

NORTH FAIR OAKS COMMUNITY PLAN REVIEW



North Fair Oaks
Community Plan Review
Community Council Meeting
March 21, 2024



PROJECT TEAM



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AGENDA

- Project Recap
- Outreach Recap
- Technical Review
 - Housing (Chapter 6)
 - Economic Development (Chapter 8)
 - Land Use (Chapter 2)



WHAT IS THE NORTH FAIR OAKS COMMUNITY PLAN REVIEW PROJECT?



SUMMARY OF PROJECT

Good City will develop a document that will:



Evaluate the progress made towards implementing the North Fair Oaks Community Plan.

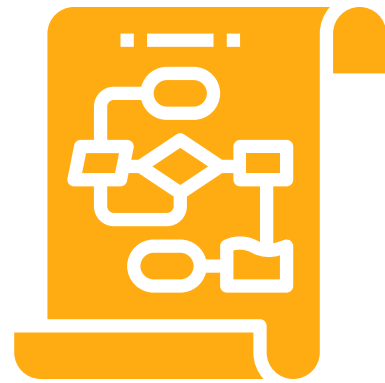


Recommend implementation actions that address the highest priorities of North Fair Oaks.

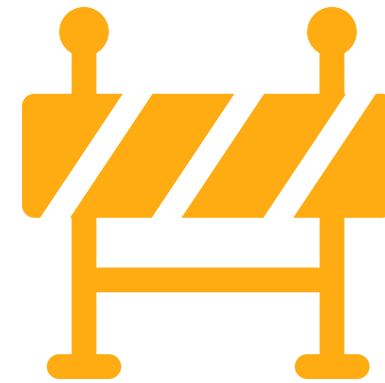


Include performance measurements and dashboards to **gauge future progress.**

THE FINAL DOCUMENT MAY BE USED...



As a planning tool for division staff, stakeholders involved in plan implementation and decision makers to allocate resources.



To help new staff understand what has already been completed and what **challenges and roadblocks** have affected past plan implementation.



To help staff and decision makers understand **current community priorities** and help align short, medium and long term priorities with the community plan.

THE FINAL DOCUMENT WILL INCLUDE

- Summaries of the **current status** of each policy (i.e. Completed, Initiated & Partially Completed, Ongoing, Not Initiated).
- A table with **detailed descriptions** of the current status of each policy (i.e. how the policy was completed or why it was not completed).
- Descriptions of **priority policies**, including community input and recommendations for possible next steps.
- Potential **performance measures** to include in a performance dashboard.



OUTREACH OBJECTIVES & APPROACH

Create community awareness of the North Fair Oaks Community Plan.

Discuss the plan with residents, including its purpose, initiatives, and how it is used by the County of San Mateo.

Collect community input to learn about North Fair Oaks priorities today.

Acknowledge that there has been significant public engagement in NFO & share outcomes with the community.

Multilingual with a focus on Spanish speakers.

Combine outreach events where appropriate.

Collect a minimum of 200 surveys.

Meet people where they already are.



INCORPORATING COMMUNITY INPUT

Community input will:



Guide the County when it is **evaluating** which priorities to focus on.



Help the County understand how to be more successful when **implementing plan activities** in the future.



Help the County **develop recommendations** for any changes to the plan's priorities.

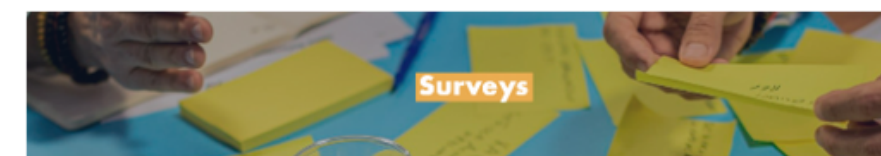
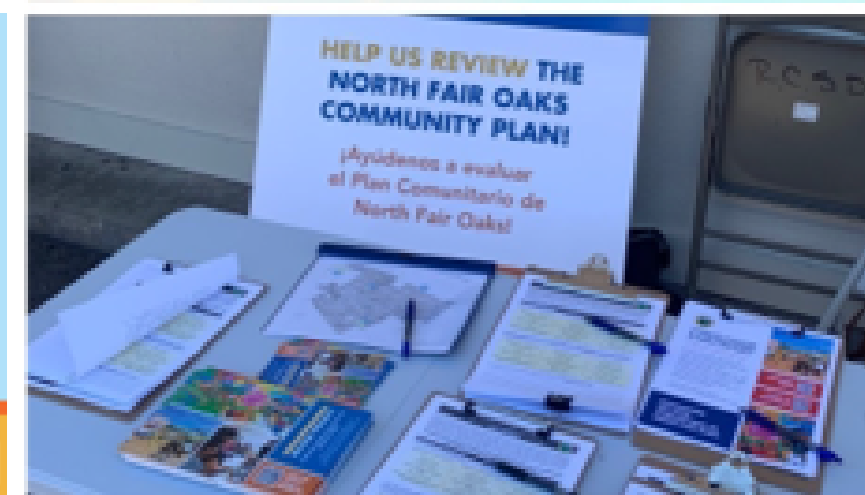
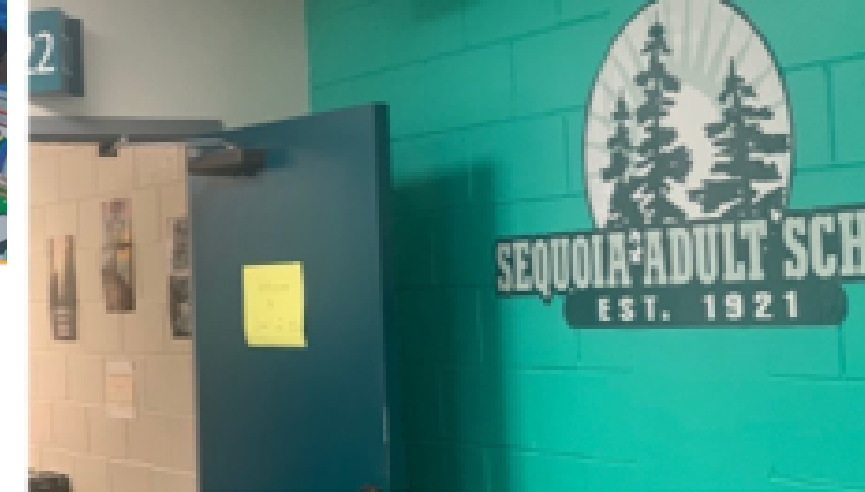
OUTREACH STRATEGY

- 348 community and staff surveys
- 36 community leaders and organizations
- 12 pop-up events and meetings
- 5,000+ post cards
- 350 unique website visitors
- Online engagement and e-blasts
- Two videos
- Everything bilingual



¡Ayúdenos a evaluar el Plan Comunitario de North Fair Oaks!

- Evaluaremos cómo hemos realizado las acciones del Plan Comunitario de North Fair Oaks.
- Ayúdanos a priorizar proyectos y programas que logran los objetivos actuales de North Fair Oaks.
- Se desarrollarán formas de medir cómo hemos realizado las acciones y programas del plan.



English Survey

It is time for us to update our priorities between 2016-2017. As part of our community and neighborhood plan we originally incorporated into the North Fair Oaks Community Plan. As we make progress towards implementing the plan, we are making additional community feedback. The community input collected will help us plan for the Plan's necessary work.

Take the Survey

Spanish Survey

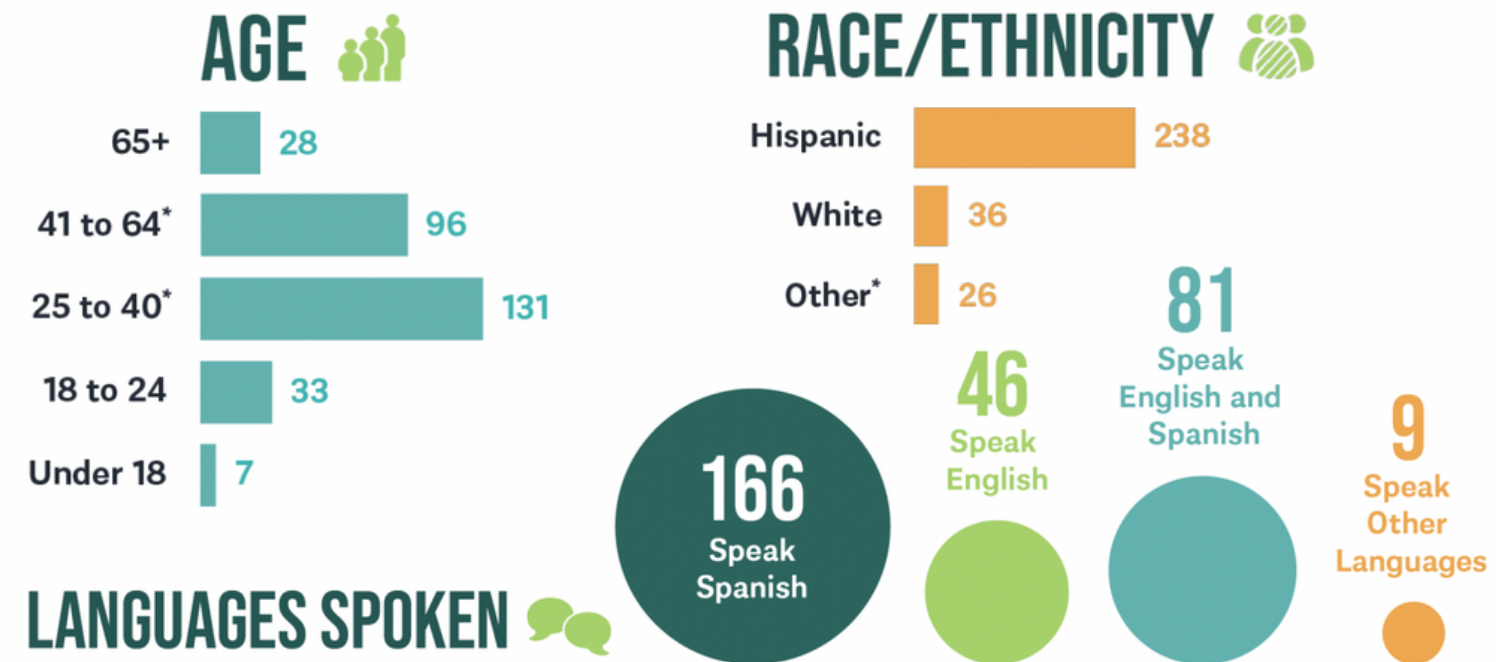
Ha llegado el momento de actualizar nuestras prioridades. Durante el desarrollo del Plan Comunitario de North Fair Oaks entre 2006-2017, se incorporaron las prioridades de la comunidad de manera autónoma y se incorporó al Plan. A medida que vamos avanzando en el progreso hacia la implementación del Plan, hacemos comentarios adicionales de la comunidad. Los comentarios de la comunidad nos ayudarán a planificar el trabajo necesario del Plan.



OUTREACH RESULTS

See handout presented September 2023.

SURVEY RESPONDENTS

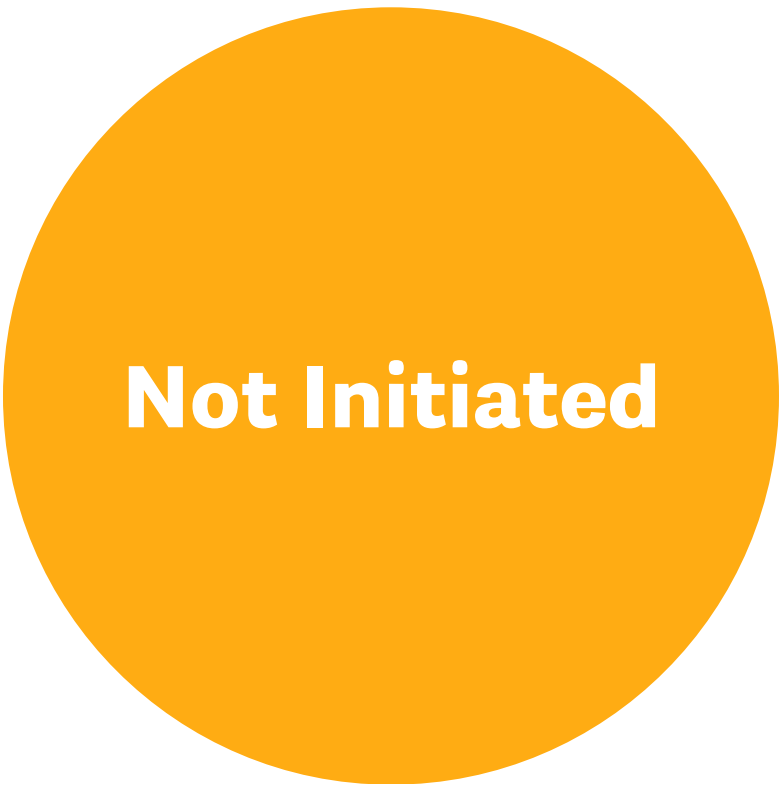
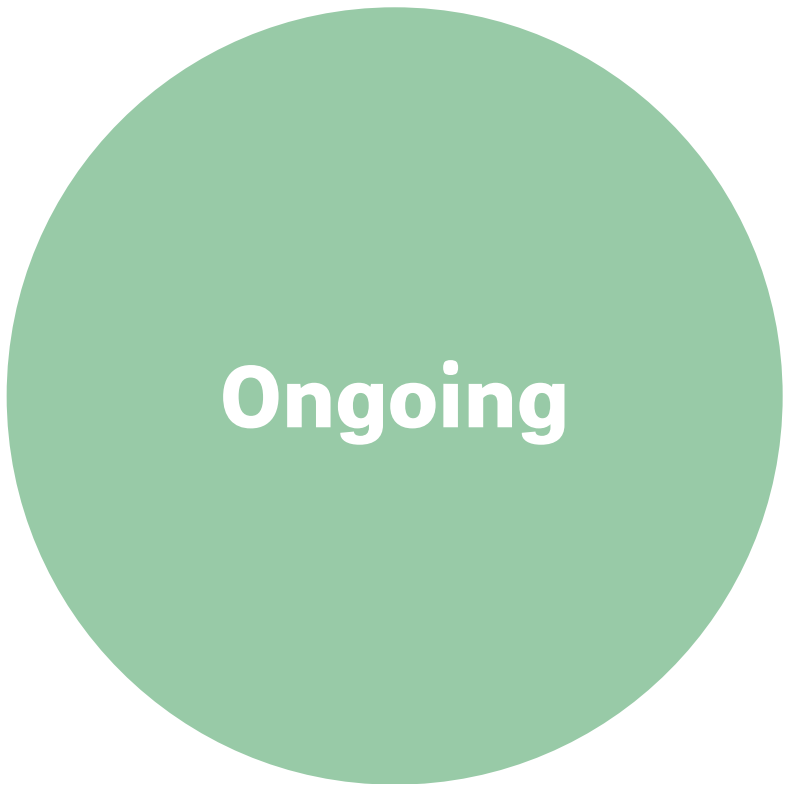


TOP PRIORITIES

Affordable housing	Public health and health services	Schools and education
Quality of life (parks, gardens, libraries, etc.)	Protect renters	Police, fire & safety

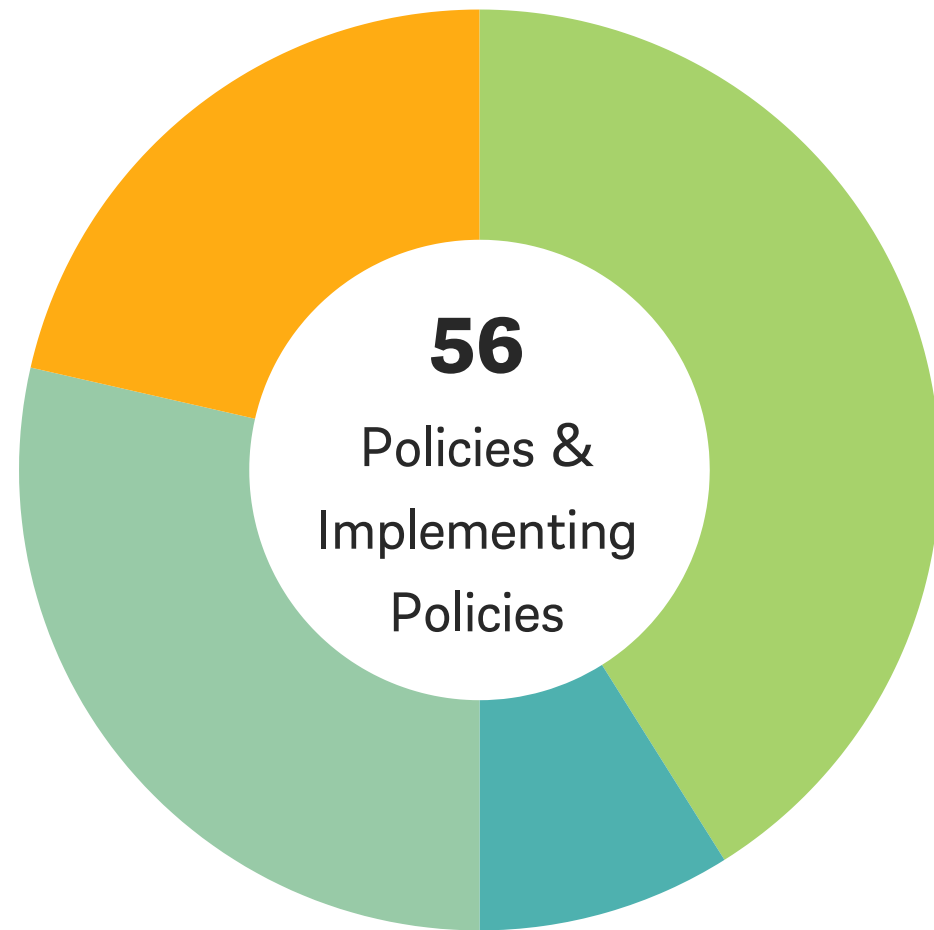


TECHNICAL REVIEW OVERVIEW

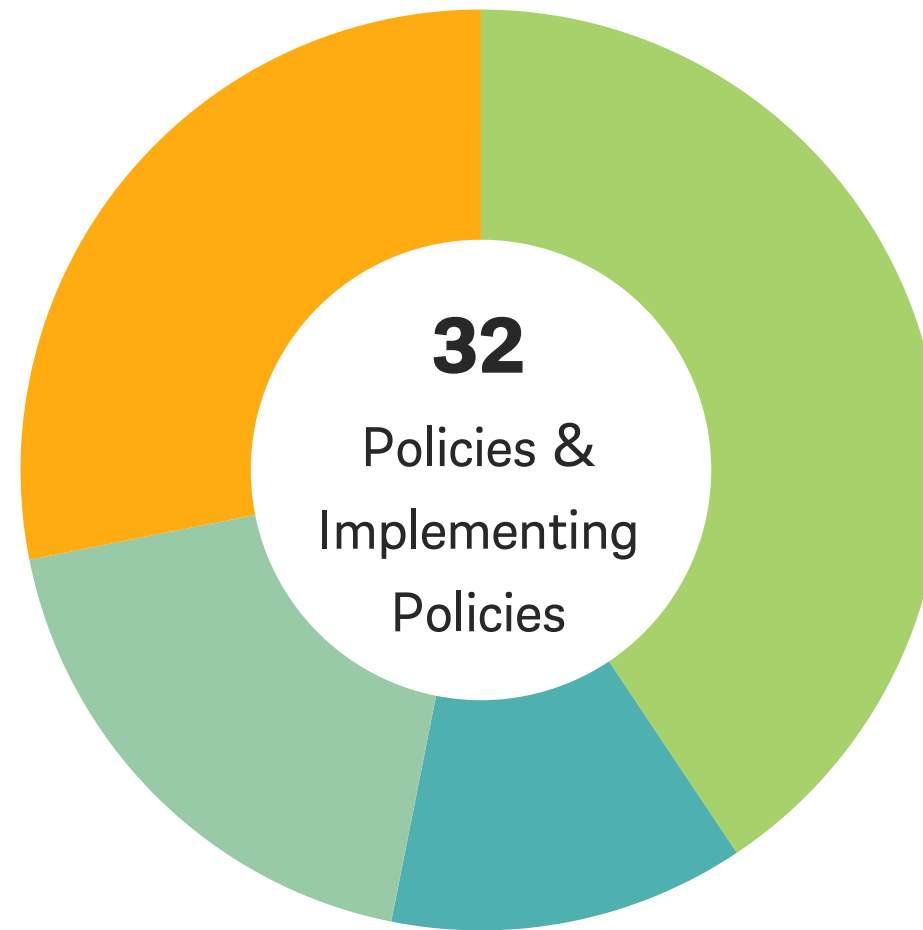


TECHNICAL REVIEW OVERVIEW

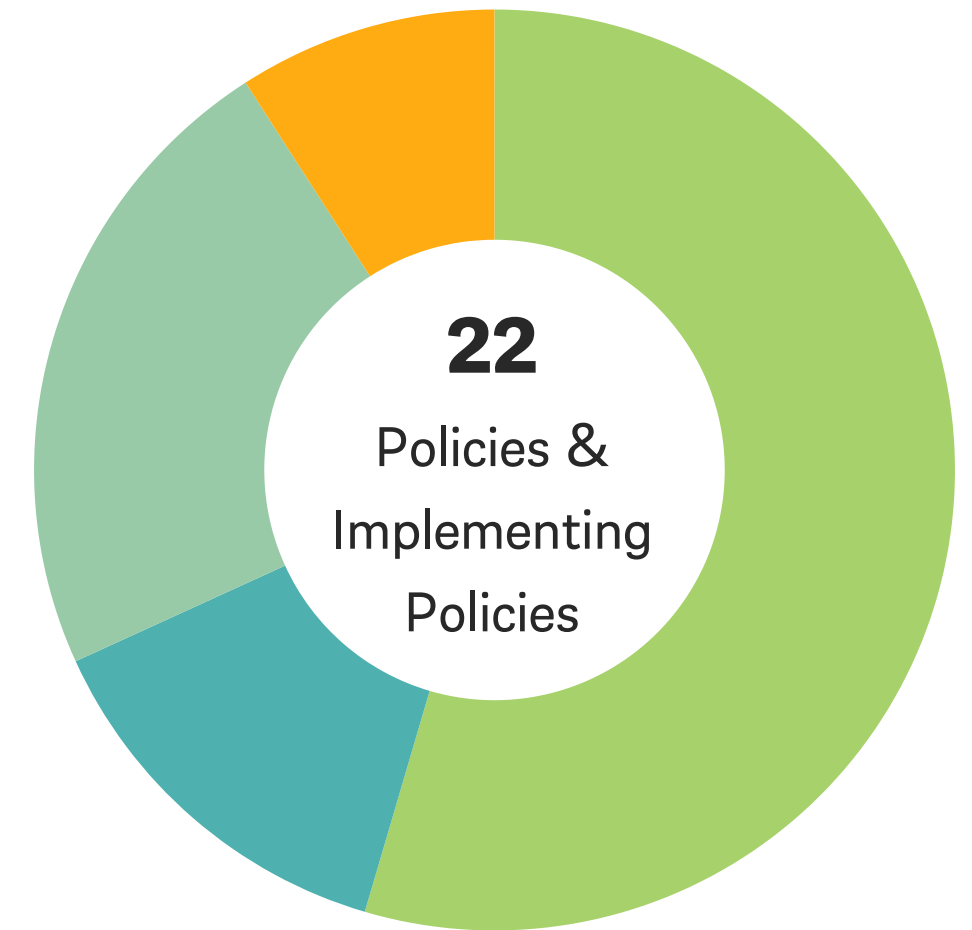
Housing



Economic Development



Land Use



HOUSING TECHNICAL REVIEW

Full Report Example

6A.1: In provision of funding and other assistance, continue to give high priority to affordable and supportive housing that serves special needs populations.

STATUS: ONGOING

Fee Waivers

The Planning and Building Department continues to waive fees for housing that is primarily affordable to extremely low-, very low-, and low-income households, including seniors and persons with disabilities. The waiver of fees for affordable housing is a formal policy.

Housing Element Program 20.3

Waiver of fees for special needs housing is currently implemented by the Planning Department on a discretionary basis. The County intends to pursue formal adoption of waivers for special needs housing as an implementation activity included in the 2023-2031 Housing Element.

Direct Assistance

Since 2015, DOH has used available state, federal, and local funds to support over 600 units of supportive housing for the following populations: MHSA-eligible, veterans, seniors, frail elderly, homeless or at risk of homelessness, individuals with developmental and/or intellectual disabilities, and former foster youth. In addition, DOH has provided nearly \$5 million in local funds to support 14 group homes for sober living that serve 133 individuals.



HOUSING TECHNICAL REVIEW

Completed Examples

1D.4: Establish allowed or required densities of housing in designated areas that ensure that housing is built to sufficient densities to significantly increase overall housing supply, provide for a variety of housing options, and provide inclusionary affordable housing.

7A.2: Reduce parking requirements for all types of development that demonstrate sufficient access to public transit.



HOUSING TECHNICAL REVIEW

Initiated & Partially Completed Examples

1D.1: Continue to implement the County's Inclusionary Housing Ordinance and continue to refine its implementation to address changing legal and market conditions.

6A.2: Explore allowing various kinds of special needs housing, including transitional housing, "by right" on sites with appropriate densities in North Fair Oaks.



HOUSING TECHNICAL REVIEW

Ongoing Examples

6A.1: In provision of funding and other assistance, continue to give high priority to affordable and supportive housing that serves special needs populations.

8A.3: Continue to provide financial and other assistance to homeless service providers in North Fair Oaks.



HOUSING TECHNICAL REVIEW

Not Initiated Examples

3A.3: Pursue funding to: conduct a focused inventory of apartment buildings in North Fair Oaks that are at seismic risk and create a strategy to assist at-risk structures with seismic upgrades.

6C.1: Promote and/or require universal design (design that is accessible to a wide range of users with different levels of ability) standards in all new construction projects in North Fair Oaks.



ECONOMIC DEVELOPMENT TECHNICAL REVIEW

Completed Examples

1A.1: Collaborate with employment assistance organizations, local employers, and educational institutions to create a coordinated workforce training program targeted to North Fair Oaks residents.

3A.3: Support creation of new childcare locations in North Fair Oaks, including childcare space as part of new large-scale developments, and smaller-scale childcare in appropriate locations throughout North Fair Oaks, in order to support local workers in need of easily accessible childcare.



ECONOMIC DEVELOPMENT TECHNICAL REVIEW

Initiated & Partially Completed Examples

2A.3: Conduct a feasibility study regarding the creation of a commercial corridor revitalization program for the primary commercial areas along Middlefield Road and 5th Avenue. Such a program would provide a comprehensive suite of technical assistance services in marketing, merchandising, and tenant improvement funding for local retail and professional service firms.



ECONOMIC DEVELOPMENT TECHNICAL REVIEW

Ongoing Examples

1A.3: Prioritize workforce training for local youth, including continuation and expansion of existing youth jobs-training programs. Identify opportunities to create and expand space to house youth job training and workforce development programs and other youth job assistance programs. Ensure that new development does not displace, or provides for replacement or relocation of, space for existing youth workforce training programs.



ECONOMIC DEVELOPMENT TECHNICAL REVIEW

Completed Examples

4C.3: Identify remediation needs for potential opportunity sites that may require clean-up, as described in Chapter 5: Health and Wellness, and identify responsible parties and potential sources for remediation assistance.

5B.1: Actively recruit a new full-service pharmacy to capture retail sales that are currently leaking from North Fair Oaks in this category. Identify one or more potential sites for a new pharmacy or for a mixed-use development with ground floor pharmacy use. Potentially partner with an experienced commercial brokerage or nonprofit economic development agency to develop a targeted outreach effort for a new pharmacy.



LAND USE TECHNICAL REVIEW

Completed Examples

Policy 1A: Allow and promote appropriately scaled mixed-use development along Middlefield Road, El Camino Real, and along segments of Edison Way and 5th Avenue, to encourage a range of commercial, residential, institutional, and industrial (by conditional use permit) development and community facilities.



LAND USE TECHNICAL REVIEW

Initiated & Partially Completed Examples

Policy 4B: As part of Plan implementation, study appropriate timing and interrelation of 1) increased development densities, and 2) transit improvements required to support higher intensity development, in the high density mixed use district, and explore appropriate methods, including specific zoning regulations and development phasing contingent on specific transit improvements, to ensure that higher density development is adequately supported by approved and funded transit, and that development densities are appropriately supportive of approved and funded public transit.



LAND USE TECHNICAL REVIEW

Ongoing Examples

Policy 1D: Ensure that the design of the public and private realm land uses along residential and commercial streets promotes safe, convenient, and well-integrated walking, bicycling, and public transit use.

Policy 1F: Identify key parcels with development potential, and potential barriers to such development. Address these barriers through creative solutions (rezoning, parcel consolidation, and others) to attract private developers and encourage higher intensity infill development.



HOUSING TECHNICAL REVIEW

Not Initiated Examples

Policy 2F: Explore opportunities to strengthen neighborhood-scaled and neighborhood located commercial and retail locations, such as the existing commercially zoned area at 13th Avenue and Fair Oaks, through modifications to zoning designations, expansion of commercial areas, and other modifications to improve compatibility and appropriateness of local uses and provide accessible local serving retail throughout North Fair Oaks.



NEXT STEPS AND MILESTONES



Complete technical review & draft current policies and recommendations:

- Infrastructure (in review)
- Parking & Circulation (being drafted)
- Health & Wellness (being drafted)



Performance metrics and dashboard development



Final report and project completion



Presentations to share information & tips on how to use this tool

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