

# FAT PEN

S T U D I O S

## PROJECT DATA

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2022 BUILDING CODE, CALIFORNIA ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODE, AS AMENDED AND ADOPTED BY SAN MATEO COUNTY.

2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS OF THE SITE, AND EXISTING UTILITIES PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.

3. CONTRACTOR SHALL COMPLY WITH ALL CITY ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PERTINENT PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. NOTIFY ARCHITECT IF THE DRAWINGS ARE AT VARIANCE THERWITH.

4. CONTRACTOR SHALL MAKE A RECORD SET OF ALL AS-BUILT CONDITIONS AND PROVIDE THE ARCHITECT WITH A SET OF REPRODUCIBLE AS-BUILT DRAWINGS UPON COMPLETION OF THE PROJECT.

5. ALL SCALE DETAILS SHOWN ON THIS SET OF DRAWINGS SHALL CONFORM TO THE DIMENSIONS GIVEN ON DRAWINGS OR CONSULT WITH ARCHITECT. ALL INTERIOR DIMENSIONS ARE TO THE FACE OF FINISH UNLESS OTHERWISE NOTED. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING UNLESS OTHERWISE NOTED.

6. REFER TO STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL REQUIREMENTS OF THIS DISCIPLINE. ALL STRUCTURAL INFORMATION SHOWN ON ARCHITECTURAL DRAWINGS IS FOR COORDINATION PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLY NOTIFY ARCHITECT UPON DISCOVERY OF ANY POSSIBLE CONFLICTS.

7. PROVIDE FIRE BLOCKING AT CEILINGS, FLOORS, FURRED DOWN CEILING, SHOWERS, SOFFITS, AND AT CONCEALED DRAPE OPENINGS NOT TO EXCEED 10" MAXIMUM.

8. THE MINIMUM TRUSS SPACING SHALL BE 10 INCHES. THE MAXIMUM RISER SHALL BE 7.75 INCHES WITH A MAXIMUM VARIATION OF 3/8 INCH.

9. SHEATHING SHALL BE PROVIDED PER T24 REPORT. REFER TO ROOF NOTES, SECTIONS & DETAILS FOR SPECIFIC INSULATION SPECIFICATIONS. GENERALLY, EXTERIOR WALLS SHALL BE R-15, FLOORS SHALL BE R-19 (NOT APPLICABLE ON SLAB), ROOF SHALL BE R-38 (TYP).

10. ALL SHEET METAL WORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "SMACNA ARCHITECTURAL SHEET METAL MANUAL," LATEST ADDITION.

11. ALL DOORS NOT LOCATED BY DIMENSIONS ON PLANS SHALL BE 4" FROM FACE OF STUD TO EDGE OF OPENING.

12. ALL WOOD DOORS SHALL BE 1 1/2" THICK UNLESS OTHERWISE NOTED. TAPE AND FINISH ALL JOINTS AND NAIL HEADS. ALL GYPSUM DRYWALL SHALL BE FINISHED TO MATCH EXISTING.

13. FURNISH AND INSTALL PERIMETER WEATHER STRIPPING AND THRESHOLDS AT EXTERIOR DOORS AS MANUFACTURED BY PEMKO OR EQUIVALENT.

14. NEW WINDOWS AND EXTERIOR DOORS WITH GLAZING SHALL MEET THE U-FACTOR AND SHGC SPECIFIED IN THE T24 REPORT. DIMENSIONS ARE NOMINAL - VERIFY WITH MFR FOR SPECIFIC R-F AND MODEL NUMBER.

15. ALL GLASS AND GLAZING SHALL CONFORM WITH HUMAN IMPACT AND SAFETY REQUIREMENTS AND SHALL BE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE CALIFORNIA BUILDING CODE, LATEST EDITION. ALL GLASS SHALL BE SET ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

16. EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FINISH INTO ONE CORNER WHERE THE WINDOW IS GLAZED.

17. FURNISH, TAG AND DELIVER TO THE JOB SITE ALL FINISHED HARDWARE AS REQUIRED TOGETHER WITH ALL NECESSARY SCREWS, FITTINGS, TRIM, ETC. FOR A COMPLETE AND READY INSTALLATION. REVIEW FINISH HARDWARE WITH OWNER PRIOR TO ORDERING.

18. GYPSUM DRYWALL MATERIAL & APPLICATION SHALL BE IN ACCORDANCE WITH THE "GYPSUM CONSTRUCTION HANDBOOK," LATEST EDITION AS PUBLISHED BY UNITED STATES OF AMERICA GYPSUM BOARD. THE UNIFORM FINISH CODE, LATEST ADOPTED EDITION, GYPSUM WALLBOARD SHALL BE 1/2" THICK UNLESS OTHERWISE NOTED. TAPE AND FINISH ALL JOINTS AND NAIL HEADS. ALL GYPSUM DRYWALL SHALL BE FINISHED TO MATCH EXISTING.

19. PROVIDE CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS AS A BASE FOR ALL WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS.

20. ALL WORK SHALL BE MANUFACTURED IN ACCORDANCE WITH THE STANDARDS IN THE LATEST EDITION OF THE "MANUAL OF MILLWORKS OF THE WOODWORKING INDUSTRY OF CALIFORNIA (WCI). EXTERIOR TRIM SHALL MATCH EXISTING, AND RECEIVE A WATER REPELLANT PRESERVATIVE TREATMENT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. INSTALLATION OF MILLWORK SHALL CONFORM TO WPC CUSTOM GRADE STANDARDS.

21. ALL INTERIOR PAINT SHALL BE LOW-V.O.C., BY BENJAMIN MOORE OR EQ.

22. PAINT AND STAIN COLORS, MOLDINGS & FLOORINGS AS WELL AS ELECTRICAL, LIGHTING & PLUMBING FIXTURES TRIM SHALL BE SELECTED BY THE OWNER.

23. PAINT WORK SHALL BE IN ACCORDANCE WITH THE BENJAMIN MOORE PATENTS "SPECIFICATIONS FOR ARCHITECT, ENGINEERS AND PAINTING CONTRACTORS." LATEST EDITION. ALL PRODUCTS SHALL BE THOSE OF BENJAMIN MOORE PAINTS, OR EQUIVALENT PRODUCTS. ALL COLORS SHALL BE AS SELECTED BY THE OWNER. PREPARE LARGE SAMPLES OF EACH COLOR FOR REVIEW BY THE OWNER BEFORE PROCEEDING WITH THE WORK. ALL EXTERIOR & INTERIOR SURFACES SHALL RECEIVE (1) COAT PRIMER AND (2) COATS FINISH S DIRECTED BY THE OWNER. INTERIOR PAINT TO BE ROLLED-ON, NOT SPRAYED.

24. USE LOW-V.O.C. CAULK AND CONSTRUCTION ADHESIVES FOR ALL ADHESIVES.

25. KITCHEN COUNTERTOPS, BACKSLASH AND SLABS AS WELL AS EDGE PROFILES AND COLOR SHALL BE SELECTED BY THE OWNER. FINISH SHALL BE POLISHED. SUBMIT SAMPLES TO THE OWNER FOR APPROVAL. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

26. FURNISH AND INSTALL FLOORING AS SELECTED BY THE OWNER INCLUDING FINISH. INSTALLATION OF FLOORING AND APPLICATION OF FINISH SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

27. CONTRACTOR SHALL INSTALL "ENERGY STAR" RESIDENTIAL APPLIANCES AS SELECTED BY OWNER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

28. ALL UTILITIES SHALL BE LOCATED AND MARKED BY THE OWNER AND SHALL INCLUDE ALL FITTINGS, TRIM & ACCESSORIES REQUIRED FOR A COMPLETE & FINISHED INSTALLATION. SEE ADDITIONAL BATHROOM NOTES ON A2-2.

29. PROVIDE SMOKE DETECTORS IN THE FOLLOWING AREAS (AS APPLICABLE): AT EACH STORY AND BASEMENT; WITHIN EACH BEDROOM AND CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVEN SUBJECT TO EACH SLEEPING AREA; IN EACH ROOM WHERE NON-BEDROOM CEILING HEIGHTS EXCEED THE HALL CEILING HEIGHT BY MORE THAN 2'-0". SMOKE DETECTOR ALARMS SHALL BE INSTALLED A MINIMUM OF 10 FEET HOISTED ABOVE THE CEILING FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. SMOKE DETECTORS SHALL BE REQUIRED TO BE LISTED BY THE CALIFORNIA STATE FIRE MARSHALL AND SHALL BE POWERED BY 110V BUILDING WIRING WITH BATTERY BACKUP.

30. CARBON MONOXIDE (CO) ALARMS SHALL BE INSTALLED ON THE CEILING OR WALL IN EACH AREA/HALLWAY ADJACENT TO SLEEPING ROOMS. CARBON MONOXIDE DETECTORS SHALL BE REQUIRED TO BE LISTED BY THE CALIFORNIA STATE FIRE MARSHALL AND SHALL BE POWERED BY A BUILDING WIRING WITH BATTERY BACKUP REFER TO ELECTRICAL PLAN, E-1.

31. INSTALLATION OF WIRING, ELECTRICAL DEVICES & LIGHTING FIXTURES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS & SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION.

32. CONFIRM LOCATION OF ALL HEATING OUTLETS, ELECTRICAL RECEPTACLES & SWITCHES WITH OWNER PRIOR TO INSTALLATION.

33. FURNISH AND INSTALL FLOORING AS SELECTED BY THE OWNER INCLUDING FINISH. INSTALLATION OF FLOORING AND APPLICATION OF FINISH SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

34. PLUMBING FIXTURES SHALL BE AS SELECTED BY THE OWNER AND SHALL INCLUDE ALL FITTINGS, TRIM & ACCESSORIES REQUIRED FOR A COMPLETE & FINISHED INSTALLATION. SEE ADDITIONAL BATHROOM NOTES ON A2.2.

35. PROVIDE DUCTING TO THE EXTERIOR FROM ALL BATHROOM EXHAUST. SEE ADDITIONAL NOTES ON A2.2.

36. **A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION & DEMOLITION WASTE GENERATED AT THE SITE SHALL BE RECYCLED AND AN ENVIRONMENTAL MONITORING OR SUPERVISORY PROGRAM SHALL BE IMPLEMENTED THAT REQUIRE CERTAIN AND SUBMIT THE "CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT AGREEMENT" FORM PRIOR TO PULLING THE PERMIT. CONTACT GREEN HALO RECYCLING SPECIALIST WITH ANY QUESTIONS.**

37. WRB: WATER RESISTIVE BARRIER = 2 LAYERS SUPER JUMBO TEX, 60 MINUTE BUILDING PAPER, OR EQUAL. USE UNDER ALL EXTERIOR WALL CLADDINGS, PROVIDE 4 IN. HORIZONTAL PLANS, 12 IN. END LAPS MINIMUM. SEAL PENETRATIONS WATERTIGHT. REAR DRAINS, FEED, AND WATER PATHS TO PREVENT WATER INTRUSION BEFORE CONCEALMENT. SEAL SELF-ADHERED FLASHING, FLASHING, AND FLASHING TO BE USED UNDER CEMENT PLASTER WITH 1 LAYER WRB MATERIAL TO PREVENT DIRECT CONTACT WITH CEMENT PLASTER.

38. SAF1 = 40-MIL PVCOR V-40 (SSS RUBBER) OR EQUAL. USE UNDER TRIM, STANDARD DETAILING.

40. SAF3 = 25-MIL ALUMINUM FLASHING (SSS RUBBER) OR EQUAL. USE AT WINDOWS/DOORS TO SEAL AGAINST.

41. SAF2 = 30-MIL GRACE ULTRA (BUTYL RUBBER) OR EQUAL. USE AT HIGH-HEAT LOCATIONS, UNDER SHEET METAL EXPOSED TO SUN AND RED HOT STEEL ROOFING.

42. WINDOW/DOOR SILL PANS AND HEAD FLASHINGS: PROVIDE WINDOWS/DOORS WITH WATERTIGHT SOLDERED SHEET METAL SILL PANS WITH REAR VERTICAL LEG, END DAMS, 4 IN. HIGH FLANGES, AND HEAD FLASHINGS WITH SOLDERED END CAPS AND 4 IN. HIGH FLANGES OUT TO WALL SURFACE FOR INTEGRATING WITH WRB AND WATERPROOFING SYSTEMS.

43. PROVIDE SAF WRAPPING INTO FULL PERIMETER OF ROUGH OPENINGS UNDER WINDOW/DOOR SILL PANS AND ATTACHMENT.

44. PROVIDE SAF OVER WRB, AT ALL INSIDE/OUTSIDE EXTERIOR WALL CORNERS, SOFFIT EDGES, UNDER STUCCO CONTROL JOINTS, OVER WEEP SCREEDS, AND UNDER SHEET METAL FLASHINGS.

45. PER CRC SECTION 313.3.7, AN OWNER'S MANUAL FOR THE FIRE SPRINKLER SYSTEM SHALL BE PROVIDED TO THE OWNER. A SIGN OF VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: TEST, VERIFICATION, COMMISSION, OR SERVICE DATE. SUBMIT THE SIGNATURE OF THE CONTRACTOR THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN."

46. PER CALIFORNIA TEST METHOD 206.00, VERIFICATION OF COMPLIANCE WITH 2016 CALIFORNIA GREEN BUILDING CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DEPARTMENT WHICH WILL SHOW SUBSTANTIAL CONFORMANCE. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER CGC 4.4.10.

47. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE EXPOSED WHEN THE FRAMING MEMBERS EXCEED 1% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE CHECKED PRIOR TO FINISH MATERIAL APPLICATION PER CALIFORNIA TEST METHOD 206.00.

48. RODENT PROOFING: ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUIITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE RODENT PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY PER CGC 4.406.1.

49. A CAPILLARY BREAK SHALL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK, TYPE II or III POLYURETHANE RETARDER UNDER A 6 MIL VAPOUR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER CGC 4.505.2 AND CGC 5.05.2.3



## ANNOTATIONS

Q	AT	HORIZ	HORIZONTAL
Q	CENTERLINE	HVAC	HEATING, VENTILATING
#	POUND OR NUMBER		AIR CONDITIONING
A.B.	ANCHOR BOLT	INSUL	INSULATION
A.D.	AREA DRAIN	MAX	MAXIMUM
A.F.F.	ABOVE FINISH FLOOR	MECH	MECHANICAL
AFCI	ARC FAULT CIRCUIT INTERRUPT	MEMB	MEMBRANE
ALUM	ALUMINUM	MET/MTL	METAL
ANOD	ANODIZED	MFR	MANUFACTURER
APPROX	APPROXIMATE	MIN	MINIMUM
ARCH	ARCHITECTURAL	(N)	NEW
BD	BOARD	N.T.S.	NOT TO SCALE
CLR	CLEAR	O/	OVER
CONC	CONCRETE	O.C.	ON CENTER
CONSTR	CONSTRUCTION	PLYWD	PLYWOOD
CTR	CENTER	PT	POINT
DBL	DOUBLE	REIN	REINFORCED
DEMO	DEMOLISH	REF	REFRIGERATOR
DIM	DIMENSION	REQD	REQUIRED
DN	DOWN	R.O.	ROUGH OPENING
D.S.	DOWNSPOUT	SIM	SIMILAR
DWG	DRAWING	SPEC	SPECIFICATION
(E)EXIST	EXISTING	STD	STANDARD
ELEC	ELECTRICAL	STL	STEEL
ELEV	ELEVATOR OR ELEVATION	STRUCT	STRUCTURAL
EQ	EQUAL	S.S.	SANITARY SEWER
EXT	EXTERIOR	S.S.D.	SEE STRUCTURAL DRAWINGS
F.A.R.	FLOOR AREA RATIO	SYM	SYMBOLICAL
F.B.O.	FURNISHED BY OWNER/OTHER	T	TREAD
FL	FLOOR	TEMP	TEMPERED
F.O.C.	FACE OF CONCRETE	T.O.S.	TOP OF SLAB
F.O.F.	FACE OF FINISH	T.W.	TOP OF WALL
F.O.S.	FACE OF STUD	TYP	TYPICAL
FT	FOOT OR FEET	U.O.N.	UNLESS OTHERWISE NOTED
GA	GAUGE	V.I.F.	VERIFY IN FIELD
GALV	GALVANIZED	W/	WITH/WASHER
GFI	GROUND FAULT INTERRUPTOR	WD	WOOD
GSM	GALVANIZED SHEET METAL	W/O	WITHOUT
GYSUM	GYPSPUM	WTRPROOF	WATERPROOF
H.C.	HOLLOW CORE	WRB	WEATHER-RESISTANT BARRIER
HDWD	HARDWOOD	W.S.	WEATHERSTRIP

## SHEET INDEX

ARCHITECTURE	
A0.0	PROJECT DATA, VICINITY MAP, GENERAL NOTES, SHEET INDEX
A0.1	AREA PLANS, DOOR & WINDOW SCHEDULES, MECH. NOTES, VENT CALCS
A1.0	EXISTING & PROPOSED SITE PLAN
A2.0	EXISTING / DEMO FLOOR PLANS, DEMO NOTES
A2.1	PROPOSED FLOOR PLANS
A2.2	PROPOSED ROOF PLANS
A3.0	EXISTING HOUSE ELEVATIONS, PROPOSED DETACHED GARAGE ELEVATIONS, GARAGE SECTIONS
A3.2	PROPOSED HOUSE EXTERIOR ELEVATIONS, MATERIAL SPECIFICATIONS
A4.0	PERSPECTIVE VIEWS
A4.0	BUILDING SECTIONS
CIVIL	
C1	DRAINAGE PLAN
C2	EROSION CONTROL PLAN
SURVEYOR	
SU-1	BOUNDARY & TOPOGRAPHIC SURVEY

<b><u>APN:</u></b>	047-208-110
<b><u>ZONING:</u></b>	R-3(S-3/DR/CD)
<b><u>APPLICABLE CODES:</u></b>	2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA FIRE CODE ALL OTHER STATE AND LOCAL ORDINANCES AND REGULATIONS ADOPTED BY SAN MATEO COUNTY.
<b><u>CONSTRUCTION TYPE:</u></b>	VB
<b><u>OCCUPANCY:</u></b>	R-3 (MAIN RESIDENCE) / U-1 (GARAGE)
<b><u>LOT AREA:</u></b>	5,729.21 SF
<b><u>AREA SUMMARY (REFER TO AREA PLANS, A0.1):</u></b>	
EXISTING AREA:	700.94 SF
PROPOSED GARAGE AREA:	654.57 SF
PROPOSED 1ST FLOOR ADDITION:	433.60 SF
PROPOSED 2ND FLOOR ADDITION:	758.24 SF
TOTAL PROPOSED FLOOR AREA:	2,547.35 SF (NO FLOOR AREA LIMITATION IN S-3 ZONING)
<b><u>MAX LOT COVERAGE (50%):</u></b>	2,864.61 SF
<b><u>PROPOSED LOT COVERAGE:</u></b>	1,948.01 SF (SEE AREA PLANS & CALCULATIONS, A0.1)
<b><u>REQUIRED FRONT SETBACK:</u></b>	20'
<b><u>REQUIRED REAR SETBACK:</u></b>	20'
<b><u>REQUIRED SIDE SETBACK:</u></b>	5'
<b><u>MAX HEIGHT:</u></b>	36 FEET / 3 STORIES
<b><u>PROJECT SCOPE:</u></b>	ADDITIONS & RENOVATIONS TO EXISTING SINGLE STORY

**FIRE SPRINKLERS:** PER SECTION 9105, SECTION 903.6.1(C)5, A NFPA-13D AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE REQUIRED UNDER A SEPARATE PERMIT DUE TO THE ADDITION OF A SECOND STORY WHEN ONE DID NOT PREVIOUSLY EXIST.

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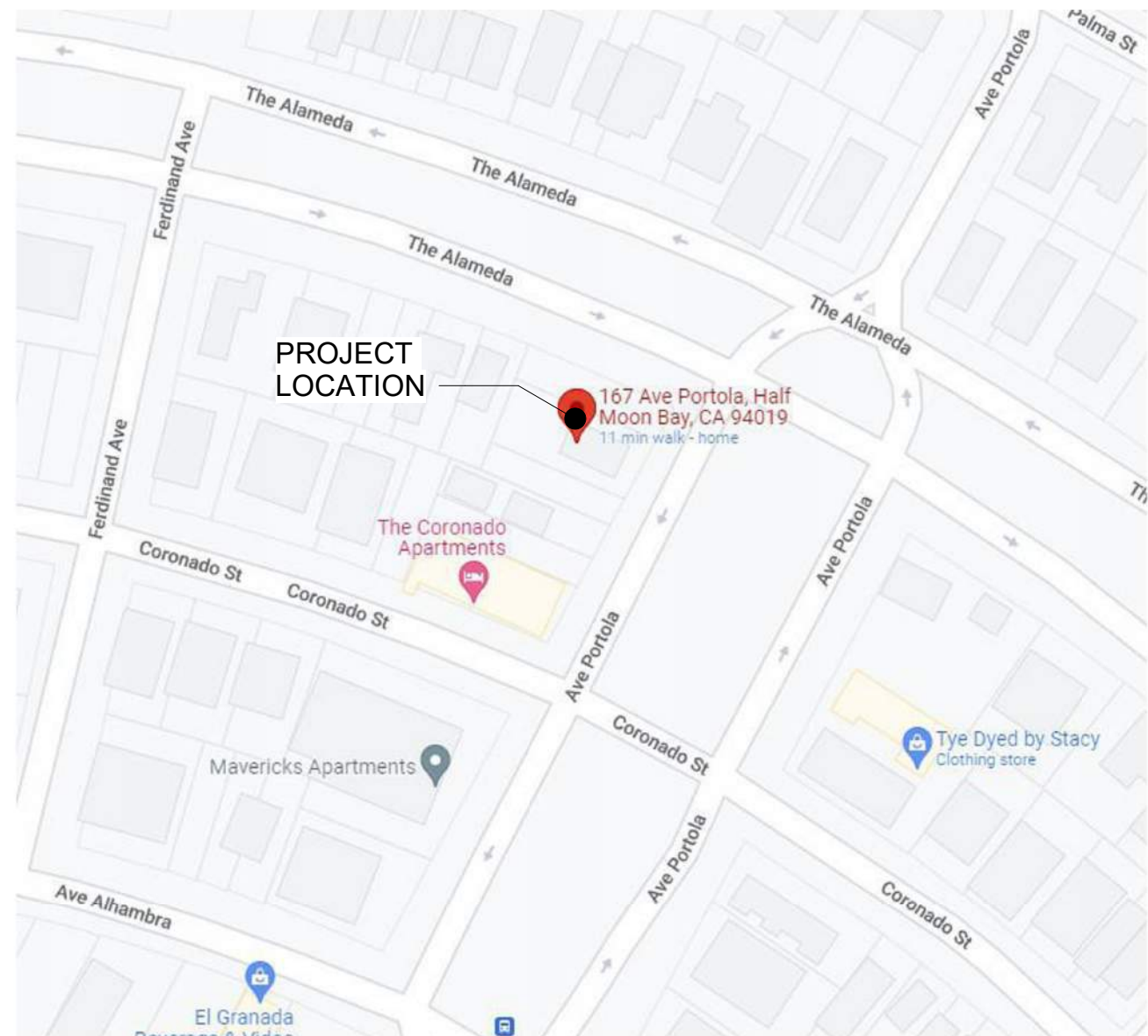
## CONSTRUCTION HOURS

NOISE SOURCES ASSOCIATED WITH DEMOLITION, CONSTRUCTION, REPAIR, REMODELING, OR GRADING OF ANY REAL PROPERTY, PROVIDED SAID ACTIVITIES DO NOT TAKE PLACE BETWEEN THE HOURS OF 6:00 P.M. AND 7:00 A.M. WEEKDAYS, 5:00 P.M. AND 9:00 A.M. ON SATURDAYS OR AT ANY TIME ON SUNDAYS, THANKSGIVING AND CHRISTMAS.

## CONSTRUCTION HOURS

NOISE SOURCES ASSOCIATED WITH DEMOLITION, CONSTRUCTION, REPAIR, REMODELING, OR GRADING OF ANY REAL PROPERTY, PROVIDED SAID ACTIVITIES DO NOT TAKE PLACE BETWEEN THE HOURS OF 6:00 P.M. AND 7:00 A.M. WEEKDAYS, 5:00 P.M. AND 9:00 A.M. ON SATURDAYS OR AT ANY TIME ON SUNDAYS, THANKSGIVING AND CHRISTMAS.

## VICINITY MAP



PROJECT NORTH

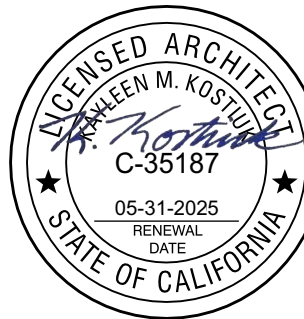
TRUE NORTH

## PROJECT DIRECTORY

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AVENUE  
PORTOLA  
RESIDENCE  
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## REVISIONS

[illegible]

PROJECT NUMBER:	22111
ISSUE DATE:	05/03/2024
SCALE:	As indicated
ISSUE STATUS:	

## CDRC APPLICATION

PROJECT DATA,  
VICINITY MAP,  
GENERAL NOTES,  
SHEET INDEX

# A0.0



## DOOR & WINDOW SCHEDULES

WINDOW SCHEDULE						
NO.	TYPE	WIDTH	HEIGHT	SILL HT	HEAD HT	COMMENTS
GARAGE F.F.E.						
W0	SLIDER	6' - 0"	3' - 6"	3' - 2"	6' - 8"	
W1	CASEMENT	2' - 6"	4' - 0"	4' - 0"	8' - 0"	TEMPERED GLASS

(E) HOUSE F.F.E.						
E1	SLIDER-FIXED-SLIDER	7' - 0"	4' - 5"	2' - 2"	6' - 7"	EXISTING
E2	SLIDER	6' - 0"	4' - 0"	2' - 7"	6' - 7"	EXISTING
E3	FIXED	6' - 2"	3' - 11"	3' - 8"	7' - 7"	EXISTING
E4	SLIDER	4' - 0"	4' - 0"	3' - 4"	7' - 4"	EXISTING
W2	FIXED	2' - 6"	2' - 6"	3' - 0"	5' - 6"	
W3	FIXED	2' - 6"	2' - 6"	5' - 6"	8' - 0"	
W4	CASEMENT-FIXED-CASEMENT	8' - 11 1/2"	3' - 11 1/2"	3' - 0"	6' - 11 1/2"	
W5	FIXED	2' - 6"	2' - 6"	5' - 6"	8' - 0"	
W6	FIXED	2' - 6"	2' - 6"	3' - 0"	5' - 6"	
W7	FIXED	2' - 6"	2' - 6"	5' - 6"	8' - 0"	TEMPERED GLASS
W8	SLIDER	3' - 0"	1' - 6"	5' - 6"	7' - 0"	TEMPERED GLASS

2ND FLOOR F.F.E.						
W9	FIXED	4' - 0"	4' - 0"	2' - 8"	6' - 8"	
W10	FIXED	2' - 6"	2' - 6"	1' - 8"	4' - 2"	
W11	FIXED	2' - 6"	2' - 6"	4' - 2"	6' - 8"	
W12	FIXED	2' - 6"	2' - 6"	4' - 2"	6' - 8"	
W13	FIXED	2' - 6"	2' - 6"	1' - 8"	4' - 2"	
W14	FIXED	2' - 6"	2' - 6"	4' - 2"	6' - 8"	
W15	FIXED	2' - 6"	2' - 6"	4' - 2"	6' - 8"	
W16	FIXED	2' - 6"	2' - 6"	4' - 2"	6' - 8"	
W17	FIXED	2' - 6"	2' - 6"	4' - 2"	6' - 8"	
W18	CASEMENT	2' - 0"	4' - 0"	2' - 8"	6' - 8"	
W19	CASEMENT-FIXED-CASEMENT	7' - 11 1/2"	3' - 11 1/2"	2' - 8 1/2"	6' - 8"	
						TEMPERED GLASS
						TEMPERED GLASS

DOOR SCHEDULE				
NO.	TYPE	WIDTH	HEIGHT	COMMENTS

GARAGE F.F.E.			
001	OVERHEAD GARAGE DOOR	7' - 6"	6' - 8"
002	OVERHEAD GARAGE DOOR	7' - 6"	6' - 8"
003	SINGLE GLASS DOOR	3' - 0"	8' - 0"
004	4-PANEL BIFOLD DOORS	5' - 0"	6' - 8"
005	SINGLE PANEL DOOR	2' - 8"	6' - 8"
006	SINGLE PANEL DOOR	2' - 6"	6' - 8"
007	SLIDING CLOSET DOOR	8' - 0"	6' - 8"
008	SLIDING CLOSET DOOR	8' - 0"	6' - 8"

(E) HOUSE F.F.E.				
101	SINGLE PANEL DOOR	4' - 0"	6' - 8"	
102	SINGLE PANEL DOOR	2' - 8"	6' - 8"	
103	4-PANEL DOUBLE GLASS SLIDER	12' - 0"	6' - 0"	TEMPERED GLASS
104	HALF GLASS DOOR	3' - 0"	8' - 0"	PAIN'TED TO MATCH FRONT DOOR. PROVIDE DOG DOOR AT BOTTOM
105	SINGLE PANEL DOOR	2' - 6"	6' - 8"	
106	SINGLE PANEL POCKET DOOR	2' - 8"	6' - 8"	
107	BIPASS CLOSET DOORS	5' - 0"	6' - 8"	
108	SINGLE PANEL DOOR	2' - 8"	6' - 8"	
109	SINGLE GLASS DOOR	3' - 0"	6' - 8"	TEMPERED GLASS

2ND FLOOR F.F.E.				
201	SINGLE GLASS DOOR	3' - 0"	6' - 8"	TEMPERED GLASS CUSTOM FIXED UNITS FLANKING DOORS - REFER TO ELEVATIONS
202	DOUBLE GLASS SLIDER	6' - 4 1/8"	8' - 0"	
203	SINGLE PANEL DOOR	2' - 8"	6' - 8"	
204	SINGLE PANEL POCKET DOOR	3' - 0"	6' - 8"	
205	SINGLE PANEL POCKET DOOR	2' - 8"	6' - 8"	
206	SINGLE PANEL DOOR	2' - 8"	6' - 8"	
207	SINGLE PANEL DOOR	2' - 8"	6' - 8"	

## AREA PLANS & SCHEDULES

FLOOR AREA & LOT COVERAGE AREA SCHEDULE			
NAME	AREA	DIMENSIONS	COMMENTS

FLOOR AREA			
A5	44.36 SF		
A6	216.18 SF		
A7	338.80 SF		
599.34 SF			

FLOOR AREA / LOT COVERAGE		
A1	86.97 SF	
A2	16.70 SF	
A3	139.96 SF	
A4	189.97 SF	
A8	158.90 SF	
E1	541.51 SF	
E2	131.62 SF	
E3	27.82 SF	
G1	41.93 SF	
G2	145.26 SF	
G3	467.39 SF	
	1948.01 SF	
TOTAL AREA	2547.35 SF	

TOTAL PROPOSED FLOOR AREA = 2,547.35 SF

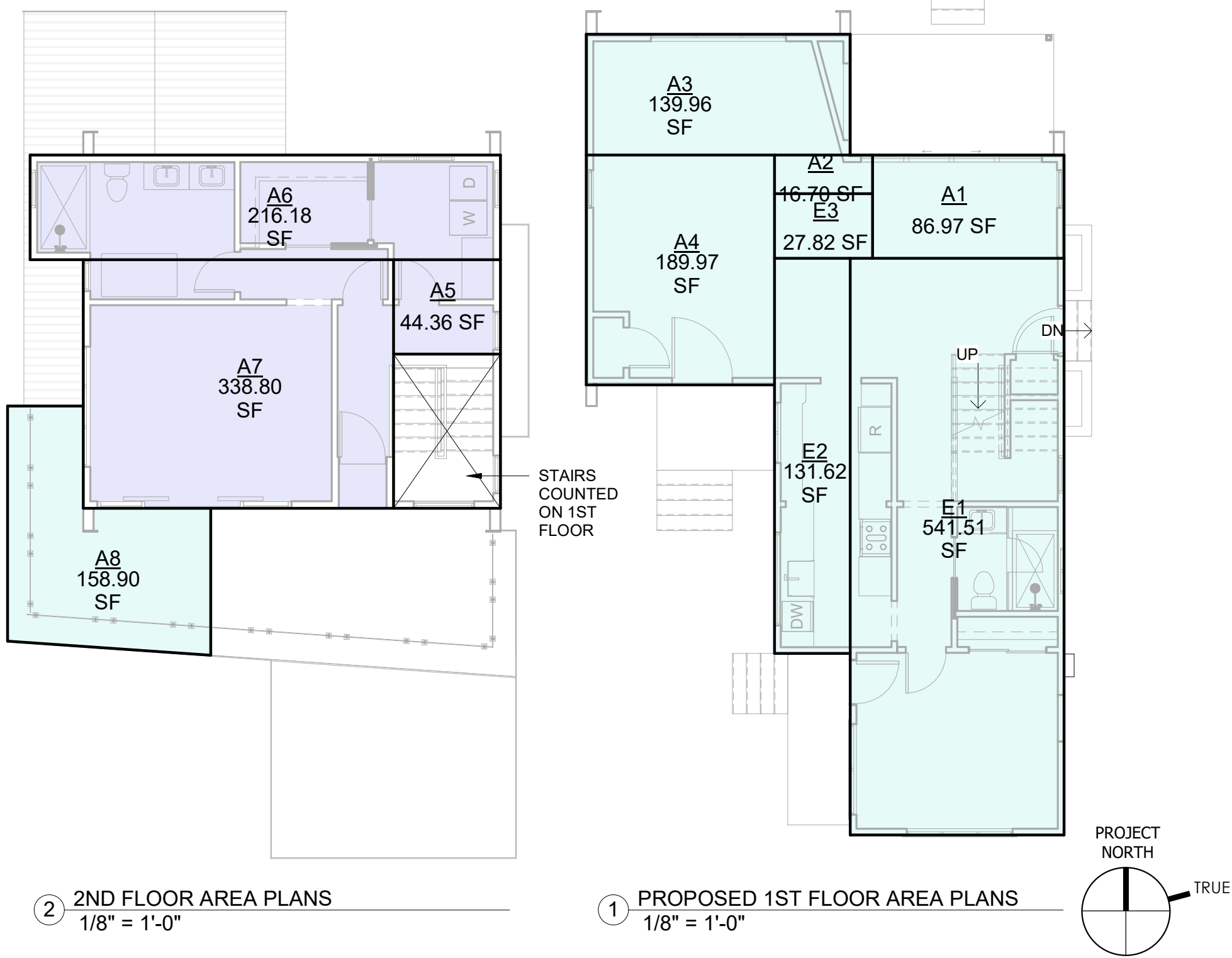
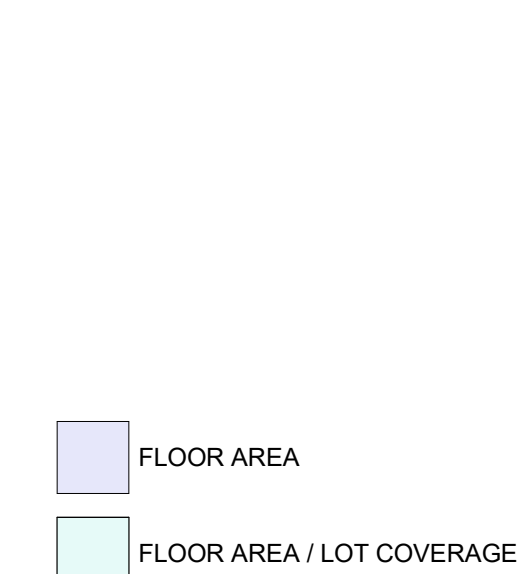
**LOT COVERAGE** = A1 + A2 + A3 + A4 + E1 + E2 + E3 + G1 + G2 + G3 = **1,948.01 SF**

EXISTING VS PROPOSED AREA SCHEDULE			
NAME	AREA	DIMENSIONS	COMMENTS

ADDITION			
A1	86.97 SF		
A2	16.70 SF		
A3	139.96 SF		
A4	189.97 SF		
A5	44.36 SF		
A6	216.18 SF		
A7	338.80 SF		
A8	158.90 SF		
	1191.84 SF		

EXISTING			
E1	541.51 SF		
E2	131.62 SF		
E3	27.82 SF		
700.94 SF			

GARAGE		
G1	41.93 SF	
G2	145.26 SF	
G3	467.39 SF	
	654.57 SF	
TOTAL AREA	2547.35 SF	



## MECHANICAL NOTES

1. REMOVE EXISTING WALL HEATER. NEW HEATING SYSTEM FOR TWO STORY HOUSE TBD DURING PERMITTING PHASE. NEW WALL MOUNTED SPLIT SYSTEM TO BE PROVIDED FOR THE DECKED PORCH.
2. HEATING & AIR CONDITIONING SYSTEM SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
  - A. HEAT LOSS/HEAT GAIN VALUES IN ACCORDANCE WITH ANSII/ACCA 1 MANUAL 1-2004 OR EQUIVALENT.
  - B. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSII/ACCA 1, MANUAL D-2009 OR EQUIVALENT.
  - C. SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH ANSII/ACCA 3, MANUAL S-2004 OR EQUIVALENT.
3. DUCT SIZE REQUIREMENTS SHALL COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR AIR FLOW RATINGS, TYP.
4. DUCTS EXCEEDING 40" IN LENGTH SHALL REQUIRE HERS VERIFICATION, TYP.
5. HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT BY A RECOGNIZED TRAINING OR CERTIFICATION PROGRAM.
6. FOR INTERMITTENT LOCAL EXHAUST, THE MINIMUM BATHROOM INTERMITTENT VENTILATION AIR FLOW SHALL BE 50 CFM AND KITCHEN HOOD EXHAUST SHALL BE 100 CFM PER ASHRAE 62-2010 SECTION 4.6.4.
7. CONTINUOUSLY OPERATING LOCAL EXHAUST BATHROOM FANS SHALL PROVIDE 5 AIR CHANGES PER HOUR MINIMUM PER ASHRAE 62-2010 SECTION 4.6.4.
8. VENTILATION FAN SOUND RATINGS SHALL BE LESS THAN 1000.0 FOR COILS LOCATED ON ROOF OR 90 DBA FOR INTERMITTENT FANS UNLESS THE MAXIMUM RATED AIR FLOW EXCEEDS 400CFM.
9. BATHROOM EXHAUST FANS SHALL ON ENERGY STAR RATED AND SHALL BE DUCTED TO TERMINATE OUTSIDE THE BUILDING PER 2019 CALIFORNIA ENERGY CODE (CEC) PER CEC SECTION 510(o), ALL DWELLING UNITS SHALL MEET THE REQUIREMENTS OF ASHRAE STANDARD 62.2-2010 SECTION 4.6, VENTILATION AND ACCEPTABLE INDOOR AIR QUALITY IN LOW RISE RESIDENTIAL BUILDINGS. PROVIDE WHOLE HOUSE FAN IS LOCATED ON PLANS, AND PROVIDE A LABEL AT A READILY ACCESSIBLE CONTROL SWITCH WHICH READS "FAN TO BE LEFT ON FOR INDOOR AIR QUALITY".
10. THE PRESCRIPTIVE FAN DUCT SIZING REQUIREMENTS FOR AIR FLOW PER ASHRAE 62.2-2010 SECTION 4.6.7.3) SHALL COMPLY WITH TABLE 14-16 OR COMPLY WITH MANUFACTURER'S DESIGN CRITERIA.

**Table 4-16: Prescriptive Duct Sizing for Single-Fan Exhaust Systems**

Duct Type	Flex Duct				Smooth Duct			
Fan Rating Pa (cmH <sub>2</sub> O) 0.25	50	80	100	125	50	80	100	125
Duct diameter	Maximum Length ft.							
3	X	X	X	X	5	X	X	X
4	70	3	X	X	105	35	5	X
5	70	70	35	20	135	85	55	55
6	NL	NL	125	65	NL	NL	NL	145
7 and above	NL	NL	NL	NL	NL	NL	NL	NL

*This table assumes no elbows. Deduct 15 feet of allowable duct length for each elbow.*  
*NL = no limit on length of duct for this size.*  
*X = table allowed, any length of duct at this size with assumed turns and fitting will exceed the rated pressure drop.*

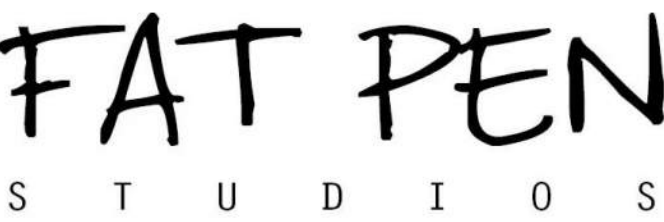
Floor Area (sq ft)	Number of Bedrooms				
	0-1	2-3	4-5	6-7	> 7
< 1500	30	45	60	75	90
1501 - 3000	45	60	75	90	105
3001 - 4500	60	75	90	105	120
4501 - 6000	75	90	105	120	135
6001 - 7500	90	105	120	135	150
> 7500	105	120	135	150	165

## W/D NOTES

1. PROVIDE WATER HEATER HAMMER DEVICE AT SUPPLY LINE OF WASHERS.
2. PROVIDE METAL PAN & DRAIN UNDER WASHER AND DAYLIGHT TO OUTSIDE. TRAP SEAL PROTECTION SHALL BE PROVIDED FOR FLOOR DRAINS THAT ARE INFREQUENTLY USED, PER CPC SECTION 1007.
3. PROVIDE EXHAUST AIR VENT FOR DRYER TO BE EQUIPPED W/DRAFT DAMPER - REFER TO 1/E.1. TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH SHALL NOT EXCEED 14 FEET.

## FLOOR VENT CALCS

<p align="center"><b>HOUSE FLOOR VENT CALCULATIONS</b></p> <p>FLOOR AREA OF CRAWLSPACE TO BE VENTED (SEE 1/A0.1          &amp; 2/A0.1: E1 + E2 + E3 + A1 + A2 + A3 + A4) = 1,134.54 SF</p> <p>1,134.54/150 = 7.6 SF = 1,094.4 SQ. IN NFVA REQUIRED</p> <p>(1) 14" X 7" VENT = 98 SQ.IN. NFVA</p> <p>(12) 14" X 7" VENTS PROVIDED = 1,176 SQ. IN. NFVA</p> <p>1,176 SQ. IN. NFVA PROVIDED &gt; 1,094.4 SQ. IN. REQUIRED</p>
--

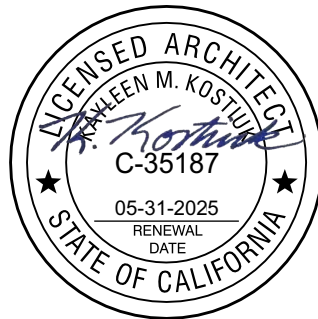


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## REVISIONS

[illegible]

PROJECT NUMBER: 2211

ISSUE DATE: 05/03/2024

SCALE: As indicated

ISSUE STATUS:

CDRC APPLICATION

AREA PLANS, DOOR &  
WINDOW SCHEDULES  
MECH. NOTES, VENT  
CALCS

# A0.1



1. CONTRACTOR SHALL CONSTRUCT A COUNTY STANDARD SIDEWALK PER COUNTY DETAIL D-3 ALONG ENTIRE PARCEL FRONTAGE WHERE NO SIDEWALK EXISTS.
2. CONTRACTOR SHALL REPLACE ANY DAMAGED CURB, GUTTER, AND SIDEWALK ALONG THE ENTIRE PARCEL FRONTAGE PER COUNTY DETAIL D-3.

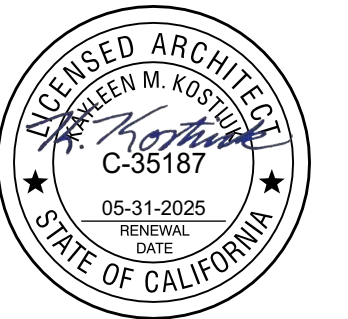
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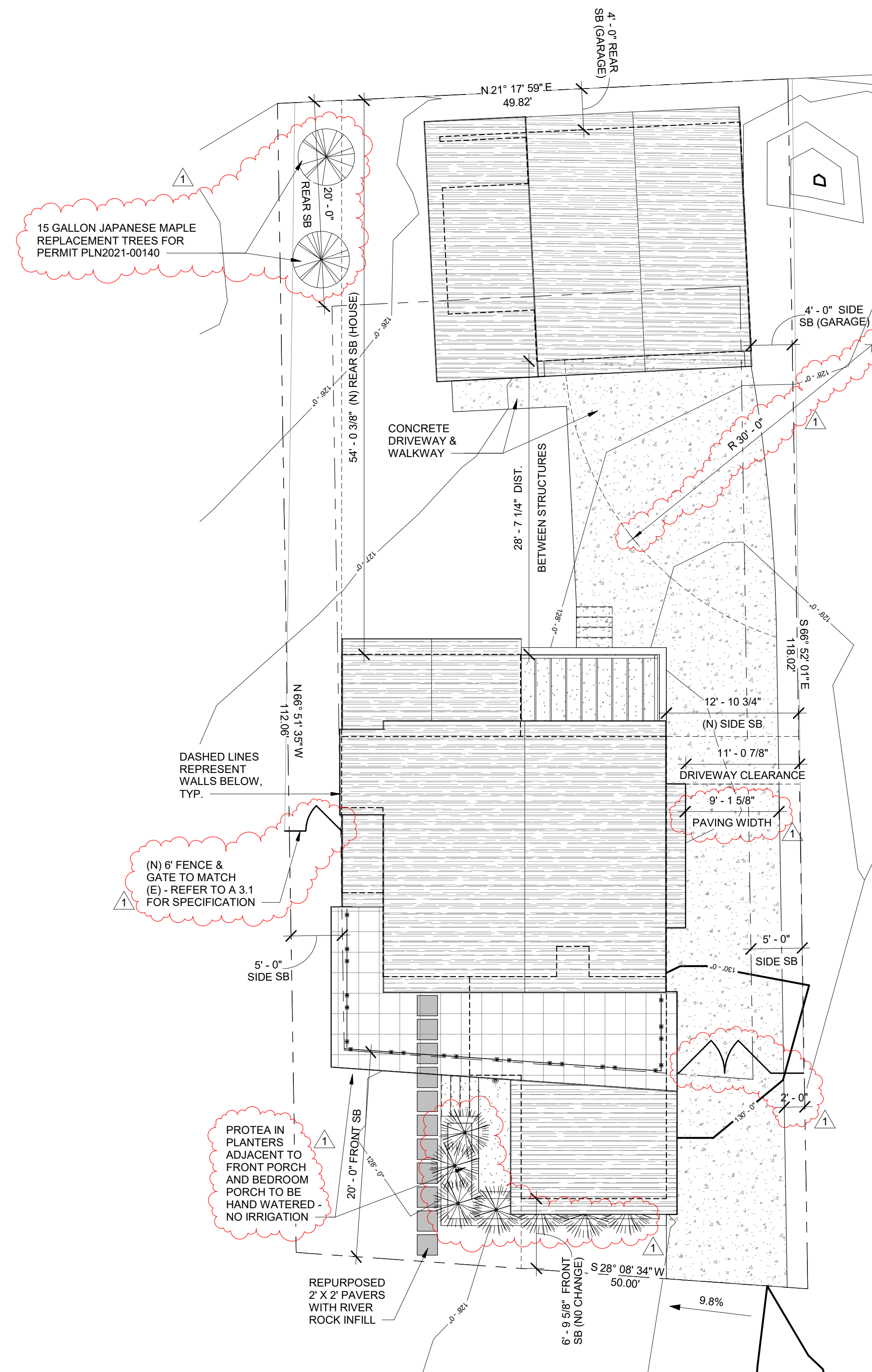
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PROJECT NUMBER:	22111
ISSUE DATE:	05/03/2024
SCALE:	1/8" = 1'-0"
ISSUE STATUS:	

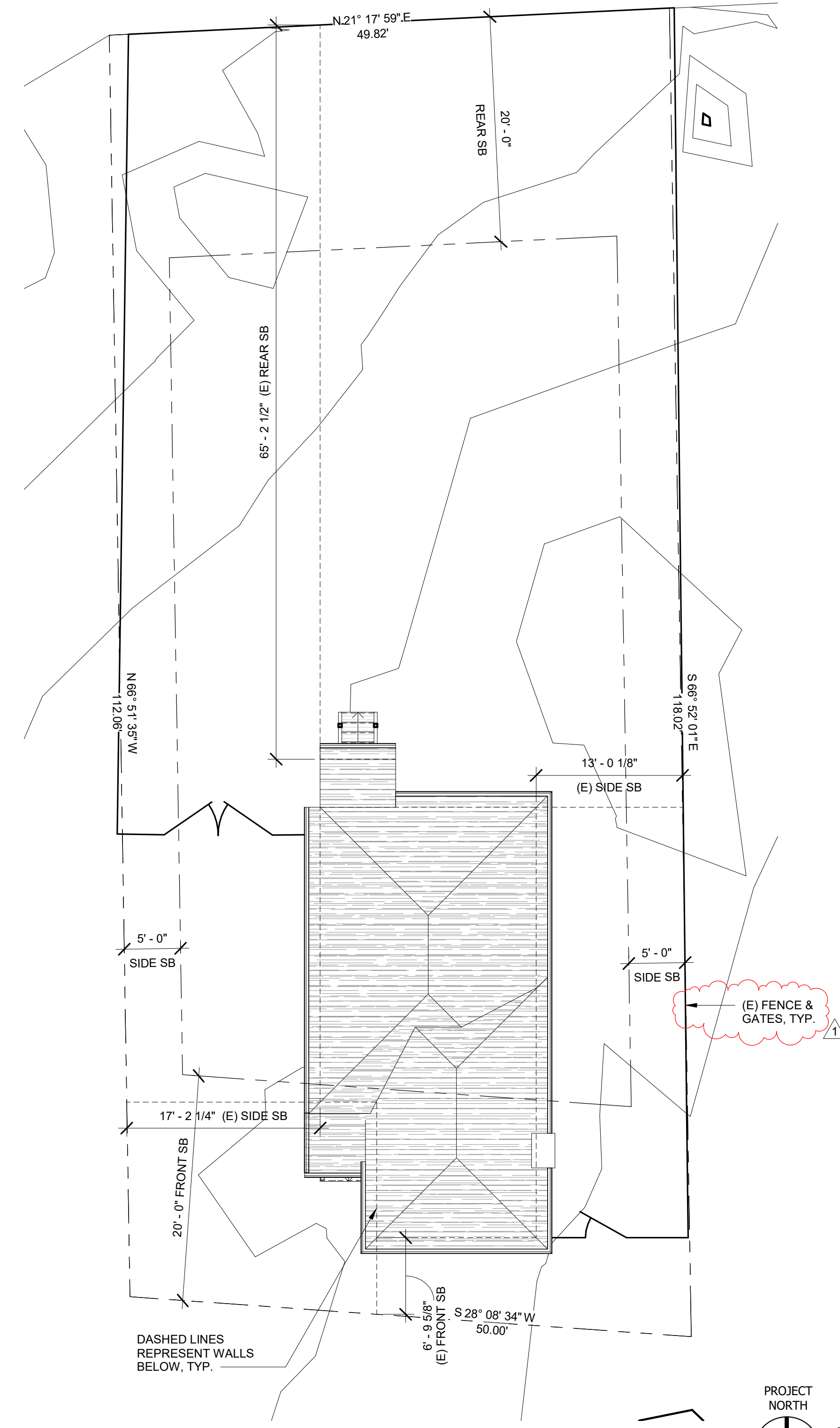
**CDRC APPLICATION**

## EXISTING & PROPOSED SITE PLAN

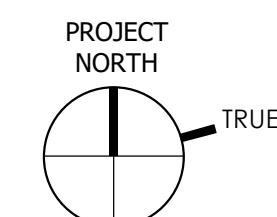
## A1.0



② PROPOSED SITE PLAN  
1/8" = 1'-0"



1 EXISTING SITE PLAN  
1/8" = 1'-0"

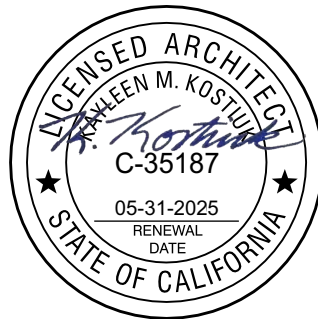


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REVISIONS

NO.	DESCRIPTION	DATE
1	CDRC RESPONSE TO COMMENTS	6/24/2024

PROJECT NUMBER: 22111  
ISSUE DATE: 05/03/2024  
SCALE: As indicated  
ISSUE STATUS:  
CDRC APPLICATION

EXISTING / DEMO  
FLOOR PLANS, DEMO  
NOTES

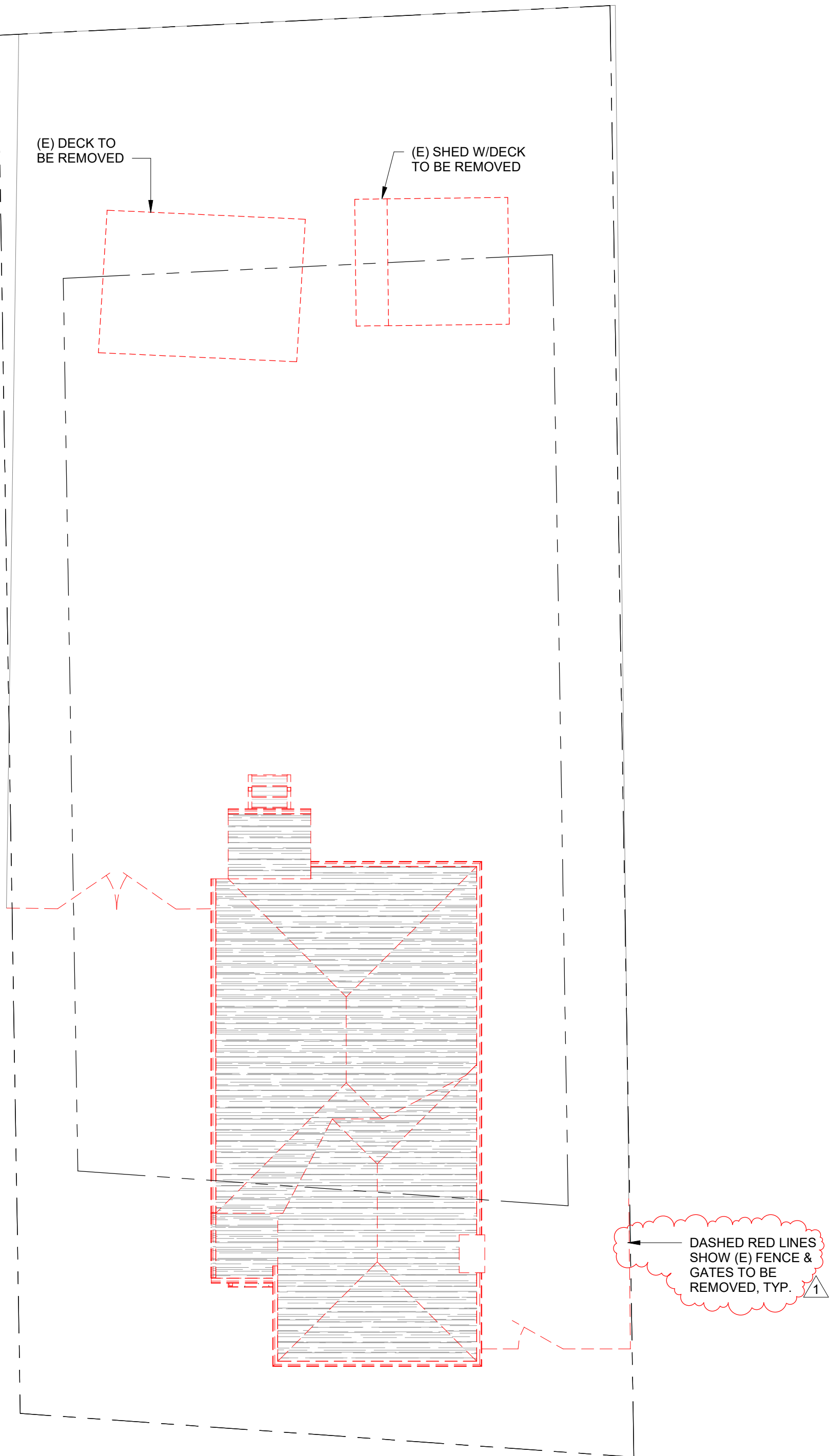
A2.0

GENERAL DEMO NOTES

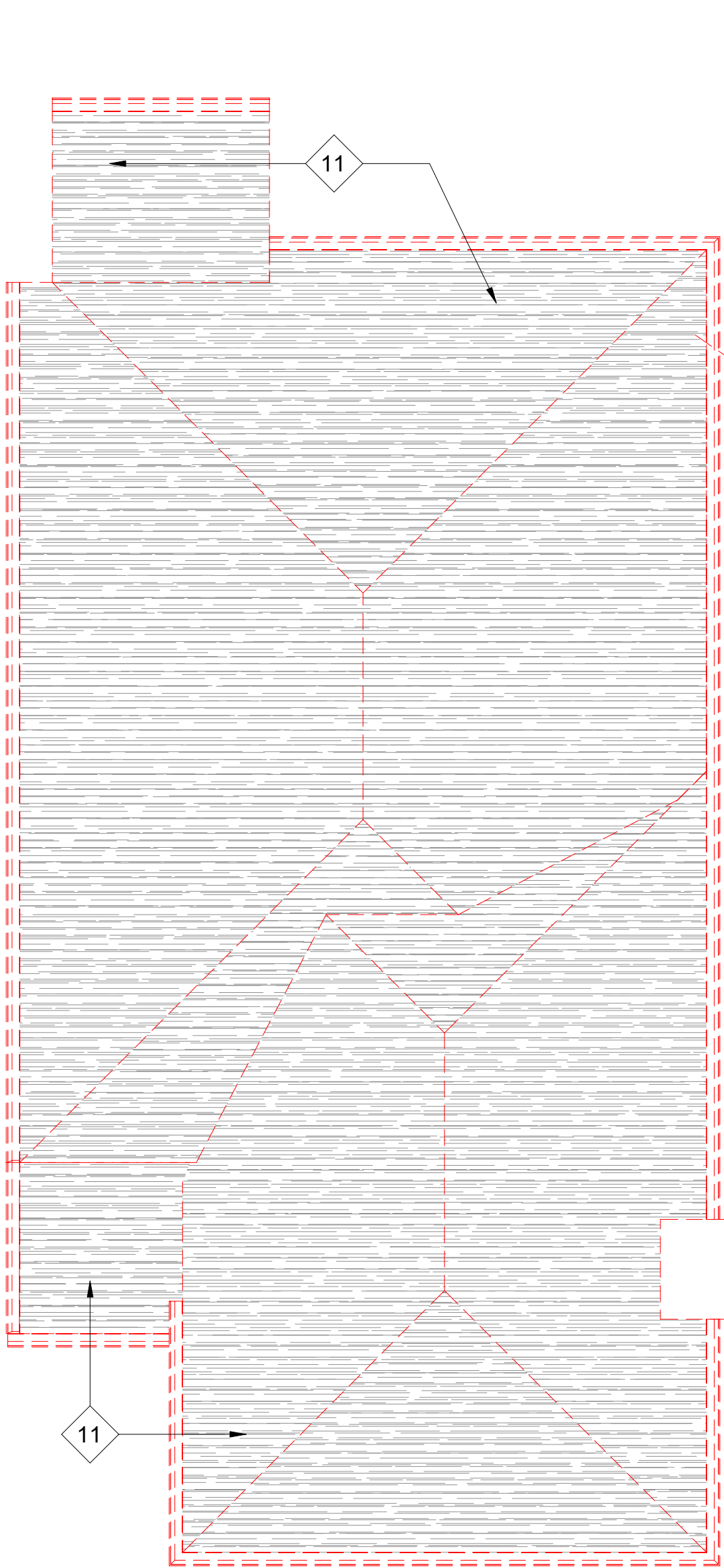
- THE DRAWINGS DO NOT ASSUME TO SHOW ALL OBJECTS EXISTING. BEFORE COMMENCING WORK, VERIFY WITH OWNER OR ARCHITECT IN WRITING ALL OBJECTS TO BE REMOVED AND ALL OBJECTS TO BE PRESERVED. CONTRACTOR IS RESPONSIBLE FOR ALL SALVAGE ITEMS. USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS DESIGNATED TO REMAIN AND, IN THE EVENT OF DAMAGE, IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY TO THE APPROVAL OF THE OWNER.
- DEMOLITION OF AN ITEM OR SYSTEM INCLUDES REMOVAL OF ALL COMPONENTS RELATED TO THAT ITEM. (I.E. REMOVAL OF DOOR INCLUDES DOOR, DOORFRAME, SILL, HARDWARE, ETC.)
- ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST.
- CONTRACTOR SHALL PREPARE AND SUBMIT A "CONSTRUCTION AND DEMOLITION RECYCLING WASTE REDUCTION PLAN" PRIOR TO DEMOLITION. A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CGG 4.408. THE EXISTING NONCONFORMING WALL CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS. IF THE WALL IS DEMOLISHED AS PART OF THE PROJECT, IT CANNOT BE REBUILT IN ITS CURRENT NONCONFORMING LOCATION, AND WILL BE REQUIRED TO MEET THE CURRENT ZONING ORDINANCE SETBACK REQUIREMENTS.
- CONTRACTOR SHALL PREPARE AND SUBMIT A "CONSTRUCTION AND DEMOLITION RECYCLING WASTE REDUCTION PLAN" PRIOR TO DEMOLITION. A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CGG 4.408. THE EXISTING NONCONFORMING WALL CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS. IF THE WALL IS DEMOLISHED AS PART OF THE PROJECT, IT CANNOT BE REBUILT IN ITS CURRENT NONCONFORMING LOCATION, AND WILL BE REQUIRED TO MEET THE CURRENT ZONING ORDINANCE SETBACK REQUIREMENTS.

SPECIFIC DEMO NOTES

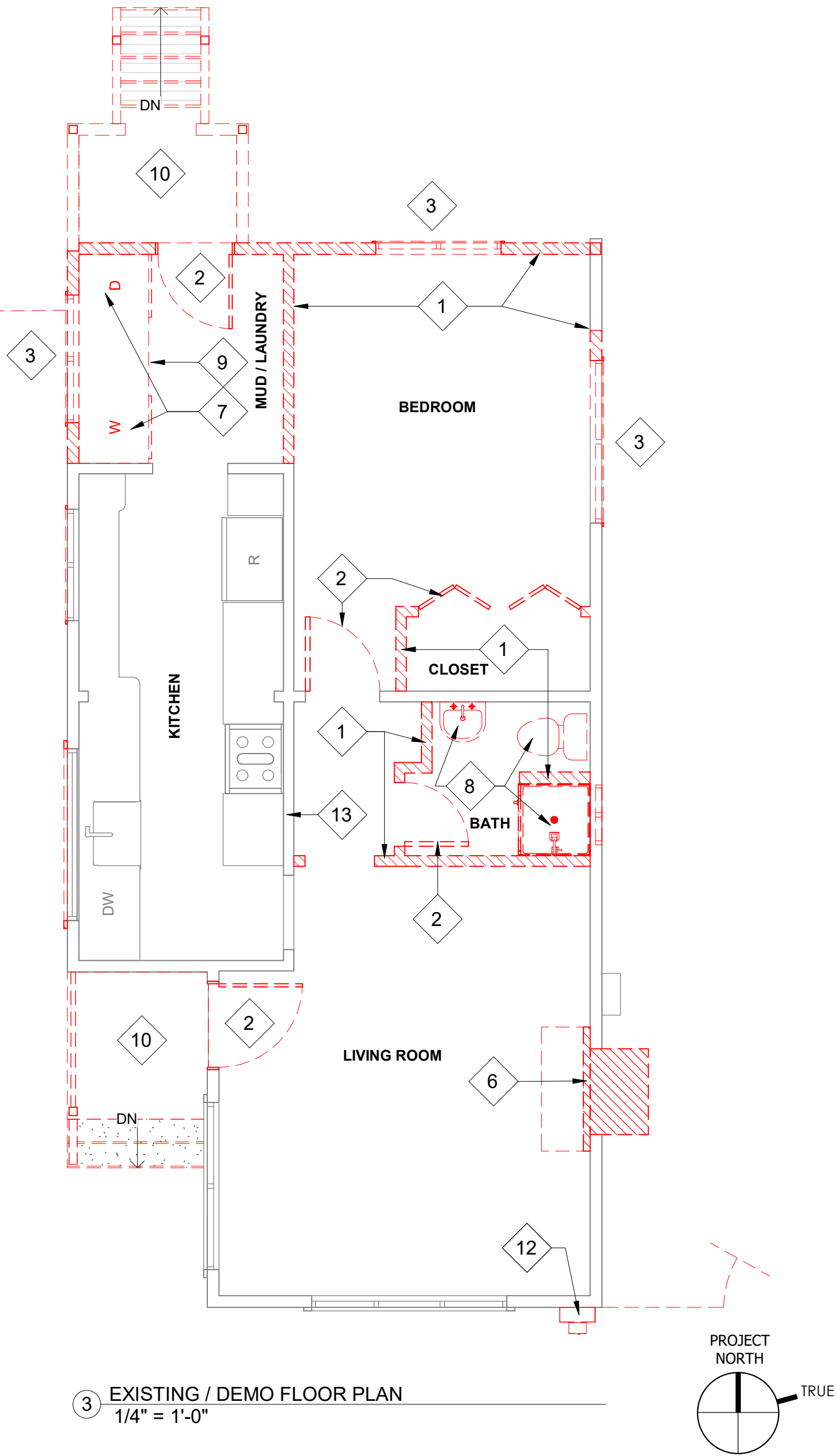
- |   |   |    |  |
|---|---|----|--|
| 1 | REMOVE (E) WALL.                                | 7  | REMOVE (E) APPLIANCE - CONSULT OWNER IF APPLIANCE TO BE SALVAGED |
| 2 | REMOVE (E) DOOR.                                | 8  | REMOVE (E) PLUMBING FIXTURE.                                     |
| 3 | REMOVE (E) WINDOW.                              | 9  | REMOVE (E) CASEWORK & COUNTER                                    |
| 4 | REMOVE (E) CASED OPENING                        | 10 | REMOVE (E) PORCH, STEPS & RAILING.                               |
| 5 | REMOVE (E) FLOORING AS SPECIFIED BY OWNER, TYP. | 11 | REMOVE (E) ROOF, ROOF EAVE & GUTTER.                             |
| 6 | REMOVE (E) FIREPLACE, HEARTH, MANTLE & CHIMNEY. | 12 | RELOCATE (E) ELEC METER - CONTRACTOR TO COORDINATE WITH PG&E.    |
|   |   | 13 | REMOVE (E) WALL HEATER.  |



4 EXISTING / DEMO SITE PLAN  
1/8" = 1'-0"

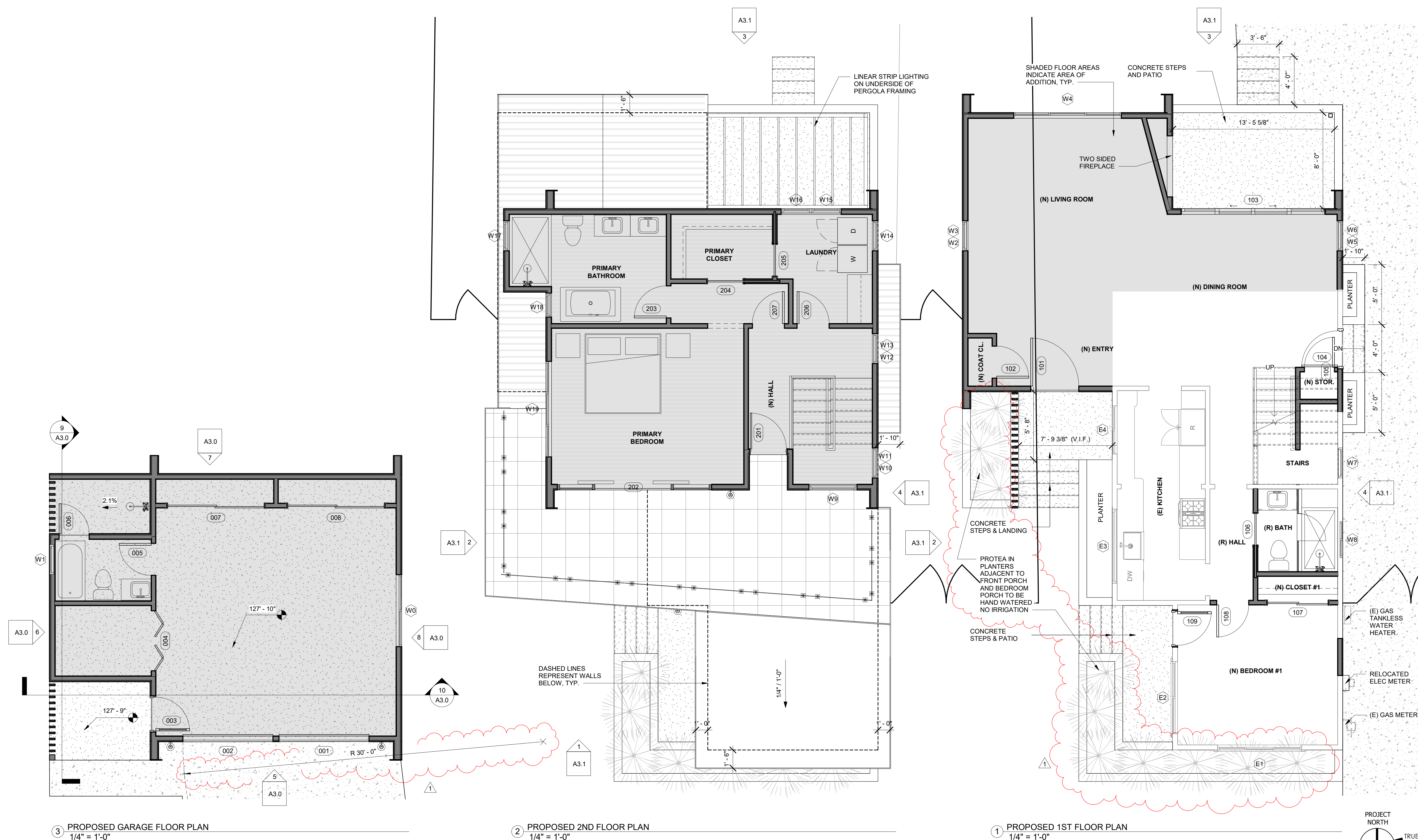


2 EXISTING / DEMO ROOF PLAN  
1/4" = 1'-0"



3 EXISTING / DEMO FLOOR PLAN  
1/4" = 1'-0"





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## REVISIONS

[illegible]

PROJECT NUMBER:	2211
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ISSUE DATE:	05/03/2024
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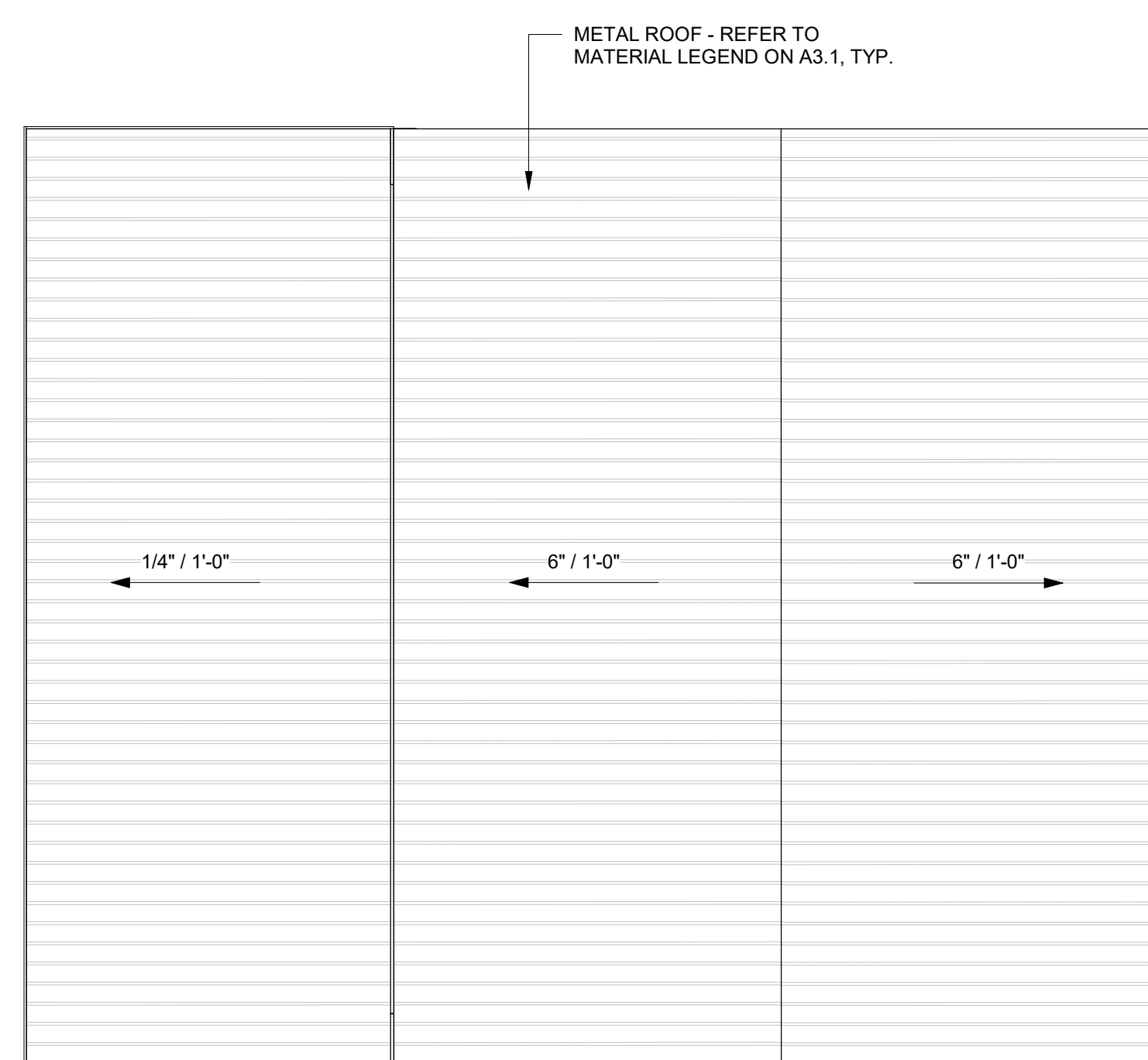
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ISSUE STATUS:

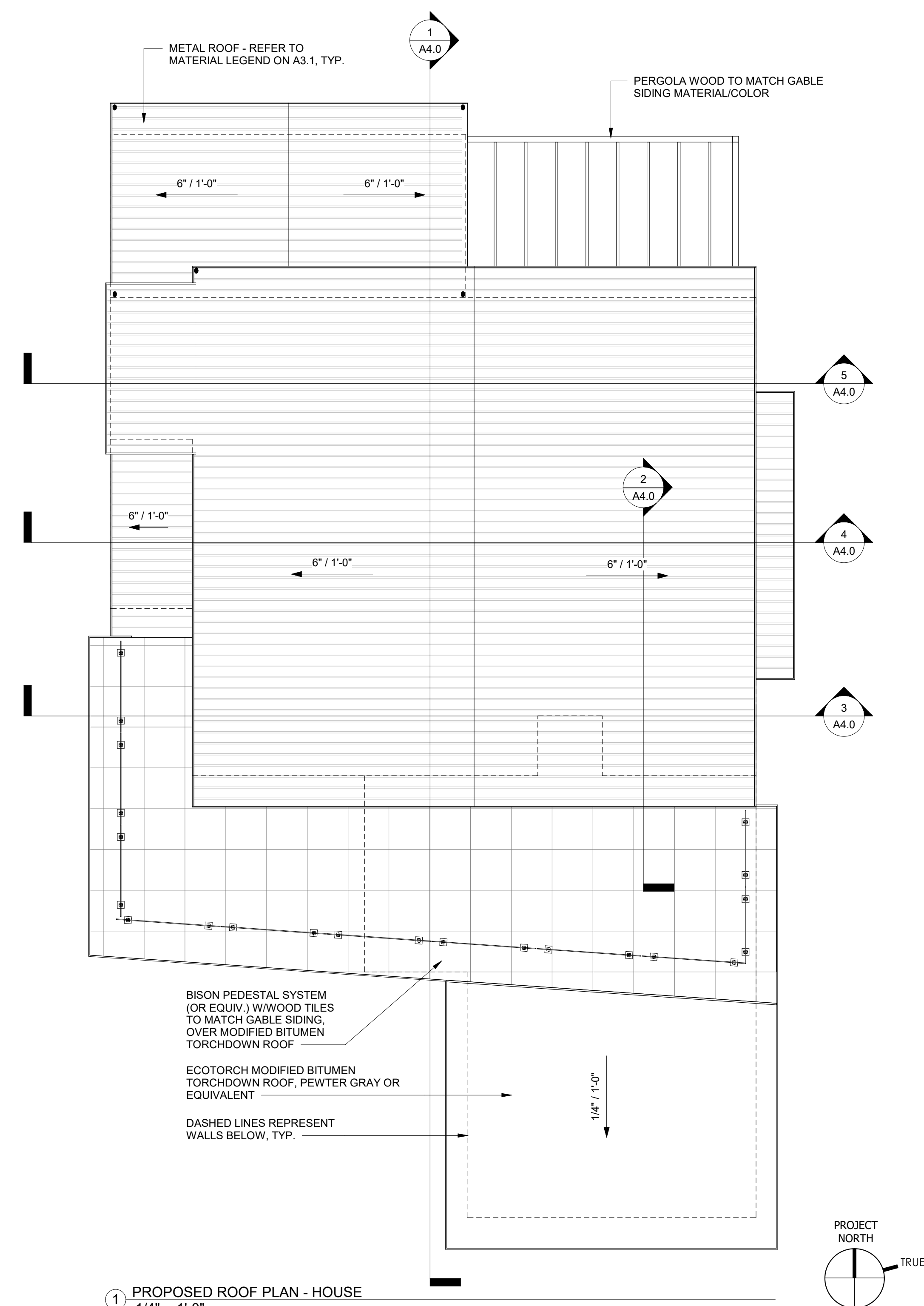
CDRC APPLICATION

## PROPOSED ROOF PLANS

## A2.2

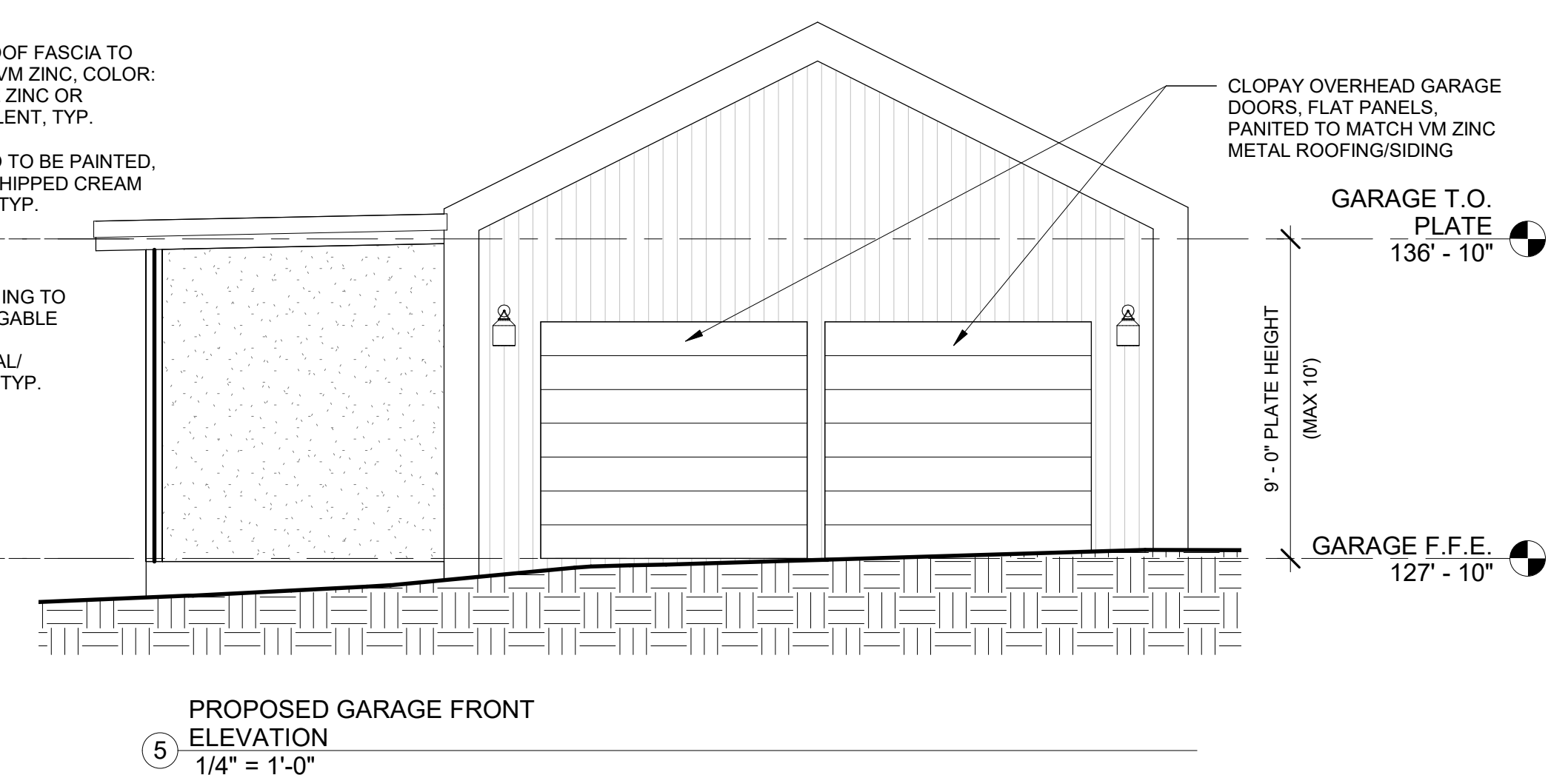
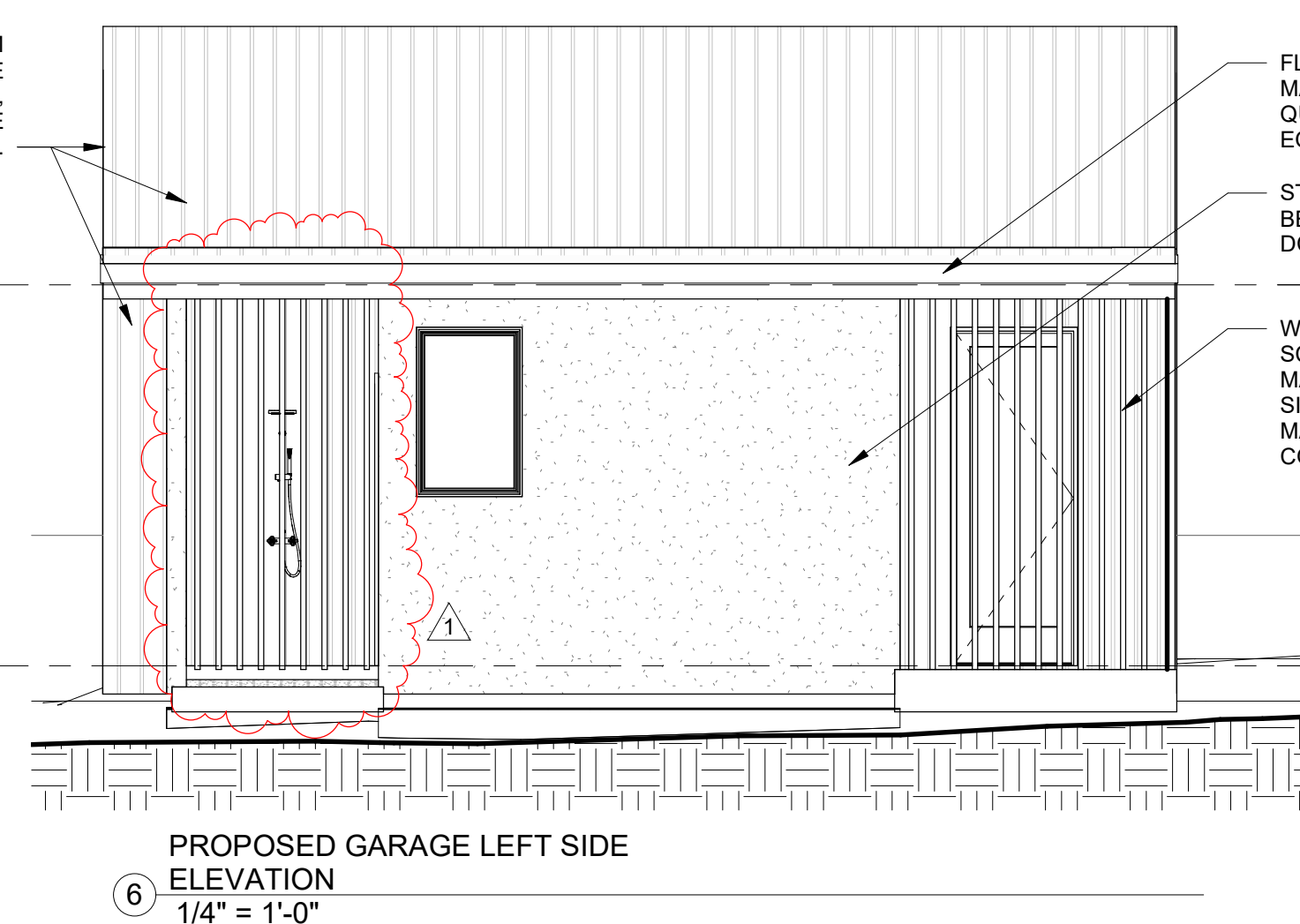
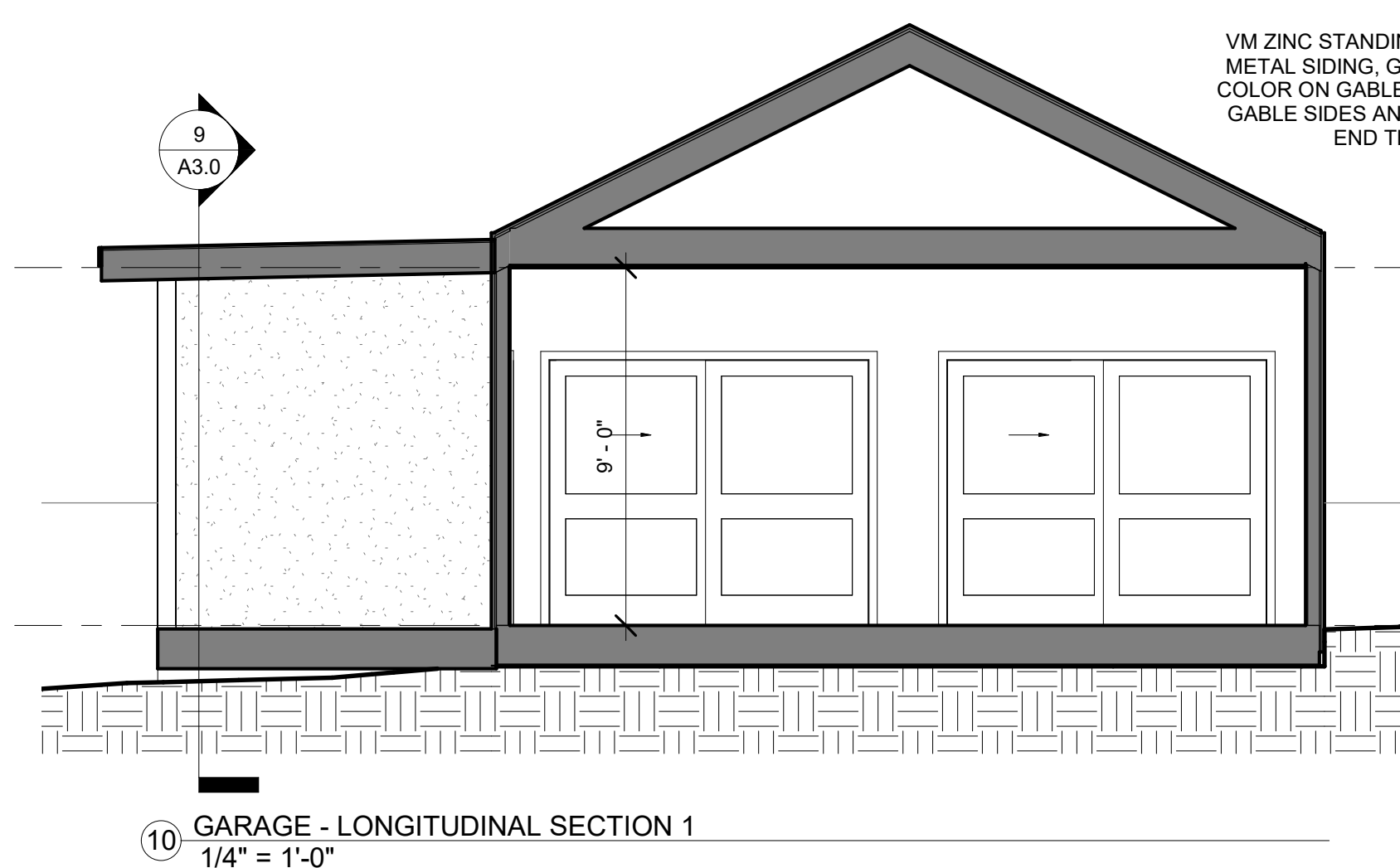
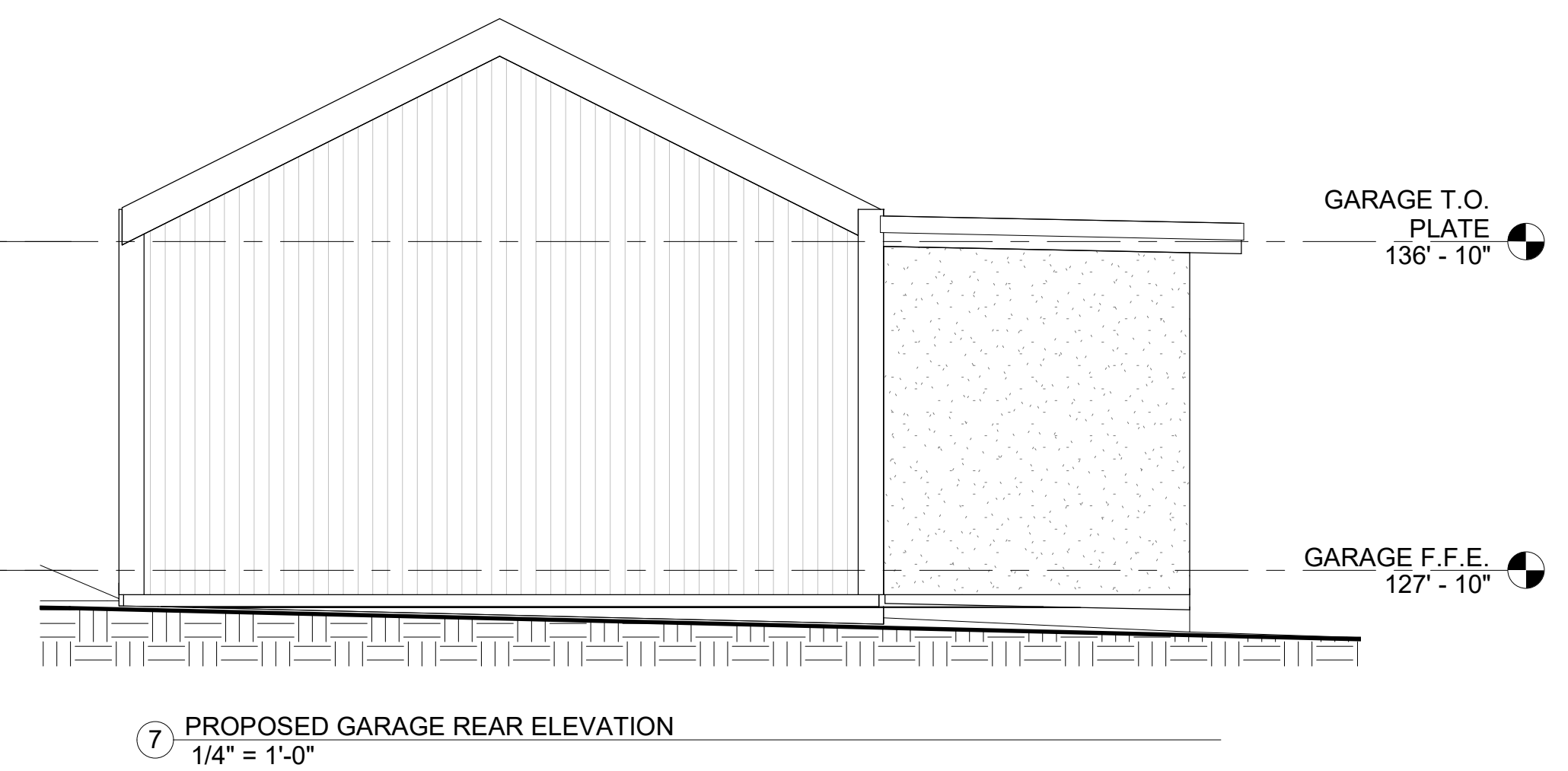
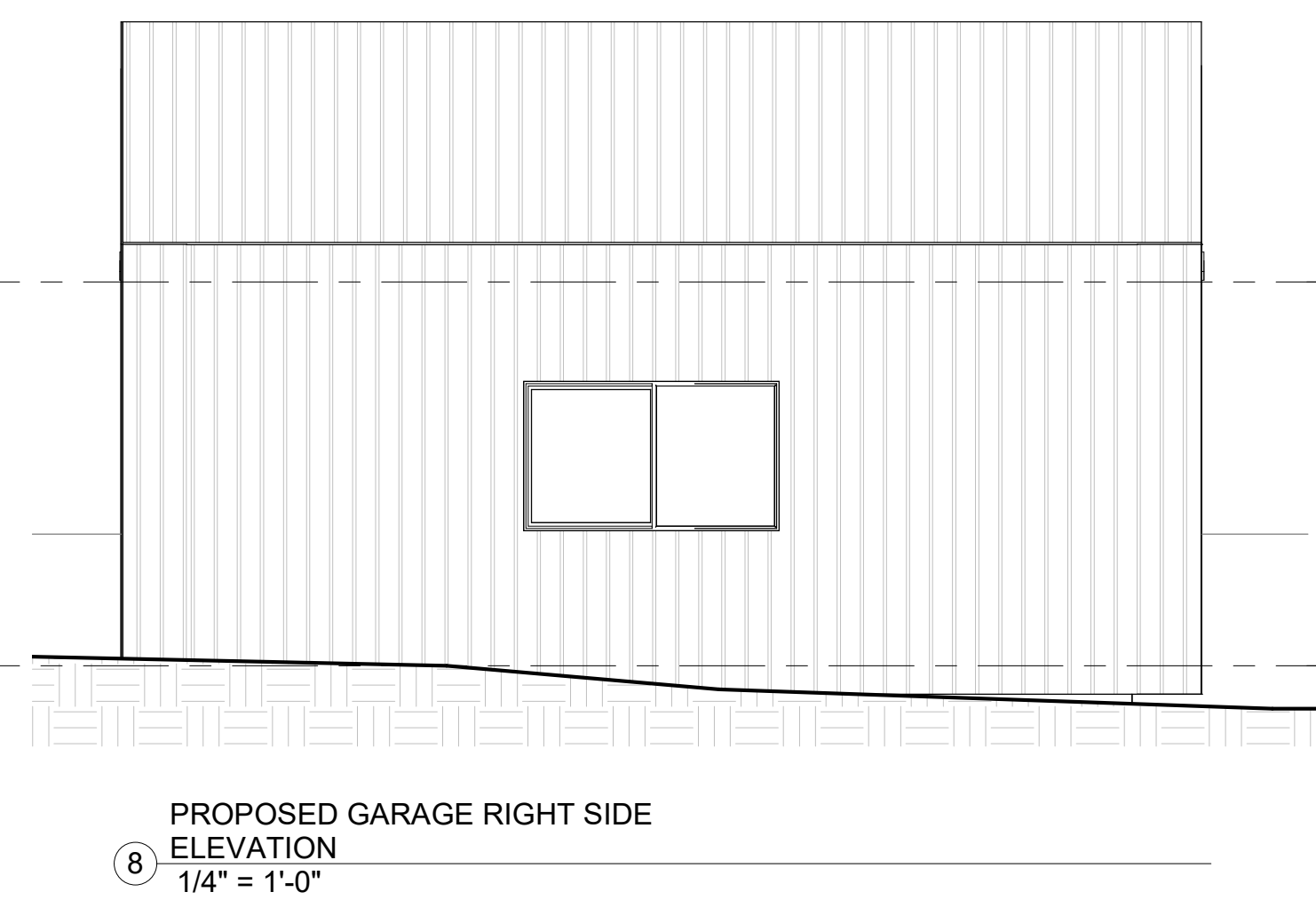
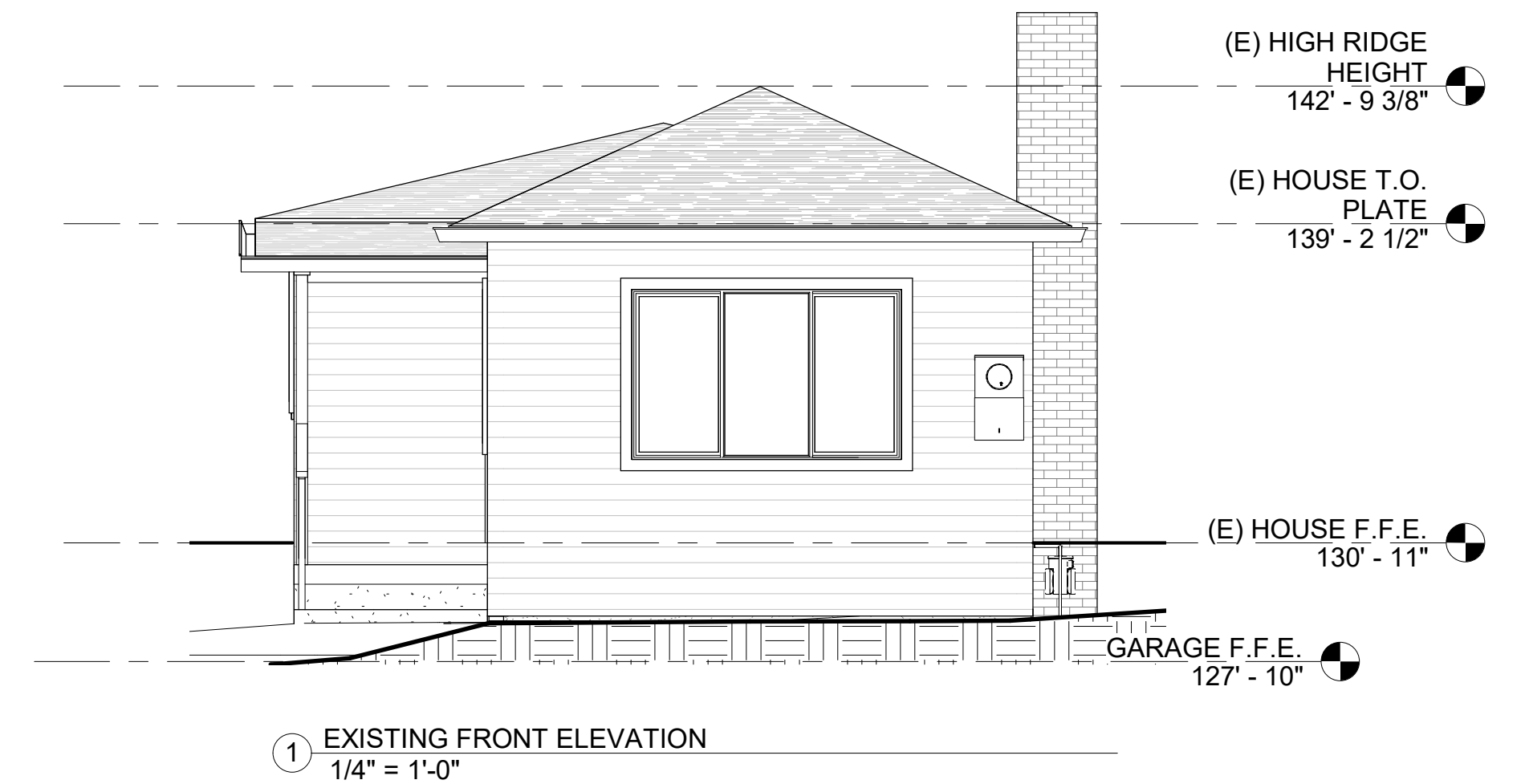
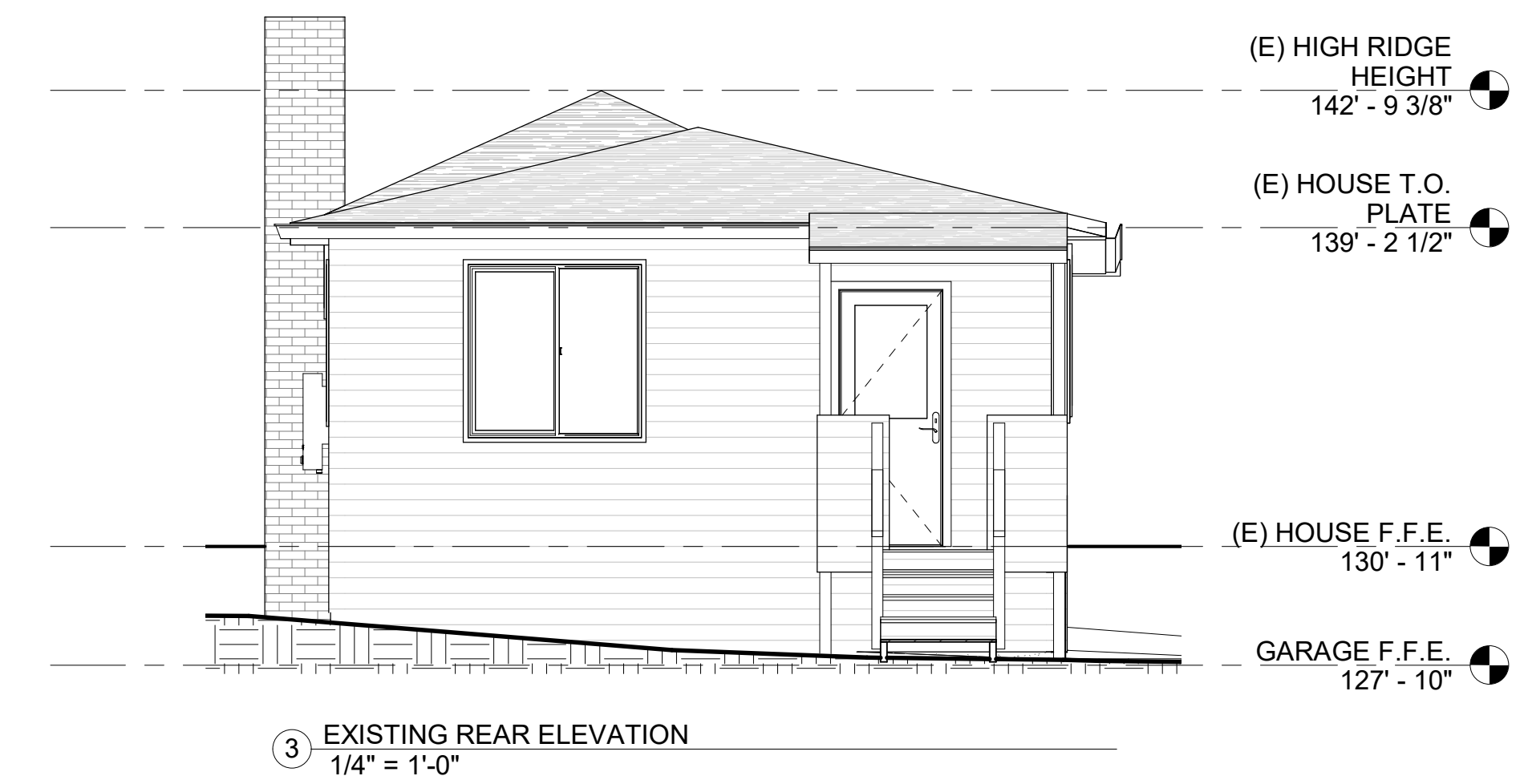


2 PROPOSED ROOF PLAN - GARAGE  
1/4" = 1'-0"



1 PROPOSED ROOF PLAN - HOUSE  
1/4" = 1'-0"





# FAT PEN

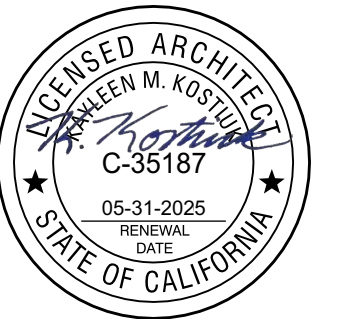
S T U D I O S

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## REVISIONS

[illegible]

PROJECT NUMBER:	22111
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ISSUE STATUS:	CDRC APPLICATION

EXISTING HOUSE  
ELEVATIONS,  
PROPOSED DETACHED  
GARAGE ELEVATIONS,  
GARAGE SECTIONS

## A3.0

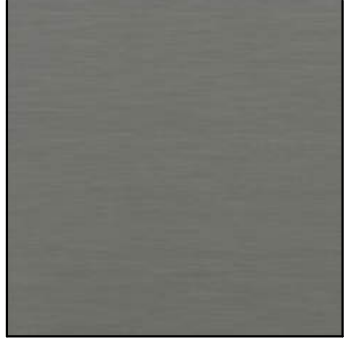




FENCE/GATE: TO MATCH EXISTING



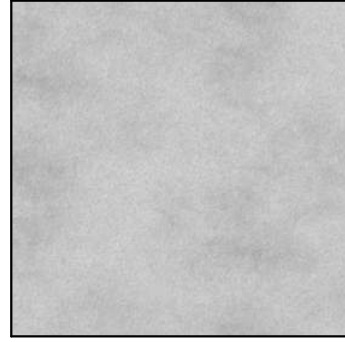
EXTERIOR SCONCES: 7.5" WEST ELM HENRY OUTDOOR SCONCE, MATTE BLACK (DARK SKY COMPLIANT) OR SIMILAR.



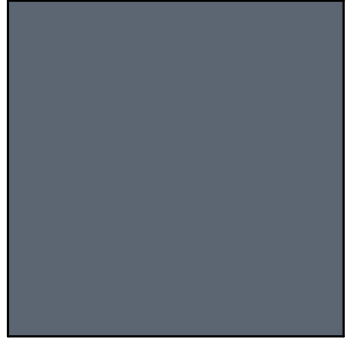
STANDING SEAM METAL ROOF AND WALLS: VM ZINC, COLOR: QUARTZ ZINC OR EQUIVALENT



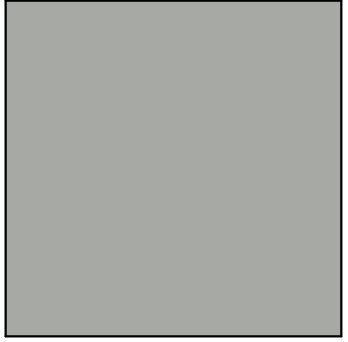
COMPOSITE SOFFITS, GABLE BOARD SIDING, RIGHT SIDE PLANTER BOXES & REAR PATIO SIDES: MILLBOARD SHADOW LINE+, COLOR: LIMED OAK, OR EQUIVALENT



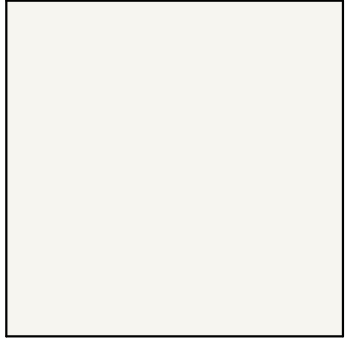
PATIOS AND PLANTERS AT FRONT OF HOUSE: NATURAL CONCRETE, SMOOTH



FRONT DOOR PAINT COLOR: ANDES SUMMIT CSP-600



HORIZONTAL SIDING: BEHR FLIPPER PPU25-15



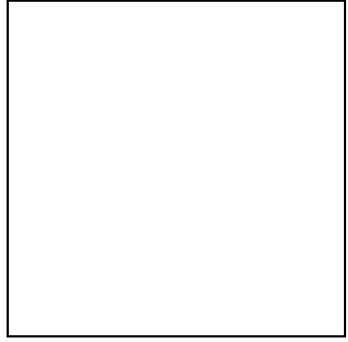
STUCCO WALLS UNDER FLAT ROOF EXPRESSIONS: COLOR BEHR WHIPPED CREAM DC-001



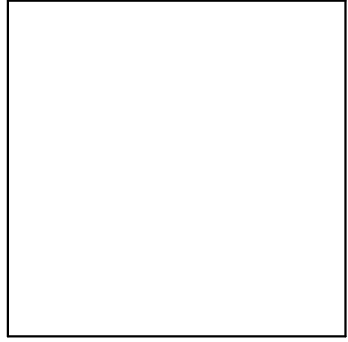
ROOF FASCIA: PAINTED WOOD, COLOR TO MATCH VM ZINC, COLOR: QUARTZ ZINC OR EQUIVALENT



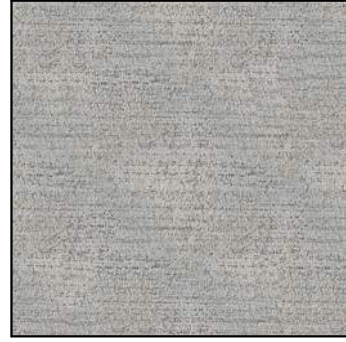
WINDOWS & DOORS AT METAL SIDING & COMPOSITE WOOD SIDING: PAINTED, COLOR TO MATCH VM ZINC, COLOR: QUARTZ ZINC OR EQUIVALENT



WINDOWS & DOORS AT STUCCO WALLS & KITCHEN WALLS: WHITE VINYL



TRIM AT WINDOWS AT STUCCO WALLS & KITCHEN WALLS: WHITE VINYL

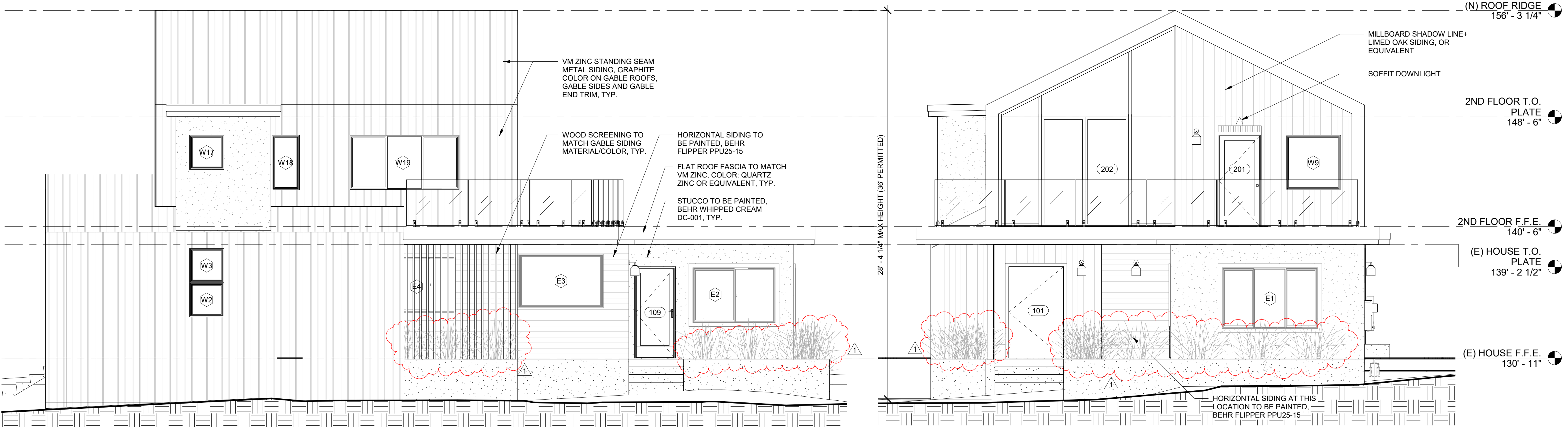


DRIVEWAY: BRUSHED CONCRETE, NATURAL



4 PROPOSED RIGHT SIDE ELEVATION  
1/4" = 1'-0"

3 PROPOSED REAR ELEVATION  
1/4" = 1'-0"



2 PROPOSED LEFT SIDE ELEVATION  
1/4" = 1'-0"

1 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"

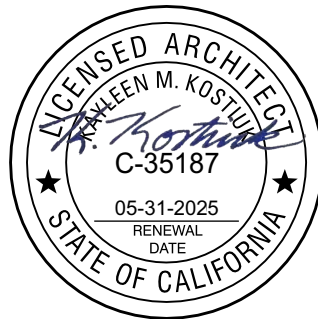
# FAT PEN STUDIOS

## PROJECT DIRECTORY

**ARCHITECT**  
**FAT PEN STUDIOS, INC.**  
620 AVENUE PORTOLA #522  
EL GRANADA, CA 94018  
650-918-7117  
info@fatpenstudios.com

**OWNER**  
**RILEY & KRISTIN BRADLEY**  
167 AVENUE PORTOLA  
EL GRANADA, CA 94018  
978-766-0957  
Kristin.meador@gmail.com  
Lion.RWC@gmail.com

**CIVIL / GEOTECH ENGINEER**  
**SIGMA PRIME GEOSCIENCES**  
332 PRINCETON AVENUE  
HALF MOON BAY, CA 94019  
650-728-3590  
sigmaprime@gmail.com



AVENUE  
PORTOLA  
RESIDENCE  
167 AVENUE PORTOLA,  
EL GRANADA CA 94018

## REVISIONS

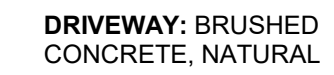
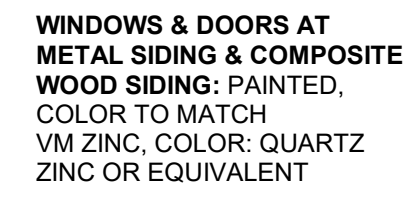
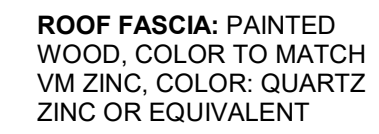
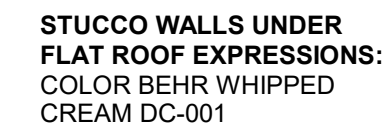
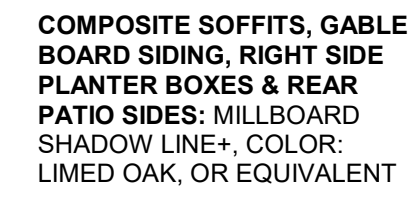
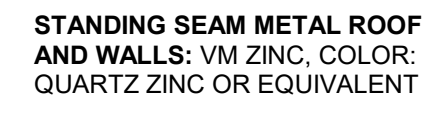
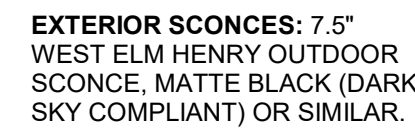
NO.	DESCRIPTION	DATE
1	CDRC RESPONSE TO COMMENTS	6/24/2024

PROJECT NUMBER: 22111  
ISSUE DATE: 05/03/2024  
SCALE: 1/4" = 1'-0"  
ISSUE STATUS:  
CDRC APPLICATION

PROPOSED HOUSE  
EXTERIOR  
ELEVATIONS,  
MATERIAL  
SPECIFICATIONS

A3.1





FAT PEN

S T U D I O S

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PROJECT NUMBER:	22111
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ISSUE DATE:	05/03/2024
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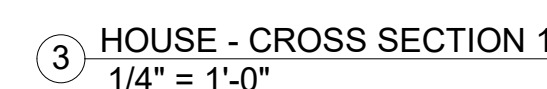
SCALE:

ISSUE STATUS:  
CDRC APPLICATION

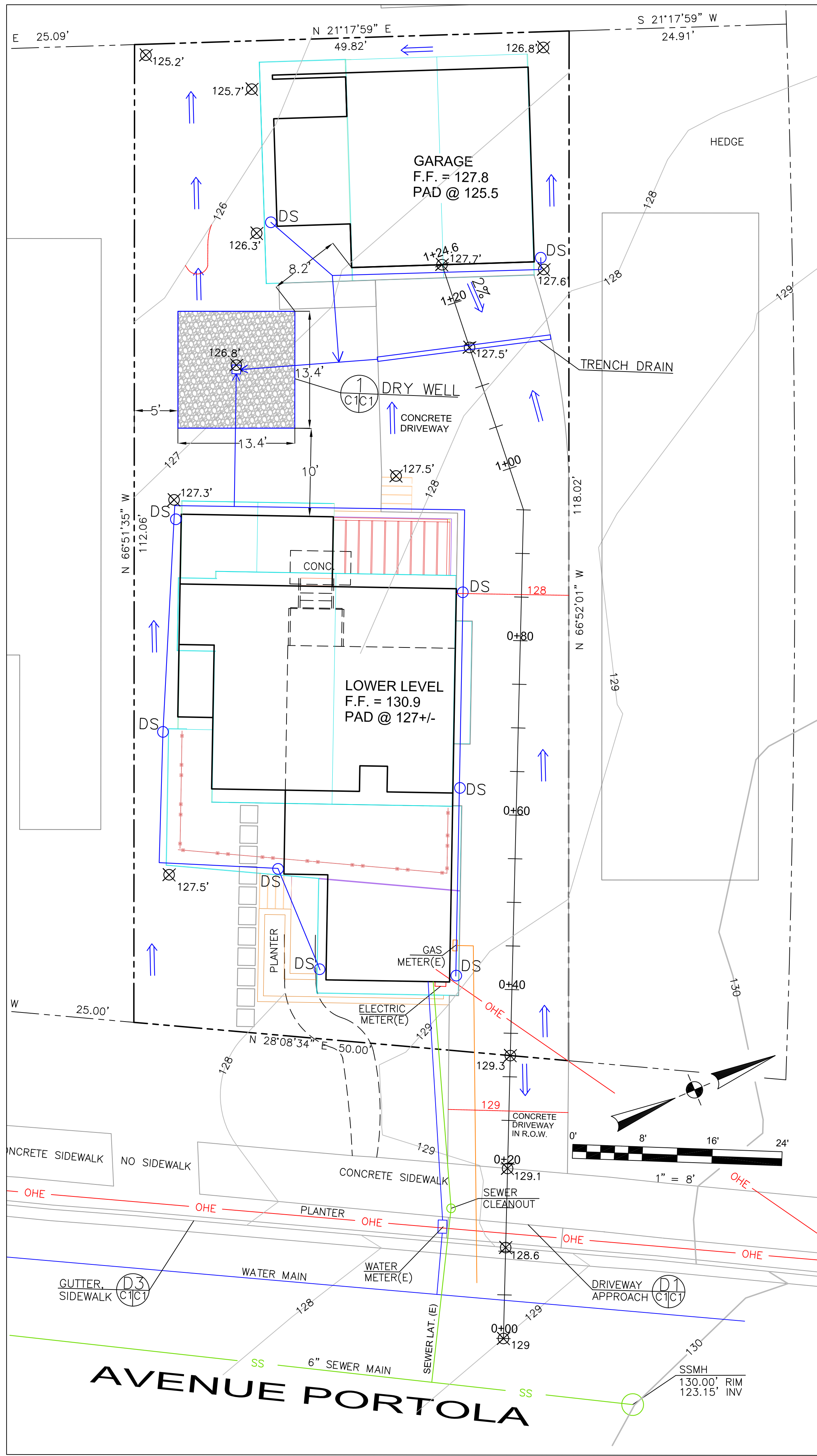
## PERSPECTIVE VIEWS

## A3.2









LEGEND

- EXISTING CONTOURS
- DS DOWNSPOUT
- 4" SOLID DRAIN PIPE
- DIRECTION OF SURFACE DRAINAGE
- 127.6' PROPOSED SPOT ELEVATION

GENERAL NOTES

- PLANS PREPARED AT THE REQUEST OF:  
TARA BENSON, OWNER
- TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED APRIL 11, 2019.
- THIS IS NOT A BOUNDARY SURVEY.
- ELEVATION DATUM NAVD88.

DRAINAGE NOTES

- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
- ALL NEW DOWNSPOUT DRAIN LINES SHALL LEAD TO DRY WELL, AS SHOWN.
- ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DRY WELL TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

CUT VOLUME : 105 CY (FOR FOUNDATION, DRYWELL, DRIVEWAY)  
FILL VOLUME: 0 CY

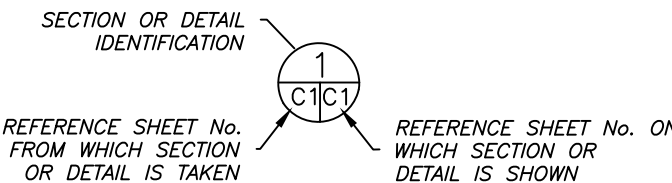
VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

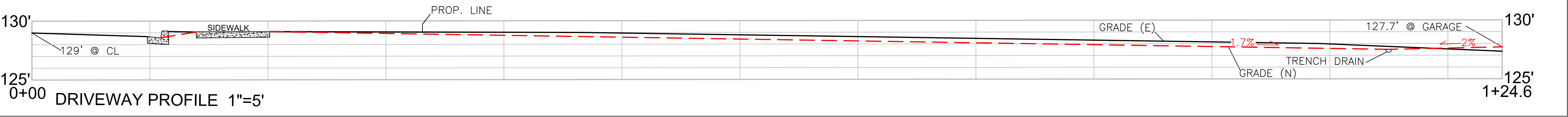
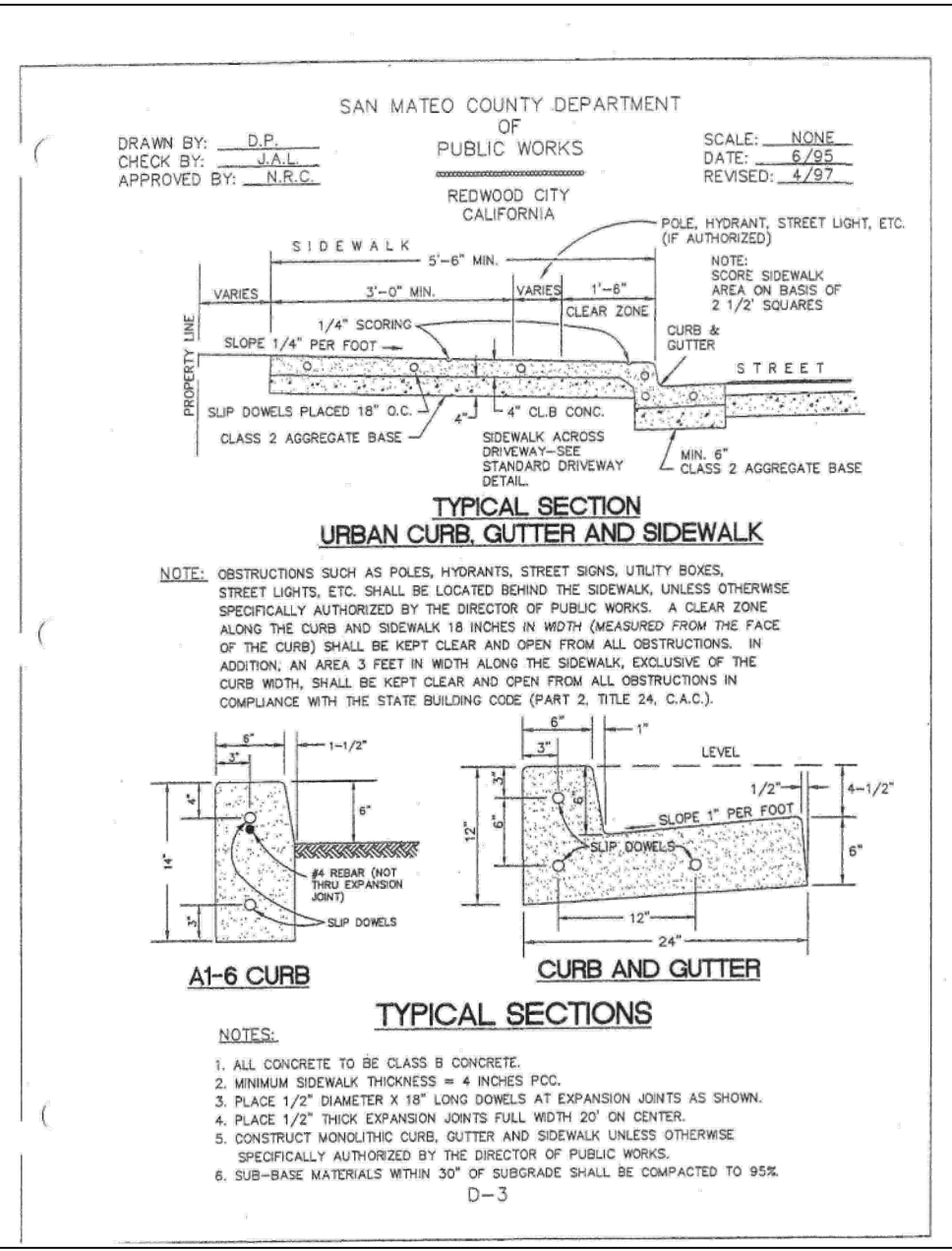
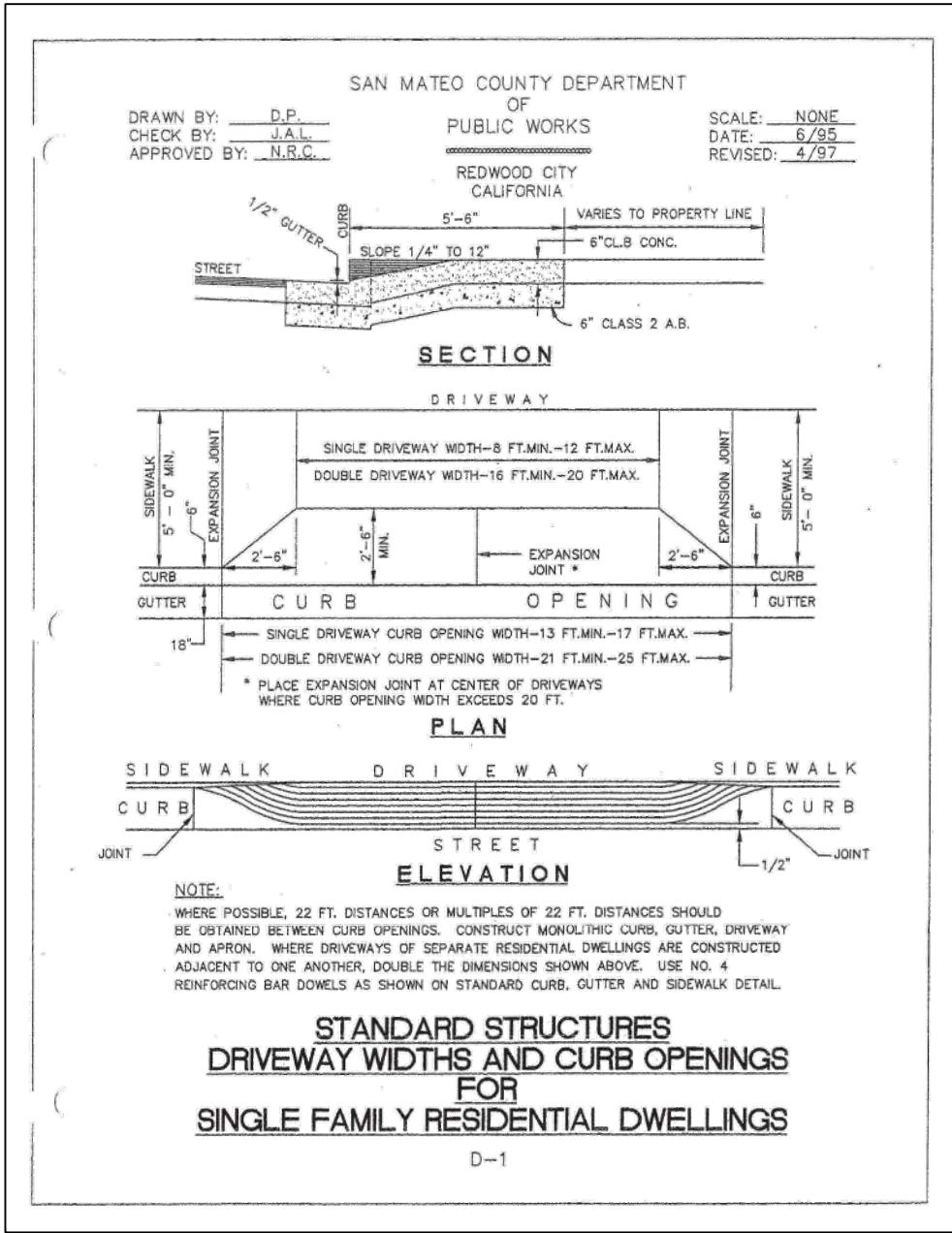
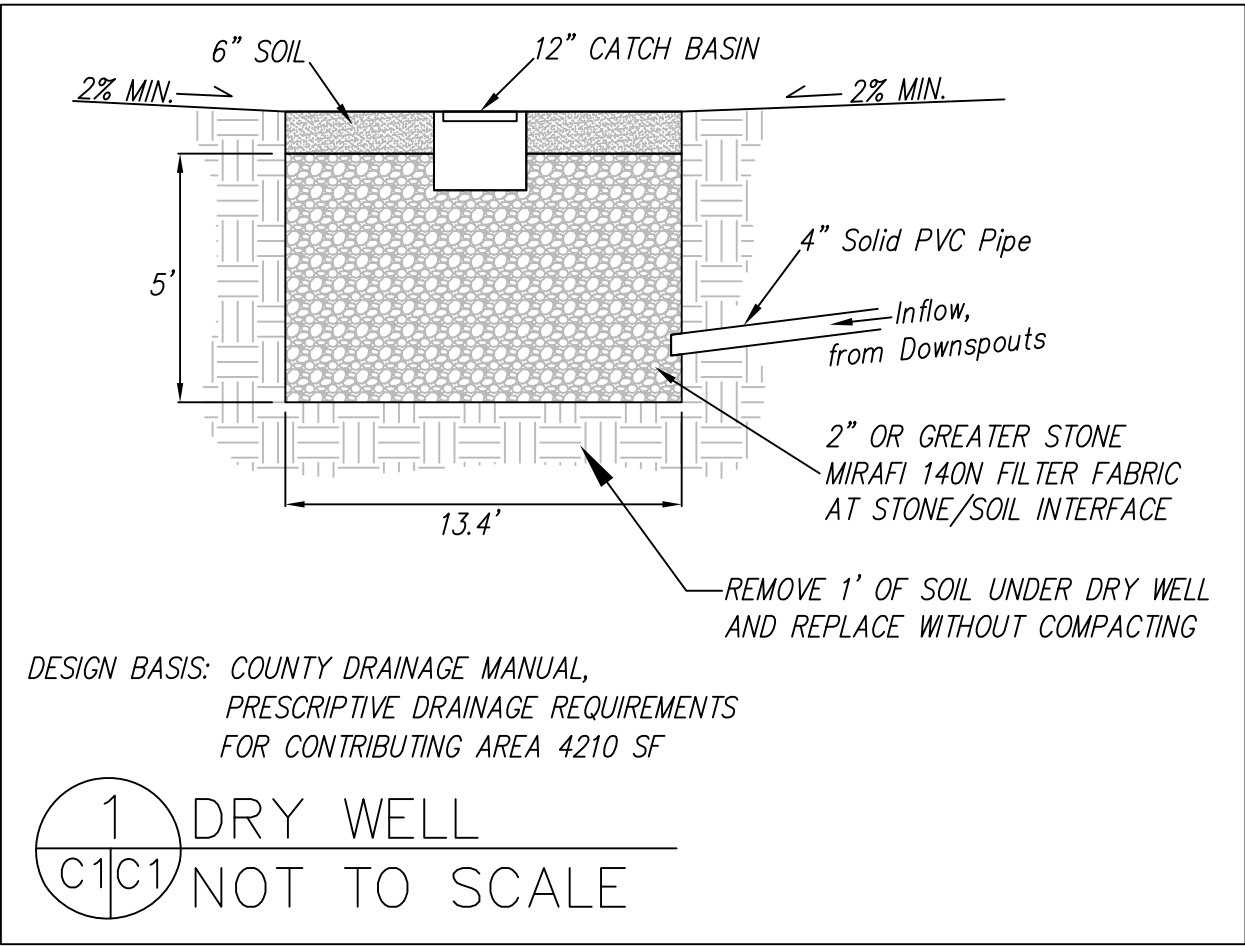
ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

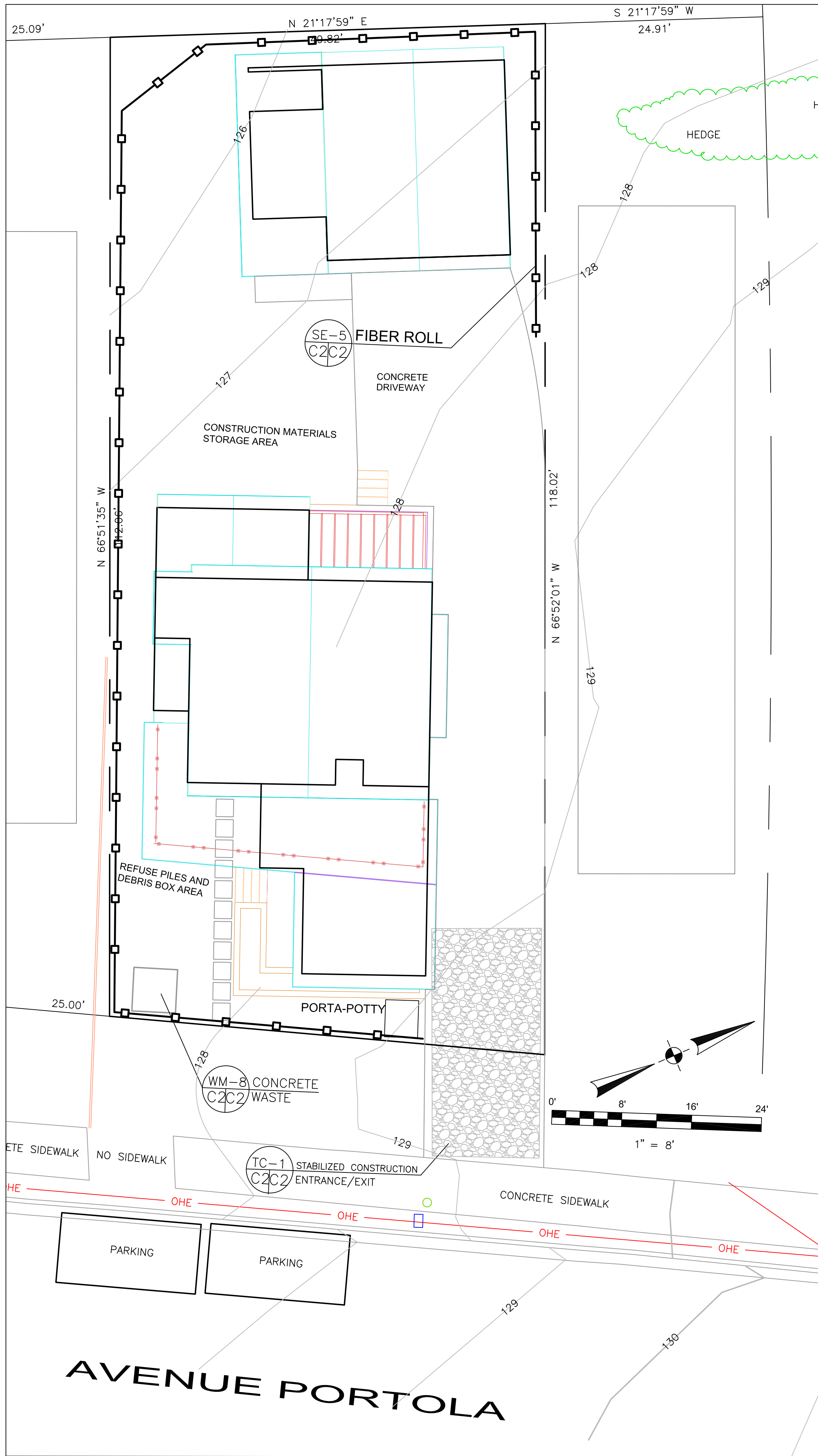
SECTION AND DETAIL CONVENTION



GRADING AND DRAINAGE PLAN	DATE: 4-11-24	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE:	REV. DATE:
	Sigma Prime Geosciences, Inc.				
	SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593				
	BRADLEY PROPERTY 167 AVENUE PORTOLA EL GRANADA				
SHEET C-1					





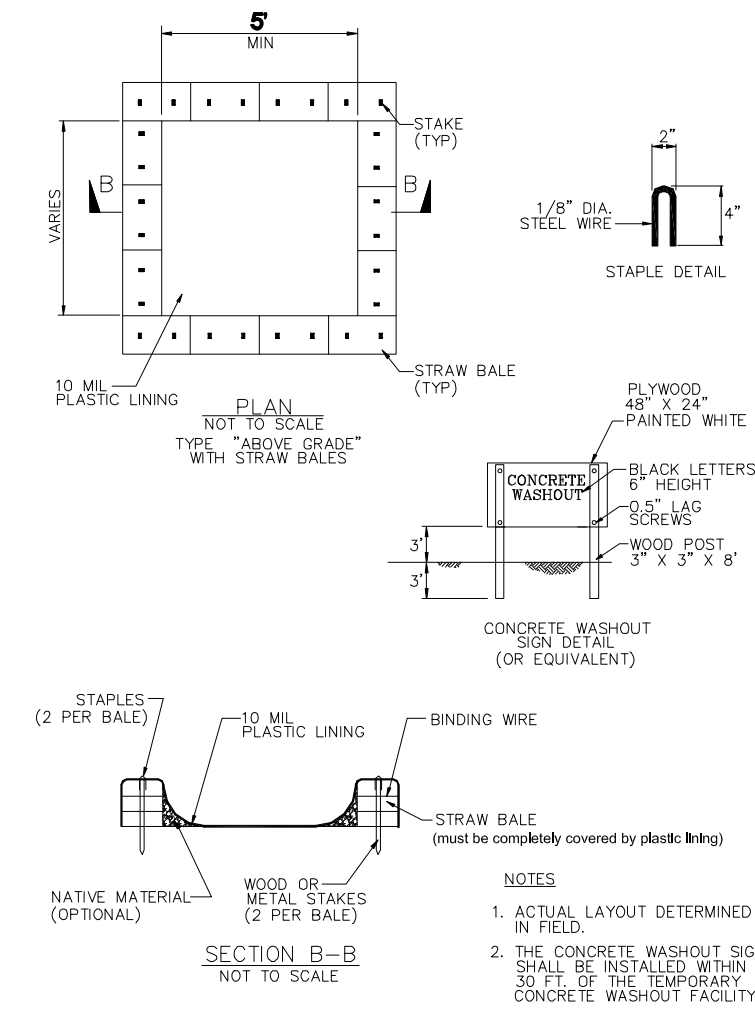


# GENERAL EROSION AND SEDIMENT CONTROL NOTES

FIBER ROLL  
INSTALL AT LOCATIONS SHOWN.  
AFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.

## CONCRETE WASTE MANAGEMENT WM-8



## EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: KATIE KOSTIUK  
TITLE/QUALIFICATION: ARCHITECT  
PHONE: 650-918-7117  
PHONE:  
E-MAIL: KATIE@FATPENSTUDIOS.COM



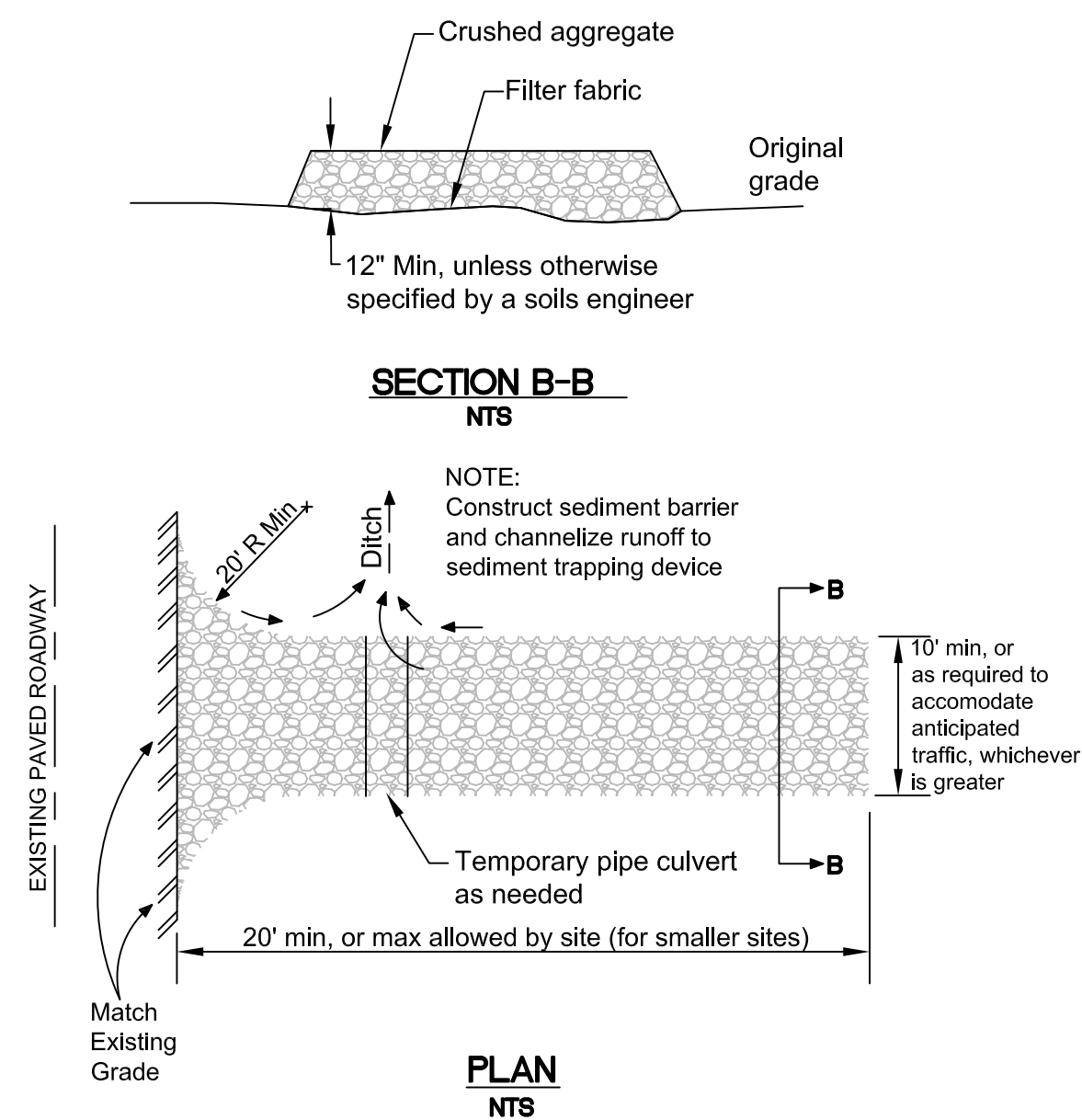
Sigma Prime Geosciences, Inc.  
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332 PRINCETON AVENUE  
HALF MOON BAY, CA 94019  
(650) 728-3590  
FAX 728-3593

DATE: 4-11-24  
DRAWN BY: CMK  
CHECKED BY: AZG  
REV. DATE:  
REV. DATE:  
REV. DATE:

EROSION AND SEDIMENT  
CONTROL PLAN  
BRADLEY PROPERTY  
167 AVENUE PORTOLA  
EL GRANADA

SHEET  
C-2

## STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



## FIBER ROLLS SE-5

