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\* 558 Canyon Rd Property Description

Apn # 057-20-115  
 Zone Code RH/OR Residential Hillside / Design Review  
 Lot Size 66,990 sq square feet.  
 Zone Type Single Family Residence  
 Wood Frame Construction 2 story with basement

Existing Living	1770 #
Existing Basement	602 #
Proposed JADU	483 #
Proposed Addition	224 #
Proposed Redwood Deck	128 #
Proposed Covered Patio	765 #
Proposed Covered Deck	532 #
Proposed Front Entry Platform	567 #

% of New Floor area to Existing 707 = 2372 x 100 = 29.87%  
 % of Living Area to Lot # coverage

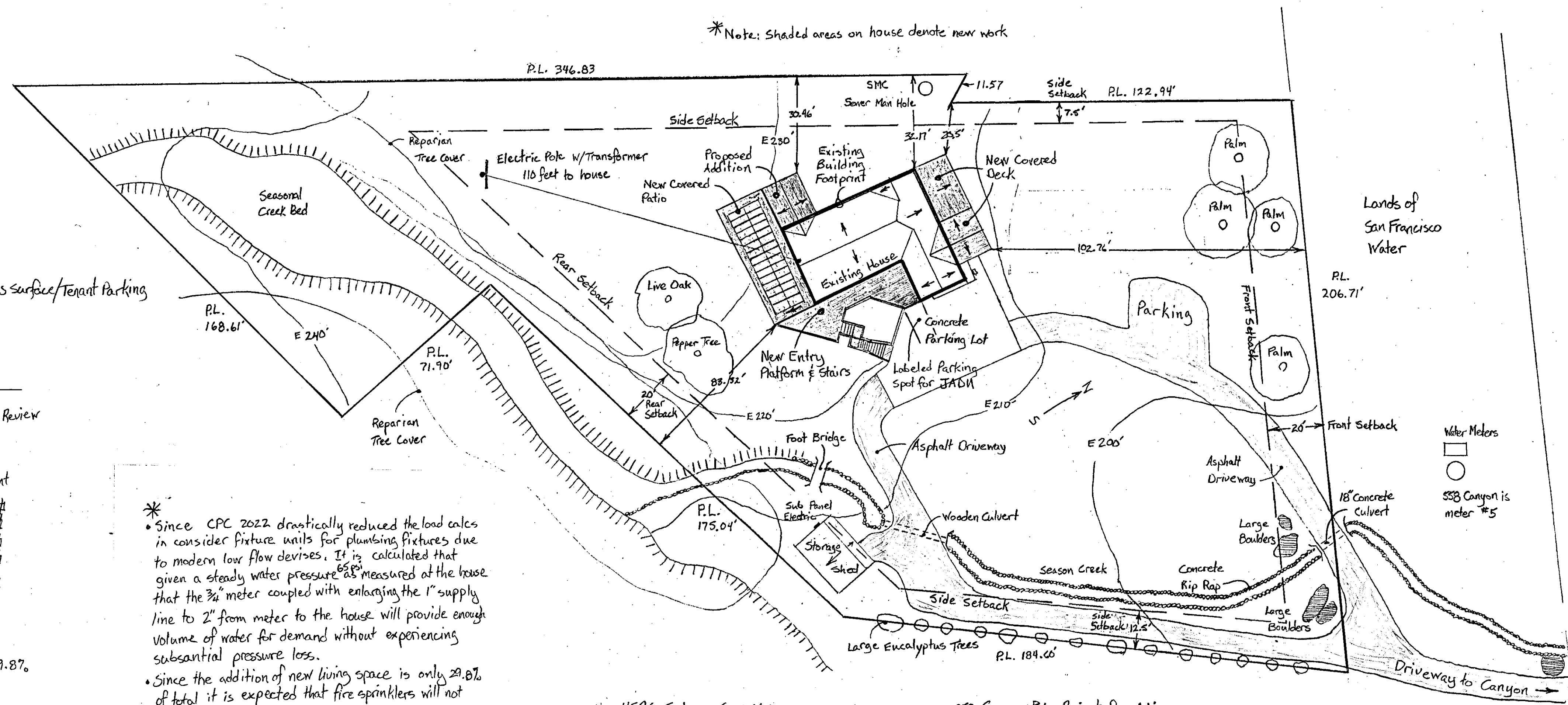
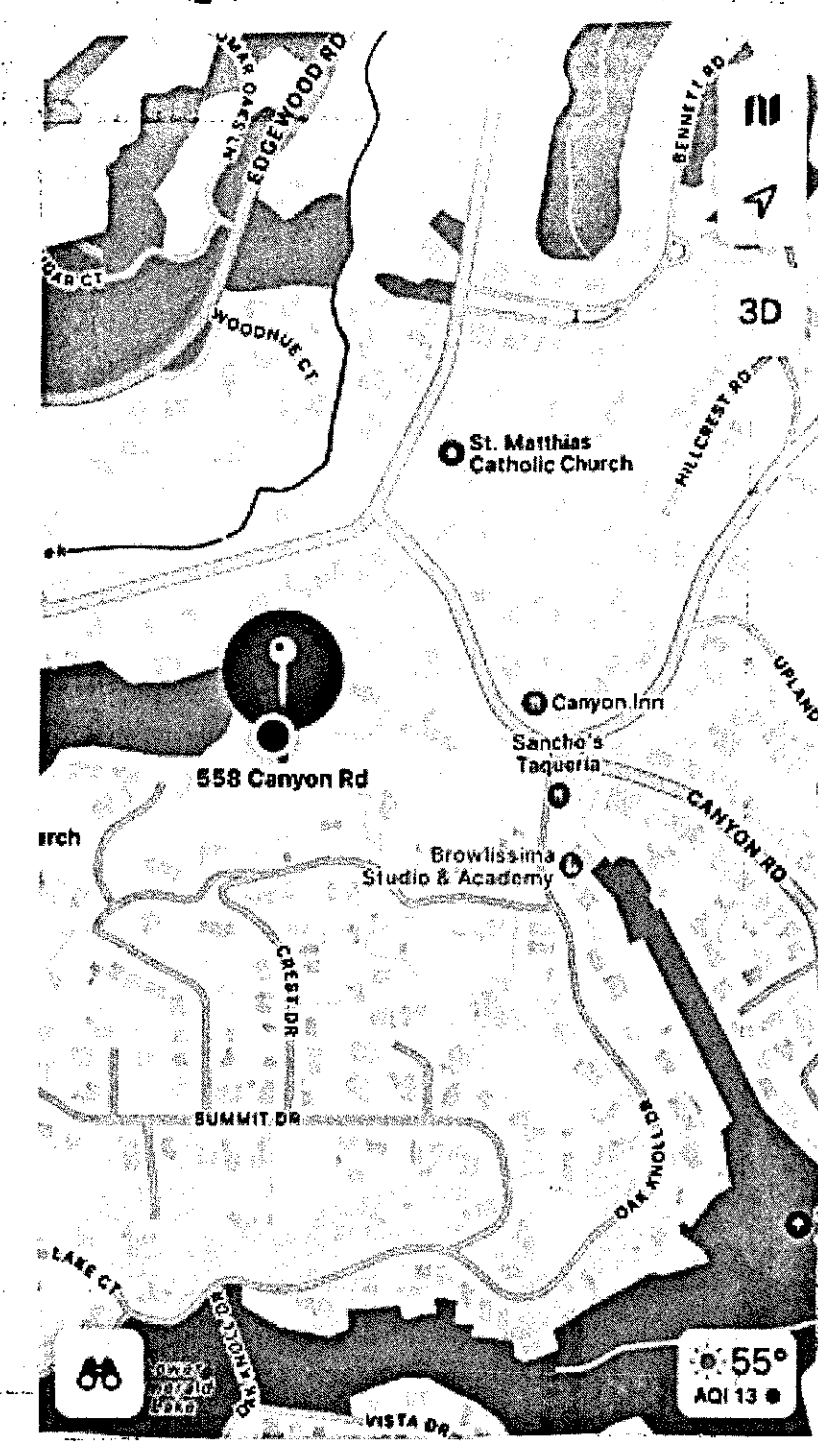
Living Area Main Unit  
 Existing + Basement + Addition  
 (1770 + 602 + 224) ÷ 66,990 x 100 = 3.9%  
 Living Area JADU  
 (483) ÷ 66,990 x 100 = .72%  
 Combined  
 (2596 + 483) ÷ 66,990 x 100 = 4.60%

% of Roof Area to Lot Coverage  
 1770 + 224 + 765 + 532 + 452 (Eaves) ÷ 66,990 x 100 = 5.59%

% of Impervious Area 9421 ÷ 66,990 x 100 = 14.1%

% of New Added Floor area to Existing Floor area  
 (483 + 224) ÷ 2372 x 100 = 29.87%

Vacinity Map



\* Note: Shaded areas on house denote new work

\* Since CPC 2022 drastically reduced the load calcs in consider fixture units for plumbing fixtures due to modern low flow devices. It is calculated that given a steady water pressure as measured at the house that the 3/4" meter coupled with enlarging the 1" supply line to 2" from meter to the house will provide enough volume of water for demand without experiencing substantial pressure loss.  
 \* Since the addition of new living space is only 29.8% of total it is expected that fire sprinklers will not be required.  
 \* Therefore the current 3/4" meter would be acceptable for this development.

HERS Features Summary

Building Level Verifications	None
HVAC Heat Pump Verifications	None
verified heating Cap47	
Cap17	
verified cooling EER	
SEER	
HVAC Duct Systems	N/A
Domestic Hot Water system	None
HVAC Fan system Verification	N/A

558 Canyon Rd. Project Description

558 Canyon Rd. is a ranch style two story of 1150 square feet with a 651 square foot basement living area and a 423 square foot basement garage. It was built in 1961 when structural and energy codes weren't very stringent. Since this property is meant to be our forever home and extended family compound we need to bring everything up to 21st century standards. The work to be done from these plans has been broken down into sections:

Section A is about adding 224 additional square feet to bedroom #2 to turn it into a master suite. The old master bedroom is small and its bathroom is even smaller.

Section B is removing the old rock rubble retaining wall and pouring a new structural retaining wall able to support a roof load, pouring a new 6" patio slabs and constructing a new patio roof capable of carrying the load from a 28 panel solar photovoltaic system. The patio conveniently faces south for optimal exposure to the sun all day.

Section C has us removing the old entry stairs because much of the wood structure that supported them had turned to dust because of termites and rot. The concrete steps didn't have any metal reinforcement so sections were beginning to collapse. The old stairs were so steep as I had personally tripped on them many times. Moving the stairs and constructing a new entry platform allowed for a more gradual rise up and a less cramped feel of the entry way. The platforms are to be sloped and waterproofed to shed water.

Section D will replace rotted secondary deck with a new structure able to carry a second story roof load, no more rot. Part of the deck will have a shed roof and part will be more enclosed with a gable roof to be more esthetically pleasing to look at. The gabled part of the deck will be insulated as it might be closed in as living space connecting to Section G in future development.

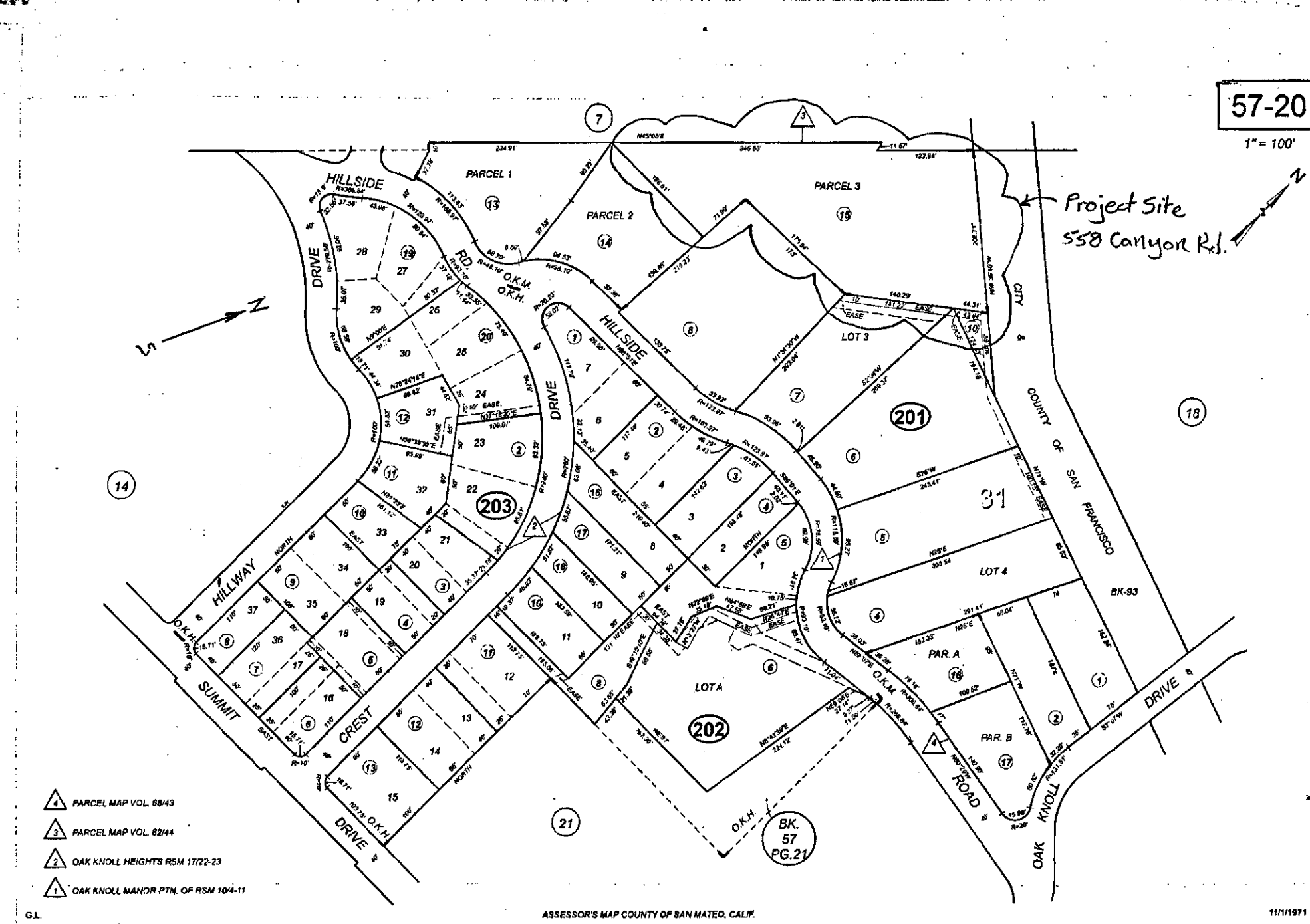
Section E sees the renovation of the existing house. The old and badly cracked stucco will be removed to apply insulation, seismic sheathing and energy efficient windows so a new stucco system can be applied. The floor in the master living room will be raised to the same level as the rest of the house to save old folk from probable injuries from falling. Convert an extra closet from the old master bedroom into a powder room and replace everything in the old master bathroom to repair a rotted out floor from a shower leak. Remove stairs going down into basement garage and close in the hole in the floor to add more space to the kitchen and also add a laundry closet at that location. Remodel the kitchen with new cabinets and countertops keeping the major appliances and sink in their existing locations. Upgrade the main panel from 200 to 400 amps that will serve five sub panels. Remove brick wall against fireplace to add two windows on either side. Replace all finishes for a new modern look.

Section F sees the replacement of the very cracked and pushed up basement/garage slab, due to rot infiltration, with a new 6" slab replete with 2 story footings and putting the existing walls back into place. The garage door is to be replaced with a wall bearing seismic sheathing to make up for a very weak point in the structure. The garage will be converted into a JADU.

All work to be done to acceptable standards put forth by the following trade publications:

- 2022 California Building Code - CBC
- 2022 California Electric Code - CEC
- 2022 California Existing Building Code - CEBC
- 2022 California Fire Code - CFC
- 2022 California Green Building Standards Code - Cal Green
- 2022 Building Energy Efficiency Standards - BEES
- 2022 California Mechanical Code - CMC
- 2022 California Plumbing Code - CPC
- 2022 California Residential Code - CRC

Assessor's Parcel Map parcel# 057-20-115



REVISIONS	BY

558 Canyon Rd. Emerald Hills 94062  
 Owners: David and Ha Saunders  
 23200 Mora-Glen Dr. Los Vegas Hills 94022  
 Contact: Calvin Lucero 408-468-8007/calvin1918@gmail.com

Date	5/5/2023
Scale	1mm = 1foot
Drawn	Cal
Job	558 Canyon Rd.
Sheet	1
Of 10	Sheets

Scope of Work:

- Section A - Extend bedroom to make a master suite**
- 1) Form and pour new concrete perimeter foundation.
  - 2) Stick frame, subfloor, walls and roof structure then sheath. Per code.
  - 3) Apply composition roof and gutters
  - 4) Frame new partition walls in existing bedroom space for walk in closet, bathroom and new bedroom access.
  - 5) Install rough plumbing per code.
  - 6) Install rough electrical per code.
  - 7) Insulate walls and ceilings per code.
  - 8) Hang sheet rock per code. Tape, bed and paint
  - 9) Install wire and lath per code, apply stucco
  - 10) Install tile in the shower and bathroom floors
  - 11) Hang cabinets and set counter tops
  - 12) Lay prefinished floor, set doors, apply wood casings on doors, floors and windows
  - 13) Install finish plumbing and electrical
  - 14) Touch up paint

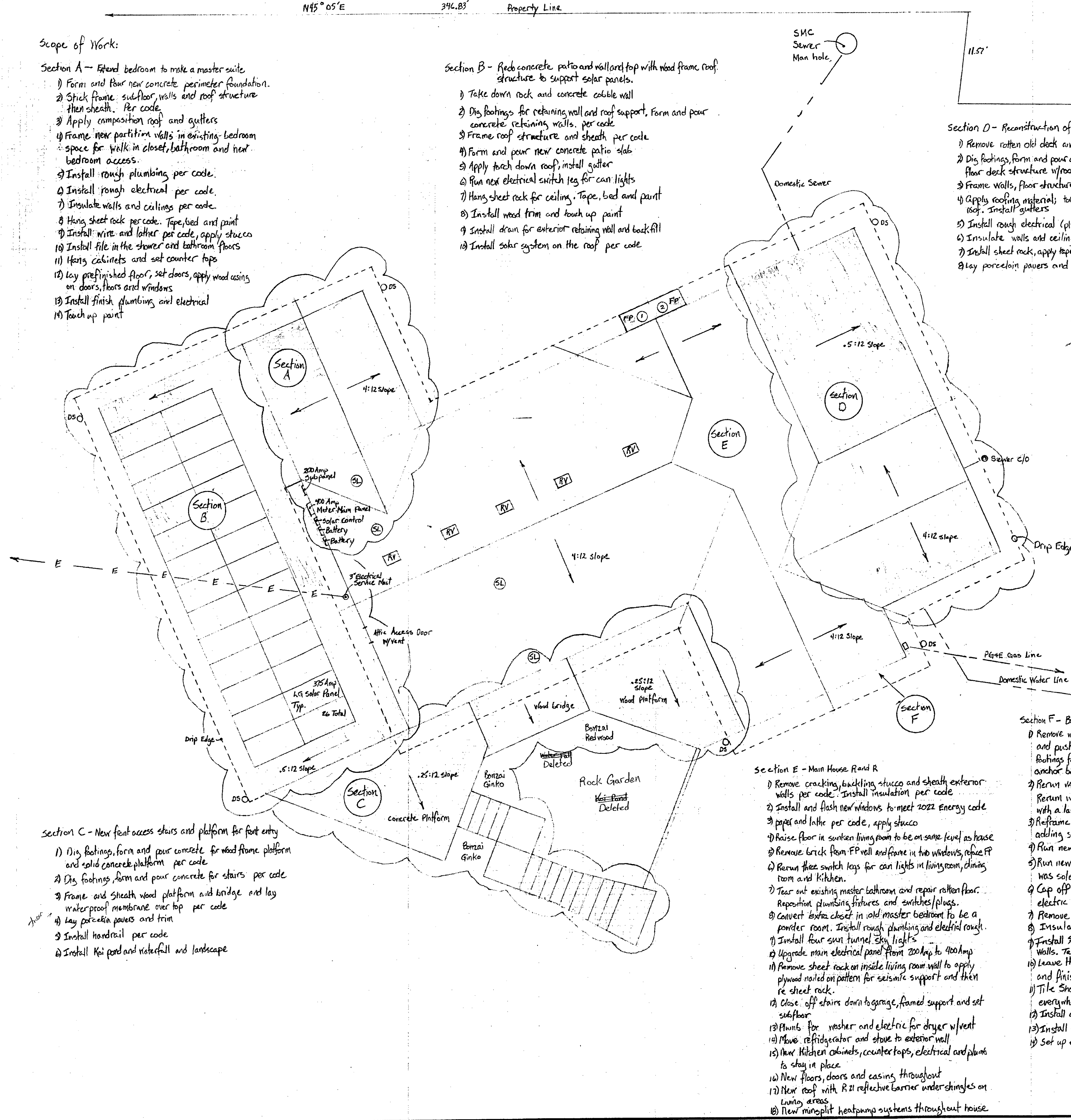
- Section B - Red concrete patio and wall and top with wood frame roof structure to support solar panels.**
- 1) Take down rock and concrete cable wall
  - 2) Dig footings for retaining wall and roof support. Form and pour concrete retaining walls. per code
  - 3) Frame roof structure and sheath per code
  - 4) Form and pour new concrete patio slab
  - 5) Apply torch down roof, install gutter
  - 6) Run new electrical switch legs for can lights
  - 7) Hang sheet rock for ceiling. Tape, bed and paint
  - 8) Install wood trim and touch up paint
  - 9) Install drain for exterior retaining wall and backfill
  - 10) Install solar system on the roof per code.

- Section D - Reconstruction of second floor deck and adding roof structure**
- 1) Remove rotten old deck and first floor pavers
  - 2) Dig footings, form and pour concrete for slabs and foundation for second floor deck structure w/roof. Per code
  - 3) Frame walls, floor structure and roof structure and sheath per code
  - 4) Apply roofing material; torch down for flat roof, residential comp. for sloped roof. Install gutters
  - 5) Install rough electrical (plugs, switches & can lights)
  - 6) Insulate walls and ceiling in cable part of deck per code
  - 7) Install sheet rock, apply tape and bed and paint per code
  - 8) Lay porcelain pavers and trim

- 9) Apply wood trim and handrails and paint
- 10) Install finish electrical

\* Fire Note: Roof assemblies in the Fire Hazard Severity Zones shall be Class A rated when tested in accordance with ASTM E108 or UL 790.

- (Section) - New Work
- (Circle) - New or Replacement Impervious Surface
- (Dashed line) - Drip Edge
- (Dashed line) - Sewer Line
- (Dashed line) - Overhead Electrical Service
- (Dashed line) - Domestic Water Line
- (Dashed line) - PG&E Gas Line
- ODS - Down Spout
- (Circle with SL) - Sky Light
- (Square with RV) - Roof Vent
- FP - Fire Place



- Section C - New front access stairs and platform for front entry**
- 1) Dig footings, form and pour concrete for wood frame platform and solid concrete platform per code
  - 2) Dig footings, form and pour concrete for stairs per code
  - 3) Frame and sheath wood platform and bridge and lay waterproof membrane over top per code
  - 4) Lay porcelain pavers and trim
  - 5) Install handrail per code
  - 6) Install Kai pond and waterfall and landscape

- Section E - Main House Rnd R**
- 1) Remove cracking, backing stucco and sheath exterior walls per code. Install insulation per code
  - 2) Install and flash new windows to meet 2022 Energy code
  - 3) Paper and lath per code, apply stucco
  - 4) Raise floor in sunken living room to be on same level as house
  - 5) Remove brick from FP wall and frame in two windows, repair FP
  - 6) Return three switch legs for can lights in living room, dining room and kitchen.
  - 7) Tear out existing master bathroom and repair rotten floor. Replumb plumbing fixtures and switches/plugs.
  - 8) Convert extra closet in old master bedroom to be a powder room. Install rough plumbing and electrical rough.
  - 9) Install four sun tunnel sky lights
  - 10) Upgrade main electrical panel from 200 amp to 400 amp
  - 11) Remove sheet rock on inside living room wall to apply plywood nailed on pattern for seismic support and then re sheet rock.
  - 12) Close off stairs down to garage, framed support and set subfloor
  - 13) Plumb for washer and electric for dryer w/vent
  - 14) Move refrigerator and stove to exterior wall
  - 15) New kitchen cabinets, counter tops, electrical and plumb to stay in place
  - 16) New floors, doors and casing throughout
  - 17) New roof with R 21 reflective barrier under shingles on living areas
  - 18) New mini-split heatpump systems throughout house

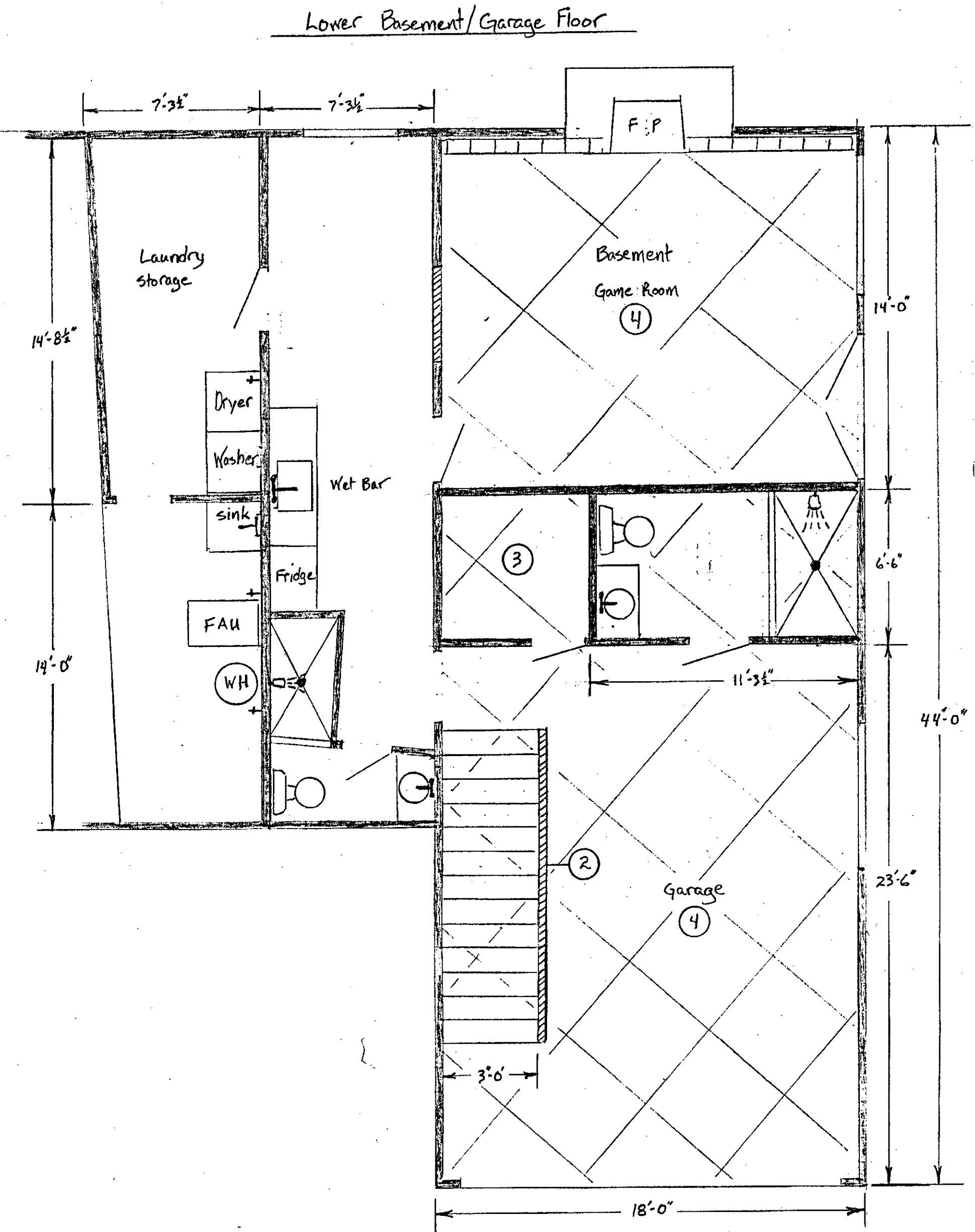
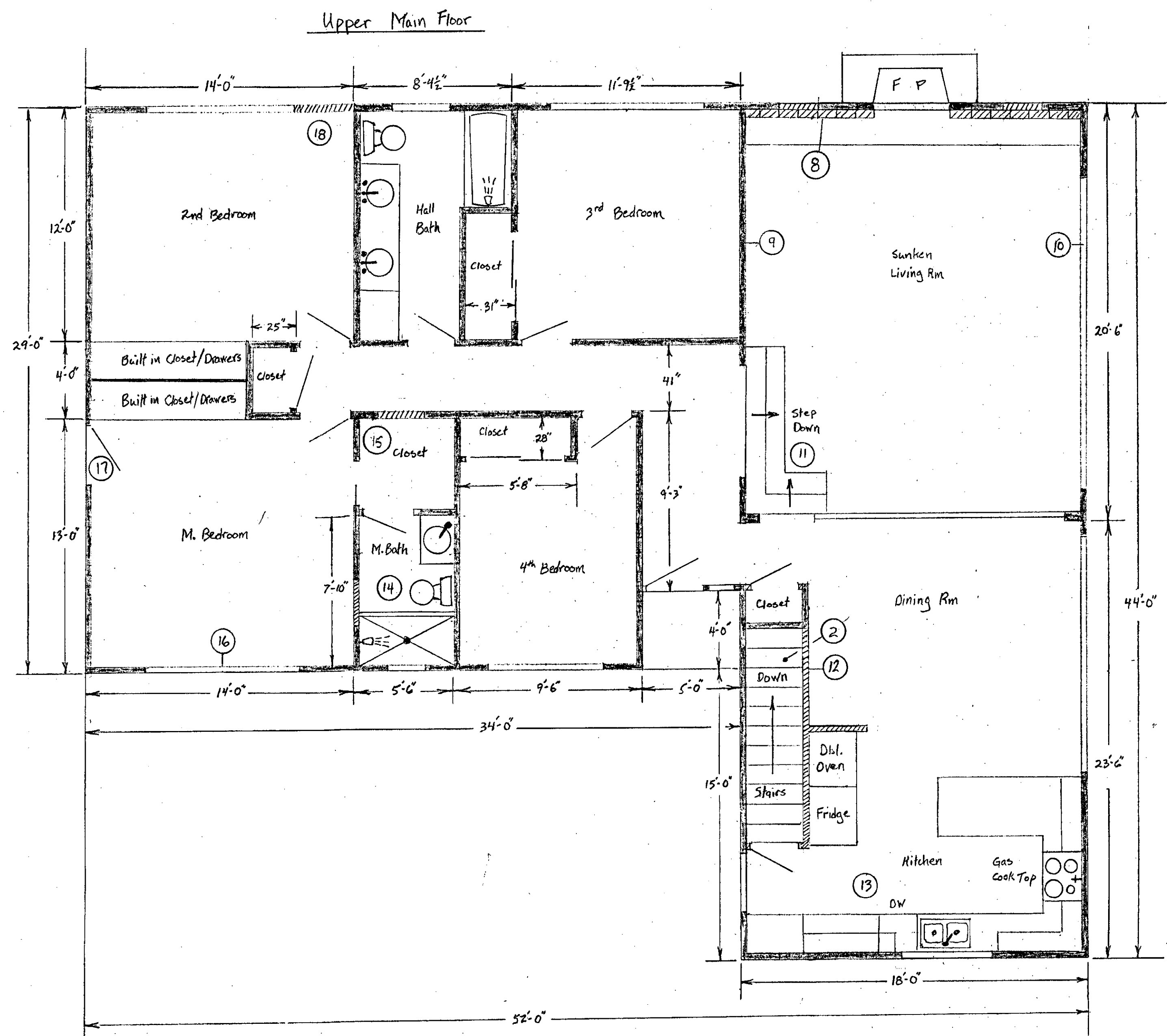
- Section F - Basement and garage conversion to JADU**
- 1) Remove walls and concrete slabs. Oak tree roots had broken and pushed up concrete by almost three inches. Dig footings for brace walls and across garage face, add anchor bolts. Form and pour
  - 2) Return waste lines for kitchen, corroded through at points. Return waste lines added down stairs bathrooming with a large section of the main 4" i.c.m. waste line.
  - 3) Reframe downstairs basement and garage walls adding sheathing for brace walls.
  - 4) Run new rough electrical and plumbing in walls
  - 5) Run new enlarged copper water system, old system was soldered with 60/30 lead.
  - 6) Cap off gas lines for WH and Furnace. Install new electric heat pump WHs and minisplit heat/air system
  - 7) Remove all old HVAC ducting
  - 8) Insulate per code
  - 9) Install 3/8 type X rock on the lid and soffits, 1/2" on all walls. Tape, bed and paint
  - 10) Leave the basement portion of the garage for storage and finish the garage as a JADU
  - 11) Tile Shower and bathroom floor, engineered flooring everywhere else.
  - 12) Install cabinets, doors and casings
  - 13) Install finish electrical and plumbing
  - 14) Set up efficiency kitchen.

REVISIONS	BY

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 25200 Alhambra Glen Dr. Los Altos Hills Ca. 94022  
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Date	5/5/2023
Scale	3/16" = 1'00"
Drawn	CSL
Job	558 Canyon Rd.
Sheet	2
Of 10	Sheets

Existing Structure/Demolition



Demolition Notes

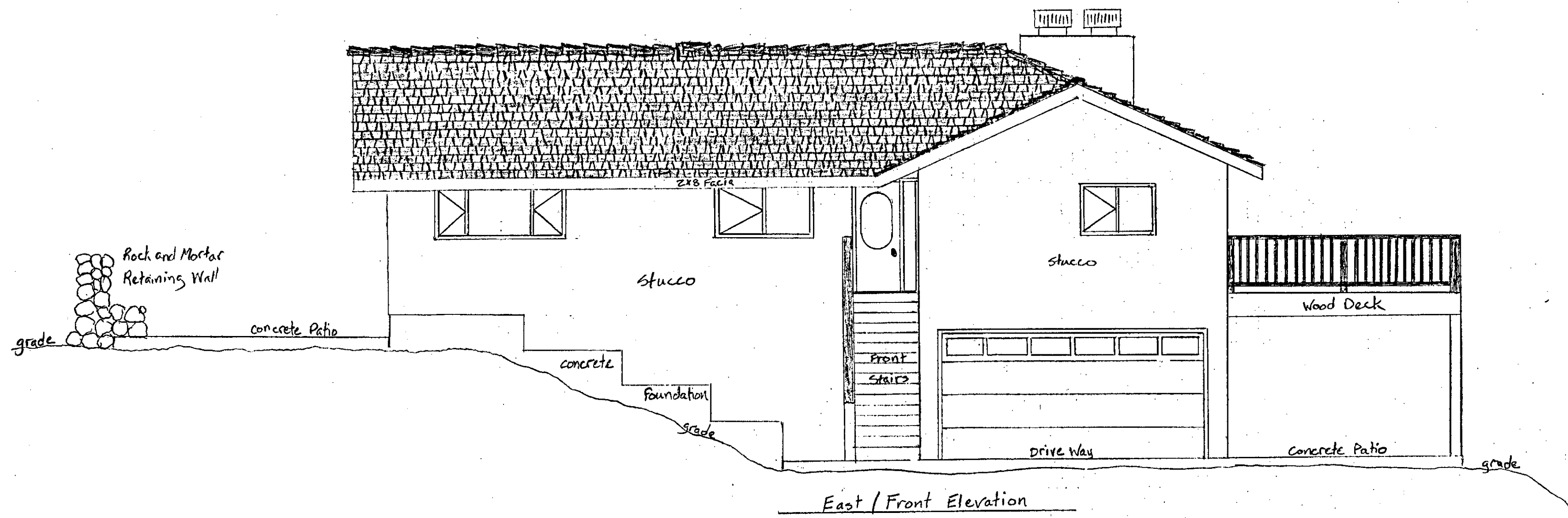
- 1) Remove all plumbing fixtures, tile in the shower and cap off or plug all open plumbing lines in basement/garage
- 2) Remove stairs
- 3) Remove walk
- 4) Remove concrete slab as marked in basement
- 5) Remove all sheet rock in basement/garage
- 6) cap off unnecessary gas lines.
- 7) Remove WH and FAU/Duct work
- 8) Remove bricks on FP wall and hearth.
- 9) Remove sheetrock on wall
- 10) Remove and store sliding door
- 11) Remove steps and railing
- 12) Remove appliances, sheet rock and wall
- 13) Remove appliances and cabinets
- 14) Strip bathroom of plumbing and sheetrock, remove rotten floor boards, open wall for new door location
- 15) Remove sheet rock, open wall for new door location
- 16) Remove window and prep space for slider
- 17) Remove door to fill space
- 18) Remove sheet rock in bedroom where needed, open wall where mark for access to bedroom addition
- 19) Remove stucco from walls side by side. Don't start next side before bare wall can be insulated and sheathed to retain structural rigidity.
- 20) Replace all windows to meet 2022 energy code
- 21) Remove all interior doors.
- 22) Remove all floor coverings down to subfloor

REVISIONS	BY

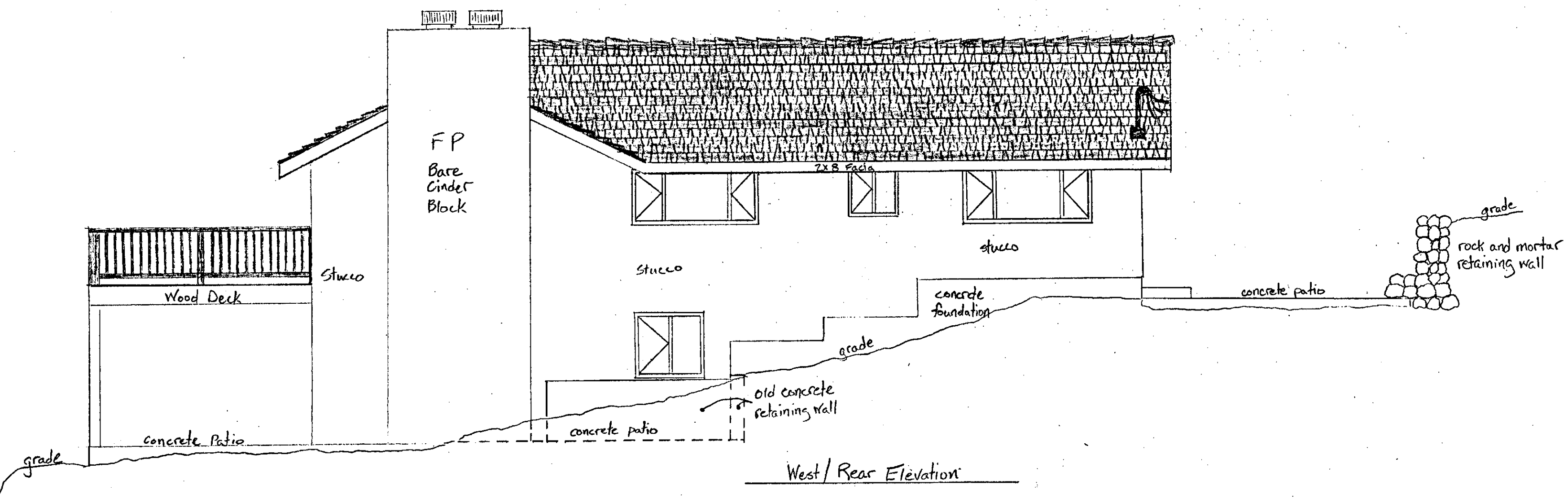
588 Canyon Rd. Emerald Hills 94062  
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 23200 Moss Glen Dr. Los Altos Hills 94022  
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Date	5/5/2023
Scale	1/4" = 1 Foot
Drawn	CSL
Job	588 Canyon Rd.
Sheet	3
Of	6 Sheets

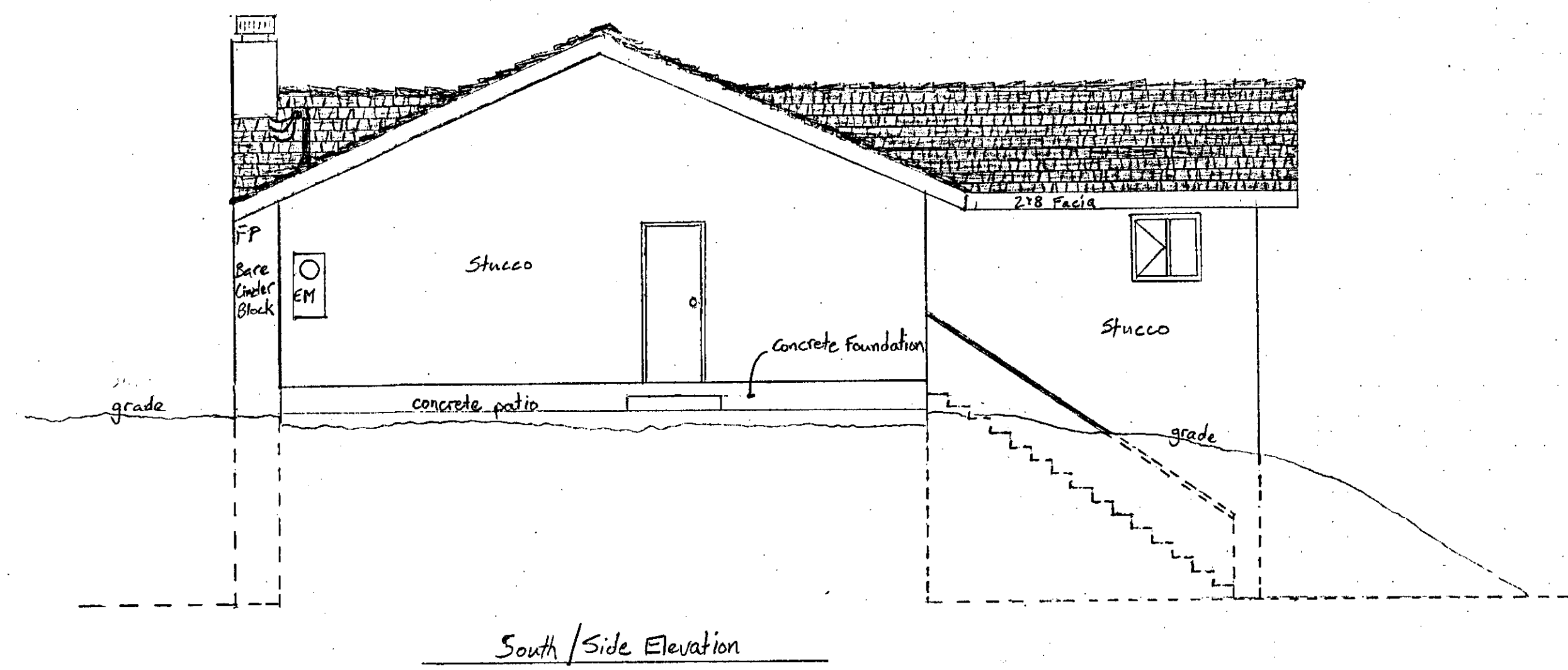
Old Elevations  
 scale 3/16" = 1 foot



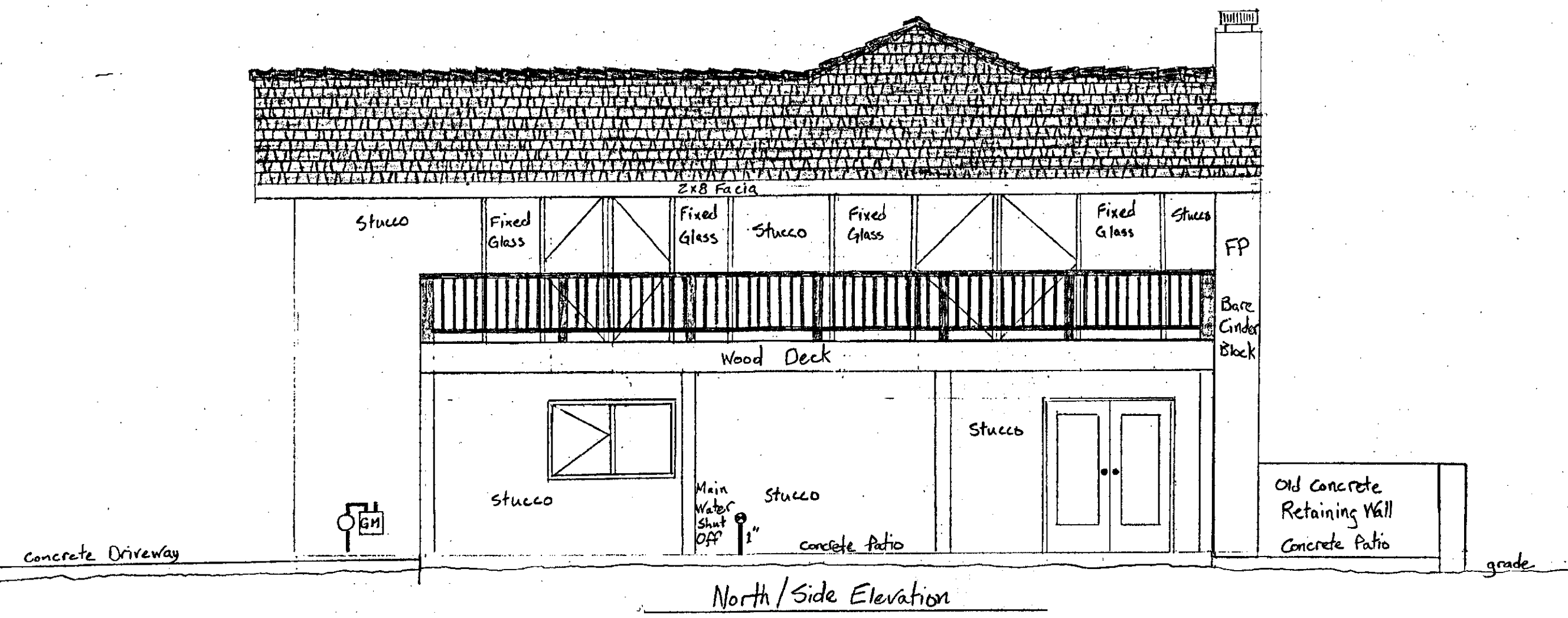
East / Front Elevation



West / Rear Elevation



South / Side Elevation

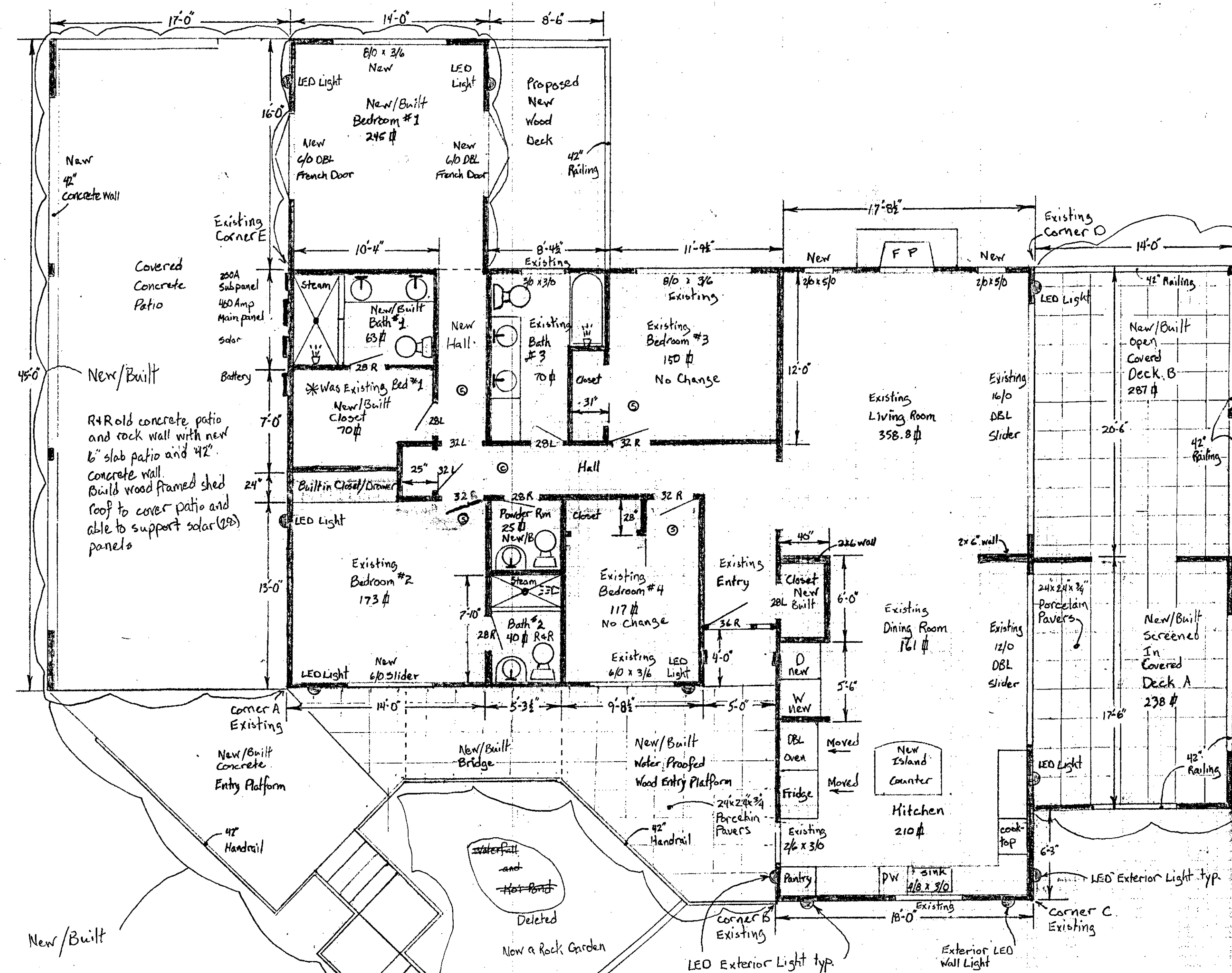


North / Side Elevation

REVISIONS	BY

Date 9/5/2023  
 Scale 3/16" = 1 foot  
 Drawn CSL  
 Job 558 Grayn Rd.  
 Sheet 3B  
 Of 10 Sheets

Proposed Floor Plan Main Floor/Window Schedule



The water proofing for the old stair leaked allowing the wooden sub structure to rot and become infested with termites. Without proper support and lacking rebar or wire the concrete and brick that made up the steps and risers was cracking severely and became unsafe. To make the entry safer a concrete and wood entry platform was built to the level of the front door and supplied with a 42" handrail. All construction is built on existing elevations. The new stairs utilizes existing gradient and requires no supporting structure. No more termites and no more rot.

\* Floor Areas Calculated to Lot Coverage

Existing Main Floor Area	1770 #
New Addition Floor Area	224 #
New Redwood Deck	128 #
New Covered Patio	765 #
New Covered Deck	532 #
New Entry Platform	567 #

% Floor Area to Lot Coverage  
 $1994 \div 66,990 \times 100 = 2.98\%$

% Foot Print Area to Lot Coverage  
 $3786 \div 66,990 \times 100 = 5.65\%$

% New Floor area to Existing  
 $707 \div 2,372 \times 100 = 29.8\%$

Replacement of 4" patio slab and 24x24 piers for deck support because of rot pushing up and cracking slab. New deck foundation and patio slab to be in same footprint as existing deck/patio. Replacement of existing deck due to severe rot and termites. New foundation is poured with new 18" deep by 16" wide footings capped by a 6" slab. Covered Deck A has 4' brace walls for seismic stability and is capped with a cable roof while covered Deck B has a shed roof. Covered deck A will be screened in.

Window Schedule

Location	Size	Description	Ratio floor area to glazed area %	EERO sqft/opening dimension	Orientation E-W-N-South
Living Room	2'0" x 5'0"	LH crank window	2.8%	N/A	W
Living Room	2'0" x 5'0"	RH crank window	2.8%	N/A	W
New Bed #1	8'6" x 3'6"	oxo window	11.4%	N/A	W
New Bed #1	6'0"	DBL French door	17.1%	Egress	N
New Bed #1	6'0"	DBL French door	17.1%	Egress	S - Shaded all day
New Bed #2	6'0"	Slider	24.3%	Yes 3'6" x 7'6" = 42" safety glazing	E
Existing Bed #1	8'0" x 3'6"	OXO Window	(16.7%)	Egress	
Existing Bed #2	8'0" x 3'6"	OXO Window	(16.2%)		
Existing Bed #2	32" RH	Exterior door			
Existing Bath #2	2'6" x 3'0"	window	(18.8%)		
Existing Game R	6'0" x 3'0"	OX window	(7.8%)		
Existing Bed #3	8'0" x 3'6"	OXO Window	18.7%	Egress	W
Existing Bed #2	6'0" x 3'6"	OX window	17.9%	Egress	E
Existing Entry	42" RH	Exterior Entry Door		Egress	
Existing Kitchen	4'6" x 3'0"	OX window	6.7%	N/A	E
Existing Kitchen	2'6" x 3'0"	OX window	3.6%	N/A	S
Existing Dining R	12'0"	XOX slider	52.2%	Egress	N - shaded all day
Existing Living R	16'0"	XOX slider	31.3%	Egress	N - shaded all day
Existing Game R	6'0"	DBL French door	18.3%	Egress	N - shaded all day
Existing Garage	4'0" x 3'0"	OX window	11.1%	Egress	N - shaded all day
Existing Game R	4'4" x 4'0"	OX window	11.9%	Egress	W
New JADU Entry	36" RH	Exterior Entry Door		Egress	Yes
New JADU LR	5'0" x 4'0"	OX Window	10.5%	Egress	N/A
New Storage R	36" LH	Exterior Door		N/A	E

Window Specs.

U-Factor	SHGC	Visible Transmittance	Air Leakage
0.29	0.22	0.48	≤ 0.3

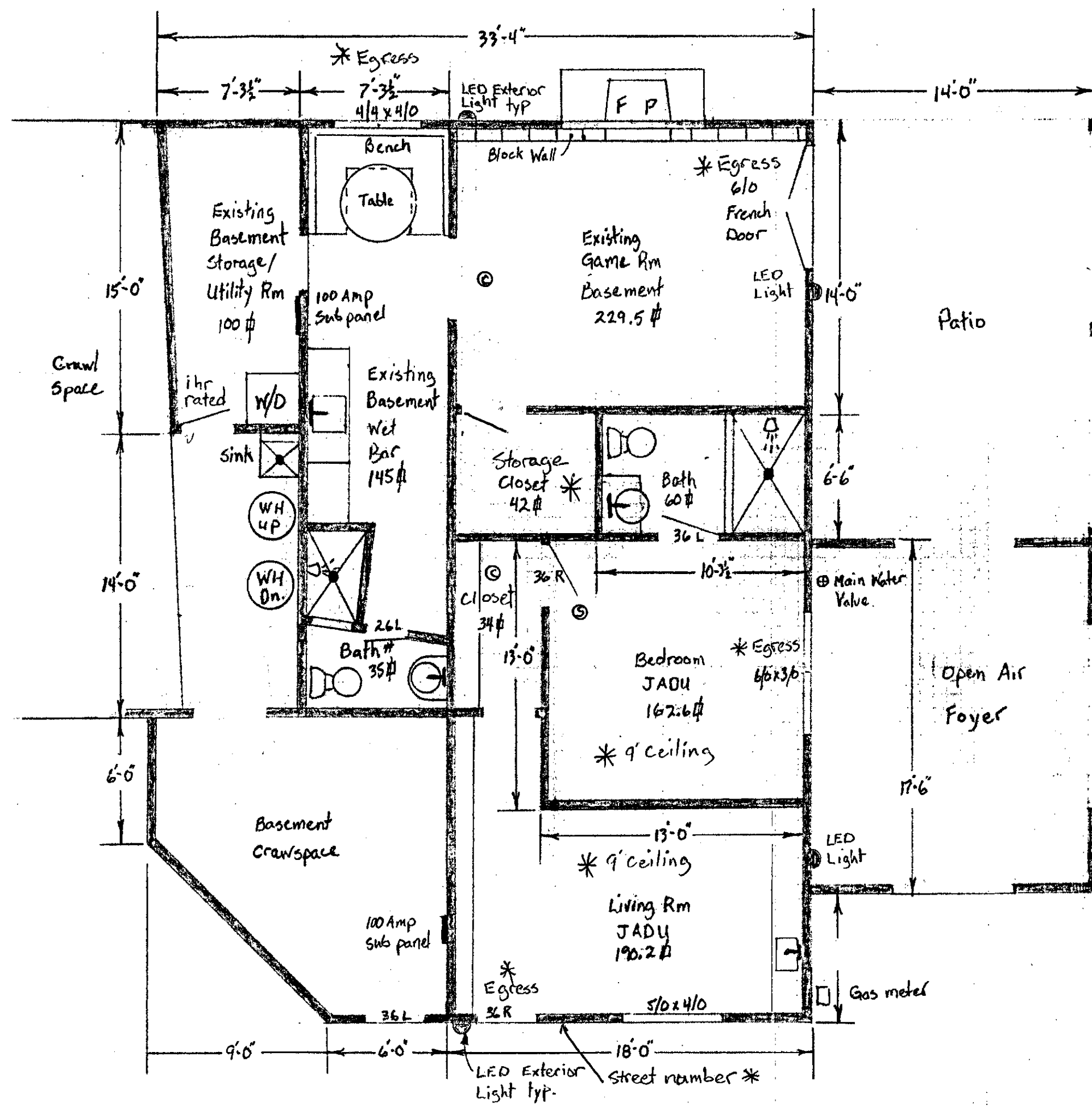
\* Fire Note:

- Emergency Egress and Rescue Openings shall have a minimum net clear opening of 5.7 #. Exception: the minimum net clear opening for grade-floor emergency egress and rescue openings shall be 5 #.
- The minimum net clear opening height shall be 24", width shall be 20".
- The bottom of opening can be no more than 42" from finished floor.
- single or multiple-station smoke alarms shall be installed and maintained in the following locations:
  - On the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms.
  - In each room used for sleeping purposes
  - In each story within a dwelling including basements but not including crawl spaces and uninhabitable attics.
- where more than one smoke alarm is required, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all alarms in the individual unit.
- Carbon Monoxide/smoke alarms shall be located in each story
  - ⊙ - Combination Carbon Monoxide/Smoke detector
  - ⊙ - Smoke detector only
- Since new living area compared to existing is only 29.8% it is expected that the existing structure will be exempt from requiring fire sprinklers.

REVISIONS	BY

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 Owners: David and Lisa Saunders  
 23200 Main Glen Dr. Los Altos Hills 94022  
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Proposed Floor Plan Basement/JADU Floor



Basement/JADU Floor Plan

- \* Fire Notes:
- ⊙ - Combination Carbon Monoxide/Smoke Detector required next to sleeping area and on each floor.
  - ⊙ - Smoke Detector required in each bedroom
  - There has to be at least 1 hour fire separation between JADU and rest of house.
  - House number needs to be visible by the door at least 6' above finished floor
  - Egress door/windows marked on plans. Specs found window schedule on page 4

\* % Lot Coverage

Basement/Gameroom	602 sq ft	> 1% lot coverage
Downstairs Patio	532 sq ft	> 1% "
JADU	483 sq ft	0.72% Lot coverage

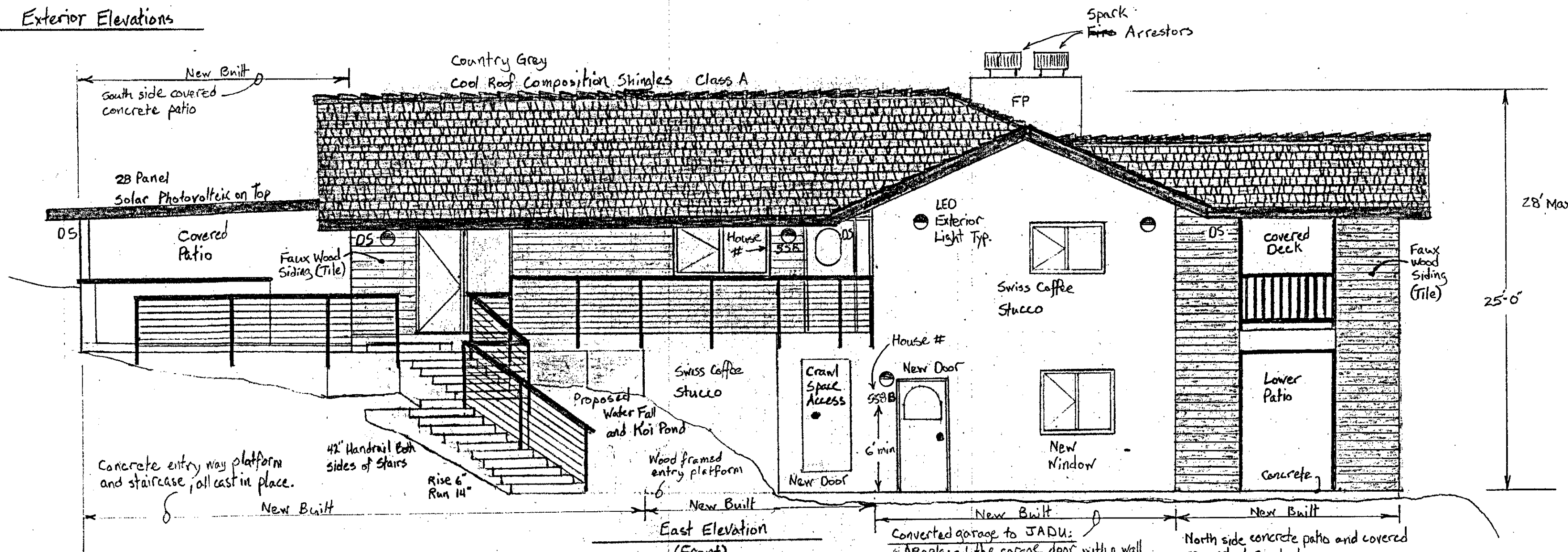
REVISIONS	BY

588 Carlyn Rd, Emerald Hills 94062  
 Owners: David and He Saunders  
 23200 Marc Glen  
 Contact: Calvin Lucero 408-668-5002 / sqnel1978@gmail.com

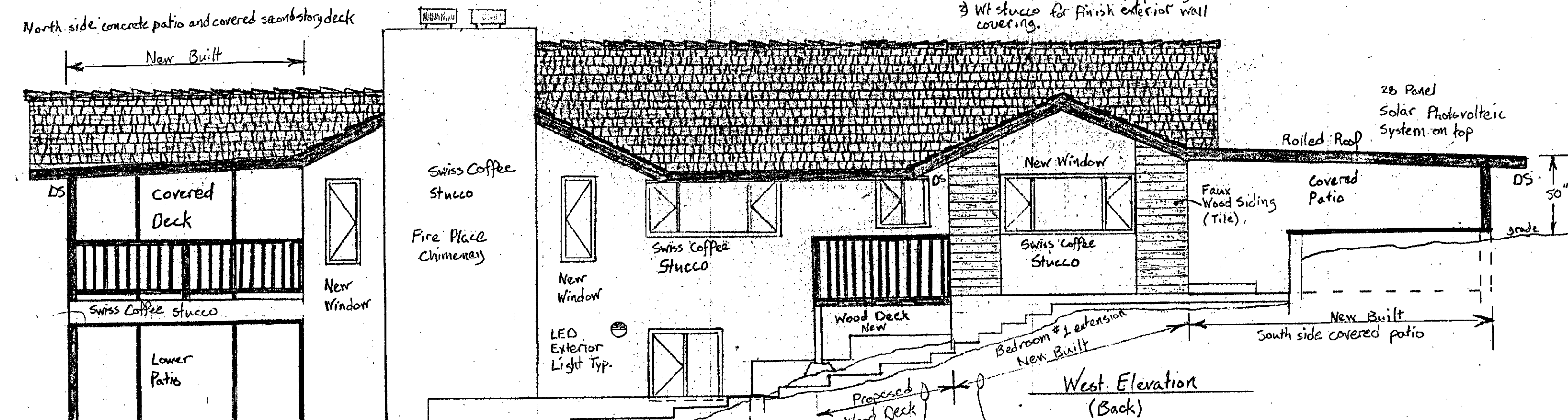
Date	5/5/2023
Scale	3/8" = 1 foot
Drawn	CSL
Job	558 Carlyn Rd.
Sheet	5
01/0	Sheets

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Exterior Elevations

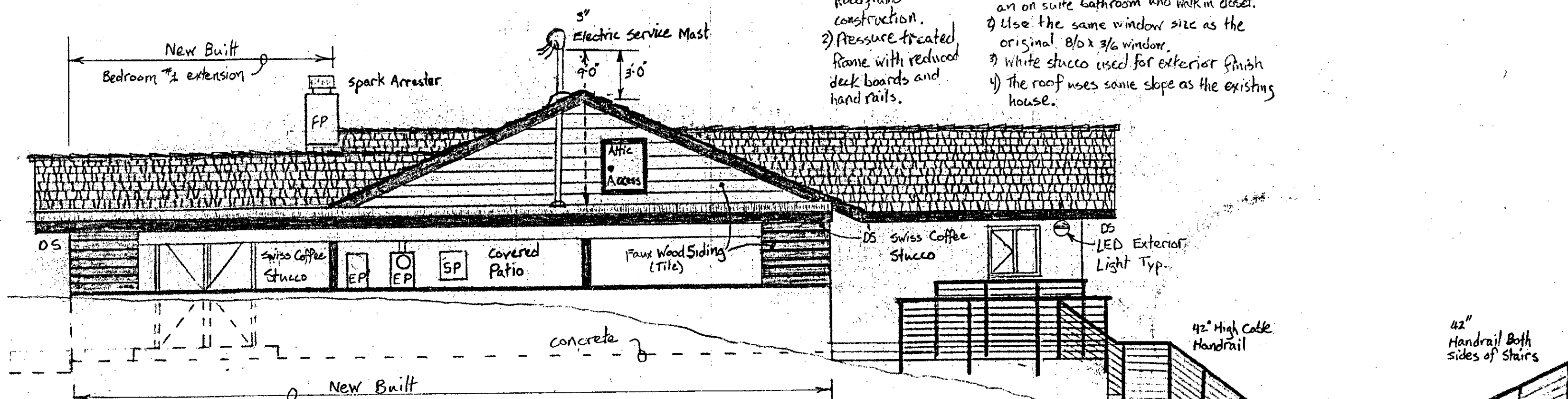


\* Fire Note:  
 • Street/House number are to be mounted next to front entrance of each unit no lower than six feet from finish grade.  
 • ADU/JADU addressing shall be identified by same address number as primary residence followed by letters in sequence beginning with letter "B".  
 • Construction, projections, openings and penetrations of exterior walls of dwellings and accessory buildings shall comply with CRC 202Z Table R302.1 (1). Foundation vents installed with this code are permitted.

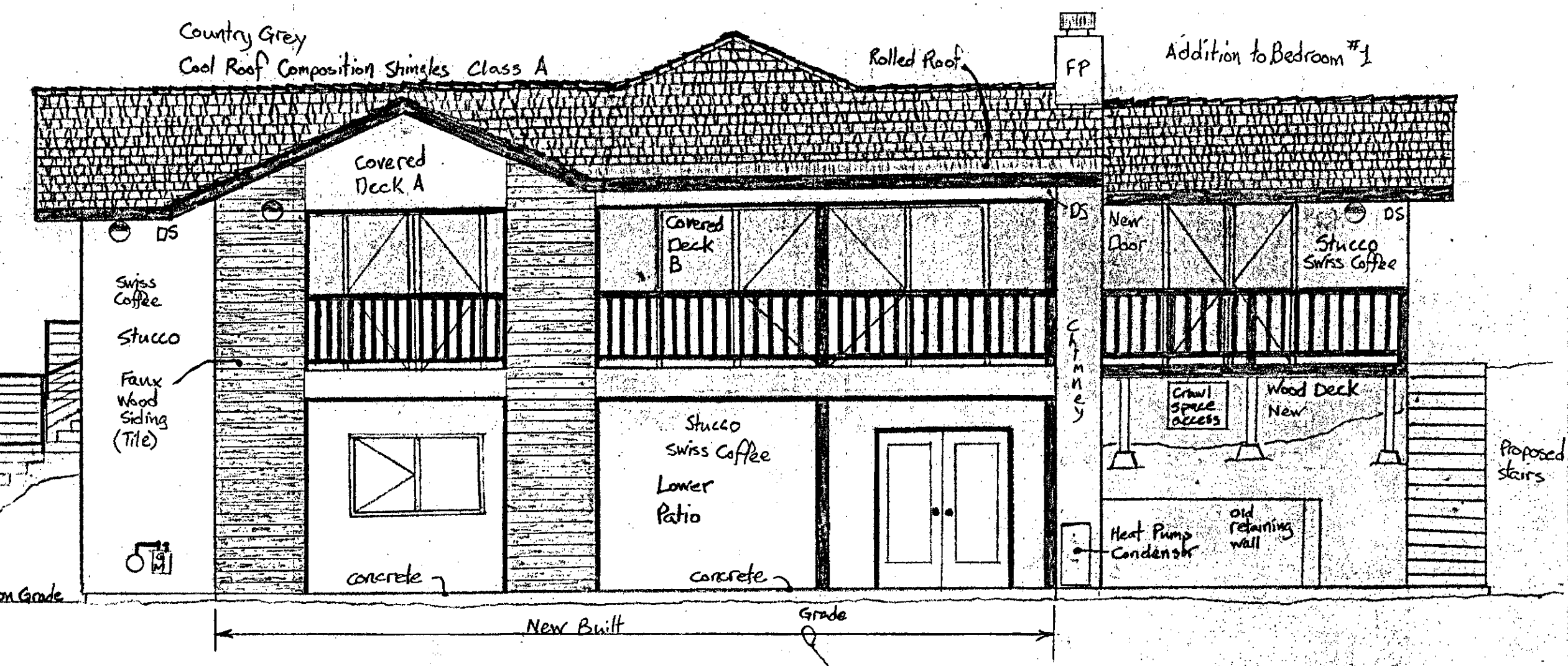


Exterior Finishes  
 Roofing: Light brown California cool roof composition shingles for sloped roofs. Matching light brown roll on/torch down for shed roofs. Color-Country Gray  
 Walls: Smooth Santa Barbara style stucco painted Swiss Coffee - Kelly Moore. paint finish is satin for easy cleaning.  
 Eies and trim: painted a dark brown (Kelly Moore - Americana), Semi-Gloss  
 Windows: Milgard Tuscan Series V400 VNL no grids  
 Handrails: Upper deck - wood, painted Americana stairs and front entry - metal/cable, painted Americana  
 Roof Drainage: Continuous gutter with down spouts draining into:  
 1) Rain water holding tanks with piping to irrigation.  
 2) Vegetative areas and away from impervious surfaces.  
 Faux Wood Siding - Porcelain 12 x 24 Tiles  
 Exterior Lighting - LED downward shining wall scones  
 Floor tile for entry and upstairs deck to be 24" x 24" x 3/4" porcelain pavers, color-chocolate Brown

\* Notes: Materials and Finishes called out on separate call sheet to be supplied with the plans.

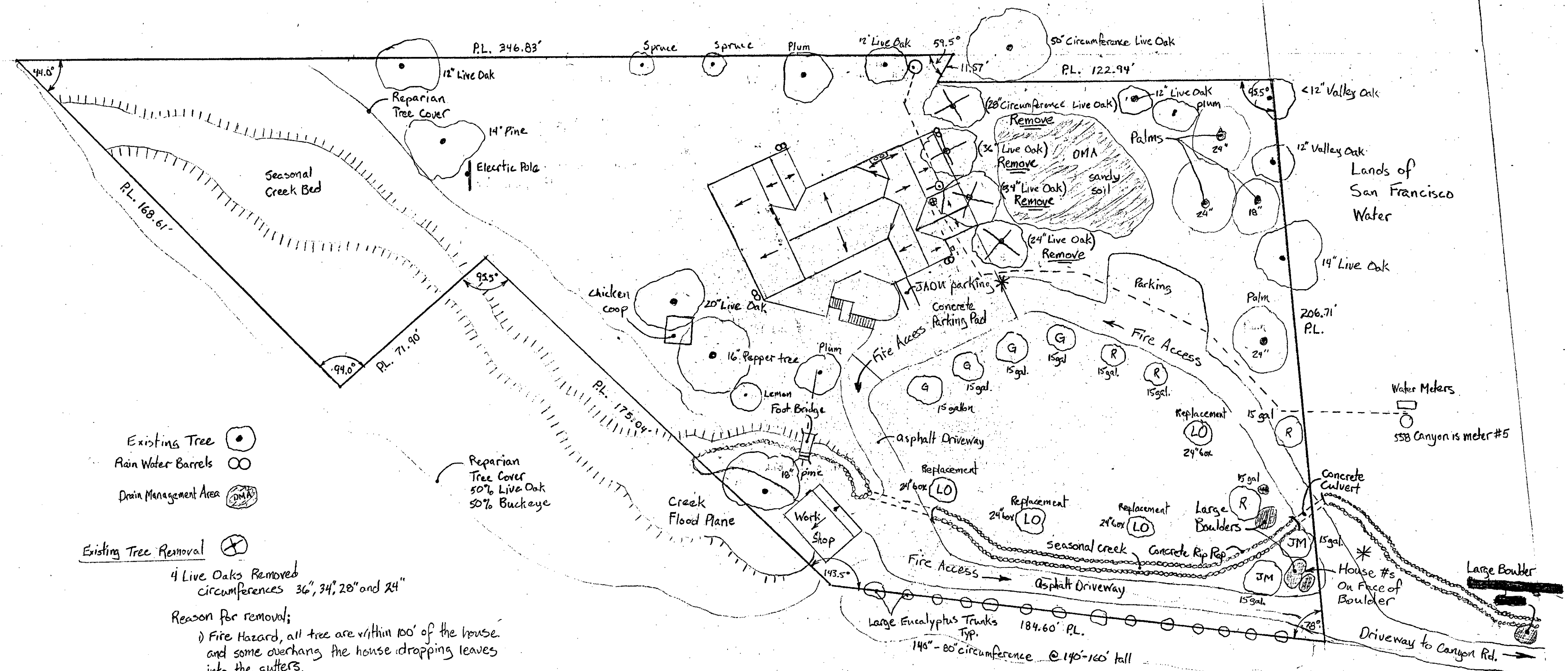


South Side Covered Patio:  
 1) Old patio was too low and prone to flooding. The concrete patio was open with no roof. The old retaining wall was made with concrete and rock rubble stuck together with mortar, no structural metal for support.  
 2) New concrete retaining walls and patio slab with poured. See details.  
 3) New wood framed structural roof built from attachment at the house to the stem walls built atop the concrete retaining wall.  
 4) The south facing shed roof was built to carry the load of a 28 panel solar photovoltaic system.



North side concrete patio and covered second story deck:  
 1) Old concrete patio had been severely cracked and pushed up by tree roots from large Oak trees planted only a couple of feet from the patio's edge. The old second story deck was severely rotted and infested with termites.  
 2) New 16" x 18" footings were dug in the same footprint as the old concrete patio. The new foundation and C" slab were poured over #4 rebar reinforcement. see details.  
 3) The new deck and roof structure were stick framed to the standards of any 2 story dwelling. The deck was divided into section A and B. Section A has a gable roof and section B has a shed roof to provide architectural interest. Covered deck A will be more like an outdoor living space.

558 Canyon Rd, Emerald Hills 94022  
 Owners: David and Ha Saunders  
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- Existing Tree (●)
- Rain Water Barrels (○)
- Drain Management Area (DMA) (⊗)
- Existing Tree Removal (⊗)

4 Live Oaks Removed  
circumferences 36", 34", 28" and 24"  
Reason for removal:  
1) Fire Hazard, all trees are within 100' of the house and some overhang the house dropping leaves into the gutters.  
2) Roots are running under the foundation cracking and pushing up the basement slab by as much as 3" in places.  
3) Branches are rubbing against the deck.  
All debris are to remain on the property.

New Tree Planting (Abr.)  
LO - Live Oak x 4. 24" Box - Replacement trees  
G - Ginkgo x 4 15 gallon  
R - Western Red Bud x 4 15 gallon  
JM - Japanese Maple x 2 15 gallon  
1) New trees to be planted in oversized holes at the beginning of winter while they are still dormant to take advantage of seasonal rainfall.  
2) Dig the hole twice as wide and twice as deep and fill with amended soil to encourage root growth.  
3) Amended soil should be a one to one mix of native soil and cured compost.  
4) Mulch should be layered around base of newly planted tree to aid in water retention.  
5) Watering will be done by hose as needed for the first year while the new tree sets roots, afterwards seasonal rainwater and water collected from the rain barrels will be used.

Irrigation  
1) None planned except from rainwater barrels to new trees and drain management areas (DMA)  
2) Since no turf is to be planted there will be no sprinkler system  
3) No drip systems for landscaping, since only drought tolerant native plants will be used, we have many deer that call our place home and they would just eat it anyway.

Water Features  
1) We had planned a koi pond by the front entry but changed our minds when confronted by the amount of water that would be needed to keep it full due to evaporation. So we decided on a rock and cactus garden instead.  
2)

\* Tree Protection  
1) Since all trees have been removed that were close to the house for fire protection there aren't any that have their dripline anywhere close to any development.

\* Fire Notes:

- Fire apparatus access road shall comply with the requirements of CFC 2022 section 503.
- It shall extend to within 150' of all portions of the house and all portions of exterior walls.
- They shall be designed and maintained to support loads of fire apparatus and shall be surfaced to provided for all-weather driving capabilities.
- The grade of the fire apparatus road shall be within limits established by fire code official based on the fire department's apparatus. Grading must comply with San Mateo county fire standard detail CFS-004
- Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building is required. This remote signage shall consist of a 6" x 18" green reflective metal sign with 4" reflective numbers and letters similar to Hy-Ko 911 or equivalent.
- Weeds, grass, vines or other growth that is capable of being ignited and endangering property, shall be cut down and removed by owner.
- Vegetation clearance requirements in wildland-urban interface areas shall be in accordance with Chapter 49.  
- Defensible space will be managed around all buildings and structures in State Responsibility Areas (SRA) as required in Public Resources Code 4291
- Gates shall be a minimum of 2 feet wider than the roadway they serve. Overhead gate structures shall have a minimum of 15.5 feet vehicle clearance. Locked gates shall be provided with a Knox Box or Knox Padlock for fire department access. Electric gates shall be provided with a Knox Gate Switch and automatically open during power failures, unless equipped with manual override capability that is approved by San Mateo County Fire Department.

REVISIONS	BY

558 Canyon Rd. Emerald Hills 94062  
David and He Saunders  
Owners: 23200 Mora Glen Dr. Los Altos Hills, CA 94022  
Contact: Calum Lucero 408-268-5002 / saquel1998@gmail.com



**SURVEYOR'S STATEMENT**

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN ON THIS MAP ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS, INC.

*Kenneth D. Wilson* 7/25/2023

KENNETH D. WILSON LS 5571 DATE

**BENCHMARK**

ELEVATIONS FOR THIS SURVEY ARE BASED ON ASSUMED ELEVATION OF 500.00' AT CONTROL POINT #1.

**GENERAL NOTES**

1. TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.
3. BUILDING CORNERS WERE LOCATED AT FINISH LOCATIONS (STUCCO, BLOCK OR WOOD AS IT EXISTS IN THE FIELD).

**UNDERGROUND UTILITY NOTE**

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAD UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

IF NO INDICATION OF SEWER LINES ARE SHOWN, THEN THERE WERE NO VISIBLE MARKINGS OR INDICATIONS OF ANY SEWER APPURTENANCES ON THE SITE. OTHER RECORDS MAY EXIST THAT PROVIDE EVIDENCE OF SEWER LATERAL LOCATIONS.

**SETBACK LINES NOTE**

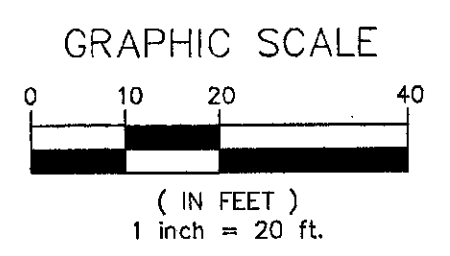
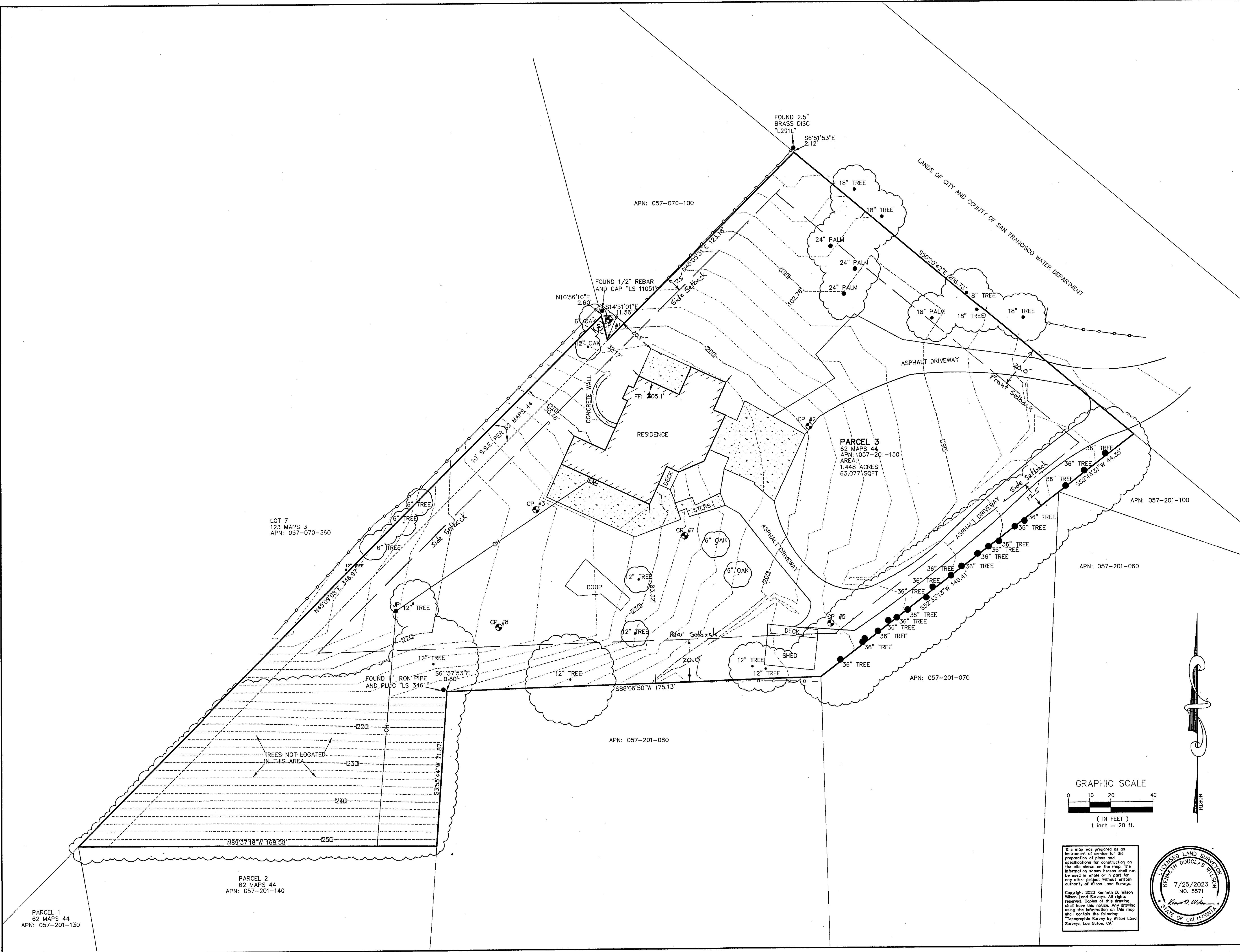
BUILDING SETBACK LINES WERE NOT SHOWN ON THIS MAP (EVEN IF THEY ARE SHOWN ON THE ORIGINAL TRACT MAP). THE DESIGNER SHOULD CHECK WITH THE APPROPRIATE AUTHORITY TO DETERMINE BUILDING SETBACK LINES.

**TITLE REPORT NOTE**

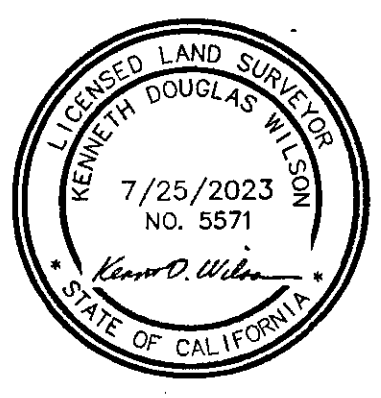
A CURRENT TITLE REPORT WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY. EASEMENTS MAY EXIST ON THIS PROPERTY WHICH ARE NOT SHOWN. A CURRENT TITLE REPORT IS REQUIRED IN ORDER TO DETERMINE THE EXISTENCE OF ANY EASEMENTS OF RECORD. THE BOUNDARY WAS DETERMINED FROM THE CURRENT VESTING DEED.

**LEGEND**

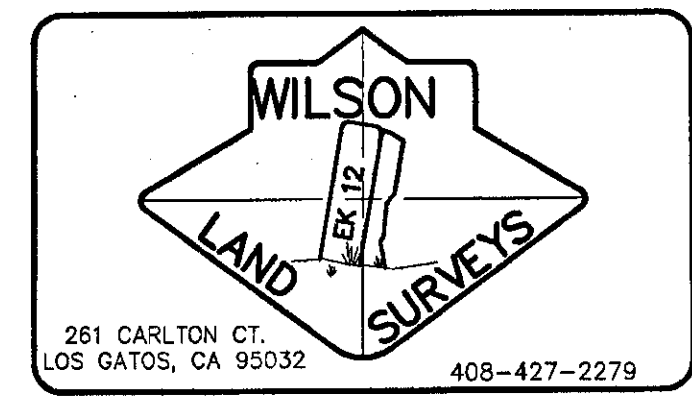
- FOUND AS NOTED
- JOINT POLE
- ⊠ ELECTRIC METER
- OH— OVERHEAD LINE
- ⊙ SEWER MANHOLE
- ⊙ CONTROL POINT
- ⊠ FENCE
- ▭ CONCRETE
- PROPERTY LINE
- S.S.E. SANITARY SEWER EASEMENT
- ▭ BUILDING
- FF FINISH FLOOR ELEVATION



This map was prepared on an instrument of service for the preparation of plans and specifications for construction on the site shown on this map. The information shown hereon shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.  
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 Topographic Survey by Wilson Land Surveys, Los Gatos, CA



Email: [kenw@wilsonlandsurveys.com](mailto:kenw@wilsonlandsurveys.com)  
[www.wilsonlandsurveys.com](http://www.wilsonlandsurveys.com)



**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 AS REQUESTED BY:  
**SCOTT LUCERO**

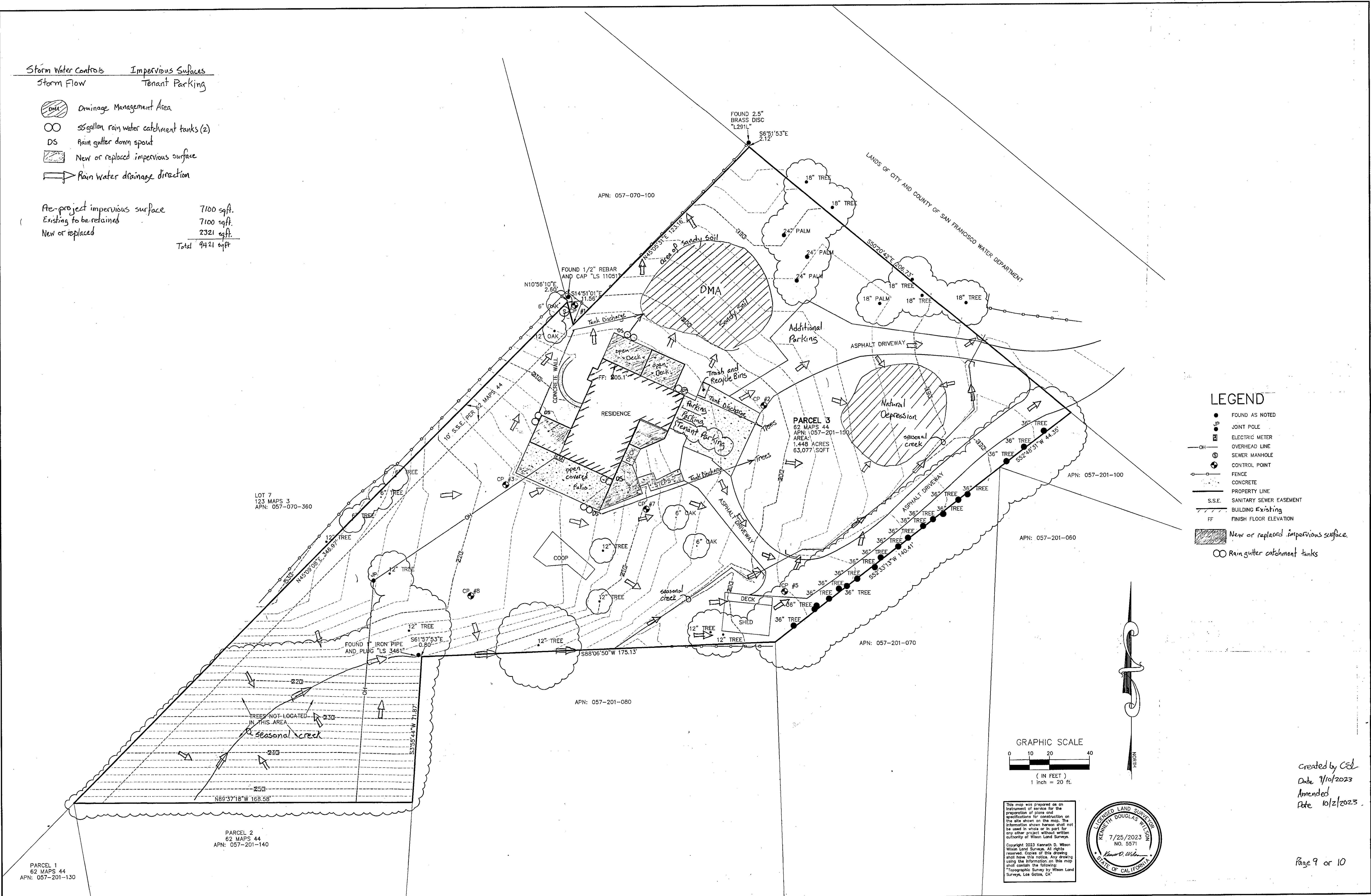
LEGAL DESCRIPTION: PARCEL 3, 62 MAPS 44, COUNTY OF SAN MATEO, STATE OF CALIFORNIA.

APN: 057-201-150	DATE: JULY 2023
FILENAME: P-104 CANYON LUCERO TOPO	SITE ADDRESS: 558 CANYON RD. EMERALD HILLS, CA 94062
DRAWN BY: CER	SCALE: 1"=20'
PROJECT: P-104	JOB NUMBER: P-104
SHEET: 1 OF 1	

Storm Water Controls      Impervious Surfaces  
 Storm Flow                      Tenant Parking

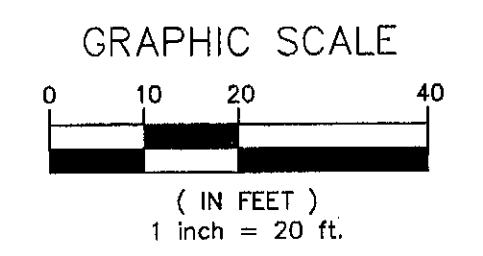
- Drainage Management Area
- 55 gallon rain water catchment tanks (2)
- Rain gutter down spout
- New or replaced impervious surface
- Rain water drainage direction

At-project impervious surface	7100 sqft.
Existing to be retained	7100 sqft.
New or replaced	2321 sqft.
<b>Total</b>	<b>9421 sqft</b>



**LEGEND**

- FOUND AS NOTED
- JOINT POLE
- ELECTRIC METER
- OVERHEAD LINE
- SEWER MANHOLE
- CONTROL POINT
- FENCE
- CONCRETE
- PROPERTY LINE
- S.S.E. SANITARY SEWER EASEMENT
- BUILDING Existing
- FF FINISH FLOOR ELEVATION
- New or replaced impervious surface
- Rain gutter catchment tanks



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created by CEd  
 Date 7/10/2023  
 Amended  
 Date 10/2/2023

Excavation and Grading Plan

- ① Excavate soil to subgrade and dig footings for Bedroom #1 Extension. Subgrade must be >18" below floor joists and footings for the foundation must be 12"x12" below subgrade. Excavated soil to be moved to ②. Move 4.5 yards
- ② Spread soil from ① evenly throughout area filling in uneven spots to a depth of ±4". Once spread cover with 6" of mulch. Move 7.8 yards
- ③ Excavate soil to lower subgrade 6" for NorthSide Concrete Patio and Covered Second story Deck. Dig 18"x16" footings below subgrade. Move excavated soil to ⑥. Move 7.8 yards
- ④ Excavate 4'x5'x16" of soil to straighten retaining wall and deepen existing footings for South side Covered Concrete Patio. Move excavated soil to ⑥. Move 8.9 yards
- ⑤ Excavate soil for 2'x12" footings to follow existing grade for Wood Framed Entry Platform. Mail soil to ⑥. Move 1.1 yards
- ⑥ Existing raised pad has too much slope, use soil to bring pad level equal to entry point from driveway.
- ⑦ No soil was moved for Concrete Entry Platform and Stairs. The forms are to follow grade.

Total Moved 21.3 yards  
 Total Imported 0 yards  
 Total Exported 0 yards

② Add soil over a large area filling in any irregularities at a depth of ±4".

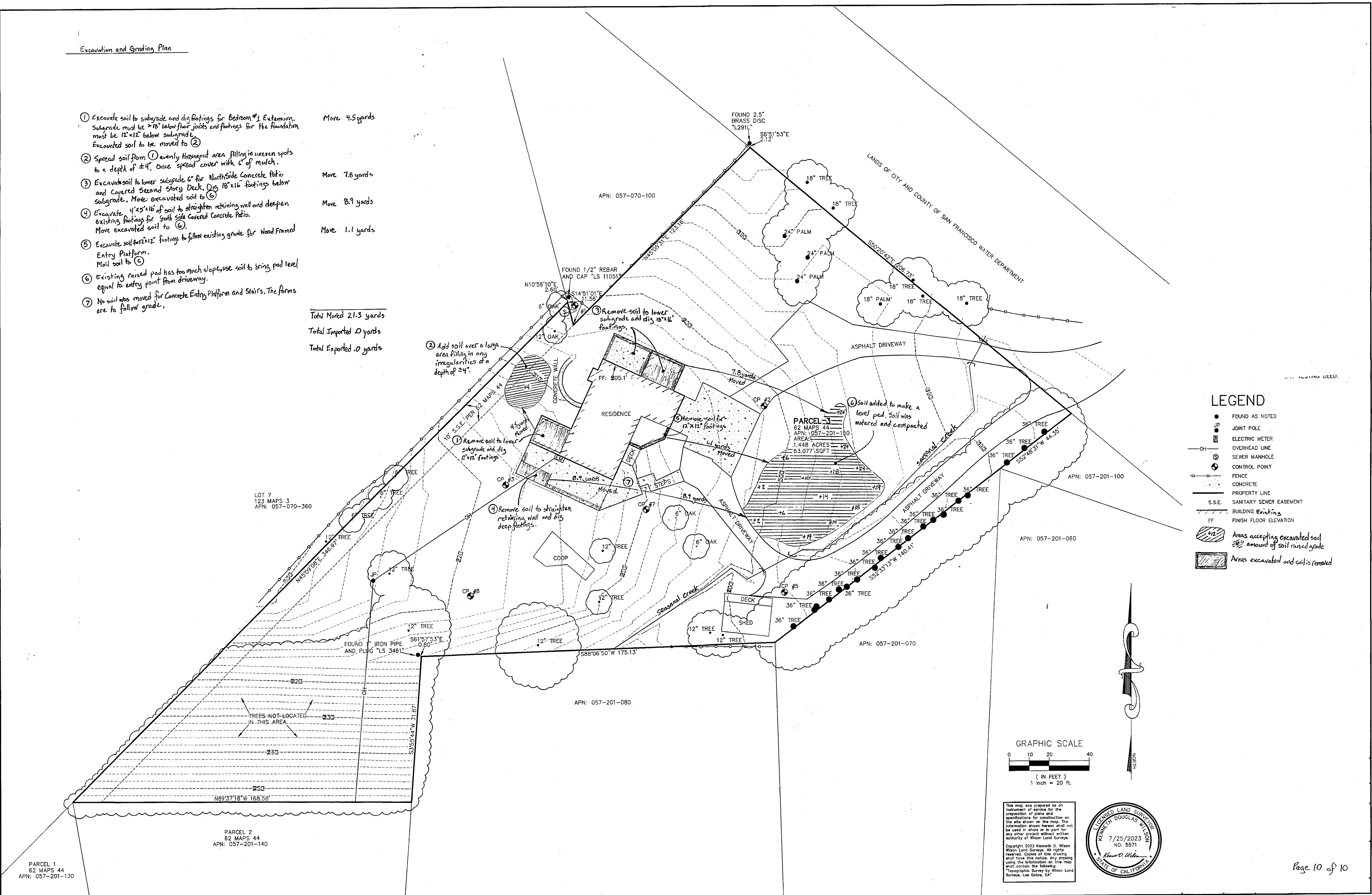
① Remove soil to lower subgrade and dig 2'x12" footings

④ Remove soil to straighten retaining wall and dig deep footings.

③ Remove soil to lower subgrade and dig 18"x16" footings.

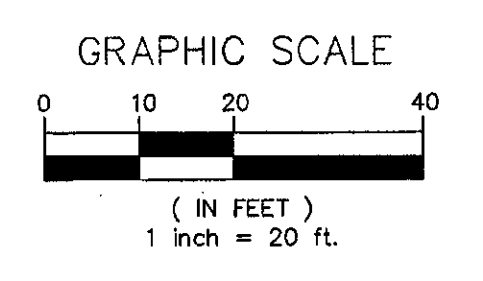
⑤ Remove soil for 12"x12" footings

⑥ Soil added to make a level pad, soil was watered and compacted



LEGEND

- FOUND AS NOTED
- JOINT POLE
- ⊕ ELECTRIC METER
- OH — OVERHEAD LINE
- ⊙ SEWER MANHOLE
- ⊙ CONTROL POINT
- FENCE
- CONCRETE
- PROPERTY LINE
- S.S.E. — SANITARY SEWER EASEMENT
- BUILDING EXISTING
- FF FINISH FLOOR ELEVATION
- ▨ Areas accepting excavated soil
- ▨ amount of soil raised grade
- ▨ Areas excavated and soil is removed



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