













## PROJECT DIRECTORY

**ARCHITECT**  
**FAT PEN STUDIOS, INC.**  
 620 AVENUE PORTOLA #522  
 EL GRANADA, CA 94018  
 650-918-7117  
 info@fatpenstudios.com

**OWNER**  
**RILEY & KRISTIN BRADLEY**  
 167 AVENUE PORTOLA  
 EL GRANADA, CA 94018  
 978-766-0957  
 Kristin.meador@gmail.com  
 Lion.RWC@gmail.com

**CIVIL / GEOTECH ENGINEER**  
**SIGMA PRIME GEOSCIENCES**  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 650-728-3590  
 sigmaprime@gmail.com



**AVENUE  
 PORTOLA  
 RESIDENCE**  
 167 AVENUE PORTOLA,  
 EL GRANADA CA 94018

## REVISIONS

NO.	DESCRIPTION	DATE
1	CDRC RESPONSE TO COMMENTS	6/24/2024

PROJECT NUMBER: 22111  
 ISSUE DATE: 05/03/2024  
 SCALE: 1/4" = 1'-0"  
 ISSUE STATUS:  
**CDRC APPLICATION**

**EXISTING HOUSE  
 ELEVATIONS,  
 PROPOSED DETACHED  
 GARAGE ELEVATIONS,  
 GARAGE SECTIONS**

# A3.0



4 EXISTING RIGHT SIDE ELEVATION  
 1/4" = 1'-0"

(E) HIGH RIDGE HEIGHT  
 142' - 9 3/8"

(E) HOUSE T.O. PLATE  
 139' - 2 1/2"

(E) HOUSE F.F.E.  
 130' - 11"

GARAGE F.F.E.  
 127' - 10"



3 EXISTING REAR ELEVATION  
 1/4" = 1'-0"

(E) HIGH RIDGE HEIGHT  
 142' - 9 3/8"

(E) HOUSE T.O. PLATE  
 139' - 2 1/2"

(E) HOUSE F.F.E.  
 130' - 11"

GARAGE F.F.E.  
 127' - 10"



2 EXISTING LEFT SIDE ELEVATION  
 1/4" = 1'-0"

(E) HIGH RIDGE HEIGHT  
 142' - 9 3/8"

(E) HOUSE T.O. PLATE  
 139' - 2 1/2"

(E) HOUSE F.F.E.  
 130' - 11"

GARAGE F.F.E.  
 127' - 10"



1 EXISTING FRONT ELEVATION  
 1/4" = 1'-0"

(E) HIGH RIDGE HEIGHT  
 142' - 9 3/8"

(E) HOUSE T.O. PLATE  
 139' - 2 1/2"

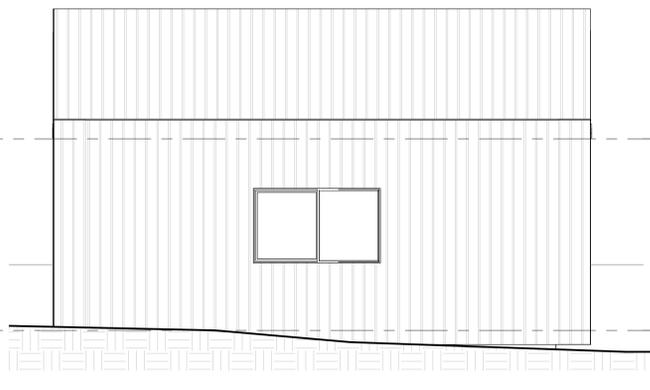
(E) HOUSE F.F.E.  
 130' - 11"

GARAGE F.F.E.  
 127' - 10"

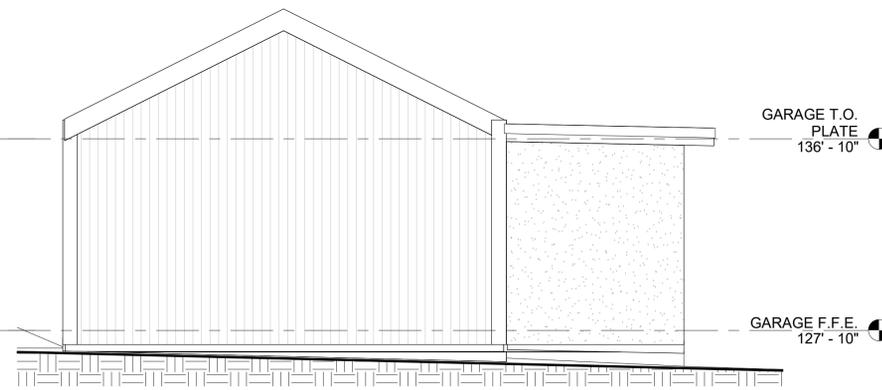


9 GARAGE - CROSS SECTION  
 1/4" = 1'-0"

10  
 A3.0



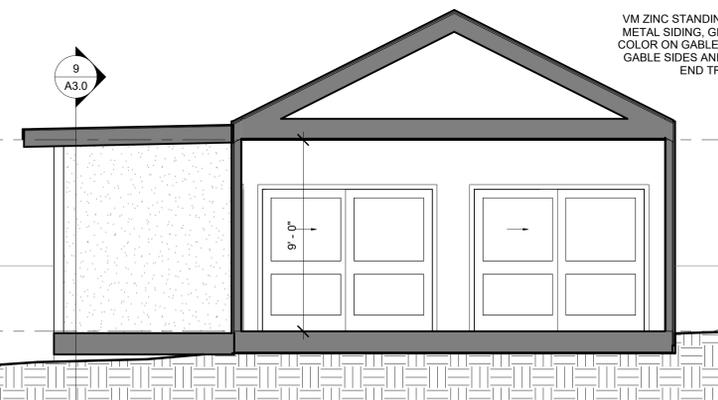
8 PROPOSED GARAGE RIGHT SIDE ELEVATION  
 1/4" = 1'-0"



7 PROPOSED GARAGE REAR ELEVATION  
 1/4" = 1'-0"

GARAGE T.O. PLATE  
 136' - 10"

GARAGE F.F.E.  
 127' - 10"



10 GARAGE - LONGITUDINAL SECTION 1  
 1/4" = 1'-0"

VM ZINC STANDING SEAM METAL SIDING, GRAPHITE COLOR ON GABLE ROOFS, GABLE SIDES AND GABLE END TRIM, TYP.

FLAT ROOF FASCIA TO MATCH VM ZINC, COLOR: QUARTZ ZINC OR EQUIVALENT, TYP.

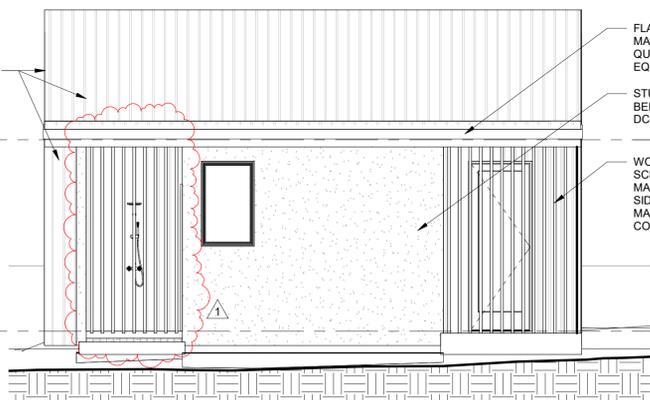
STUCCO TO BE PAINTED, BEHR WHIPPED CREAM DC-001, TYP.

WOOD SCREENING TO MATCH GABLE SIDING MATERIAL/ COLOR, TYP.

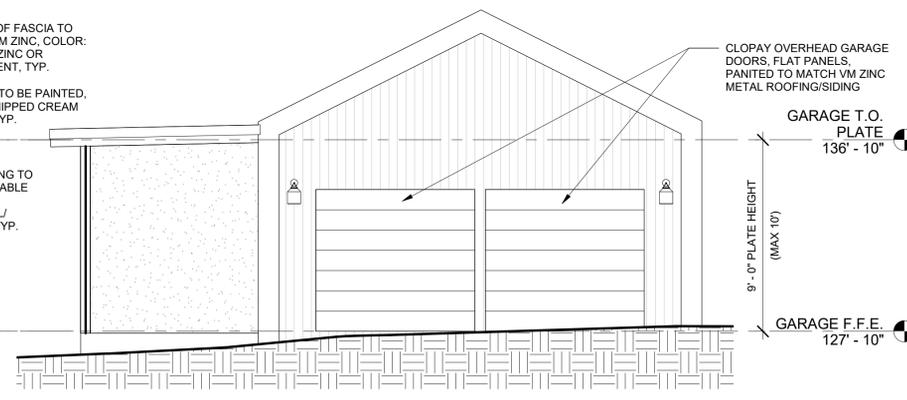
CLOPAY OVERHEAD GARAGE DOORS: FLAT PANELS, PAINTED TO MATCH VM ZINC METAL ROOFING/SIDING

GARAGE T.O. PLATE  
 136' - 10"

GARAGE F.F.E.  
 127' - 10"



6 PROPOSED GARAGE LEFT SIDE ELEVATION  
 1/4" = 1'-0"



5 PROPOSED GARAGE FRONT ELEVATION  
 1/4" = 1'-0"

9'-0" PLATE HEIGHT (MAX 10')



FENCE/GATE: TO MATCH EXISTING



EXTERIOR SCONCES: 7.5" WEST ELM HENRY OUTDOOR SCONCE, MATTE BLACK (DARK SKY COMPLIANT) OR SIMILAR.



STANDING SEAM METAL ROOF AND WALLS: VM ZINC, COLOR: QUARTZ ZINC OR EQUIVALENT



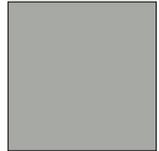
COMPOSITE SOFFITS, GABLE BOARD SIDING, RIGHT SIDE PLANTER BOXES & REAR PATIO SIDES: MILLBOARD SHADOW LINE+, COLOR: LIMED OAK, OR EQUIVALENT



PATIOS AND PLANTERS AT FRONT OF HOUSE: NATURAL CONCRETE, SMOOTH



FRONT DOOR PAINT COLOR: ANDES SUMMIT CSP-600



HORIZONTAL SIDING: BEHR FLIPPER PPU25-15



STUCCO WALLS UNDER FLAT ROOF EXPRESSIONS: COLOR BEHR WHIPPED CREAM DC-001



ROOF FASCIA: PAINTED WOOD, COLOR TO MATCH VM ZINC, COLOR: QUARTZ ZINC OR EQUIVALENT



WINDOWS & DOORS AT METAL SIDING & COMPOSITE WOOD SIDING: PAINTED, COLOR TO MATCH VM ZINC, COLOR: QUARTZ ZINC OR EQUIVALENT



WINDOWS & DOORS AT STUCCO WALLS & KITCHEN WALLS: WHITE VINYL



TRIM AT WINDOWS AT STUCCO WALLS & KITCHEN WALLS: WHITE VINYL



DRIVEWAY: BRUSHED CONCRETE, NATURAL

# FAT PEN STUDIOS

## PROJECT DIRECTORY

ARCHITECT  
**FAT PEN STUDIOS, INC.**  
620 AVENUE PORTOLA #522  
EL GRANADA, CA 94018  
650-918-7117  
info@fatpenstudios.com

OWNER  
**RILEY & KRISTIN BRADLEY**  
167 AVENUE PORTOLA  
EL GRANADA, CA 94018  
978-766-0957  
Kristin.meador@gmail.com  
Lion.RWC@gmail.com

CIVIL / GEOTECH ENGINEER  
**SIGMA PRIME GEOSCIENCES**  
332 PRINCETON AVENUE  
HALF MOON BAY, CA 94019  
650-728-3590  
sigmaprime@gmail.com



**AVENUE  
PORTOLA  
RESIDENCE**  
167 AVENUE PORTOLA,  
EL GRANADA CA 94018

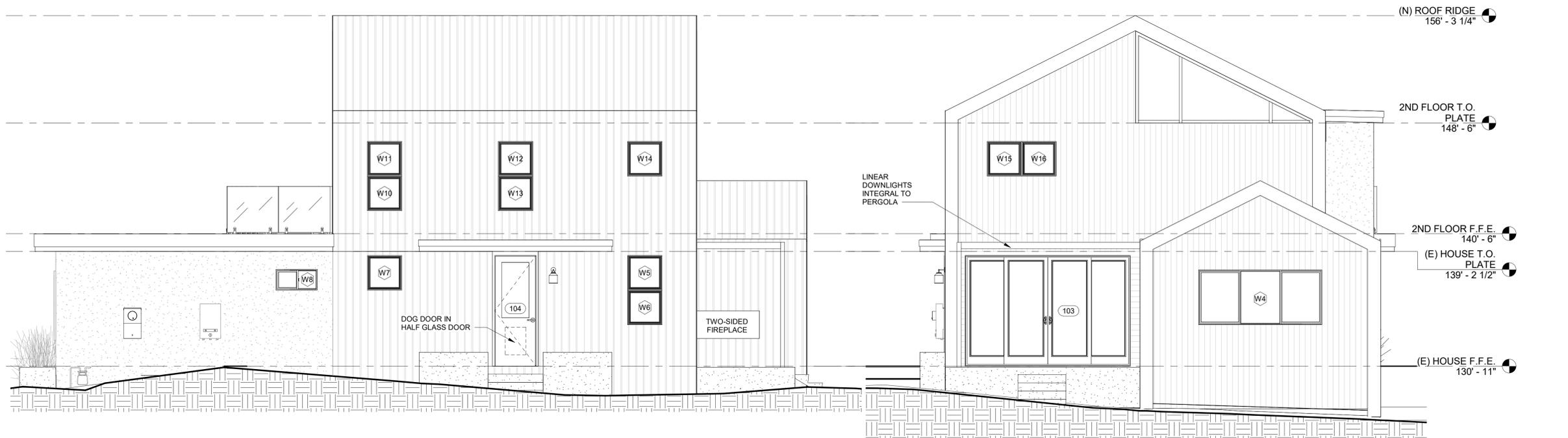
## REVISIONS

NO.	DESCRIPTION	DATE
1	CDRC RESPONSE TO COMMENTS	6/24/2024

PROJECT NUMBER: 22111  
ISSUE DATE: 05/03/2024  
SCALE: 1/4" = 1'-0"  
ISSUE STATUS:  
CDRC APPLICATION

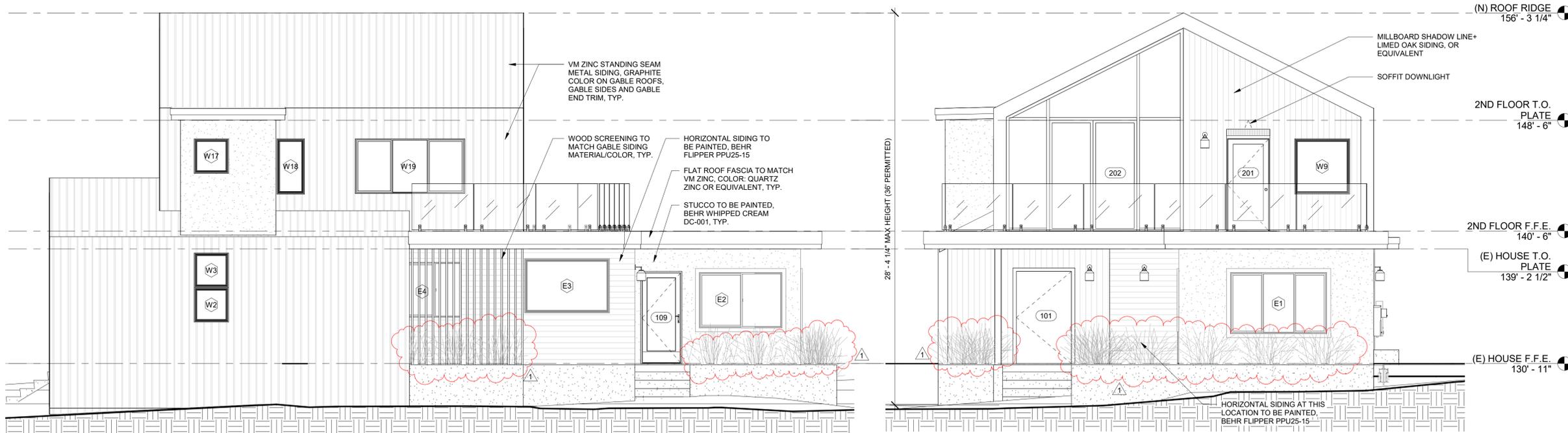
PROPOSED HOUSE  
EXTERIOR  
ELEVATIONS,  
MATERIAL  
SPECIFICATIONS

# A3.1



4 PROPOSED RIGHT SIDE ELEVATION  
1/4" = 1'-0"

3 PROPOSED REAR ELEVATION  
1/4" = 1'-0"

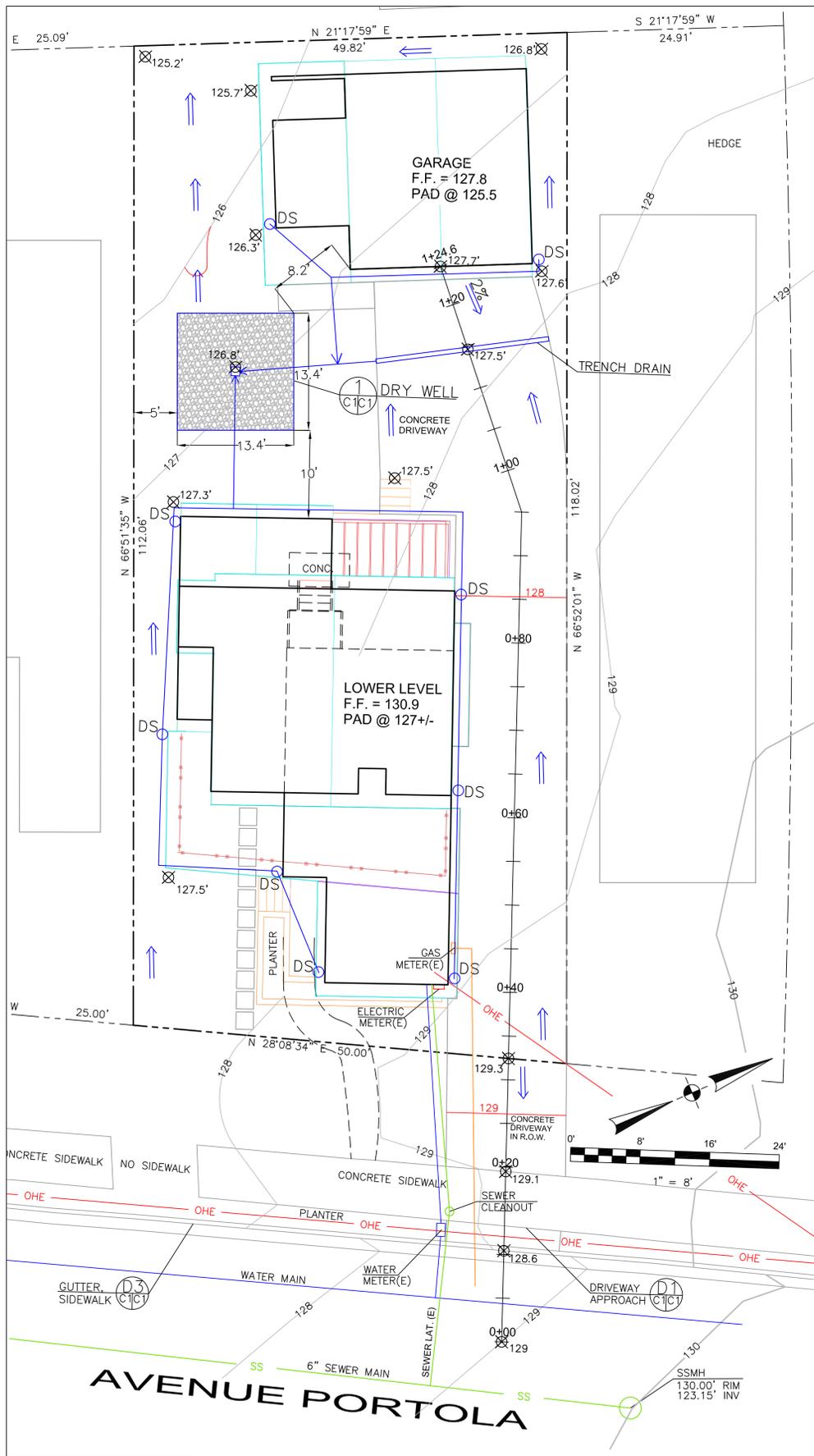


2 PROPOSED LEFT SIDE ELEVATION  
1/4" = 1'-0"

1 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"







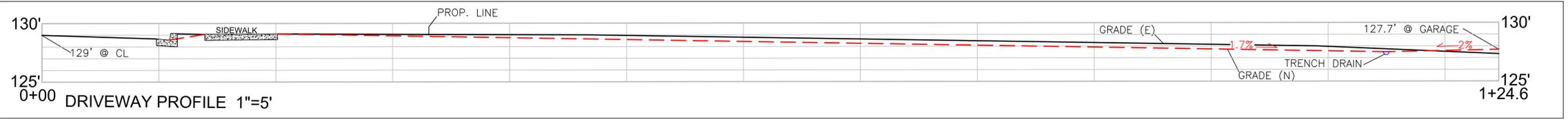
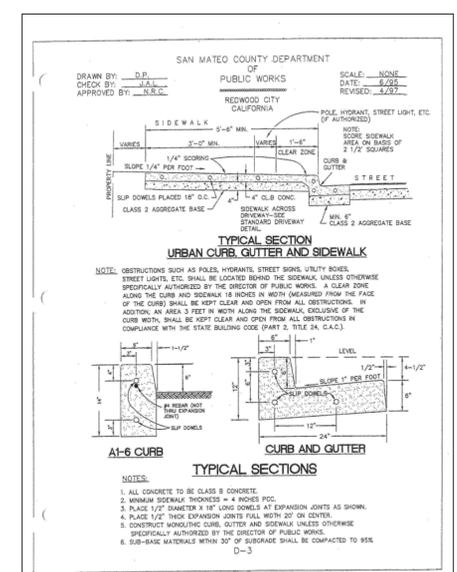
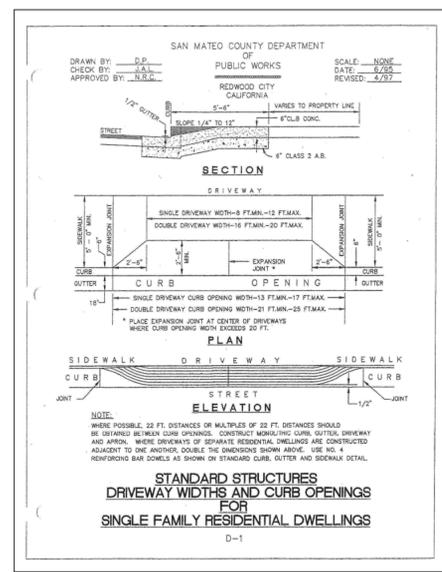
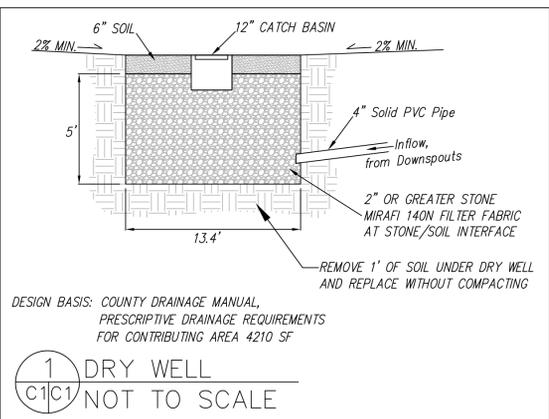
- LEGEND**
- EXISTING CONTOURS
  - DS DOWNSPOUT
  - 4" SOLID DRAIN PIPE
  - DIRECTION OF SURFACE DRAINAGE
  - 127.6' PROPOSED SPOT ELEVATION

- GENERAL NOTES**
1. PLANS PREPARED AT THE REQUEST OF:  
TARA BENSON, OWNER
  2. TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED APRIL 11, 2019.
  3. THIS IS NOT A BOUNDARY SURVEY.
  4. ELEVATION DATUM NAVD88.

- DRAINAGE NOTES**
1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
  2. ALL NEW DOWNSPOUT DRAIN LINES SHALL LEAD TO DRY WELL, AS SHOWN.
  3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
  4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DRY WELL TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

- GRADING NOTES**
- CUT VOLUME : 105 CY (FOR FOUNDATION, DRYWELL, DRIVEWAY)  
FILL VOLUME: 0 CY
- VOLUMES ABOVE ARE APPROXIMATE.
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

**SECTION AND DETAIL CONVENTION**



**GRADING AND DRAINAGE PLAN**

DATE: 4-11-24  
DRAWN BY: CMK  
CHECKED BY: AZG  
REV. DATE: \_\_\_\_\_  
REV. DATE: \_\_\_\_\_

**Sigma Prime Geosciences, Inc.**  
SIGMA PRIME GEOSCIENCES, INC.  
332 PRINCETON AVENUE  
HALF MOON BAY, CA 94019  
(650) 728-3590  
FAX 728-3593

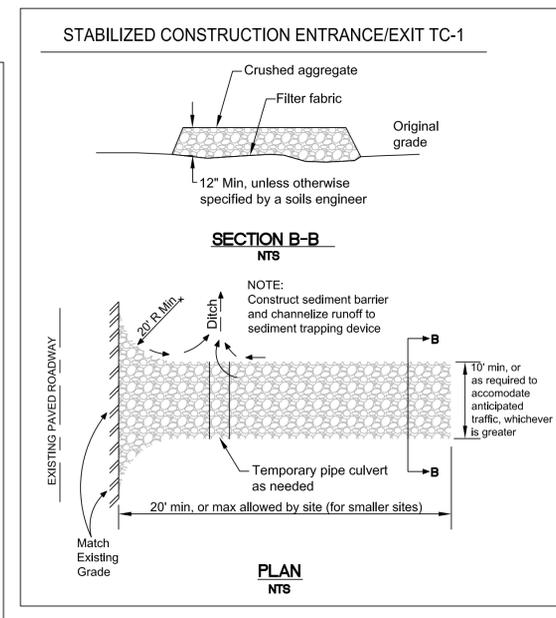
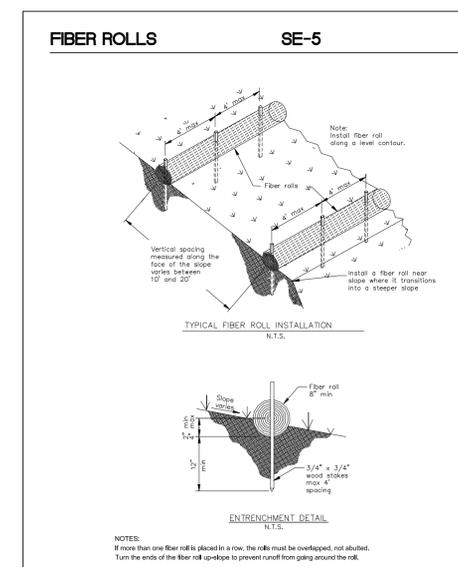
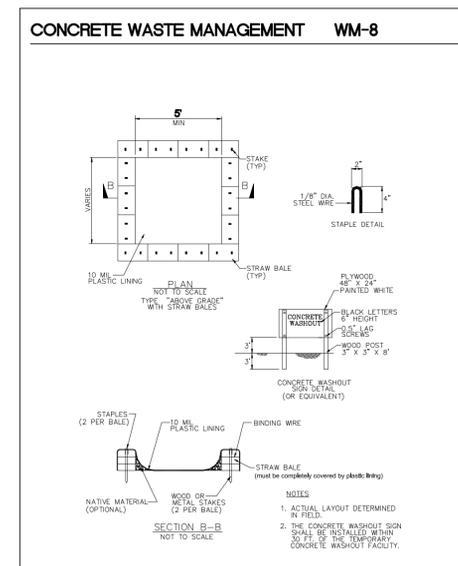
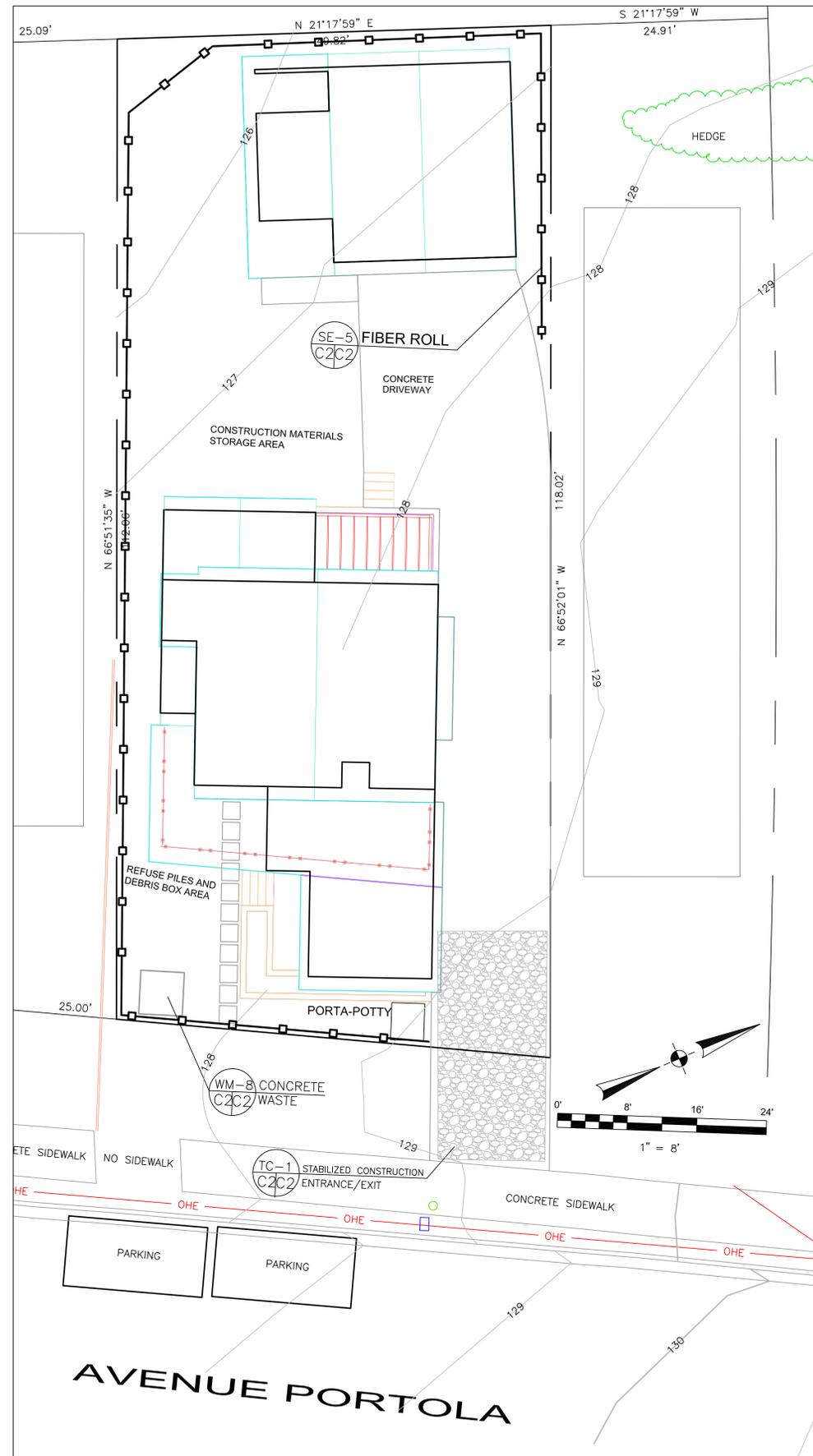
**BRADLEY PROPERTY PORTOLA**  
167 AVENUE PORTOLA  
EL GRANADA

**SHEET**  
C-1

**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

FIBER ROLL  
INSTALL AT LOCATIONS SHOWN.  
AFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.



**Sigma Prime Geosciences, Inc.**  
SIGMA PRIME GEOSCIENCES, INC.  
332 PRINCETON AVENUE  
HALF MOON BAY, CA 94019  
(650) 728-3590  
FAX 728-3593

DATE: 4-11-24  
DRAWN BY: CMK  
CHECKED BY: AZG  
REV. DATE:  
REV. DATE:  
REV. DATE:

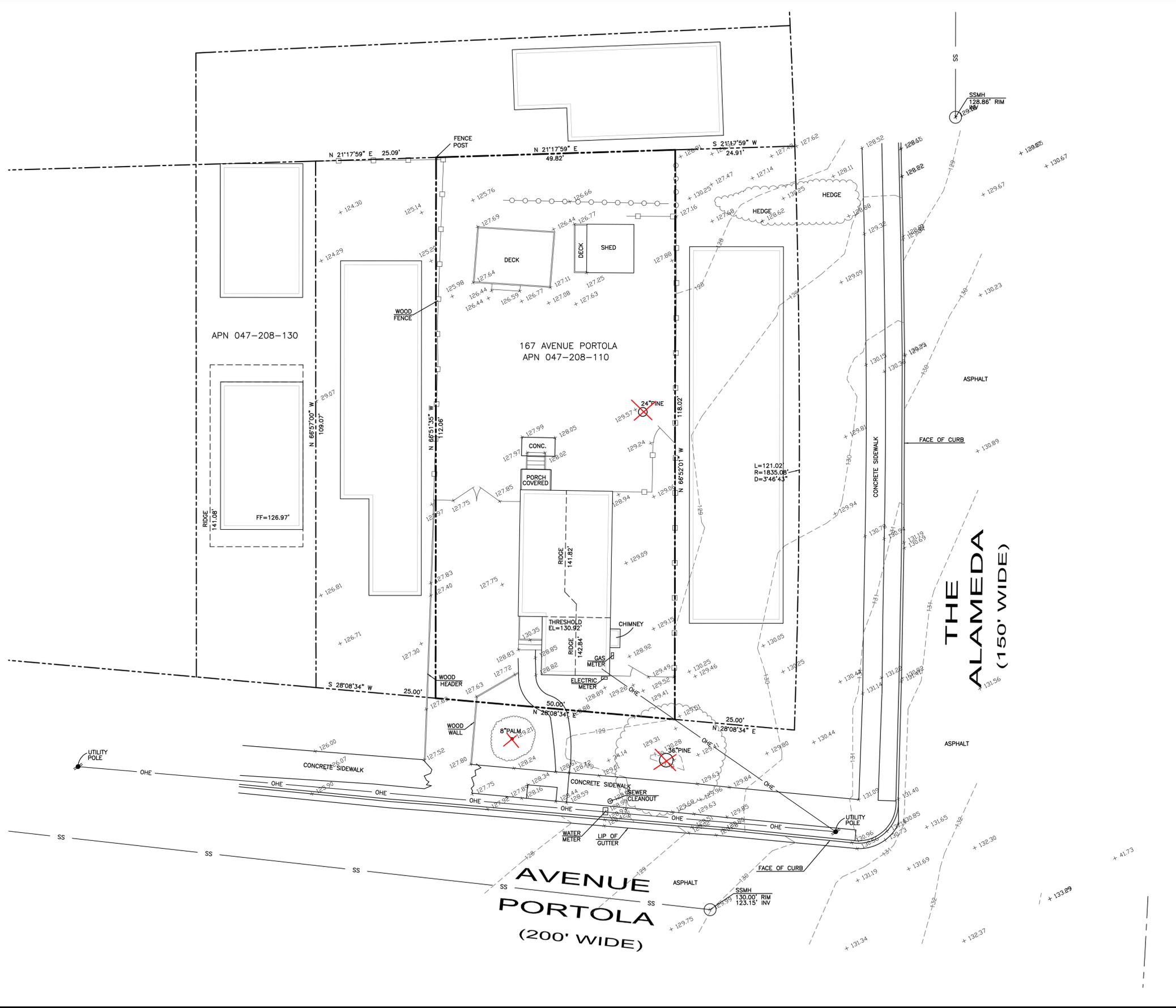
**EROSION AND SEDIMENT CONTROL PLAN**  
BRADLEY PROPERTY  
167 AVENUE PORTOLA  
EL GRANADA

**SHEET C-2**

**EROSION CONTROL POINT OF CONTACT**

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: KATIE KOSTIUK  
TITLE/QUALIFICATION: ARCHITECT  
PHONE: 650-918-7117  
PHONE:  
E-MAIL: KATIE@FATPENSTUDIOS.COM



APN 047-208-130

167 AVENUE PORTOLA  
APN 047-208-110

**THE ALAMEDA**  
(150' WIDE)

**AVENUE PORTOLA**  
(200' WIDE)

**BENCHMARK STATEMENT:**  
THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

**SURVEYOR'S STATEMENT:**  
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE MAY 2022. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO EASEMENTS SHOWN. EASEMENTS OF RECORD MAYBE LISTED IN THE TITLE REPORT.

  
 Saviar P. Micallef  
 LAND SURVEYOR, LS 8289  
 (805) 708-2423  
 DATE: 05-23-22

**NOTE: TREES WITH RED X HAVE BEEN REMOVED SINCE SURVEY WAS COMPLETED**

SAVIOR P. MICALLEF LAND SURVEYING  
421 WILDWOOD DRIVE  
SOUTH SAN FRANCISCO, CA 94080  
805/708-2423

TOPOGRAPHIC SURVEY OF  
167 AVENUE PORTOLA  
CITY OF EL GRANADA SAN MATEO COUNTY CALIFORNIA

Revisions	No.	Date	Scale	Design	Drawn	Approved	Job No.
		05-23-22	1"=20'	SPM	SPM		
Drawing Number:							
1 OF 1							