

COUNTY OF SAN MATEO



Reconstruction of Seventh Avenue (from Middlefield Road to Edison Way)

November 3, 2016

County of San Mateo
Department of Public Works

COUNTY OF SAN MATEO



Agenda

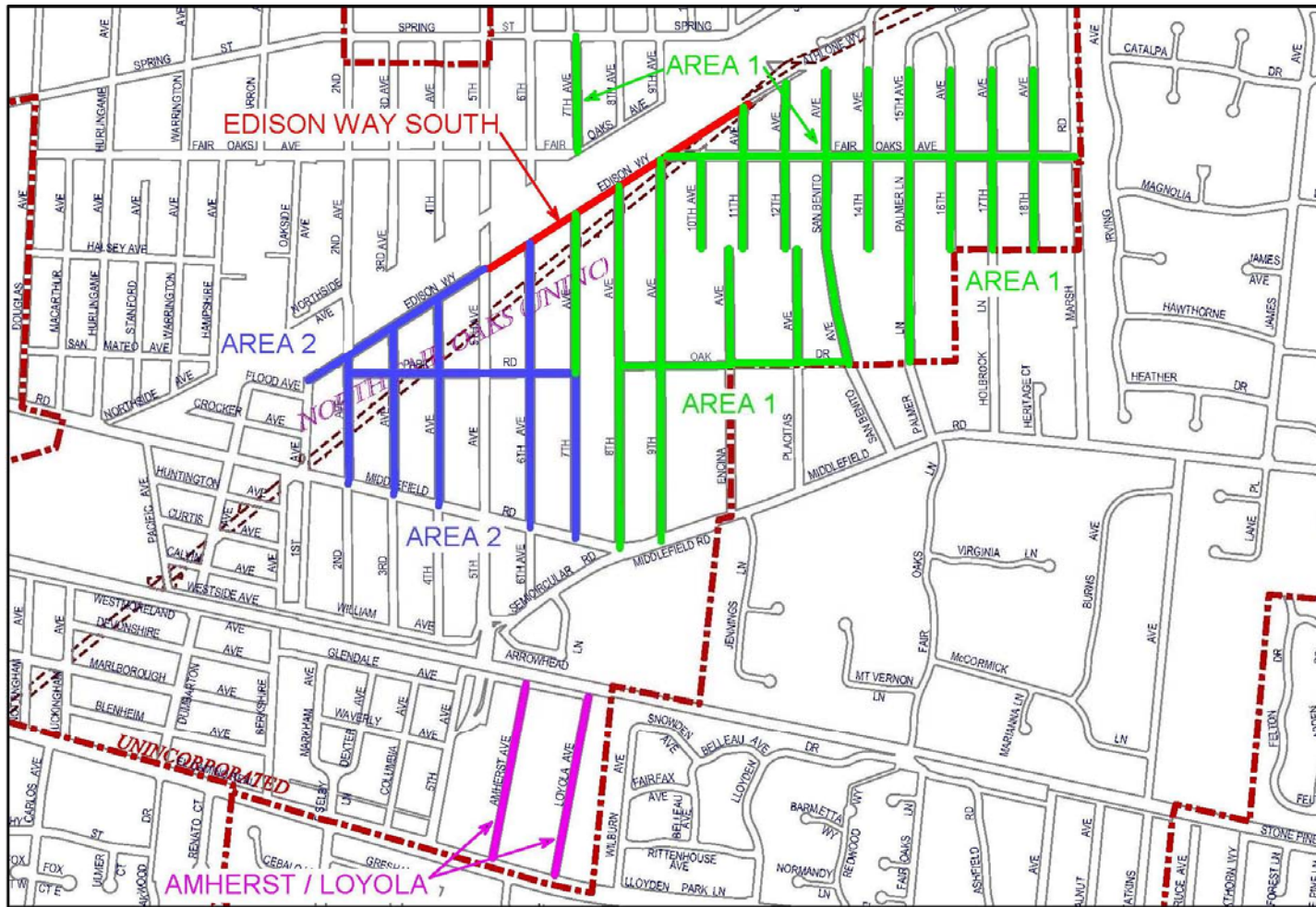
- North Fair Oaks Area Road Improvement Standards and Priority List
- Project Description & Property Owner Survey
- Road Alignment
- Proposed Process and Timeline
- Questions, Comments, and Input



Road Improvement Standards and Priority List

- **2001** – Began development of Road Improvement Standards and Priority List
 - Property owner surveys on unimproved streets and public meetings
 - Priority based on drainage and road condition
- **2002** - Board of Supervisors (Board) adopted Road Improvement Standards and Priority List





LEGEND

- - - CITY / COUNTY LIMITS
- AREA 1
- AREA 2
- EDISON WAY SOUTH:
Between 5th Avenue and 12th Avenue
- AMHERST/LOYOLA:
Between El Camino Real and Glendale Avenue



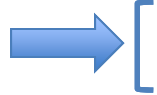
North Fair Oaks Area Priority List

Priority No	Road Name	Begin Location	End Location
1	EDISON WAY	5TH AVENUE	11TH AVENUE (END)
2	EDISON WAY	1ST AVENUE	5TH AVENUE
3	11TH AVENUE	EDISON WAY	END (WEST OF FAIR OAKS AVENUE)
4	12TH AVENUE	END (WEST OF FAIR OAKS AVENUE)	END (EAST OF FAIR OAKS AVENUE)
5	2ND AVENUE	MIDDLEFIELD ROAD	EDISON WAY
6	FAIR OAKS AVENUE	EDISON WAY	MARSH ROAD
7	9TH AVENUE	MIDDLEFIELD ROAD	EDISON WAY
8	OAK DRIVE	8TH AVENUE	SAN BENITO AVENUE
9	PLACITAS AVENUE	OAK DRIVE	END (EAST OF OAK DRIVE)
10	7TH AVENUE	FAIR OAKS AVENUE	SPRING STREET
11	3RD AVENUE	MIDDLEFIELD ROAD	EDISON WAY
12	14TH AVENUE	END (WEST OF FAIR OAKS AVENUE)	300' WEST OF ATHLONE WAY
13	15TH AVENUE / PALMER LANE	789 15TH AVENUE	COUNTY BOUNDARY (AT 501 PALMER LANE)
14	AMHERST AVENUE	EL CAMINO REAL	GLENDALE AVENUE
15	10TH AVENUE	END (WEST OF FAIR OAKS AVENUE)	FAIR OAKS AVENUE

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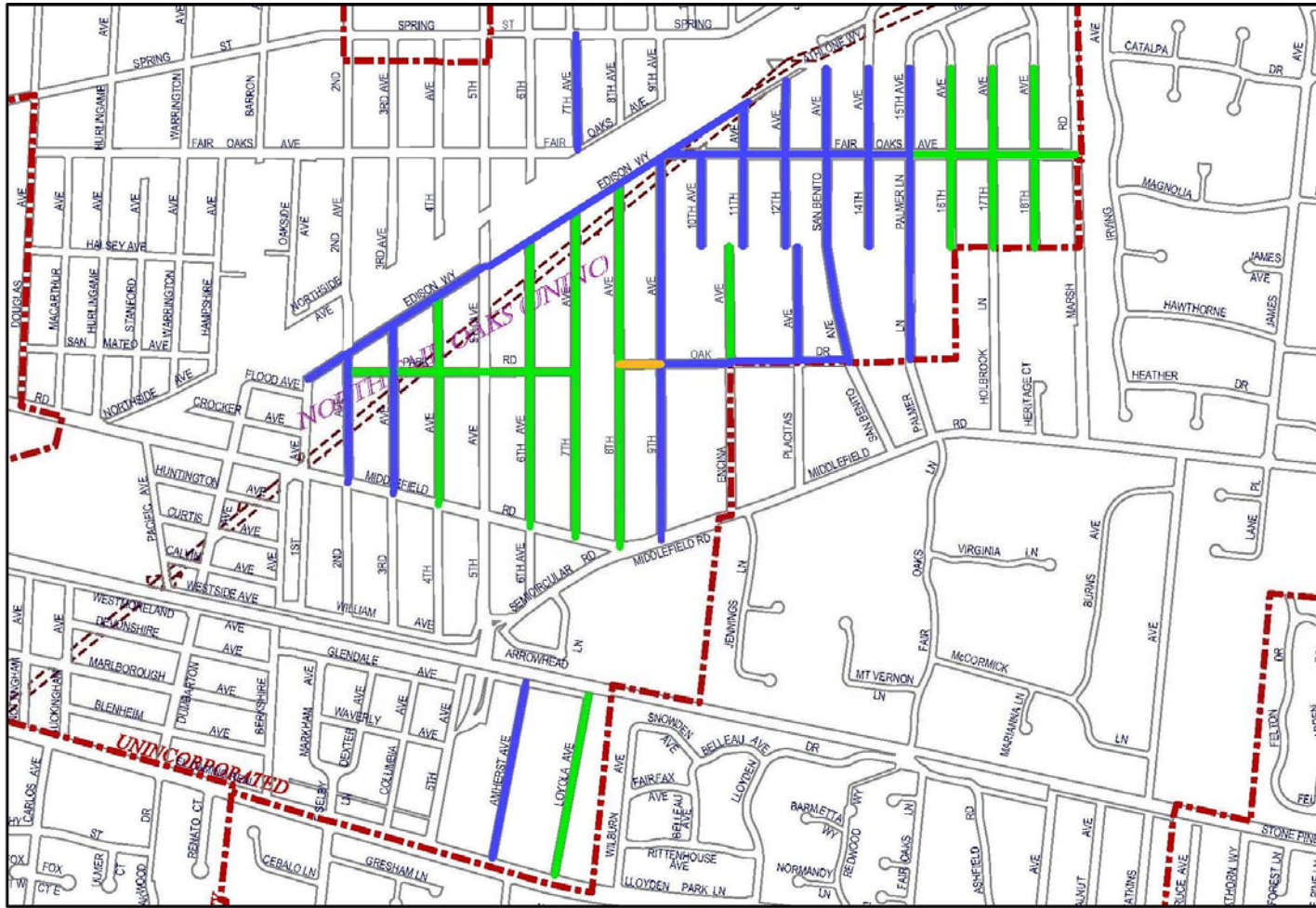


North Fair Oaks Area Priority List



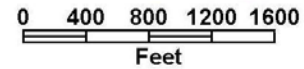
Priority No	Road Name	Begin Location	End Location
16	SAN BENITO AVENUE	OAK DRIVE	END (EAST OF FAIR OAKS AVENUE)
17	7TH AVENUE	PARK ROAD	EDISON WAY
18	7TH AVENUE	MIDDLEFIELD ROAD	PARK ROAD
19	LOYOLA AVENUE	EL CAMINO REAL	GLENDALE AVENUE
20	ENCINA AVENUE	OAK DRIVE	END (EAST OF FAIR OAKS AVENUE)
21	16TH AVENUE	END (WEST OF FAIR OAKS AVENUE)	COUNTY BOUNDARY (AT 789 16TH AVENUE)
22	8TH AVENUE	MIDDLEFIELD ROAD	EDISON WAY
23	PARK ROAD	2ND AVENUE	7TH AVENUE
24	18TH AVENUE	END (WEST OF FAIR OAKS AVENUE)	247-FT EAST OF 17TH AVENUE
25	4TH AVENUE	MIDDLEFIELD ROAD	EDISON WAY
26	6TH AVENUE	MIDDLEFIELD ROAD	EDISON WAY
27	17TH AVENUE	COUNTY BOUNDARY / HOLBROOK LANE	775 17TH AVENUE





LEGEND

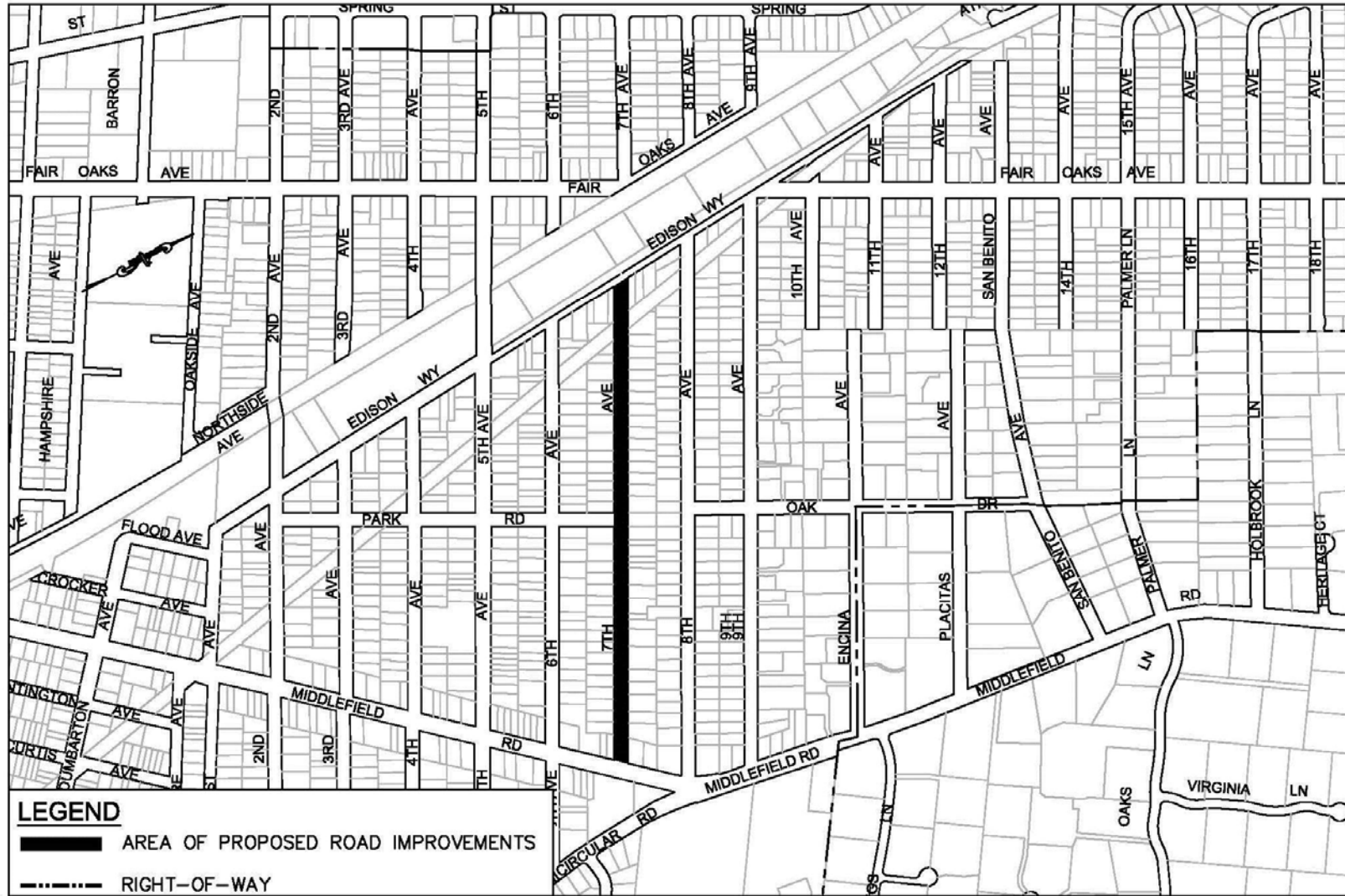
- - - CITY / COUNTY LIMITS
- ROAD COMPLETED
- REMAINING ROADS ON LIST
- ROADS VOTED
NO IMPROVEMENTS
BY PROPERTY OWNERS



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Project Location



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Road Standards and Options

Area 1

Seventh Avenue

(from Park Road to Edison Way)

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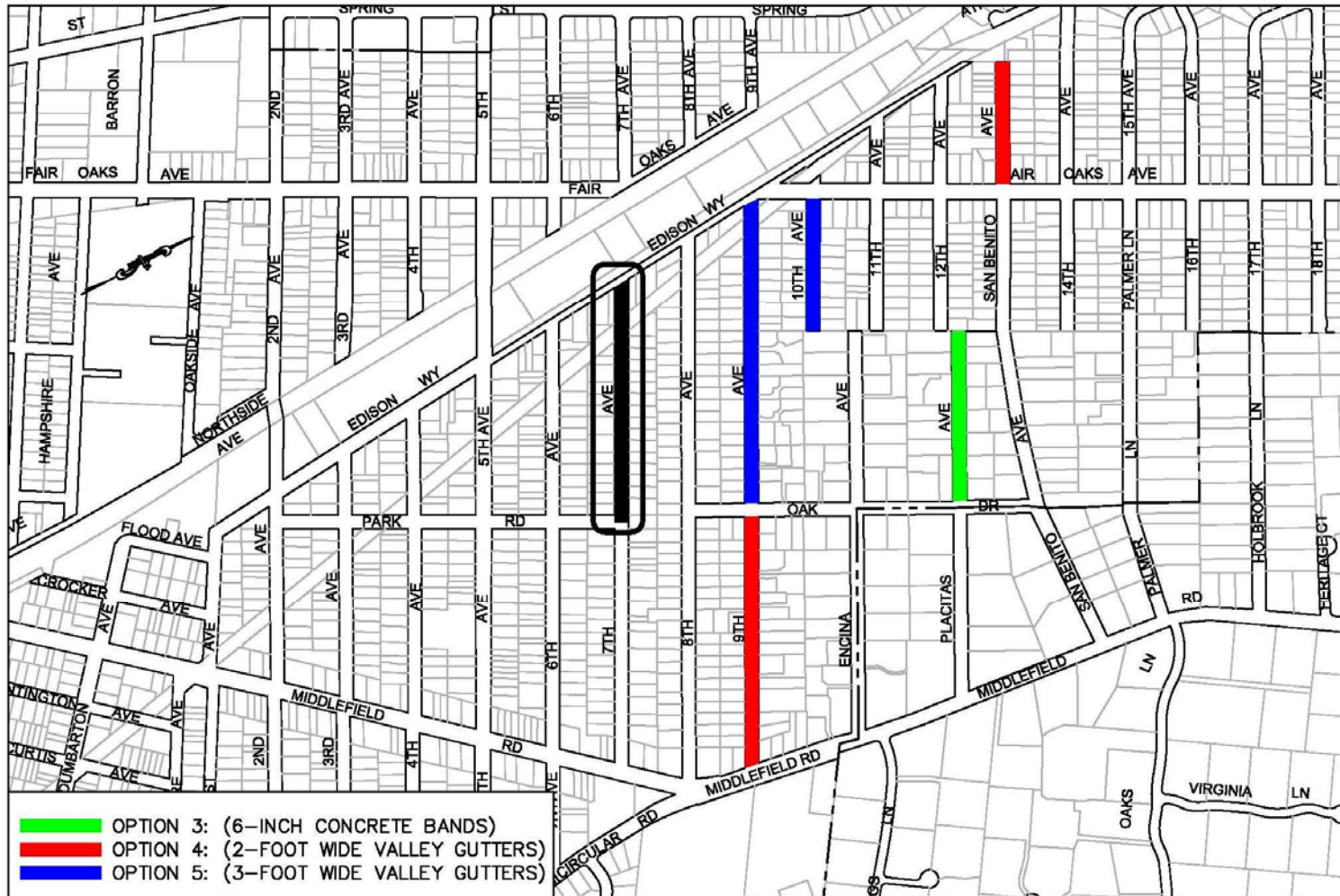
Project Description

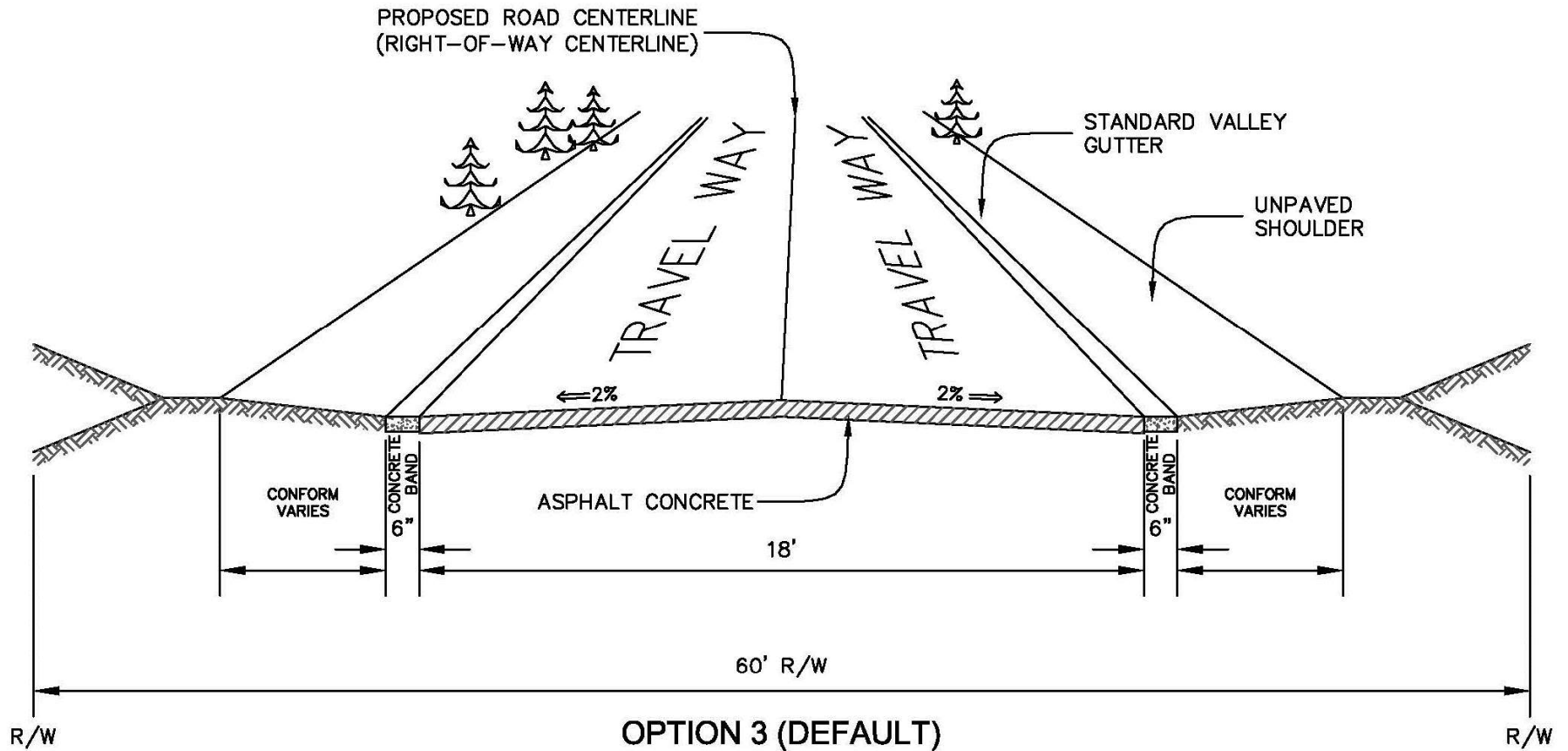
- Park Road to Edison Way
 - Do Nothing
 - Repair and resurface road
 - Reconstruct road with 18 feet of pavement with:
 - 6-inch concrete bands
 - 2-foot wide valley gutter on both sides of road
 - 3-foot wide valley gutter on both sides of road
- Based on the Board's policy the improvements will be centered in the road right-of-way unless the road must be moved to avoid trees or other major encroachments in the road right-of-way.



Area 1

Sample of Construction Options





OPTION 3 (DEFAULT)

18 - FOOT WIDE TRAVEL WAY WITH 6-INCH CONCRETE BANDS

TYPICAL SECTION

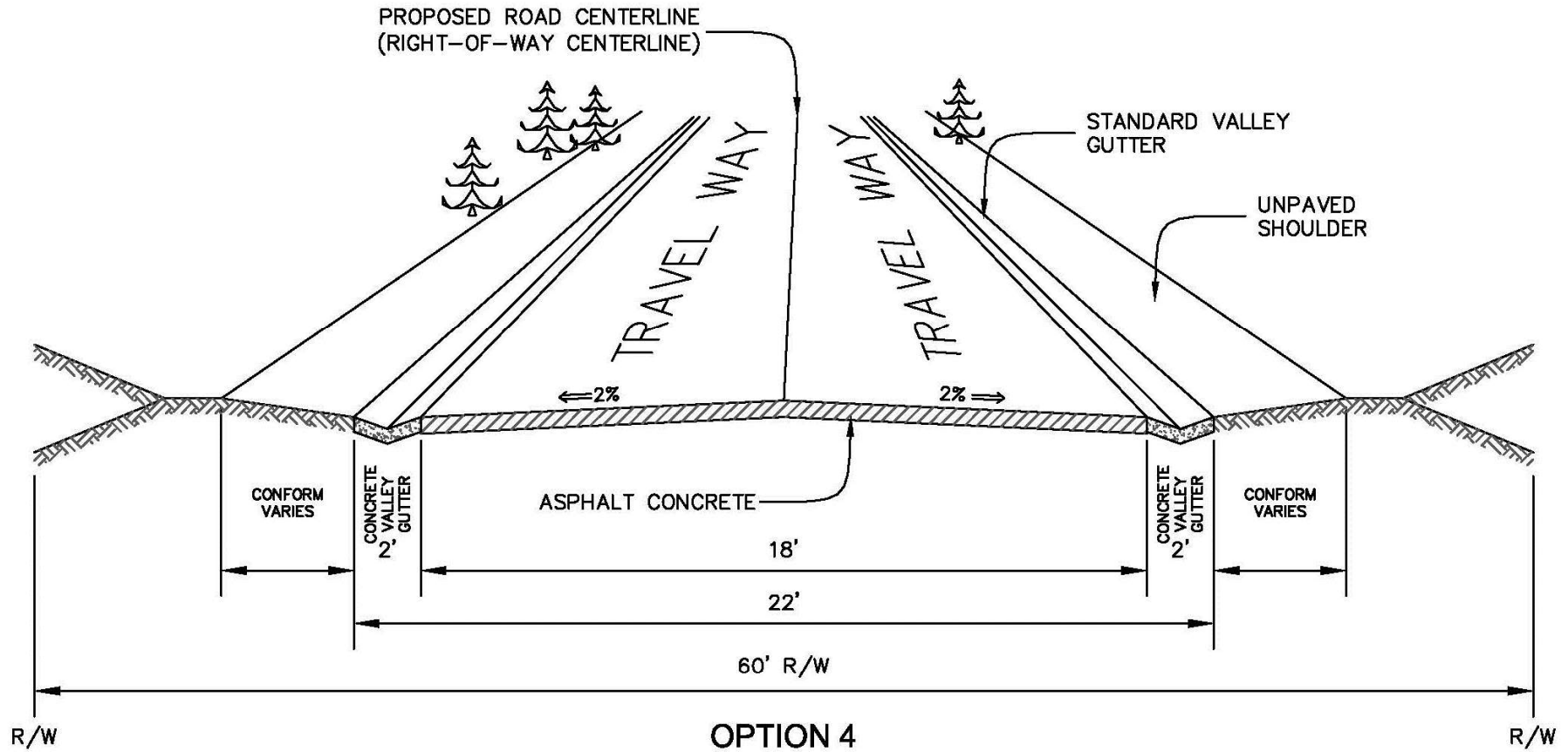
(NO SCALE)

NORTH FAIR OAKS AREA ROAD STANDARD

NOTE: AREA 1: GENERALLY INCLUDES 8TH AVE THROUGH 18TH AVE WEST OF THE DUMBARTON SPUR, AND 7TH AVENUE BETWEEN PARK ROAD AND SPRING STREET.

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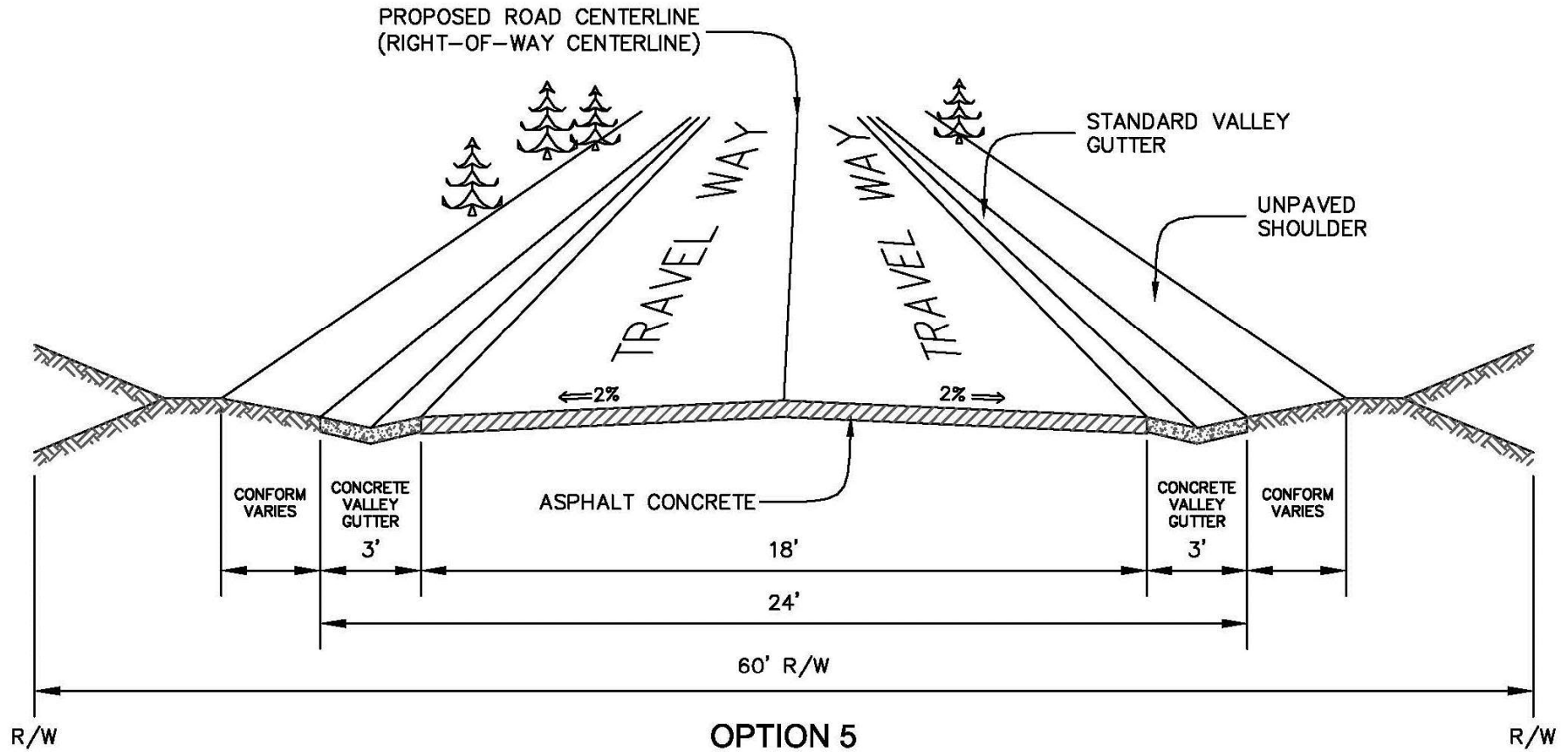




OPTION 4
18 - FOOT WIDE TRAVEL WAY WITH 2-FOOT VALLEY GUTTER
TYPICAL SECTION
 (NO SCALE)

NORTH FAIR OAKS AREA ROAD STANDARD

NOTE: AREA 1: GENERALLY INCLUDES 8TH AVE THROUGH 18TH AVE WEST OF THE DUMBARTON SPUR, AND 7TH AVENUE BETWEEN PARK ROAD AND SPRING STREET.

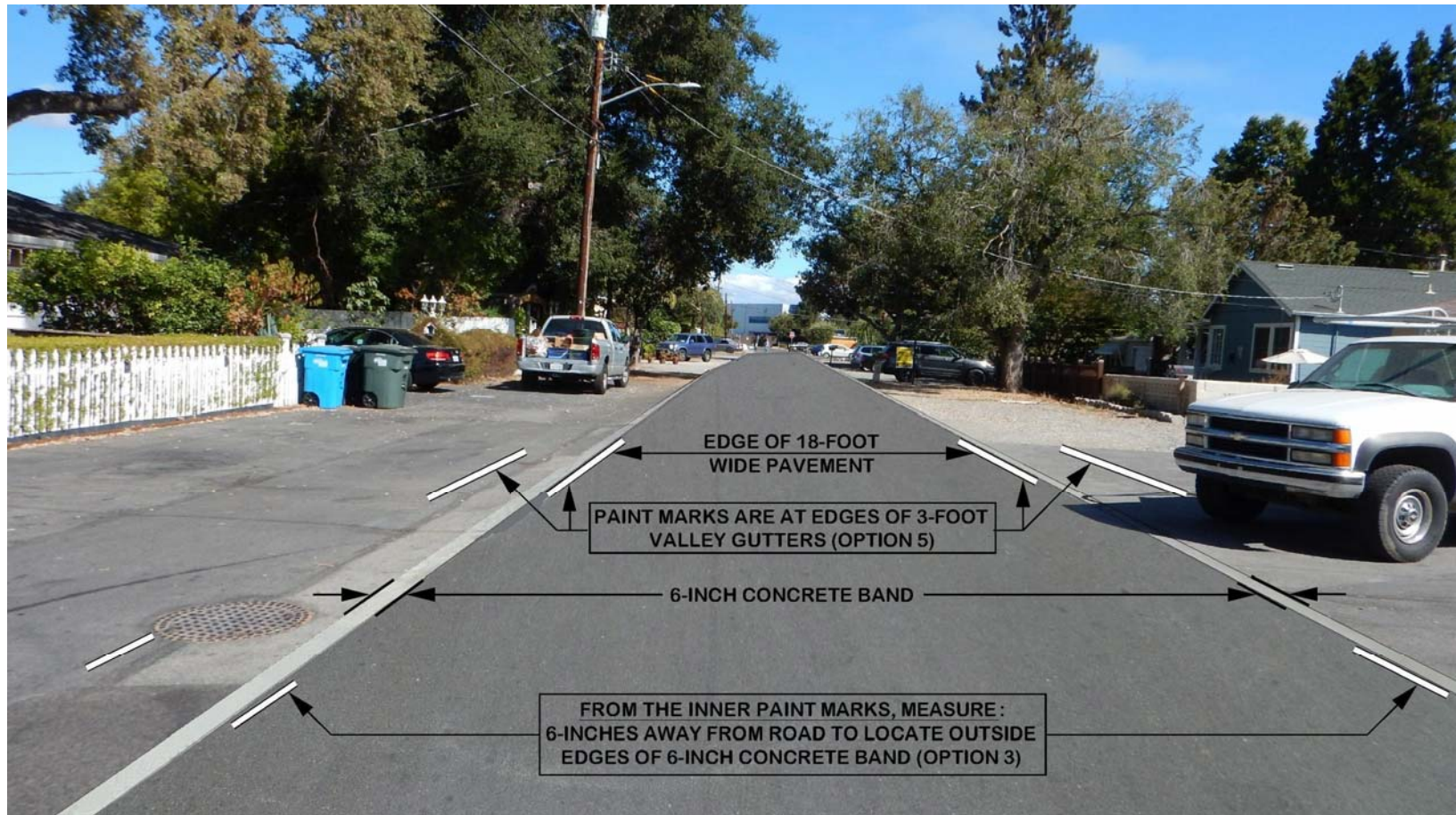


OPTION 5
18 - FOOT WIDE TRAVEL WAY WITH 3-FOOT VALLEY GUTTER
TYPICAL SECTION
 (NO SCALE)

NORTH FAIR OAKS AREA ROAD STANDARD

NOTE: AREA 1: GENERALLY INCLUDES 8TH AVE THROUGH 18TH AVE WEST OF THE DUMBARTON SPUR, AND 7TH AVENUE BETWEEN PARK ROAD AND SPRING STREET.

7TH AVE - FROM PARK ROAD TO EDISON WAY (OPTION 3)
RECONSTRUCT ROAD WITH 18-FOOT WIDE PAVEMENT WITH 6-INCH WIDE CONCRETE BANDS
(Pictorial Not Illustrated To Scale)



7TH AVE - FROM PARK ROAD TO EDISON WAY (OPTION 4 & 5)

OPTION 4 - RECONSTRUCT ROAD WITH 18-FOOT WIDE PAVEMENT WITH 2-FOOT WIDE VALLEY GUTTERS

OPTION 5 - RECONSTRUCT ROAD WITH 18-FOOT WIDE PAVEMENT WITH 3-FOOT WIDE VALLEY GUTTERS

(Pictorial Not Illustrated To Scale)



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Survey Seventh Avenue (Park Road to Edison Way) Area1

Assessor's Parcel Number (APN) located on top portion of mailing label on the envelope:

— — — - — — — - — — —

Your input is very important to us. Please take the time to fill out the form and mail it to us by **Thursday, November 17, 2016**. **Street improvements will not be constructed unless at least fifty percent (50%) of the property owners on a given block (based on front footage) indicate that improvements are desired.**

The following should be the minimum standard used for reconstructing the street adjacent to my property. (Please check only one):

- Option 1** – Do nothing. Maintain as is.
- Option 2** – Repair and resurface the existing pavement.
- Option 3** – Reconstruct road with 18 feet of pavement with 6-inch wide concrete bands.
- Option 4** – Reconstruct road with 18 feet of pavement with 2-foot wide valley gutters.
- Option 5** – Reconstruct road with 18 feet of pavement with 3-foot wide valley gutters.

Note:

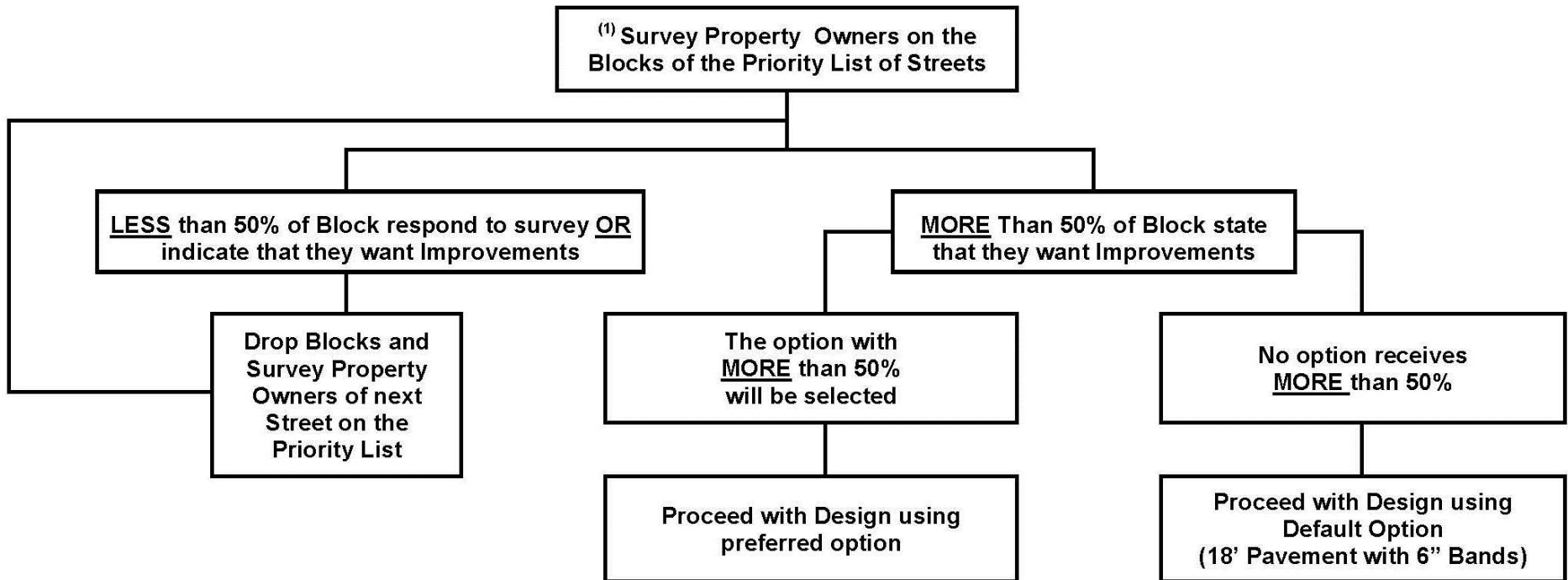
Should a majority of property owners on a given block vote for improvements, the option constructed will be the one that receives at least fifty percent (50%) of the vote (based on front footage).

If no option receives at least fifty percent (50%) of the vote, then Option 3, the default option, will be constructed.

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NORTH FAIR OAKS
(AREA 1)
DESIGN DECISION TREE



NOTES:

(1) Survey results will be weighted based on the front footage of all property owners on the block.



How do the markings match up with the existing conditions?

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7TH AVE - FROM PARK ROAD TO EDISON WAY
Paint Marks and Existing Conditions



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Design Issues Based on Paint Markings

Seventh Avenue (Area 1) - from Park Road to Edison Way

- Some driveways might become steeper than the existing driveways (20% maximum slope per County standard)
- Impacts to existing landscaping/shoulder area/tree

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7TH AVE - FROM PARK ROAD TO EDISON WAY
Design Issues



Road Standards and Options

Area 2

Seventh Avenue

(from Middlefield Road to Park Road)

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Project Description

- Middlefield Road to Park Road
 - Do Nothing
 - Reconstruct road with:
 - 33 feet of pavement with 2-foot wide curbs and gutters
 - 37 feet of pavement with 2-foot wide curbs and gutters

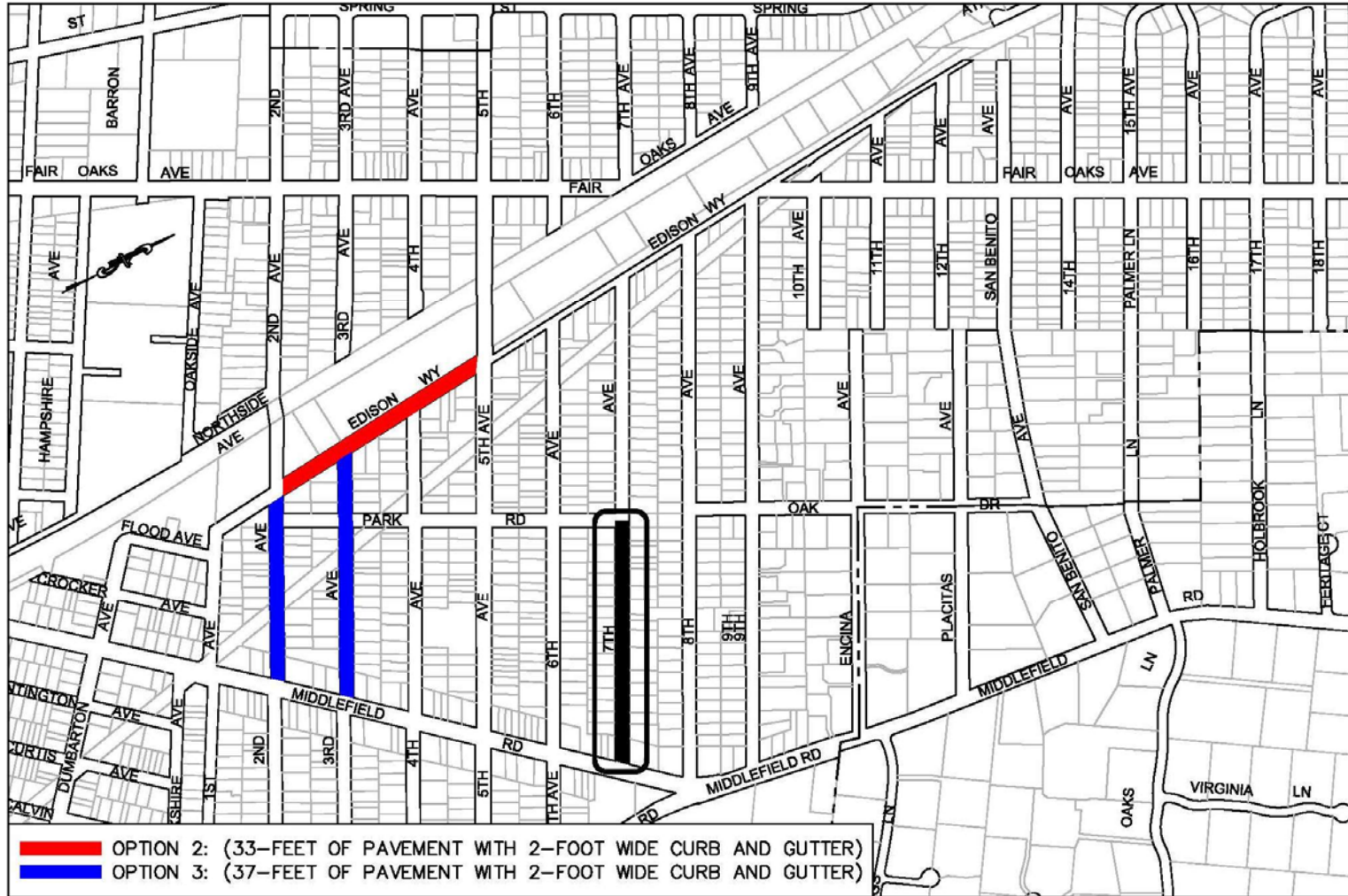
- Minimum roadway and curb and gutter improvements are paid for by the County.

- The property owners are responsible for the cost of driveway construction beyond the back of curb as a “tradeoff” for the County’s cost of providing the wider minimum standard when the standard was adopted by the Board.



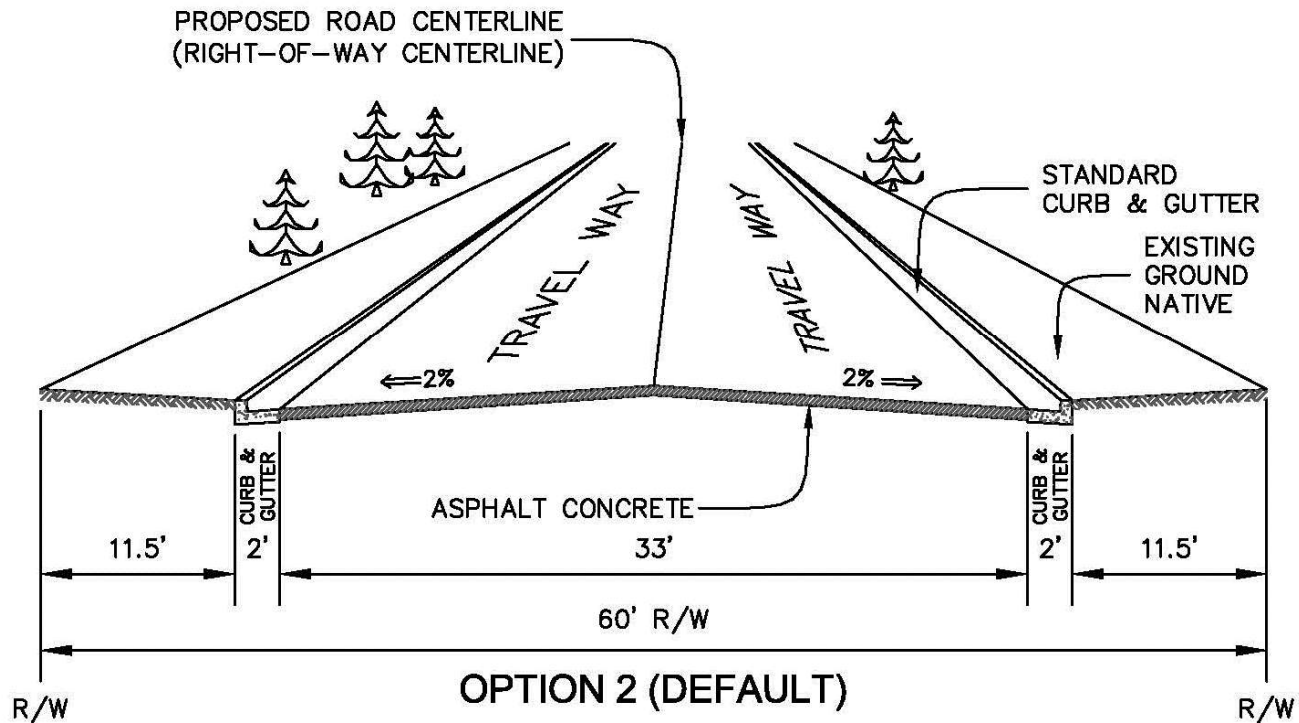
Area 2

Sample of Construction Options



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33-FEET OF PAVEMENT WITH 2-FOOT CURB AND GUTTER
TYPICAL SECTION

(NO SCALE)

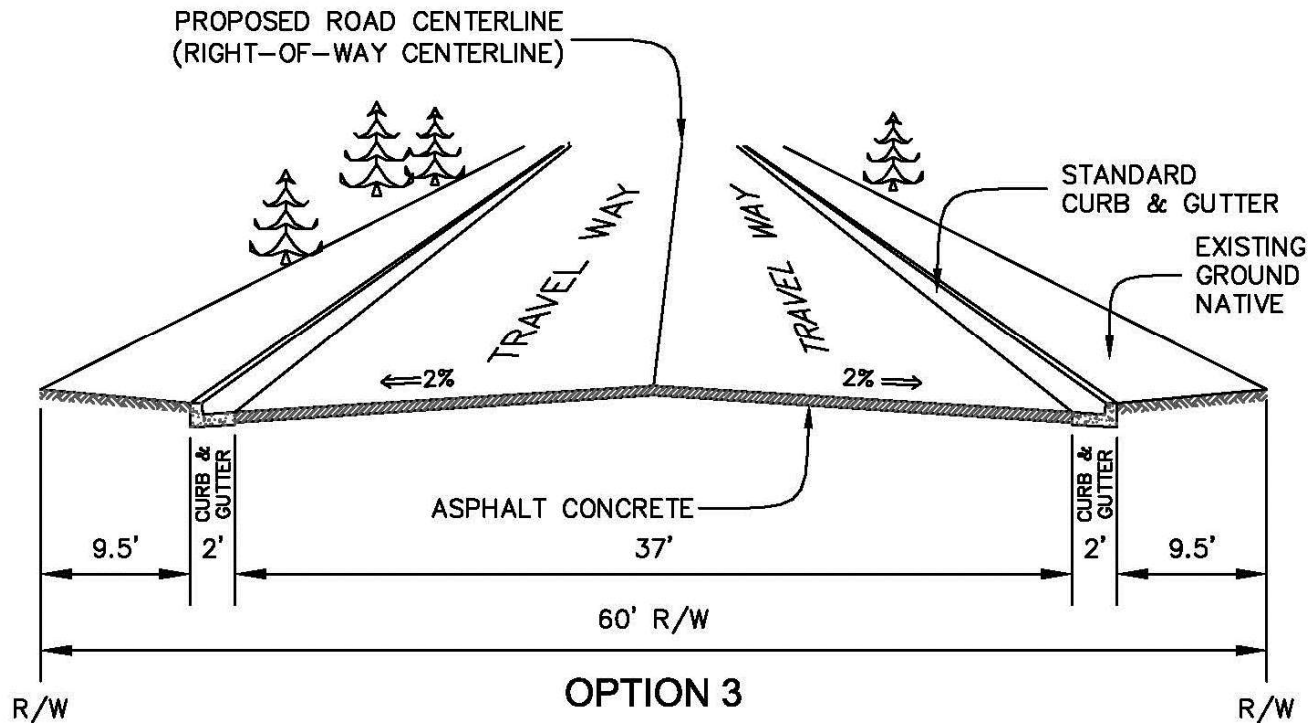
NORTH FAIR OAKS AREA ROAD STANDARD

NOTE: AREA 2:

- I. GENERALLY INCLUDES 2ND AVE THROUGH 6TH AVE BETWEEN MIDDLEFIELD ROAD AND EDISON WAY, AND 7TH AVENUE BETWEEN MIDDLEFIELD ROAD AND PARK AVE.
- II. PROPERTY OWNERS WILL BE RESPONSIBLE FOR DRIVEWAY CONSTRUCTION BEYOND THE BACK OF CURB.

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37-FEET OF PAVEMENT WITH 2-FOOT CURB AND GUTTER
TYPICAL SECTION

(NO SCALE)

NORTH FAIR OAKS AREA ROAD STANDARD

NOTE: AREA 2:

- I. GENERALLY INCLUDES 2ND AVE THROUGH 6TH AVE BETWEEN MIDDLEFIELD ROAD AND EDISON WAY, AND 7TH AVENUE BETWEEN MIDDLEFIELD ROAD AND PARK AVE.
- II. PROPERTY OWNERS WILL BE RESPONSIBLE FOR DRIVEWAY CONSTRUCTION BEYOND THE BACK OF CURB.

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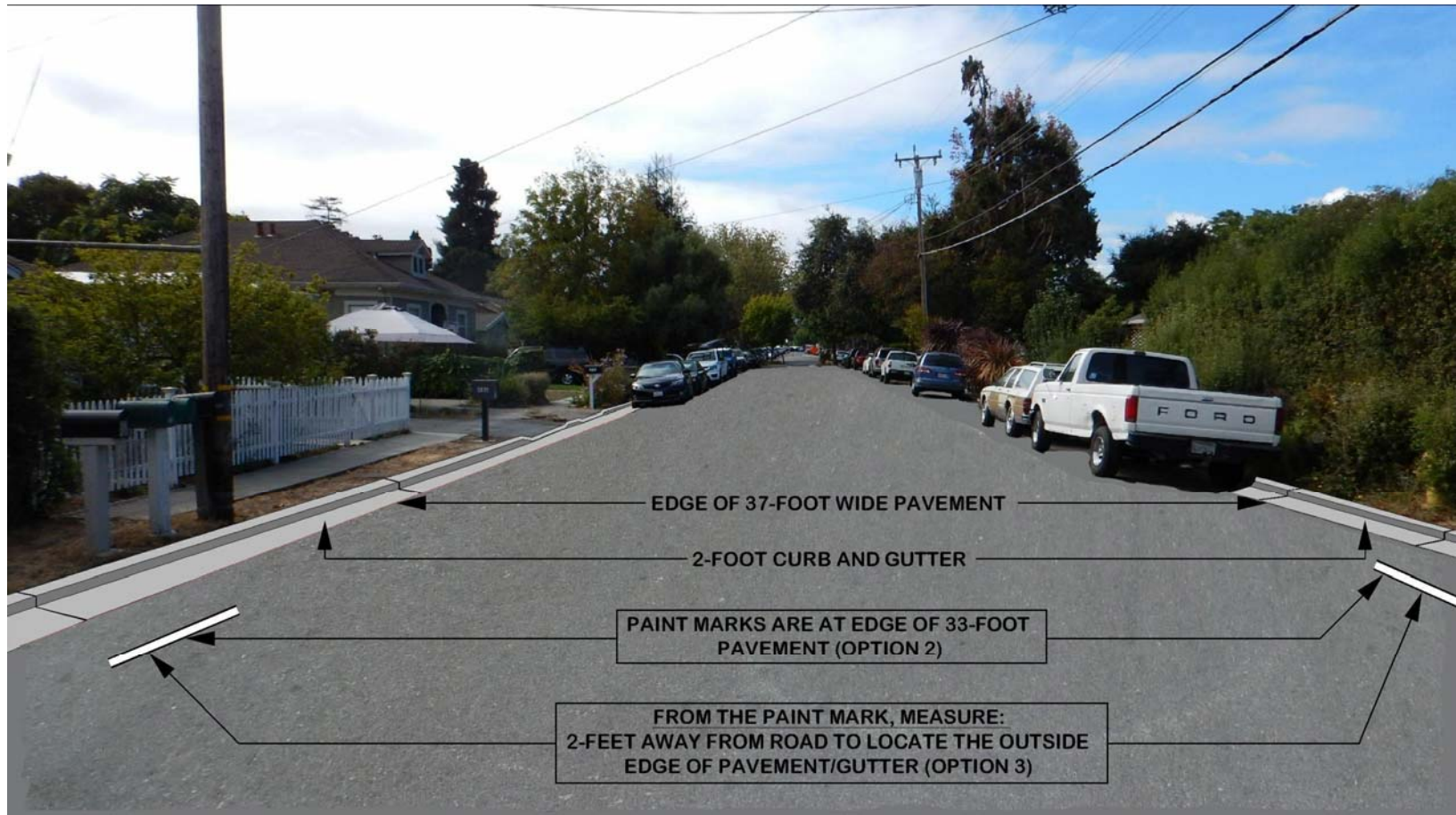


7TH AVE - FROM MIDDLEFIELD ROAD TO PARK ROAD

OPTION 2 - RECONSTRUCT ROAD WITH 33-FOOT WIDE PAVEMENT WITH 2-FOOT WIDE CURBS AND GUTTERS

OPTION 3 - RECONSTRUCT ROAD WITH 37-FOOT WIDE PAVEMENT WITH 2-FOOT WIDE CURBS AND GUTTERS

(Pictorial Not Illustrated To Scale)



COUNTY OF SAN MATEO



Survey Seventh Avenue (Middlefield Road to Park Road) Area 2

Assessor's Parcel Number (APN) located on top portion of mailing label on the envelope:

— — — — —

Your input is very important to us. Please take the time to fill out the form and mail it to us by **Thursday, November 17, 2016**. **Street improvements will not be constructed unless at least fifty percent (50%) of the property owners on a given block (based on front footage) indicate that improvements are desired.**

The following should be the minimum standard used for reconstructing the street adjacent to my property. (Please check only one):

- Option 1** – Do nothing. Maintain as is.
- Option 2** – Reconstruct 33-feet of pavement with 2-foot wide curbs and gutters.
- Option 3** – Reconstruct 37-feet of pavement with 2-foot wide curbs and gutters.

Note:

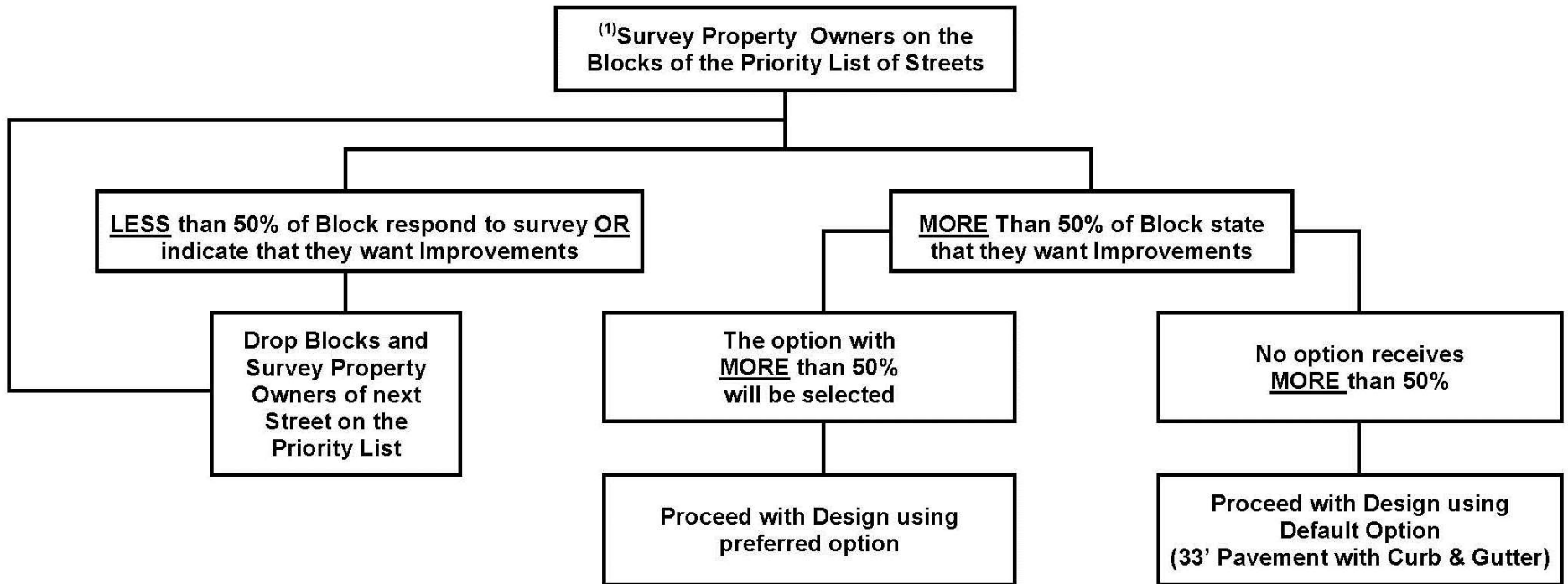
Should a majority of property owners on a given block vote for improvements, the option constructed will be the one that receives at least fifty percent (50%) of the vote (based on front footage).

If no option receives at least fifty percent (50%) of the vote, then Option 2, the default option, will be constructed

COUNTY OF SAN MATEO



NORTH FAIR OAKS
(AREA 2)
DESIGN DECISION TREE



NOTES:

(1) Survey results will be weighted based on the front footage of all property owners on the block.



How do the markings match up with the existing conditions?

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7TH AVE - FROM MIDDLEFIELD ROAD TO PARK ROAD
Gap between new and existing improvement
(OPTION 2)

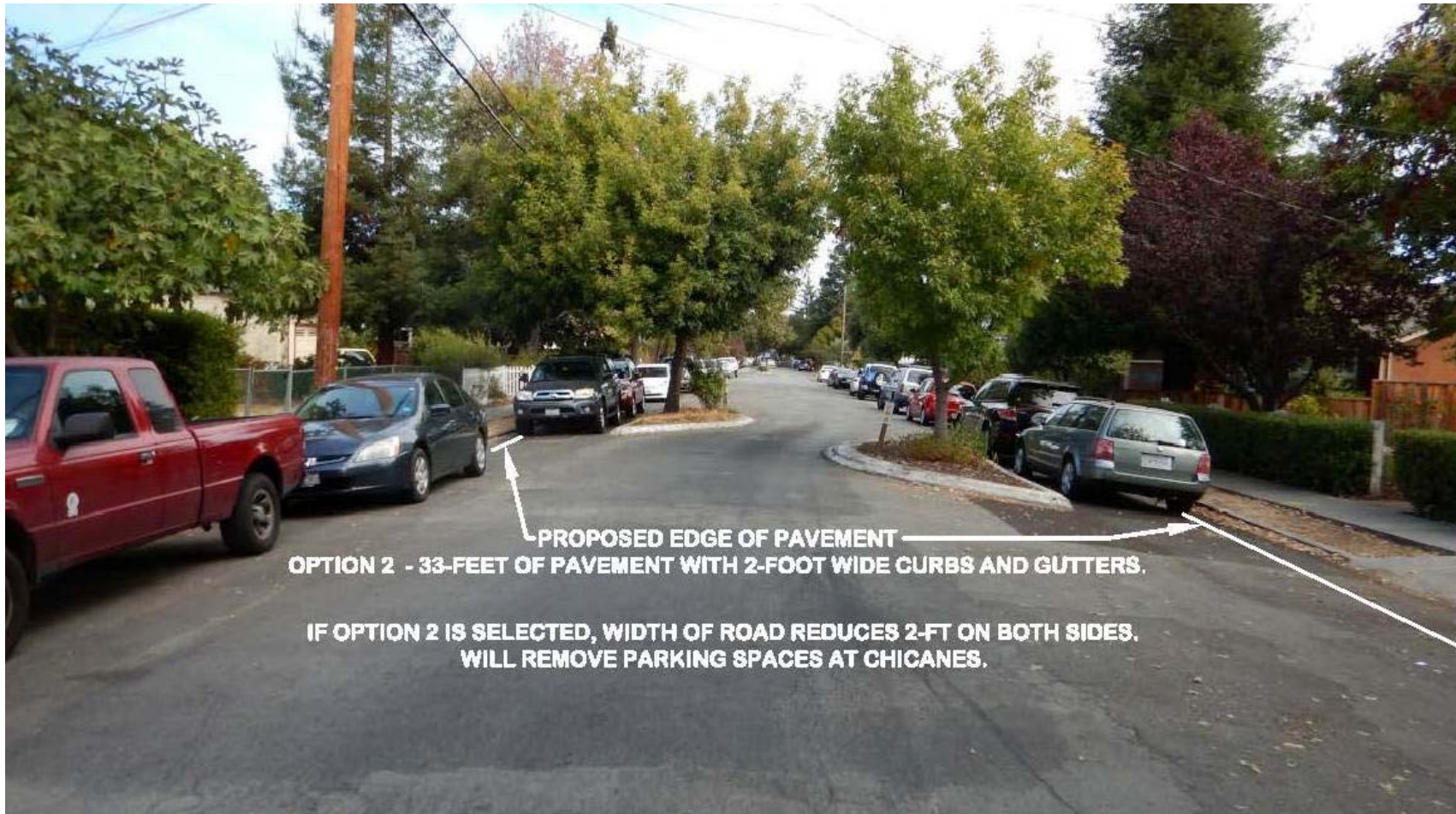


Design Issues Based on Paint Markings

Seventh Avenue (Area 2) - from Middlefield Road to Park Road

- Some driveways might become steeper than the existing driveways (20% maximum slope per County standard)
- Impacts to existing landscaping/shoulder area/trees
- Option 2 (narrower option) of 33' wide pavement with 2' curb and gutters will create a 2' gap between the new curbs and existing curbs. The cost to fill in this gap in the driveway areas will be the responsibility of property owners.

7TH AVE - FROM MIDDLEFIELD ROAD TO PARK ROAD Design Issues



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7TH AVE - FROM MIDDLEFIELD ROAD TO PARK ROAD
Design Issues



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Proposed Process & Timeline

Seventh Avenue

- **November 2016**: Meet with property owners and conduct property owner survey
- **December 2016**: Determine if there is a project and standard(s) to be used
- **Spring 2017**: Develop project scope and design project
- **Late Spring 2017**: Advertise and bid out project
- **Summer 2017**: Project construction



Project Funding

- Construction of the roadway, valley gutters, curb & gutter and minor work.
- Work outside of project scope:
 - Landscaping, shoulder and driveway work beyond the required project limit
 - If Property Owners have been contemplating sewer lateral work, completing it prior to roadway work would be advised. Property owners are responsible for maintenance, repair and replacement of the sewer lateral from house to the sewer main in the street.



Questions, Comments, and Input

Contact:

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