

November 13, 2015

**Re: Property Owner Survey and Property Owner Meeting
Reconstruction of Palo Alto Way from Leland Avenue to Santa Cruz Avenue
West Menlo Park Area [County Project File No. E4942000]**

Dear Property Owner:

The San Mateo County Board of Supervisors (Board) adopted minimum road standards and a priority list for improving roads in the West Menlo Park Area so that minimum road improvements, where desired by the property owners, can be constructed and paid for by the County of San Mateo. We are continuing to construct roads to the adopted standards and priority list as funding is available. Palo Alto Way (from Leland Avenue to Santa Cruz Avenue) is one of the next streets on the priority list and we are asking for your input regarding this road project. In addition to Palo Alto Way, portions of Leland Avenue and Stanford Avenue are also being considered for improvement at this time.

We are surveying your block of Palo Alto Way to determine whether or not minimum improvements are now desired and, if so, which of the following adopted standards for your area, as described below, is preferred:

- Option 1** – Do nothing. Maintain as is.
- Option 2** – Reconstruct road to an 18-foot wide road with a 2-foot wide valley gutter located at the center.
- Option 3** – Reconstruct road to an 18-foot wide road with a 3-foot wide valley gutter located at the center.

Based on the Board's policy, the improvements will be centered in the road right-of-way unless the road must be moved to avoid trees or other major encroachments in the road right-of-way. The adopted general standard options for this area are 18 feet of pavement with 3-foot wide valley gutters on both sides or 22 feet of pavement with 3-foot wide valley gutters on both sides. However, Palo Alto Way has a narrow road right-of-way width of 20 feet with an existing pavement width of 16 feet and landscaping located along the roadway shoulder area on both sides of the road. Therefore, there is insufficient road right-of-way width to construct 3-foot wide valley gutters on both sides of the road.

Enclosed is a pictorial representation of Option 2 and 3 for your reference. Our survey crew has spray painted the proposed location for the 3-foot wide valley gutter for Option 3 on your street. The pictorial representation and information listed below provide you with a description of how you can determine the improvement locations for Option 2 based on the spray paint marks.



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Page 2

Option 3 (spray painted)	How to Locate Option 2
18-foot wide road with 3-foot wide valley gutter located at the center of road	The edges of the 2-ft valley gutter can be located by measuring 0.5 feet from the spray paint marks toward the center of the road on both sides.

Please fill out the attached survey and return it to us in the enclosed self-addressed stamped envelope by **Wednesday, December 16, 2015**. Your response to this survey is important for the following reasons:

- (1) **Improvements will not be constructed unless at least fifty percent (50%) of all the property owners on a given block (based on front footage) indicate that improvements are desired; and**
- (2) **Should at least fifty percent (50%) of all the property owners on a given block vote for improvements, as stipulated above, the option that receives the majority of the vote (based on front footage of all the property owners) will be constructed.**

We have scheduled a public meeting to answer any questions you may have regarding the project and provide you with any additional information you may need in order to complete the survey. The meeting will be held on:

Date: December 3, 2015 (Thursday) / Time: 7:00 PM to 8:00 PM
Place: Oak Knoll Elementary School (Library)
1895 Oak Knoll Lane, Menlo Park, CA 94025

Please contact Anthony Seto or Wency Ng of my staff at (650) 363-4100 if you have any questions. They can also be reached by e-mail at:

aseto@smcgov.org
wng@smcgov.org

Very truly yours,



James C. Porter
Director of Public Works

JCP:AMS:GT:WN:AS:

F:\Users\design\C3D\E4942000\doc\PO Survey\Palo Alto Wy PO Survey Ltr.doc

Encl: Palo Alto Way Pictorial Representations (Option 2 and 3)
Official Survey
Self-Addressed Stamped Envelope

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November 13, 2015

Page 3

cc: Supervisor Don Horsley
John L. Maltbie, County Manager

PALO ALTO WAY (OPTION 2 AND 3)

- OPTION 2 - RECONSTRUCT TO 18-FOOT WIDE ROAD WITH A 2-FOOT WIDE VALLEY GUTTER
- OPTION 3 - RECONSTRUCT TO 18-FOOT WIDE ROAD WITH A 3-FOOT WIDE VALLEY GUTTER

(Pictorial Not Illustrated To Scale)





OFFICIAL SURVEY
Palo Alto Way (from Leland Avenue to Santa Cruz Avenue)

Name: _____

Signature _____

Mailing
Address: _____

Property
Address: _____

Phone No.: _____

Email: _____

Assessors Parcel Number (APN) located on top portion of mailing label on the envelope:

____ - ____ - ____ - ____ - ____ - ____ - ____ - ____

Your input is very important to us. Please take the time to fill out the form and mail it to us by **Wednesday, December 16, 2015**. **Street improvements will not be constructed unless at least fifty percent (50%) of all the property owners on a given block (based on front footage) indicate that improvements are desired.**

The following should be the minimum standard used for reconstructing the street adjacent to my property. (Please check only one):

- Option 1** – Do nothing. Maintain as is.
- Option 2** – Reconstruct road to 18-foot wide road with a 2-foot wide valley gutter at center.
- Option 3** – Reconstruct road to 18-foot wide road with a 3-foot wide valley gutter at center.

Note:

Should at least fifty percent (50%) of all the property owners on a given block vote for improvements, the option that receives the majority of the vote (based on front footage of all the property owners) will be constructed.

Comments: (i.e. if you would like the new road to be aligned with the existing road centerline, road width, or other concerns/comments)