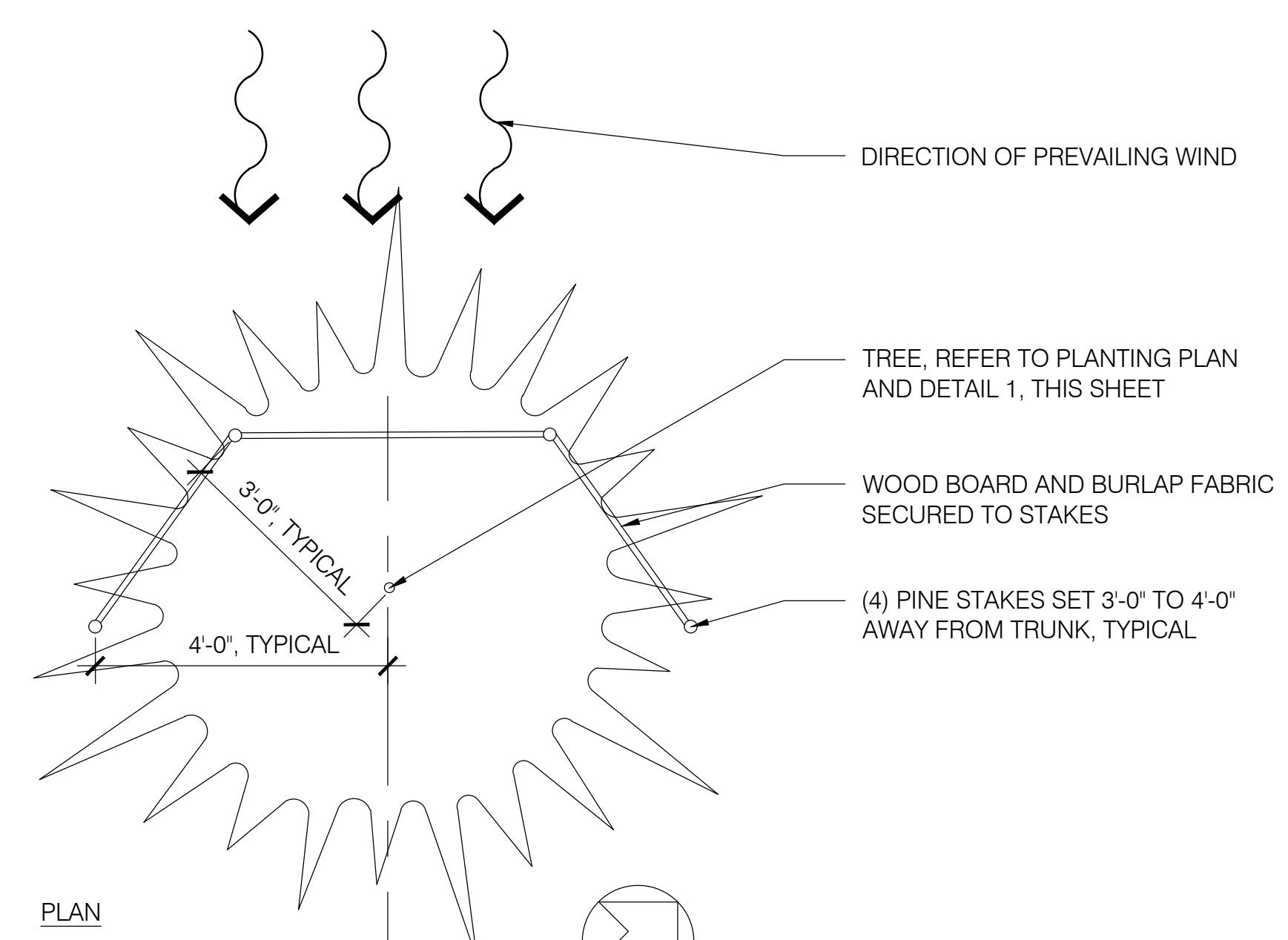
4 SHRUB PLANTING ON SLOPE DETAIL
NOT TO SCALE

NOTES:
1. REMOVE TEMPORARY WATERING BASINS ONCE RAINY SEASON HAS COMMENCED.
2. IF NATIVE SOIL HAS BEEN TREATED WITH LIME, TREATED SOIL TO BE EXCAVATED AND REPLACED WITH IMPORTED SOIL. DRAINAGE/PERCOLATION TESTS TO BE ADMINISTERED. SEE CIVIL AND SECTION 32 91 13 FOR MORE INFORMATION.

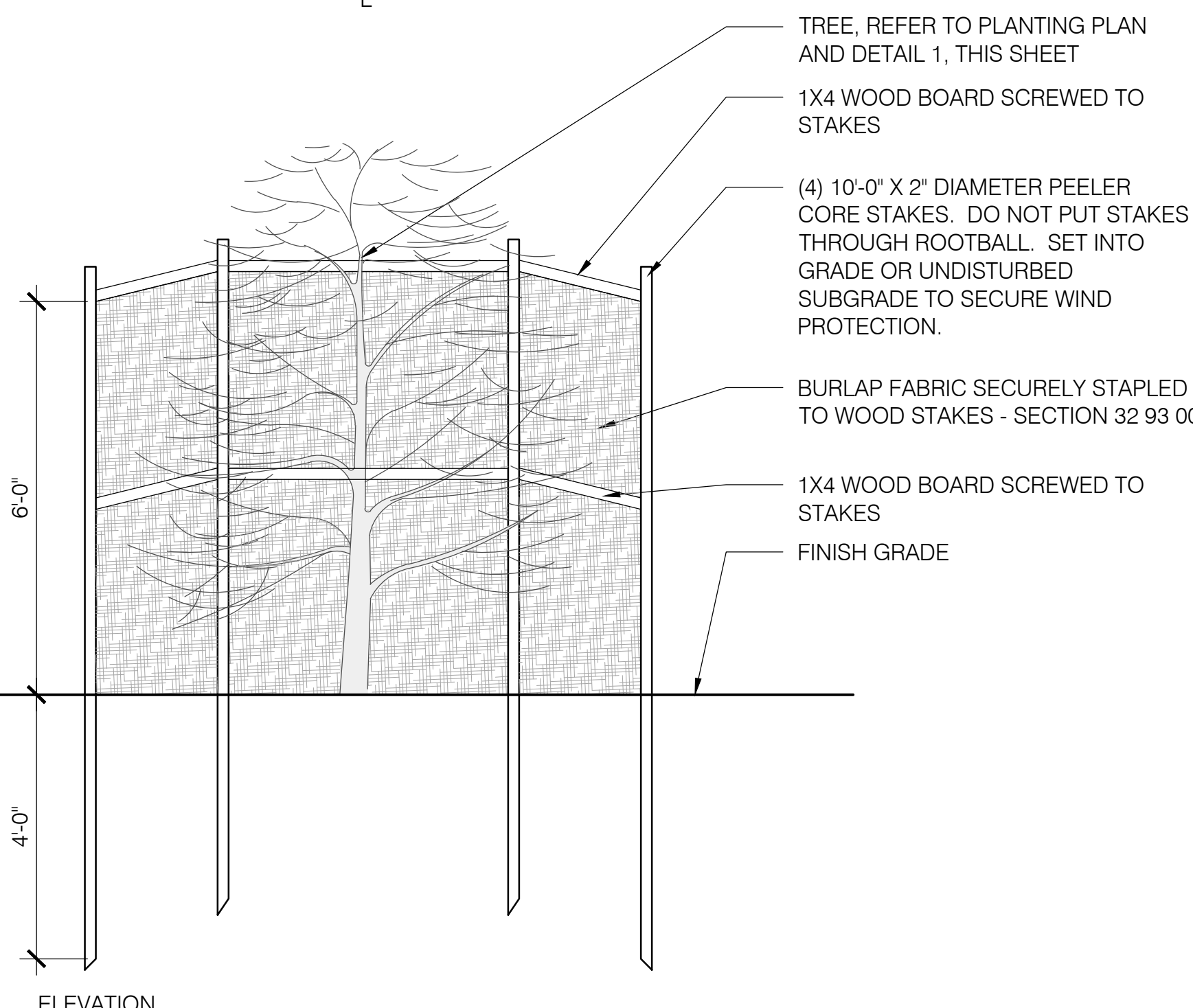


3 SHRUB PLANTING DETAIL
NOT TO SCALE

NOTES:
1. WIND GUARDS ARE TO REMAIN UNTIL TREE IS ESTABLISHED AND FULLY ROOTED.



9 WIND GUARD DETAIL
NOT TO SCALE



1 TREE PLANTING DETAIL
NOT TO SCALE

T:\PROJECTS\17_230_Pyatok-Moss Beach\Drawings\MOSS BEACH DETAILS\ENTITLEMENTS.dwg, L1.02, 01/12/2024, 12:41:23 PM, DWG To PDF.pc3, ARCH Full bleed ET (30.00 x 42.00 inches), 1:1

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM, IN COMPLIANCE WITH STATE AND LOCAL WATER EFFICIENT LANDSCAPE ORDINANCES, WILL BE DESIGNED TO APPLY THE MINIMUM AMOUNT OF WATER REQUIRED TO MAINTAIN GOOD PLANT HEALTH. TO ACCOMPLISH THIS, THE SYSTEM WILL INCLUDE AN AUTOMATIC WEATHER-BASED CONTROLLER, RAIN SHUT-OFF DEVICE, MASTER CONTROL VALVE, FLOW SENSOR, MATCHED PRECIPITATION RATE SPRINKLER HEADS, ROTORS, BUBBLERS, OR DRIP EMITTERS, A PROPER SETBACK FROM NON-PERMEABLE SURFACES, AND SEPARATE SOLENOID CONTROL VALVES FOR DIFFERENT HYDROZONES (PLANT WATER USE LEVELS); IT WILL BE DESIGNED TO PREVENT RUNOFF AND OVERSPRAY. THE IRRIGATION SYSTEM WILL INCLUDE WATERING SCHEDULES BASED ON LOCAL EVAPOTRANSPIRATION DATA TAKEN FROM CIMIS AND WILL BE REGULATED BY THE AUTOMATIC IRRIGATION CONTROLLER.

PLANTING NOTES

1. CONTRACTOR SHALL PROCURE PLANT SPECIES WITHIN THIRTY (30) DAYS OF AWARD OF THE CONTRACT. CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING REQUIRED DEPOSITS TO ENSURE TIMELY PROCUREMENT OF THE SPECIFIED PLANTS. CONTRACTOR SHALL PROVIDE OWNER'S REPRESENTATIVE WITH WRITTEN VERIFICATION (RECEIPTS) SHOWING PROCUREMENT TO MEET THE PLANTING REQUIREMENTS. CONTRACTOR TO SUBMIT PHOTOGRAPHS OF ALL PLANTS FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE. PLANTS MAY NEED TO BE CONTRACT GROWN TO ENSURE PLANT AVAILABILITY.
2. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE OF ANY KIND TO EXISTING TREES DURING THE COURSE OF CONSTRUCTION.
3. HOLD FINISHED GRADES FOR SHRUB AREAS 1 1/2 INCHES BELOW TOP OF ADJACENT PAVEMENT OR WALLS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
4. GRADUALLY ROUND OFF TOPS AND TOES OF ALL PLANTED SLOPES TO PRODUCE A SMOOTH AND NATURAL TRANSITION BETWEEN EXISTING PLANTING, FINISH GRADES, AND NEW PLANTING.
5. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE A MINIMUM OF FIVE (5) DAYS IN ADVANCE TO SCHEDULE PLANT DELIVERY DATES. OWNER'S REPRESENTATIVE SHALL INSPECT PLANTS UPON ARRIVAL AND RESERVES THE RIGHT TO REJECT PLANTS.
6. CONTRACTOR SHALL PLACE PLANTS AS SHOWN ON PLAN AND VERIFY LOCATION WITH OWNER'S REPRESENTATIVE. OWNER'S REPRESENTATIVE MAY REQUEST THAT CONTRACTOR ADJUST OR RELOCATE PLANTS ON-SITE AS NEEDED TO PROPERLY COMPLETE DESIGN.
7. CONTRACTOR TO PROTECT ALL NEW PLANTS FROM GOPHERS, RODENTS, DEER, AND OTHER ANIMALS. TYPE AND EXTENT OF PROTECTION MEASURES SHALL BE DETERMINED BY CONTRACTOR AND SUBMITTED TO OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
8. TYPICAL OF ALL TREES - KEEP ALL SHRUBS, GRASSES, PERENNIALS, GROUNDCOVER, VINES, OR SUCCULENTS PLANTINGS 18 INCHES CLEAR FROM ANY EXISTING OR NEW TREE TRUNK.
9. IF SOIL IS LIME TREATED, PLANTING AREAS TO BE EXCAVATED WITHIN 3 INCHES OF THE EDGE OF PAVING/CURB TO A DEPTH OF MINIMUM 18 INCHES AND DISPOSED OF OFF-SITE. PLANTING AREAS TO BE FILLED WITH IMPORTED TOPSOIL AMENDED PER SOILS REPORT. PLANTING AREAS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO PLANTING.
10. COMPACTED SOILS MUST BE TRANSFORMED TO A FRIABLE CONDITION TO MAXIMIZE WATER RETENTION.
11. INCORPORATE COMPOST INTO THE SOIL TO A MINIMUM OF 8 INCHES AT A MINIMUM RATE OF 6 CUBIC YARDS PER 1000 SQUARE FEET. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING.
12. PROVIDE A MINIMUM OF 3 INCHES OF WOOD CHIP MULCH TO SOIL SURFACE AFTER PLANTING, AROUND EXISTING TREES AND SHRUBS TO REMAIN. MULCH SHALL NOT BE PLACED WITHIN A 12-INCH DIAMETER OF TREE TRUNKS AND SHOULD BE KEPT FREE FROM THE CROWN OF ALL SHRUBS, GRASSES, AND PERENNIALS. DO NOT MULCH SEEDED AREAS. MULCH FOR RAIN GARDENS SHALL BE NON-FLOATING, AS ACCEPTED BY LANDSCAPE ARCHITECT. MULCH FOR ALL OTHER PLANTING AREAS SHALL BE 1/2-INCH TO 1-INCH DIAMETER COMPOSTED REDWOOD, FREE OF STICKS, DIRT, AND OTHER DEBRIS, AS ACCEPTED BY LANDSCAPE ARCHITECT.
13. SOIL AMENDMENTS MUST BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT AND WHAT IS APPROPRIATE FOR THE PLANTS SELECTED.
14. CONTRACTOR TO REVIEW ALL PLANS AND SPECIFICATIONS FOR SUBMITTALS, TESTING, AND OTHER REQUIREMENTS. CONTRACTOR TO IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN SITE CONDITIONS AND INTENT OF THESE DRAWINGS. ANY CONFLICTS WILL BE RESOLVED PRIOR TO COMPLETING WORK.

PLANT LIST

- ENTRY TREE - 15 GALLON**
- LAGUNARIA PATERSONIA (PYRAMID TREE)
 - LOPHOSTEMON CONFERTUS (BRISBANE BOX)
 - MAGNOLIA LITTLE GEM (DWARF SOUTHERN MAGNOLIA)
 - PISTACIA CHINENSIS (CHINESE PISTACHE)
 - QUERCUS RUBRA (NORTHERN RED OAK)

- PARKING LOT SHADE TREE - 15 GALLON**
- LOPHOSTEMON CONFERTUS (BRISBANE BOX)

- BUILDING ENTRY TREE - 15 GALLON**
- CERCIS CANADENSIS FOREST PANSY
 - GEJERA PARVIFLORA (AUSTRALIAN WILLOW)
 - LAGERSTROEMIA INDICA NACHEZ (CRAPE MYRTLE)
 - LAURUS SARATOGA (SARATOGA LAUREL)

- NATIVE TREE - 15 GALLON**
- QUERCUS AGRIFOLIA (COAST LIVE OAK)

- ACCENT TREE - 15 GALLON**
- CERCIS CANADENSIS FOREST PANSY (EASTERN REDBUD)

- EVERGREEN SCREENING - MIX OF 15, 5, AND 1 GALLONS**
- CEANOTHUS THYRSIFLORUS (BLUE BLOSSOM)
 - GARRYA ELLIPTICA (COAST SILKTASSEL)
 - HESPEROCYPARIS MACROCARPA (MONTEREY CYPRESS)
 - HETEROMELES ARBUTIFOLIA (TOYON)
 - RHUS INTEGRIFOLIA (LEMONADE BERRY)

- GROUNDCOVER AND SHRUBS - MIX OF 1 AND 5 GALLONS**
- ACHILLEA MILLEFOLIUM (YARROW)
 - ARCTOSTAPHYLOS PAJAROENSIS (PAJARO MANZANITA)
 - ARTEMISIA PYNOCOPHALA 'DAVID'S CHOICE' (COASTAL SAGEWORT)
 - BACCHARIS PILULARIS (COYOTE BRUSH)
 - CALAMAGROSTIS NUTKAENSIS (PACIFIC REED GRASS)
 - CEANOTHUS THYRSIFLORUS (BLUE BLOSSOM)
 - ERIGERON GLAUCUS (BEACH DAISY)
 - ERIOPHYLLUM STAECHADIFOLIUM (LIZARD-TAIL)
 - GARRYA ELLIPTICA (COAST SILKTASSEL)
 - GRINDELIA STRICTA VAR. PLATYPHYLLA 'RAY'S CARPET' (COASTAL GUM PLANT)
 - HETEROMELES ARBUTIFOLIA (TOYON)
 - RHUS INTEGRIFOLIA (LEMONADE BERRY)
 - RIBES SANGUINEUM (RED FLOWERING CURRANT)
 - SATUREJA DOUGLASII (YERBA BUENA)

- DETENTION BASINS - MIX OF 1 AND 5 GALLONS**
- CAREX PANSA (SANDDUNE SEDGE)
 - CORNUS STOLONIFERA (RED STEM DOGWOOD)
 - ELYMUS CONDENSATUS (GIANT WILD RYE)
 - ELYMUS GLAUCUS (BLUE WILD RYE)
 - IRIS DOUGLASIANA (DOUGLAS IRIS)

- SLOPE PLANTING - SEED**
- FESTUCA RUBRA (RED FESCUE) 95%
 - ESCHSCHOLZIA CALIFORNICA (CALIFORNIA POPPY) 5%



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Foster City, CA 94404



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PHONE 831.423.6040 | WWW.JLJA.COM
California Landscape Architect License 5163

CYPRESS POINT FAMILY COMMUNITY
Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Plotting	03/26/19
2	As-Bid Dimensions	10/06/20
3	Adjusted Heights	01/10/20
4	Footprint Reduction	09/17/22
5	New Removal Systems	03/20/23
6	Reduce Site Scope	01/26/24

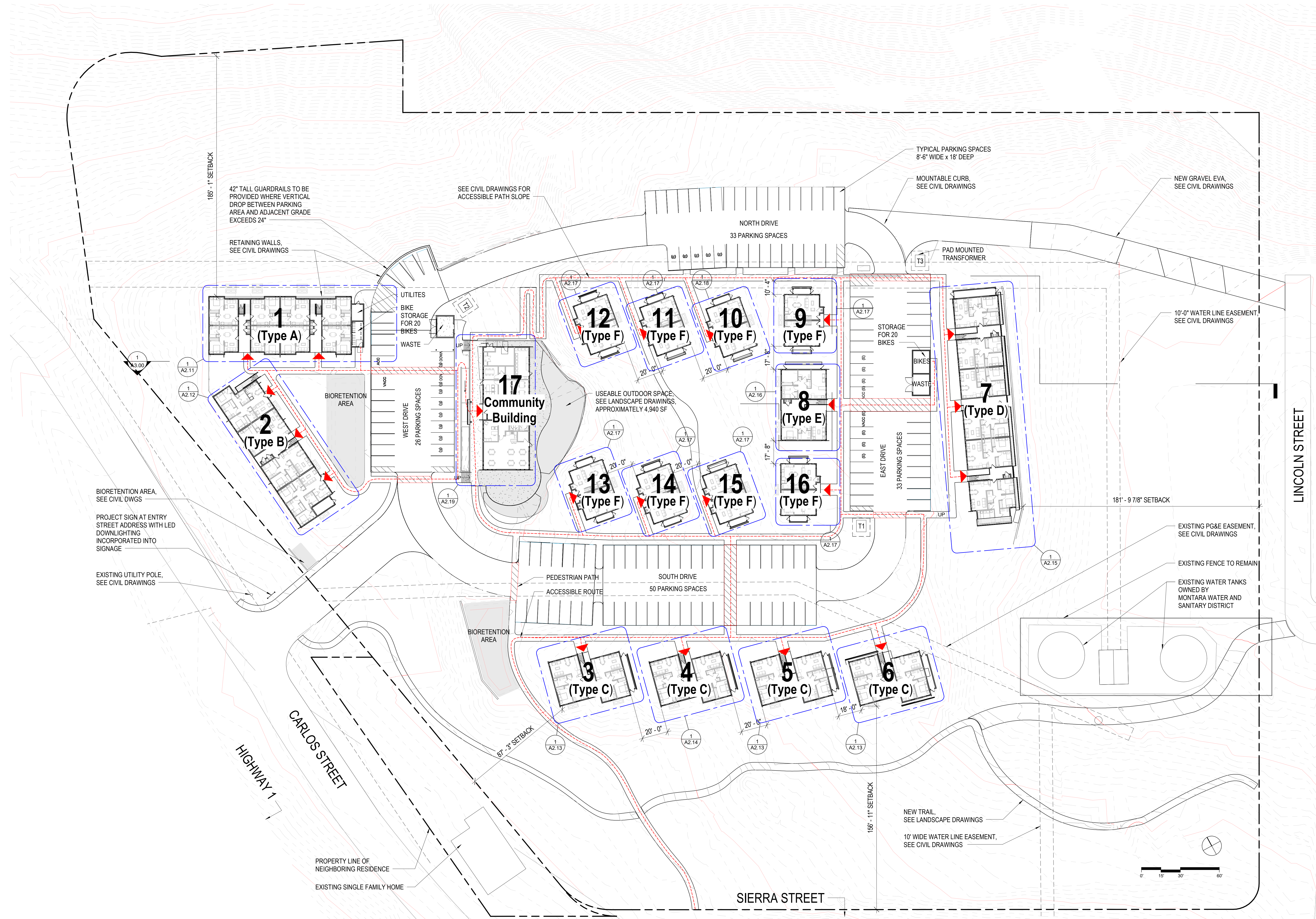
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DRAWN BY: OWMO
CHECKED BY: GL
DATE: 06/21/2022
SCALE: AS NOTED

TITLE:
PLANT LIST, IRRIGATION AND PLANTING NOTES

SHEET:

L1.03

CYPRESS POINT FAMILY COMMUNITY
Carlos Street, Moss Beach



OVERALL SITE PLAN ①
1" = 30'-0"

STAMP:

NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/11/22
4	CDP Resubmittal	12/01/23

JOB NUMBER: 1603
 DRAWN BY: GP/SC
 CHECKED BY: PW
 DATE: January 24, 2024
 SCALE: 1" = 30'-0"

TITLE: OVERALL SITE PLAN

SHEET:

A1.00

CYPRESS POINT FAMILY COMMUNITY
Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE

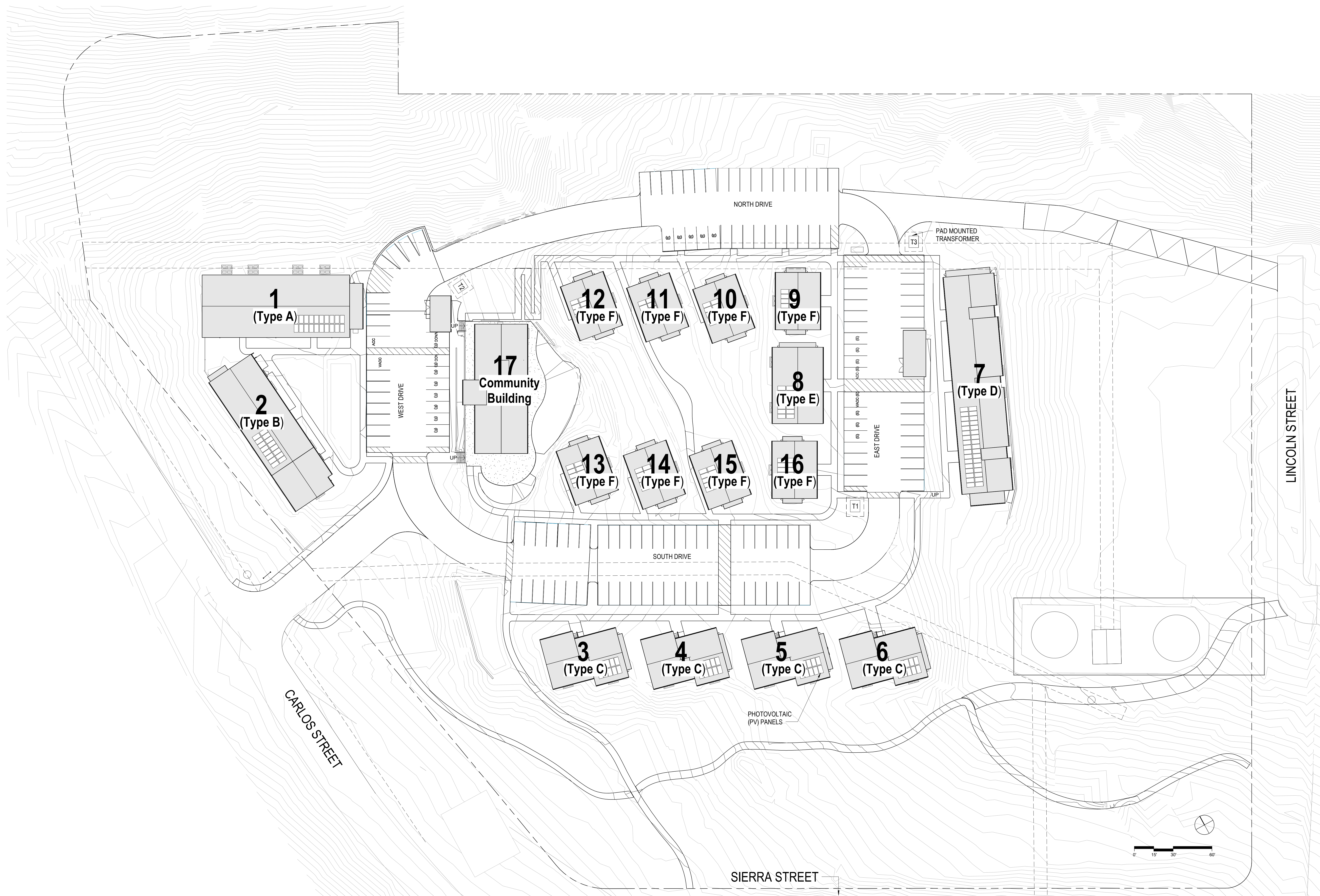
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2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/11/22
4	CIP Resubmittal	12/01/23

JOB NUMBER: 1603
DRAWN BY: GP/SC
CHECKED BY: PW
DATE: January 24, 2024
SCALE: 1" = 30'-0"

TITLE:
OVERALL SITE ROOF PLANS

SHEET:

A1.01



ROOF PLAN ①
1" = 30'-0"

FLOOR PLAN GEN. NOTES

- SEE SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS
- THESE PLANS SHOW UNIQUE INFORMATION ONLY. SEE ENLARGED PLANS FOR INFORMATION NOT SHOWN.
- REFERENCE ACCESSIBILITY CODE SHEETS G0.XX FOR ALL ACCESSIBILITY STANDARDS, REQUIREMENTS AND DIAGRAM
- SEE CIVIL PLANS FOR THE BUILDING LOCATION ON SITE AND PRECISE GRADING PLANS.
- FOR PARKING TABULATION REFER TO SHEET G0.XX.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, STUD, OR CENTERLINE OF COLUMN OR DEMISING WALL (C.L.). U.O.N. ALL "CLEAR" DIMENSIONS ARE TO FACE OF FINISH.
- ALL CONSTRUCTION TO BE FIRE-RATED PER THE PROJECT DATA ON THE G0.XX SHEETS AND ASSEMBLIES. SHEETS A9.X. UNIT DEMISING WALLS ARE 1-HR RATED, TYPICAL. FOR DETAILED LOCATION OF WALL ASSEMBLY TYPES, SEE ENLARGED PLANS.
- ALL STAIR, ELEVATOR, TRASH CHUTE, AND VENTILATION SHAFTS TO BE 2-HR FIRE RATED BARRIERS IF CONNECTING MORE THAN 3 STORIES. IF LESS THAN 3 STORIES, THESE MUST BE 1-HR FIRE-RATED CONSTRUCTION.
- FOR DETAIL LOCATION OF WALL ASSEMBLY TYPES, SEE BUILDING AND UNIT FLOOR PLANS, SHEETS A2.X, A4.X, & A8.X. FOR WALL, FLOOR, FLOOR/CEILING, AND ROOF/CEILING ASSEMBLY TYPES, SEE SHEETS A9.X.
- WHERE PROVIDED, CMU PARTITION WALLS TO RECEIVE REINFORCING PER STRUCTURAL DRAWINGS AND TERMINATE AT STRUCTURE ABOVE, U.O.N.
- ALL INTERIOR EXPOSED CONCRETE WITHIN PUBLIC SPACES IS ARCHITECTURAL FINISH, U.O.N.
- STUD SIZES TYPICALLY USED THROUGHOUT PROJECT ARE SHOWN - REFER TO STUD SIZE ON WALL ASSEMBLIES, SHEET A9.X, FOR REQUIRED SIZES, GAUGES AND SPACING REQUIRED. COORDINATE BLOCKING AND BRACING REQUIREMENTS FOR ALL WALL-HUNT ITEMS AND VERIFY LOCATIONS PRIOR TO INSTALLATION OF FINISHES.
- THIS BUILDING TO BE FIRE SPRINKLERED PER APPLICABLE SECTIONS OF CBC CHAPTER 9 AND NFPA 13.
- CLASS 1 STANDPIPES TO BE INTERCONNECTED.
- PROVIDE ALL NECESSARY WALL ACCESS PANELS AS REQUIRED FOR MECHANICAL, PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS. IN FIRE RATED ASSEMBLIES PROVIDE RATED ACCESS PANELS WITH SELF CLOSING DEVICES.
- SEE INDIVIDUAL UNIT FLOOR PLANS OR ENLARGED BUILDING PLANS FOR DETAILED INFORMATION ON DIMENSIONS, CONSTRUCTION, DOORS, WINDOWS, AND OTHER ELEMENTS, TYPICAL.
- INTERIOR FINISHES SHALL COMPLY WITH CBC 803.1 FLAME SPREAD PROVISION, SEE INTERIOR DRAWINGS.
- FOR DOOR & WINDOW SCHEDULES SEE SHEET A9.X & A9.X.
- RAMP SLOPES ARE MEASURED FROM CENTERLINE OF RAMP.
- ALL EXIT STAIRS TO COMPLY WITH CBC CHAPTERS 10, 11A AND/OR 11B. EXIT STAIRS AND LANDINGS TO BE 44 INCHES MINIMUM IN WIDTH. STAIR RISERS TO BE MAXIMUM 7 INCHES HIGH, AND TREADS TO BE 11 INCHES MINIMUM DEEP.
- SEE ROOF PLAN GENERAL NOTES FOR DRAINAGE, VENTILATION, AND ROOF ACCESS NOTES.
- ALL RESIDENTIAL UNITS THAT FACE ROADS ARE EQUIPPED WITH EITHER MECHANICAL VENTILATION OR PASSIVE FRESH-AIR INLETS. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
- SEE SIGNAGE PLANS AND DETAILS ON A10.X FOR ADDITIONAL INFORMATION REGARDING SIGNS AT UNIT ENTRIES, ELEVATORS, STAIRS, EGRESS COMPONENTS, COMMON AREA DOORS.

CYPRESS POINT FAMILY COMMUNITY
Carlos Street, Moss Beach

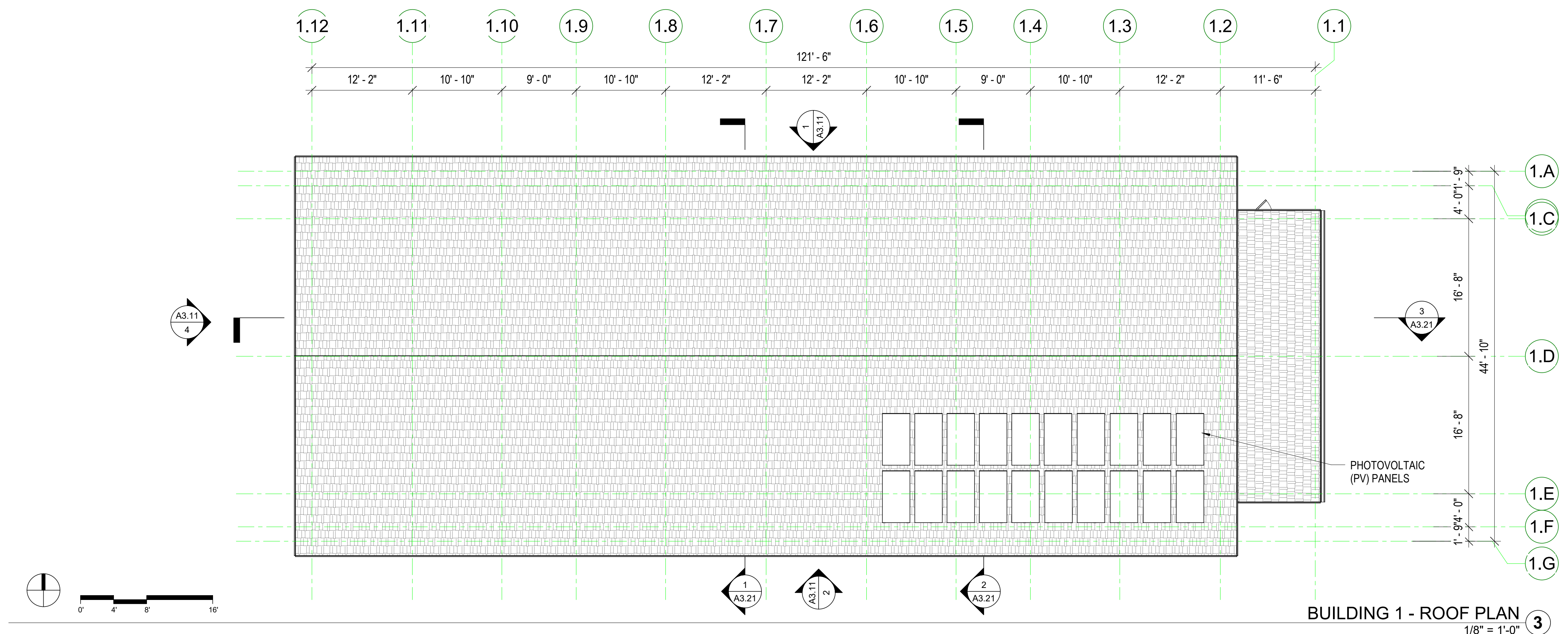
STAMP:

REVISION SCHEDULE

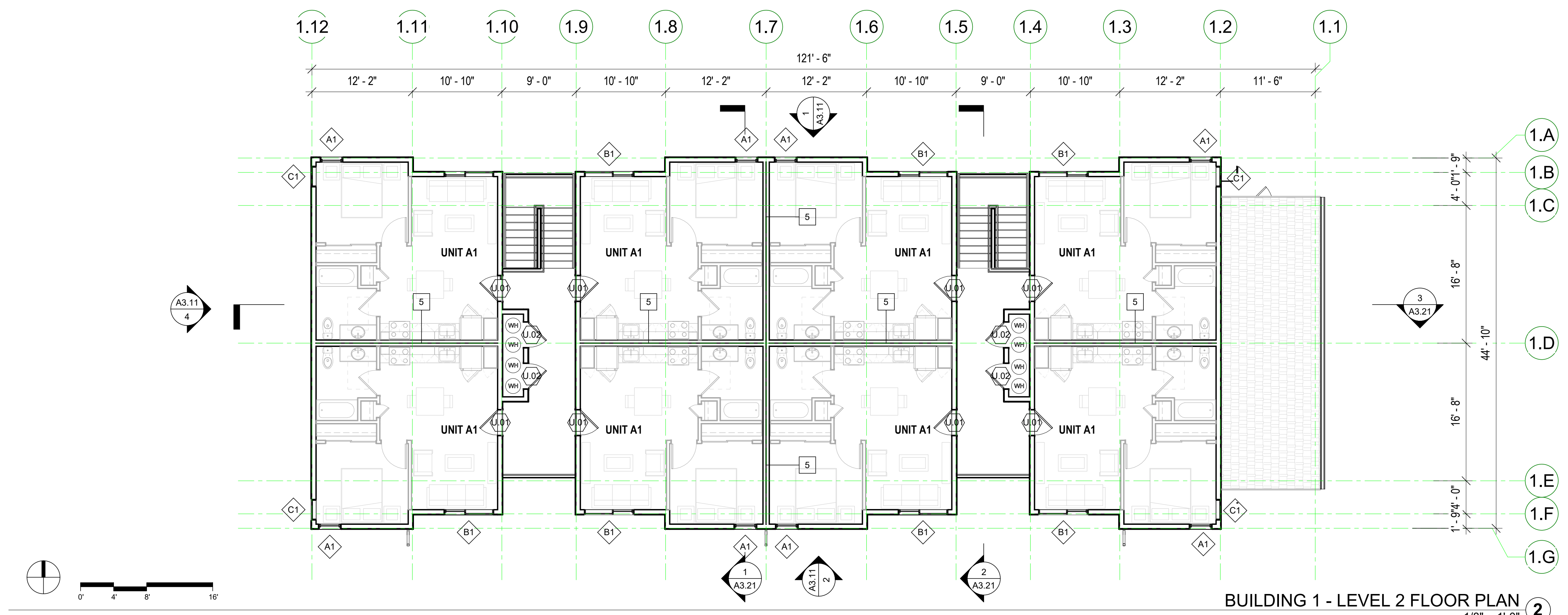
NO.	ISSUE	DATE
1	Planning Residential	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/11/22
4	CDP Residential	12/01/23

JOB NUMBER: 1603
DRAWN BY: GP/SC
CHECKED BY: PW
DATE: January 24, 2024
SCALE: As Indicated
TITLE: FLOOR & ROOF PLANS - BUILDING TYPE A (BUILDING 1)

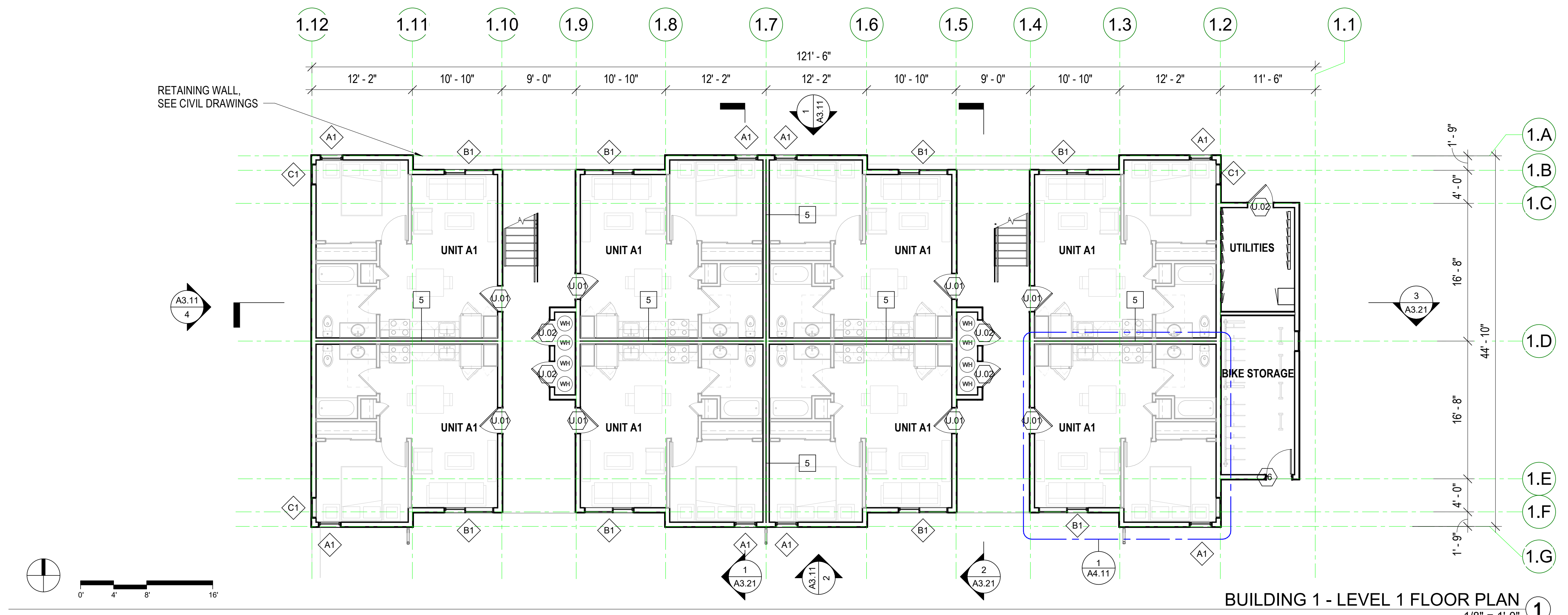
SHEET: **A2.11**



BUILDING 1 - ROOF PLAN
1/8" = 1'-0"



BUILDING 1 - LEVEL 2 FLOOR PLAN
1/8" = 1'-0"



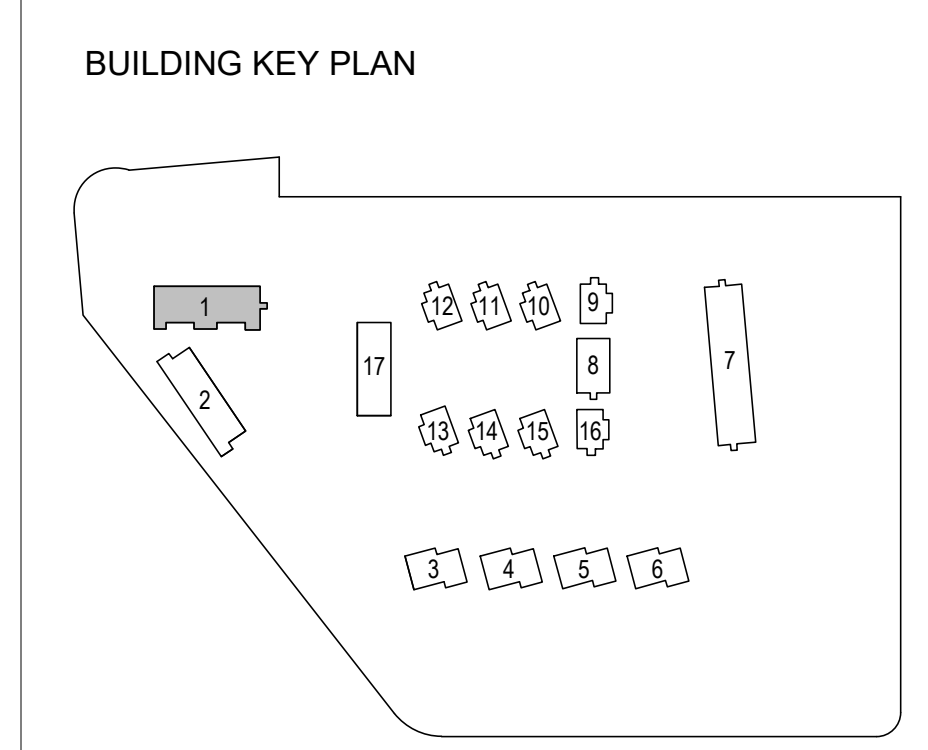
BUILDING 1 - LEVEL 1 FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN KEY

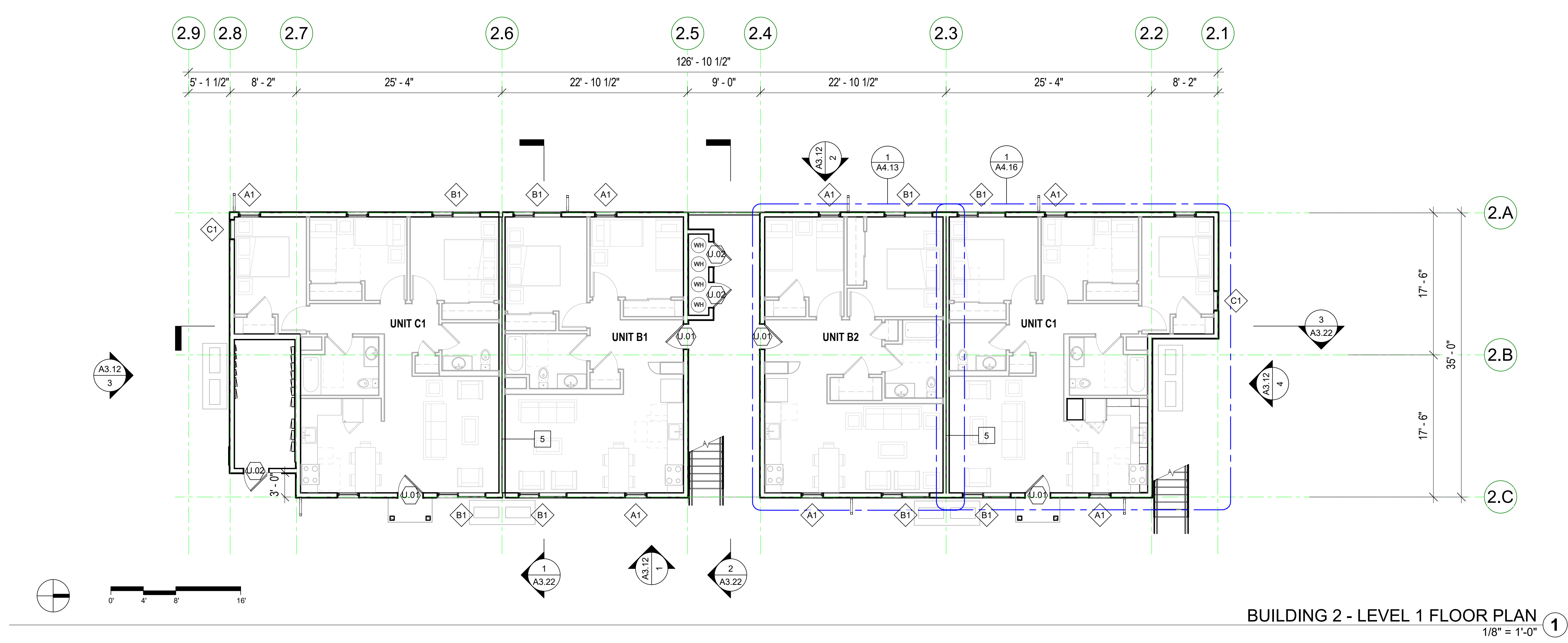
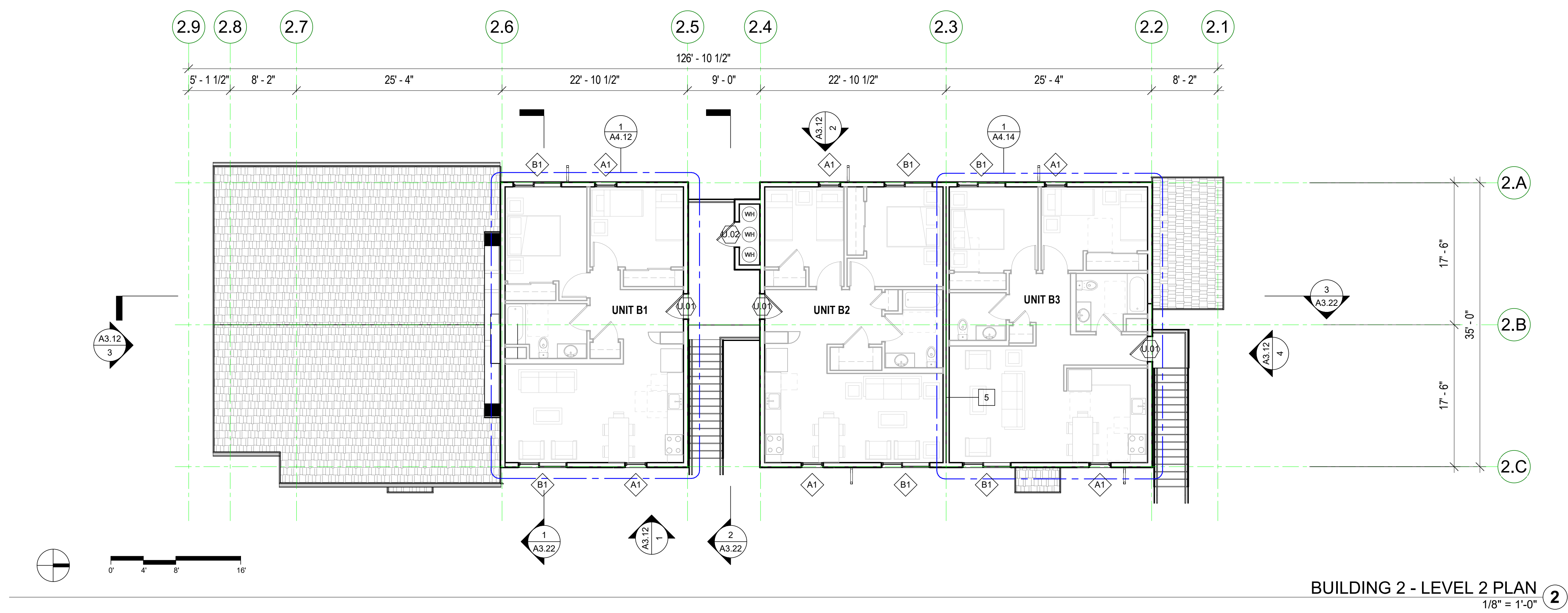
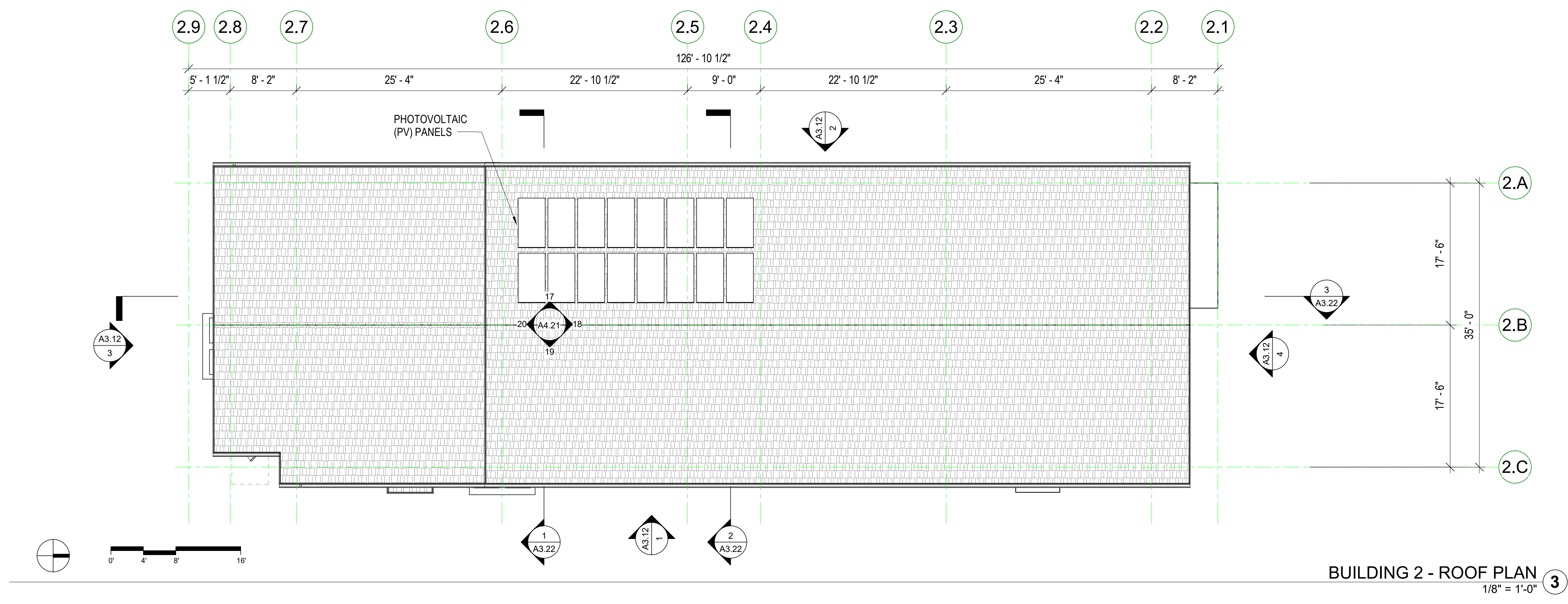
- SEE GRAPHIC SYMBOLS LEGEND ON COVER SHEET FOR SYMBOLS NOT SHOWN BELOW.
- FEC RECESSED FIRE EXTINGUISHER CABINET
 - FLOORING TRANSITION - SEE FINISH SCHEDULE AND MATERIALS KEY
 - FLOOR SINK - SEE PLUMBING DRAWINGS
 - FLOOR DRAIN - SEE PLUMBING DRAWINGS - MAX SLOPE TO DRAIN 1/8" PER FOOT, U.O.N.
 - 2 HOUR RATED WALLS
 - VERTICAL RATED SHAFT
 - VERTICAL CHASE
 - SLOPE AT FLOOR OR RAMP DIRECTION

KEYNOTE LEGEND

NUMBER	KEYNOTE
1	RETAINING WALL, SEE CIVIL DRAWINGS



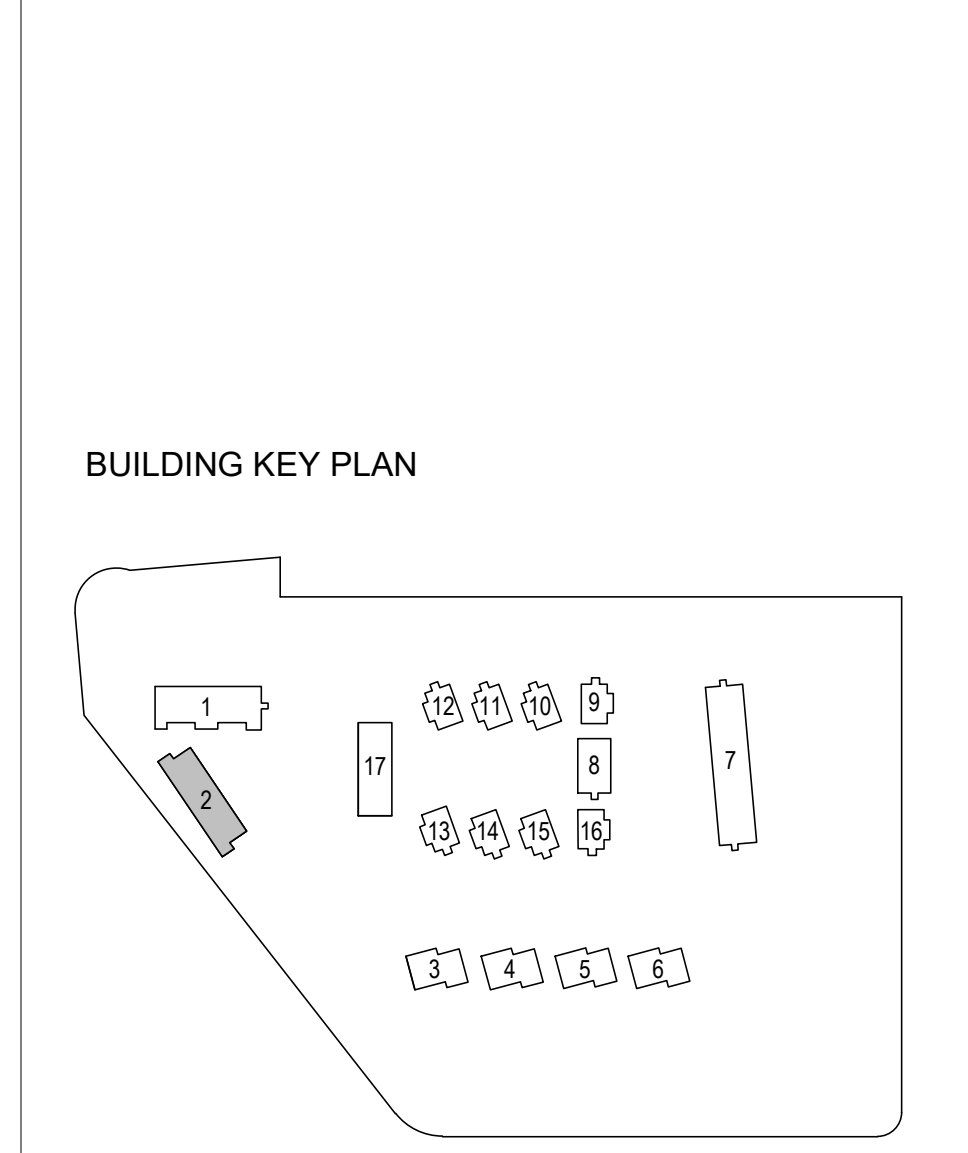
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- FOR PARKING TABULATION REFER TO SHEET G0.XX.
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- ALL STAIR, ELEVATOR, TRASH CHUTE, AND VENTILATION SHAFTS TO BE 2-HR FIRE RATED BARRIERS IF CONNECTING MORE THAN 3 STORIES. IF LESS THAN 3 STORIES, THESE MUST BE 1-HR FIRE-RATED CONSTRUCTION.
- FOR DETAIL LOCATION OF WALL ASSEMBLY TYPES, SEE BUILDING AND UNIT FLOOR PLANS. SHEETS A2.X, A4.X, & A8.X. FOR WALL, FLOOR, FLOOR/CEILING, AND ROOF/CEILING ASSEMBLY TYPES. SEE SHEETS A9.X.
- WHERE PROVIDED, CMU PARTITION WALLS TO RECEIVE REINFORCING PER STRUCTURAL DRAWINGS AND TERMINATE AT STRUCTURE ABOVE, U.O.N.
- ALL INTERIOR EXPOSED CONCRETE WITHIN PUBLIC SPACES IS ARCHITECTURAL FINISH, U.O.N.
- STUD SIZES TYPICALLY USED THROUGHOUT PROJECT ARE SHOWN - REFER TO STUD SIZE ON WALL ASSEMBLIES, SHEET A9.X, FOR REQUIRED SIZES, GAUGES AND SPACING REQUIRED. COORDINATE BLOCKING AND BRACING REQUIREMENTS FOR ALL WALL-HUNT ITEMS AND VERIFY LOCATIONS PRIOR TO INSTALLATION OF FINISHES.
- THIS BUILDING TO BE FIRE SPRINKLERED PER APPLICABLE SECTIONS OF CBC CHAPTER 9 AND NFPA 13.
- CLASS 1 STANDPIPES TO BE INTERCONNECTED.
- PROVIDE ALL NECESSARY WALL ACCESS PANELS AS REQUIRED FOR MECHANICAL, PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS. IN FIRE RATED ASSEMBLIES PROVIDE RATED ACCESS PANELS WITH SELF CLOSING DEVICES.
- SEE INDIVIDUAL UNIT FLOOR PLANS OR ENLARGED BUILDING PLANS FOR DETAILED INFORMATION ON DIMENSIONS, CONSTRUCTION, DOORS, WINDOWS, AND OTHER ELEMENTS, TYPICAL.
- INTERIOR FINISHES SHALL COMPLY WITH CBC 803.1 FLAME SPREAD PROVISION, SEE INTERIOR DRAWINGS.
- FOR DOOR & WINDOW SCHEDULES SEE SHEET A9.X & A9.X.
- RAMP SLOPES ARE MEASURED FROM CENTERLINE OF RAMP.
- ALL EXIT STAIRS TO COMPLY WITH CBC CHAPTERS 10, 11A AND/OR 11B. EXIT STAIRS AND LANDINGS TO BE 44 INCHES MINIMUM IN WIDTH. STAIR RISERS TO BE MAXIMUM 7 INCHES HIGH, AND TREADS TO BE 11 INCHES MINIMUM DEEP.
- SEE ROOF PLAN GENERAL NOTES FOR DRAINAGE, VENTILATION, AND ROOF ACCESS NOTES.
- ALL RESIDENTIAL UNITS THAT FACE ROADS ARE EQUIPPED WITH EITHER MECHANICAL VENTILATION OR PASSIVE FRESH-AIR INLETS, SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
- SEE SIGNAGE PLANS AND DETAILS ON A10.X FOR ADDITIONAL INFORMATION REGARDING SIGNS AT UNIT ENTRIES, ELEVATORS, STAIRS, EGRESS COMPONENTS, COMMON AREA DOORS.



- FLOOR PLAN KEY**
- SEE GRAPHIC SYMBOLS LEGEND ON COVER SHEET FOR SYMBOLS NOT SHOWN BELOW.
- RECESSED FIRE EXTINGUISHER CABINET
 - FLOORING TRANSITION - SEE FINISH SCHEDULE AND MATERIALS KEY
 - FLOOR SINK - SEE PLUMBING DRAWINGS
 - FLOOR DRAIN - SEE PLUMBING DRAWINGS - MAX SLOPE TO DRAIN 1/8" PER FOOT, U.O.N.
 - 2 HOUR RATED WALLS
 - VERTICAL RATED SHAFT
 - VERTICAL CHASE
 - SLOPE AT FLOOR OR RAMP DIRECTION

KEYNOTE LEGEND

NUMBER	KEYNOTE



STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Reconsideration	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/11/22
4	CDP Reconsideration	12/01/23

JOB NUMBER: 1603
DRAWN BY: GP/SC
CHECKED BY: PW
DATE: January 24, 2024
SCALE: As Indicated
TITLE: FLOOR & ROOF PLANS - BUILDING TYPE B (BUILDING 2)

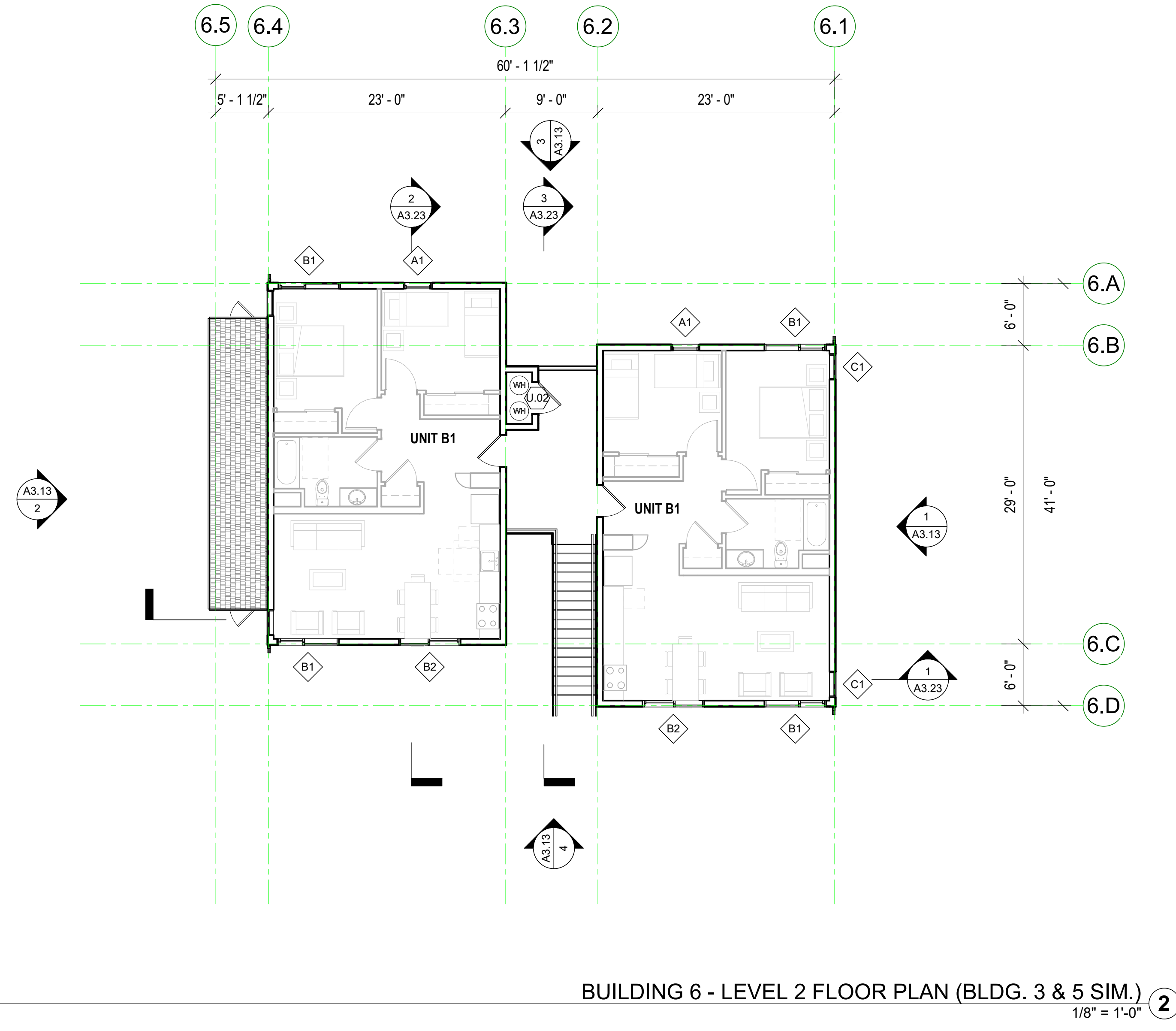
SHEET: **A2.12**

© 2023 PYATOK ARCHITECTURE & URBAN DESIGN

FLOOR PLAN GEN. NOTES

- SEE SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS
- THESE PLANS SHOW UNIQUE INFORMATION ONLY. SEE ENLARGED PLANS FOR INFORMATION NOT SHOWN.
- REFERENCE ACCESSIBILITY CODE SHEETS G0.XX FOR ALL ACCESSIBILITY STANDARDS, REQUIREMENTS AND DIAGRAM
- SEE CIVIL PLANS FOR THE BUILDING LOCATION ON SITE AND PRECISE GRADING PLANS.
- FOR PARKING TABULATION REFER TO SHEET G0.XX.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, STUD, OR CENTERLINE OF COLUMN OR DEMISING WALL (C.L.). U.O.N. ALL "CLEAR" DIMENSIONS ARE TO FACE OF FINISH.
- ALL CONSTRUCTION TO BE FIRE-RATED PER THE PROJECT DATA ON THE G0.XX SHEETS AND ASSEMBLIES, SHEETS A9.X. UNIT DEMISING WALLS ARE 1-HR RATED, TYPICAL. FOR DETAILED LOCATION OF WALL ASSEMBLY TYPES, SEE ENLARGED PLANS.
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- FOR DETAIL LOCATION OF WALL ASSEMBLY TYPES, SEE BUILDING AND UNIT FLOOR PLANS, SHEETS A2.X, A4.X, & A8.X. FOR WALL, FLOOR, FLOOR/CEILING, AND ROOF/CEILING ASSEMBLY TYPES, SEE SHEETS A9.X.
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CYPRESS POINT FAMILY COMMUNITY
 Carlos Street, Moss Beach

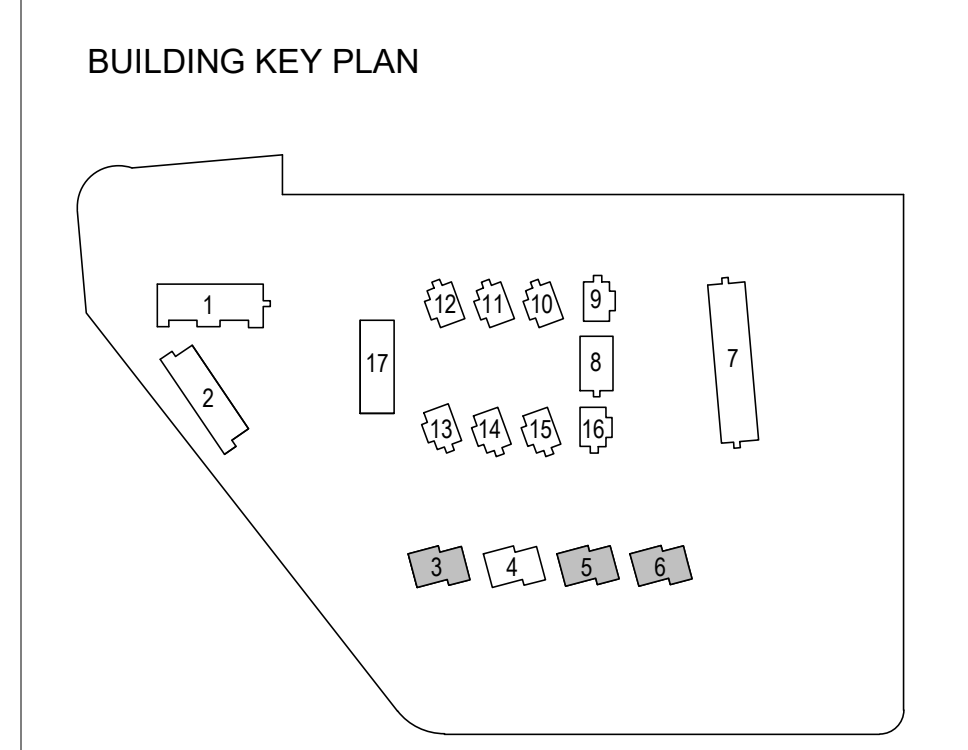


FLOOR PLAN KEY

- SEE GRAPHIC SYMBOLS LEGEND ON COVER SHEET FOR SYMBOLS NOT SHOWN BELOW.
- FEC RECESSED FIRE EXTINGUISHER CABINET
 - CPT LIN FLOORING TRANSITION - SEE FINISH SCHEDULE AND MATERIALS KEY
 - FS FLOOR SINK - SEE PLUMBING DRAWINGS
 - FD FLOOR DRAIN - SEE PLUMBING DRAWINGS - MAX SLOPE TO DRAIN 1/8" PER FOOT, U.O.N.
 - 2 HOUR RATED WALLS
 - VERTICAL RATED SHAFT
 - VERTICAL CHASE
 - SLOPE SLOPE AT FLOOR OR RAMP DIRECTION

KEYNOTE LEGEND

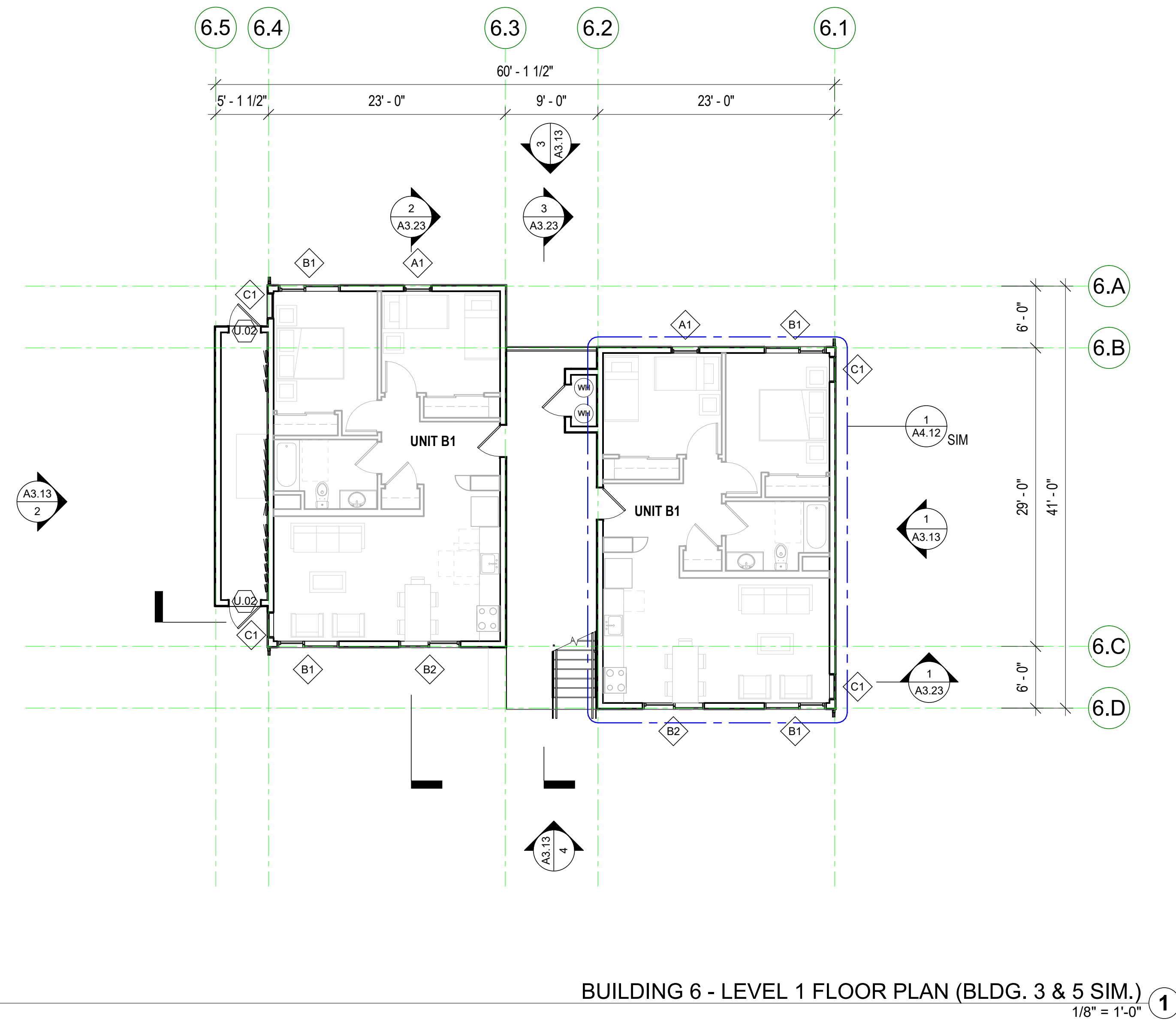
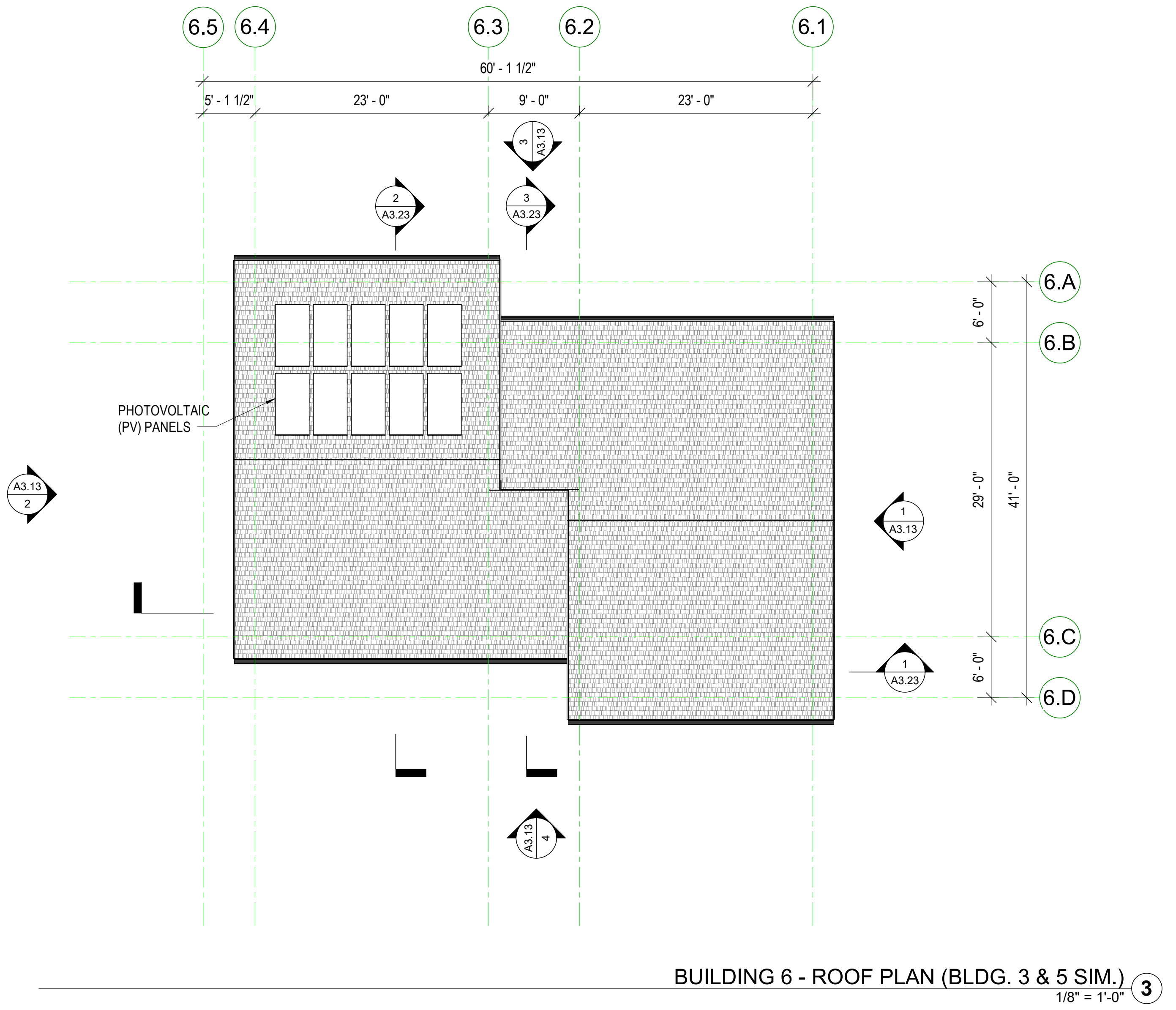
NUMBER	KEYNOTE
1	A3.13
2	A3.23



REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Residential	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/11/22
4	CDP Residential	12/01/23

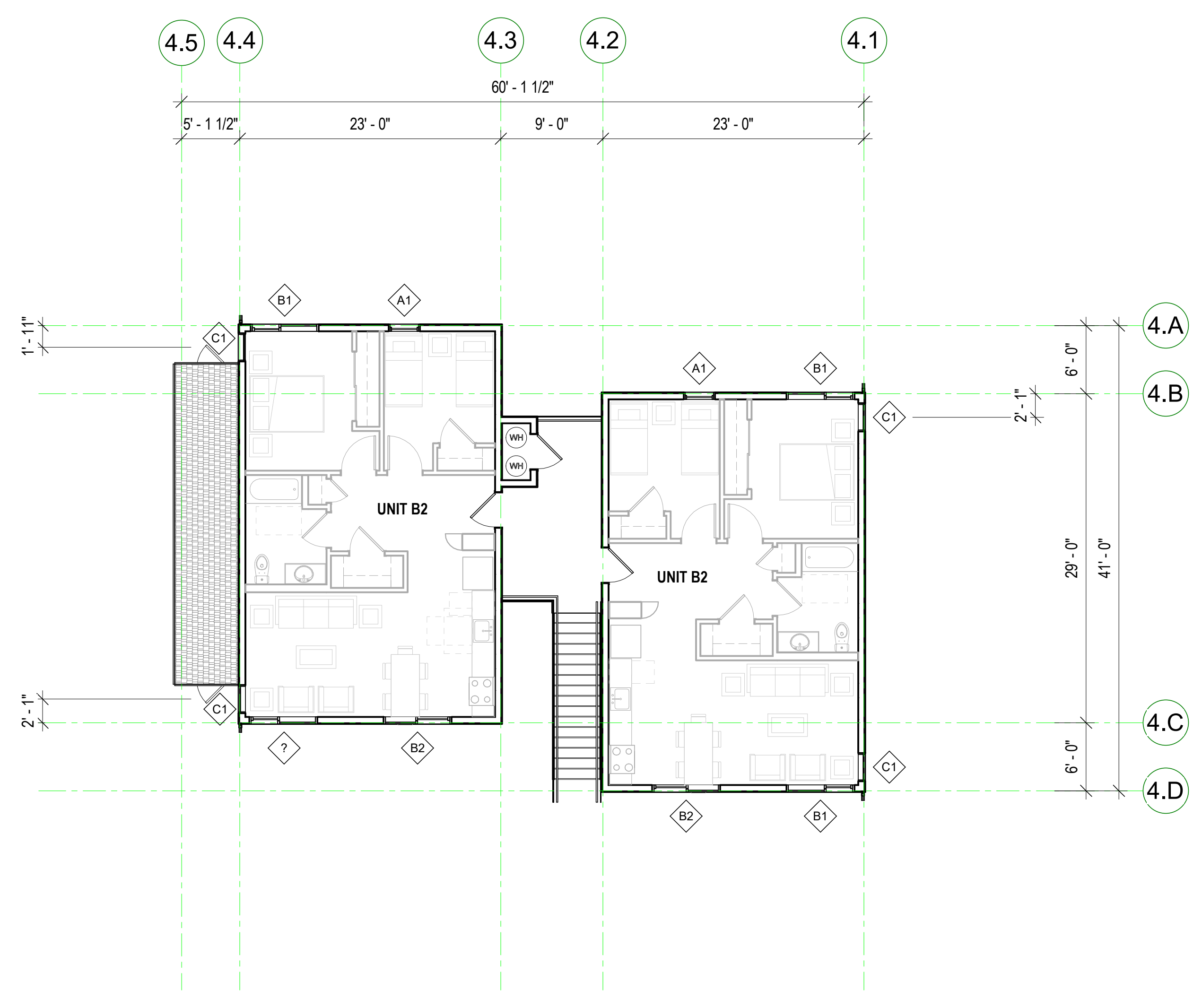
JOB NUMBER: 1603
 DRAWN BY: GP/SC
 CHECKED BY: PW
 DATE: January 24, 2024
 SCALE: As Indicated
 TITLE: FLOOR & ROOF PLANS - BUILDING TYPE C (BUILDINGS 3,5 & 6)
 SHEET: **A2.13**



FLOOR PLAN GEN. NOTES

- SEE SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS
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CYPRESS POINT FAMILY COMMUNITY
 Carlos Street, Moss Beach

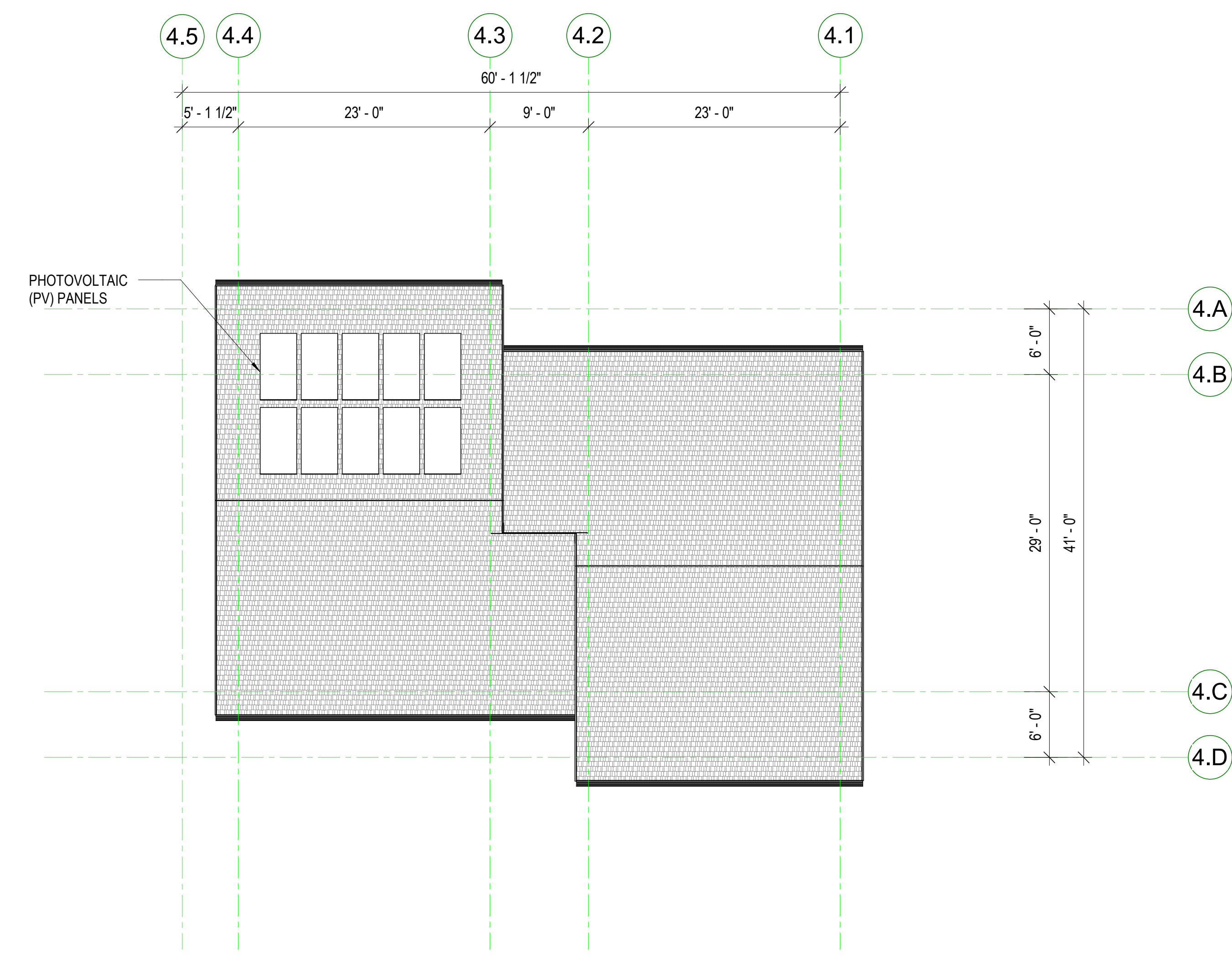
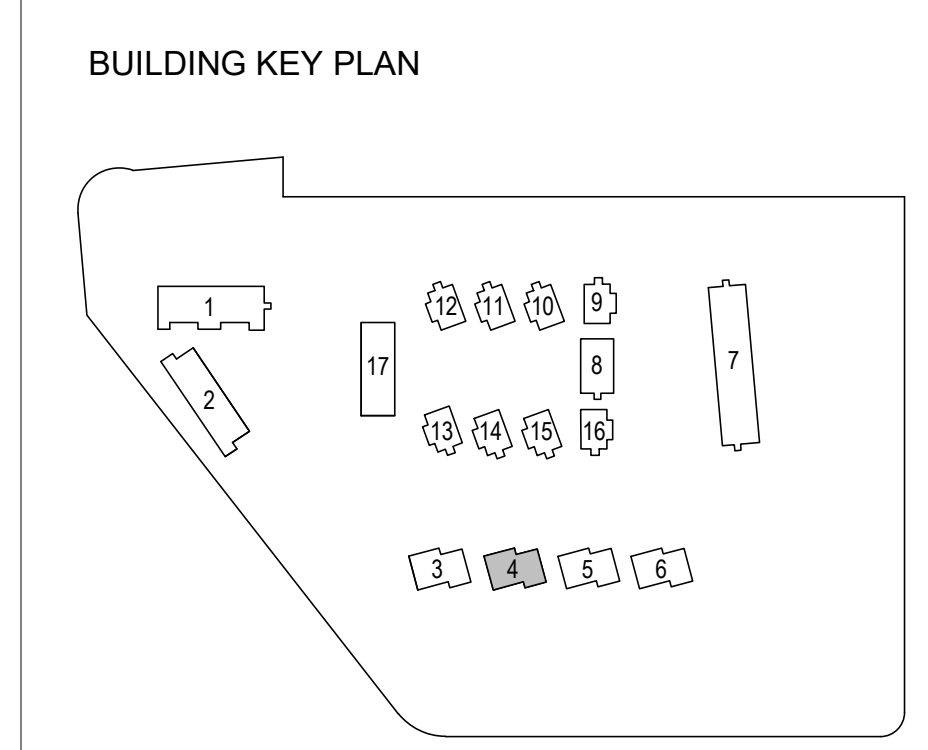


BUILDING 4 - LEVEL 2
 1/8" = 1'-0"

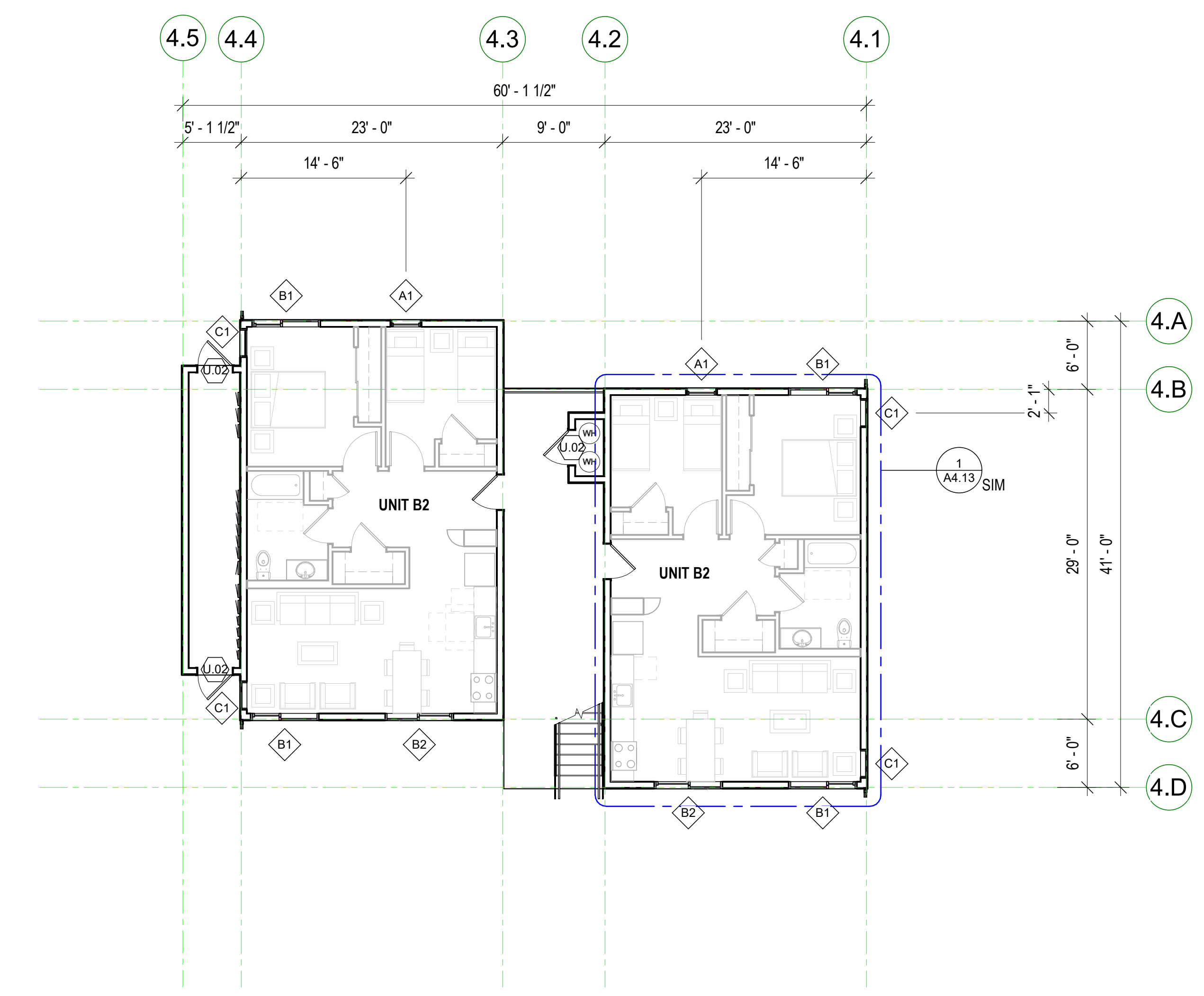
FLOOR PLAN KEY

- SEE GRAPHIC SYMBOLS LEGEND ON COVER SHEET FOR SYMBOLS NOT SHOWN BELOW.
- | | |
|--|--|
| | RECESSED FIRE EXTINGUISHER CABINET |
| | FLOORING TRANSITION - SEE FINISH SCHEDULE AND MATERIALS KEY |
| | FLOOR SINK - SEE PLUMBING DRAWINGS |
| | FLOOR DRAIN - SEE PLUMBING DRAWINGS - MAX SLOPE TO DRAIN 1/8" PER FOOT, U.O.N. |
| | 2 HOUR RATED WALLS |
| | VERTICAL RATED SHAFT |
| | VERTICAL CHASE |
| | SLOPE AT FLOOR OR RAMP DIRECTION |

KEYNOTE LEGEND	
NUMBER	KEYNOTE
1	A4.13 SIM



BUILDING 4 - ROOF PLAN
 1/8" = 1'-0"



BUILDING 4 - LEVEL 1
 1/8" = 1'-0"

STAMP:

REVISION SCHEDULE	
NO.	DATE
1	2021.03

JOB NUMBER: 1603
 DRAWN BY: Author
 CHECKED BY: Checker
 DATE: January 24, 2024
 SCALE: As Indicated

TITLE:
FLOOR & ROOF PLANS - BUILDING TYPE C (BUILDING 4, L1 MOBILITY UNITS)

SHEET:
A2.14

FLOOR PLAN GEN. NOTES

- SEE SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS
- THESE PLANS SHOW UNIQUE INFORMATION ONLY. SEE ENLARGED PLANS FOR INFORMATION NOT SHOWN.
- REFERENCE ACCESSIBILITY CODE SHEETS G0.XX FOR ALL ACCESSIBILITY STANDARDS, REQUIREMENTS AND DIAGRAMS
- SEE CIVIL PLANS FOR THE BUILDING LOCATION ON SITE AND PRECISE GRADING PLANS.
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- ALL RESIDENTIAL UNITS THAT FACE ROADS ARE EQUIPPED WITH EITHER MECHANICAL VENTILATION OR PASSIVE FRESH-AIR INLETS. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
- SEE SIGNAGE PLANS AND DETAILS ON A10.X FOR ADDITIONAL INFORMATION REGARDING SIGNS AT UNIT ENTRIES, ELEVATORS, STAIRS, EGRESS COMPONENTS, COMMON AREA DOORS.

FLOOR PLAN KEY

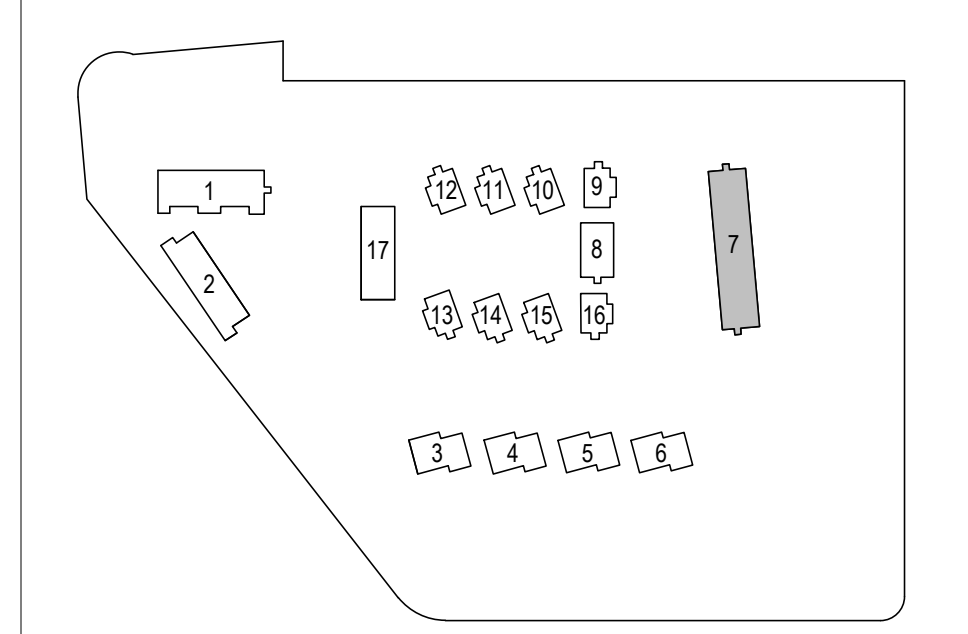
SEE GRAPHIC SYMBOLS LEGEND ON COVER SHEET FOR SYMBOLS NOT SHOWN BELOW.

- RECESSED FIRE EXTINGUISHER CABINET
- FLOORING TRANSITION - SEE FINISH SCHEDULE AND MATERIALS KEY
- FLOOR SINK - SEE PLUMBING DRAWINGS
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KEYNOTE LEGEND

NUMBER	KEYNOTE

BUILDING KEY PLAN



REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Residential	03/25/19
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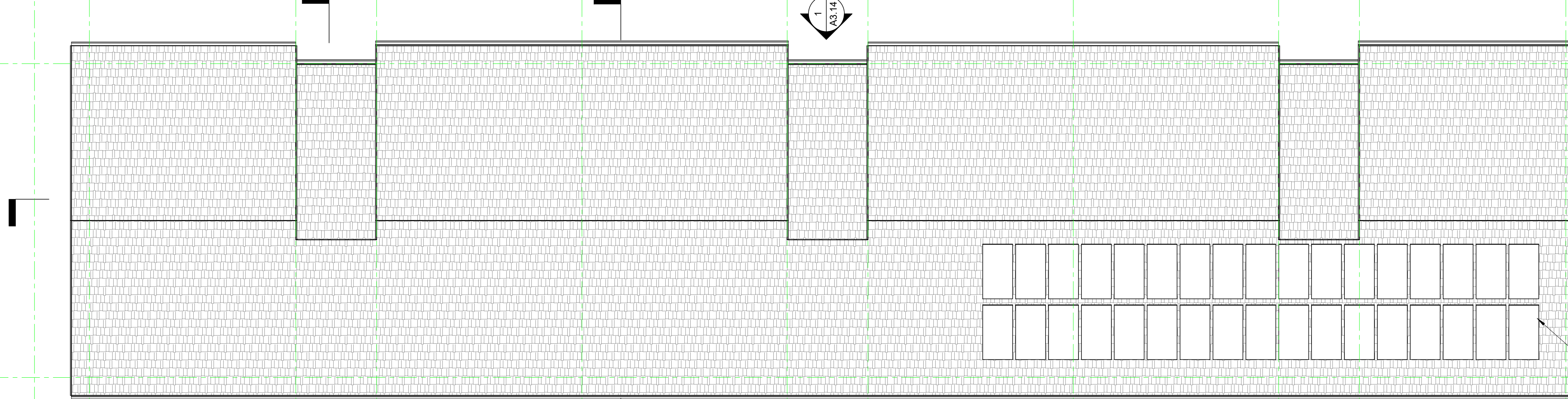
JOB NUMBER: 1603
DRAWN BY: GRS/C
CHECKED BY: PW
DATE: January 24, 2024
SCALE: As Indicated

TITLE:
FLOOR & ROOF PLANS - BUILDING TYPE D (BUILDING 7)

SHEET:
A2.15

7.11 7.10 7.9 7.8 7.7 7.6 7.5 7.4 7.3 7.2 7.1

6'-1 1/2" 23'-0" 9'-0" 22'-10 1/2" 22'-10 1/2" 9'-0" 22'-10 1/2" 22'-10 1/2" 9'-0" 23'-0"

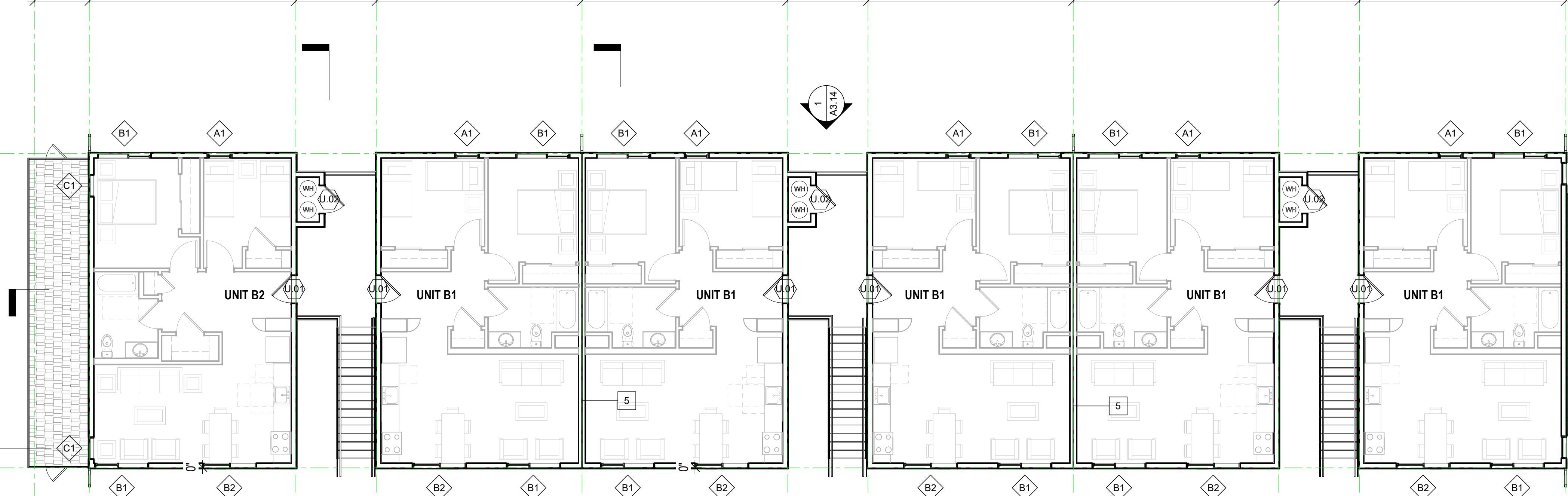


PHOTOVOLTAIC (PV) PANELS

BUILDING 7 - ROOF PLAN 3
1/8" = 1'-0"

7.11 7.10 7.9 7.8 7.7 7.6 7.5 7.4 7.3 7.2 7.1

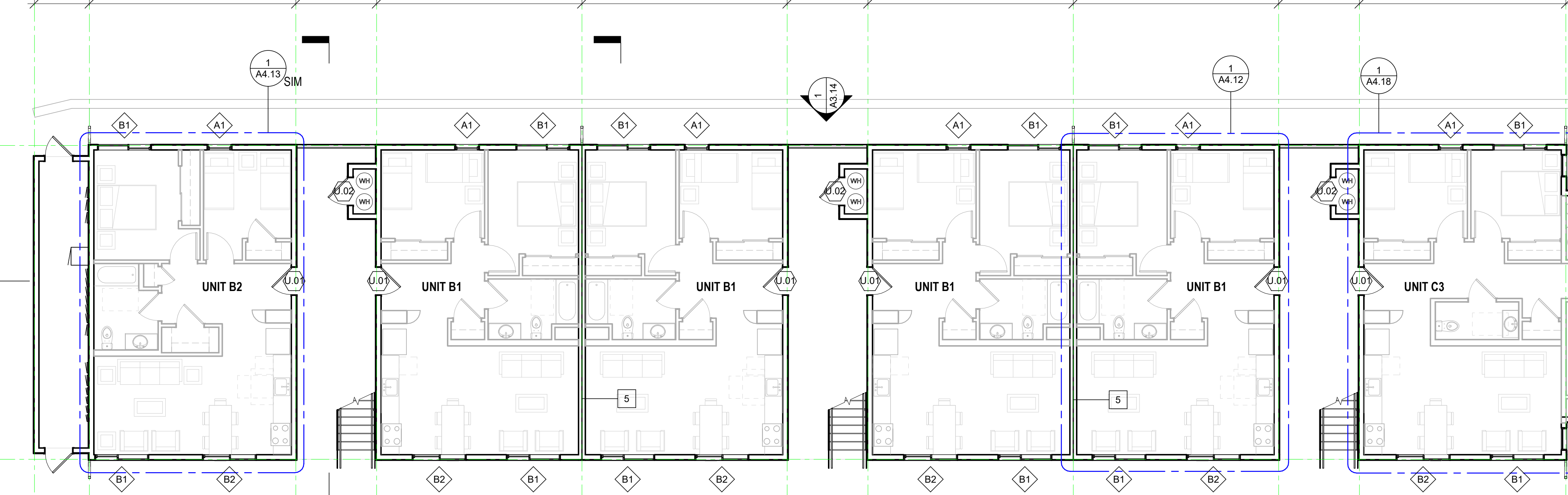
6'-1 1/2" 23'-0" 9'-0" 22'-10 1/2" 22'-10 1/2" 9'-0" 22'-10 1/2" 22'-10 1/2" 9'-0" 23'-0"



BUILDING 7 - LEVEL 2 FLOOR PLAN 2
1/8" = 1'-0"

7.11 7.10 7.9 7.8 7.7 7.6 7.5 7.4 7.3 7.2 7.1

6'-1 1/2" 23'-0" 9'-0" 22'-10 1/2" 22'-10 1/2" 9'-0" 22'-10 1/2" 22'-10 1/2" 9'-0" 23'-0"

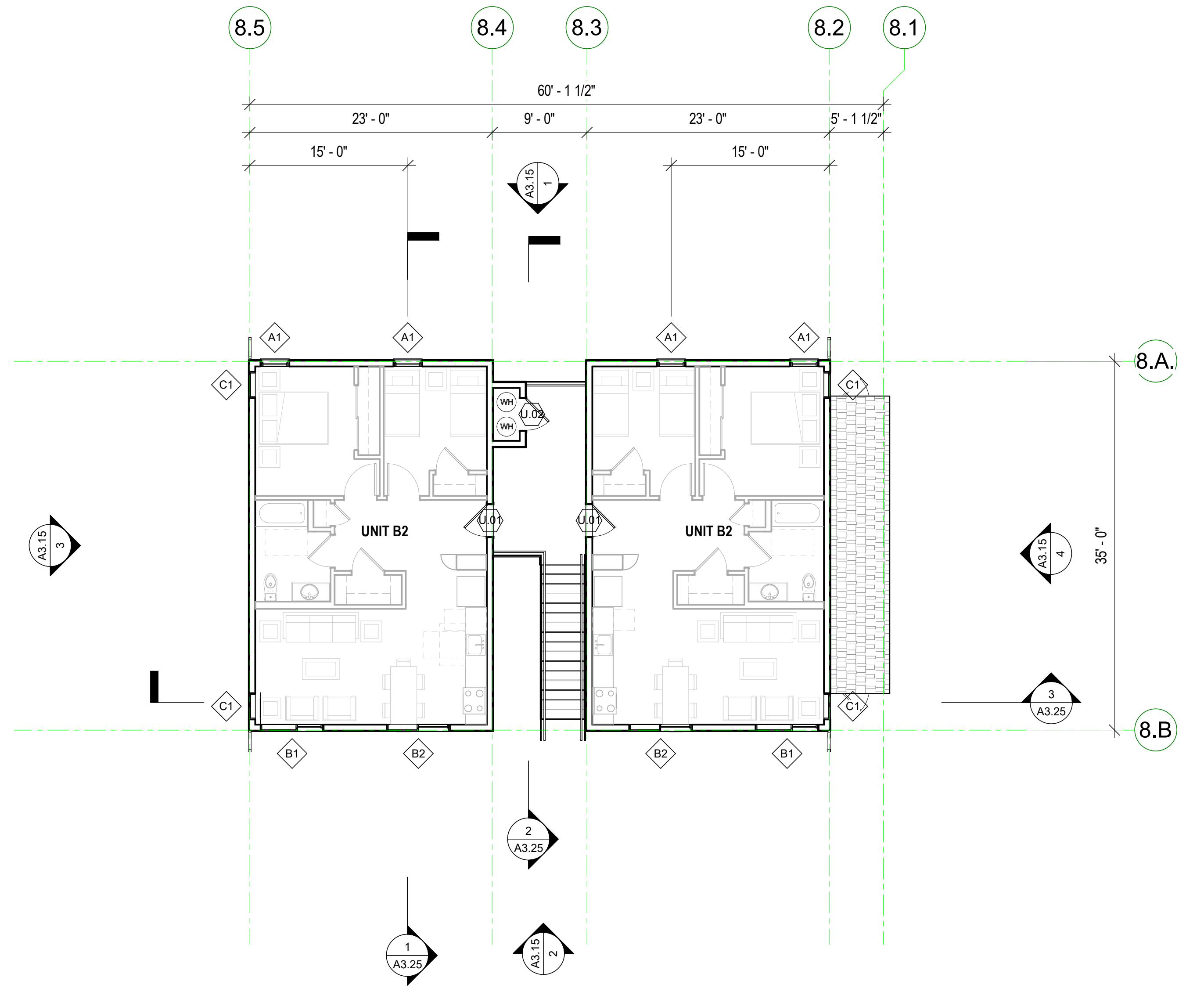


RETAINING WALL, SEE CIVIL DRAWINGS

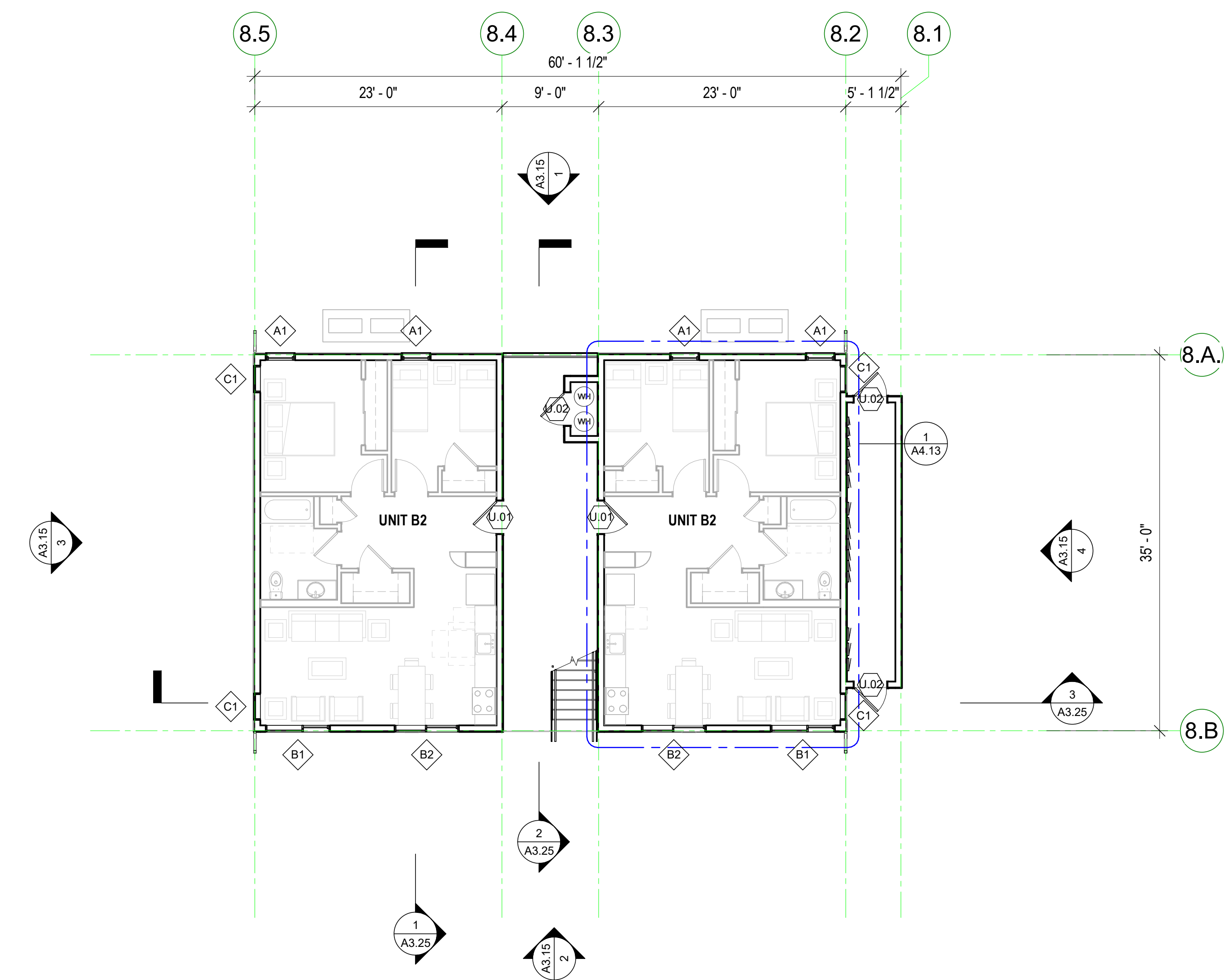
BUILDING 7 - LEVEL 1 FLOOR PLAN 1
1/8" = 1'-0"

FLOOR PLAN GEN. NOTES

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- FOR DOOR & WINDOW SCHEDULES SEE SHEET A9.X & A9.X.
- RAMP SLOPES ARE MEASURED FROM CENTERLINE OF RAMP.
- ALL EXIT STAIRS TO COMPLY WITH CBC CHAPTERS 10, 11A AND/OR 11B. EXIT STAIRS AND LANDINGS TO BE 44 INCHES MINIMUM IN WIDTH. STAIR RISERS TO BE MAXIMUM 7 INCHES HIGH, AND TREADS TO BE 11 INCHES MINIMUM DEEP.
- SEE ROOF PLAN GENERAL NOTES FOR DRAINAGE, VENTILATION, AND ROOF ACCESS NOTES.
- ALL RESIDENTIAL UNITS THAT FACE ROADS ARE EQUIPPED WITH EITHER MECHANICAL VENTILATION OR PASSIVE FRESH-AIR INLETS. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
- SEE SIGNAGE PLANS AND DETAILS ON A10.X FOR ADDITIONAL INFORMATION REGARDING SIGNS AT UNIT ENTRIES, ELEVATORS, STAIRS, EGRESS COMPONENTS, COMMON AREA DOORS.



BUILDING 8 - LEVEL 2 FLOOR PLAN
1/8" = 1'-0" 2



BUILDING 8 - LEVEL 1 FLOOR PLAN
1/8" = 1'-0" 1

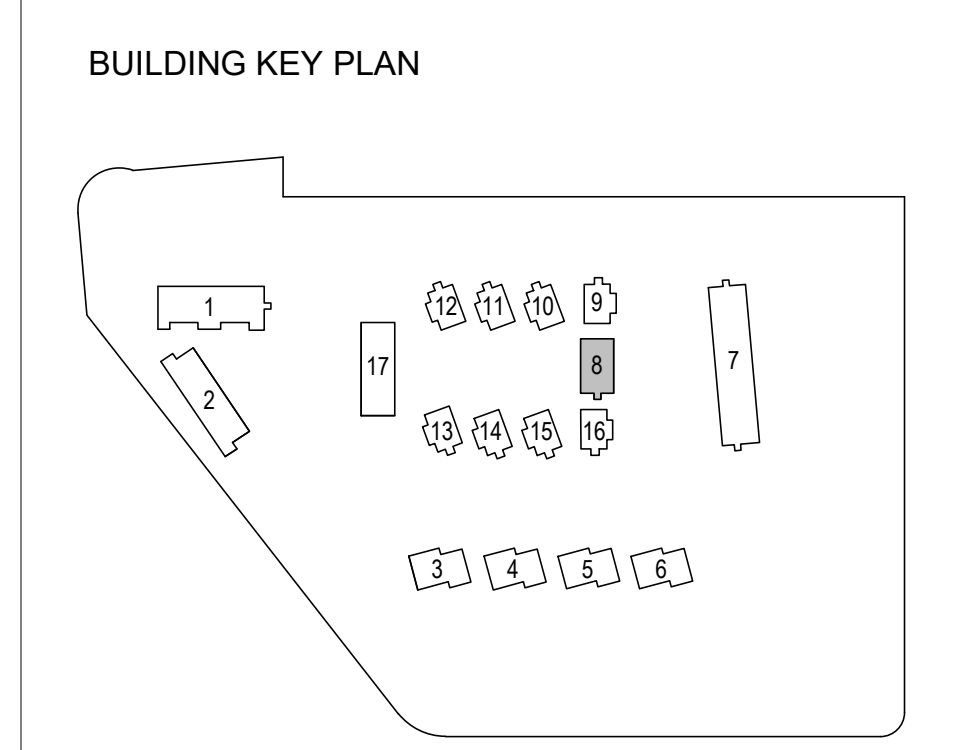
FLOOR PLAN KEY

SEE GRAPHIC SYMBOLS LEGEND ON COVER SHEET FOR SYMBOLS NOT SHOWN BELOW.

- FEC RECESSED FIRE EXTINGUISHER CABINET
- CPT LIN FLOORING TRANSITION - SEE FINISH SCHEDULE AND MATERIALS KEY
- FS FLOOR SINK - SEE PLUMBING DRAWINGS
- FD FLOOR DRAIN - SEE PLUMBING DRAWINGS - MAX SLOPE TO DRAIN 1/8" PER FOOT, U.O.N.
- 2 HOUR RATED WALLS
- VERTICAL RATED SHAFT
- VERTICAL CHASE
- SLOPE SLOPE AT FLOOR OR RAMP DIRECTION

KEYNOTE LEGEND

NUMBER	KEYNOTE



STAMP:

REVISION SCHEDULE

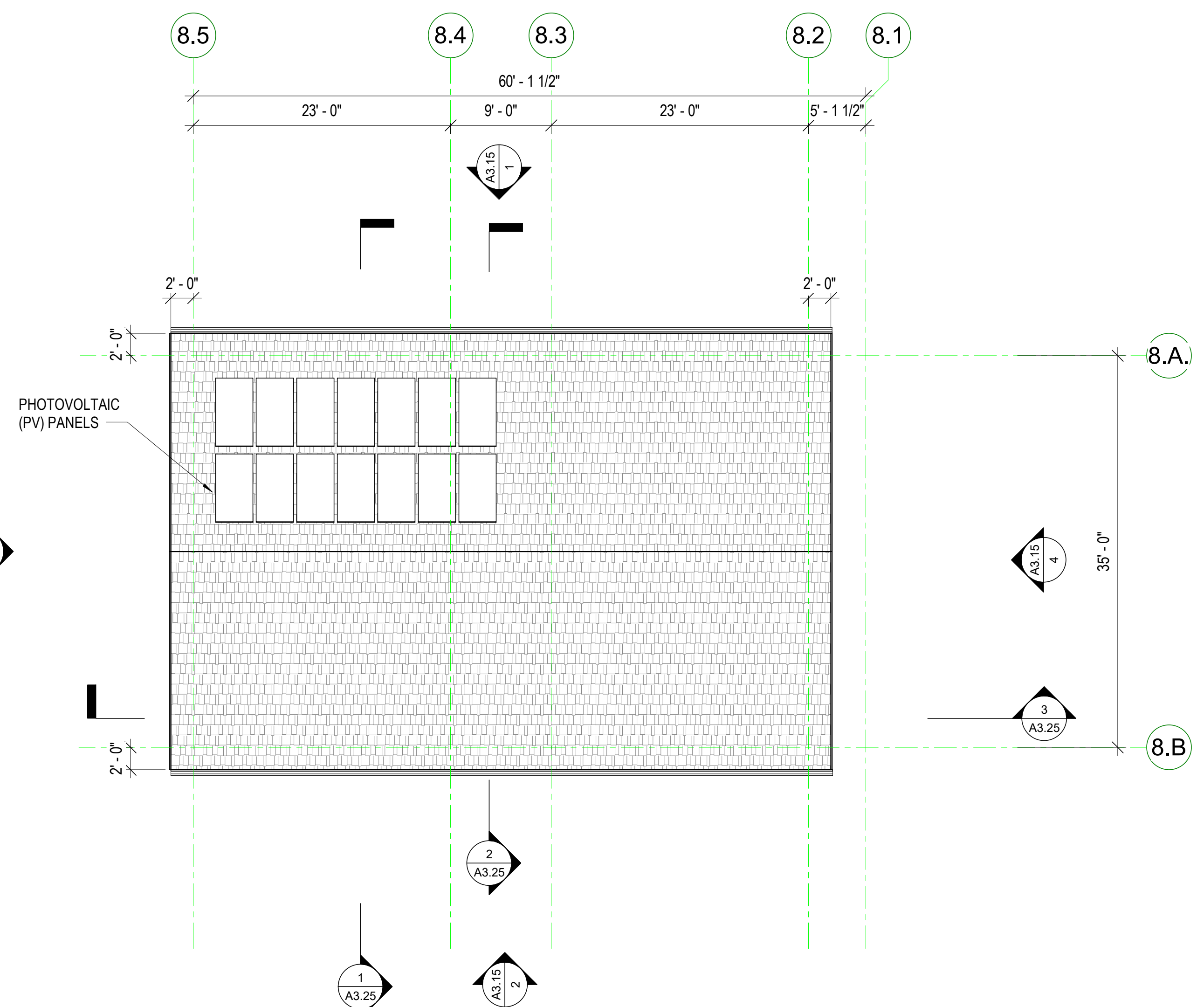
NO.	ISSUE	DATE
1	Planning Reconsideration	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/11/22
4	CDP Reconsideration	12/01/23

JOB NUMBER: 1603
DRAWN BY: Author
CHECKED BY: Checker
DATE: January 24, 2024
SCALE: As Indicated

TITLE:
FLOOR & ROOF PLANS - BUILDING TYPE E (BUILDING 8)

SHEET:

A2.16



BUILDING 8 ROOF PLAN
1/8" = 1'-0" 3

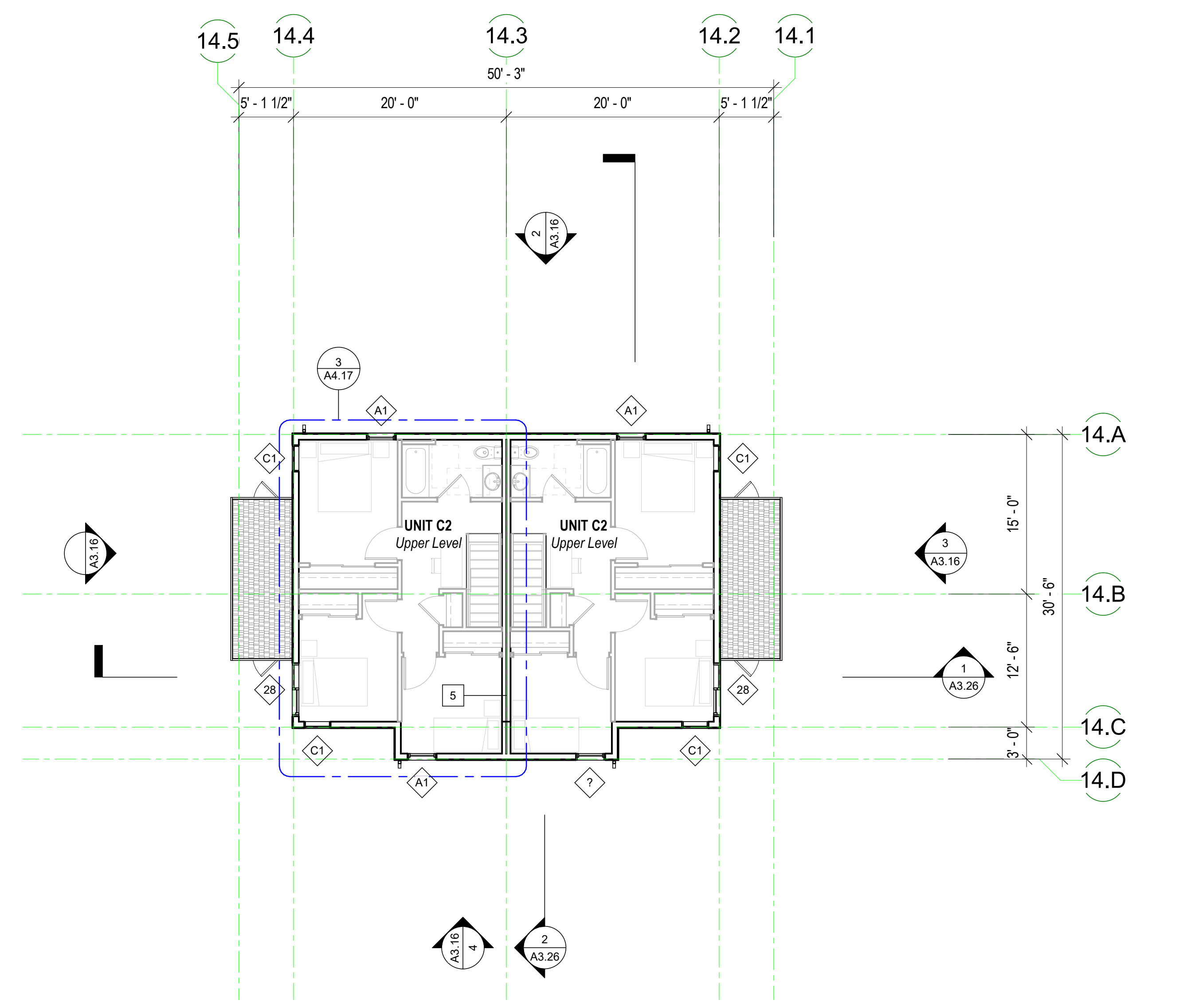
FLOOR PLAN GEN. NOTES

- SEE SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS
- THESE PLANS SHOW UNIQUE INFORMATION ONLY. SEE ENLARGED PLANS FOR INFORMATION NOT SHOWN.
- REFERENCE ACCESSIBILITY CODE SHEETS G0.XX FOR ALL ACCESSIBILITY STANDARDS, REQUIREMENTS AND DIAGRAMMS
- SEE CIVIL PLANS FOR THE BUILDING LOCATION ON SITE AND PRECISE GRADING PLANS.
- FOR PARKING TABULATION REFER TO SHEET G0.XX.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, STUD, OR CENTERLINE OF COLUMN OR DEMISING WALL (C.L.). U.O.N. ALL "CLEAR" DIMENSIONS ARE TO FACE OF FINISH.
- ALL CONSTRUCTION TO BE FIRE-RATED PER THE PROJECT DATA ON THE G0.XX SHEETS AND ASSEMBLIES. SHEETS A9.X. UNIT DEMISING WALLS ARE 1-HR RATED, TYPICAL. FOR DETAILED LOCATION OF WALL ASSEMBLY TYPES, SEE ENLARGED PLANS.
- ALL STAIR, ELEVATOR, TRASH CHUTE, AND VENTILATION SHAFTS TO BE 2-HR FIRE RATED BARRIERS IF CONNECTING MORE THAN 3 STORIES. IF LESS THAN 3 STORIES, THESE MUST BE 1-HR FIRE-RATED CONSTRUCTION.
- FOR DETAIL LOCATION OF WALL ASSEMBLY TYPES, SEE BUILDING AND UNIT FLOOR PLANS, SHEETS A2.X, A4.X, & A8.X. FOR WALL, FLOOR, FLOOR/CEILING, AND ROOF/CEILING ASSEMBLY TYPES, SEE SHEETS A9.X.
- WHERE PROVIDED, CMU PARTITION WALLS TO RECEIVE REINFORCING PER STRUCTURAL DRAWINGS AND TERMINATE AT STRUCTURE ABOVE, U.O.N.
- ALL INTERIOR EXPOSED CONCRETE WITHIN PUBLIC SPACES IS ARCHITECTURAL FINISH, U.O.N.
- STUD SIZES TYPICALLY USED THROUGHOUT PROJECT ARE SHOWN - REFER TO STUD SIZE ON WALL ASSEMBLIES, SHEET A9.X, FOR REQUIRED SIZES, GAUGES AND SPACING REQUIRED. COORDINATE BLOCKING AND BRACING REQUIREMENTS FOR ALL WALL-HUNT ITEMS AND VERIFY LOCATIONS PRIOR TO INSTALLATION OF FINISHES.
- THIS BUILDING TO BE FIRE SPRINKLERED PER APPLICABLE SECTIONS OF CBC CHAPTER 9 AND NFPA 13
- CLASS 1 STANDPIPES TO BE INTERCONNECTED.
- PROVIDE ALL NECESSARY WALL ACCESS PANELS AS REQUIRED FOR MECHANICAL, PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS. IN FIRE RATED ASSEMBLIES PROVIDE RATED ACCESS PANELS WITH SELF CLOSING DEVICES.
- SEE INDIVIDUAL UNIT FLOOR PLANS OR ENLARGED BUILDING PLANS FOR DETAILED INFORMATION ON DIMENSIONS, CONSTRUCTION, DOORS, WINDOWS, AND OTHER ELEMENTS, TYPICAL.
- INTERIOR FINISHES SHALL COMPLY WITH CBC 803.1 FLAME SPREAD PROVISION, SEE INTERIOR DRAWINGS.
- FOR DOOR & WINDOW SCHEDULES SEE SHEET A9.X & A9.X.
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- SEE SIGNAGE PLANS AND DETAILS ON A10.X FOR ADDITIONAL INFORMATION REGARDING SIGNS AT UNIT ENTRIES, ELEVATORS, STAIRS, EGRESS COMPONENTS, COMMON AREA DOORS.

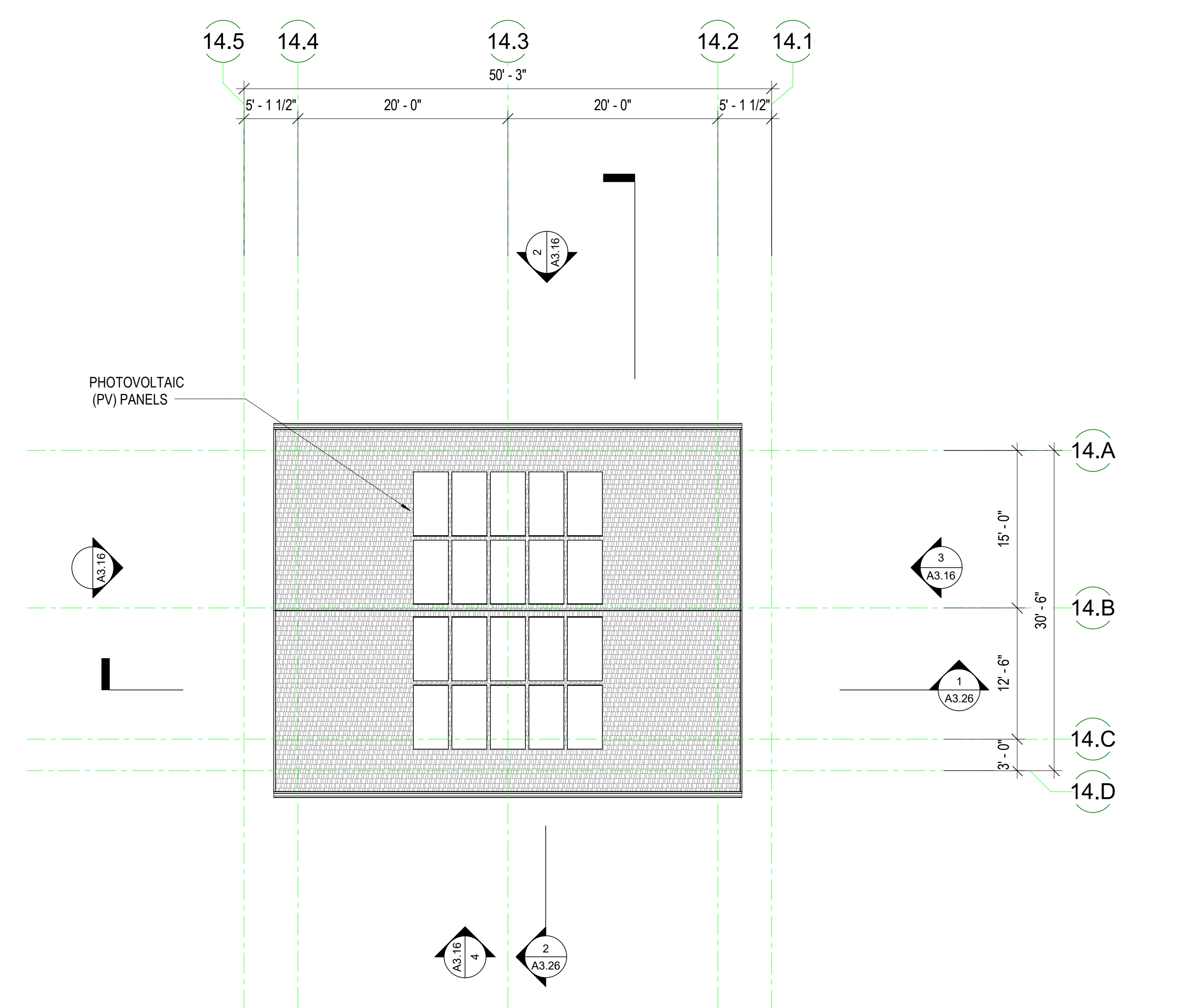
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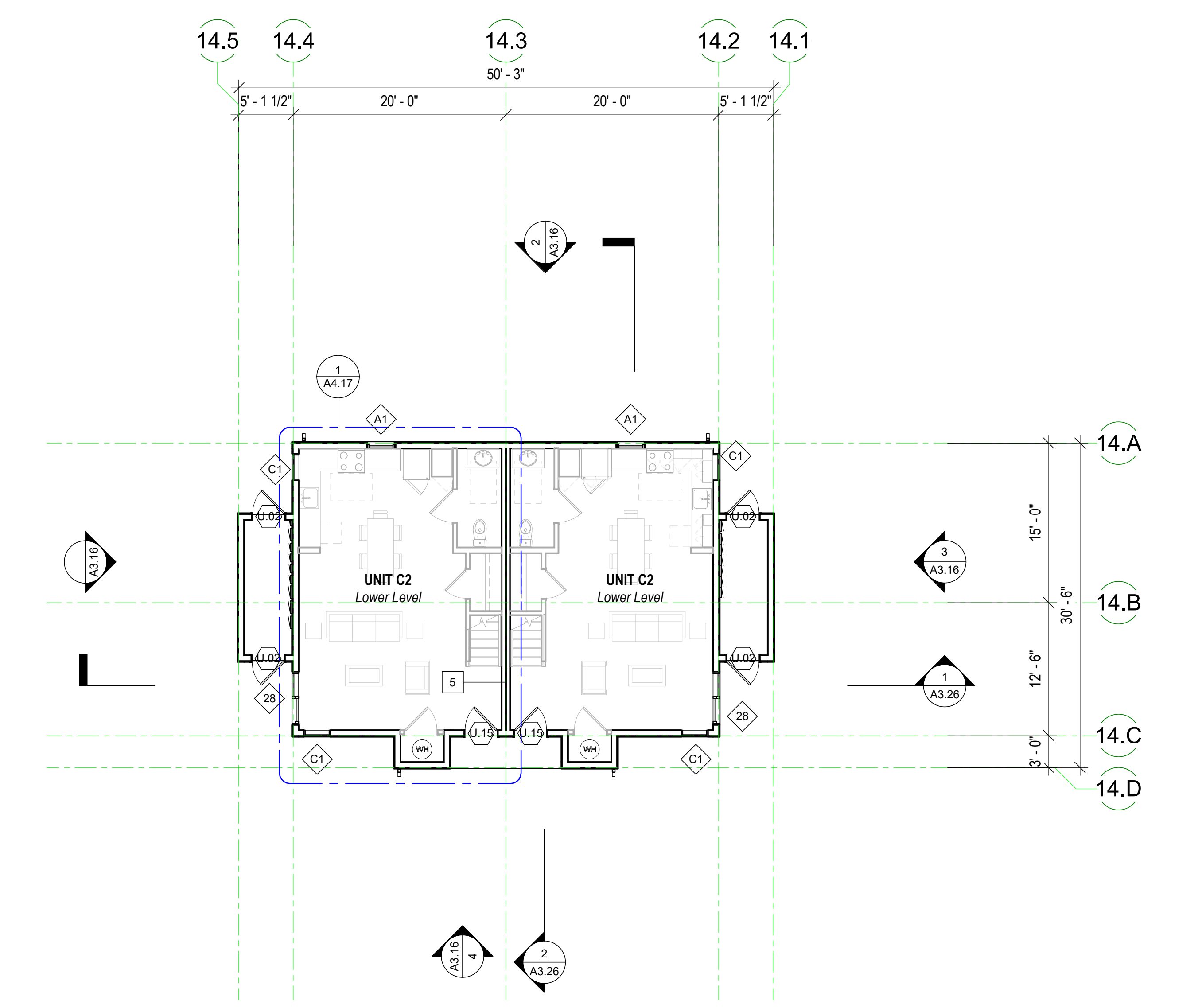
CYPRESS POINT FAMILY COMMUNITY
 Carlos Street, Moss Beach



BUILDING 14 - LEVEL 2 FLOOR PLAN (BLDG. 9,11-16 SIM.) ②
 1/8" = 1'-0"



BUILDING 14 - ROOF PLAN (BLDG. 9,11-16 SIM.) ③
 1/8" = 1'-0"



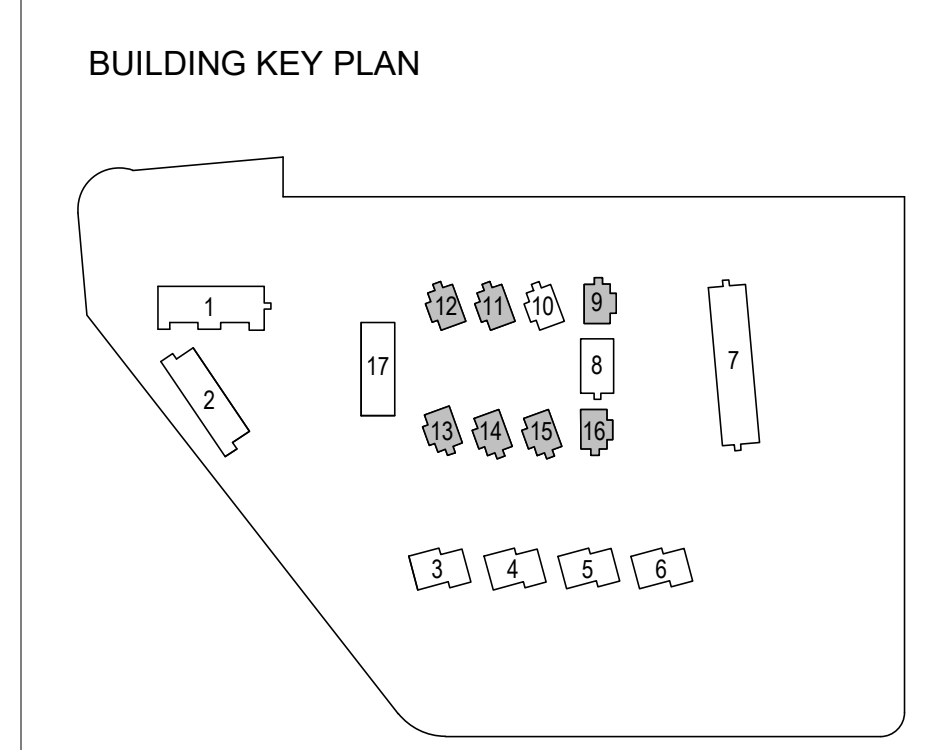
BUILDING 14 - LEVEL 1 FLOOR PLAN (BLDG. 9,11-16 SIM.) ①
 1/8" = 1'-0"

FLOOR PLAN KEY

- SEE GRAPHIC SYMBOLS LEGEND ON COVER SHEET FOR SYMBOLS NOT SHOWN BELOW.
- FEC RECESSED FIRE EXTINGUISHER CABINET
 - CPT LIN FLOORING TRANSITION - SEE FINISH SCHEDULE AND MATERIALS KEY
 - FS FLOOR SINK - SEE PLUMBING DRAWINGS
 - FD FLOOR DRAIN - SEE PLUMBING DRAWINGS - MAX SLOPE TO DRAIN 1/8" PER FOOT, U.O.N.
 - 2 HOUR RATED WALLS
 - VERTICAL RATED SHAFT
 - VERTICAL CHASE
 - SLOPE SLOPE AT FLOOR OR RAMP DIRECTION

KEYNOTE LEGEND

NUMBER	KEYNOTE



STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/11/22
4	CDP Resubmittal	12/01/23

JOB NUMBER: 1603
 DRAWN BY: GP/SC
 CHECKED BY: PW
 DATE: January 24, 2024
 SCALE: As Indicated
 TITLE:
FLOOR & ROOF PLANS - BUILDING TYPE F (BUILDINGS 9, 11-16)
 SHEET:
A2.17

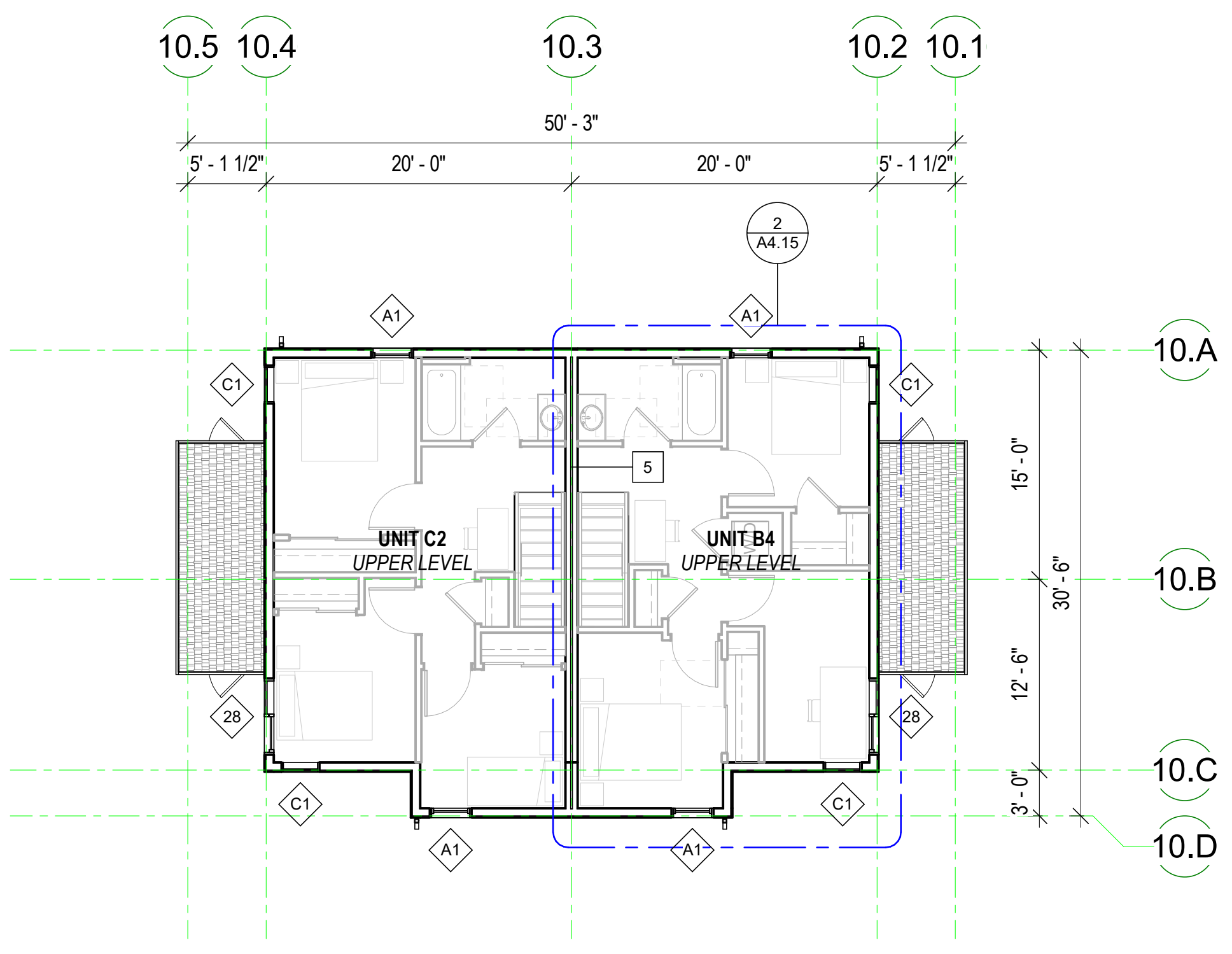
FLOOR PLAN GEN. NOTES

- SEE SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS
- THESE PLANS SHOW UNIQUE INFORMATION ONLY. SEE ENLARGED PLANS FOR INFORMATION NOT SHOWN.
- REFERENCE ACCESSIBILITY CODE SHEETS G0.XX FOR ALL ACCESSIBILITY STANDARDS, REQUIREMENTS AND DIAGRAM
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- FOR DETAIL LOCATION OF WALL ASSEMBLY TYPES, SEE BUILDING AND UNIT FLOOR PLANS, SHEETS A2.X, A4.X, & A8.X. FOR WALL, FLOOR, FLOOR/CEILING, AND ROOF/CEILING ASSEMBLY TYPES, SEE SHEETS A9.X.
- WHERE PROVIDED, CMU PARTITION WALLS TO RECEIVE REINFORCING PER STRUCTURAL DRAWINGS AND TERMINATE AT STRUCTURE ABOVE, U.O.N.
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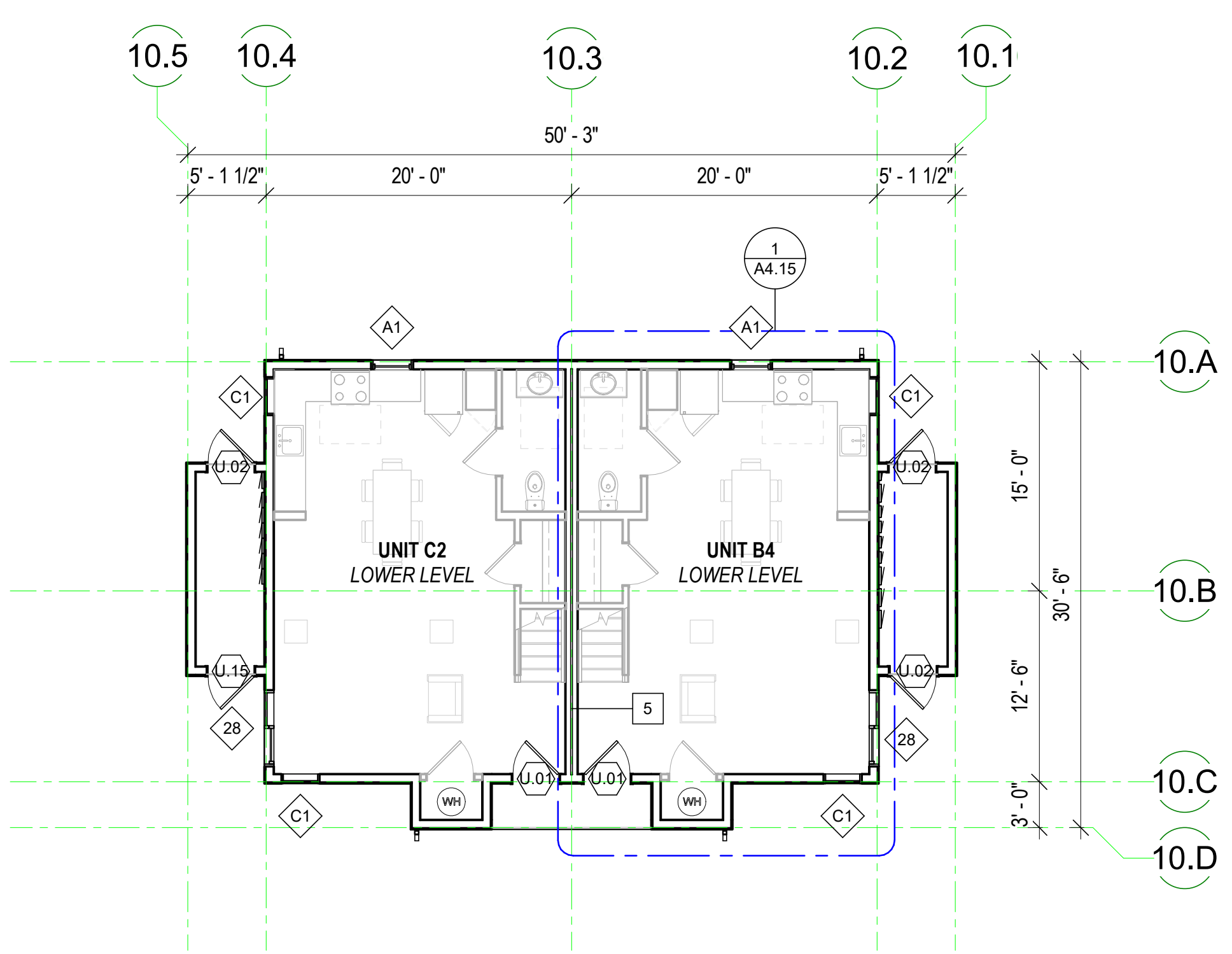
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 Foster City, CA 94404

CYPRESS POINT FAMILY COMMUNITY
 Carlos Street, Moss Beach



BUILDING 10 - LEVEL 2 FLOOR PLAN ②
 1/8" = 1'-0"



BUILDING 10 - LEVEL 1 FLOOR PLAN ①
 1/8" = 1'-0"

FLOOR PLAN KEY

- SEE GRAPHIC SYMBOLS LEGEND ON COVER SHEET FOR SYMBOLS NOT SHOWN BELOW.
- FEC RECESSED FIRE EXTINGUISHER CABINET
 - CPT LIN FLOORING TRANSITION - SEE FINISH SCHEDULE AND MATERIALS KEY
 - FS FLOOR SINK - SEE PLUMBING DRAWINGS
 - FD FLOOR DRAIN - SEE PLUMBING DRAWINGS - MAX SLOPE TO DRAIN 1/8" PER FOOT, U.O.N.
 - 2 HOUR RATED WALLS
 - VERTICAL RATED SHAFT
 - VERTICAL CHASE
 - SLOPE SLOPE AT FLOOR OR RAMP DIRECTION

KEYNOTE LEGEND	
NUMBER	KEYNOTE

BUILDING KEY PLAN

STAMP:

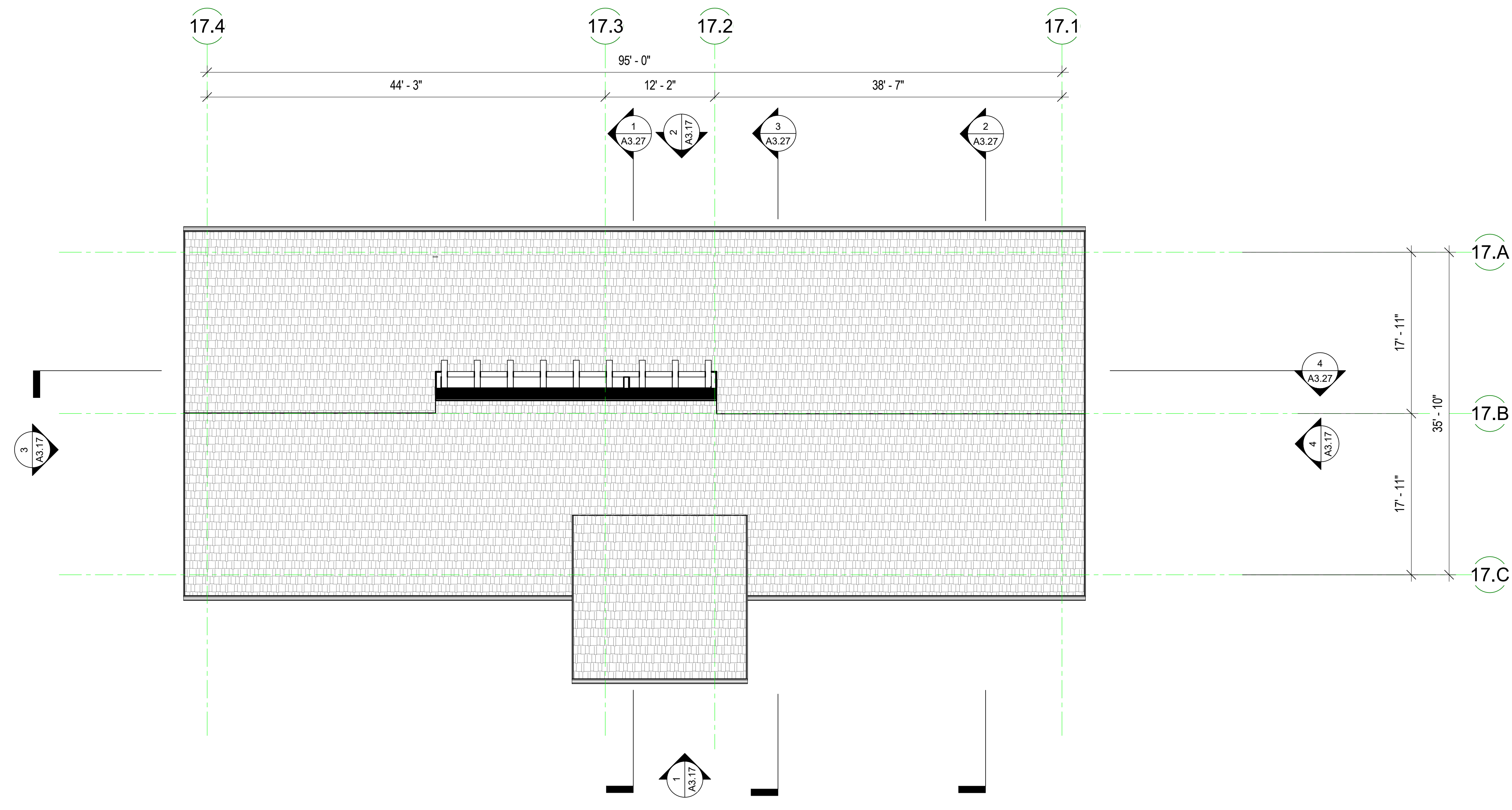
REVISION SCHEDULE	
NO.	DATE
1	10/1/23

JOB NUMBER: 1603
 DRAWN BY: Author
 CHECKED BY: Checker
 DATE: January 24, 2024
 SCALE: As Indicated

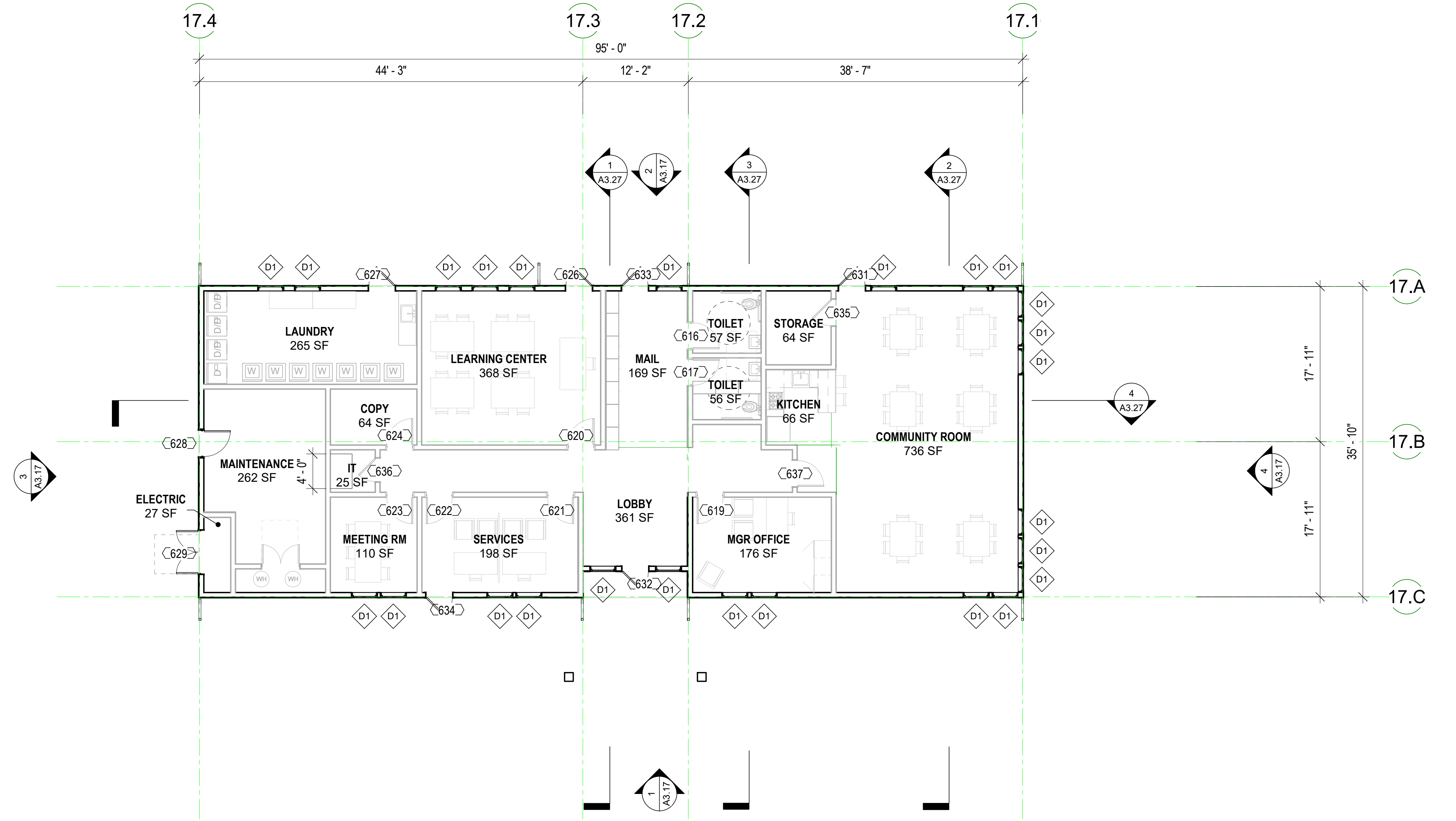
TITLE:
FLOOR & ROOF PLANS - BUILDING TYPE F (BUILDING 10)

SHEET:
A2.18

- SEE SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS
- THESE PLANS SHOW UNIQUE INFORMATION ONLY. SEE ENLARGED PLANS FOR INFORMATION NOT SHOWN.
- REFERENCE ACCESSIBILITY CODE SHEETS G0.XX FOR ALL ACCESSIBILITY STANDARDS, REQUIREMENTS AND DIAGRAMS
- SEE CIVIL PLANS FOR THE BUILDING LOCATION ON SITE AND PRECISE GRADING PLANS.
- FOR PARKING TABULATION REFER TO SHEET G0.XX.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, STUD, OR CENTERLINE OF COLUMN OR DEMISING WALL (C.L.), U.O.N. ALL "CLEAR" DIMENSIONS ARE TO FACE OF FINISH.
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- FOR DETAIL LOCATION OF WALL ASSEMBLY TYPES, SEE BUILDING AND UNIT FLOOR PLANS, SHEETS A2.X, A4.X, & A8.X. FOR WALL, FLOOR, FLOOR/CEILING, AND ROOF/CEILING ASSEMBLY TYPES, SEE SHEETS A9.X.
- WHERE PROVIDED, CMU PARTITION WALLS TO RECEIVE REINFORCING PER STRUCTURAL DRAWINGS AND TERMINATE AT STRUCTURE ABOVE, U.O.N.
- ALL INTERIOR EXPOSED CONCRETE WITHIN PUBLIC SPACES IS ARCHITECTURAL FINISH, U.O.N.
- STUD SIZES TYPICALLY USED THROUGHOUT PROJECT ARE SHOWN - REFER TO STUD SIZE ON WALL ASSEMBLIES, SHEET A9.X, FOR REQUIRED SIZES, GAUGES AND SPACING REQUIRED. COORDINATE BLOCKING AND BRACING REQUIREMENTS FOR ALL WALL-HUNT ITEMS AND VERIFY LOCATIONS PRIOR TO INSTALLATION OF FINISHES.
- THIS BUILDING TO BE FIRE SPRINKLERED PER APPLICABLE SECTIONS OF CBC CHAPTER 9 AND NFPA 13
- CLASS 1 STANDPIPES TO BE INTERCONNECTED.
- PROVIDE ALL NECESSARY WALL ACCESS PANELS AS REQUIRED FOR MECHANICAL, PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS. IN FIRE RATED ASSEMBLIES PROVIDE RATED ACCESS PANELS WITH SELF CLOSING DEVICES.
- SEE INDIVIDUAL UNIT FLOOR PLANS OR ENLARGED BUILDING PLANS FOR DETAILED INFORMATION ON DIMENSIONS, CONSTRUCTION, DOORS, WINDOWS, AND OTHER ELEMENTS, TYPICAL.
- INTERIOR FINISHES SHALL COMPLY WITH CBC 803.1 FLAME SPREAD PROVISION, SEE INTERIOR DRAWINGS.
- FOR DOOR & WINDOW SCHEDULES SEE SHEET A9.X & A9.X.
- RAMP SLOPES ARE MEASURED FROM CENTERLINE OF RAMP.
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- SEE ROOF PLAN GENERAL NOTES FOR DRAINAGE, VENTILATION, AND ROOF ACCESS NOTES.
- ALL RESIDENTIAL UNITS THAT FACE ROADS ARE EQUIPPED WITH EITHER MECHANICAL VENTILATION OR PASSIVE FRESH-AIR INLETS. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
- SEE SIGNAGE PLANS AND DETAILS ON A10.X FOR ADDITIONAL INFORMATION REGARDING SIGNS AT UNIT ENTRIES, ELEVATORS, STAIRS, EGRESS COMPONENTS, COMMON AREA DOORS.



BUILDING 17 - COMMUNITY BLDG - ROOF PLAN
1/8" = 1'-0" 2



BUILDING 17 - COMMUNITY BLDG - LEVEL 1 FLOOR PLAN
1/8" = 1'-0" 1

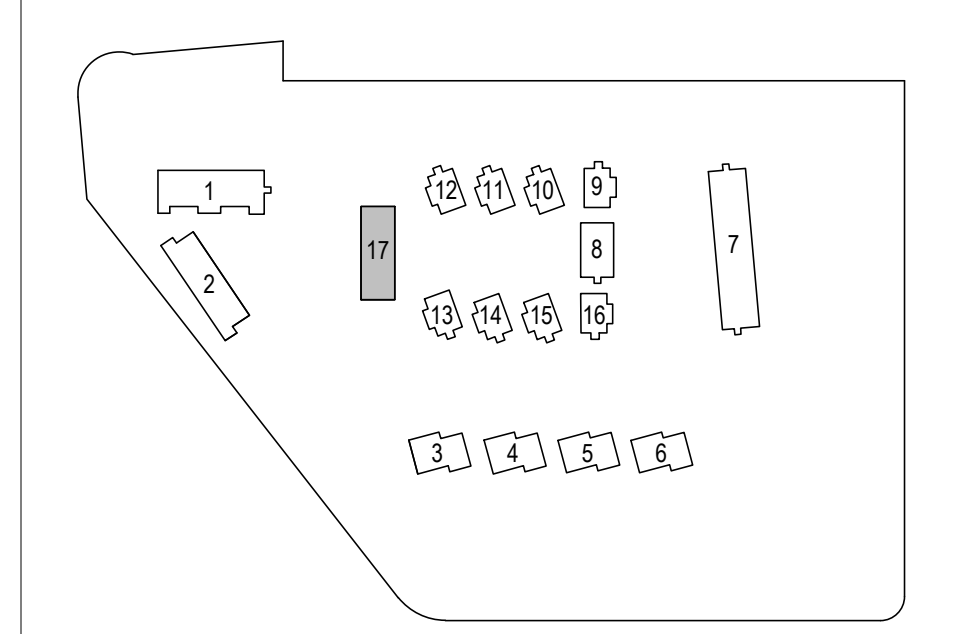
FLOOR PLAN KEY

SEE GRAPHIC SYMBOLS LEGEND ON COVER SHEET FOR SYMBOLS NOT SHOWN BELOW.

- RECESSED FIRE EXTINGUISHER CABINET
- FLOORING TRANSITION - SEE FINISH SCHEDULE AND MATERIALS KEY
- FLOOR SINK - SEE PLUMBING DRAWINGS
- FLOOR DRAIN - SEE PLUMBING DRAWINGS - MAX SLOPE TO DRAIN 1/8" PER FOOT, U.O.N.
- 2 HOUR RATED WALLS
- VERTICAL RATED SHAFT
- VERTICAL CHASE
- SLOPE AT FLOOR OR RAMP DIRECTION

KEYNOTE LEGEND	
NUMBER	KEYNOTE

BUILDING KEY PLAN



STAMP:

REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Reconsideration	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/11/22
4	CDP Reconsideration	12/01/23

JOB NUMBER: 1603
DRAWN BY: Author
CHECKED BY: Checker
DATE: January 24, 2024
SCALE: As indicated

TITLE:
FLOOR & ROOF PLANS - COMMUNITY BUILDING (BUILDING 17)

SHEET:
A2.19

ELEVATION NOTES

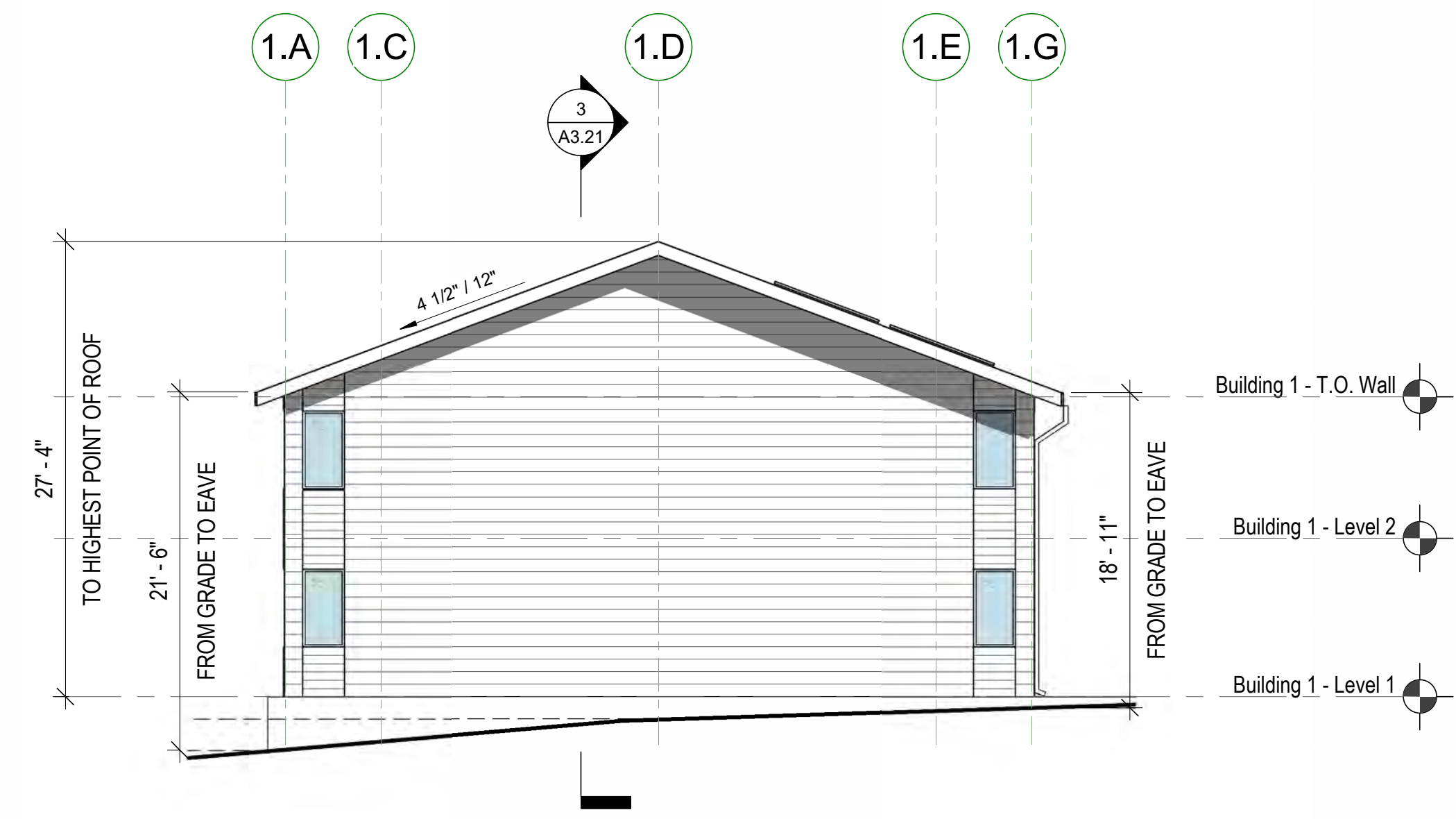
- SEE SHEET **G0.00** FOR SYMBOLS & ABBREVIATIONS.
- THESE ELEVATIONS SHOW OVERALL INFORMATION AND UNIT-TO-UNIT RELATIONSHIPS ONLY. SEE ENLARGED ELEVATIONS FOR INFORMATION NOT SHOWN.
- ALL CONTROL JOINTS AND FINISH MATERIALS SHALL WRAP AROUND CORNERS AND CONTINUE ONTO ADJACENT WALLS WHETHER SHOWN OR NOT, UNLESS NOTED OTHERWISE. PER **ASTM C 1063** INSTALL CONTROL JOINTS WHERE AN EXPANSION JOINT OCCURS IN THE BASE EXTERIOR WALL. INSTALL CONTROL JOINTS WHERE CEILING FRAMING OR FURRING CHANGES DIRECTION.
- PER **ASTM C 1063**, EXTERIOR PLASTER CONTROL JOINTS TO BE INSTALLED IN VERTICAL SURFACES EXCEEDING 144 SQUARE FEET IN AREA AND HORIZONTAL SURFACES EXCEEDING 100 SQUARE FEET IN AREA. DISTANCE BETWEEN CONTROL JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2.5 TO 1.
- ALL WEEP SCREED LINES SHALL BE LEVEL AND STEP WITH ADJACENT GRADE. STEPPING OF WEEP SCREED TO OCCUR AT INSIDE CORNERS. BOTTOM EDGE OF WEEP SCREED SHALL BE INSTALLED NOT LESS THAN 1 INCH BELOW THE JOINT FORMED BY THE FOUNDATION AND FRAMING. NOSE OF SCREED SHALL BE PLACED 6 INCHES MINIMUM ABOVE GRADE OR 2 INCHES MINIMUM ABOVE PAVED SURFACE.
- ALL WINDOW HEAD HEIGHTS TO BE **X'-XX"** FROM TOP OF SHEATHING AT WOOD STRUCTURE AND **X'-XX"** AT CONCRETE, TYPICAL, U.O.N.
- ALL EXTERIOR WALL PENETRATIONS SHALL BE SEALED.
- ALL GUTTERS SHALL BE LEVEL U.O.N. AND RAINWATER LEADERS SHALL VERTICALLY ALIGN WITH WALLS INCLUDING PRIVATE DECKS AND STAIRS OPENINGS.
- REFER TO WINDOW SCHEDULE FOR WINDOW SIZES RATINGS.
- REFER TO MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- FRAMING SUB-CONTRACTOR SHALL REVIEW AND COORDINATE EXTERIOR LIGHTING AND SIGNAGE LOCATIONS AND SHALL PROVIDE SOLID BLOCKING WHERE REQUIRED.
- FAÇADE ACCESS PLAN SHALL BE PROVIDED BY OWNER TO COMPLY WITH OSHA REGULATIONS FOR BUILDING MAINTENANCE.
- CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS AND/OR DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
- ALL LEVELS ARE TO TOP OF PLYWOOD SUBFLOOR OR TOP OF STRUCTURAL CONCRETE, U.O.N.
- FOR DOOR AND WINDOW TYPES AND SIZES, SEE SCHEDULES AND LEGENDS ON **A9.XX** AND **A9.XX**.
- SEE COLOR LEGEND ON SHEET **G0.XX** FOR PAINT SCHEDULE.

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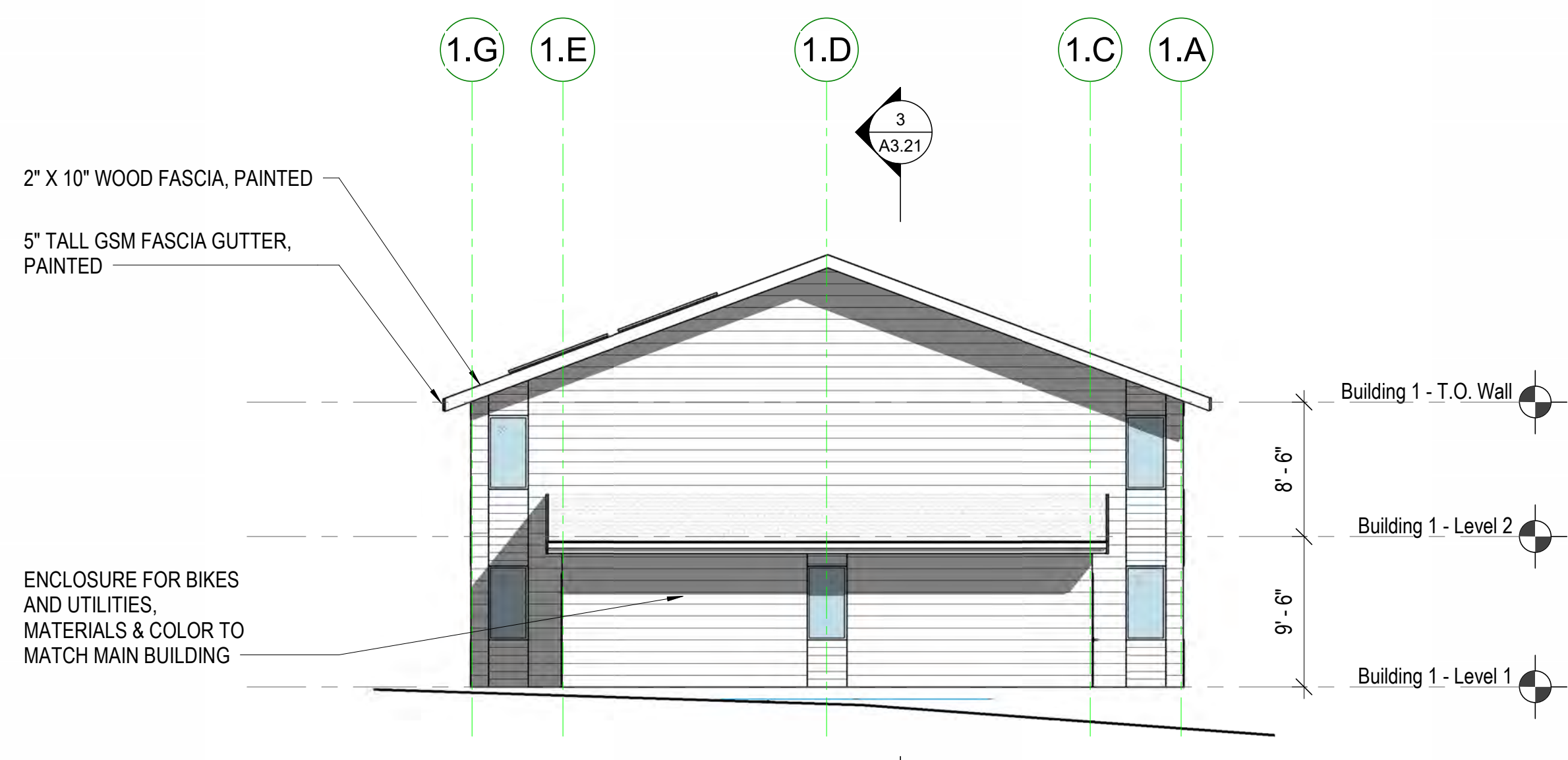
MidPen HOUSING

MIDPEN HOUSING
 303 Vintage Park Drive
 Suite 250
 Foster City, CA 94404

CYPRESS POINT FAMILY COMMUNITY
 Carlos Street, Moss Beach



BUILDING 1 - WEST ELEVATION
 1/8" = 1'-0" ④



BUILDING 1 - EAST ELEVATION
 1/8" = 1'-0" ③



BUILDING 1 - SOUTH ELEVATION
 1/8" = 1'-0" ②



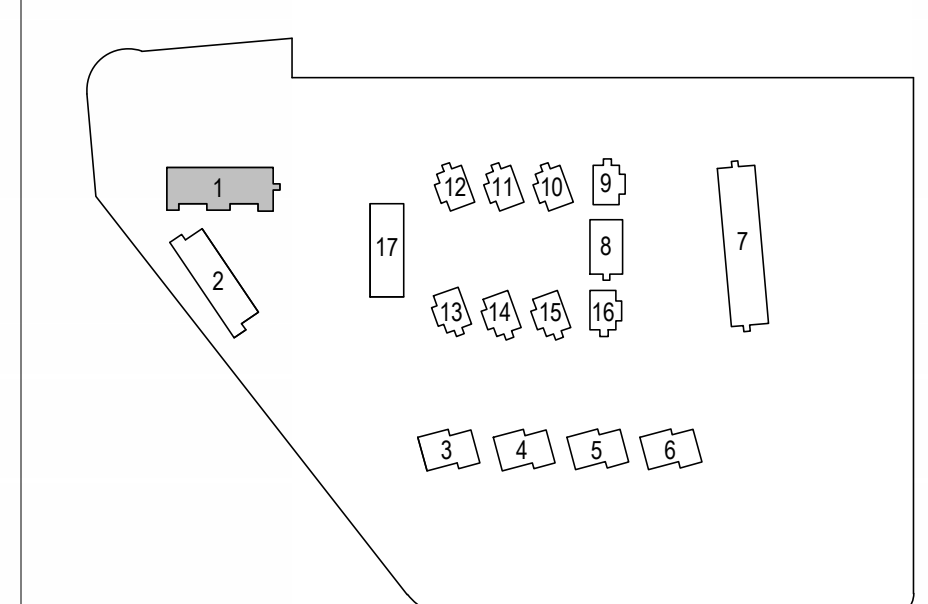
BUILDING 1 - NORTH ELEVATION
 1/8" = 1'-0" ①

KEYNOTE LEGEND	
NUMBER	KEYNOTE

STAMP:

REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
2	Adjusted Heights	09/10/20
3	Coastal Development Permit	06/11/22
4	CDP Resubmittal	12/01/23

BUILDING KEY PLAN



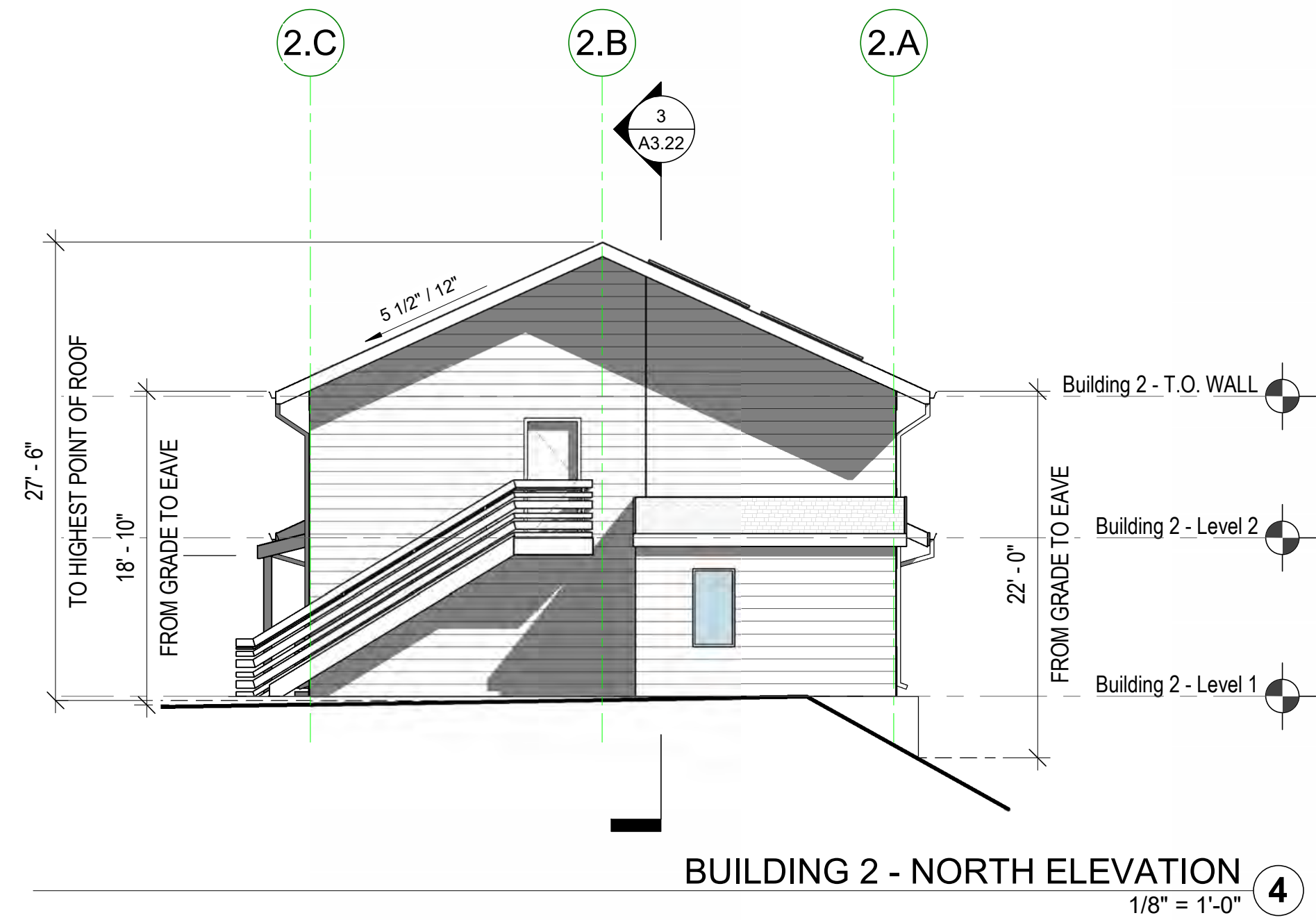
JOB NUMBER: 1603
 DRAWN BY: GP/SC
 CHECKED BY: PW
 DATE: January 24, 2024
 SCALE: As Indicated

TITLE:
ELEVATIONS - BUILDING TYPE A (BUILDING 1)

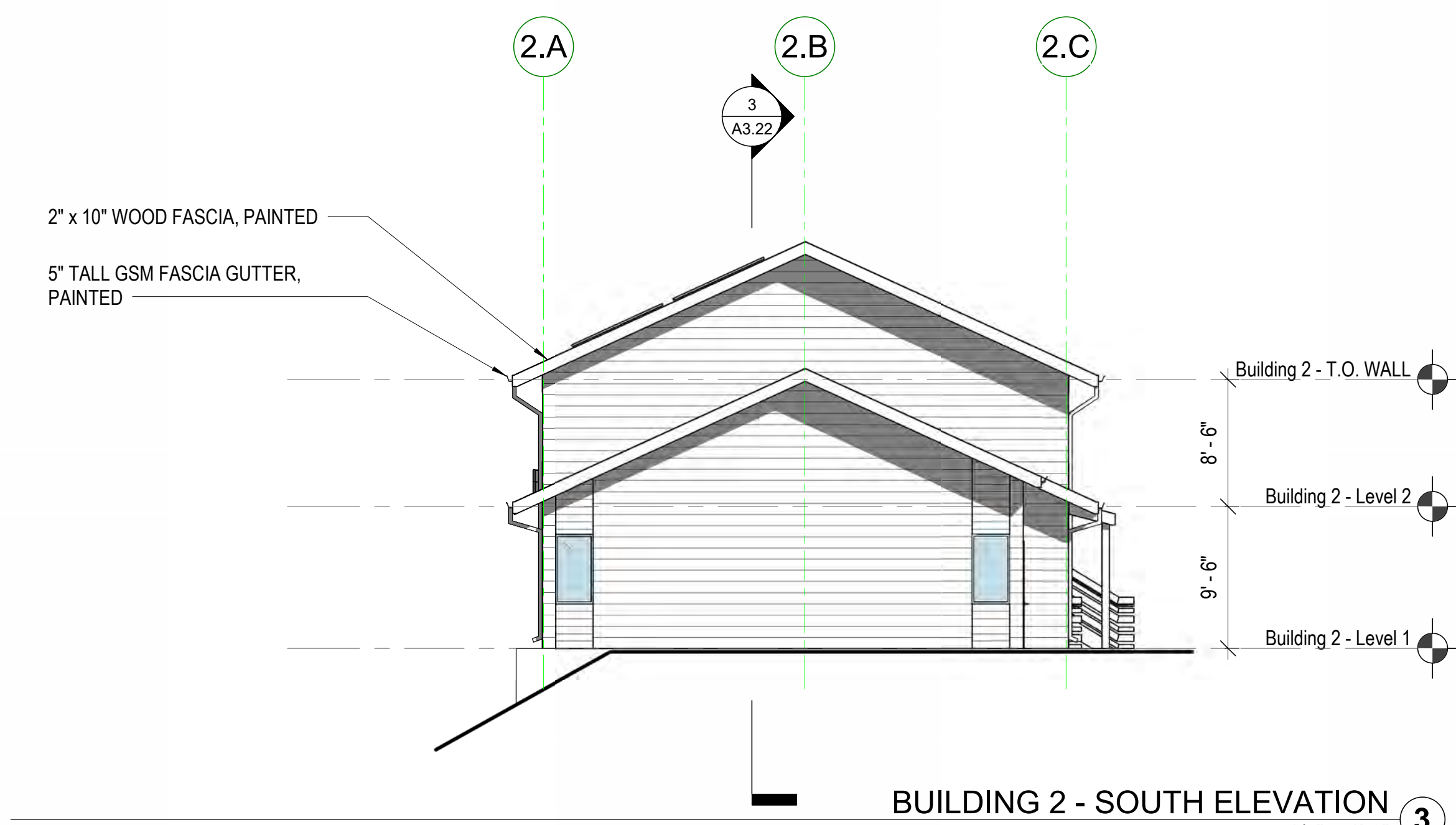
SHEET:
A3.11

ELEVATION NOTES

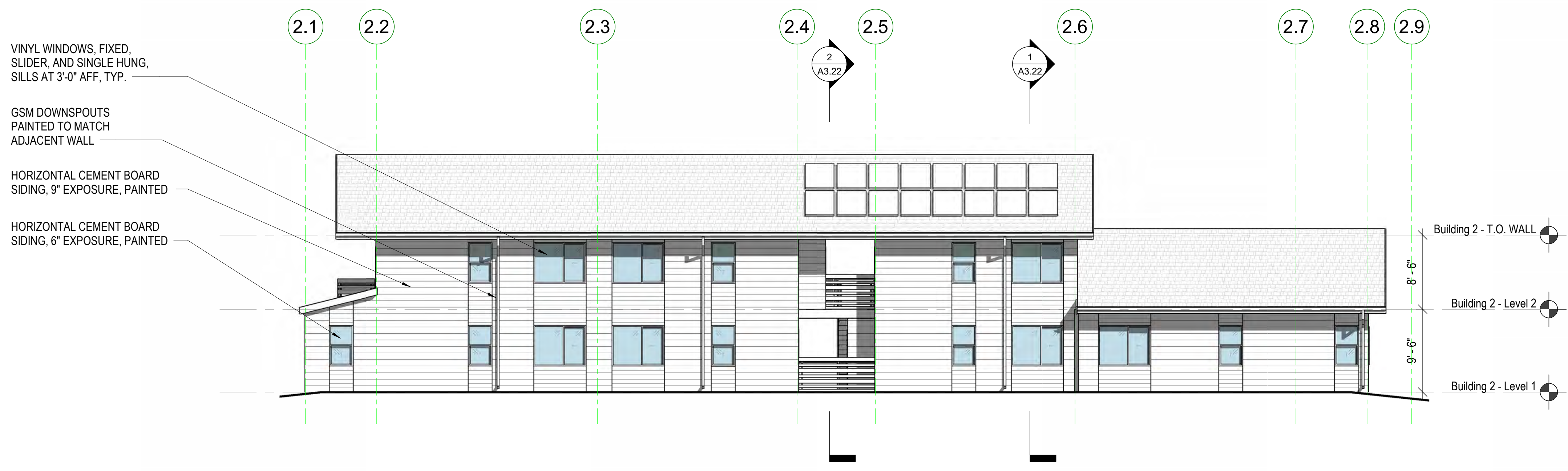
- SEE SHEET **G0.00** FOR SYMBOLS & ABBREVIATIONS.
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- ALL CONTROL JOINTS AND FINISH MATERIALS SHALL WRAP AROUND CORNERS AND CONTINUE ONTO ADJACENT WALLS WHETHER SHOWN OR NOT, UNLESS NOTED OTHERWISE. PER **ASTM C 1063** INSTALL CONTROL JOINTS WHERE AN EXPANSION JOINT OCCURS IN THE BASE EXTERIOR WALL. INSTALL CONTROL JOINTS WHERE CEILING FRAMING OR FURRING CHANGES DIRECTION.
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- ALL WINDOW HEAD HEIGHTS TO BE **X-XX"** FROM TOP OF SHEATHING AT WOOD STRUCTURE AND **X-XX"** AT CONCRETE, TYPICAL, U.O.N.
- ALL EXTERIOR WALL PENETRATIONS SHALL BE SEALED.
- ALL GUTTERS SHALL BE LEVEL U.O.N. AND RAINWATER LEADERS SHALL VERTICALLY ALIGN WITH WALLS INCLUDING PRIVATE DECKS AND STAIRS OPENINGS.
- REFER TO WINDOW SCHEDULE FOR WINDOW SIZES RATINGS.
- REFER TO MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
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- FAÇADE ACCESS PLAN SHALL BE PROVIDED BY OWNER TO COMPLY WITH OSHA REGULATIONS FOR BUILDING MAINTENANCE.
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- ALL LEVELS ARE TO TOP OF PLYWOOD SUBFLOOR OR TOP OF STRUCTURAL CONCRETE, U.O.N.
- FOR DOOR AND WINDOW TYPES AND SIZES, SEE SCHEDULES AND LEGENDS ON **A9.XX AND A9.XX**.
- SEE COLOR LEGEND ON SHEET **G0.XX** FOR PAINT SCHEDULE.



BUILDING 2 - NORTH ELEVATION
1/8" = 1'-0"



BUILDING 2 - SOUTH ELEVATION
1/8" = 1'-0"



BUILDING 2 - WEST ELEVATION
1/8" = 1'-0"

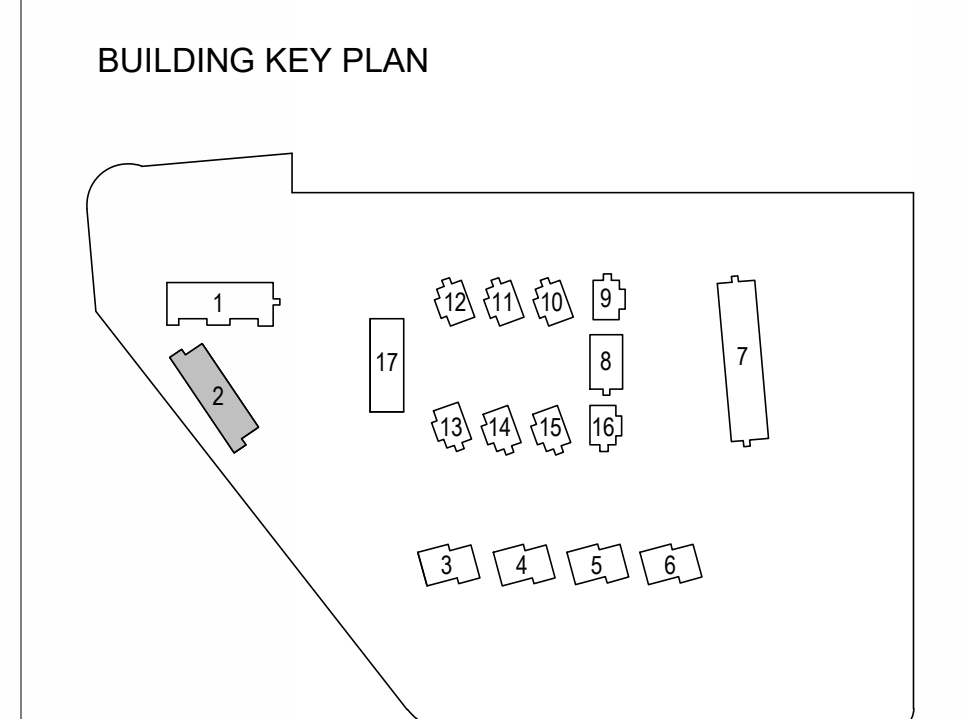


BUILDING 2 - EAST ELEVATION
1/8" = 1'-0"

KEYNOTE LEGEND	
NUMBER	KEYNOTE
1	AS.22
2	AS.22
3	AS.22

STAMP:

REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
2	Adjusted Heights	09/10/20
3	Coastal Development Permit	06/11/22
4	CDP Resubmittal	12/01/23



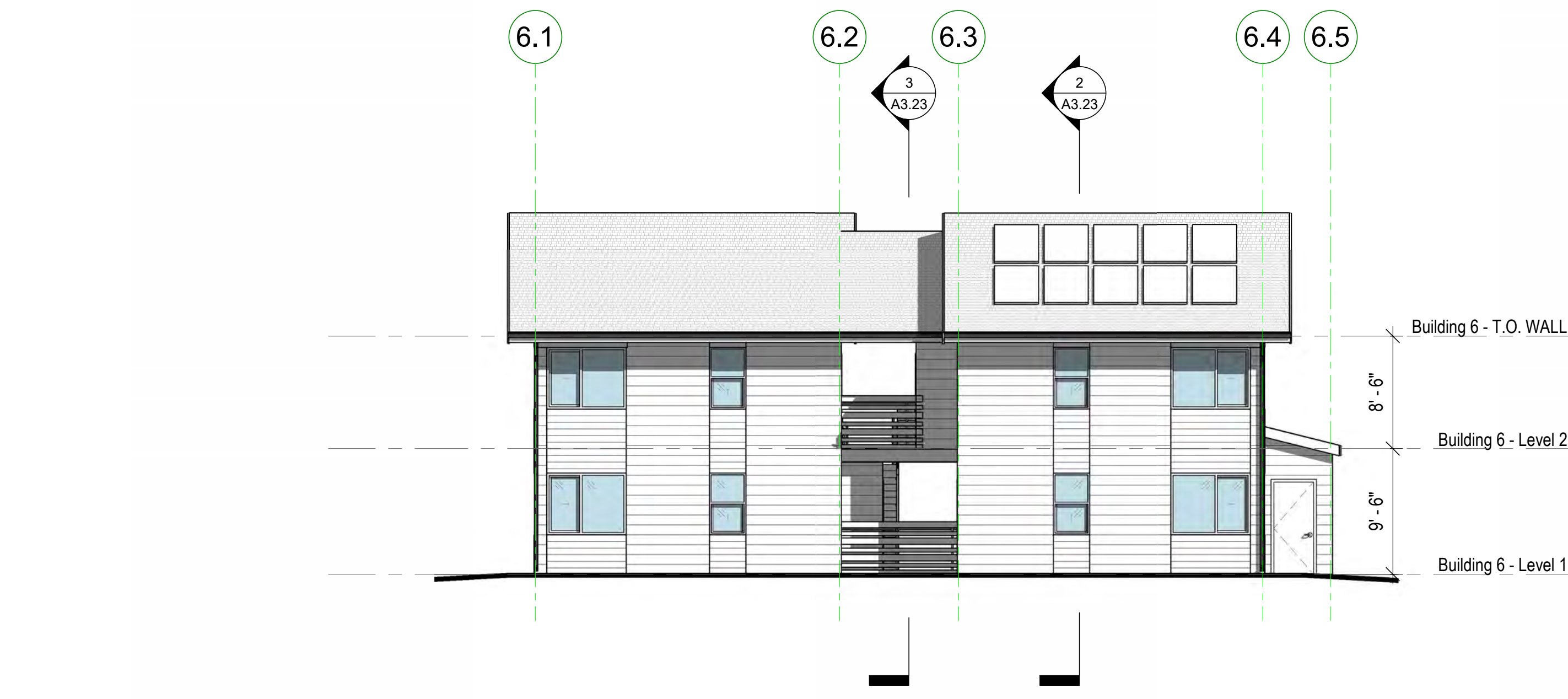
JOB NUMBER: 1603
DRAWN BY: GP/SC
CHECKED BY: PW
DATE: January 24, 2024
SCALE: As Indicated

TITLE:
ELEVATIONS - BUILDING TYPE B (BUILDING 2)

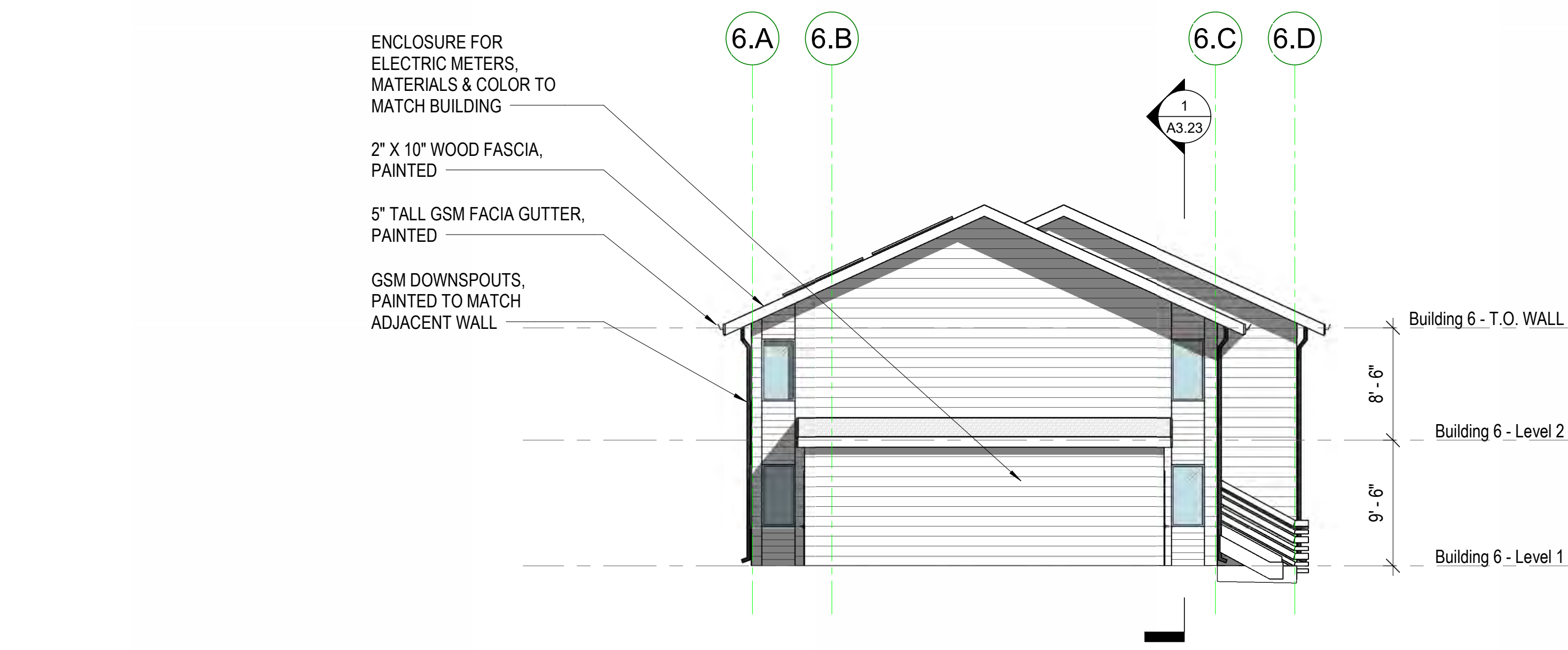
SHEET:
A3.12



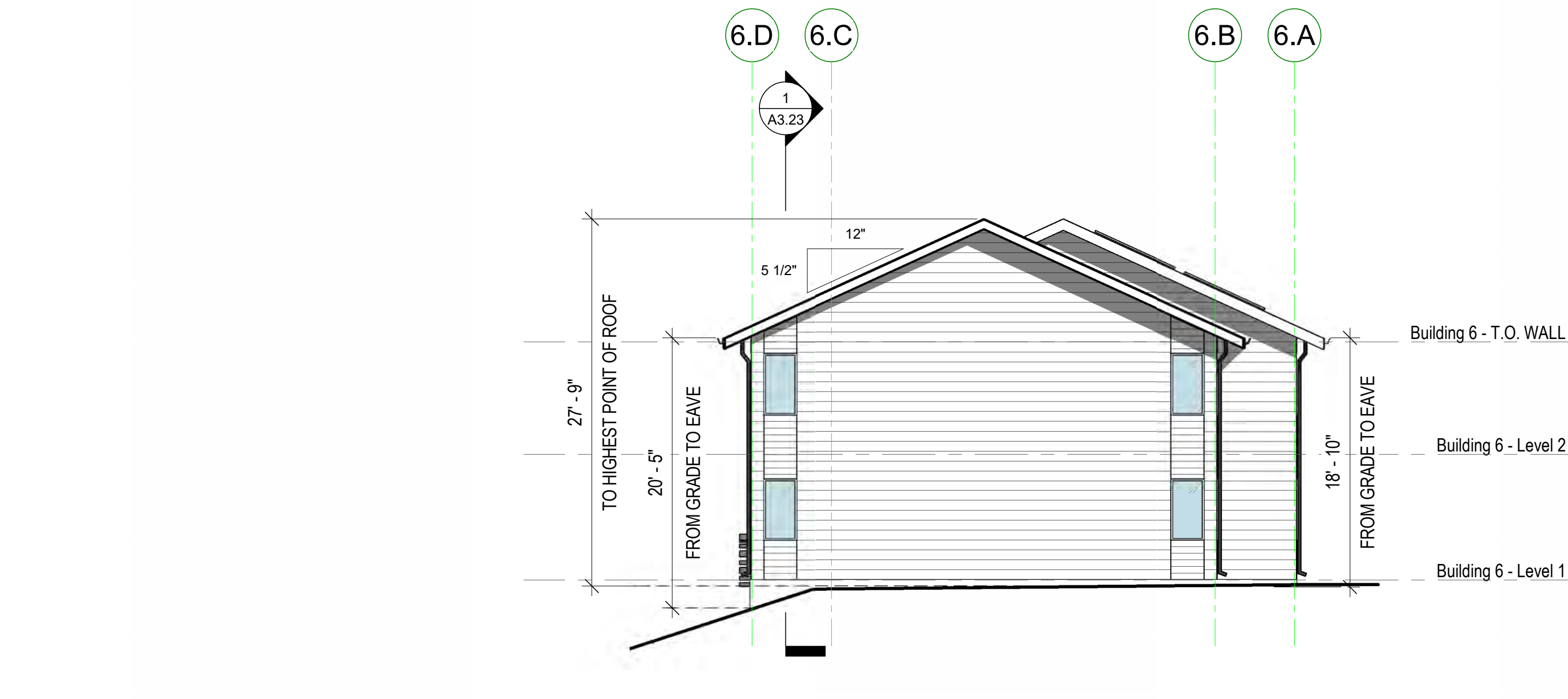
BUILDING 6 - NORTH ELEVATION
1/8" = 1'-0" ④



BUILDING 6 - SOUTH ELEVATION
1/8" = 1'-0" ③



BUILDING 6 - EAST ELEVATION
1/8" = 1'-0" ②



BUILDING 6 - WEST ELEVATION
1/8" = 1'-0" ①

- ASPHALT SHINGLES, TYP
- CEMENT BOARD SLAT RAILING
HORIZONTAL 1" X 6",
PAINTED
- HORIZONTAL CEMENT BOARD
SIDING, 9" EXPOSURE, PAINTED
- HORIZONTAL CEMENT BOARD SIDING,
6" EXPOSURE, PAINTED
- VINYL WINDOWS, FIXED,
SLIDER, AND SINGLE
HUNG, SILLS AT 3'-0" AFF,
TYP.

- ENCLOSURE FOR
ELECTRIC METERS,
MATERIALS & COLOR TO
MATCH BUILDING
- 2" X 10" WOOD FASCIA,
PAINTED
- 5" TALL GSM FACIA GUTTER,
PAINTED
- GSM DOWNSPOUTS,
PAINTED TO MATCH
ADJACENT WALL

ELEVATION NOTES

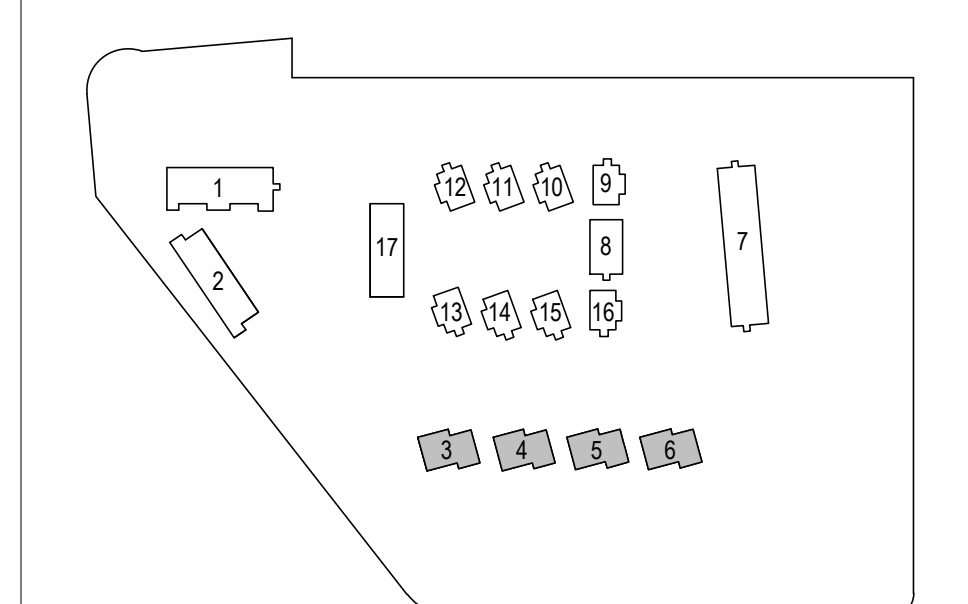
1. SEE SHEET **G0.00** FOR SYMBOLS & ABBREVIATIONS.
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4. PER **ASTM C 1063**, EXTERIOR SURFACE CONTROL JOINTS TO BE INSTALLED IN VERTICAL SURFACES EXCEEDING 144 SQUARE FEET IN AREA AND HORIZONTAL SURFACES EXCEEDING 100 SQUARE FEET IN AREA. DISTANCE BETWEEN CONTROL JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2.5 TO 1.
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6. ALL WINDOW HEAD HEIGHTS TO BE **X-XX"** FROM TOP OF SHEATHING AT WOOD STRUCTURE AND **X-XX"** AT CONCRETE, TYPICAL, U.O.N.
7. ALL EXTERIOR WALL PENETRATIONS SHALL BE SEALED.
8. ALL GUTTERS SHALL BE LEVEL U.O.N. AND RAINWATER LEADERS SHALL VERTICALLY ALIGN WITH WALLS INCLUDING PRIVATE DECKS AND STAIRS OPENINGS
9. REFER TO WINDOW SCHEDULE FOR WINDOW STC RATINGS.
10. REFER TO MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
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15. FOR DOOR AND WINDOW TYPES AND SIZES, SEE SCHEDULES AND LEGENDS ON **A9.XX** AND **A9.XX**.
16. SEE COLOR LEGEND ON SHEET **G0.XX** FOR PAINT SCHEDULE.

KEYNOTE LEGEND	
NUMBER	KEYNOTE

STAMP:

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NO.	ISSUE	DATE
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2	Adjusted Heights	09/10/20
3	Coastal Development Permit	06/11/22
4	CDP Resubmittal	12/01/23

BUILDING KEY PLAN



JOB NUMBER: 1603
DRAWN BY: GP/SC
CHECKED BY: PW
DATE: January 24, 2024
SCALE: As Indicated

TITLE:
**ELEVATIONS - BUILDING TYPE C
(BUILDINGS 3-6)**

SHEET:

A3.13

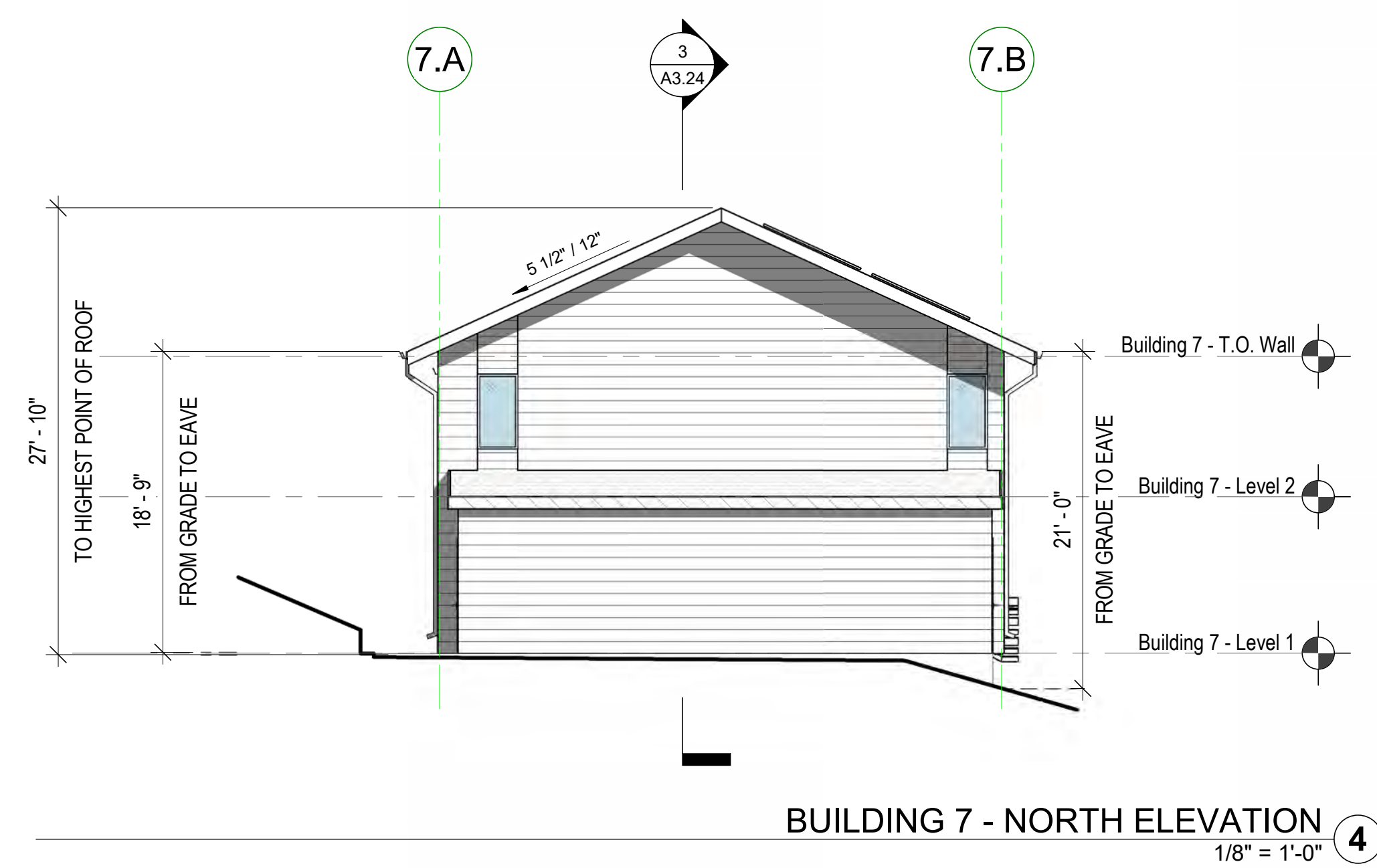
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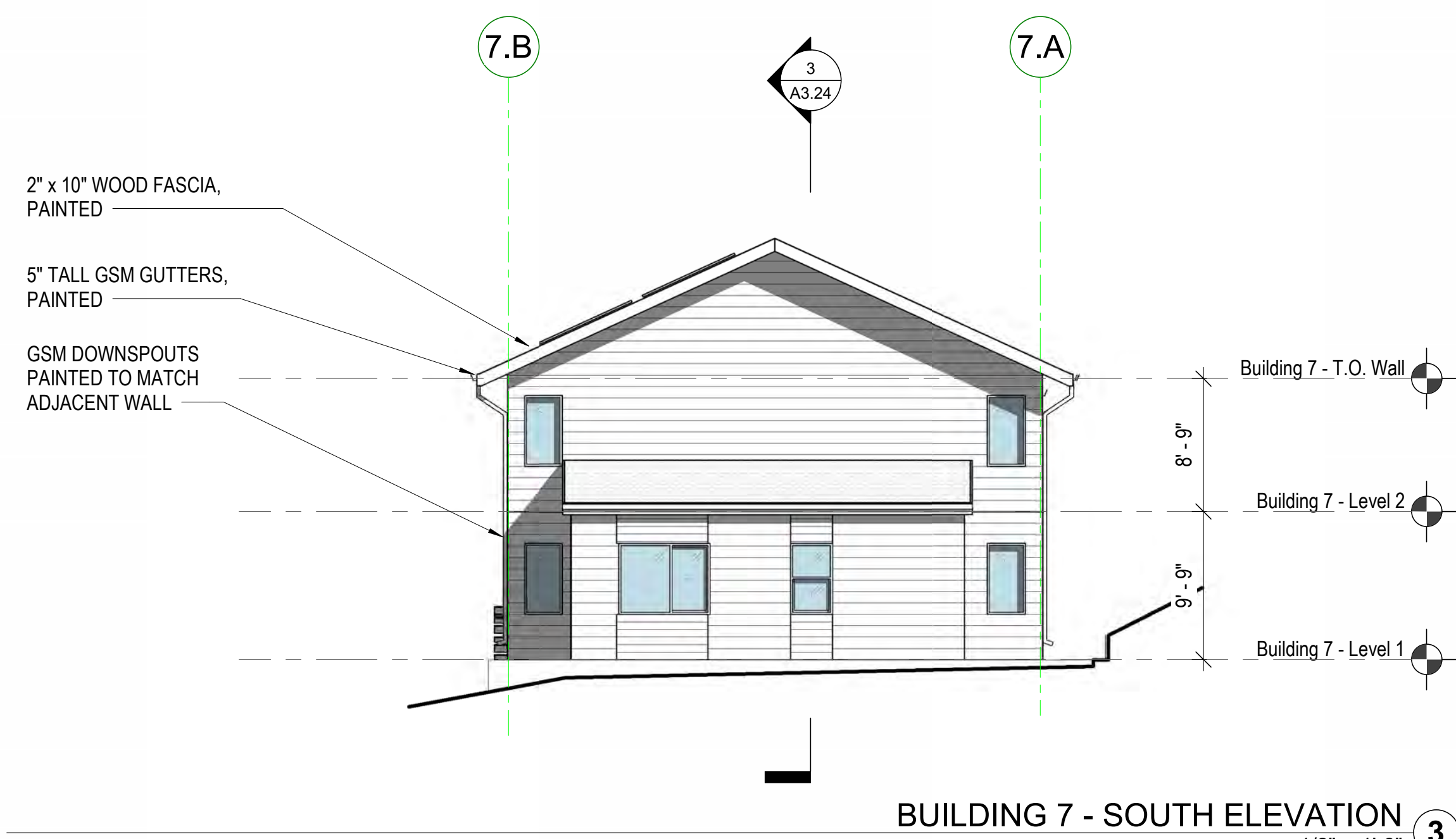
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Carlos Street, Moss Beach



BUILDING 7 - NORTH ELEVATION
1/8" = 1'-0" 4



BUILDING 7 - SOUTH ELEVATION
1/8" = 1'-0" 3



BUILDING 7 - WEST ELEVATION
1/8" = 1'-0" 2



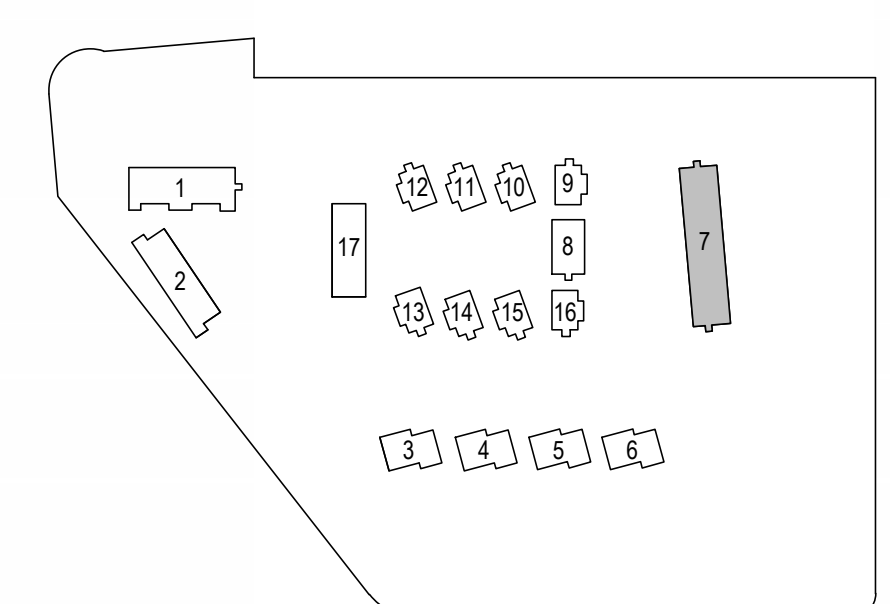
BUILDING 7 - EAST ELEVATION
1/8" = 1'-0" 1

KEYNOTE LEGEND	
NUMBER	KEYNOTE
1	A3.24
2	A3.24

STAMP:

REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/11/22
4	CDP Resubmittal	12/01/23

BUILDING KEY PLAN



JOB NUMBER: 1603
DRAWN BY: GP/SC
CHECKED BY: PW
DATE: January 24, 2024
SCALE: As Indicated
TITLE: ELEVATIONS - BUILDING TYPE D (BUILDING 7)

SHEET:
A3.14

ELEVATION NOTES

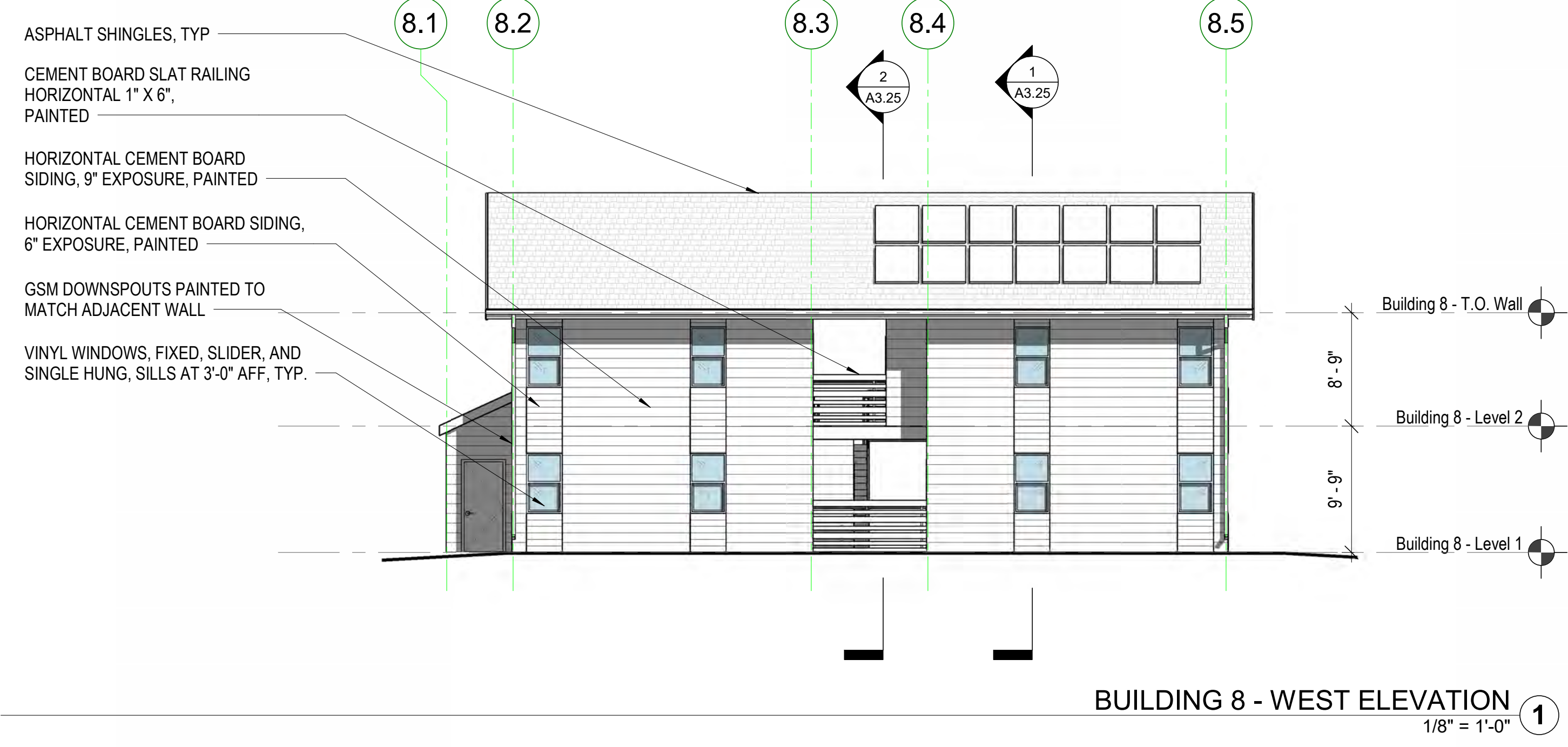
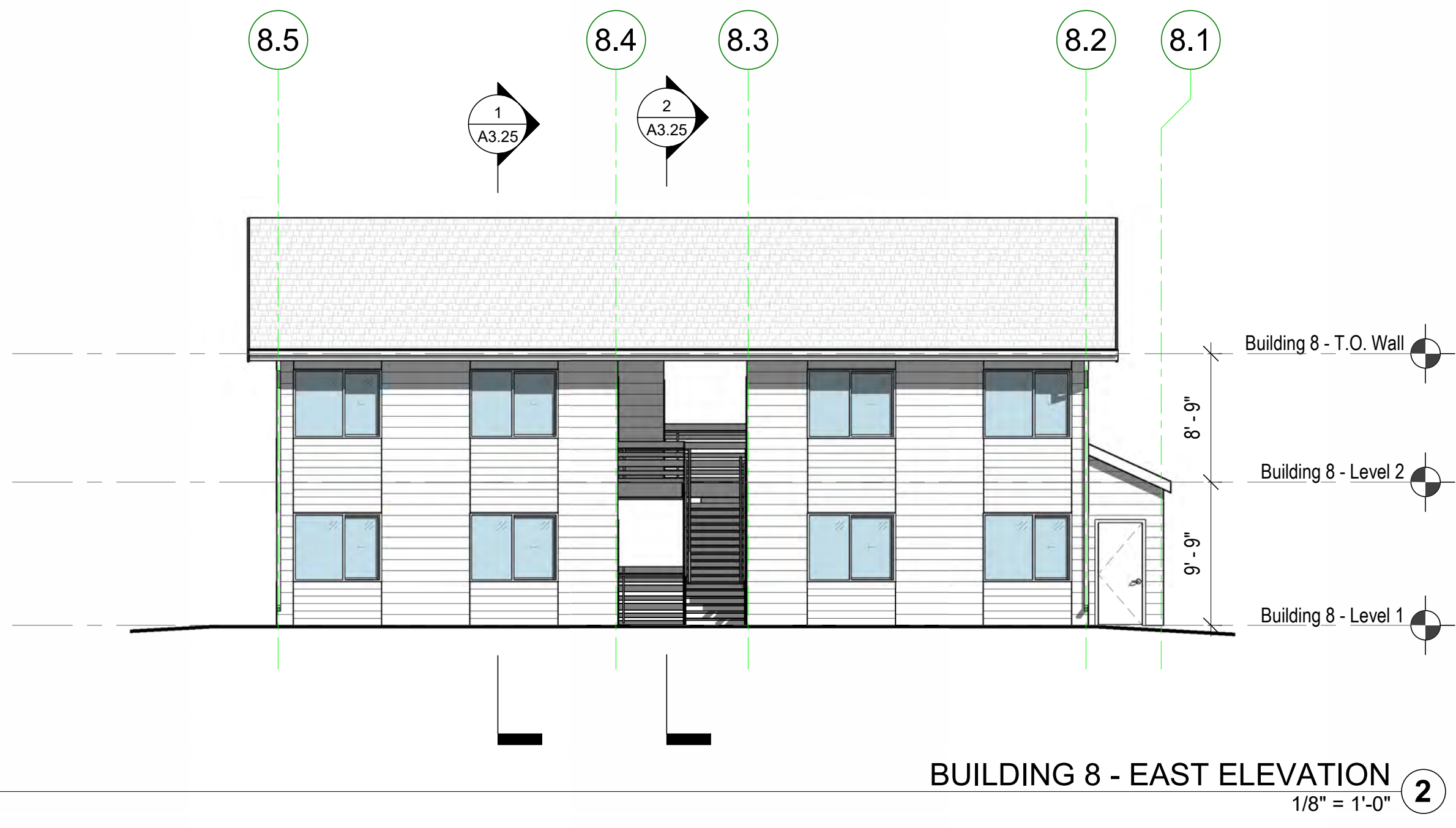
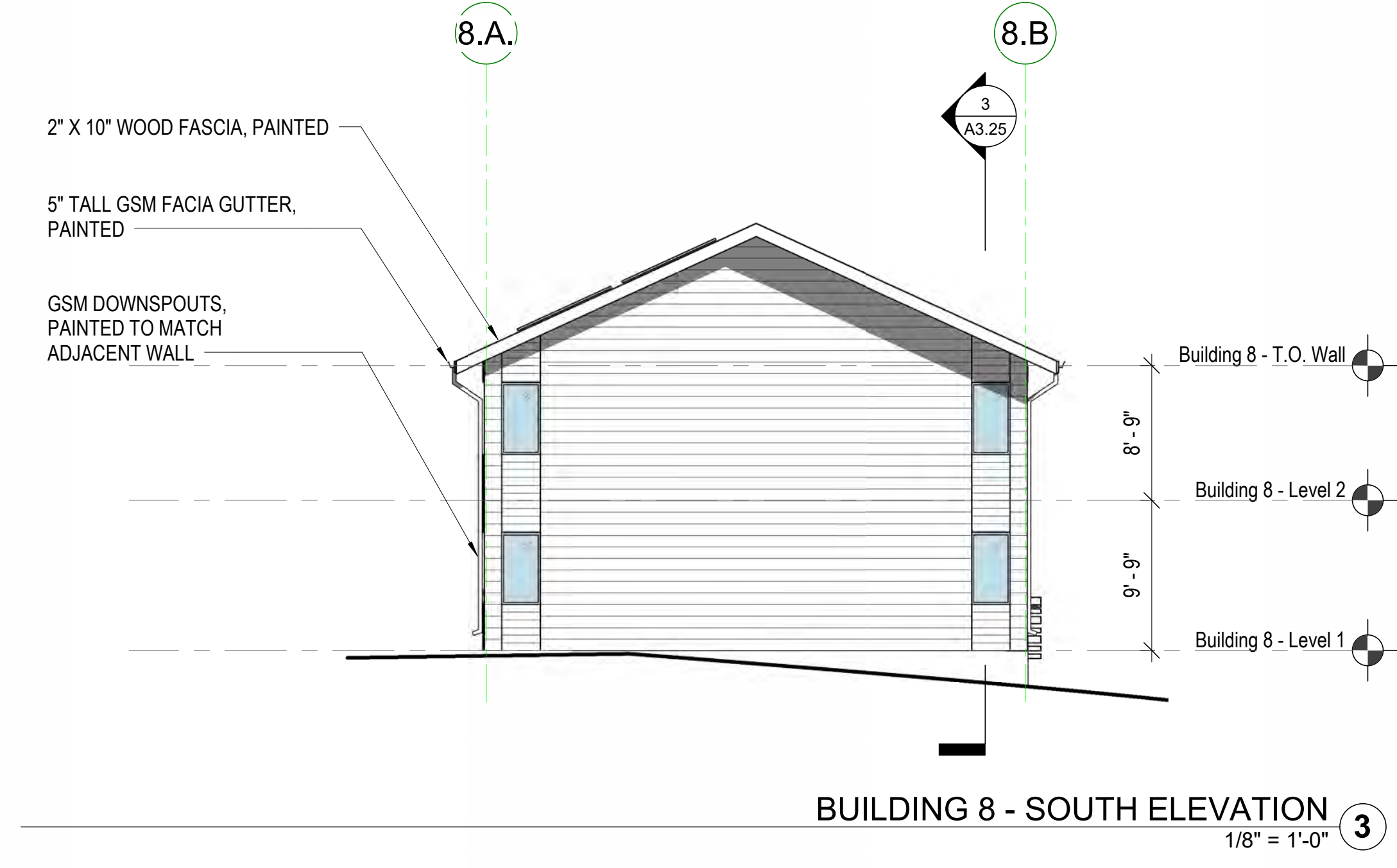
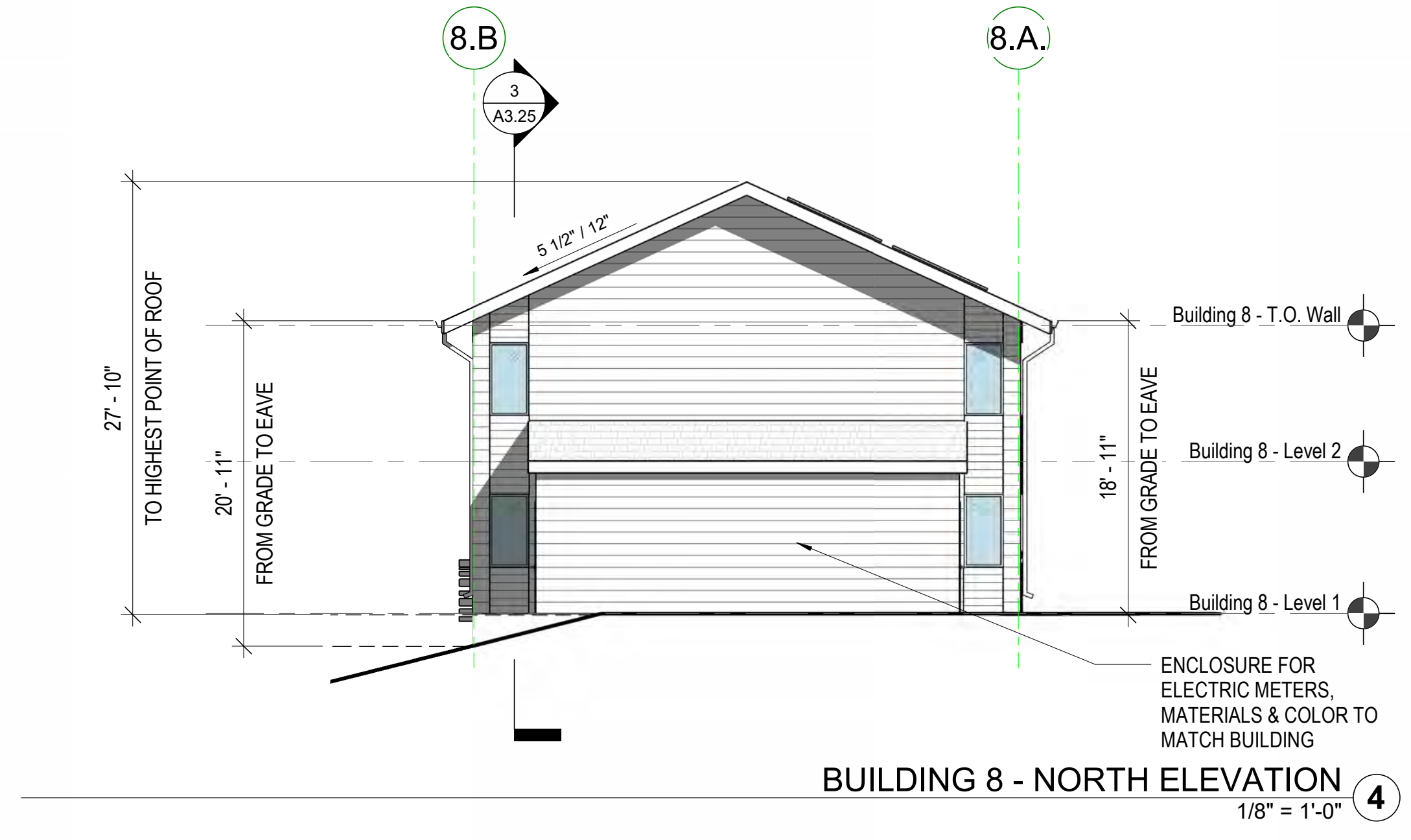
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- SEE COLOR LEGEND ON SHEET **G0.XX** FOR PAINT SCHEDULE.

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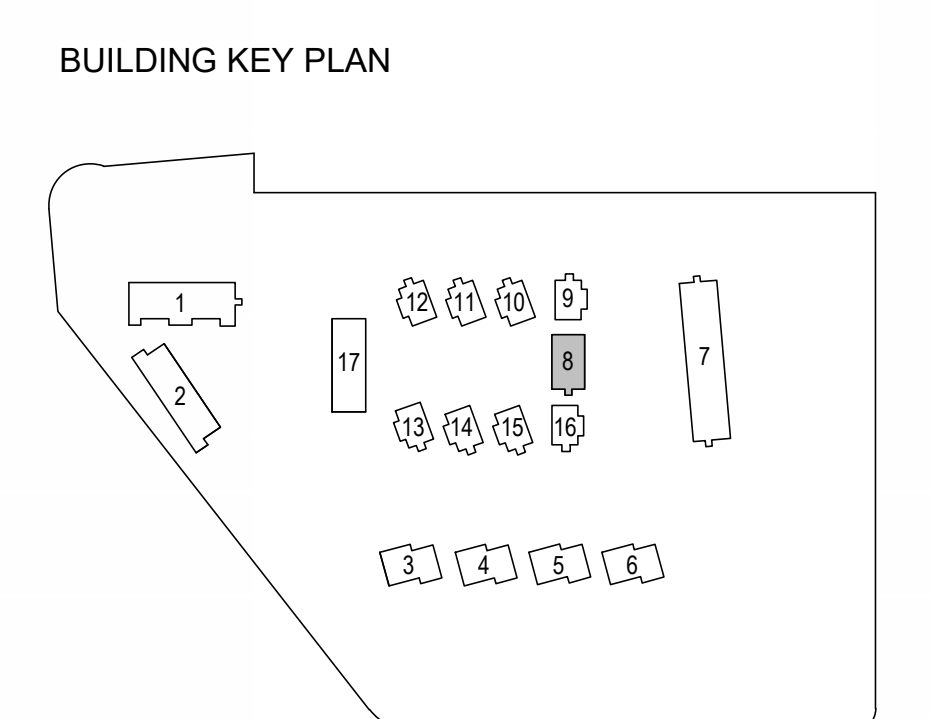
CYPRESS POINT FAMILY COMMUNITY
 Carlos Street, Moss Beach



KEYNOTE LEGEND	
NUMBER	KEYNOTE

STAMP:

REVISION SCHEDULE	
NO.	DATE



JOB NUMBER: 1603
 DRAWN BY: Author
 CHECKED BY: Checker
 DATE: January 24, 2024
 SCALE: As Indicated
 TITLE: ELEVATIONS - BUILDING TYPE E (BUILDING 8)

SHEET: **A3.15**

ELEVATION NOTES

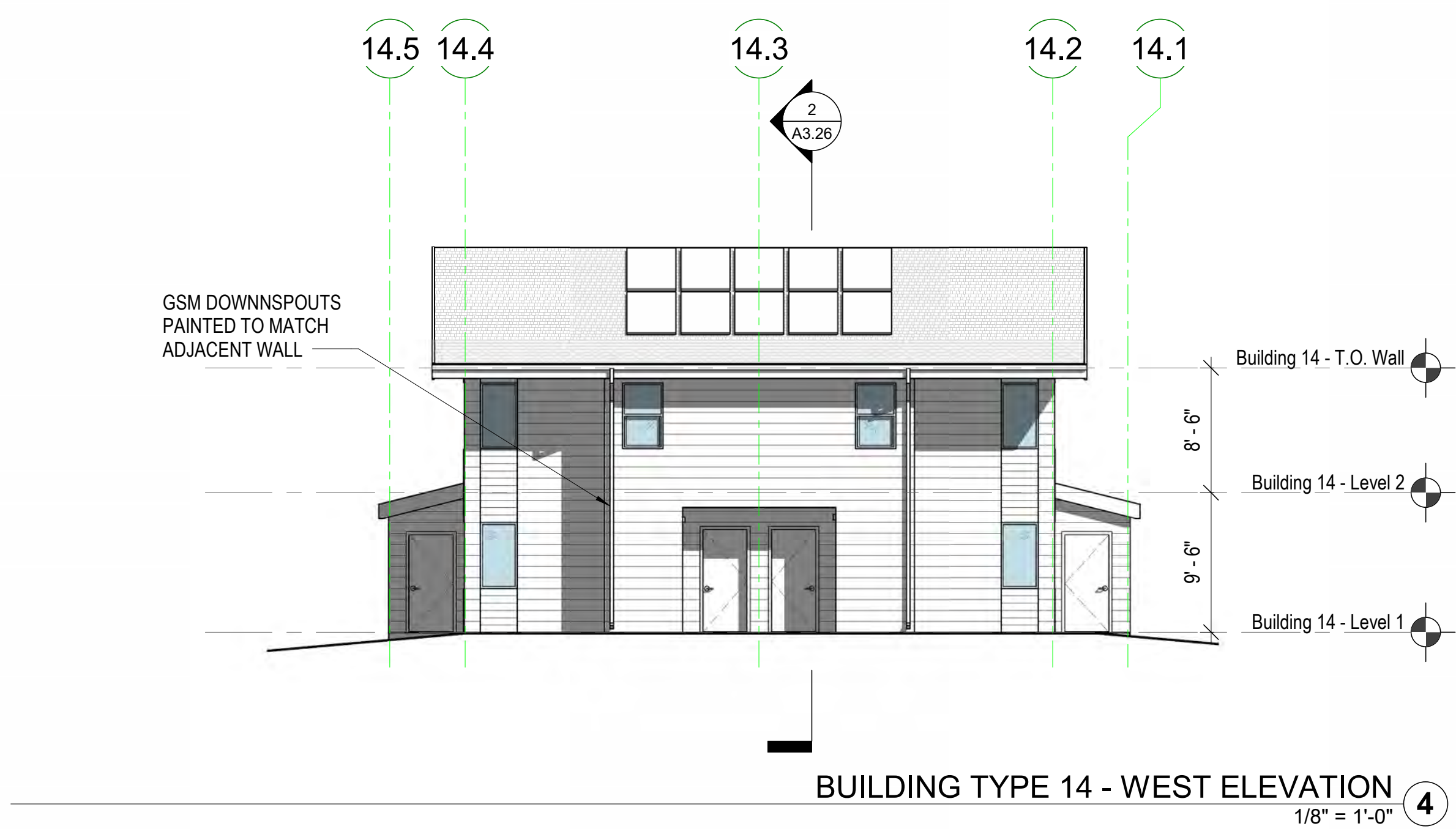
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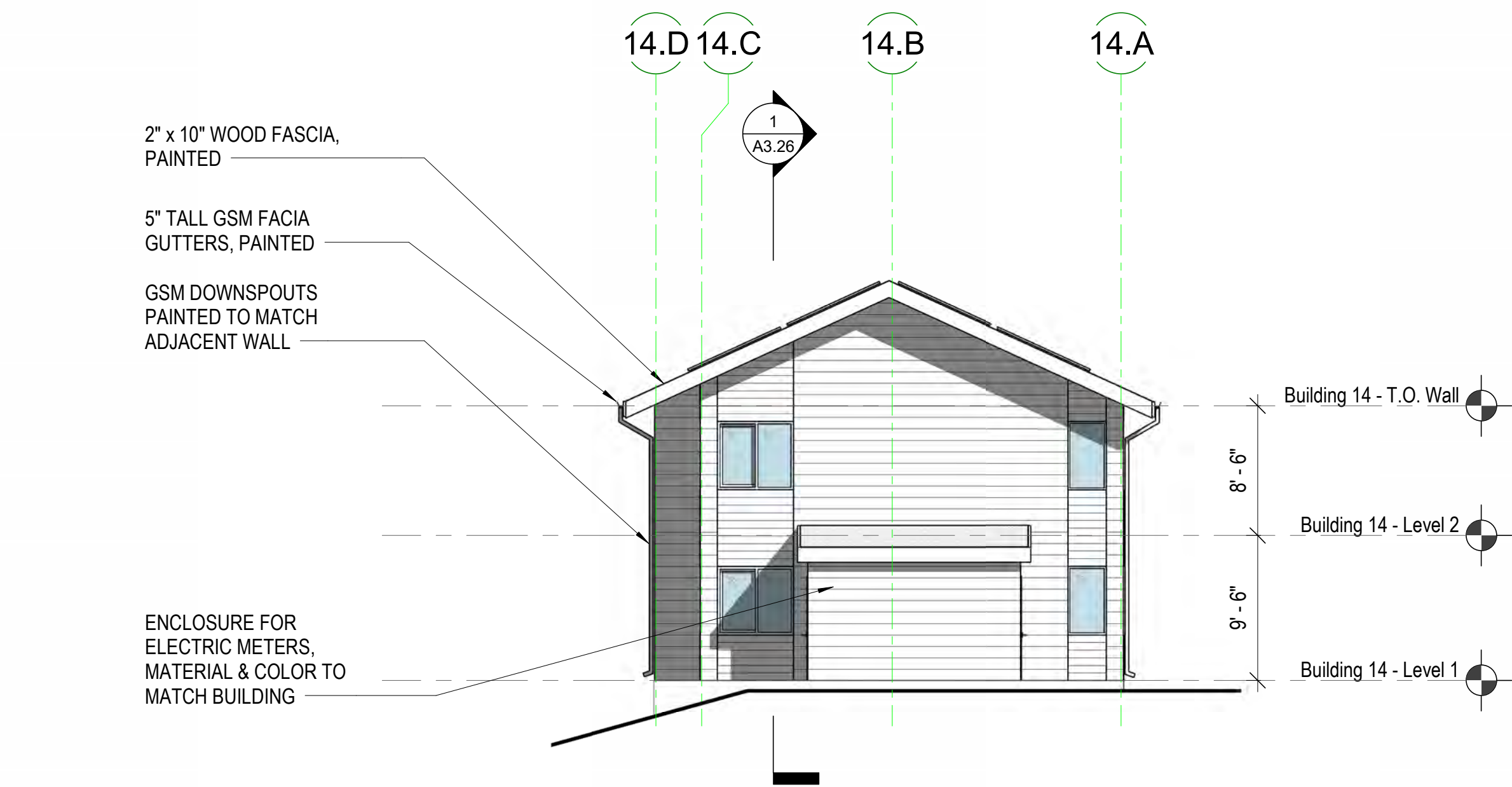
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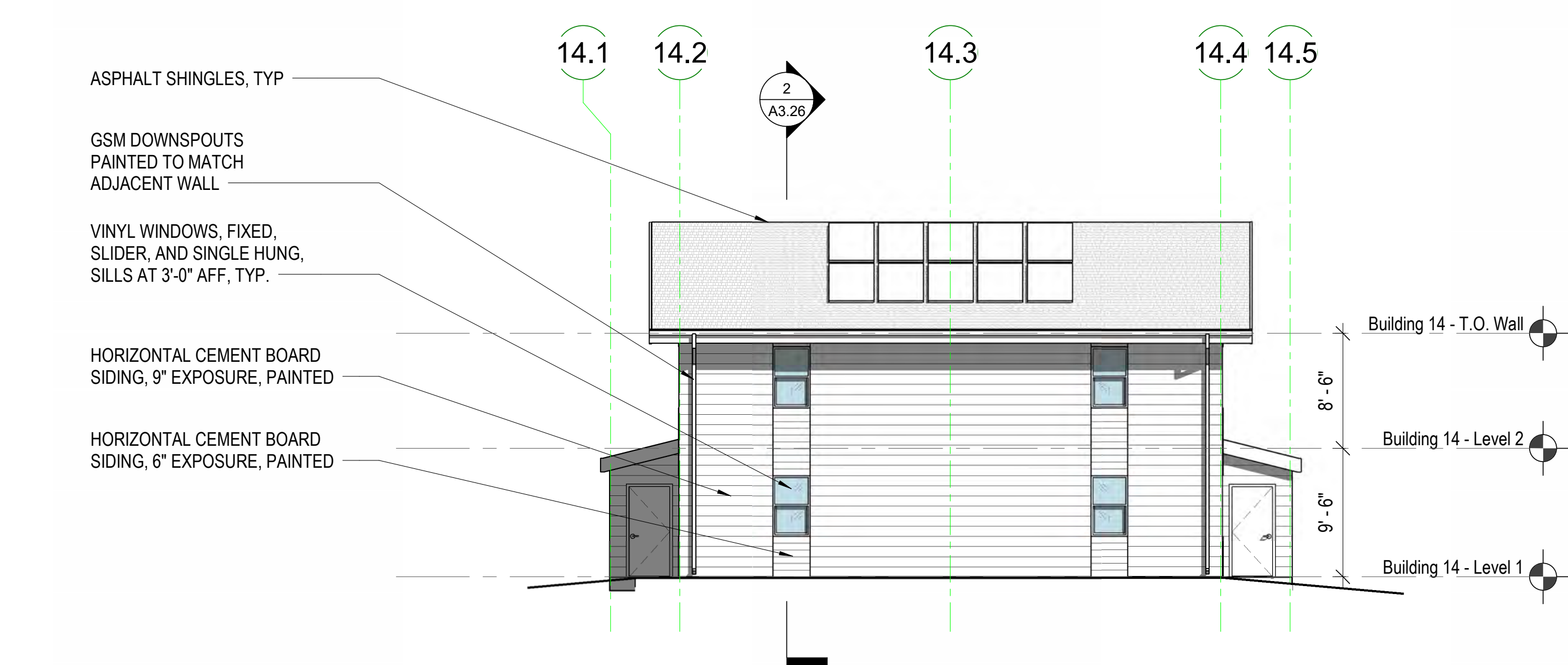
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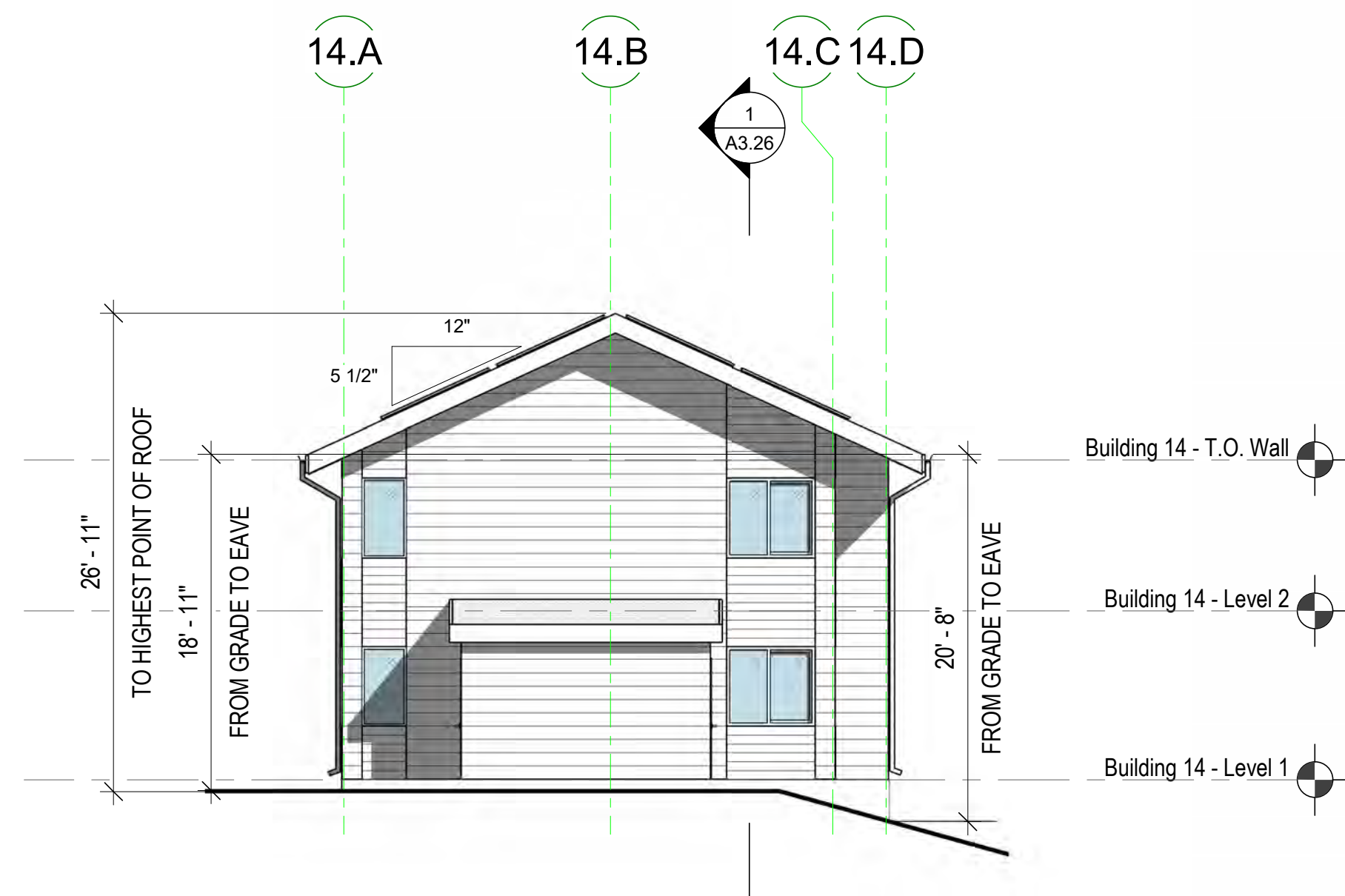
BUILDING TYPE 14 - WEST ELEVATION
 1/8" = 1'-0" ④



BUILDING 14 - SOUTH ELEVATION
 1/8" = 1'-0" ③



BUILDING 14 - EAST ELEVATION
 1/8" = 1'-0" ②



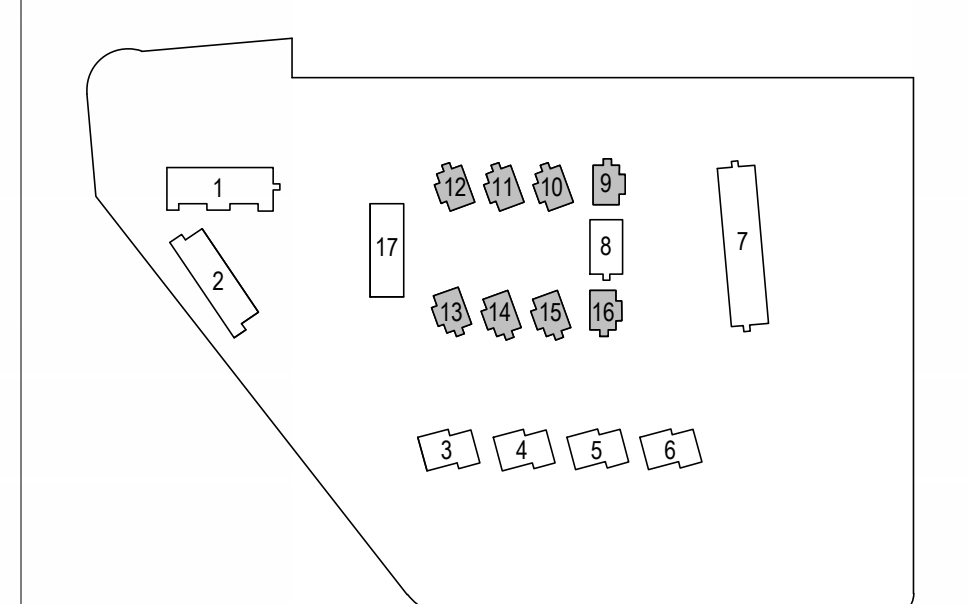
BUILDING 14 - NORTH ELEVATION
 1/8" = 1'-0" ①

KEYNOTE LEGEND	
NUMBER	KEYNOTE

STAMP:

REVISION SCHEDULE	
NO.	DATE

BUILDING KEY PLAN



JOB NUMBER: 1603
 DRAWN BY: Author
 CHECKED BY: Checker
 DATE: January 24, 2024
 SCALE: As Indicated
 TITLE:
ELEVATIONS - BUILDING TYPE F (BUILDINGS 9-16)

SHEET:
A3.16

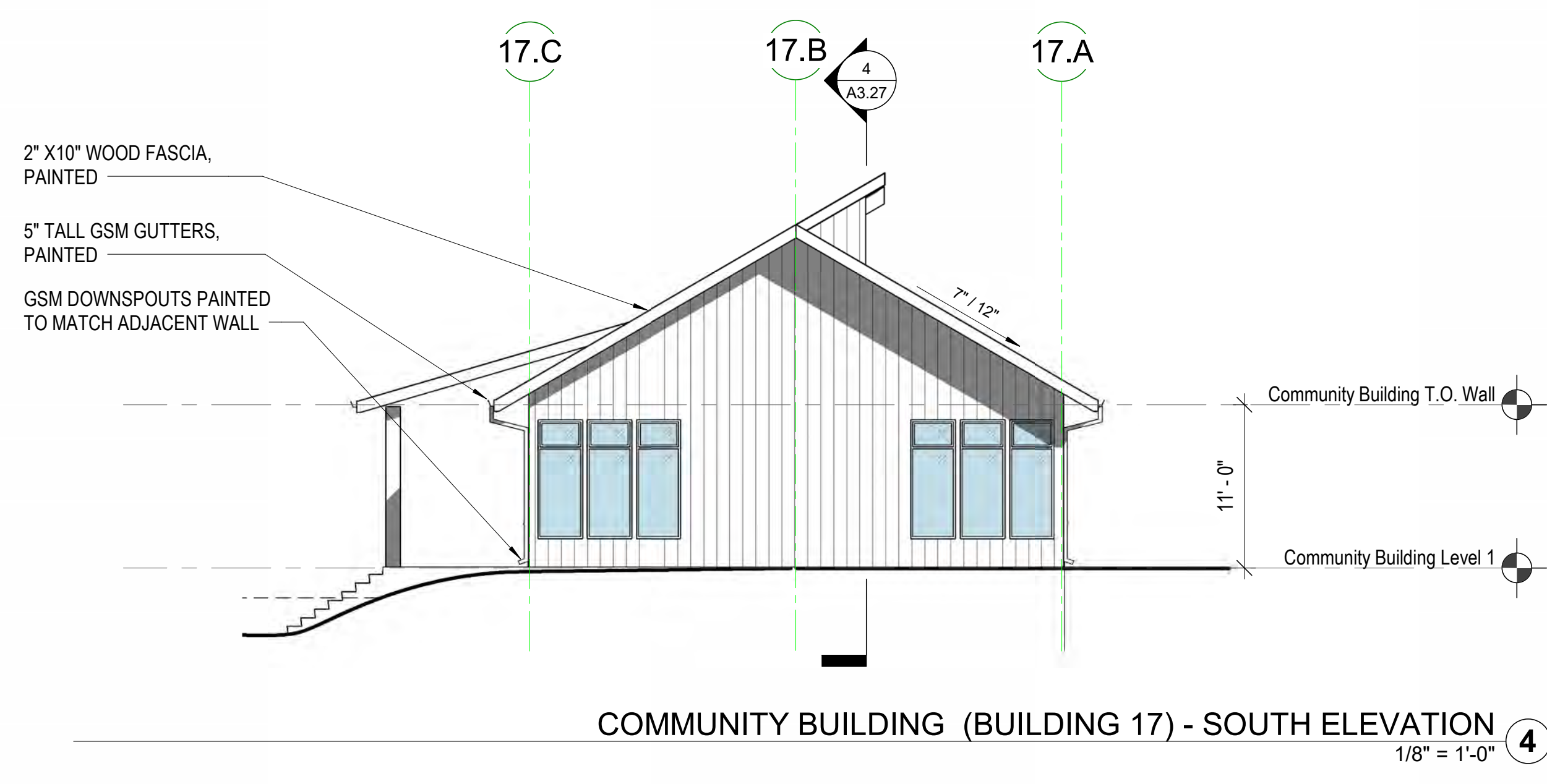
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- PER **ASTM C 1063**, EXTERIOR PLASTER CONTROL JOINTS TO BE INSTALLED IN VERTICAL SURFACES EXCEEDING 144 SQUARE FEET IN AREA AND HORIZONTAL SURFACES EXCEEDING 100 SQUARE FEET IN AREA. DISTANCE BETWEEN CONTROL JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2.5 TO 1.
- ALL WEEP SCREED LINES SHALL BE LEVEL AND STEP WITH ADJACENT GRADE. STEPPING OF WEEP SCREED TO OCCUR AT INSIDE CORNERS. BOTTOM EDGE OF WEEP SCREED SHALL BE INSTALLED NOT LESS THAN 1 INCH BELOW THE JOINT FORMED BY THE FOUNDATION AND FRAMING. NOSE OF SCREED SHALL BE PLACED 6 INCHES MINIMUM ABOVE GRADE OR 2 INCHES MINIMUM ABOVE PAVED SURFACE.
- ALL WINDOW HEAD HEIGHTS TO BE **X-XX"** FROM TOP OF SHEATHING AT WOOD STRUCTURE AND **X-XX"** AT CONCRETE, TYPICAL, U.O.N.
- ALL EXTERIOR WALL PENETRATIONS SHALL BE SEALED.
- ALL GUTTERS SHALL BE LEVEL U.O.N. AND RAINWATER LEADERS SHALL VERTICALLY ALIGN WITH WALLS INCLUDING PRIVATE DECKS AND STAIRS OPENINGS
- REFER TO WINDOW SCHEDULE FOR WINDOW SIZES RATINGS.
- REFER TO MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- FRAMING SUB-CONTRACTOR SHALL REVIEW AND COORDINATE EXTERIOR LIGHTING AND SIGNAGE LOCATIONS AND SHALL PROVIDE SOLID BLOCKING WHERE REQUIRED.
- FAÇADE ACCESS PLAN SHALL BE PROVIDED BY OWNER TO COMPLY WITH OSHA REGULATIONS FOR BUILDING MAINTENANCE.
- CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS AND/OR DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
- ALL LEVELS ARE TO TOP OF PLYWOOD SUBFLOOR OR TOP OF STRUCTURAL CONCRETE, U.O.N.
- FOR DOOR AND WINDOW TYPES AND SIZES, SEE SCHEDULES AND LEGENDS ON **A9.XX AND A9.XX**.
- SEE COLOR LEGEND ON SHEET **G0.XX** FOR PAINT SCHEDULE.

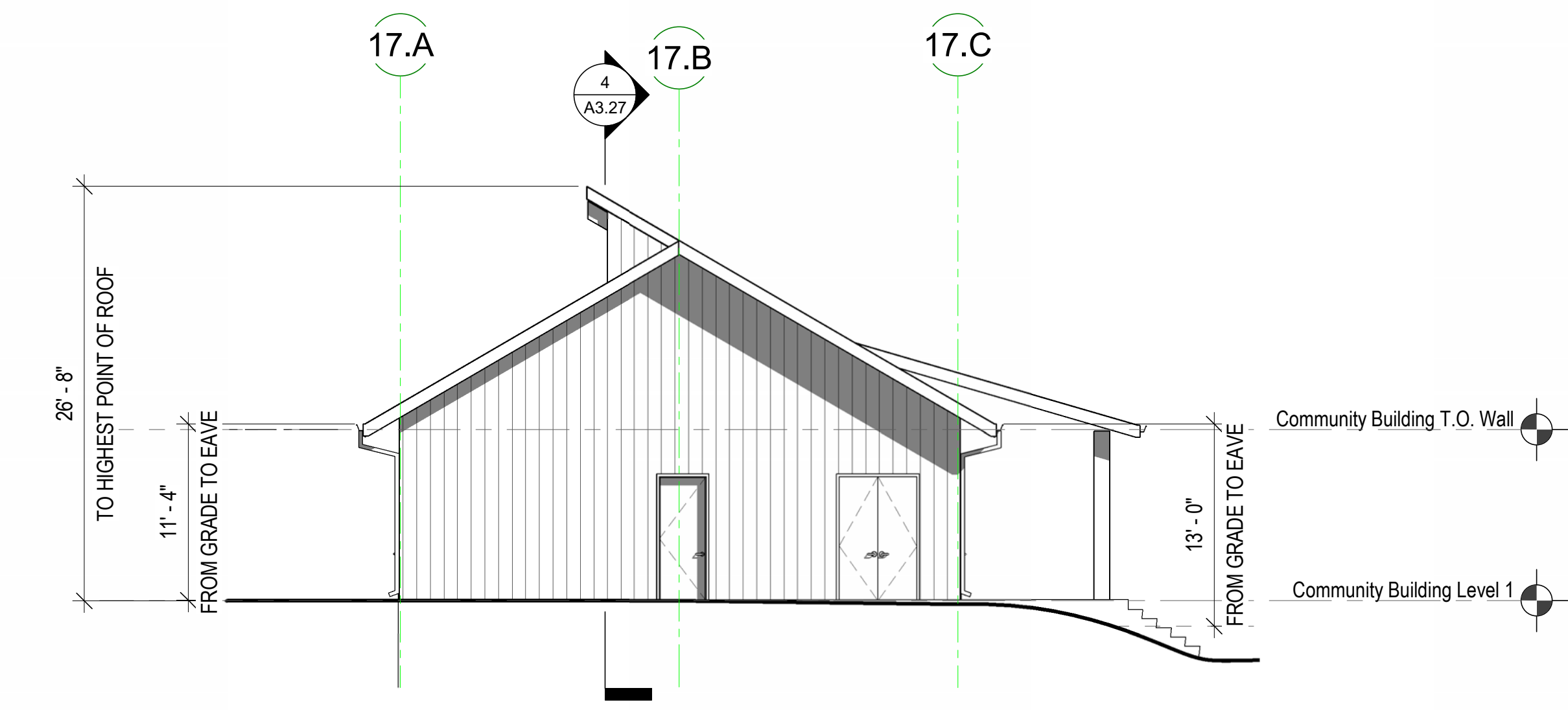
PYATOK
1611 TELEGRAPH AVE. SUITE 200
OAKLAND, CA 94612
510.465.7010 p | 510.465.8575 f
www.pyatok.com

MidPen HOUSING
MIDPEN HOUSING
303 Vintage Park Drive
Suite 250
Foster City, CA 94404

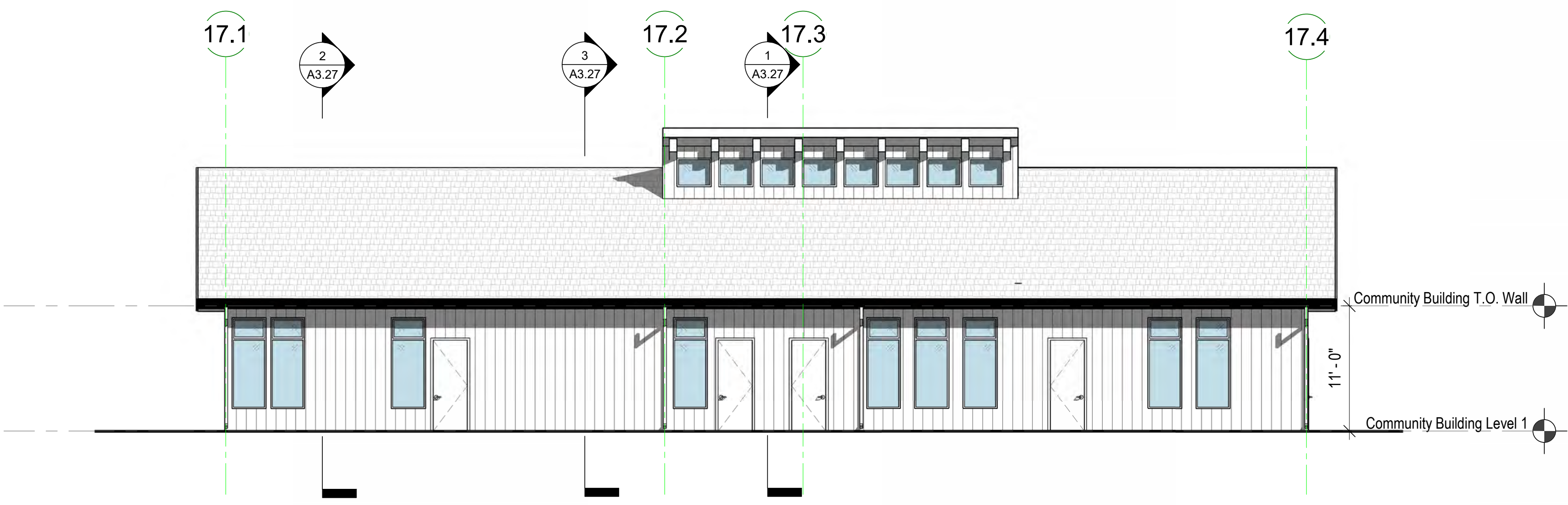
CYPRESS POINT FAMILY COMMUNITY
Carlos Street, Moss Beach



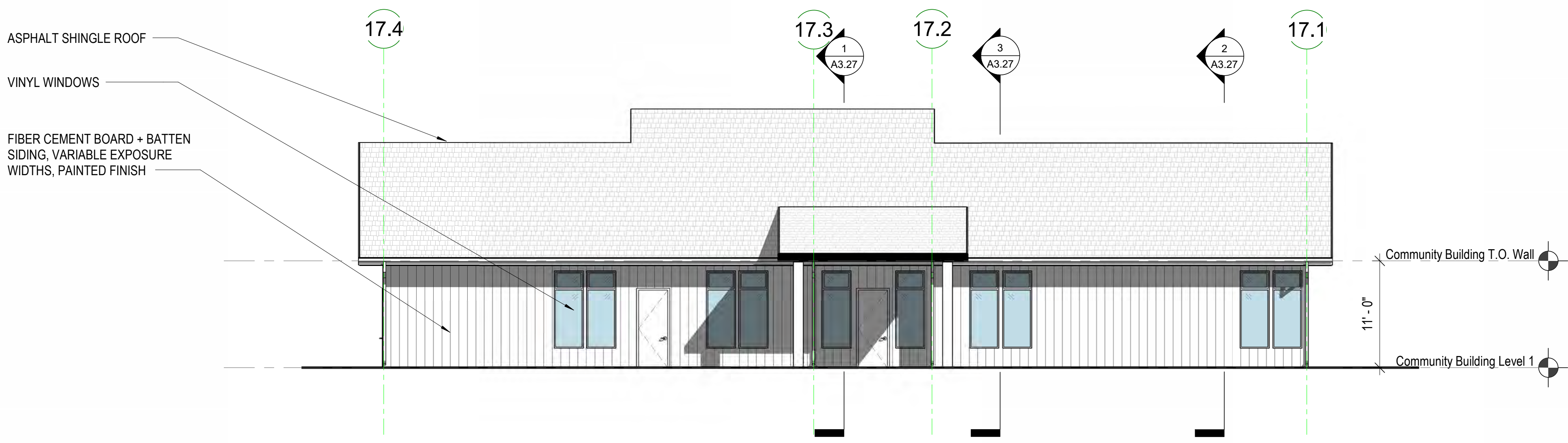
COMMUNITY BUILDING (BUILDING 17) - SOUTH ELEVATION
1/8" = 1'-0" 4



COMMUNITY BUILDING (BUILDING 17) - NORTH ELEVATION
1/8" = 1'-0" 3



COMMUNITY BUILDING (BUILDING 17) - EAST ELEVATION
1/8" = 1'-0" 2



COMMUNITY BUILDING (BUILDING 17) - WEST ELEVATION
1/8" = 1'-0" 1

KEYNOTE LEGEND

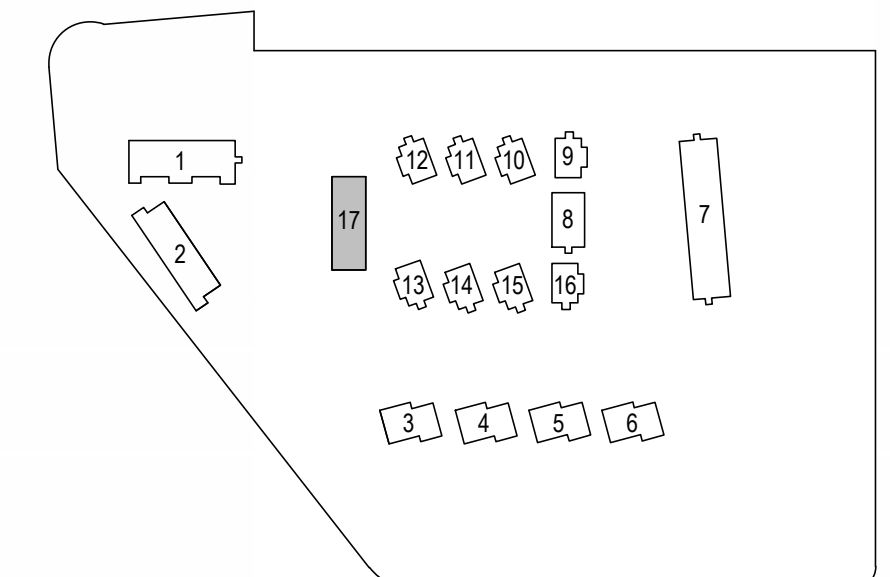
NUMBER	KEYNOTE

STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/11/22
4	CDP Resubmittal	12/01/23

BUILDING KEY PLAN



JOB NUMBER: 1603
DRAWN BY: GP/SC
CHECKED BY: PW
DATE: January 24, 2024
SCALE: As Indicated

TITLE:
ELEVATIONS - COMMUNITY BUILDING (BUILDING 17)

SHEET:

A3.17

STAMP:

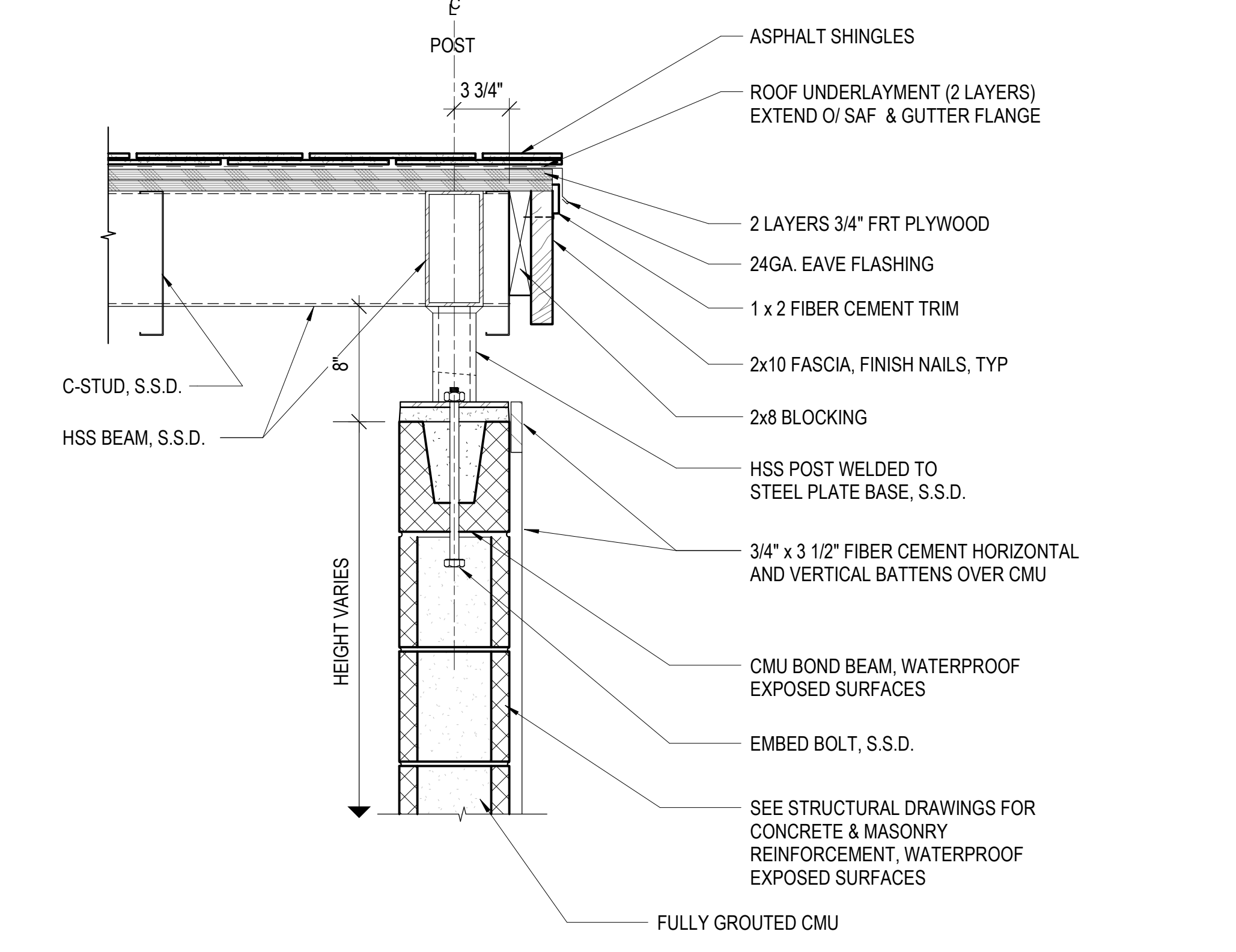
REVISION SCHEDULE	
NO.	DATE
1	03/25/19
2	07/10/20
3	06/21/22

JOB NUMBER: 1603
DRAWN BY: GP
CHECKED BY: PW
DATE: June 24, 2022
SCALE: As Indicated

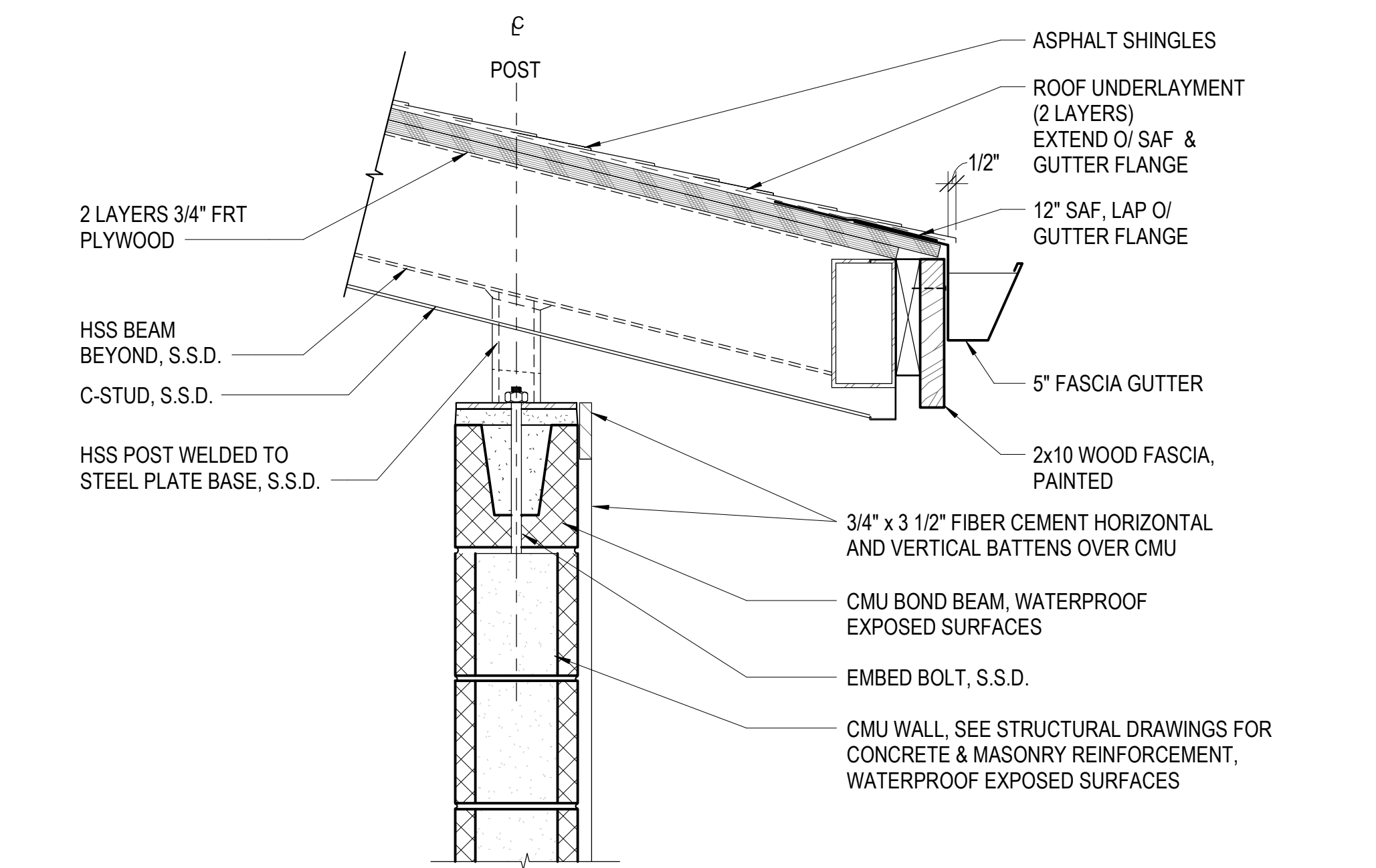
TITLE: BIKE STORAGE & WASTE ROOM DRAWINGS

SHEET:

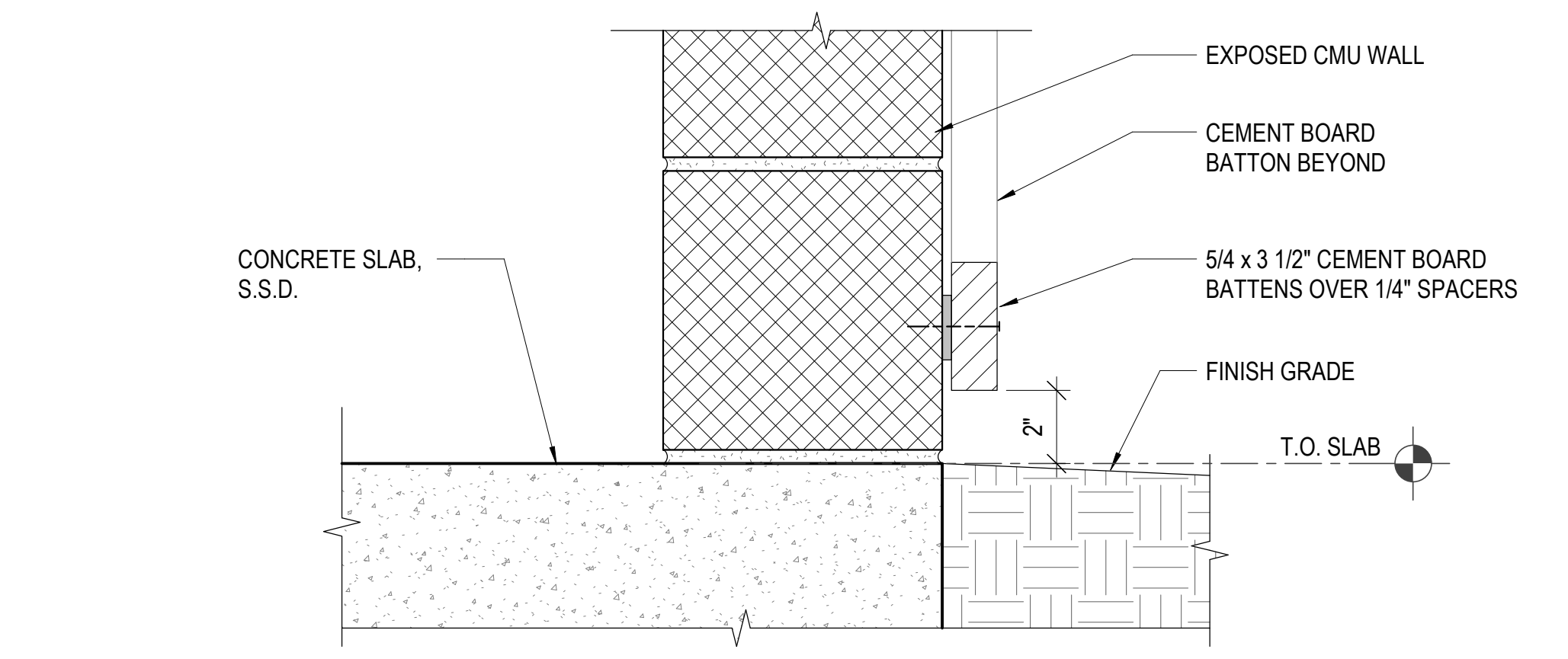
A5.01



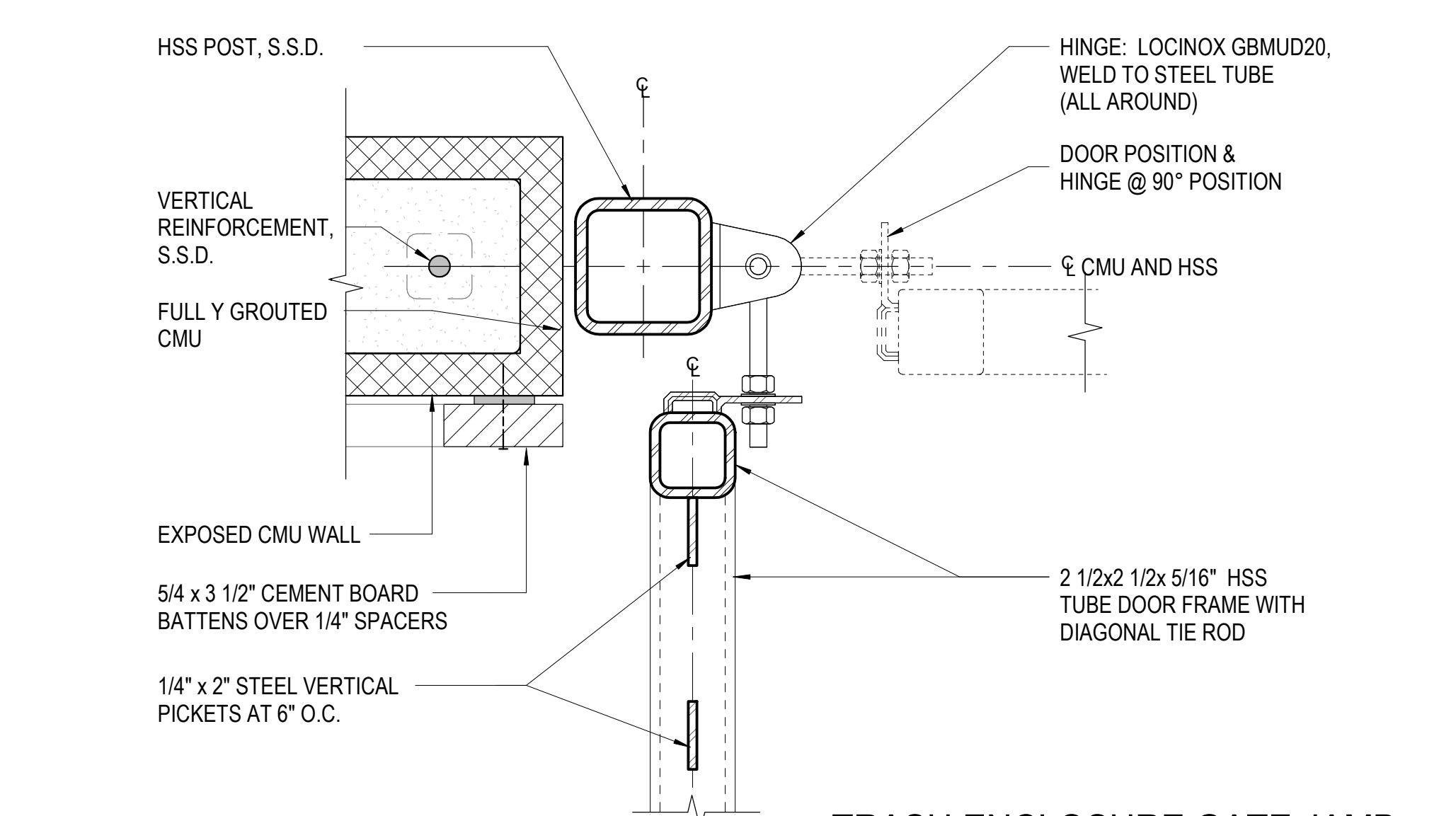
ROOF EDGE RAKE @ WASTE / BIKE STORAGE BUILDING
1 1/2" = 1'-0" 13



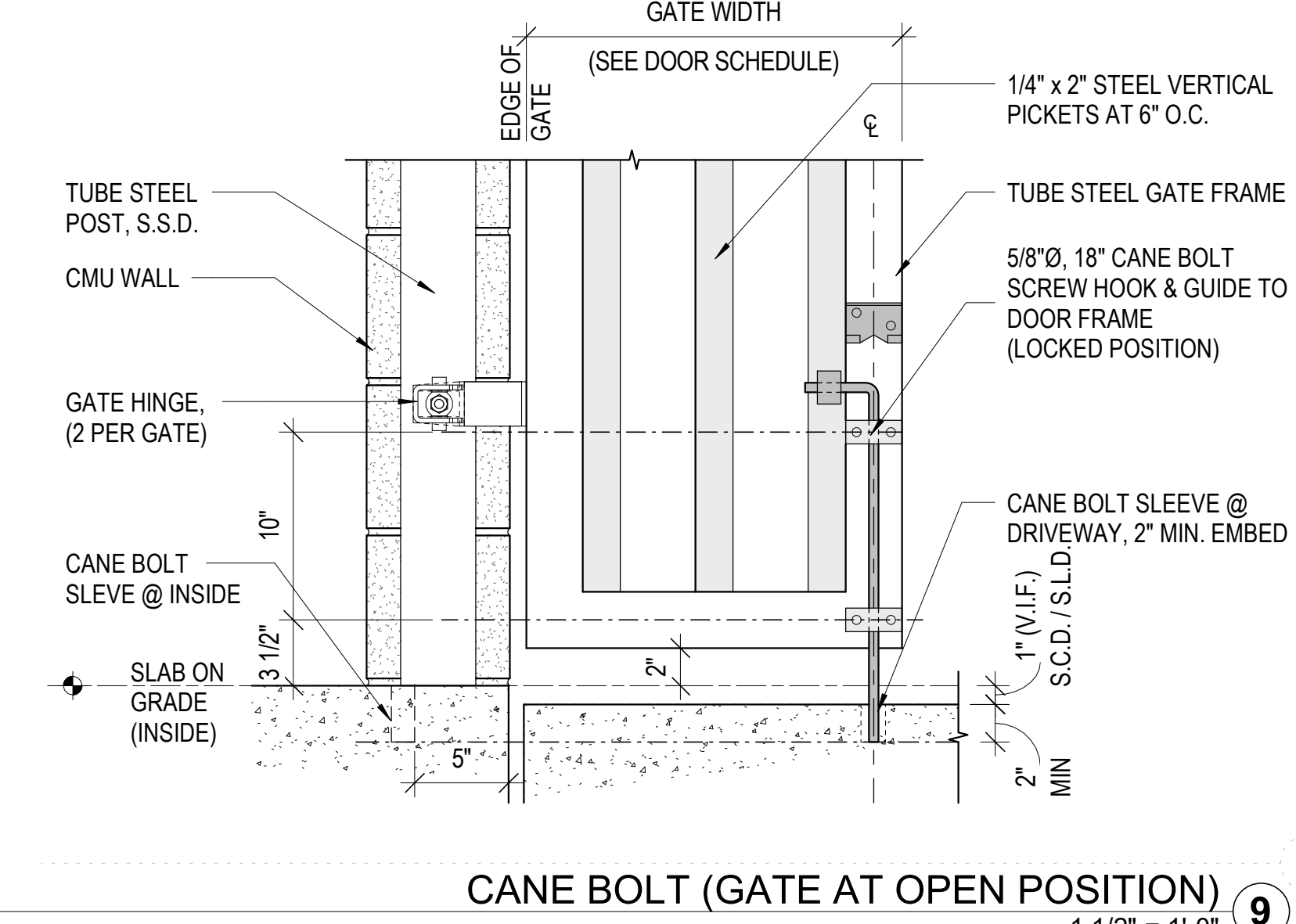
ROOF EAVE AT WASTE / BIKE STORAGE BUILDING
1 1/2" = 1'-0" 12



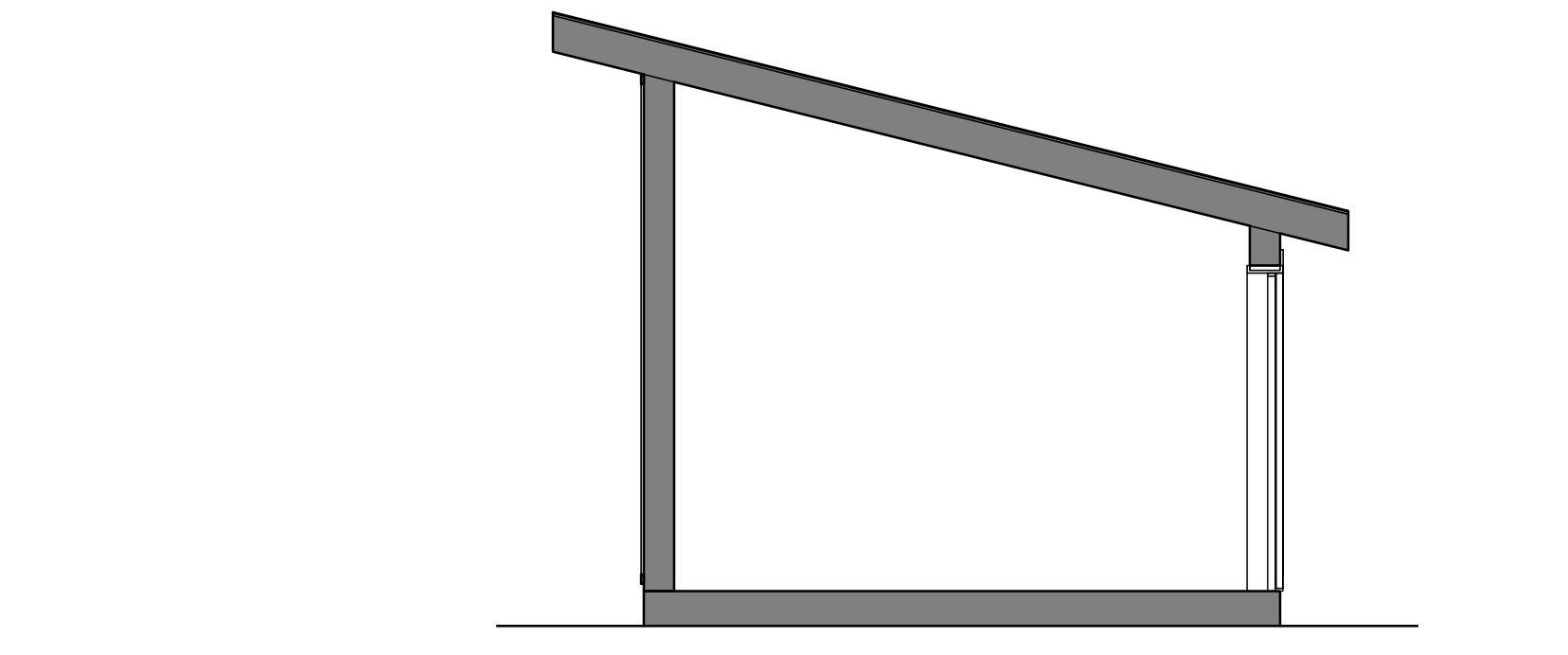
BASE OF WALL - BIKE & TRASH ENCLOSURE
3" = 1'-0" 11



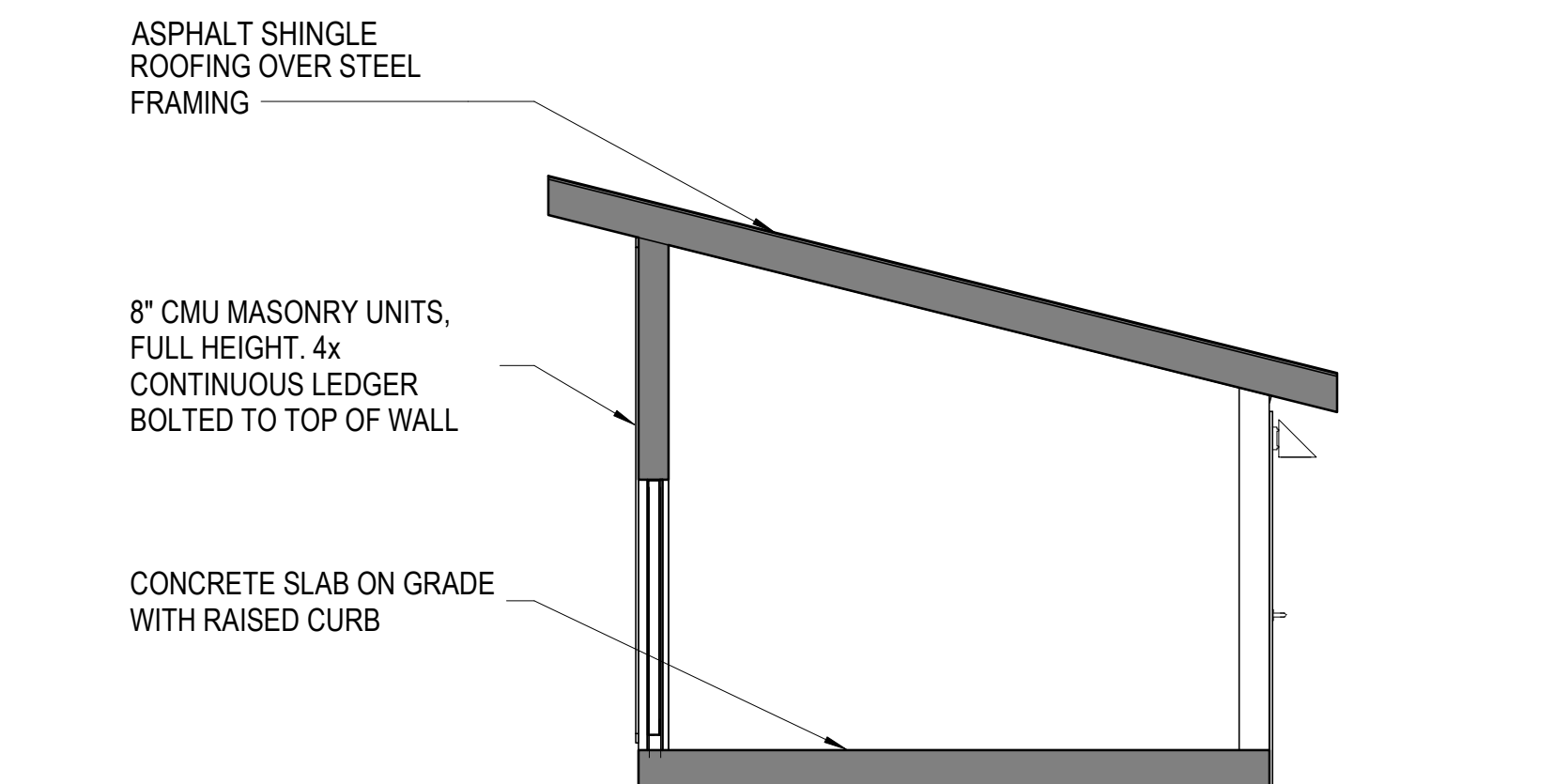
TRASH ENCLOSURE GATE JAMB
3" = 1'-0" 10



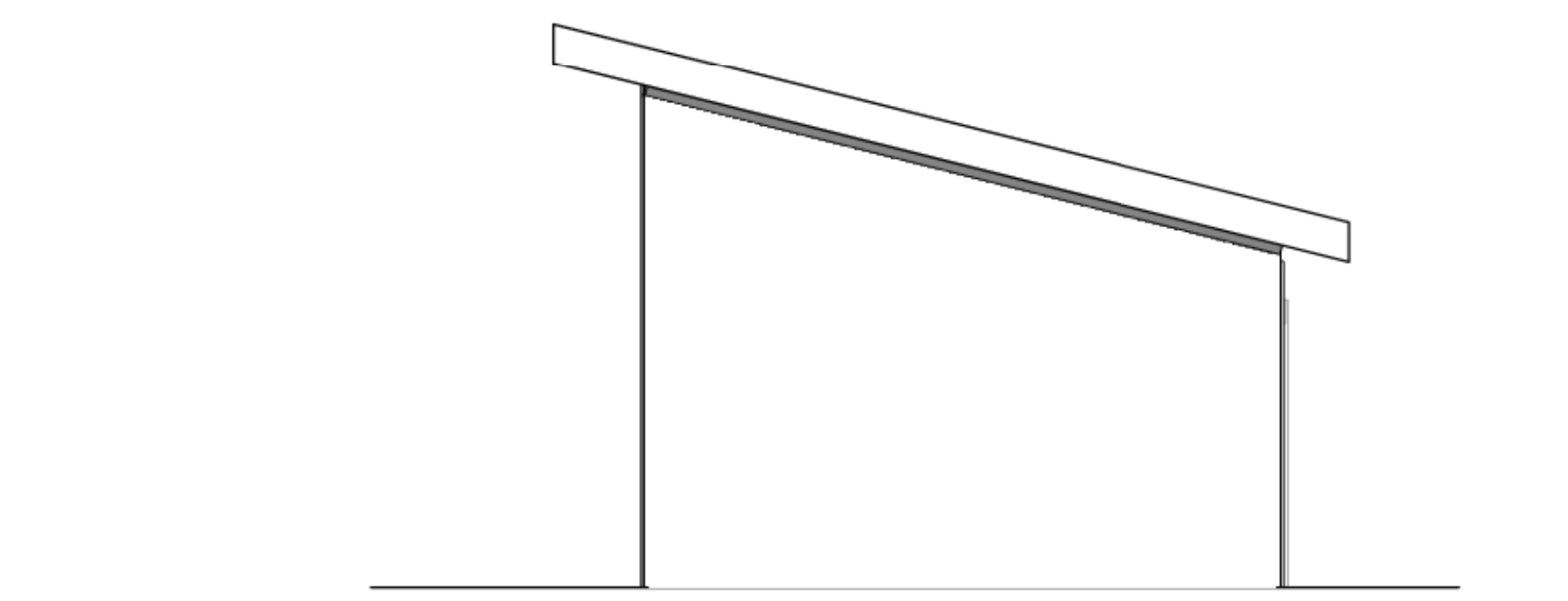
CANE BOLT (GATE AT OPEN POSITION)
1 1/2" = 1'-0" 9



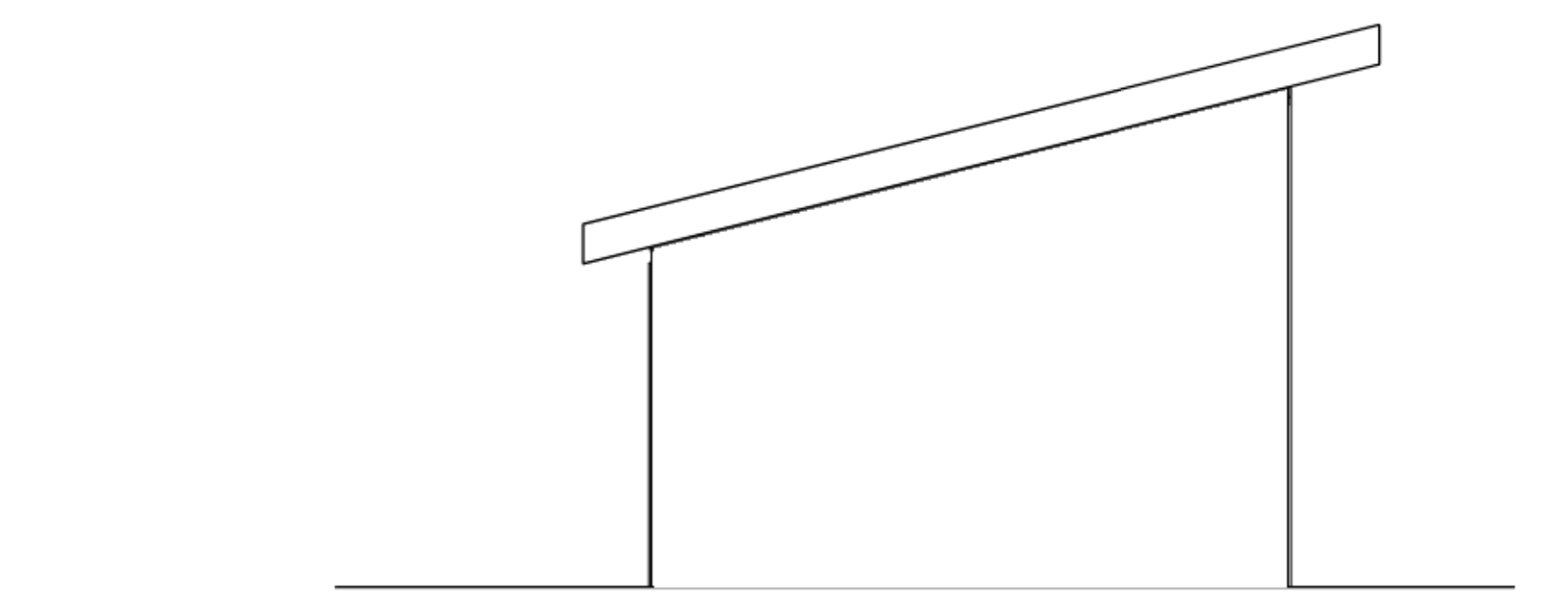
WASTE AND BIKE ENCLOSURE ELEVATION - SECTION 2
1/4" = 1'-0" 8



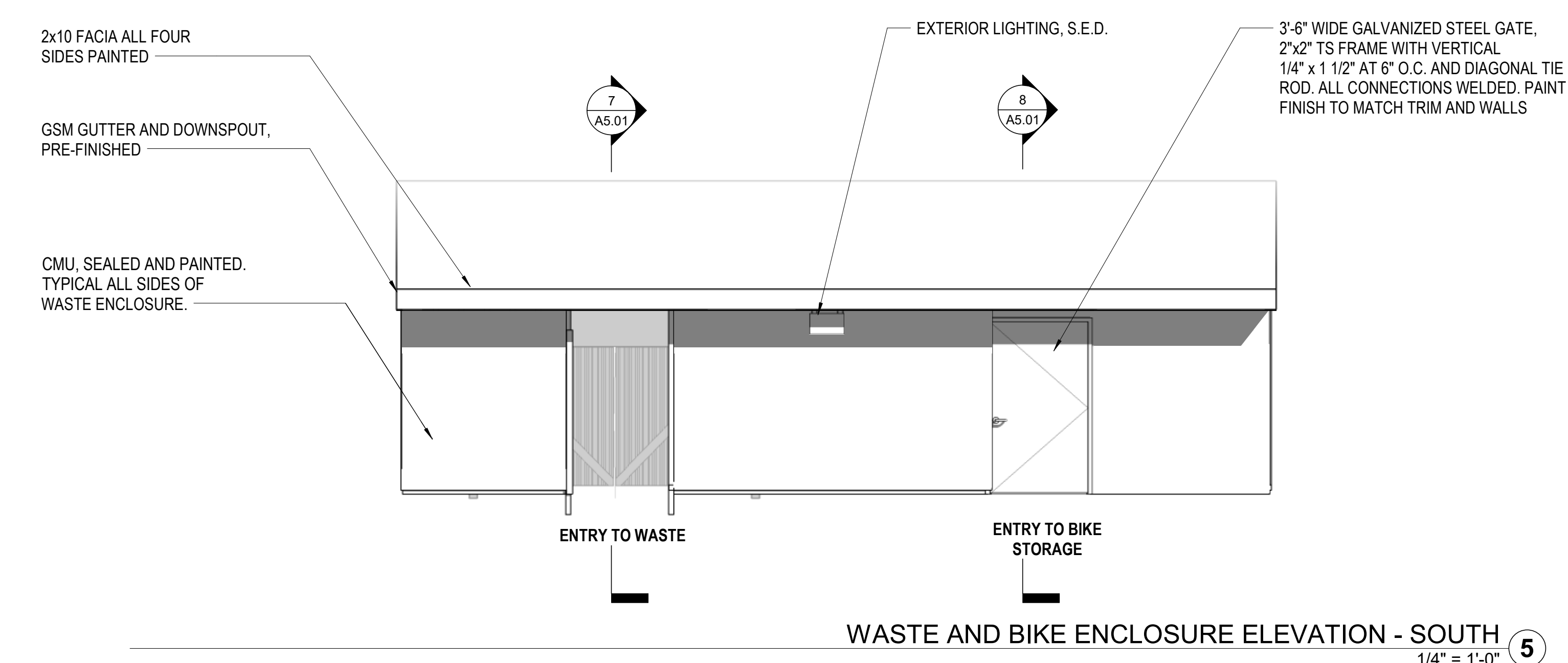
WASTE AND BIKE ENCLOSURE ELEVATION - SECTION 1
1/4" = 1'-0" 7



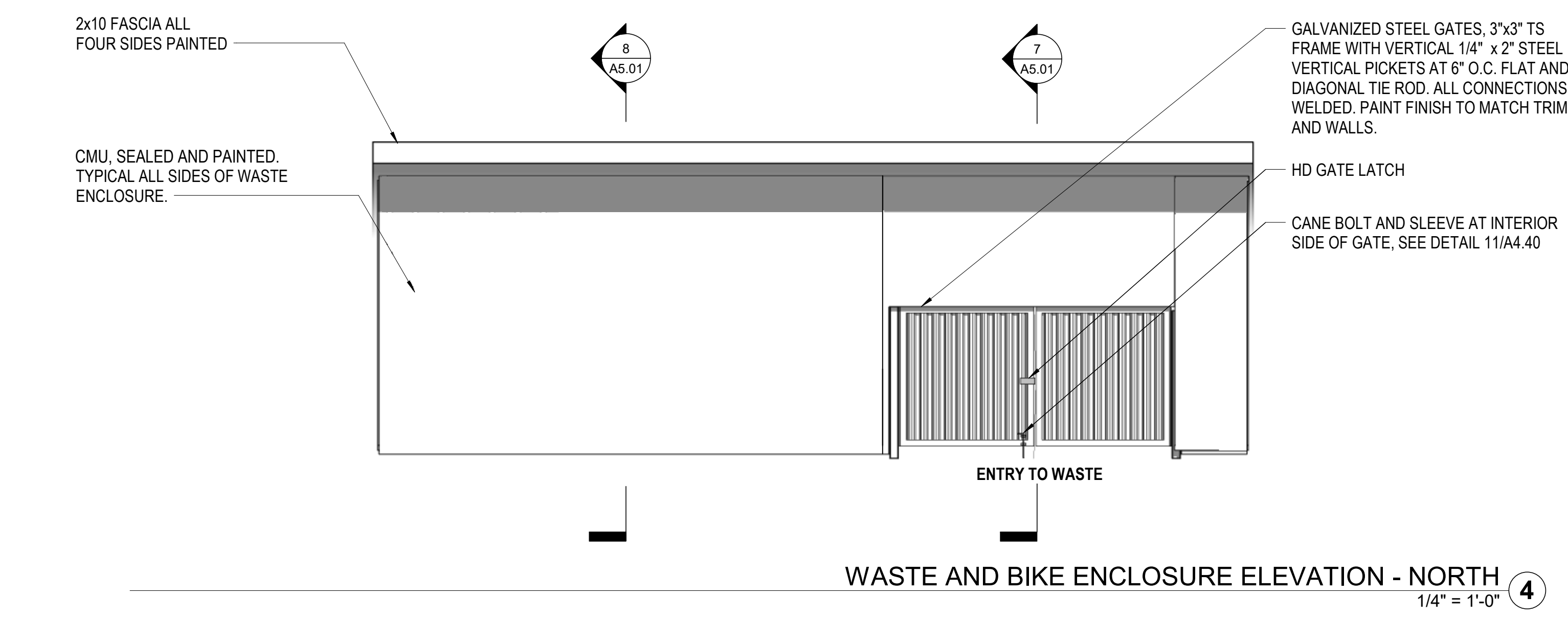
WASTE AND BIKE ENCLOSURE ELEVATION - WEST
1/4" = 1'-0" 6



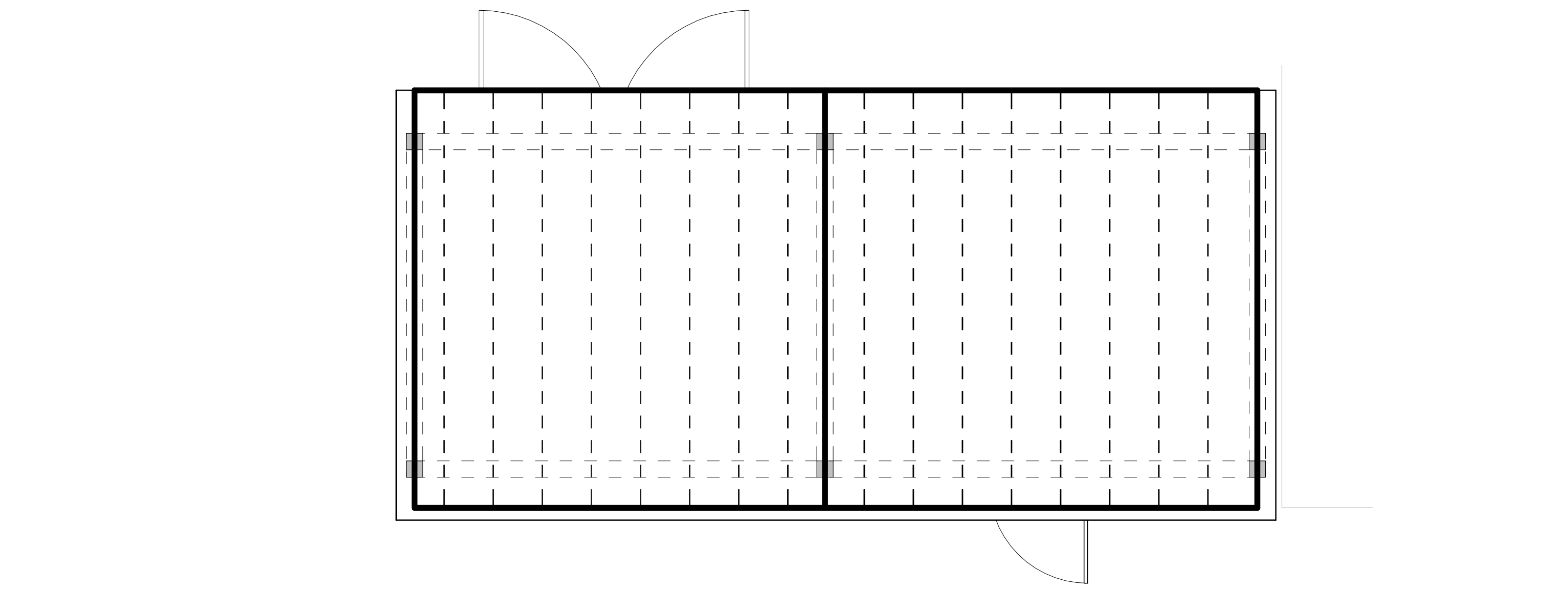
WASTE AND BIKE ENCLOSURE ELEVATION - EAST
1/4" = 1'-0" 3



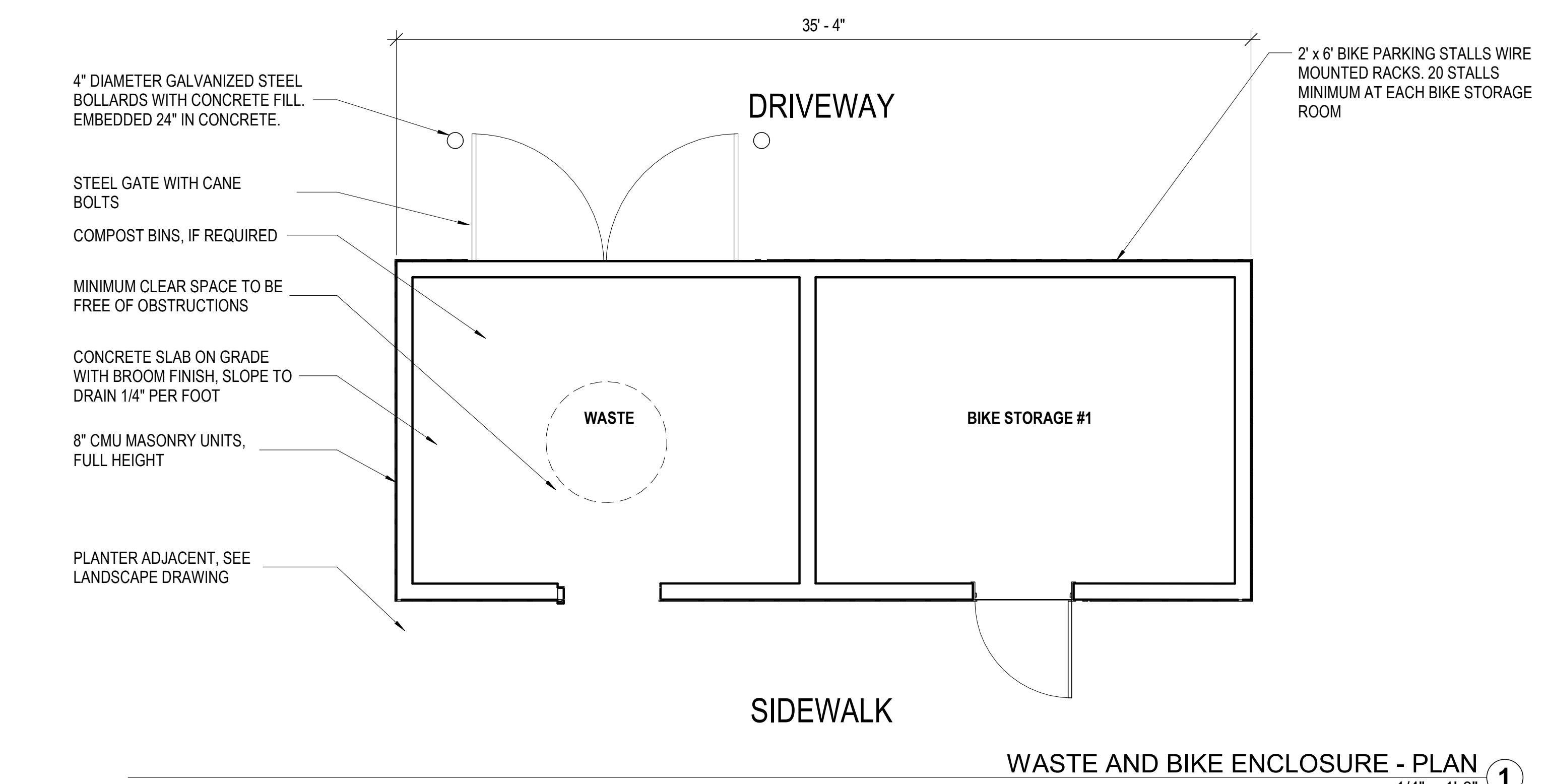
WASTE AND BIKE ENCLOSURE ELEVATION - SOUTH
1/4" = 1'-0" 5



WASTE AND BIKE ENCLOSURE ELEVATION - NORTH
1/4" = 1'-0" 4



WASTE AND BIKE ENCLOSURE - ROOF PLAN
1/4" = 1'-0" 2



WASTE AND BIKE ENCLOSURE - PLAN
1/4" = 1'-0" 1