

ANTOINE MEO

Custom
Residential
Design

M

11925 MAIN ST, UNIT 610
Sunol, CA 94586
925-963-8646
tony@antoinemedesign.com

Antoine MEO

TJ SINGH
RESIDENCE

MIRAMAR @ HERMOSA

HALF MOON BAY

CALIFORNIA

SITE PLAN

PRELIMINARY
NOT FOR CONSTRUCTION
NOT FOR BID

APN ###
TRACT # ###
LOT # ###
PLN # ###
BLDG # ###

SUB	DATE	SUBMITTAL
1.	1/28/2024	PLN 1

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REV	DATE	REVISION
1.	##/##/####	XXX

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CONTRACT DATE	10/4/2021
ISSUE DATE	1/28/2024
SCALE	1" = 10'
DRAWN	AM
JOB #	2021-667
SHEET	

A1.1

BASIS OF BEARINGS:

THE BEARING S65°30'00"W OF THE SOUTHERLY LINE OF HERMOSA AVE, AS SHOWN ON VOLUME 44 OF L.L.S. MAPS AT PAGE 75 FILED IN SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

EASEMENT NOTES:

- 1) NO EASEMENTS ARE SHOWN ON THE THE RECORD SUBDIVISION MAP OTHER THAN SHOWN ON THIS MAP, IF ANY.
- 2) ALL IMPROVEMENTS WITHIN RECORDED JUDGEMENT DOC. #2020-057417 ARE NOT SHOWN HEREON.
- 3) ALL EASEMENTS AFFECTING THE LANDS OF TEG PARTNERS, LLC PER (DOC #2012-009043) ARE NOT SHOWN HEREON.

BASIS OF ELEVATIONS:

ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.
TBM: FND BRASS DISK "BGT" IN CONCRETE CURB AS SHOWN.
ELEVATION: 264.73'

LEGEND:

△	FOUND MAG NAIL IN ASPHALT
CI	R=37.5' L=13.82'
AC	ASPHALTIC CONCRETE
BRD	BOARD - WOOD
BW	BACK OF WALK
C&G	CURB & GUTTER [CONC ROLL TYPE]
CB	CATCH BASIN
CHLK	CHAIN LINK (FENCE)
CIP	CAST IRON PIPE
CLR	CENTERLINE A/C ROAD
OMP	CORRUGATED METAL PIPE
CYP	CYPRESS TREE
CONC	CONCRETE
DI	DROP INLET
DW	DRIVEWAY
EUC	EUCALYPTUS TREE
FL	FLOW LINE
FNC	FENCE
GA	GUY ANCHOR
GM	GAS METER
GRD	GROUND
H&MM	HUB & MAN-MAG
HCR	HANDICAP RAMP
INV	INVERT
IP	IRON PIPE
JP	JOINT POLE
LAT	LATERAL
LG	LIP OF GUTTER
MB	MAILBOX
M&S	MAG-NAIL & SHINER
M&W	MAG-NAIL & WASHER
MS&W	MAG-SPIKE & WHISKERS
P.U.E.	PUBLIC UTILITIES EASEMENT
R/W	RIGHT OF WAY
RCP	REINFORCED CONCRETE PIPE
RET. WALL	RETAINING WALL
SCR+	SCRIBED CROSS
SDMH	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER CLEAN-OUT
SSMH	SANITARY SEWER MANHOLE
T/W	TOP OF WALL
TBC	TOP BACK OF CURB
VCP	VITRIFIED CLAY PIPE
WD	WOOD
WM	WATER METER BOX
WV	WATER VALVE
-CTV-	CABLE TELEVISION LINE
-E-	ELECTRICAL LINE
-G-	GAS LINE
-O/H-	OVERHEAD UTILITY LINE
-SD-	STORM DRAIN LINE
-SS-	SANITARY SEWER LINE
-T-	TELEPHONE LINE
-U/G-	UNDERGROUND UTILITY LINE
-W-	WATER LINE

BOUNDARY AND TOPOGRAPHIC SURVEY

LANDS OF TEG PARTNERS, LLC
DOCUMENT # 2012-009043 O.R.
CR #3048

LLA PARCEL 1 DOC. #2007-127571

44 L.L.S. MAPS 75

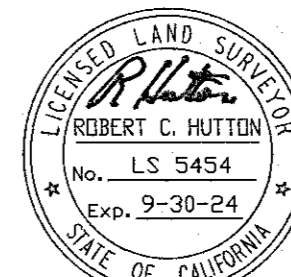
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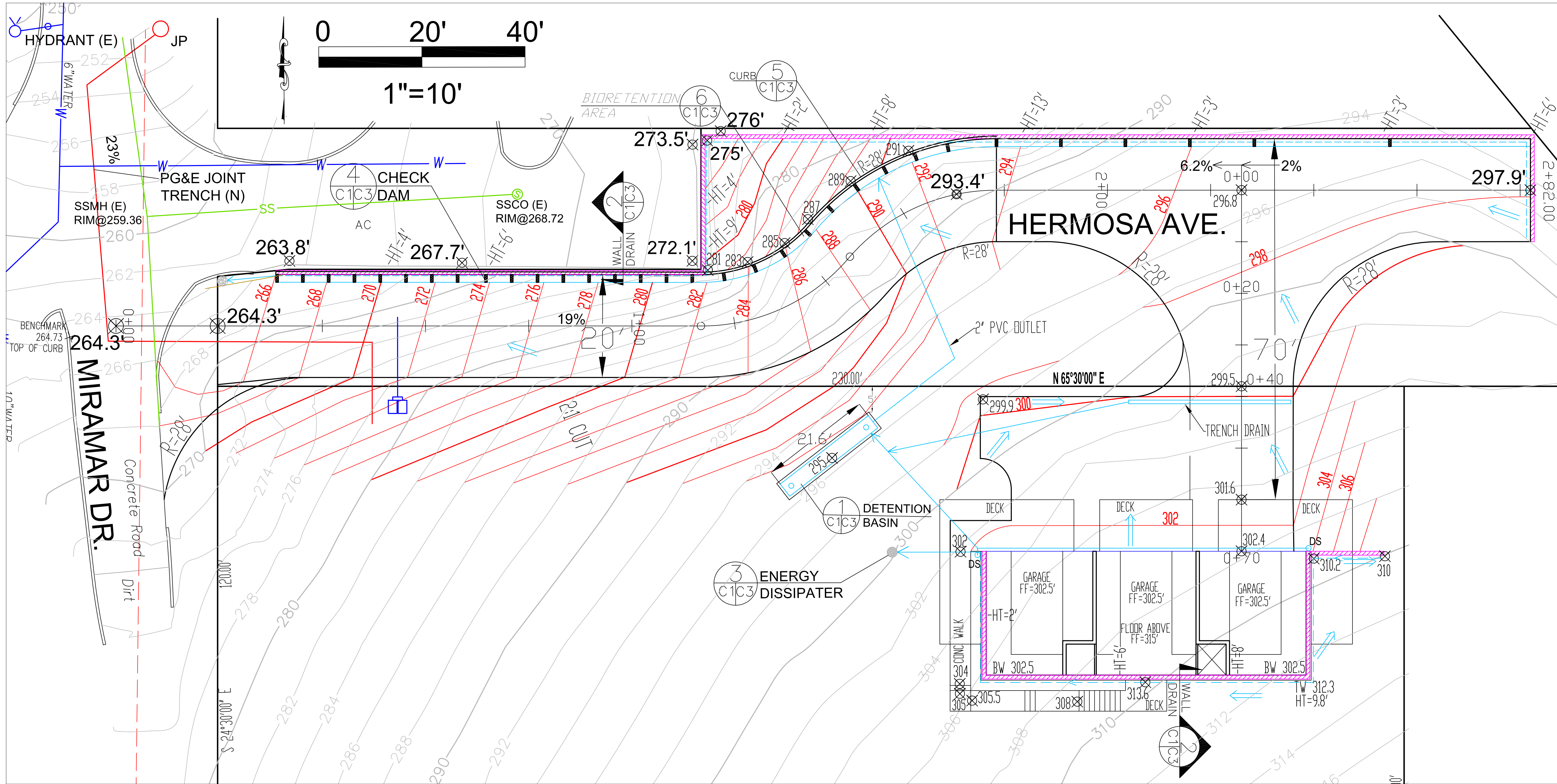
MIRAMAR @ HERMOSA

HALF MOON BAY (UNINCORPORATED) COUNTY OF SAN MATEO, CALIFORNIA
SCALE: 1" = 20' JANUARY, 2024

ROBERT C. HUTTON, PLS
PROFESSIONAL LAND SURVEYING

322 VERNON ST.
SAN FRANCISCO, CA 94132
OFFICE: (970) 274-0694

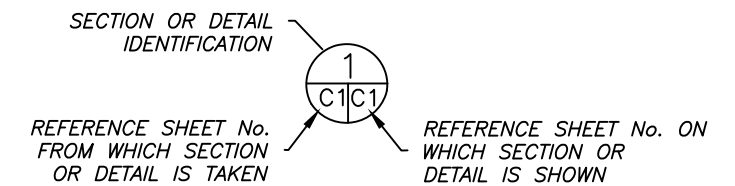




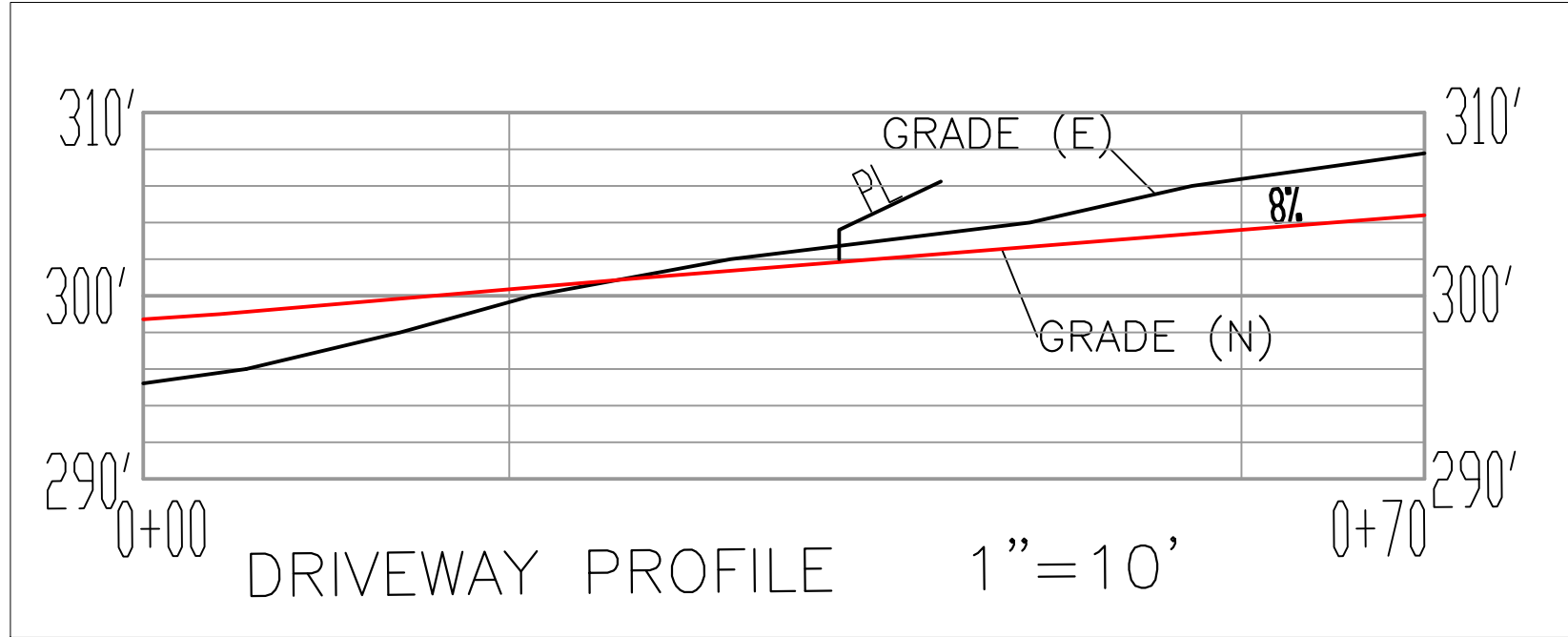
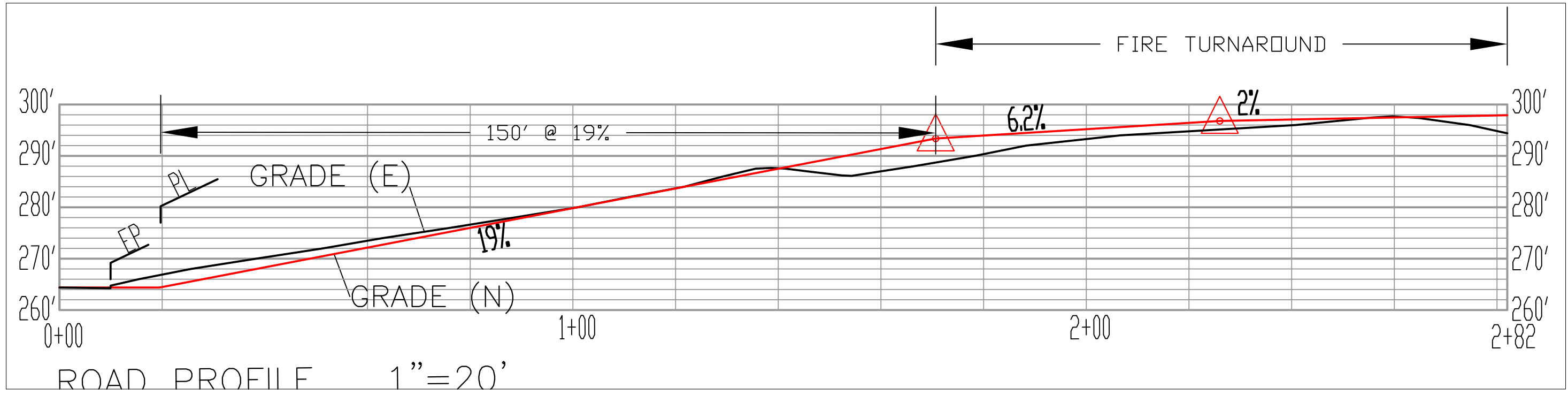
GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: TRIPANDER SINGH, OWNER
2. TOPOGRAPHY BY OTHERS
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM ASSUMED.
5. THE GEOTECHNICAL REPORT:
6. **GEOTECHNICAL STUDY:** PENDING. SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC. ASSOCIATES, WITH THE CONTACT NUMBER (650)-728-3590. THE CONTRACTOR MUST SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUG-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS CALL SIGMA PRIME AT 650-728-3590 TO SCHEDULE DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

SECTION AND DETAIL CONVENTION



Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
FAX: 728-3595



- LEGEND**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - PROPOSED SPOT ELEVATION
 - PROPOSED RETAINING WALL
 - ENERGY DISSIPATER - PER DETAIL 3
 - DOWNSPOUT
 - 4" MIN SOLID DRAIN PIPE
 - 4" MIN PERFORATED DRAIN PIPE

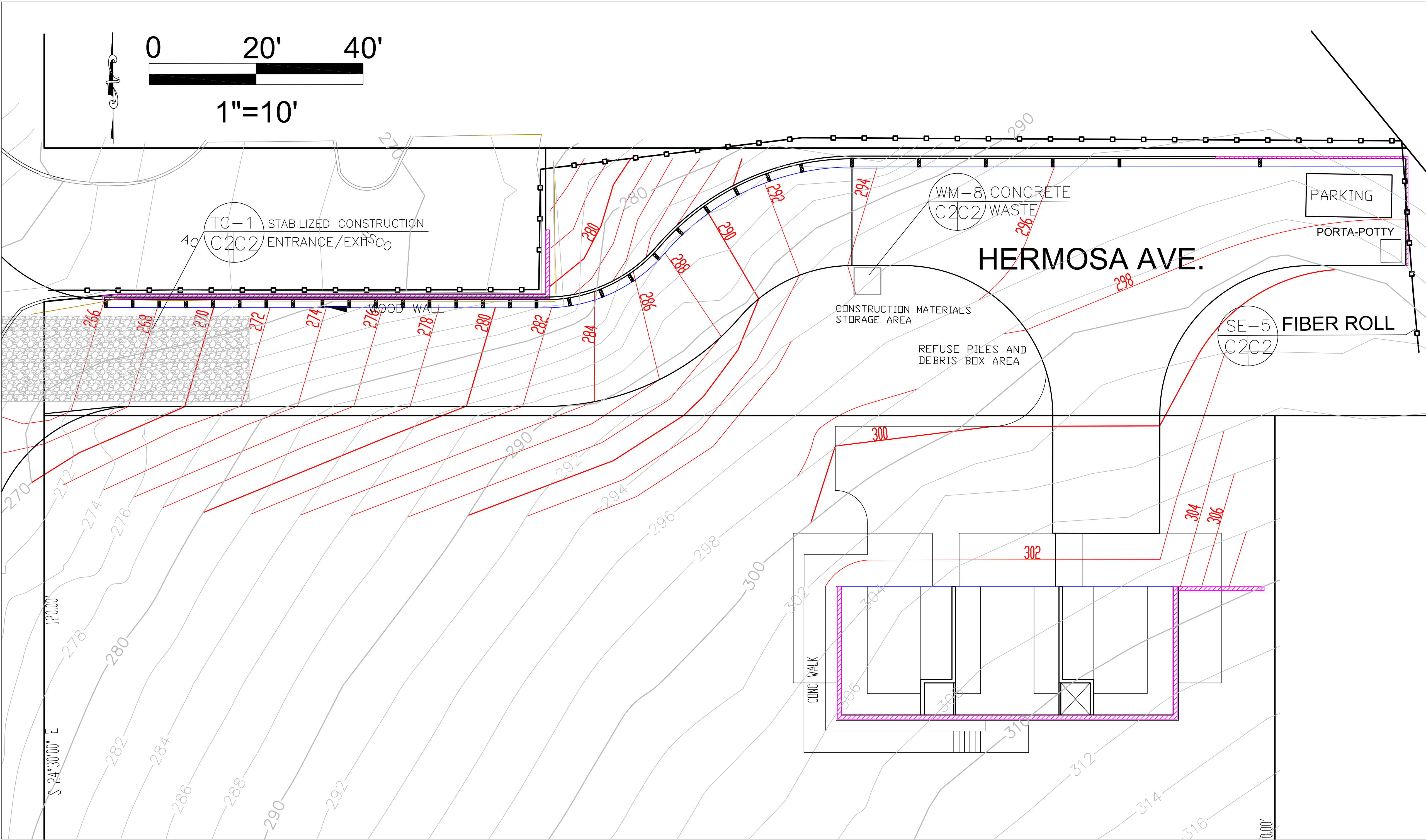
DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, BIORETENTION AREA, DETENTION BASIN, AND ENERGY DISSIPATERS TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

- CUT VOLUME : 1300 CY
FILL VOLUME: 350 CY
- VOLUMES ABOVE ARE APPROXIMATE.
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

DATE: 1-22-24	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE:	REV. DATE:	REV. DATE:
GRADING PLAN					
SINGH PROPERTY MIRAMAR, CA APN 048-076-120					
SHEET C-1					



GENERAL EROSION AND SEDIMENT CONTROL NOTES

- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site


EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

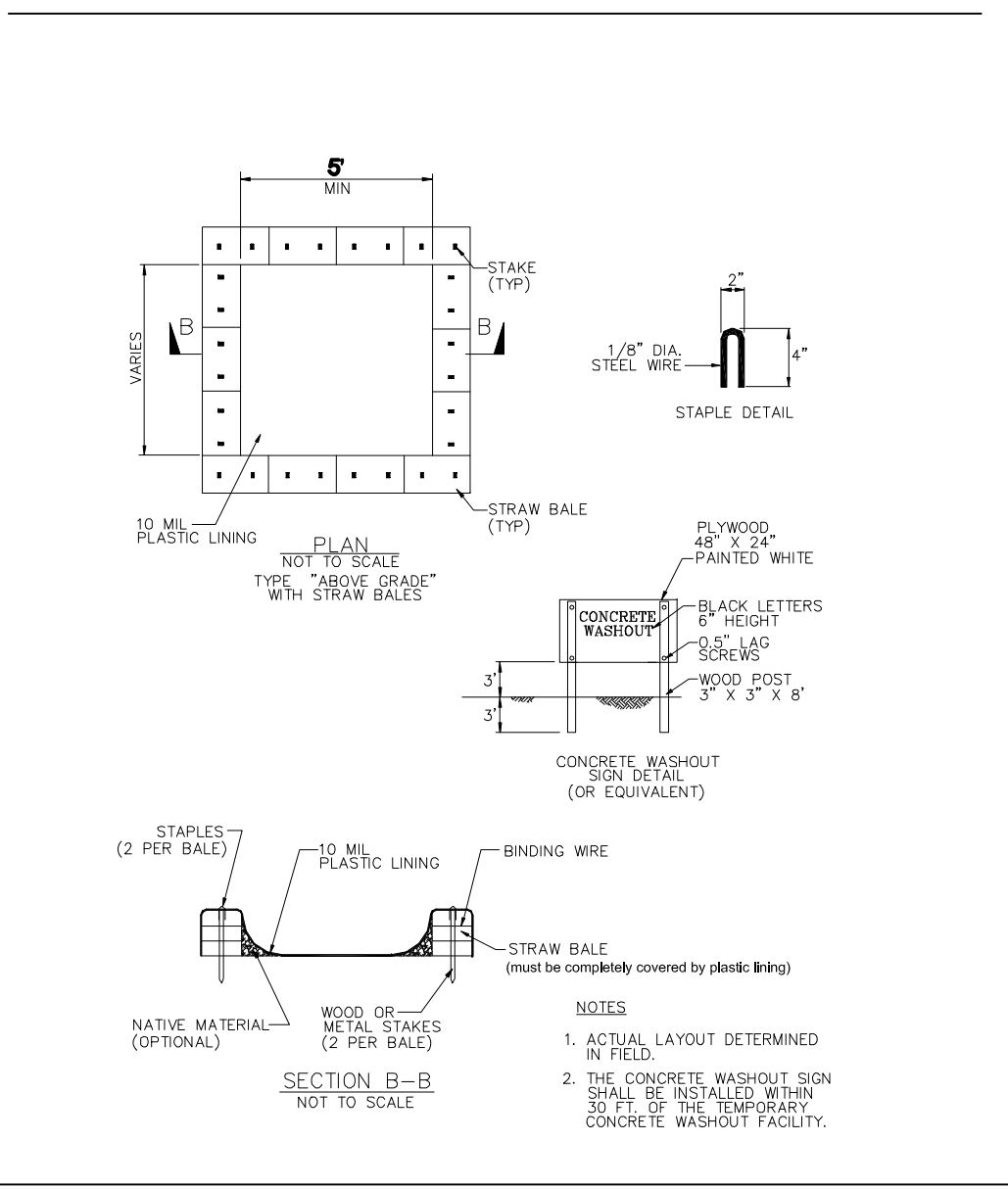
NAME: TRIPANDER SINGH
TITLE/QUALIFICATION: OWNER/BUILDER
PHONE: 650-281-8747
PHONE:
E-MAIL: tripchowdhry@yahoo.com

- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st AND APRIL 30th IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.



C-2	SHEET	EROSION AND SEDIMENTARY CONTROL PLAN, TREE PROTECTION PLAN	DATE: 1-22-24	 Sigma Prime Geosciences, Inc.
			DRAWN BY: CMK	
			CHECKED BY: AZG	
			REV. DATE:	
			REV. DATE:	
SINGH PROPERTY MIRAMAR, CA APN 048-076-120	SINGH PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593	REV. DATE:		
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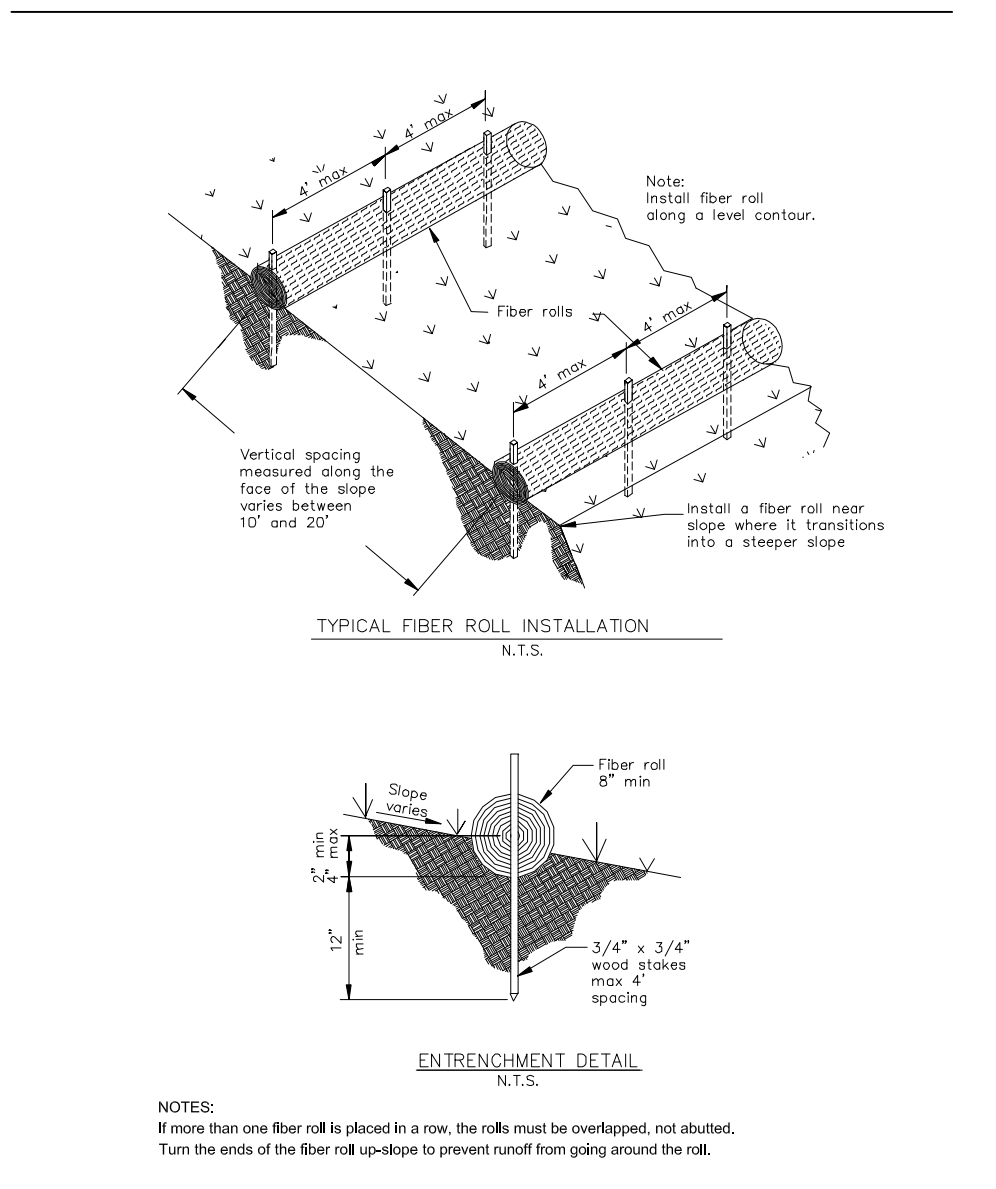
CONCRETE WASTE MANAGEMENT WM-8



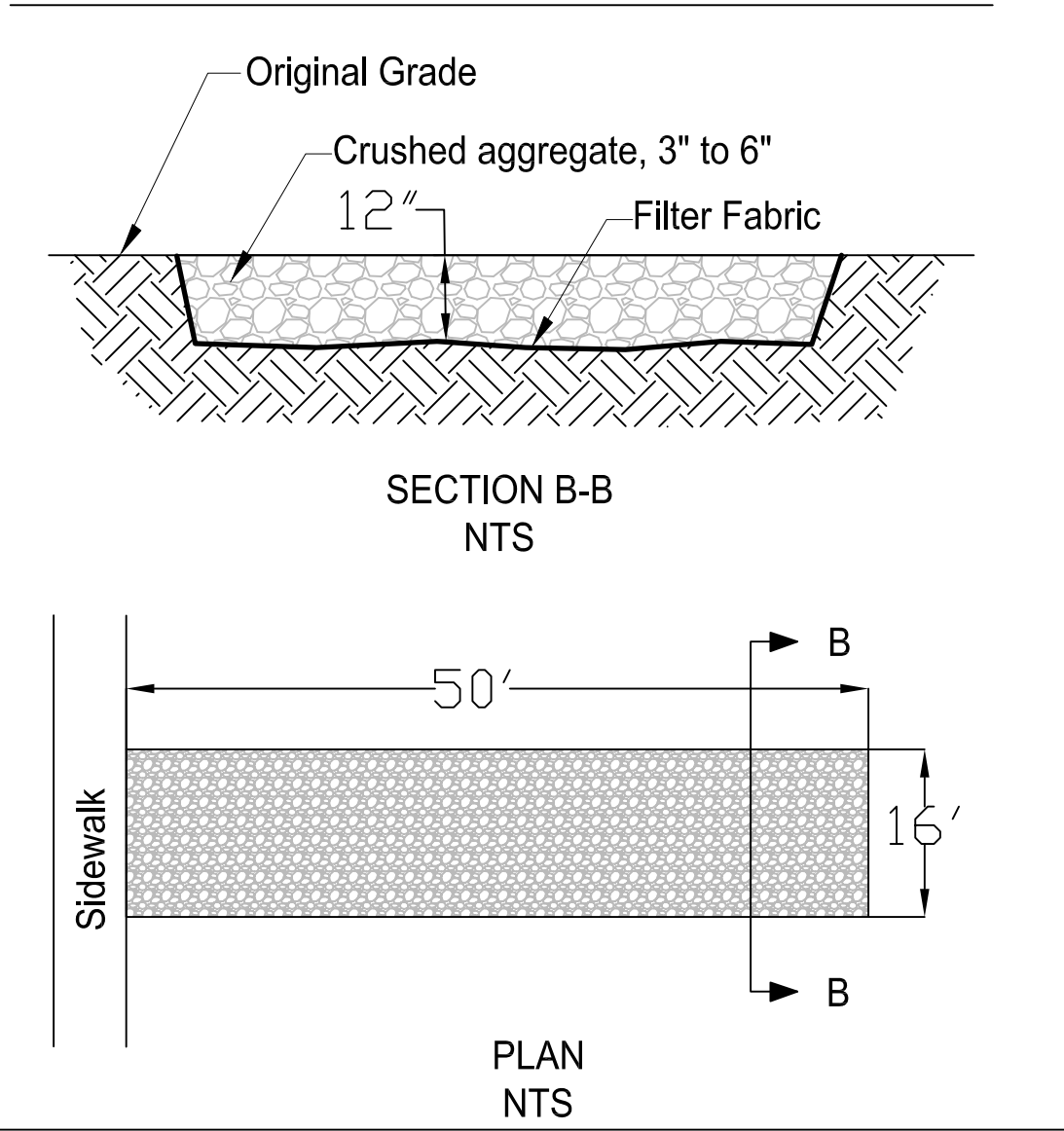
EROSION CONTROL NOTES

- FIBER ROLL
1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
 2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
 3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
 4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
 5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
 6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 50 FEET LONG BY 24 FEET WIDE AND CONFORM TO THE FOLLOWING:
 - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
 - B. PAD SHALL BE NOT LESS THAN 12" THICK.
 - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
 7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)

FIBER ROLLS SE-5

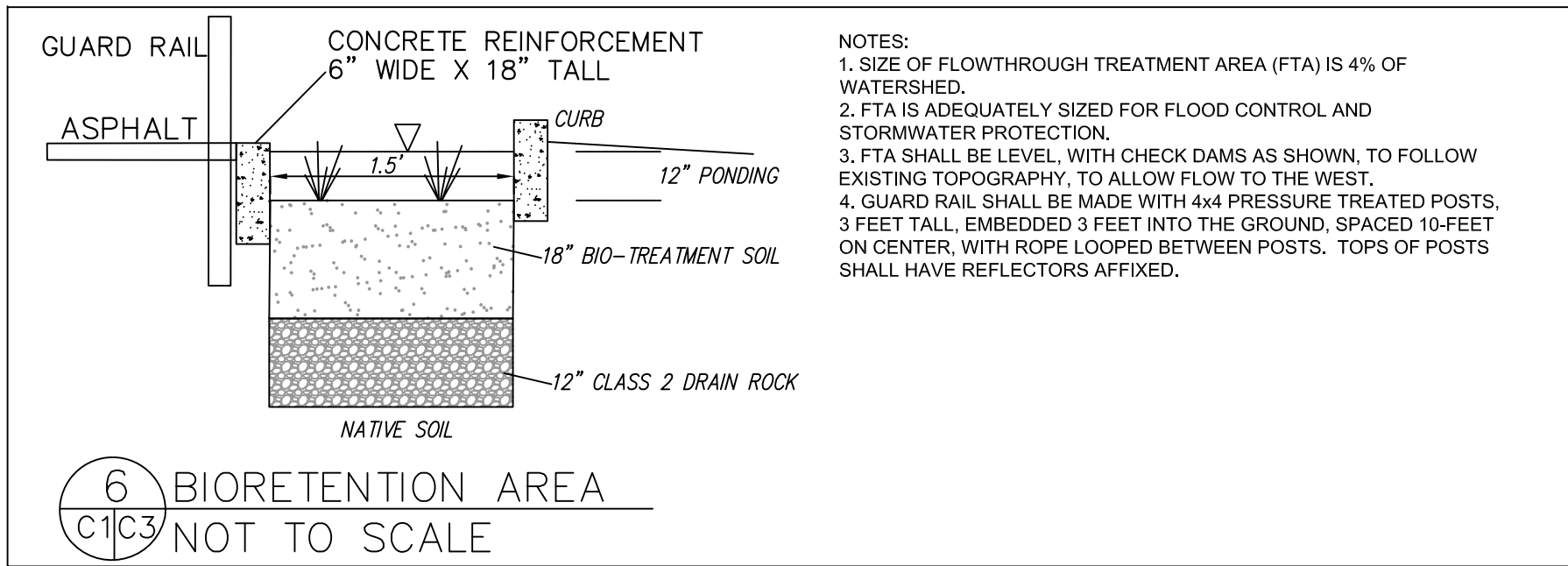
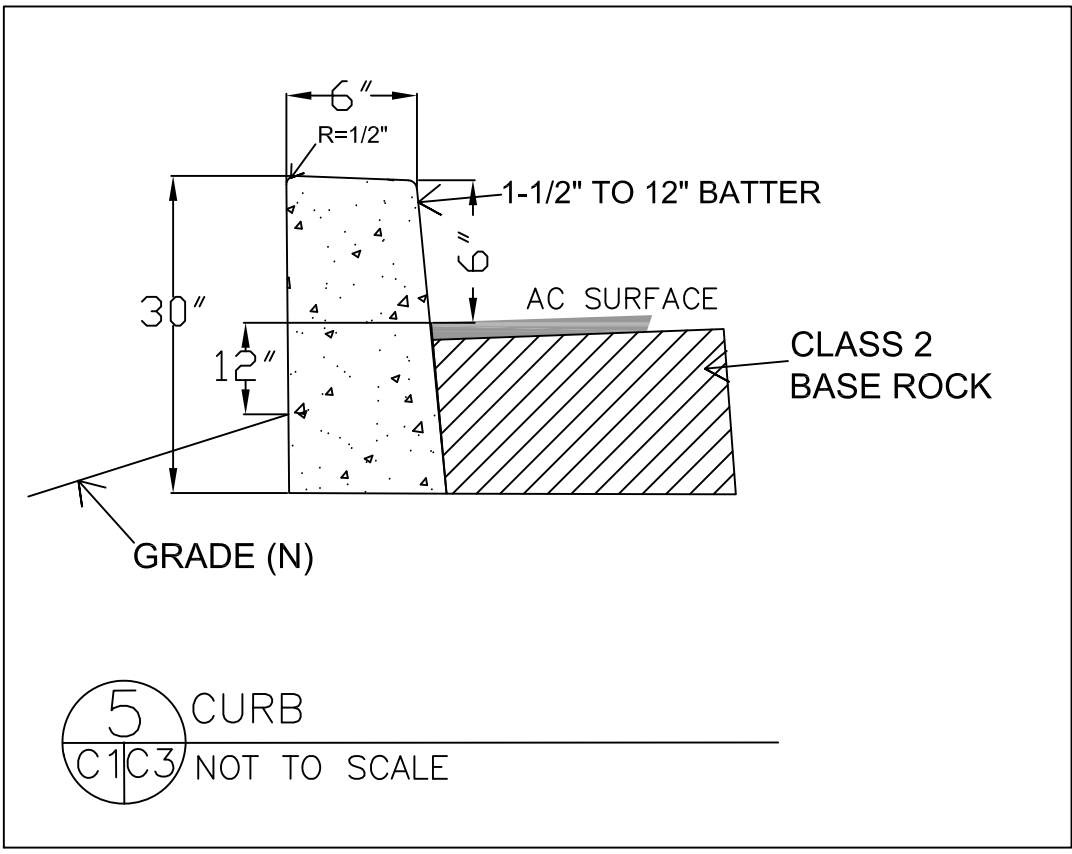
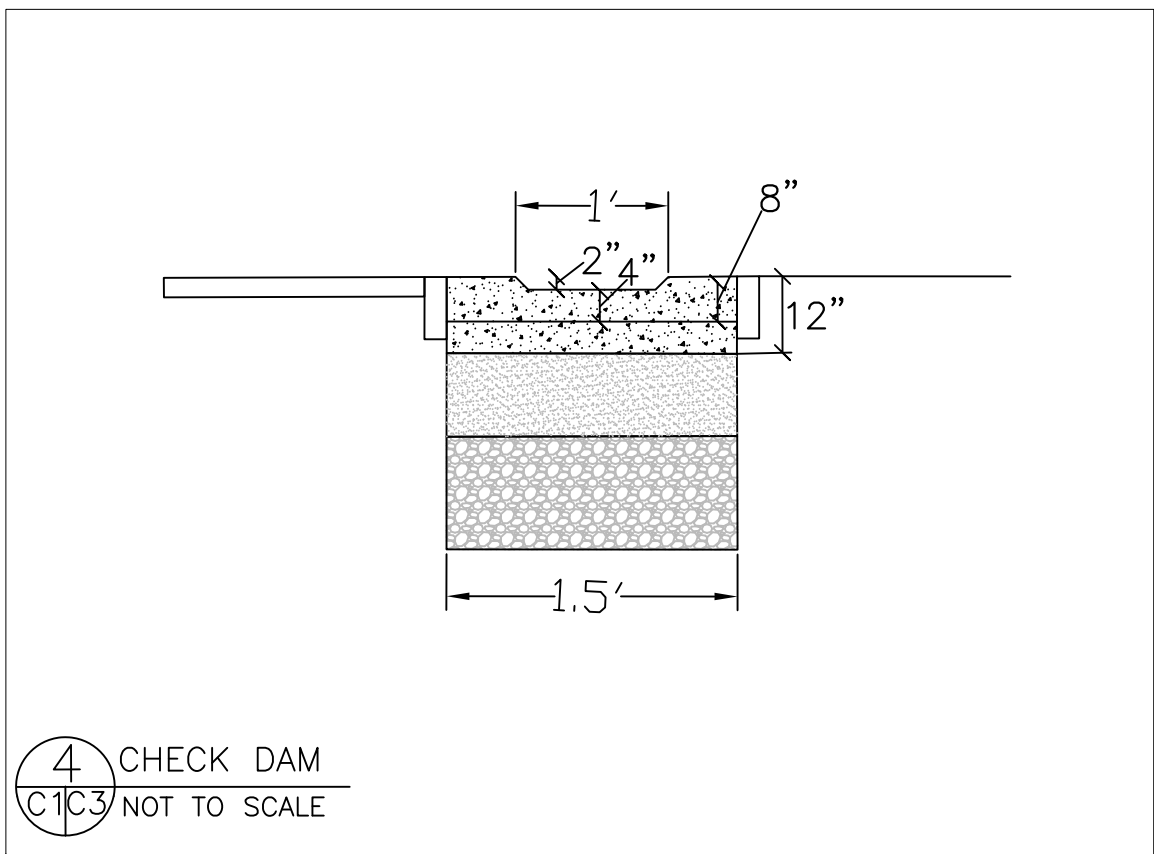
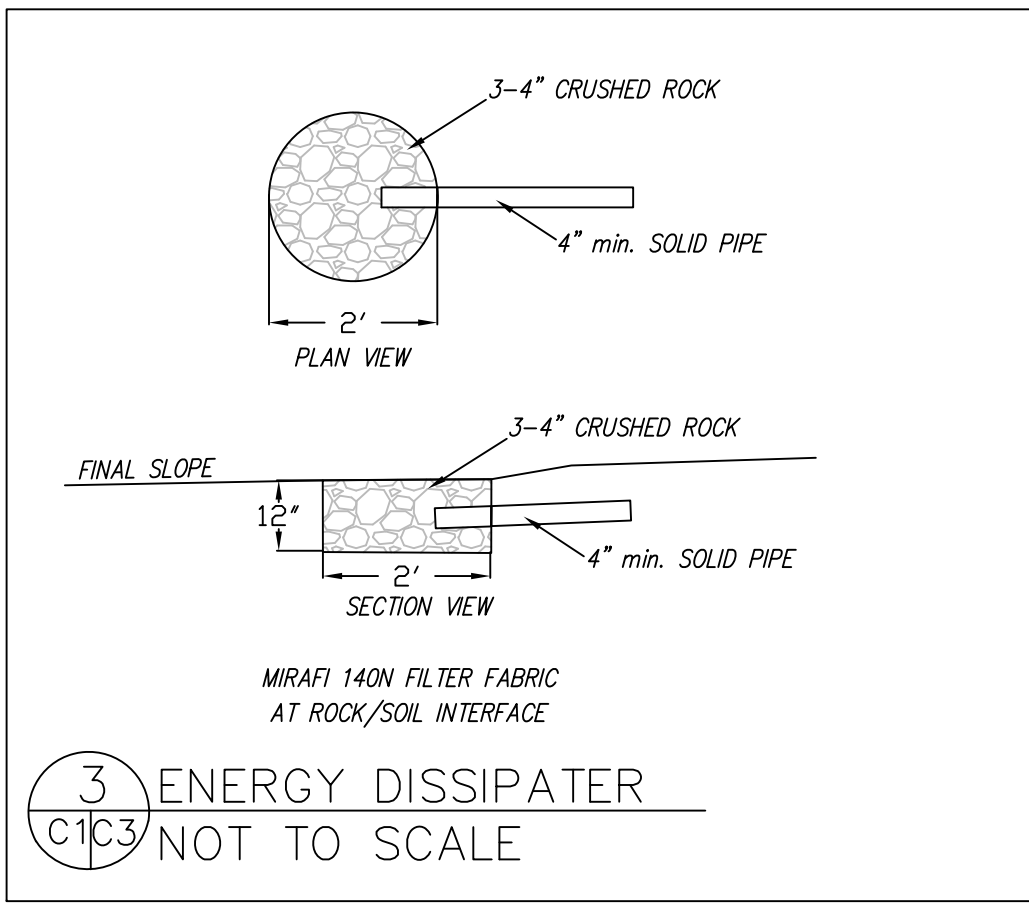
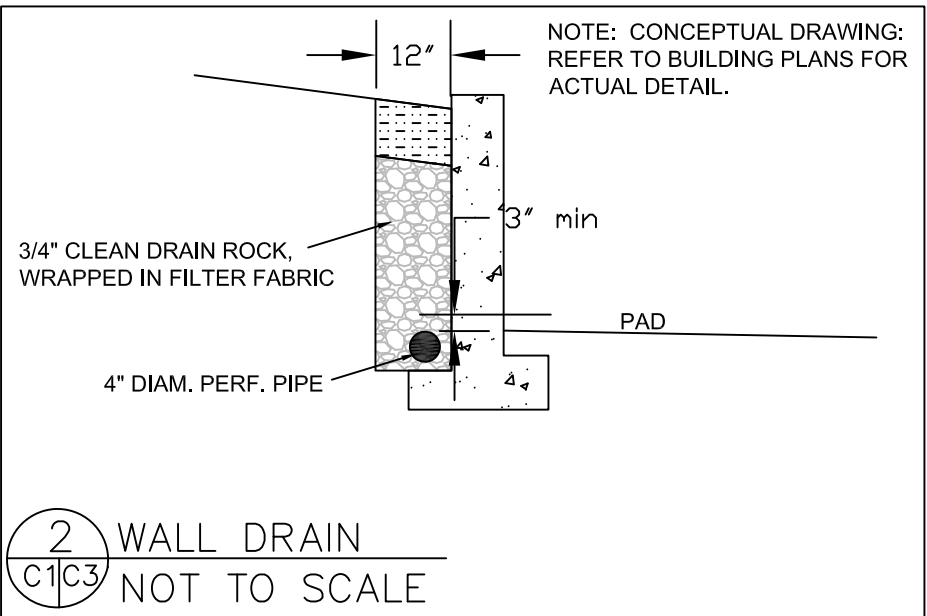
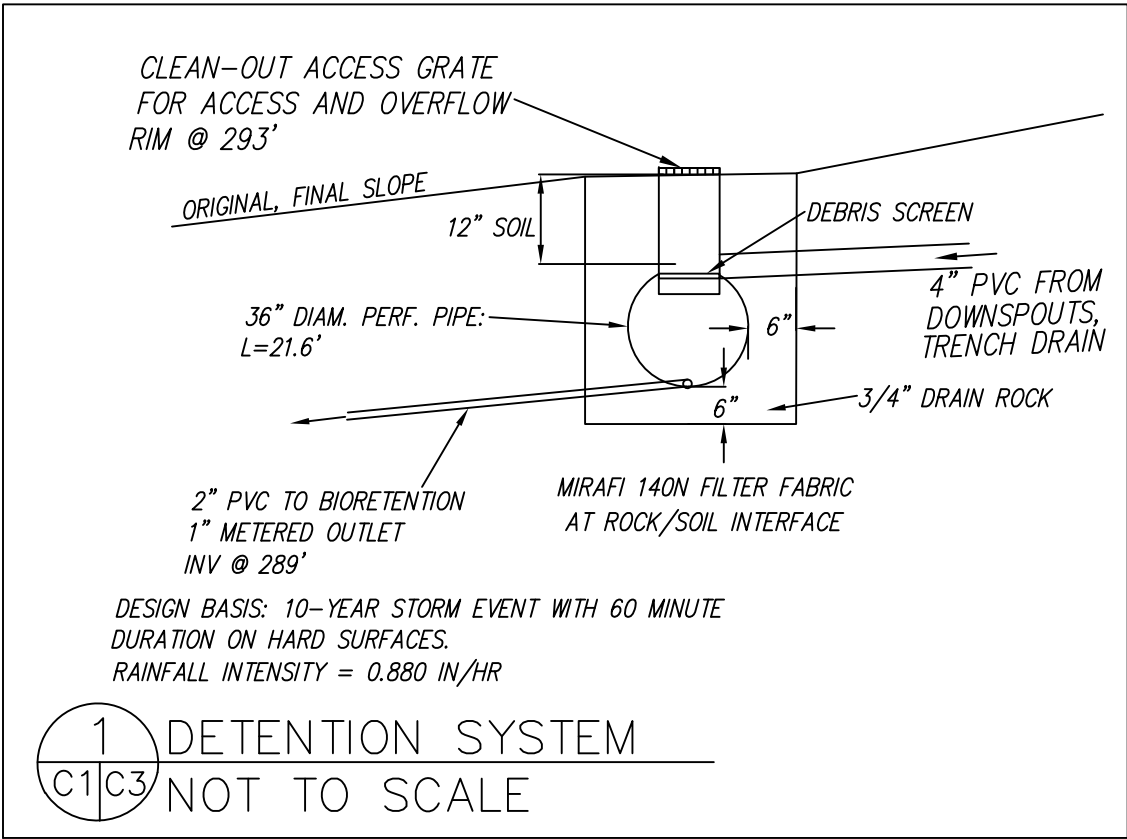



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



SHEET

C-2



<div>SHEET</div> <div>C-3</div>	<div>DETAILS</div>	DATE: 1-22-24	<div>Sigma Prime Geosciences, Inc.</div>
		DRAWN BY: CMK	
		CHECKED BY: AZG	
		REV. DATE:	
		REV. DATE:	
SINGH PROPERTY MIRAMAR, CA APN 048-076-120		SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX: 728-3593	
REV. DATE:			

TJ SINGH
RESIDENCE

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HALF MOON BAY
CALIFORNIA

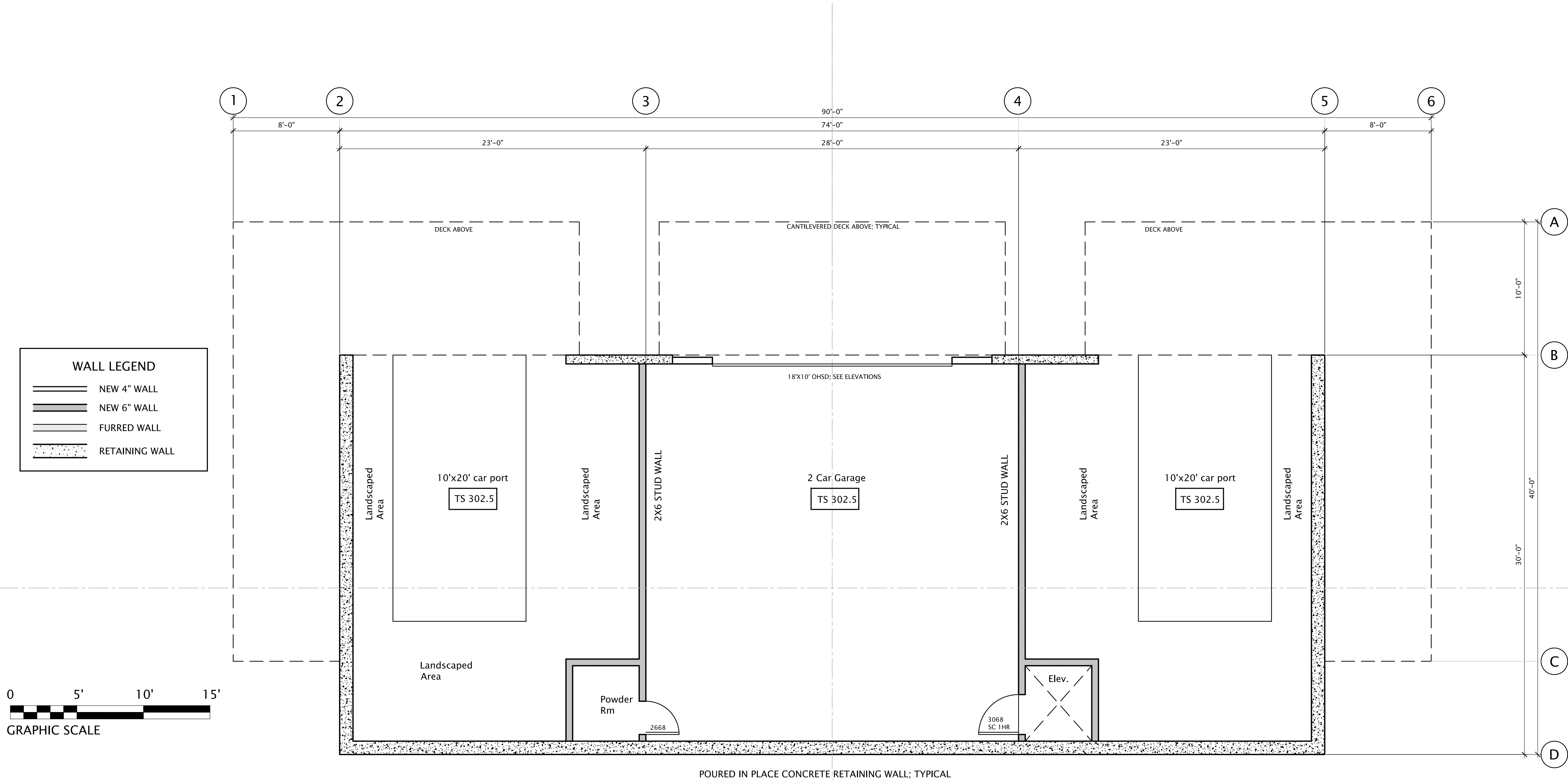
BASEMENT
FLOOR PLAN

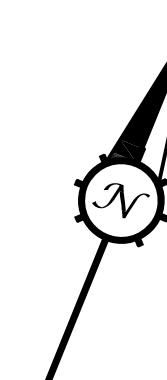
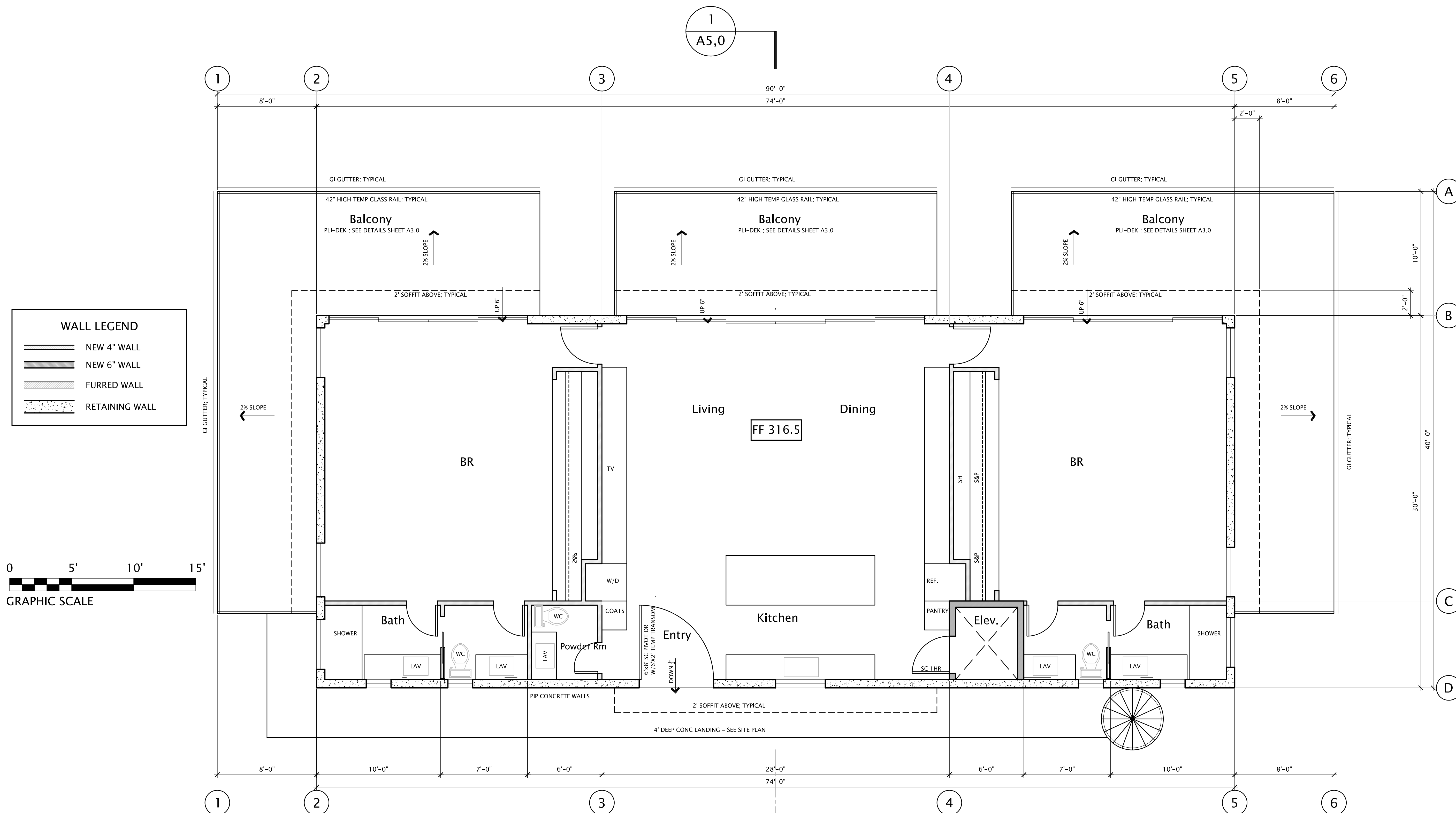
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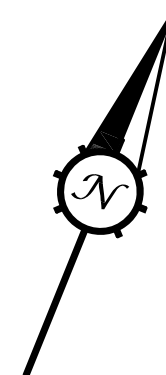
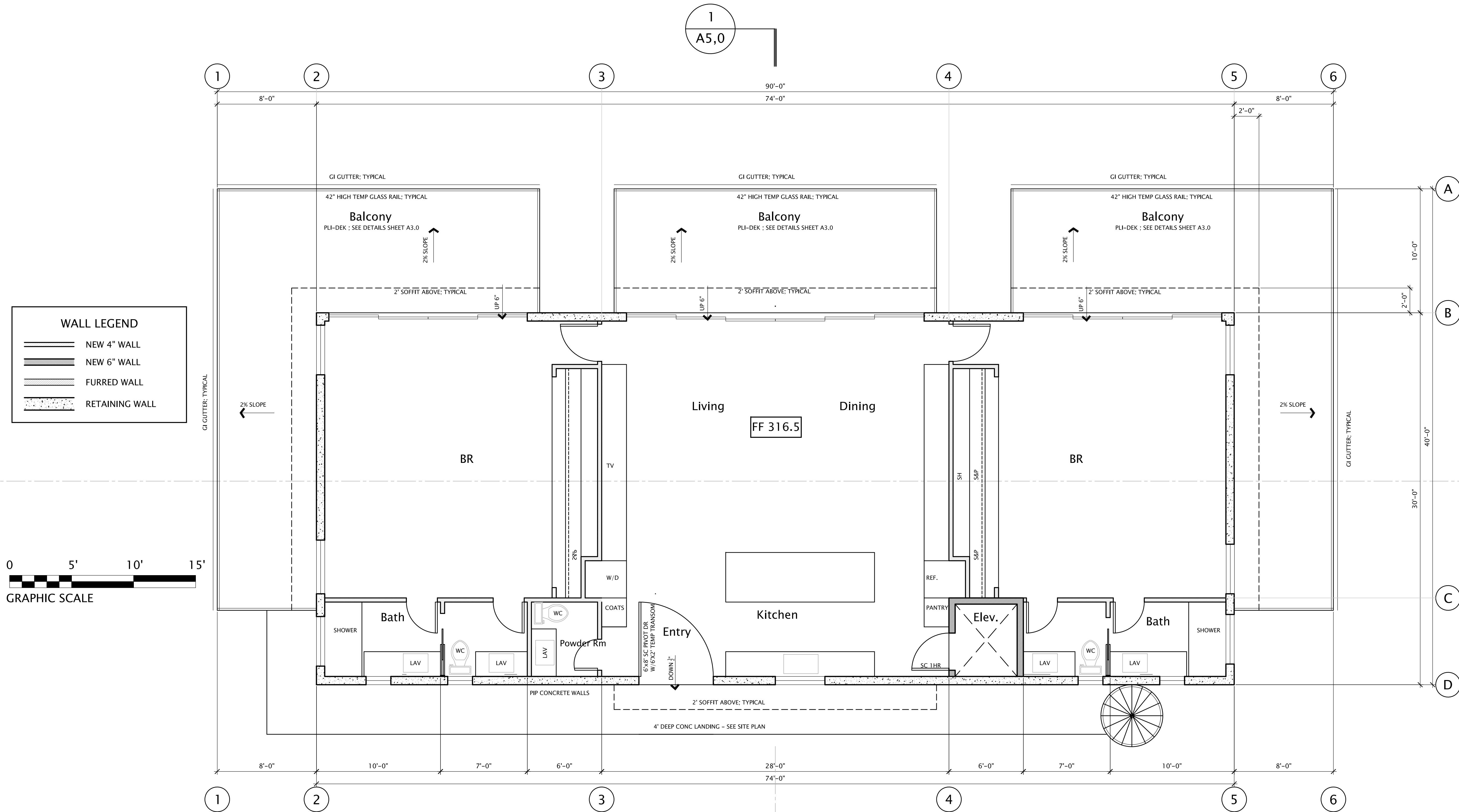
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CONTRACT DATE	10/4/2021
ISSUE DATE	1/28/2024
SCALE	1/4" = 1'
DRAWN	AM
JOB #	2021-667
SHEET	



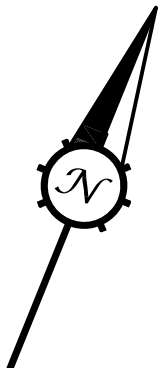
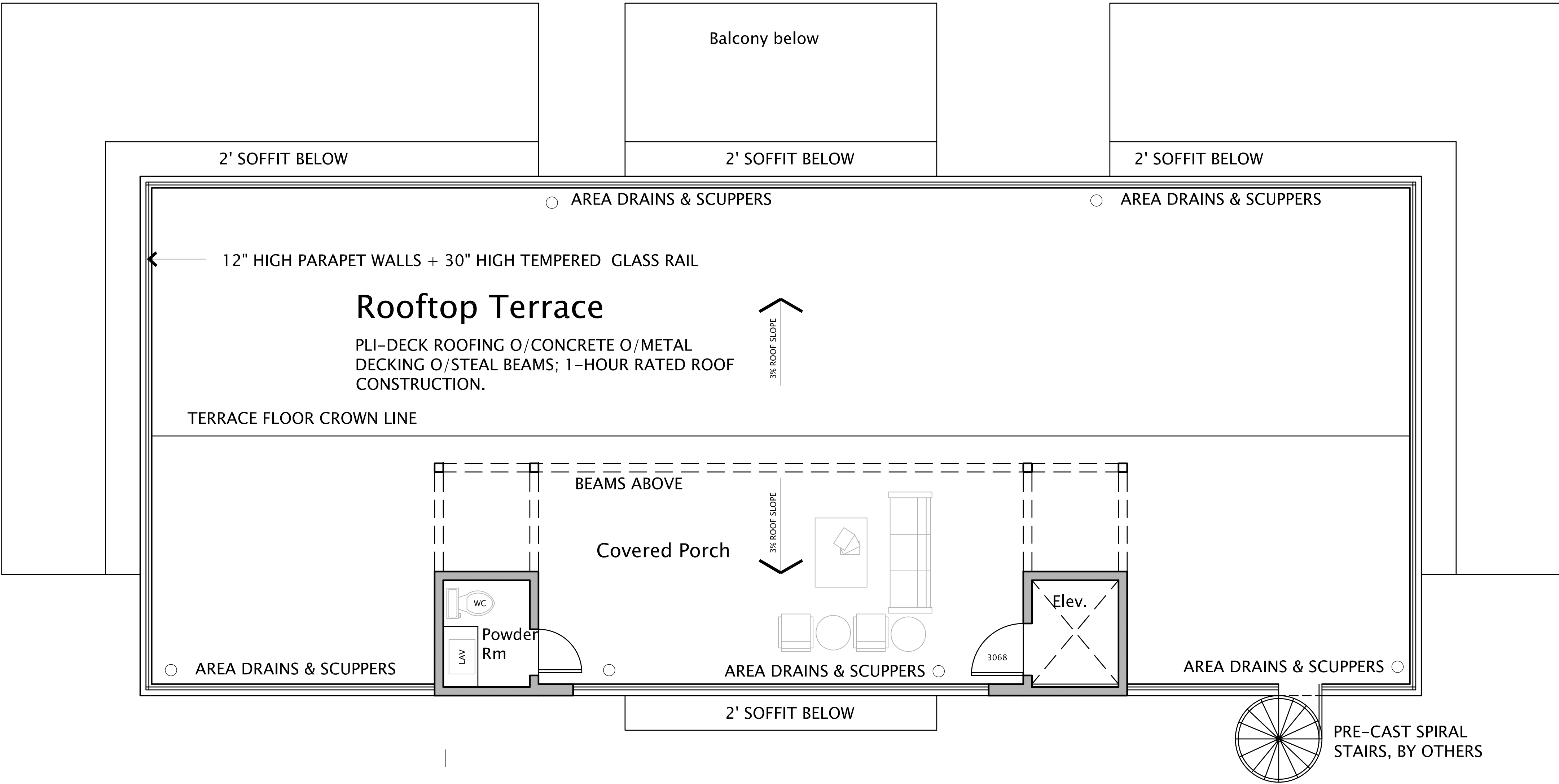




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HALF MOON BAY
CALIFORNIA

ROOF PLAN

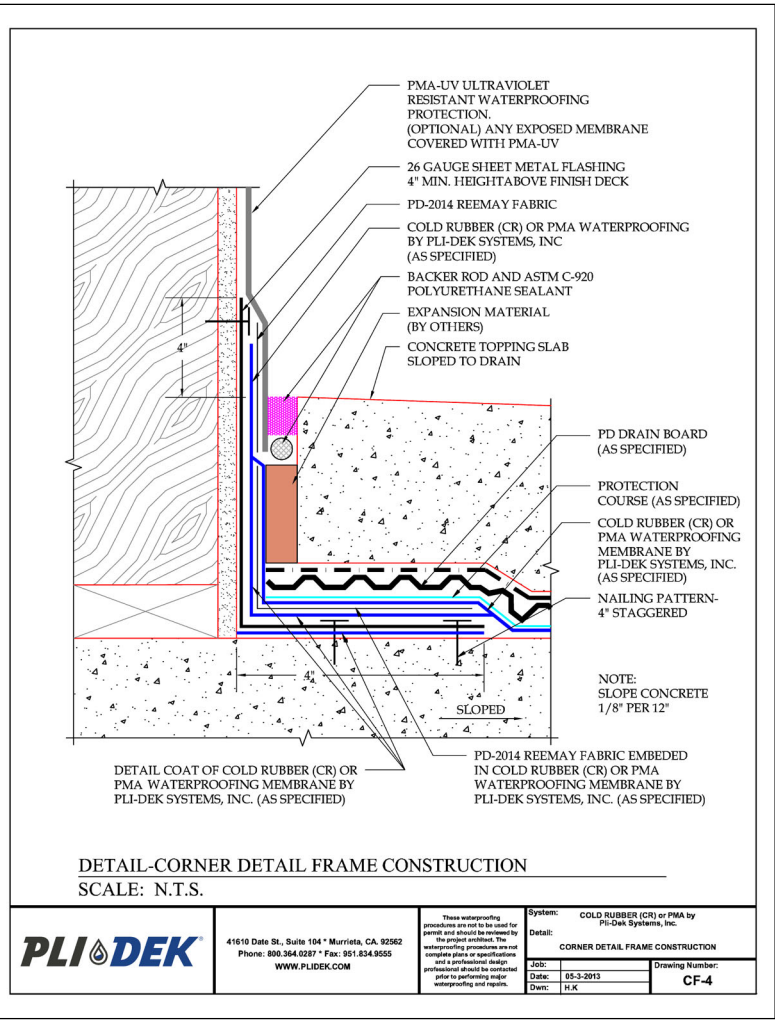
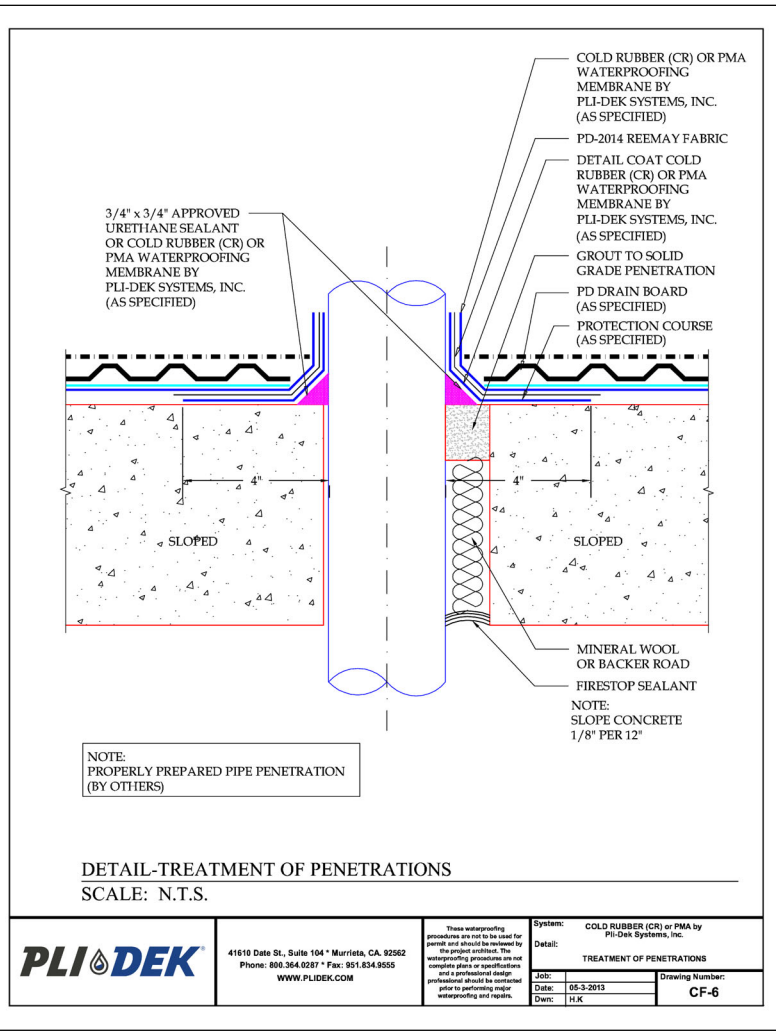
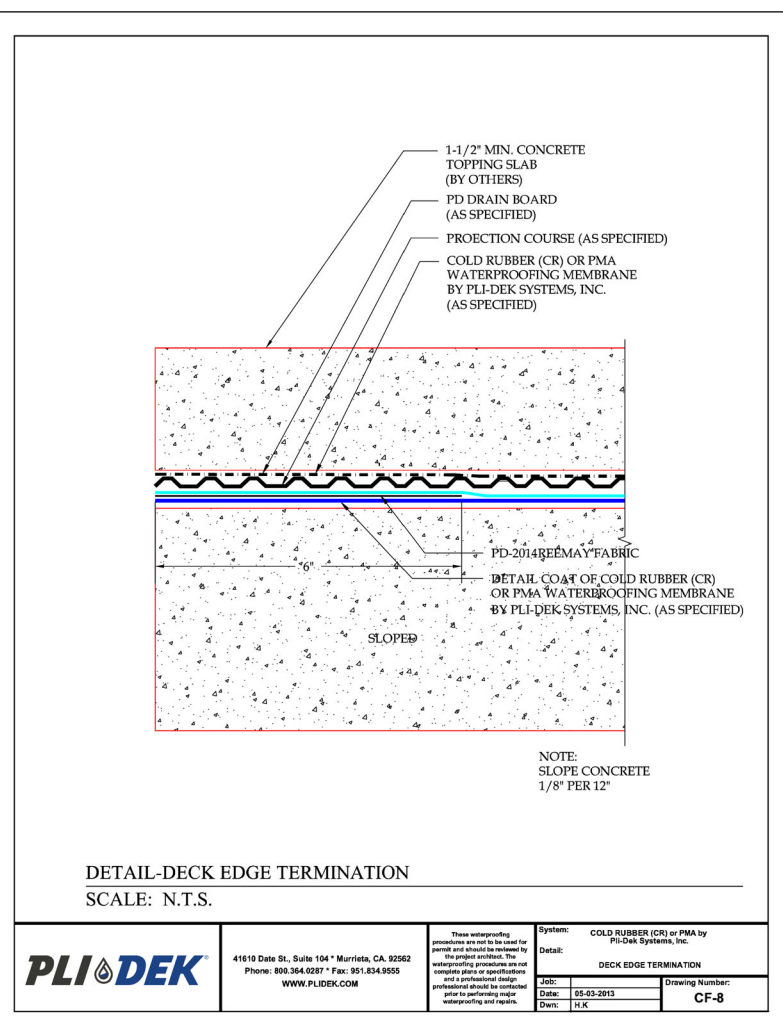
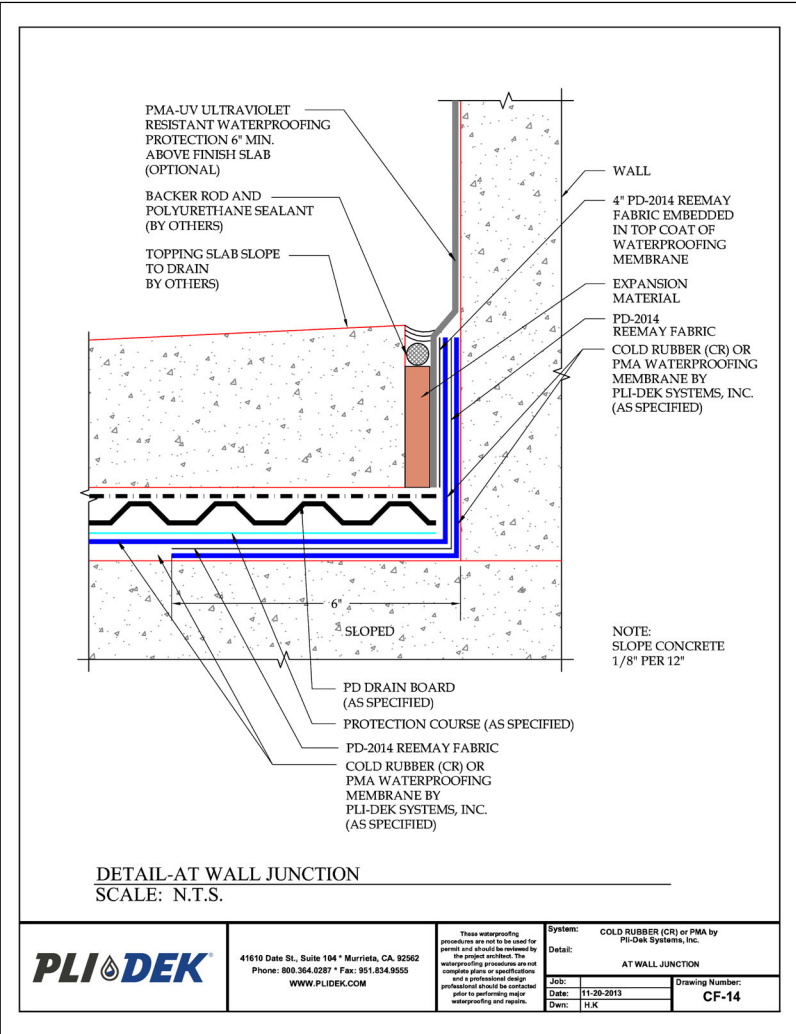


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SCALE		1/4" = 1'
DRAWN		AM
JOB #		2021-667
SHEET		



PLI-DEK ROOFING DETAILS

EXTERIOR MATERIAL & COLOR SCHEDULE

	MATERIAL	COLOR/FINISH
A. EXTERIOR WALLS:	STUCCO & CONCRETE ACCENT WALL	OFF-WHITE DARK BROWN
B. TRIM:	STUCCO	DARK BROWN
C. WINDOWS:	FRAMES: GLASS: (which prevent bird strike)	BLACK TINTED GLASS
D. DOORS:	WOOD	DARK BROWN
E. ROOF:	PLI-DEK	DARK COLOR
F. CHIMNEYS:	NON	
G. DECKS:	RAIL FLOORS: PLI-DEK	GLASS DARK BROWN
H. STAIRS:	CONCRETE SLAB ON GRADE	NATURAL COLOR
I. RETAINING WALLS:	CONCRETE	NATURAL COLOR
J. FENCES:	WOOD	DARK COLOR
K. ACCESSORY BUILDINGS:	N/A	
L. GRACE/CARPORT:	CONCRETE	NATURAL COLOR



NORTH ELEVATIONS

ANTOINE MEO

Custom
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M

11825 MAIN ST, UNIT 610
SUNOL, CA 94586
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ELEVATIONS

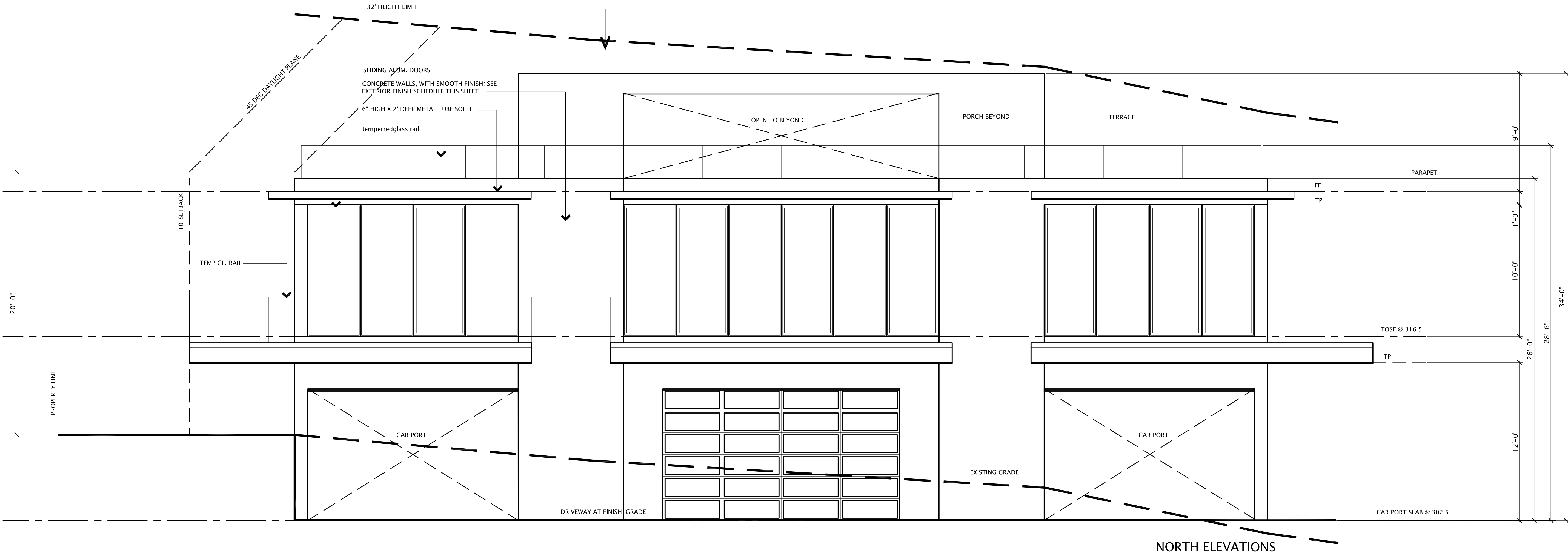
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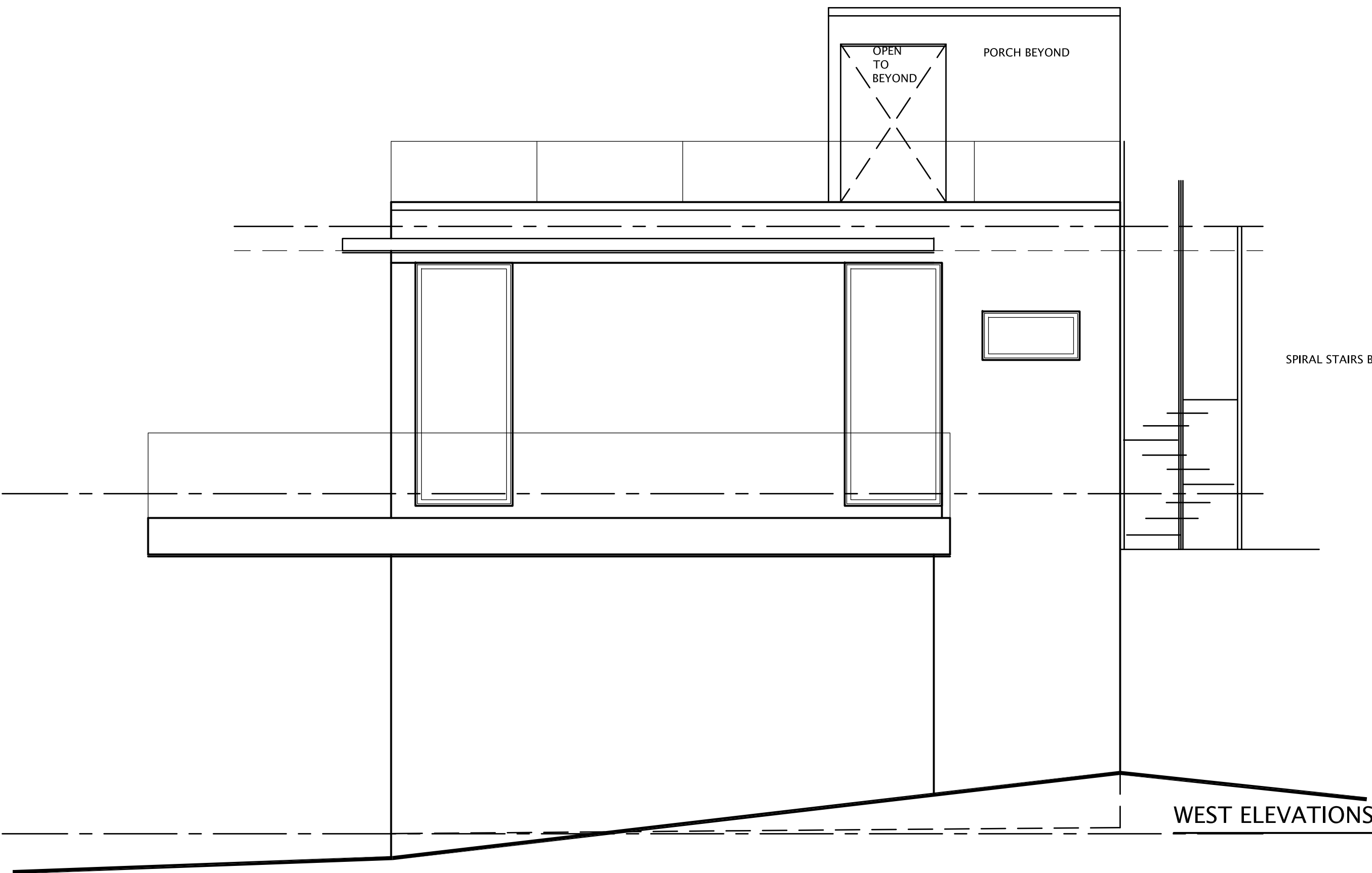
CONTRACT DATE	10/24/2023
ISSUE DATE	1/28/2024
SCALE	1/8" = 1'
DRAWN	AM
JOB #	2021-667
SHEET	

A4.0



EXTERIOR FINISH SCHEDULE

1. ROOF MATERIAL: PLI-DEK FLOORING
2. ROOF PITCH: FLAT
3. TRIM @ BALCONIES: SMOOTH STUCCO
COLOR: CHARCOAL TO MATCH WINDOWS; VERIFY W/ OWNER
4. GUTTERS: 26 GAUGE G.S.M. GUTTERS: TYP.
G.C. SHALL PROVIDE SAMPLE TO OWNER FOR APPROVAL.
COLOR: TO MATCH ADJACENT COLOR
5. DOWNSPOUTS: 26 GAUGE G.S.M. DOWNSPOUTS: PRIME & PAINT TO MATCH ADJACENT COLOR
6. FLASHING: 26 GAUGE FLASHING & COUNTER FLASH ALL PENETRATION @
ROOF 4" MIN. LAP; 6" MIN. SIDE LAP.
PAINT TO MATCH ADJACENT COLOR, WHERE EXPOSED WITH =
1ST COAT #1722 KEL GUARD GALVANIZED IRON PRIMER;
2ND COAT #1240 ACRY SHIELD ACRYLIC FLAT FINISH.
7. CONCRETE WALLS: SMOOTH FINISH
BASE COLOR: LIGHT GRAY; VERIFY W/ OWNER
ACCENT COLOR: MEDIUM GRAY; VERIFY WITH OWNER
8. CEMENT PLASTER: 3 COATS, 1" CEMENT PLASTER O/ PAPER BACKED WIRE MESH O/BUILDING PAPER,
(TOTAL 2 LAYERS "D" PAPER), O/ FULL PLYWD. SHEATHING, SEE STRUCT. DWGS.;
CEMENT PLASTER SHALL HAVE A SMOOTH FINISH.
BASE COLOR: LIGHT GRAY; VERIFY W/ OWNER
ACCENT COLOR: MEDIUM GRAY; VERIFY WITH OWNER
9. SOFFITS: CEMENT PLASTER, MATCH BUILDING BASE COLOR.
10. MTL TUBE SOFFITS: COLOR: CHARCOAL
11. WINDOWS: ALUMINUM WINDOWS & DOORS BY WESTERN OR LA-CANTINA WITH THERMAL BREAK
COLOR: CHARCOAL
12. DOORS: (A) FRONT DOOR: SOLID CORE PIVOT DOORS AS SELECTED BY OWNER.
(B) GARAGE DOORS: METAL WITH FROSTED GLASS O.H.S.D.
COLOR: CHARCOAL
14. EXTERIOR RAIL: TEMPERED GLASS AS PER ELEVATIONS; RAIL CONTRACTOR SHALL PROVIDE OWNER W/
DESIGN SHOP DRAWINGS FOR REVIEW & APPROVAL PRIOR TO MANUFACTURING. VERTICAL
STIFFENERS SHALL BE 6" O.C. MAX;
RAIL MEMBERS SHALL BE SPACED WHERE 4" DIAMETER SPHERE CANNOT PASS BETWEEN
MEMBERS AT ANY POINT.
FRAME COLOR: CHARCOAL.
- NOTE: PAINTING: CONTRACTOR SHALL APPLY A SAMPLE OF THE COLORS AS SELECTED ON A 3'X3'
WALL AREA, OR AS APPROPRIATE, FOR OWNER'S OR DESIGNER'S APPROVAL.



ANTOINE MEO

Custom
Residential
Design

M

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SUNOL, CA 94586
925-963-8646
lany@tonymedesign.com

Antoine MEO

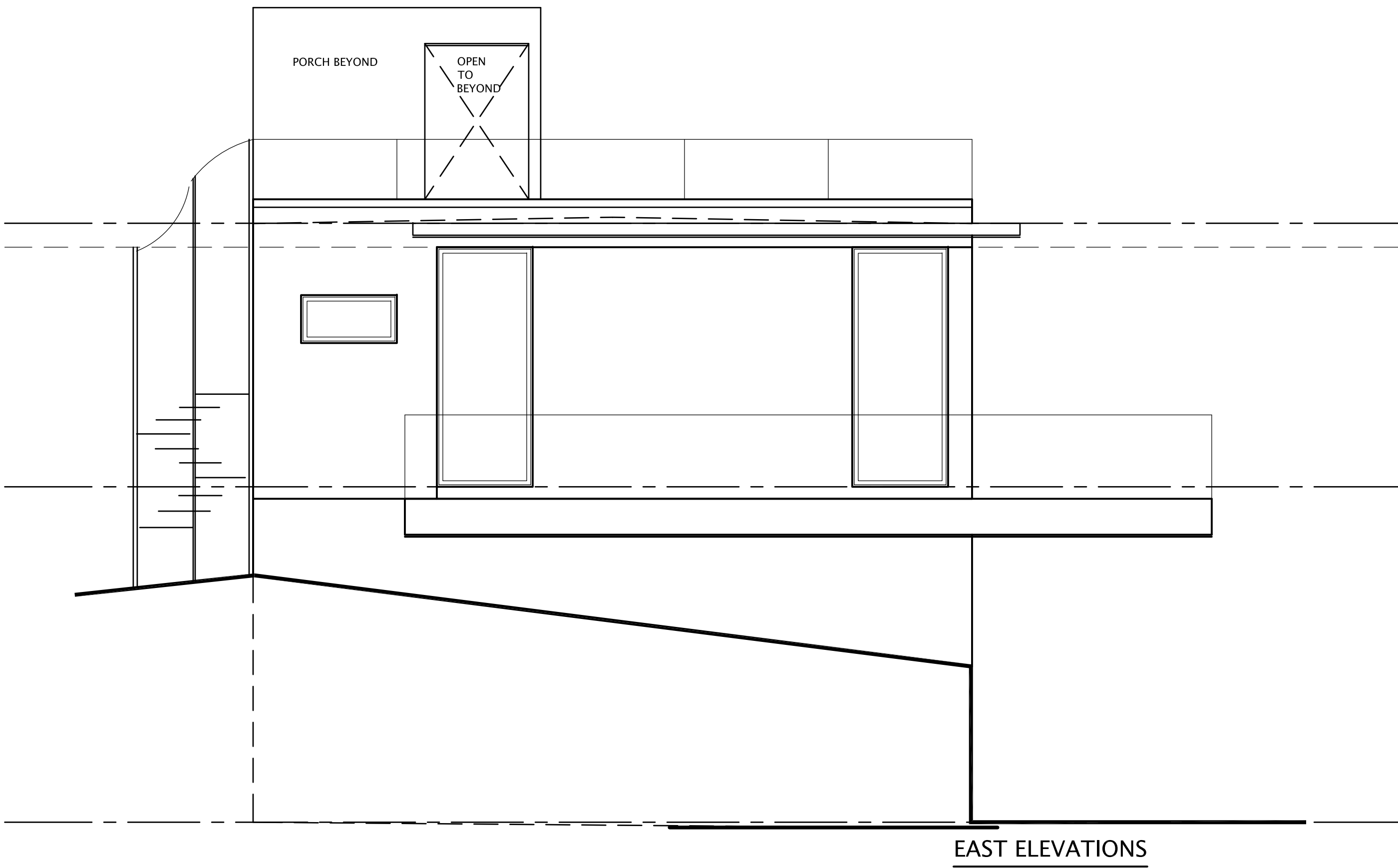
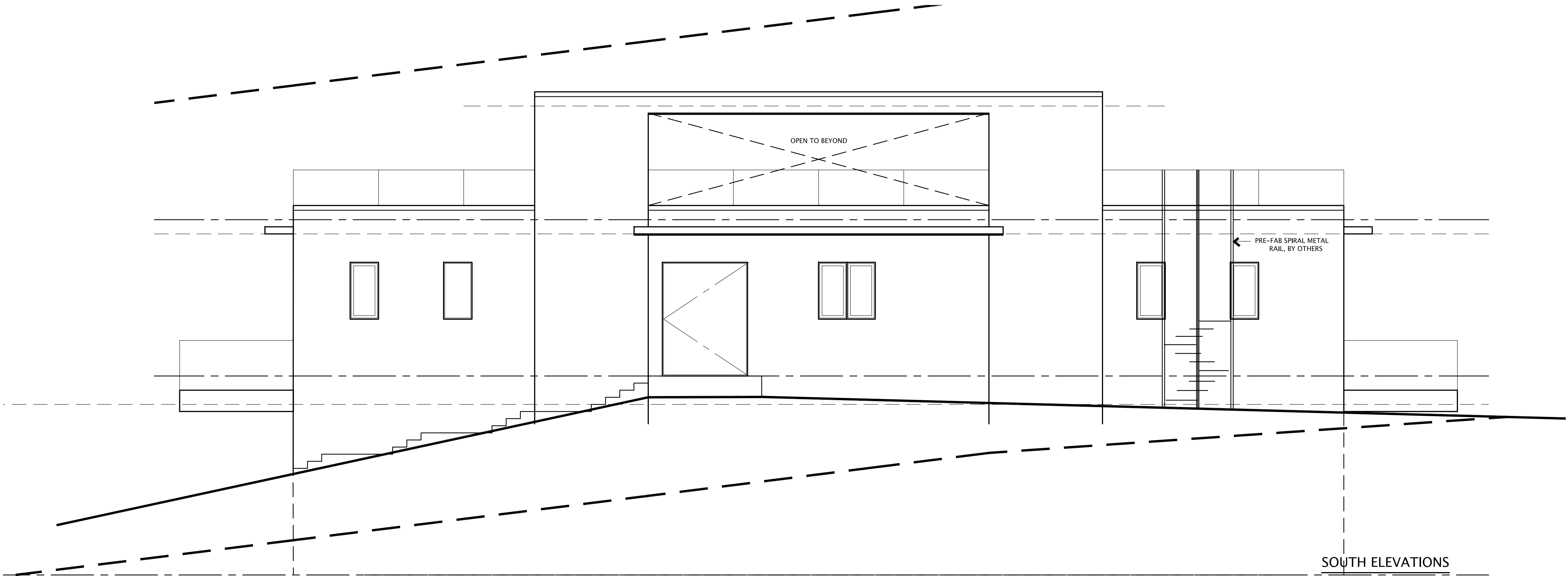
TJ SINGH
RESIDENCE

MIRAMAR @ HERMOSA
HALF MOON BAY
CALIFORNIA

ELEVATIONS

PRELIMINARY NOT FOR CONSTRUCTION NOT FOR BID		
APN	###	
TRACT #	###	
LOT #	###	
PLN #	###	
BLDG #	###	
SUB	DATE	SUBMITTAL
1.	1/28/2024	PLN 1
2.		
3.		
4.		
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8.		
9.		
10.		
REV	DATE	REVISION
1.	##/##/####	XXX
2.		
3.		
4.		
5.		
CONTRACT DATE		10/4/2021
ISSUE DATE		1/28/2024
SCALE		1/4" = 1'
DRAWN		AM
JOB #		2021-667
SHEET		

A4.1



ANTOINE MEO

Custom
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Antoine Meo

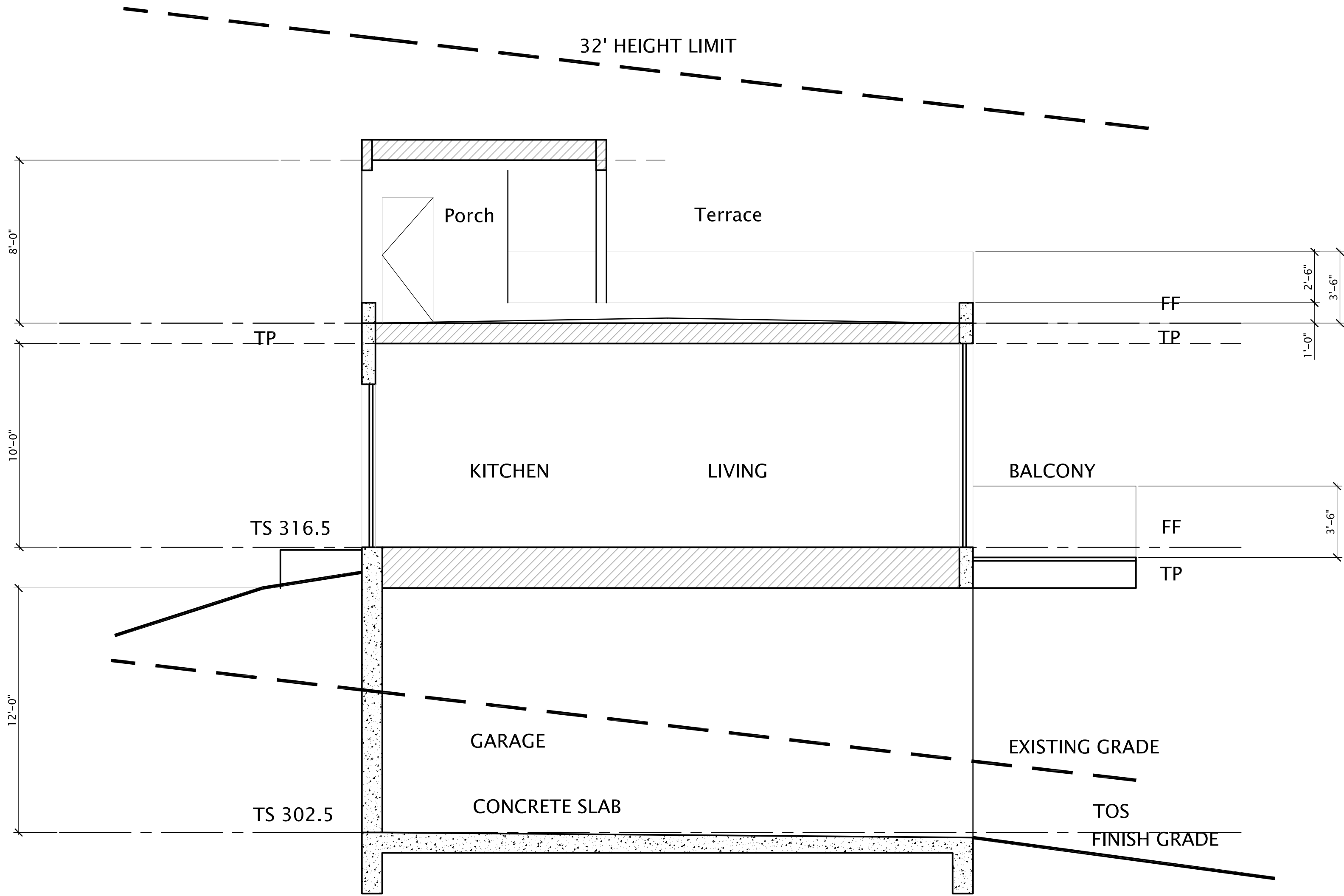
TJ SINGH
RESIDENCE

MIRAMAR @ HERMOSA
HALF MOON BAY
CALIFORNIA

ELEVATIONS

PRELIMINARY NOT FOR CONSTRUCTION NOT FOR BID		
APN	###	
TRACT #	###	
LOT #	###	
PLN #	###	
BLDG #	###	
SUB	DATE	SUBMITTAL
1.	1/28/2024	PLN 1
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REV	DATE	REVISION
1.	##/##/####	XXX
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5.		
CONTRACT DATE		10/4/2021
ISSUE DATE		1/28/2024
SCALE		1/4" = 1'
DRAWN		AM
JOB #		2021-667
SHEET		

A4.2



SECTION 1

ANTOINE MEO

Custom
Residential
Design

M

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Sunol, CA 94586

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Antoine Meo

TJ SINGH
RESIDENCE

MIRAMAR @ HERMOSA

HALF MOON BAY

CALIFORNIA

SECTIONS

PRELIMINARY
NOT FOR CONSTRUCTION
NOT FOR BID

APN	###
TRACT #	###
LOT #	###
PLN #	###
BLDG #	###

SUB	DATE	SUBMITTAL
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REV	DATE	REVISION
1.	##/##/####	XXX
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CONTRACT DATE	10/4/2021
ISSUE DATE	1/28/2024
SCALE	1/4" = 1'
DRAWN	AM
JOB #	2021-667
SHEET	

A5.0

TJ SINGH
RESIDENCE

MIRAMAR @ HERMOSA
HALF MOON BAY
CALIFORNIA

BASEMENT
ELECTRICAL PLAN

PRELIMINARY
NOT FOR CONSTRUCTION
NOT FOR BID
APN ###
TRACT # ###
LOT # ###
PLN # ###
BLDG # ###

SUB	DATE	SUBMITTAL
1.	1/28/2024	PLN 1
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REV	DATE	REVISION
1.	##/##/####	XXX
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CONTRACT DATE 10/4/2021
ISSUE DATE 1/28/2024
SCALE 1/4" = 1'
DRAWN AM
JOB # 2021-667
SHEET

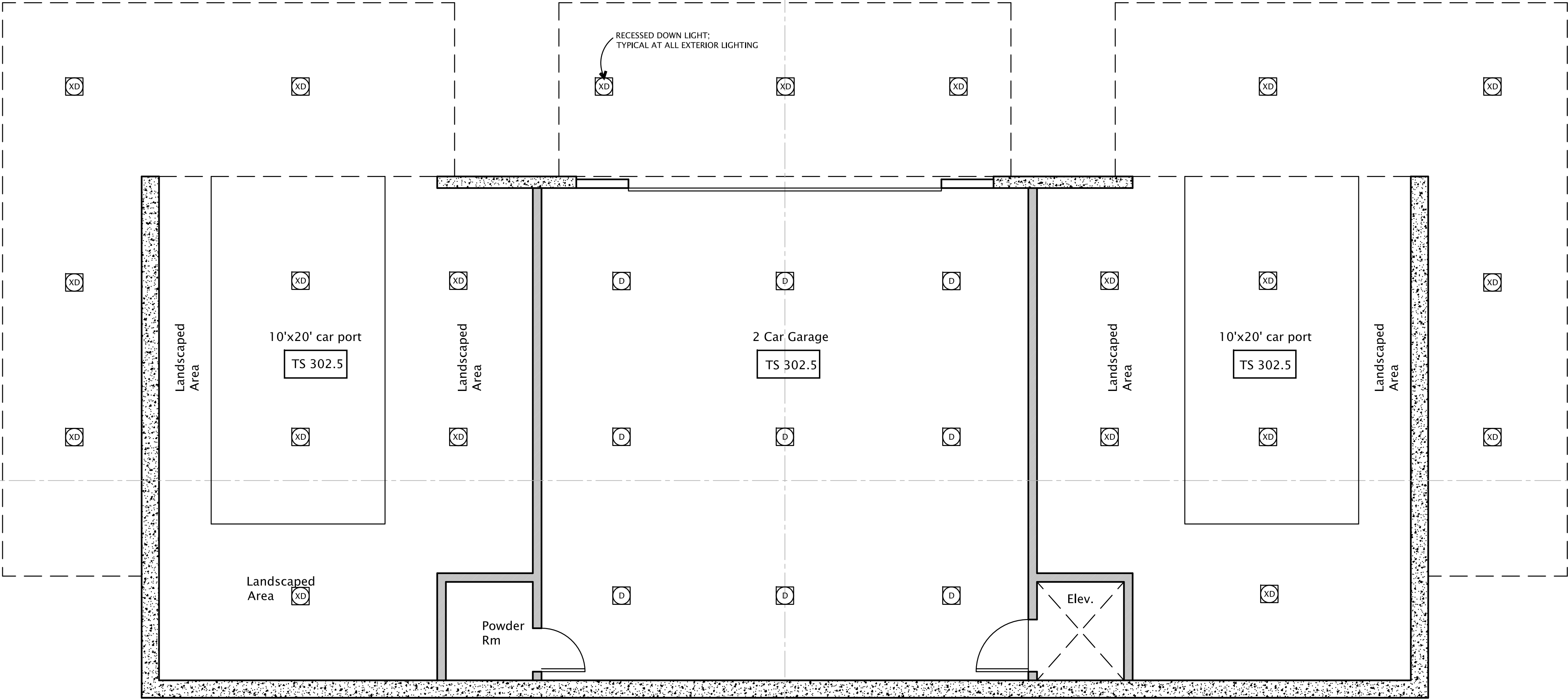
WALL LEGEND

NEW 4" WALL

NEW 6" WALL

FURRED WALL

RETAINING WALL



POURED IN PLACE CONCRETE RETAINING WALL; TYPICAL

TJ SINGH
RESIDENCE

MIRAMAR @ HERMOSA
HALF MOON BAY
CALIFORNIA

FIRST FLOOR
ELECTRICAL PLAN

PRELIMINARY
NOT FOR CONSTRUCTION
NOT FOR BID

APN	###
TRACT #	###
LOT #	###
PLN #	###
BLDG #	###

SUB	DATE	SUBMITTAL
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REV	DATE	REVISION
1.	##/##/####	XXX

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5.		

CONTRACT DATE 10/4/2021

ISSUE DATE 1/28/2024

SCALE 1/4" = 1'

DRAWN AM

JOB # 2021-667

SHEET

WALL LEGEND

NEW 4" WALL

NEW 6" WALL

FURRED WALL

RETAINING WALL

