



## ***San Mateo County Planning Commission Meeting***

Owner/Applicant: Steve Peterson

Attachment: B

File Numbers: PLN2016-00337 and PLN2016-00264

SITE DATA				CONTENTS																																																																							
<p>JOB ADDRESS _____ APN# 045-072-080 APN# 045-072-070</p> <p>LEGAL DESCRIPTION _____ MIRAMAR TERRACE SUB. OF BLOCK 10</p> <p>TYPE OF CONSTRUCTION _____ TYPE V-N</p> <p>NUMBER OF STORIES _____ TWO STORY</p> <p>JOB DESCRIPTION _____ NEW TWO STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE NEW ACCESSORY LIVING QUARTERS &amp; CARPORT</p> <p>APPLICABLE CODES _____ 1997 UBC, 2000 UPC, 2000 UAC, 1989 NEC, TITLE 19 CNC, TITLE 24 CEC, 1994 ADA ACCESSIBILITY GUIDELINES ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS &amp; REGULATIONS.</p> <p>ZONE _____ R1 - S-B</p>				<p><b>ARCHITECTURAL</b></p> <p>A-0.0 Cover Sheet A-0.1 General Notes A-0.2 Title 24 A-0.3 Window &amp; Door Schedules A-0.5 Survey A-0.6 Site Plan A-1.0 Main House Lower Level Floor Plan A-1.1 Main House Upper Level Floor Plan A-1.2 Main House Roof Plan A-2.0 Main House Upper Level Reflected Ceiling Plan A-2.1 Main House Lower Level Reflected Ceiling Plan A-3.0 Main House Exterior Elevations A-3.1 Main House Exterior Elevations A-4.0 Main House Building Sections A-4.1 Main House Building Sections</p>																																																																							
<p><b>AREA TABULATION</b></p> <p>LOT AREA _____ 22,337 SF</p> <p>MAXIMUM ALLOWABLE BUILDING FLOOR AREA _____ 4,200 SF</p> <p>PROPOSED BUILDING FLOOR AREA _____ 5,707 SF</p> <p>MAXIMUM ALLOWABLE PARCEL COVERAGE (22,337 SF X .3) _____ 6,701 SF</p> <p>PROPOSED PARCEL COVERAGE _____ 4,067 SF</p> <p>Accessory Structure 1,082 SF (Conditioned Area footprint, Carport, and Bridge Included)</p> <p>Main House 2,617 SF (Conditioned Area footprint, Garage, Bridge, and Lower Level Terrace Included)</p> <p><b>MAIN RESIDENCE</b></p> <p>UPPER LEVEL _____ 1,089 SF</p> <p>LOWER LEVEL _____ 1,022 SF</p> <p>CONDITIONED AREA SUB-TOTAL _____ 3,491 SF</p> <p>GARAGE _____ 487 SF</p> <p>MECHANICAL _____ 55 SF</p> <p>BUILDING FLOOR AREA SUB-TOTAL _____ 4,033 SF</p> <p><b>ACCESSORY STRUCTURE (PER SEPARATE PERMIT)</b></p> <p>PROPOSED UPPER LEVEL _____ 576 SF</p> <p>PROPOSED LOWER LEVEL _____ 576 SF</p> <p>CONDITIONED AREA SUB-TOTAL _____ 1,152 SF</p> <p>PROPOSED CARPORT _____ 400 SF</p> <p>BUILDING FLOOR AREA SUB-TOTAL _____ 1,552 SF</p> <p>TOTAL PROPOSED BUILDING FLOOR AREA _____ 5,707 SF</p>				<p><b>RECEIVED</b></p> <p>AUG 1 8 2016</p> <p>San Mateo County Planning Division</p>																																																																							
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<p><b>ABBREVIATIONS</b></p> <table border="0"> <tr> <td>ARCH. Architectural</td> <td>INT. Interior</td> </tr> <tr> <td>BTWN. Subsoil</td> <td>MAX. Maximum</td> </tr> <tr> <td>BLDG. Building</td> <td>MIN. Minimum</td> </tr> <tr> <td>BLK. Block</td> <td>MECH. Mechanical</td> </tr> <tr> <td>BM. Beam</td> <td>MPGR. Manufacturer</td> </tr> <tr> <td>CSMT. Cessment</td> <td>MICRO. Microwave</td> </tr> <tr> <td>CLR. Clear</td> <td>MTL. Metal</td> </tr> <tr> <td>CLG. Ceiling</td> <td>NAT. Natural</td> </tr> <tr> <td>C.J. Ceiling Joint</td> <td>(N) New</td> </tr> <tr> <td>COL. Column</td> <td>NO. Number</td> </tr> <tr> <td>CONC. Concrete</td> <td>O.C. On Center</td> </tr> <tr> <td>CONT. Continuous</td> <td>PLYWD. Plywood</td> </tr> <tr> <td>DRY. Dryer</td> <td>RIS. Risers</td> </tr> <tr> <td>Ø. Diameter</td> <td>R.O. Rough Opening</td> </tr> <tr> <td>DR. Dimension(s)</td> <td>R.R. Roof Rafter</td> </tr> <tr> <td>D.W. Dishwasher</td> <td>REV. Revision</td> </tr> <tr> <td>DWG. Drawings</td> <td>REFR. Refrigerator</td> </tr> <tr> <td>ELEV. Elevation</td> <td>REQD. Required</td> </tr> <tr> <td>EQ. Equal</td> <td>SH. Shelf</td> </tr> <tr> <td>EST. Existing</td> <td>SL. Slicer</td> </tr> <tr> <td>EXT. Exterior</td> <td>SM. Smoker</td> </tr> <tr> <td>F.A.U. Forced Air Unit</td> <td>STL. Steel</td> </tr> <tr> <td>FIN. Finish, Finished</td> <td>STRUCT. Structural</td> </tr> <tr> <td>F.L. Floor</td> <td>TEMP. Tempered</td> </tr> <tr> <td>F.J. Floor Joint</td> <td>TR. Treads</td> </tr> <tr> <td>FTG. Footing</td> <td>T.G.S. Tongue &amp; Groove</td> </tr> <tr> <td>FRZ. Freezer</td> <td>T.O. Top of</td> </tr> <tr> <td>GA. Gauge</td> <td>TYP. Typical</td> </tr> <tr> <td>GALV. Galvanized</td> <td>U.N.O. Unless Noted Otherwise</td> </tr> <tr> <td>G.D. Garage Door(s)</td> <td>V.I.F. Verify in Field</td> </tr> <tr> <td>GRD. Grate</td> <td>WASH. Washer</td> </tr> <tr> <td>GYP. SO. Gypsum Board</td> <td>W.H. Water Heater</td> </tr> <tr> <td>HDR. Header</td> <td>W.D. Wood</td> </tr> <tr> <td>H.E. High Efficacy</td> <td>WP. Water Proof</td> </tr> <tr> <td>HGT. Height</td> <td></td> </tr> </table>		ARCH. Architectural	INT. Interior	BTWN. Subsoil	MAX. Maximum	BLDG. Building	MIN. Minimum	BLK. Block	MECH. Mechanical	BM. Beam	MPGR. Manufacturer	CSMT. Cessment	MICRO. Microwave	CLR. Clear	MTL. Metal	CLG. Ceiling	NAT. Natural	C.J. Ceiling Joint	(N) New	COL. Column	NO. Number	CONC. Concrete	O.C. On Center	CONT. Continuous	PLYWD. Plywood	DRY. Dryer	RIS. Risers	Ø. Diameter	R.O. Rough Opening	DR. Dimension(s)	R.R. Roof Rafter	D.W. Dishwasher	REV. Revision	DWG. Drawings	REFR. Refrigerator	ELEV. Elevation	REQD. Required	EQ. Equal	SH. Shelf	EST. Existing	SL. Slicer	EXT. Exterior	SM. Smoker	F.A.U. Forced Air Unit	STL. Steel	FIN. Finish, Finished	STRUCT. Structural	F.L. Floor	TEMP. Tempered	F.J. Floor Joint	TR. Treads	FTG. Footing	T.G.S. Tongue & Groove	FRZ. Freezer	T.O. Top of	GA. Gauge	TYP. Typical	GALV. Galvanized	U.N.O. Unless Noted Otherwise	G.D. Garage Door(s)	V.I.F. Verify in Field	GRD. Grate	WASH. Washer	GYP. SO. Gypsum Board	W.H. Water Heater	HDR. Header	W.D. Wood	H.E. High Efficacy	WP. Water Proof	HGT. Height		<p><b>PROJECT CONTACTS</b></p> <p><b>OWNER:</b> Steve Peterson P.O. BOX 420888 Menlo Park, CA 94022 T. 650.348.3400</p> <p><b>ARCHITECT:</b> Amy Williams Architects 680 Third Street, Suite 200 San Francisco, CA 94107 T. 415.321.4751 F. 415.321.4751</p> <p><b>SURVEYOR / CIVIL ENGINEER:</b> Lee and Brown Engineering, Inc. 2455 Industrial Parkway West Hayward, CA 94541 T. 910.887.4088 F. 910.887.3019</p> <p><b>STRUCTURAL ENGINEER:</b> Mike Matteson &amp; Associates 651 Battery Road, Suite 700 Berkeley, CA 94709 T. 650.348.3407</p>		<p><b>LEGEND</b></p> <p> Masonry Wall</p> <p> New Wall</p> <p> Shearwall - On Structural</p> <p> Door</p> <p> Window</p> <p> Detail #</p> <p> Interior Elevations</p> <p> Section</p> <p> Exterior Elevation</p> <p> Dimension to center line</p> <p> Dimension to face of framing/masonry (unless noted otherwise)</p> <p> Slope</p> <p> Elevation Heights</p>	
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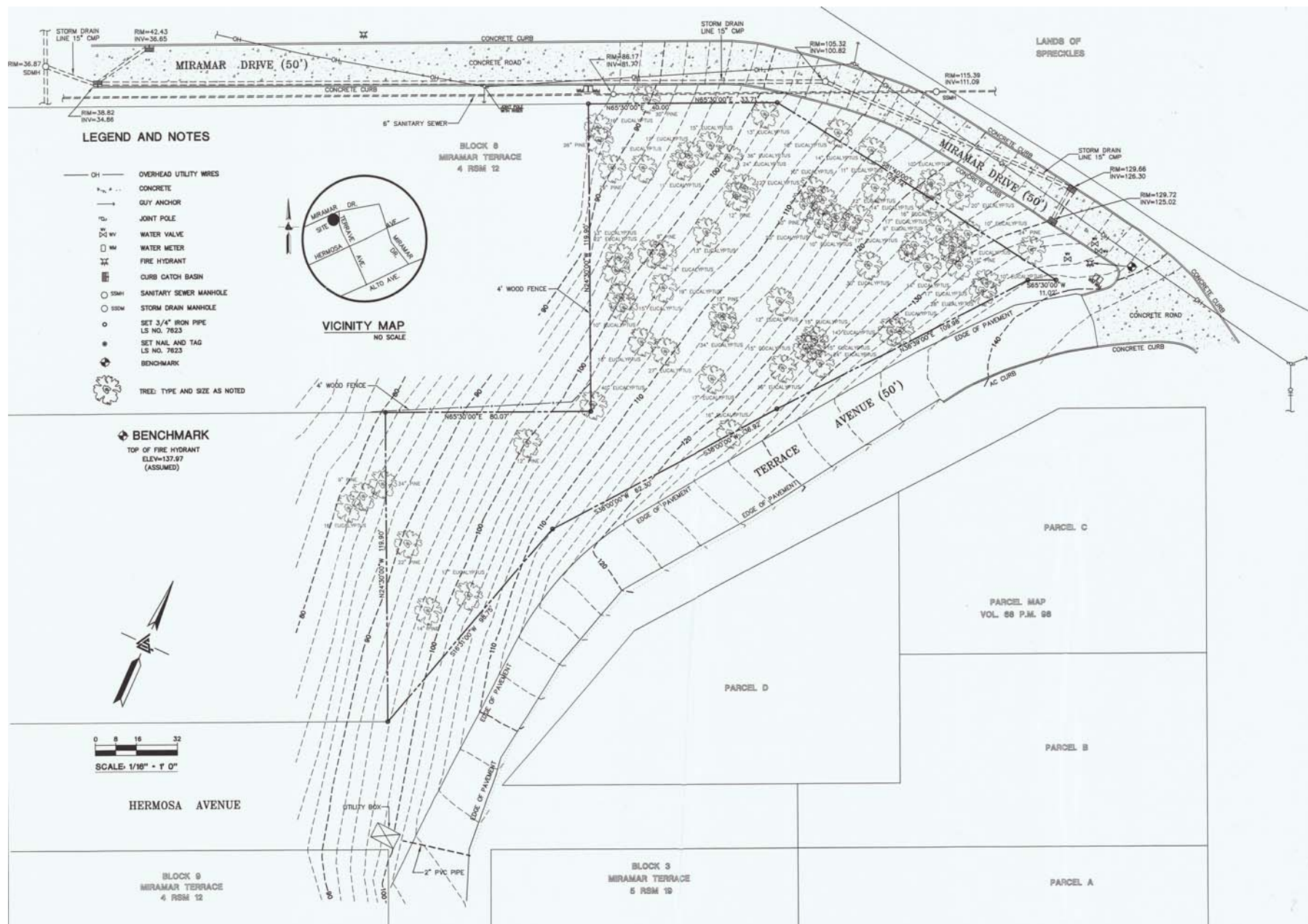
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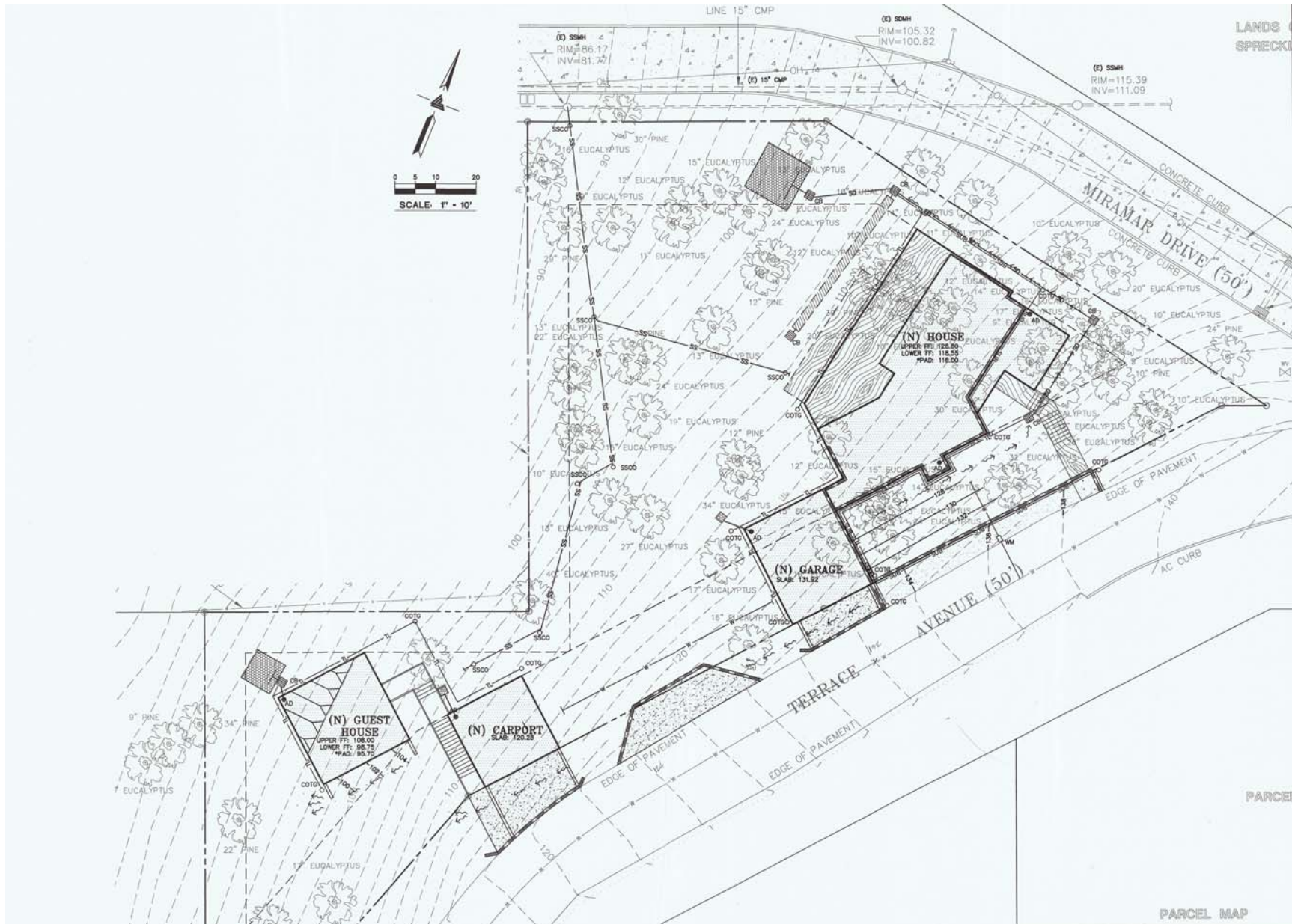


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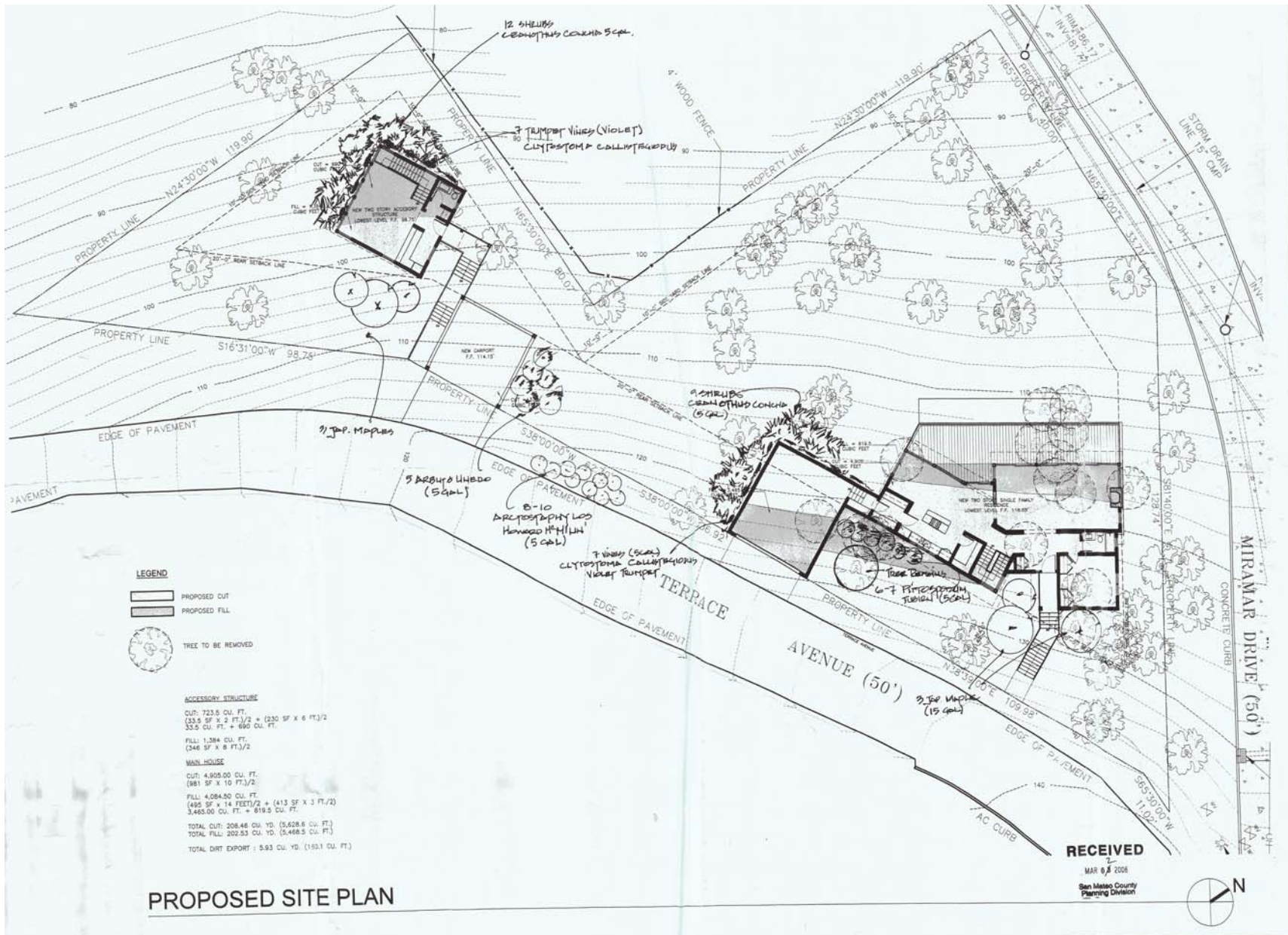
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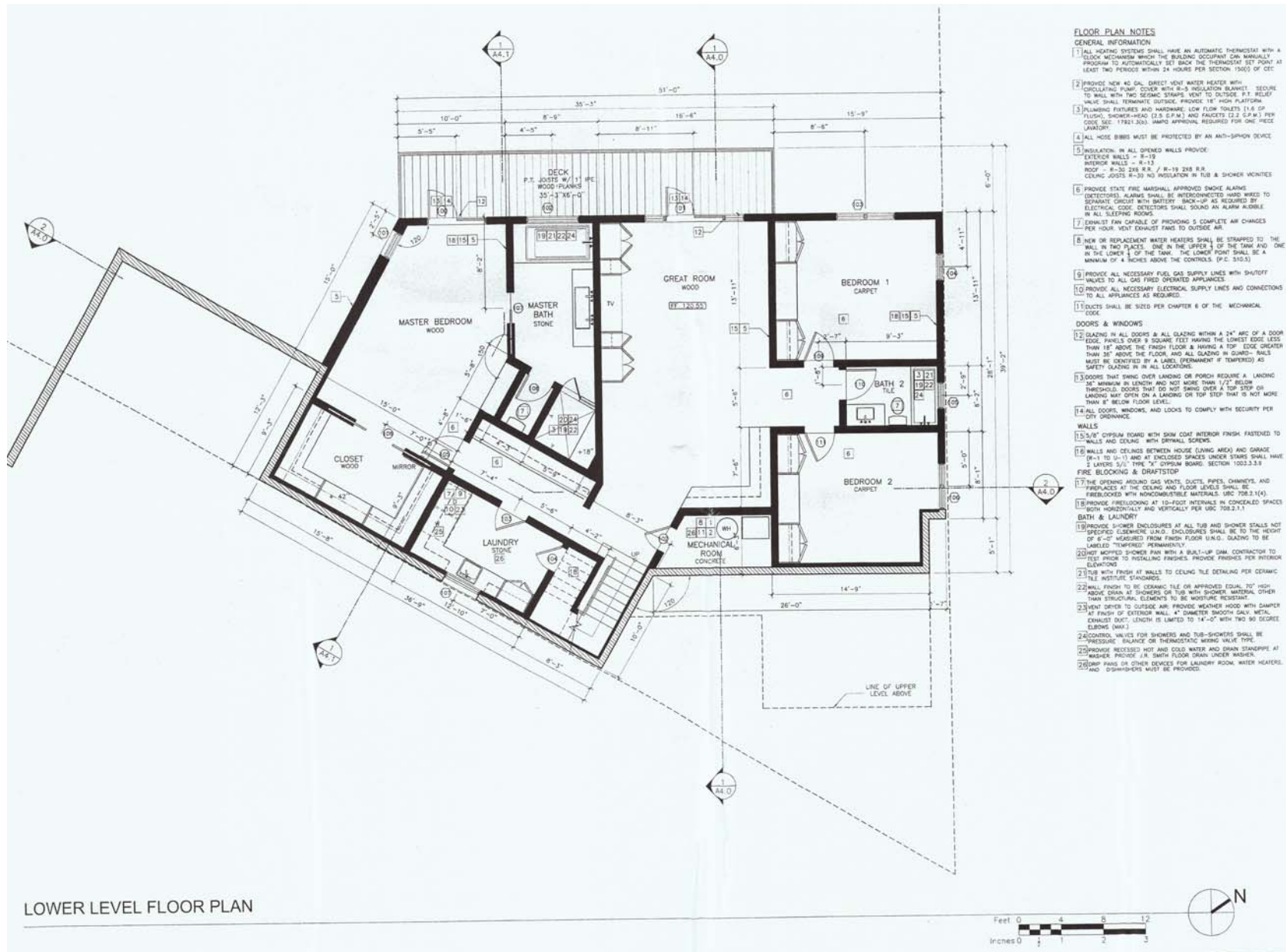


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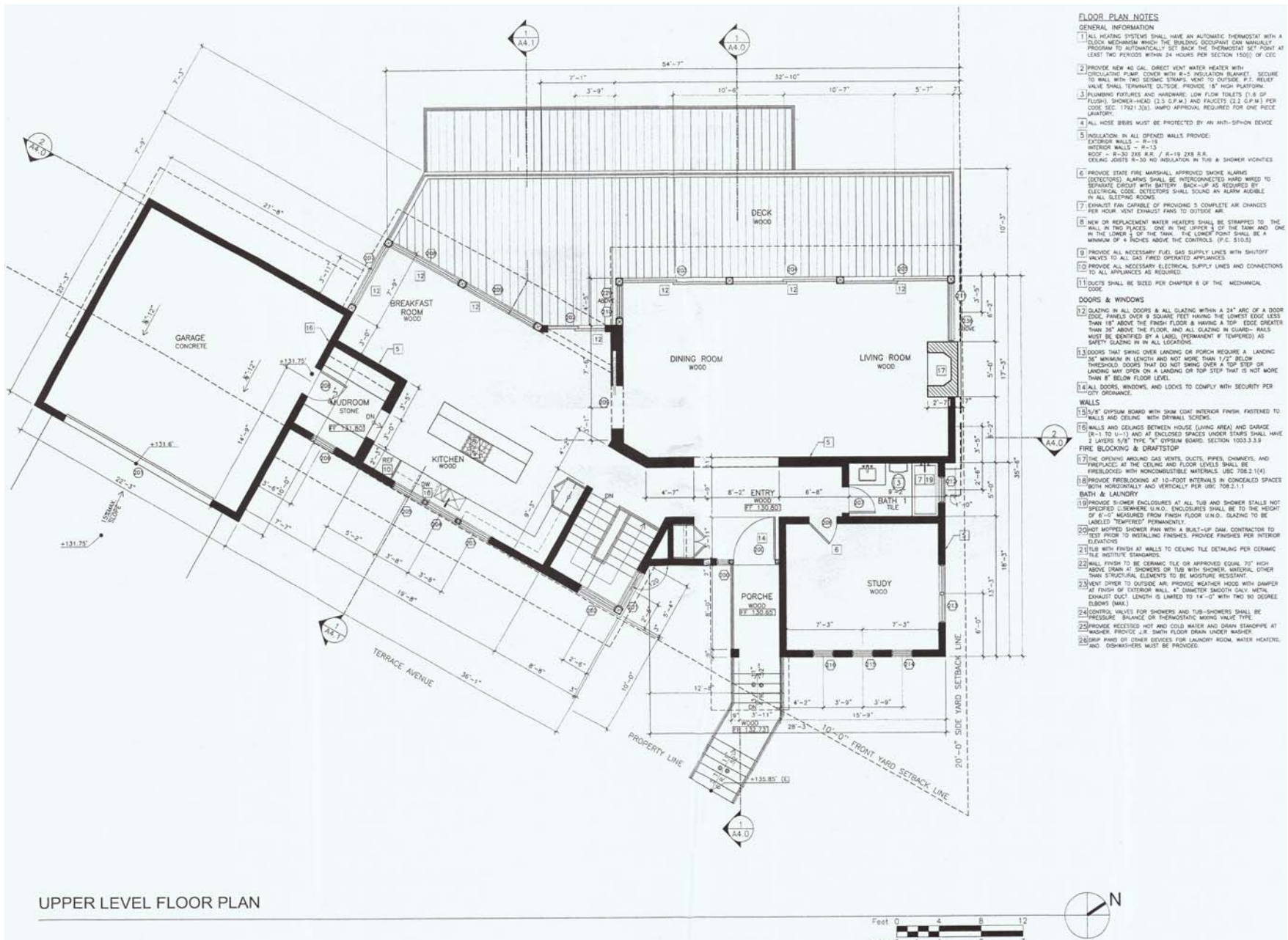
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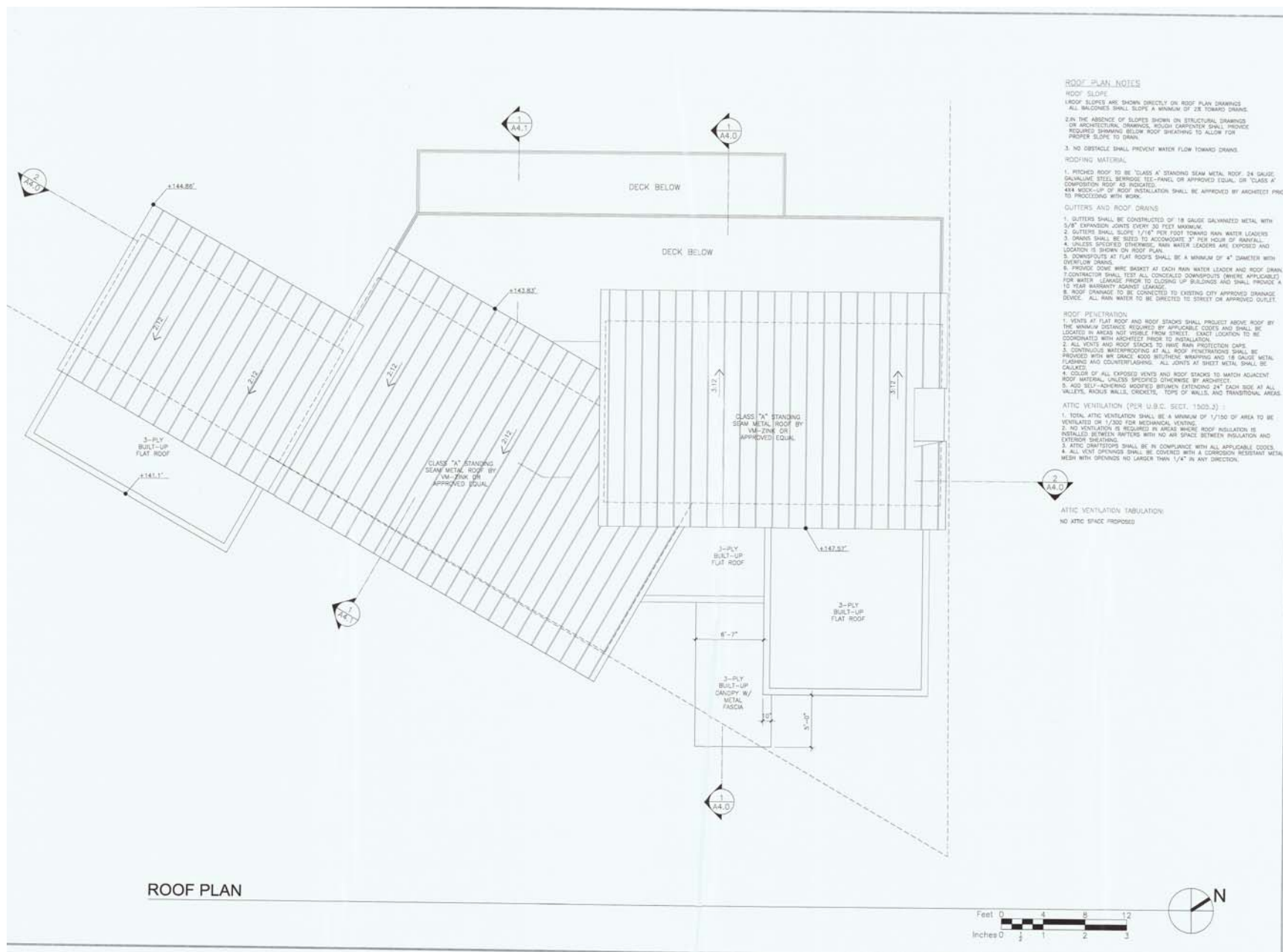


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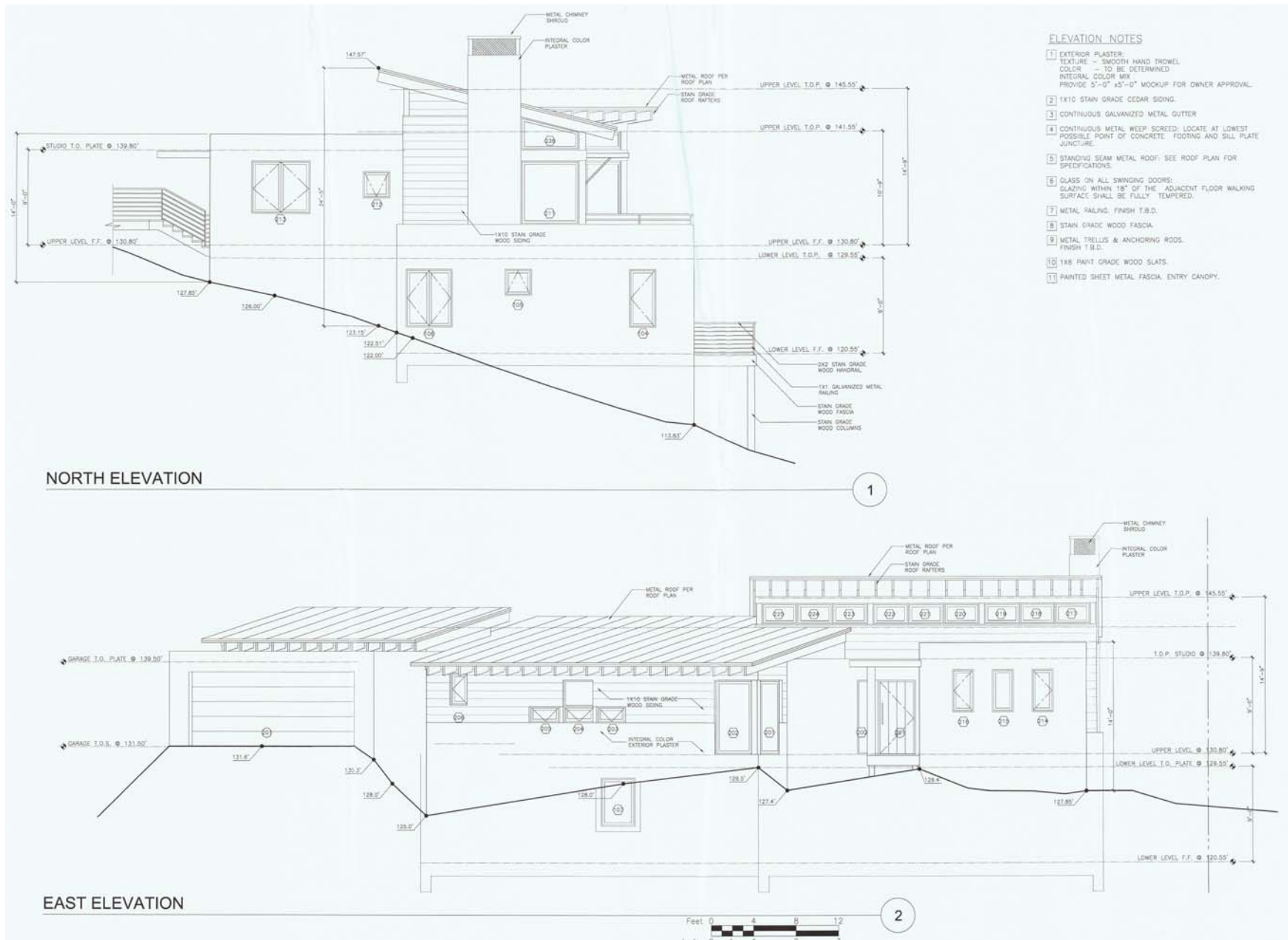
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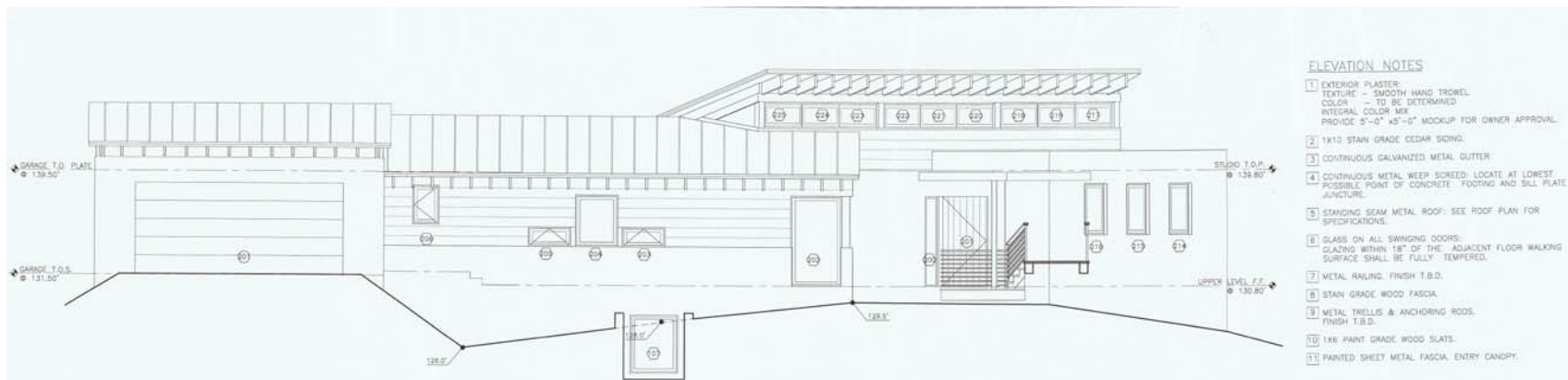


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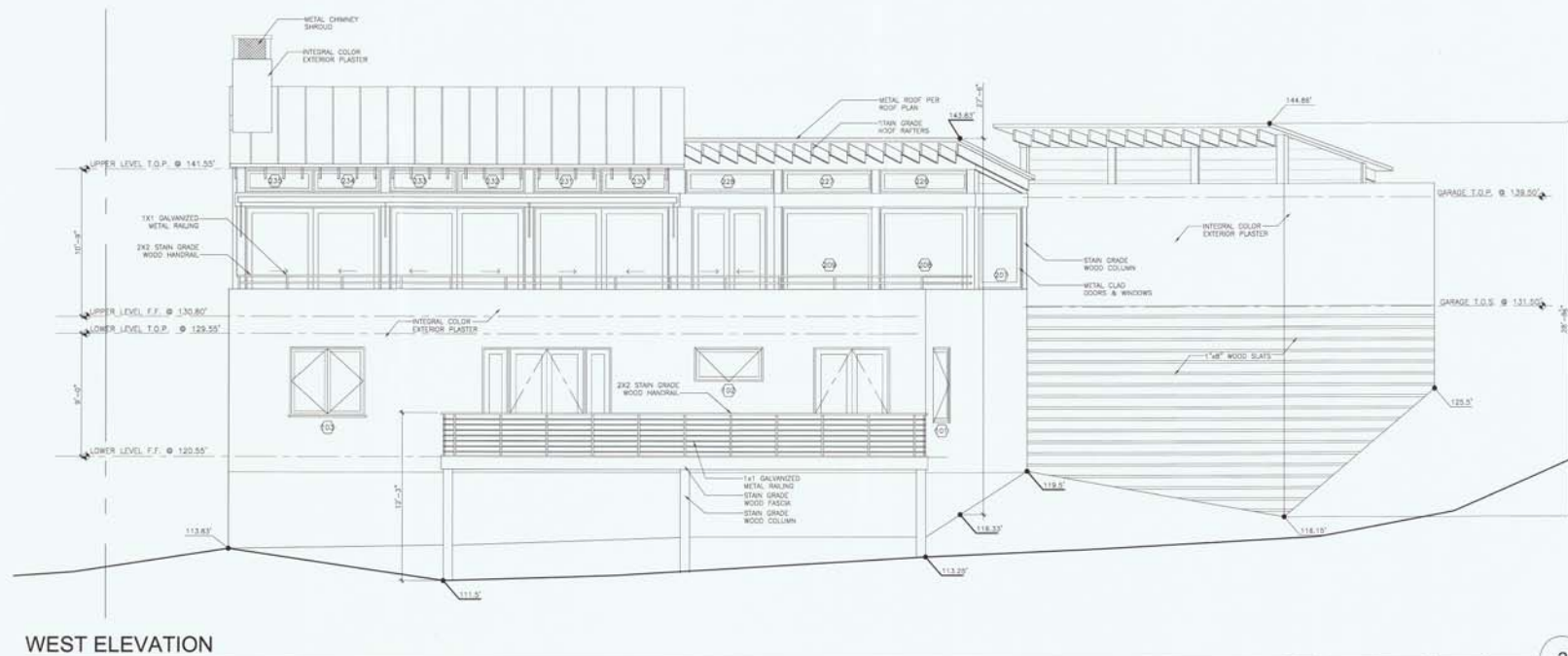
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SOUTHEAST ELEVATION

1



WEST ELEVATION



2

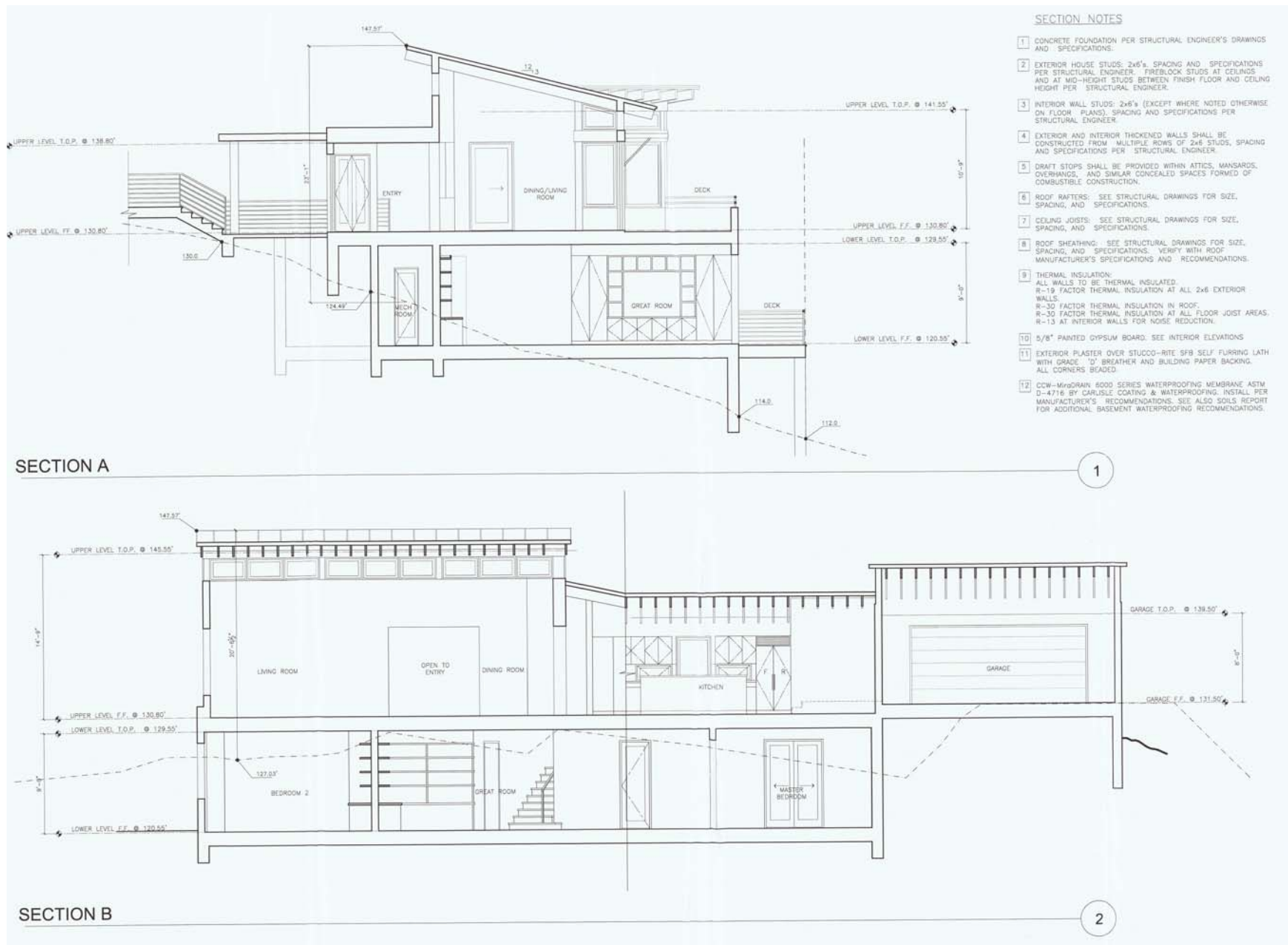
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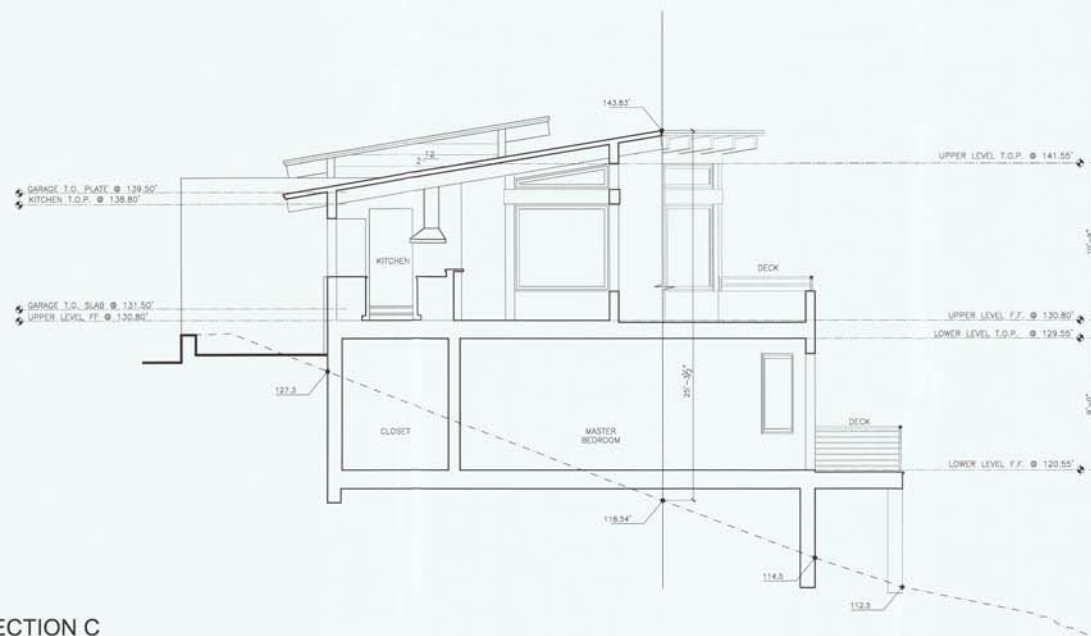
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# SECTION NOTES

- 1 CONCRETE FOUNDATION PER STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATIONS.
- 2 EXTERIOR HOUSE STUDS: 2x6's. SPACING AND SPECIFICATIONS PER STRUCTURAL ENGINEER. FIREBLOCK STUDS AT CEILINGS AND AT MID-HEIGHT STUDS BETWEEN FINISH FLOOR AND CEILING HEIGHT PER STRUCTURAL ENGINEER.
- 3 INTERIOR WALL STUDS: 2x6's (EXCEPT WHERE NOTED OTHERWISE ON FLOOR PLANS). SPACING AND SPECIFICATIONS PER STRUCTURAL ENGINEER.
- 4 EXTERIOR AND INTERIOR THICKENED WALLS SHALL BE CONSTRUCTED FROM MULTIPLE ROWS OF 2x6 STUDS, SPACING AND SPECIFICATIONS PER STRUCTURAL ENGINEER.
- 5 DRAFT STOPS SHALL BE PROVIDED WITHIN ATTICS, MANSARDS, OVERHANDS, AND SIMILAR CONCEALED SPACES FORMED OF COMBUSTIBLE CONSTRUCTION.
- 6 ROOF RAFTERS: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS.
- 7 CEILING JOISTS: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS.
- 8 ROOF SHEATHING: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS. VERIFY WITH ROOF MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- 9 THERMAL INSULATION:  
ALL WALLS TO BE THERMAL INSULATED.  
R-19 FACTOR THERMAL INSULATION AT ALL 2x6 EXTERIOR WALLS.  
R-30 FACTOR THERMAL INSULATION IN ROOF.  
R-30 FACTOR THERMAL INSULATION AT ALL FLOOR JOIST AREAS.  
R-13 AT INTERIOR WALLS FOR NOISE REDUCTION.
- 10 5/8" PAINTED GYPSUM BOARD. SEE INTERIOR ELEVATIONS.
- 11 EXTERIOR PLASTER OVER STUCCO-RITE SFB SELF FURRING LATH WITH GRADE "D" BREAZHER AND BUILDING PAPER BACKING. ALL CORNERS BEADED.
- 12 CCW-MHQDRAIN 6000 SERIES WATERPROOFING MEMBRANE ASTM D-4716 BY CARUSLE COATING & WATERPROOFING. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SEE ALSO SOILS REPORT FOR ADDITIONAL BASEMENT WATERPROOFING RECOMMENDATIONS.



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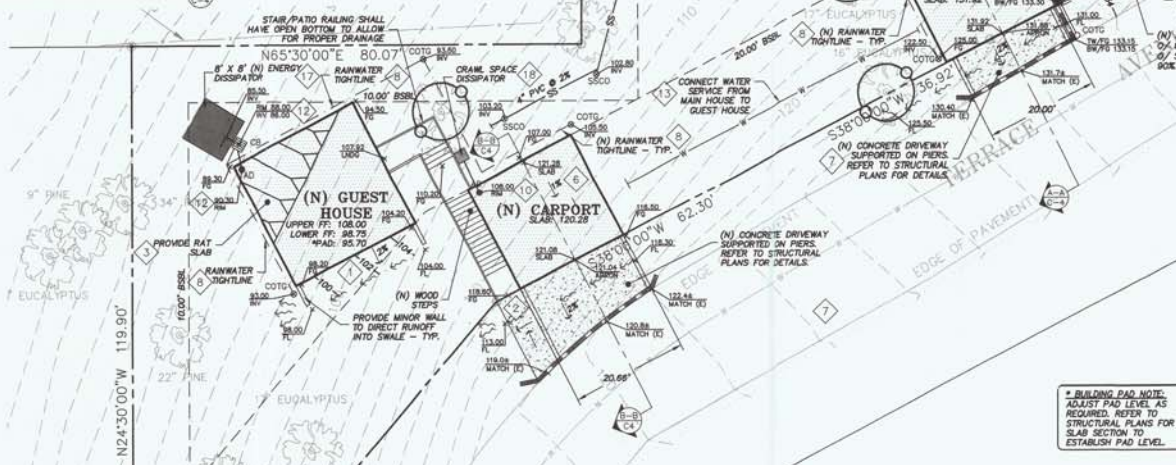
# **SITE NOTES:**

1. FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MIN. OF 2% FOR THE FIRST 5 FT. AWAY FROM THE BUILDING AND THEN SHALL CONTINUE TO SLOPE TO DRAINAGE TOWARD POSITIVE OUTFALL. MAINTAIN 6" CLEARANCE BETWEEN FINISH EXISTING GRADE AND BOTTOM OF MUDDER FOR U.S.C. SECTION 2317.8 AT ALL TIMES -TYP.
2. PROVIDE 1% SLOPE ACROSS PLATFORM AND/OR PAVING AND SLOPE TO DAYLITE. REFER TO ARCHITECT'S PLANS FOR PAVEMENT TYPE, LAYOUT, AND FINISH -TYP.
3. PROVIDE 2" CONCRETE RAT SLAB. SLOPE TOWARDS CRAWL SPACE DRAINS.
4. PROVIDE TREE PROTECTION AROUND DRIP LINES OF (E) TREES. SEE DETAIL (C-4).
5. REMOVE (E) TREES AS NECESSARY FOR (N) CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS.
6. SLOPE GARAGE SLAB 1% (1/8" PER FOOT) FROM BACK TO FRONT TO ALLOW FOR ADEQUATE DRAINAGE.
7. CONSTRUCT (N) 20' WIDE CONCRETE DRIVEWAY / CARPORT SLOPED AT 2% MIN. SEE SECTIONS ON SHEET C-3. REFER TO STRUCTURAL PLANS FOR FURTHER DETAILS. THE DRIVEWAY SHALL HAVE A ROUGH BROOM FINISH. THE STREET SHALL MATCH THE GRADE AT THE CENTER LINE OF THE STREET PER COUNTY STANDARDS.
8. DIRECT RAIN WATER DOWNSPOUTS TO 4" PVC (SDR-35) TIGHTLINE, SLOPED AT 1% MIN. PROVIDE CLEAN OUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS. TIGHTLINE MAY BE PLACED IN COMMON TRENCH WITH SUBDRAIN LINES, BUT MUST REMAIN A SEPARATE DEDICATED SYSTEM UNTIL IT CONNECTS TO ON-SITE STORM DRAIN SYSTEM AS SHOWN. SEE DETAIL (C-4).
9. STORM DRAIN LINES SHALL BE PVC (SDR-35) OR HDPE (ADS N-12 OR EQUAL) @ 1% MIN. WITH MINIMUM 2" OF COVER AT ALL TIMES. SIZE AS NOTED.
10. AREA DRAINS (AD) SHALL BE "CHRISTY V-1" OR EQUAL. CONNECT TO ON-SITE STORM DRAIN SYSTEM BY PROVIDING A VERTICAL RISER TO THE UNDERSIDE OF THE INLET AND GROUTING IN THE GAPS BETWEEN THE PIPE AND THE INLET.
11. CATCH BASINS (CB) SHALL BE "CHRISTY V-24" OR EQUAL W/ CONCRETE BOTTOM FLUSH WITH OUTGOING PIPE INVERT.
12. INSTALL (N) 4" AREA DRAIN IN CRAWL SPACE. PROVIDE PLASTIC GRATE ON VERTICAL SECTION OF PIPE. DIRECT TO ON-SITE STORM DRAIN SYSTEM VIA 4" PVC (SDR-35) SLOPED AT 1% MIN. THIS SHALL REMAIN A DEDICATED SYSTEM UNTIL THE CONNECTION TO THE ON-SITE STORM DRAIN SYSTEM OR DISSIPATOR AS SHOWN. SEE DETAIL (C-4).
13. CONNECT/RECONNECT WATER SERVICE WITH METER PER COUNTY AND DISTRICT REQUIREMENTS TYP.
14. CONNECT/RECONNECT (E) SANITARY SEWER SERVICE PER CITY/SEWER DISTRICT STANDARDS. SEWER LATERAL SHALL BE 4" PVC (SDR-35) SLOPED @ 2% MIN. PROVIDE CLEAN OUT TO GRADE AT MAJOR CHANGES IN DIRECTION, BEHIND PROPERTY LINE AND BEFORE HOUSE. HAVE UNDERGROUND SERVICE AGENCY (USA) IDENTIFY CONNECTION LOCATION PRIOR TO START OF CONSTRUCTION.
15. INSTALL (N) INLET W/ METERED RELEASE SEE DETAILS (C-4).
16. INSTALL (N) DETENTION USE 24" HDPE PIPE W/ 24"x12" REDUCERS @ THE INLET CONNECTIONS. PIPE IS TO BE LAID FLAT. SEE DETAIL (C-4).

17. INSTALL (N) ENERGY DISSIPATOR SEE DETAIL (C-4).
18. INSTALL (N) MINOR DISSIPATOR FOR CRAWL SPACE DRAINAGE. OUTFALL 4" PVC PIPE ONTO 6" ANGULAR RIP RAP. RIP RAP SHALL CONSIST OF 2 LAYERS OF ROCK & BE 2' X 2' MIN.
19. CONSTRUCT GRASSY LINED SWALES AT @ 1.0% MIN. SWALE SHALL BE A MINIMUM OF 18" WIDE AND 6" DEEP. DIRECT TO ON-SITE STORM DRAIN OR POSITIVE OUTFLOW.
20. INSTALL (N) PERIMETER SUBDRAIN BEHIND RETAINING WALLS. PIPE SHALL BE PERFORATED 4" PVC (SDR-35) WITH HOLES DOWN. SLOPED @ 1% MIN. SURROUND WITH 3/4" DRAINROCK AND WRAPPED IN FILTER FABRIC CONTAINED WITHIN 12" OF FINISHED GRADE. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS WHERE APPLICABLE. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAX INTERVALS. DIRECT TO ON-SITE STORM DRAINAGE SYSTEM VIA 4" PVC (SDR-35) SLOPED AT 1% MIN. AS SHOWN. SUBDRAIN SHALL REMAIN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO A DOWNSTREAM INLET AS SHOWN. MAY BE PLACED IN COMMON TRENCH WITH RAIN WATER TIGHTLINE.
21. INSTALL (N) LIGHTWELL AREA DRAIN (AD). SEE DETAIL (C-4).

## **RETAINING WALL NOTES**

1. GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT TO THE EXTENTS OF THE WALL CONSTRUCTION ITSELF.
2. DIMENSIONS SHOWN IN BRACKETS SHOWN AS [X.Y] DENOTE THE APPROXIMATE DIFFERENCE IN FINISHED GRADE SEPARATION OR THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER.
3. REFER TO STRUCTURAL WALL DETAILS TO DETERMINE ACTUAL TOP OF WALL STRUCTURE, AND TOP (OR BOTTOM) OF FOOTING AS THE STRUCTURE MAY EXTEND ABOVE FINISHED GRADE AS FREEBOARD AND BELOW SHOULDERED FINISHED GRADES.
4. REFER ALSO TO ARCHITECTURAL, LANDSCAPE ARCHITECTURAL, AND STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUBDRAINAGE, WATERPROOFING, FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC.
5. ALL RETAINING WALLS SHOULD HAVE A BACK-OF-WALL SUB-SURFACE DRAINAGE SYSTEM. REFER TO PLANS FOR ADDITIONAL AND SPECIFIC INFORMATION.
6. PROVIDE GUARDRAIL (WHERE APPLICABLE) AS REQUIRED FOR GRADE SEPARATION OF MORE THAN 30 INCHES OR MORE, PER USC SECTION 509.



## **CONTRACTOR NOTES:**

- REFER TO ARCHITECTURAL AND/OR LANDSCAPE PLANS FOR FLAT WORK, FINISHES, COLORS, LAYOUT, STEPS ON GRADE, OTHER EXTERIOR FEATURE REQUIREMENTS.
- CONTRACTOR TO GET ENCROACHMENT PERMIT FOR ANY & ALL WORK WITHIN PUBLIC RIGHT OF WAYS.
- CONTRACTOR SHALL OBTAIN THE PROPER PERMITS PRIOR TO ANY GRADING.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN APPROVED EROSION AND SEDIMENTATION CONTROL MEASURES DURING RAINY SEASON PER CITY STANDARDS - REFER TO EROSION CONTROL PLAN.
- CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF THE NEED OF PERIODIC MAINTENANCE OF THE DRAINAGE SYSTEM AND STRUCTURES. THIS SHALL BE IN THE FORM OF A LETTER ADDRESSED TO THE CLIENT.

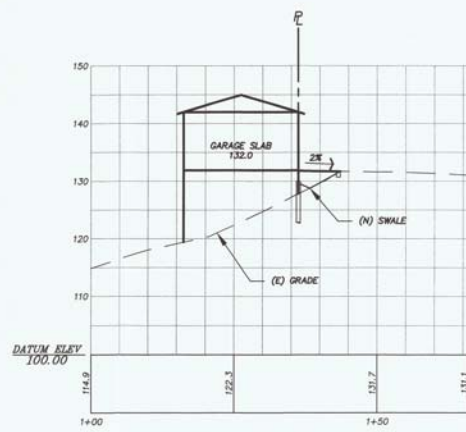
PARCEL MAP

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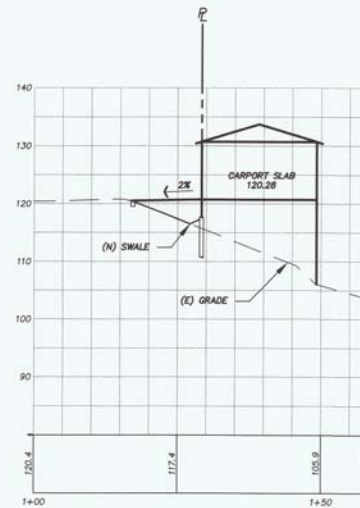
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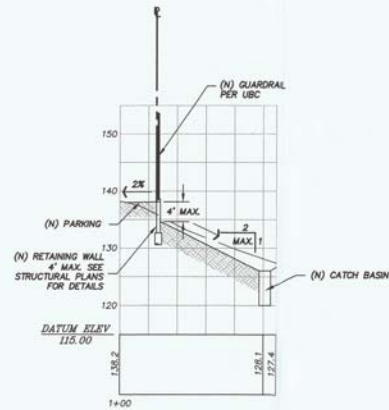
**NORTH DRIVEWAY PROFILE A-A**

SCALE:  
VERTICAL 1" = 10'  
HORIZONTAL 1" = 10'



**SOUTH DRIVEWAY PROFILE B-B**

SCALE:  
VERTICAL 1" = 10'  
HORIZONTAL 1" = 10'



**STREET PARKING PROFILE C-C**

SCALE:  
VERTICAL 1" = 10'  
HORIZONTAL 1" = 10'

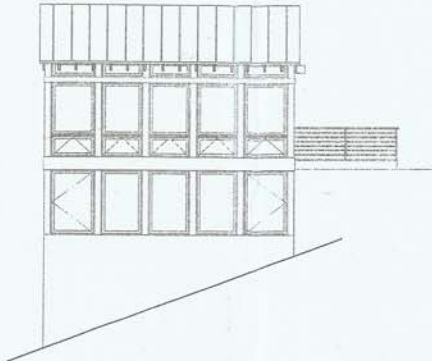
## San Mateo County Planning Commission Meeting

Owner/Applicant: Steve Peterson

Attachment: C















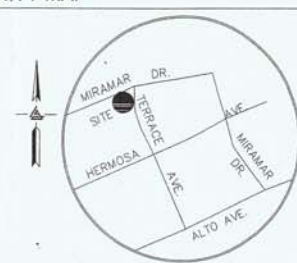
File Numbers: PLN2016-00337 and PLN2016-00264



ABBREVIATIONS				CONTENTS	
ARCH. Architectural	INT. Interior			<b>ARCHITECTURAL</b> A-0.0 Cover Sheet A-0.1 General Notes A-0.2 Windows & Doors Schedule A-0.3 Title 24 A-0.4 Survey A-0.5 Site Plan A-1.0 Accessory Structure Lower Level Floor Plan A-1.1 Accessory Structure Upper Level Floor Plan A-1.2 Accessory Structure Roof Plan A-3.0 Accessory Structure Exterior Elevations A-3.1 Accessory Structure Elevation & Section-Elevation A-4.0 Accessory Structure Building Sections A-4.1 Accessory Structure Building Sections A-4.0 Accessory Structure Framing Details A-6.1 Accessory Structure Door & Window Details A-6.2 Accessory Structure Miscellaneous Details A-6.3 Accessory Structure Roof Details	
BTWN. Between	MAX. Maximum			<b>ELECTRICAL &amp; LIGHTING</b> E-1.0 Accessory Structure Lower Level Electrical & Lighting Plan E-1.1 Accessory Structure Upper Level Electrical & Lighting Plan	
BLDG. Building	MIN. Minimum			<b>STRUCTURAL</b> S-1 Foundation Plan S-2 Second Floor Framing Plan S-3 Roof Framing Plan S-4 Details S-5 Details S-6 Details	
BLK. Block	MECH. Mechanical			<b>CIVIL</b> C-1 Title Sheet C-2 Grading & Drainage Plan C-3 Sections C-4 Details C-5 Details C-6 Grading Specifications ER-1 Erosion Control Plan ER-2 Erosion Control Details	
BSA. Beam	MFGR. Manufacturer			<div style="text-align: right;"> <b>RECEIVED</b>            AUG 18 2016            San Mateo County            Planning Division         </div>	
CBMT. Casement	MICRO. Microphone				
CLR. Clear	MTL. Metal				
CL/G. Ceiling	NAT. Natural				
C.J. Ceiling Joint	(N) None				
COL. Column	NO. Number				
CONC. Concrete	O.C. On Center				
CONT. Cordless	PLYWD. Plywood				
DRY. Dryer	RSL. Riser				
DIA. Diameter	R.O. Rough Opening				
DM. Dimension(s)	R.R. Roof Rafters				
D.W. Dishwasher	REV. Revision				
DWGS. Drawings	REFR. Refrigerator				
ELEV. Elevation	REQD. Required				
EQ. Equal	SH.T. Sheet				
(E) Ending	SL. Slider				
EXT. Exterior	SM. Similar				
F.A.U. Forced Air Unit	STL. Steel				
FKL. Finish, Finished	STRUCT. Structural				
FLR. Floor	TEMP. Temporary				
F.J. Floor Joint	TR. Threads				
FTG. Footing	T.G. Tongue & Groove				
FRZ. Freezer	T.O. Top of				
GA. Gauge	TYP. Typical				
GALV. Galvanized	U.N.O. Unless Noted Otherwise				
G.D. Garbage Disposal	V.I.F. Vary in Field				
GRD. Grass	WADN. Window				
GYP. BC. Gypsum Board	W.H. Water Heater				
HDR. Header	WD. Wood				
HGT. Height					

# HALFMOON BAY ACCESSORY STRUCTURE

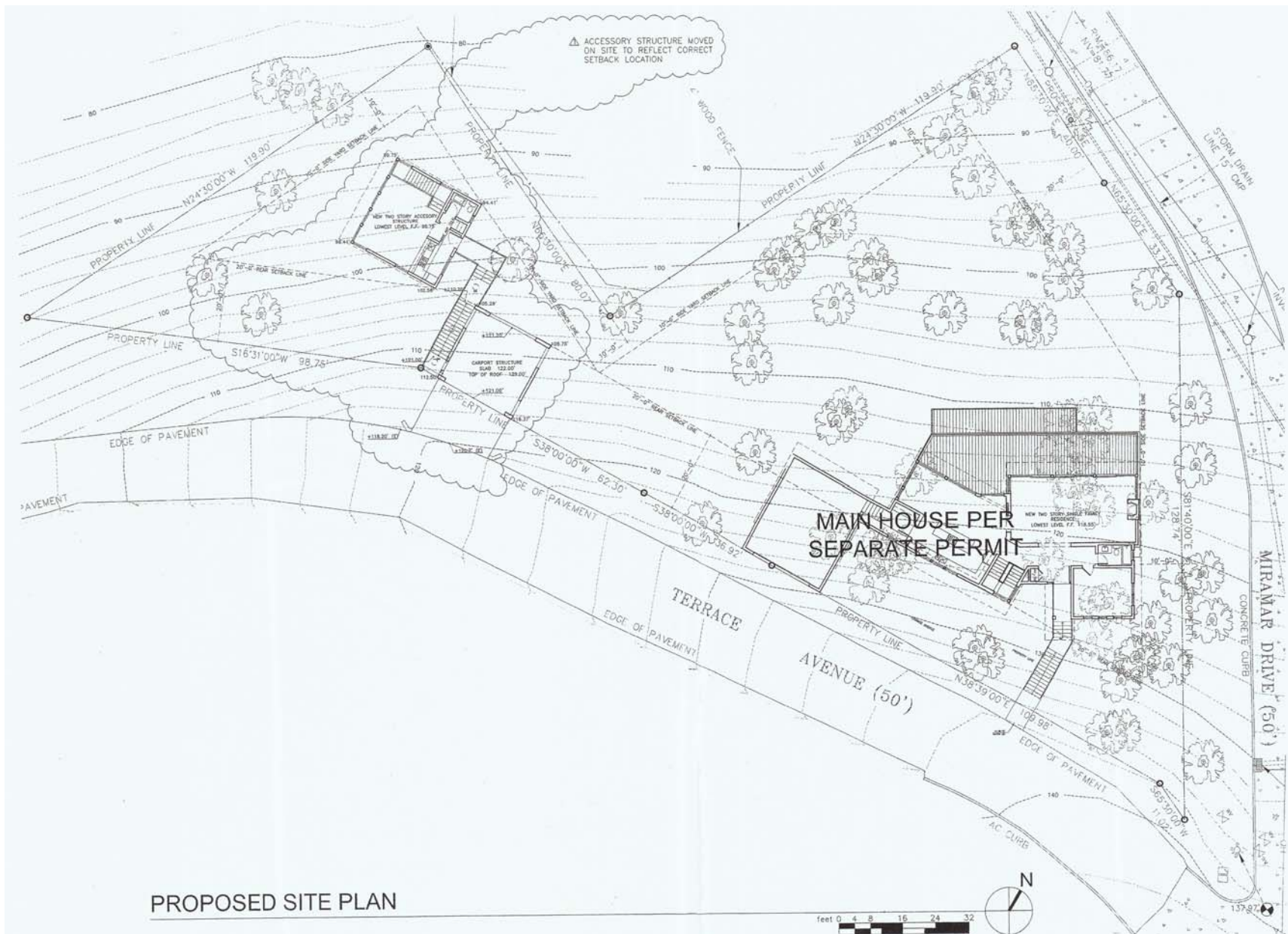
AREA TABULATION	SITE DATA	PROJECT CONTACTS	LEGEND
LOT AREA ————— 22,337 SF MAXIMUM ALLOWABLE BUILDING FLOOR AREA ————— 5,200 SF TOTAL PROPOSED BUILDING FLOOR AREA ————— 5,715 SF MAXIMUM ALLOWABLE PARCEL COVERAGE (22,337 SF X .3) ————— 6,701 SF PROPOSED PARCEL COVERAGE ————— 2,997 SF Accessory Structure 1,180 SF (Conditioned Area Footprint, Carport, and Bridge included) Main House 2,817 SF (Conditioned Area Footprint, Garage, Bridge, and Lower Level Terrace included)	JOB ADDRESS ————— Terrace Ave Halfmoon Bay, CA 94019 LEGAL DESCRIPTION ————— BLOCK 5 MIRAMAR TERRACE 4 R3M 12 TYPE OF CONSTRUCTION ————— TYPE V - N NUMBER OF STORIES ————— TWO STORY JOB DESCRIPTION ————— NEW ACCESSORY LIVING QUARTERS & CARPORT APN ————— 045-072-000 045-072-070 ZONING ————— R1.5, S-36 APPLICABLE CODES ————— 1997 UBC, 2009 LFC, 2009 UBC, 1989 NBC, TITLE 18 AND TITLE 24 (CALIF. 1995 ADA ACCESSIBILITY GUIDELINES ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS & REGULATIONS.	<b>OWNER:</b> Steve Peterson Custom Homes of Watsonville, Inc. P.O. Box 620683 Watsonville, CA 95062 T. 805.559.2025 F. 805.559.2025 <b>ARCHITECT:</b> Amy Williamson Architect 885 Santa Clara Ave. #2 Menlo Park CA 94025 T. 650.533.0371 F. 650.325.4761 <b>CIVIL:</b> Lee & Kruse Engineering, Inc. 2460 National Parkway West Hayward, CA 94545 T. 510.887.4058 F. 510.887.3019 <b>STRUCTURAL:</b> Mike Matheson & Associates 851 Buena Vista, Suite 150 Burlingame, CA 94010 T. 650.540.3457	<div style="display: flex; flex-direction: column; align-items: center;"> <div style="display: flex; align-items: center; margin-bottom: 5px;">  <div style="margin-left: 5px;">Masonry Wall</div> </div> <div style="display: flex; align-items: center; margin-bottom: 5px;">  <div style="margin-left: 5px;">New Wall</div> </div> <div style="display: flex; align-items: center; margin-bottom: 5px;">  <div style="margin-left: 5px;">Shearwall - On Structural</div> </div> <div style="display: flex; align-items: center; margin-bottom: 5px;">  <div style="margin-left: 5px;">Door</div> </div> <div style="display: flex; align-items: center; margin-bottom: 5px;">  <div style="margin-left: 5px;">Window</div> </div> <div style="display: flex; align-items: center; margin-bottom: 5px;">  <div style="margin-left: 5px;">Detail #</div> </div> <div style="display: flex; align-items: center; margin-bottom: 5px;">  <div style="margin-left: 5px;">Section #</div> </div> <div style="display: flex; align-items: center; margin-bottom: 5px;">  <div style="margin-left: 5px;">Interior Elevations</div> </div> <div style="display: flex; align-items: center; margin-bottom: 5px;">  <div style="margin-left: 5px;">Section</div> </div> <div style="display: flex; align-items: center; margin-bottom: 5px;">  <div style="margin-left: 5px;">Exterior Elevation</div> </div> <div style="display: flex; align-items: center; margin-bottom: 5px;">  <div style="margin-left: 5px;">Dimension to center line</div> </div> <div style="display: flex; align-items: center; margin-bottom: 5px;">  <div style="margin-left: 5px;">Dimension to face of framing/masonry (unless noted otherwise)</div> </div> <div style="display: flex; align-items: center; margin-bottom: 5px;">  <div style="margin-left: 5px;">Slope</div> </div> <div style="display: flex; align-items: center;">  <div style="margin-left: 5px;">Elevation Heights</div> </div> </div>
<b>ACCESSORY STRUCTURE</b> PROPOSED UPPER LEVEL ————— 576 SF PROPOSED LOWER LEVEL ————— 576 SF CONDITIONED AREA SUB-TOTAL ————— 1,152 SF PROPOSED CARPORT ————— 400 SF BUILDING FLOOR AREA SUB-TOTAL ————— 1,552 SF			
<b>MAIN RESIDENCE (PER SEPARATE PERMIT)</b> UPPER LEVEL ————— 1,368 SF LOWER LEVEL ————— 1,852 SF CONDITIONED AREA SUB-TOTAL ————— 3,488 SF GARAGE ————— 820 SF MECHANICAL ————— 50 SF BUILDING FLOOR AREA SUB-TOTAL ————— 4,163 SF			
		<b>VICINITY MAP</b> 	

## San Mateo County Planning Commission Meeting

Owner/Applicant: Steve Peterson

Attachment: C

File Numbers: PLN2016-00337 and PLN2016-00264



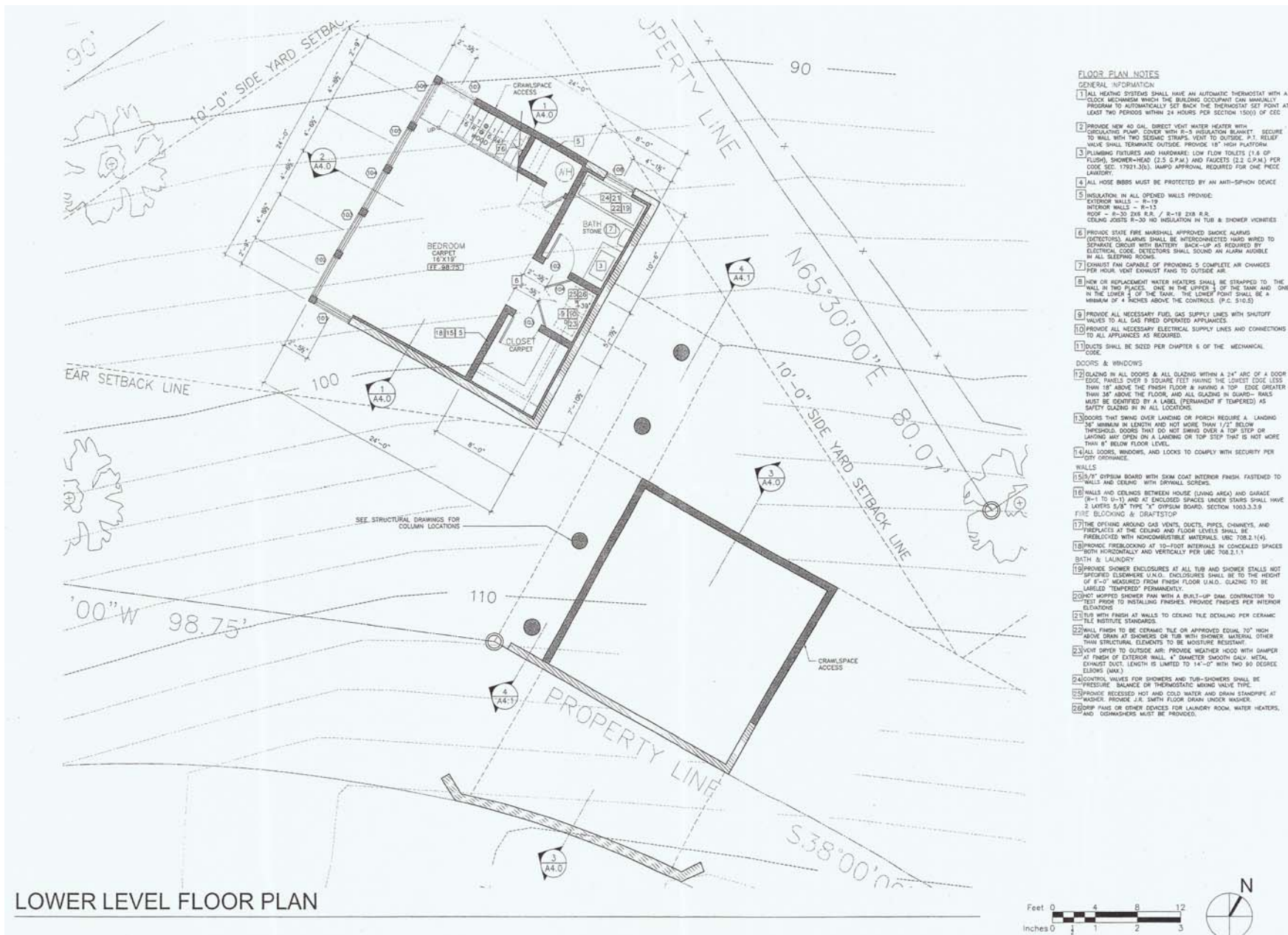
## ***San Mateo County Planning Commission Meeting***

Owner/Applicant: Steve Peterson

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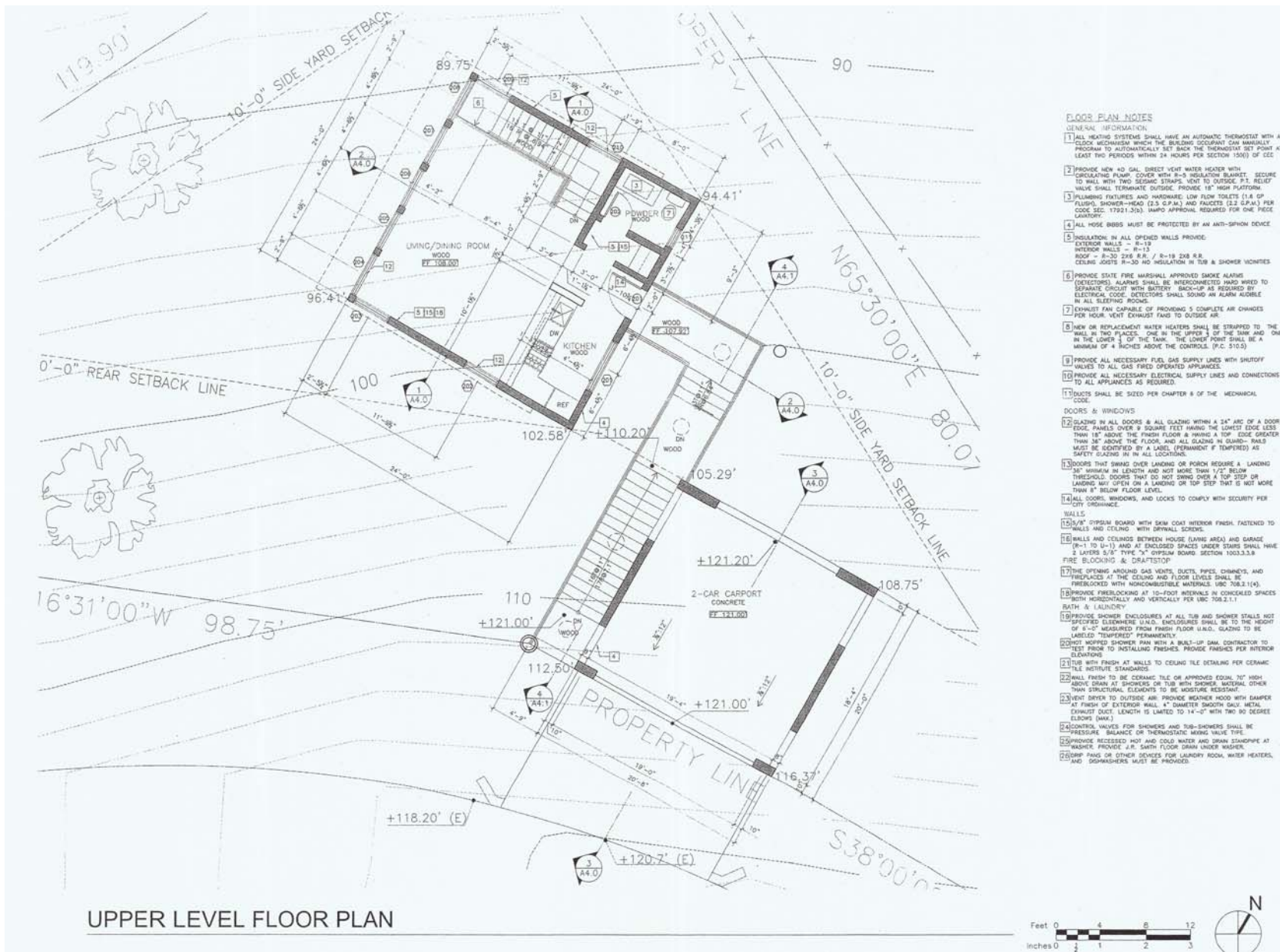


## San Mateo County Planning Commission Meeting

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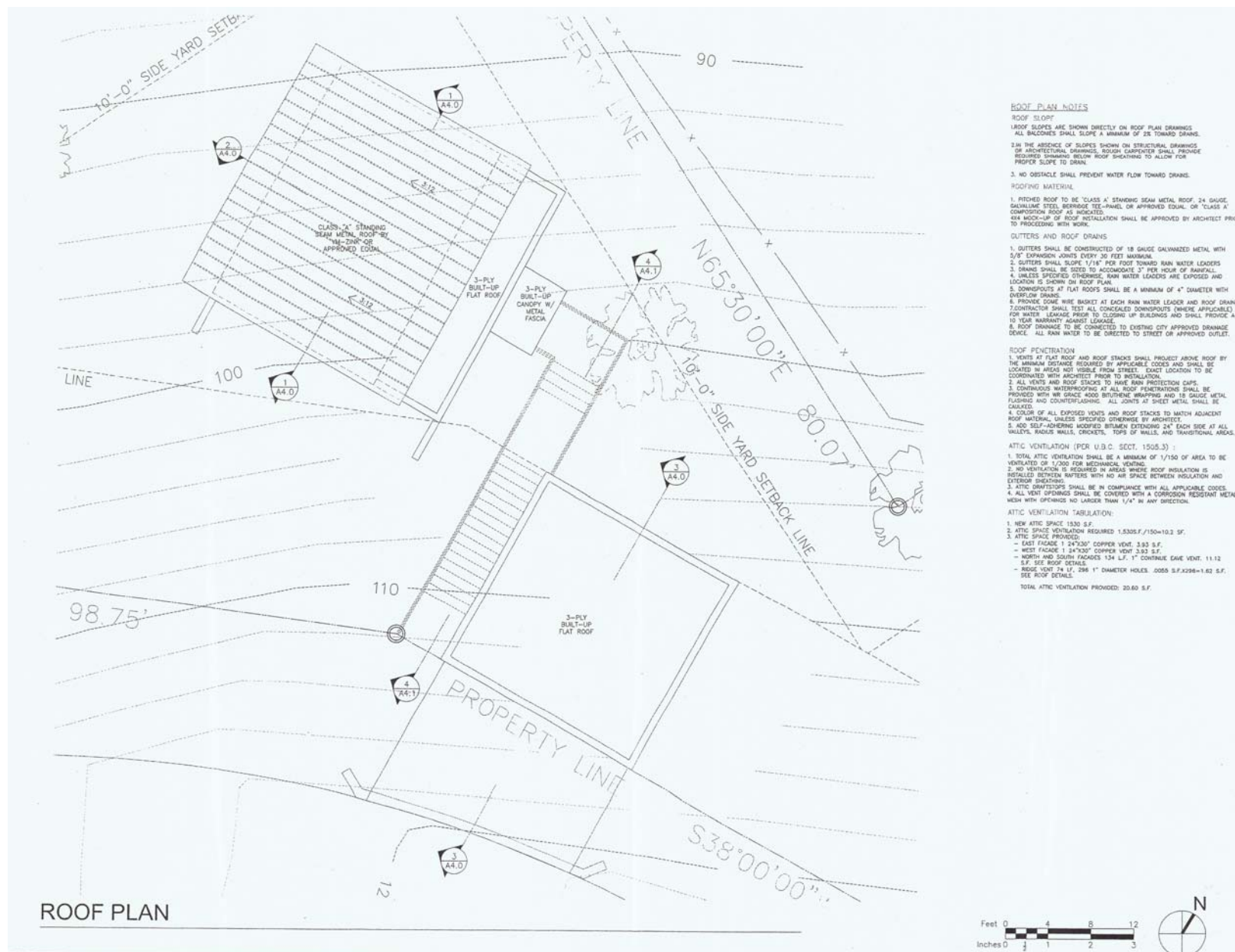
## San Mateo County Planning Commission Meeting

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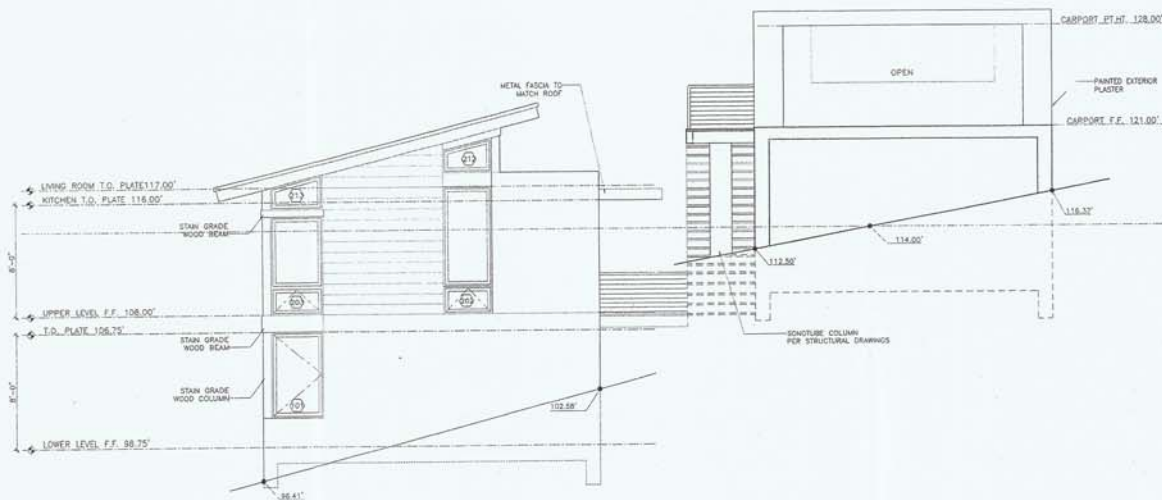


## San Mateo County Planning Commission Meeting

Owner/Applicant: Steve Peterson

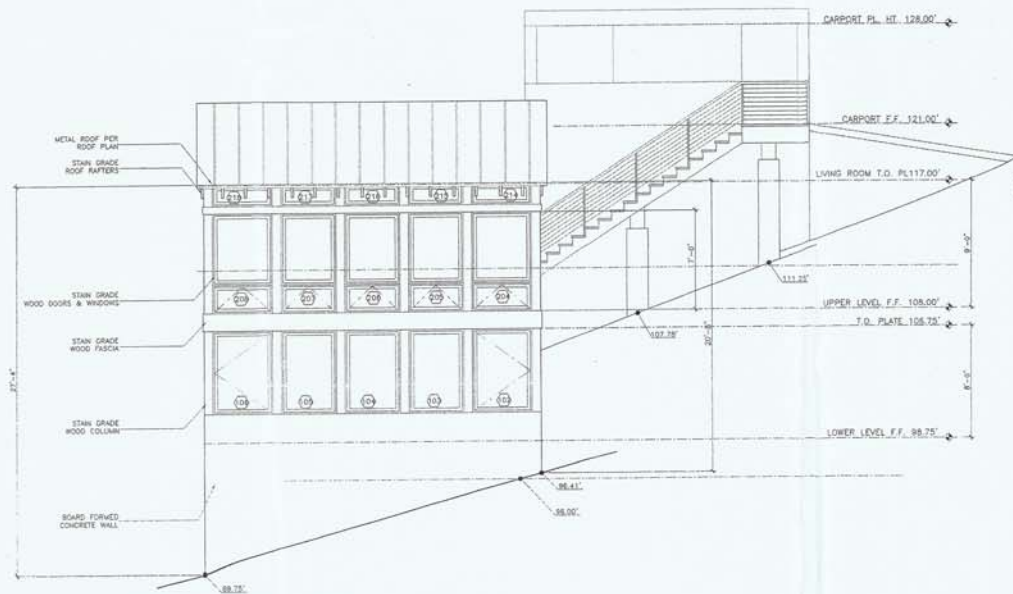
Attachment: C

File Numbers: PLN2016-00337 and PLN2016-00264



PROPOSED SOUTH ELEVATION

2



PROPOSED WEST ELEVATION

1

#### ELEVATION NOTES

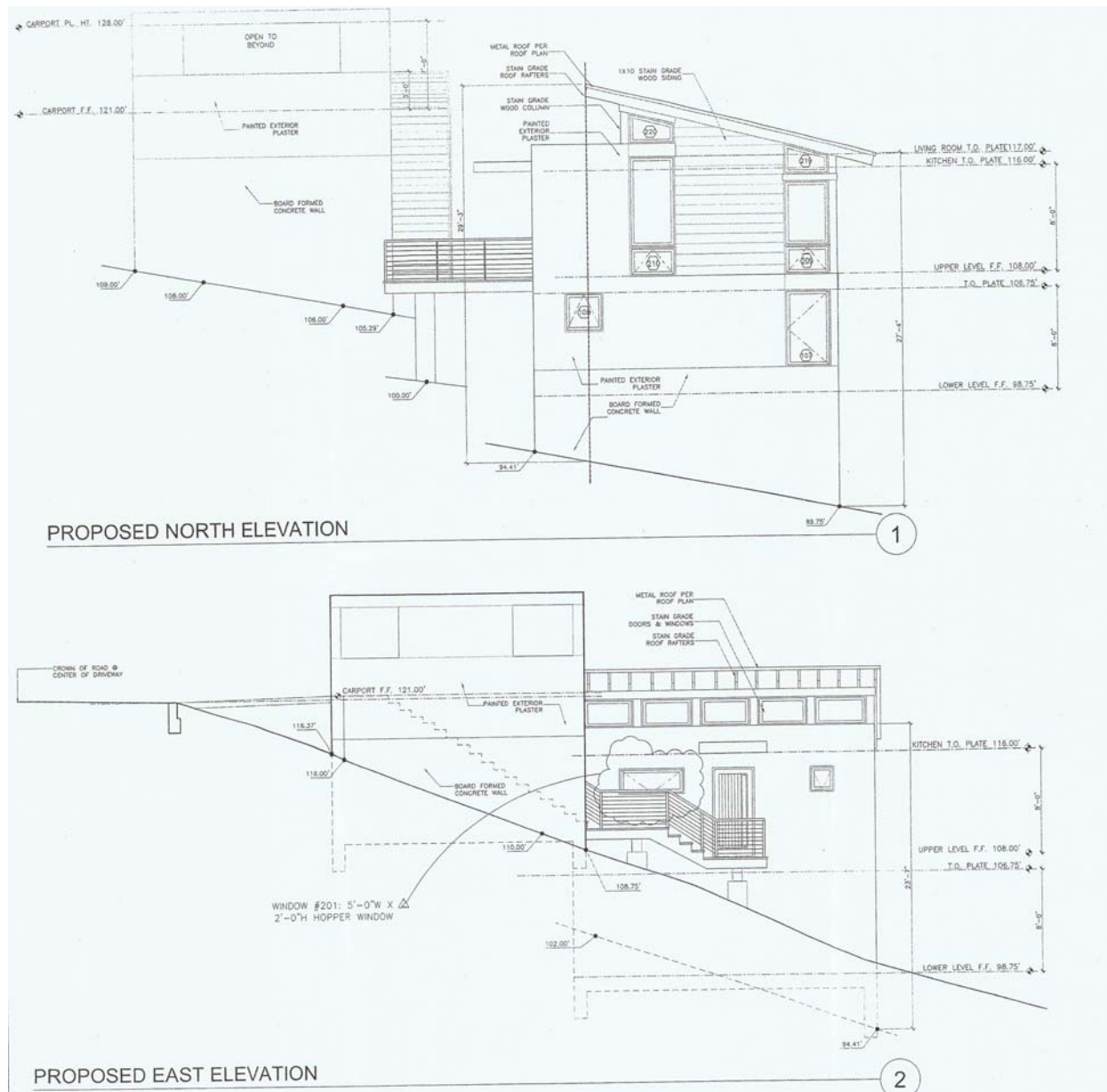
- 1 EXTERIOR PLASTER:  
TEXTURE - SMOOTH HAND TROWEL  
COLOR - TO BE DETERMINED  
INTEGRAL COLOR MIX  
PROVIDE 5'-0" x 5'-0" MOCKUP FOR OWNER  
APPROVAL.
- 2 1x6 STAIN GRADE WOOD SIDING
- 3 CONTINUOUS PAINTED METAL GUTTER
- 4 CONTINUOUS COPPER WEEP SCREED:  
LOCATE WEEP SCREED AT LOWEST  
POSSIBLE POINT OF CONCRETE FOOTING  
AND SILL PLATE JUNCTURE.
- 5 STANDING SEAM METAL ROOF: SEE ROOF  
PLAN FOR SPECIFICATIONS.
- 6 GLASS ON ALL SWINGING DOORS:  
GLAZING WITHIN 18" OF THE ADJACENT  
FLOOR WALKING SURFACE SHALL BE FULLY  
TEMPERED.
- 7 DOWN SPOUTS: SEE EXTERIOR ELEVATIONS  
AND ROOF PLAN FOR LOCATIONS. ALL  
DOWN SPOUTS TO CONNECT INTO  
SUBSURFACE DRAINAGE SYSTEM.  
WOOD RAILING: SEE STRUCTURAL DETAILS  
FOR ANCHORING METHOD.
- 8 1x6 STAIN GRADE WOOD FASCIA
- 9 BOARD FORMED COLORED CONCRETE PER  
STRUCTURAL DRAWINGS

## San Mateo County Planning Commission Meeting

Owner/Applicant: Steve Peterson

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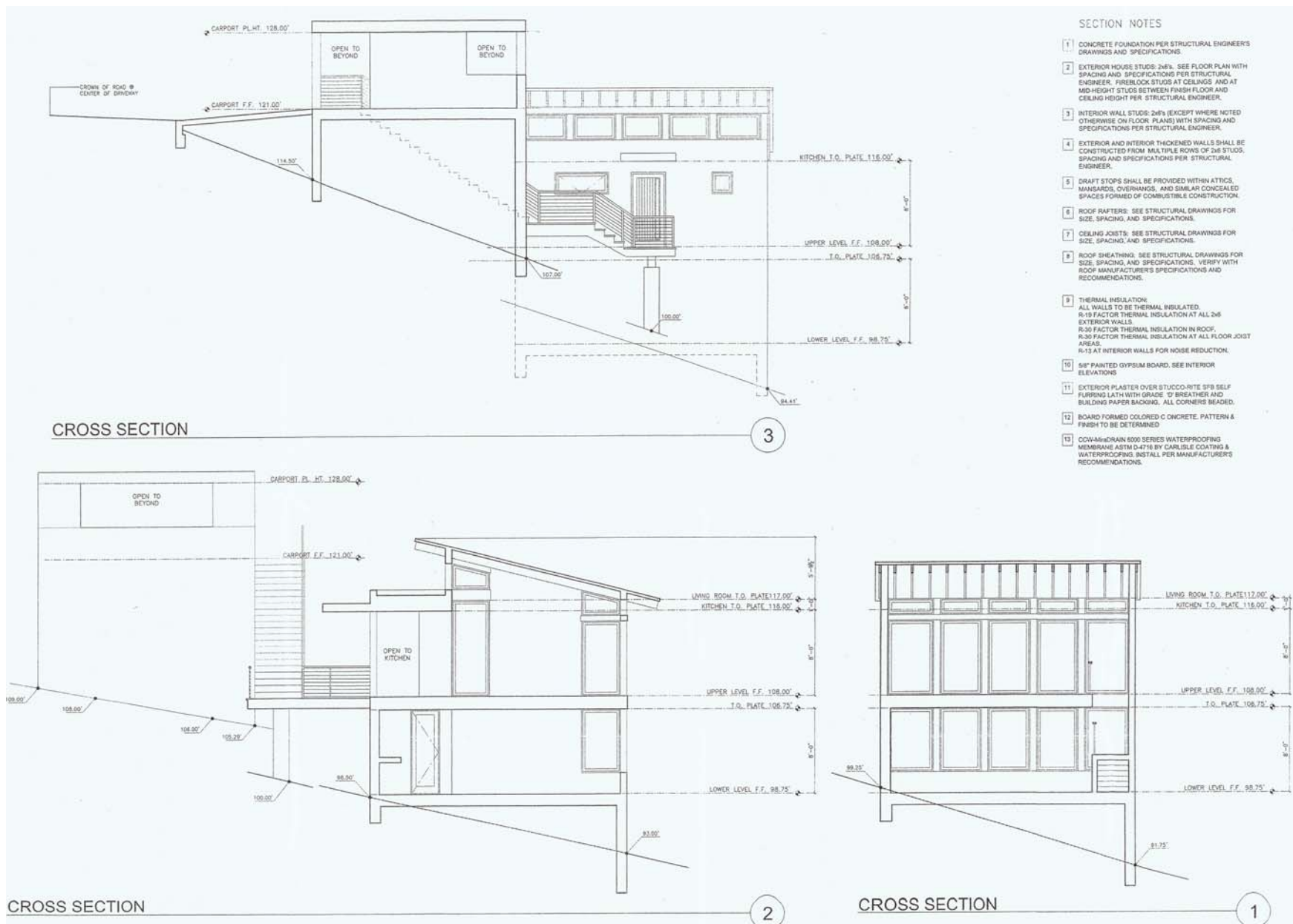
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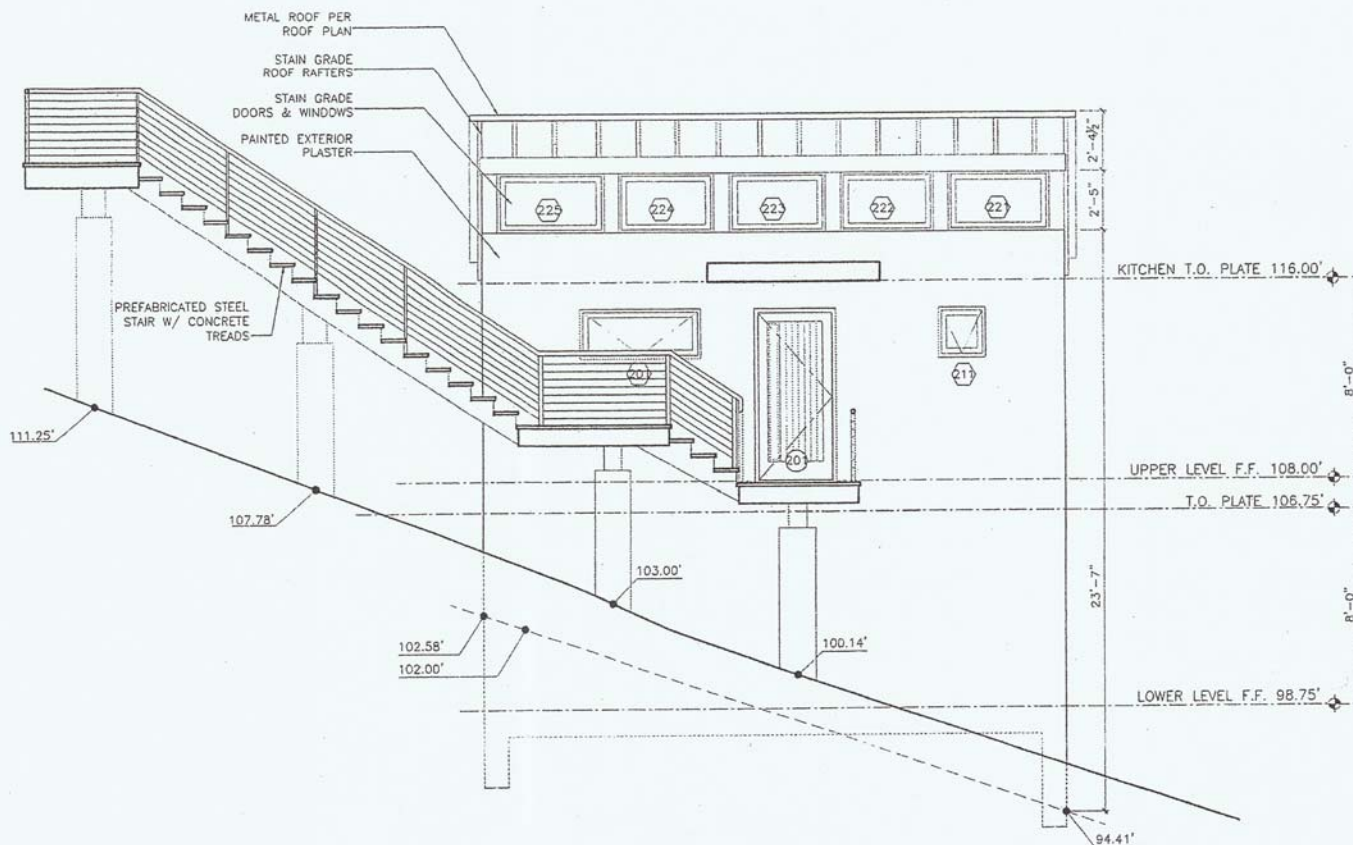


## San Mateo County Planning Commission Meeting

Owner/Applicant: Steve Peterson

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CROSS SECTION

4

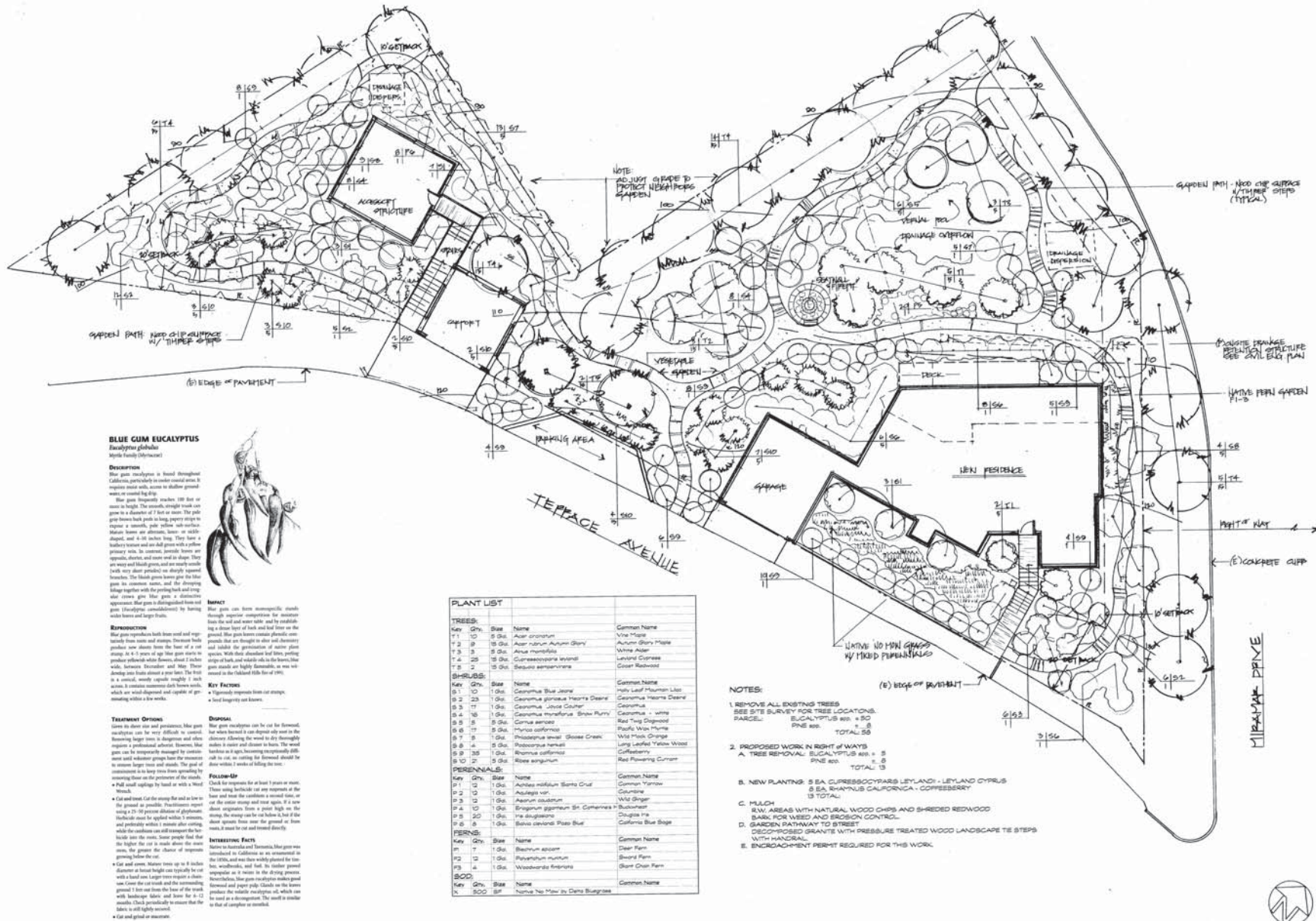
## San Mateo County Planning Commission Meeting

Owner/Applicant: Steve Peterson

Attachment: C

File Numbers: PLN2016-00337 and PLN2016-00264





## San Mateo County Planning Commission Meeting

Owner/Applicant: Steve Peterson

Attachment: C

File Numbers: PLN2016-00337 and PLN2016-00264



## Application for Appeal

RECEIVED Planning and Building Department

☒ To the Planning Commission☐ To the Board of SupervisorsCounty Government Center • 455 County Center, 2nd Floor  
Redwood City • CA • 94063 • Mail Drop PLN 122  
Phone: 650 • 363 • 4161 Fax: 650 • 363 • 4849

JUL 06 2017

San Mateo County  
Planning Division

## ATTACHMENT D

Name: TEJINDER SINGH  
TRIPATINDER CHOWDHRY

Phone, W: 650-274-4653 H:

Address: 18 TERRACE AVE  
HALF MOON BAY, CA  
Zip: 94019

Permit Numbers involved: APN: 048-072-290

PLN: 2016-00337 &amp;

PLN: 2016-00264

I hereby appeal the decision of the:

- ☒ Staff or Community Development Director  
☐ Zoning Hearing Officer  
☐ Design Review Committee  
☐ Planning Commission

made on June 22, 2017, to approve/deny  
the above-listed permit applications.I have read and understood the attached information  
regarding appeal process and alternatives.☒ yes☐ no

Appellant's Signature:

Date:

Tejinder Singh Tripatinder Chowdhry  
July 6, 2017

Planning staff will prepare a report based on your appeal. In order to facilitate this, your precise objections are needed. For example: Do you wish the decision reversed? If so, why? Do you object to certain conditions of approval? If so, then which conditions and why?

A CONTINUOUS RETAINING WALL ALONG APN: 048-072-290  
ADJOINING TERRACE AVE IS NEEDED TO BE A REQUIREMENT  
FOR APPROVAL OF PLN: 2016-0337 & PLN: 2016-00264.AS PART OF THE PLAN CHECK PROCESS, THE COUNTY IS  
OBLIGED TO ASSURE THAT MEASURES ARE TAKEN TO ASSURE  
THAT THE HILLSIDE AND THE ROADWAY AS PART OF IT  
RETAIN THEIR INTEGRITY AND ARE NOT DEGRADED.

A1,

① THE ATTACHED EXHIBITS A, B & C ILLUSTRATE THE FRAGILE  
NATURE OF TERRACE AVE ALONG APN: 048-072-290.  
CONDITION(PAGE 1)  
(1 OF 7)

(-continued on page 2-)



REF: APN: 048-072-290

PLN: 2016-00337 & 2016-00264

- ② THE RECENT REMOVAL OF TREES AND VEGETATION, <sup>PRESENCE OF</sup> AND THE CONSTRUCTION TRUCKS OF APN: 048-072-290 OWNER, AS SHOWN IN EXHIBIT-D, HAS MADE TERRACE AVE EDGE ALONG APN 048-072-290 WORSE. A FIRE TRUCK WOULD NOT BE ABLE TO SERVICE ~~EITHER~~ HERE EITHER AS CAN BE SEEN IN EXHIBITS A1, A, B, C.
- ③ THE PERMISSION IN THE COUNTY LETTER OF JUNE 22, 2017 TO REMOVE ADDITIONAL TREES & VEGETATION WILL FURTHER DETERIORATE THE CONDITION OF TERRACE AVE.
- ④ THE OWNER OF APN: 048-072-290 IS ALREADY BUILDING A RETAINING WALL ALONG A PART OF TERRACE AVE & HIS PROPERTY. HE JUST NEEDS TO MAKE IT CONTINUOUS AND ALL ALONG HIS PROPERTY AND TERRACE AVE.
- ⑤ APN: 048-072-290 <sup>BEING BUILT</sup> IS ON THE VERY WEAK EDGE OF TERRACE AVE AND THE OWNER OF APN: 048-072-290 IS USING THIS WEAK EDGE OF TERRACE AVE AS THE ONLY & PRIMARY ACCESS TO HIS PROPERTY ON COMPLETION.



EXHIBIT - A1

PAGE  
3 of 7





EXHIBIT-A

PAGE  
4 of 7





EXHIBIT-B

PAGE  
(5 of 7)





EXHIBIT-C

PAGE  
(6 of 7)





EXHIBIT-A

PAGE  
4 of 7





EXHIBIT-B

PAGE  
(5 of 7)





EXHIBIT-C

PAGE  
(6 of 7)













January 20, 2017

Steve Peterson  
P.O. Box 1808  
Pacifica, CA 94044

Dear Mr. Peterson:

SUBJECT: Coastside Design Review  
Miramar Drive and Terrace Avenue, Miramar  
APN 036-282-050; County File No. PLN 2016-00337

At its meeting of January 12, 2017, the San Mateo County Coastside Design Review Committee (CDRC) considered your application of a design review recommendation to allow construction of a new 2-story 3,546 sq. ft. single-family residence with an attached 487 sq. ft. 2-car garage, including a 1,152 sq. ft. 2nd Unit with a detached 400 sq. ft. carport, on an existing 22,337 sq. ft. legal parcel (COC PLN2015-00444), as part of an "After-the-Fact" staff level Coastal Development Permit (CDP) for removal of seventeen (17) trees, in order to resolve VIO2016-00141. The 2<sup>nd</sup> Unit is a ministerial project that does not require review by the CDRC and will be considered at staff-level. Only minor grading is proposed. Seventeen (17) existing significant trees are proposed for removal. The project is not appealable to the California Coastal Commission.

The CDRC was unable to make the findings for design review approval based on certain design deficiencies and a lack of compliance with the County's story pole policies, specifically relating to the installation of story poles only one (1) day before the meeting. In order to resolve these design deficiencies in the project's design, a more thorough review of the "Standards For Design For One-Family and Two-Family Residential Development In The Midcoast" manual is required, specifically on Section 6565.20(D) and Section 6565.20(F). As such, recommendations and requirements from the CDRC for further project redesign are as follows:

- a. Section 6565.20(F). 4c. Exterior lighting should be minimized and designed with a specific activity in mind so that outdoor areas will be illuminated no more than is necessary to support the activity designated for that area, i.e. one light per exterior door. Indicate location of exterior light fixtures on the floor plans.
- b. Section 6565.20(D). 4a3. Use warm, muted colors and natural appearing materials on the house that blend with the surrounding natural features when viewed from a distance. Provide samples of cedar stain and color chips.

Another requirement discussed include:

- a. Install story poles no later than 10 days prior to the next CDRC meeting.



Other recommendations discussed include:

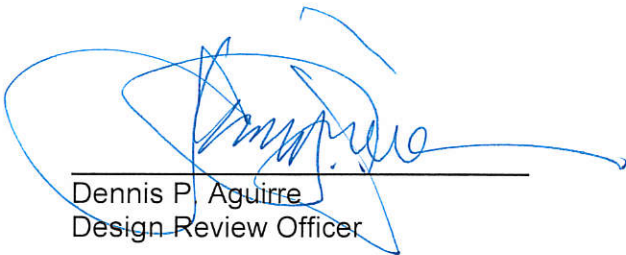
- a. Coordinate with neighbors to further clarify/discuss the proposed extent of retaining walls on Terrace Avenue relative to potential design enhancements to the project.
- b. Coordinate construction vehicles on Miramar Drive so as to not disrupt and create a hazard on Miramar Drive.
- c. Minimize Pine Tree removal onsite and/or create a succession plan for the preservation of local wildlife.

At the meeting, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Dennis P. Aguirre, Design Review Officer, at 650/363-1867, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link:  
<http://planning.smcgov.org/survey>.

Sincerely,



Dennis P. Aguirre  
Design Review Officer

DPA:aow – DPABB0016\_WAN.DOCX

cc: Dianne Whitaker, Member Architect  
Stuart Grunow, Member Architect  
Cathy Campbell  
Trip Chowdry  
Steve Wilson  
Ed Frymoyer  
Anne Martin



May 16, 2017

Steve Peterson  
P.O. Box 1808  
Pacifica, CA 94044

Dear Mr. Peterson:

SUBJECT: Coastside Design Review Committee  
Miramar Drive and Terrace Avenue, Miramar  
APN 048-072-290; County File No. PLN 2016-00337

At its meeting of February 9, 2017, the San Mateo County Coastside Design Review Committee (CDRC) considered your application of a design review recommendation to allow construction of a new 2-story 3,546 sq. ft. single-family residence with an attached 487 sq. ft. 2-car garage, including a 1,152 sq. ft. 2nd Unit with a detached 400 sq. ft. carport, on an existing 22,337 sq. ft. legal parcel, as part of an "After-the-Fact" staff level Coastal Development Permit (CDP) for removal of seventeen (17) trees, in order to resolve a violation for clearing of trees (VIO 2016-00141). The 2<sup>nd</sup> Unit is a ministerial project that does not require review by the CDRC and will be considered at staff-level. Only minor grading is proposed. Seventeen (17) existing significant trees are proposed for removal. The project is not appealable to the California Coastal Commission.

Based on the plans, application forms and accompanying materials submitted, the Coastside Design Review Committee recommended approval of your project based on and subject to the following findings and conditions of approval:

#### FINDINGS

The Coastside Design Review Officer found that:

1. For the Environmental Review

This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15303, Class 3(a), relating to the construction of one single-family residence and accessory structures in a residential zone.



The Coastsides Design Review Committee found that:

2. For the Design Review

The project has been reviewed under and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- a. Section 6565.20 (4) EXTERIOR MATERIALS AND COLORS, the colors chosen blend well with the environment and the neighborhood and break up the massing of the building.
- b. Section 6565.20 (C) Site Panning and Structure Placement: The house would be on the property to maximize privacy for neighbors and integrate with the natural setting.
- c. Section 6565.20 (F) The comprehensive landscape plan harmonizes completely with the existing trees and provides screening to protect the privacy of neighbors.

RECOMMENDED CONDITIONS

Current Planning Section

1. The project shall be constructed in compliance with the plans recommended for approval by the Coastsides Design Review Committee on February 9, 2017. Any changes or revisions to the approved plans shall be submitted to the Design Review Officer for review and approval prior to implementation. Minor adjustments to the project may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastsides Design Review Committee, with applicable fees to be paid.
2. The applicant shall include a copy of the letter of decision for the CDP on the top pages of the building plans.
3. The applicant shall submit the following items and indicate the following on plans submitted for a building permit, as stipulated by the Coastsides Design Review Committee:
  - a. Removal of all lights on the north wall.
  - b. At the east elevation, install two (2) downward-directed exterior lighting fixtures (Fixtures) on each side of garage doors and one (1) fixture at the entry door.



- c. At the west elevation, install one (1) Fixture by each door on the lower deck and one (1) Fixture on each side of the large door on the upper deck to total 4 Fixtures on this elevation.
4. During project construction, the applicant shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, minimize the transport and discharge of stormwater runoff from the construction site into storm drain systems and water bodies by:
  - a. Using filtration materials on storm drain covers to remove sediment from dewatering effluent.
  - b. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30.
  - c. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
  - d. Storing, handling, and disposing of construction materials and wastes so as to avoid their entry to the storm drain system or water body.
  - e. Avoiding cleaning, fueling or maintaining vehicles on-site, except in an area designated to contain and treat runoff.
  - f. Limiting and timing application of pesticides and fertilizers to avoid polluting runoff.
5. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
6. All new power and telephone utility lines from the street or nearest existing utility pole to the project structures on the property shall be placed underground.
7. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Department of Public Works and the Coastside Fire Protection District.
8. No site disturbance shall occur, including any grading or vegetation removal, until a building permit has been issued.
9. To reduce the impact of construction activities on neighboring properties, comply with the following:



- a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
  - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
  - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Miramar Drive and Terrace Avenue. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Miramar Drive and Terrace Avenue. There shall be no storage of construction vehicles in the public right-of-way.
10. The exterior color samples submitted to the CDRC are approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
  11. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo Ordinance Code Section 4.88.360).
  12. Installation of the approved landscape plan is required prior to final inspection. The landscape plan shall comply with the Water Efficient Landscape Ordinance.

#### Building Inspection Section

13. The applicant shall apply for a building permit.

#### Granada Community Services District

14. Prior to the issuance of a building permit, the applicant shall obtain a sewer connection

#### Coastside County Water District

15. Prior to the issuance of a building permit, the applicant shall obtain a water service connection to include fire suppression plans for review and approval.

#### Department of Public Works

16. Prior to the issuance of the building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off



of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.

17. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
18. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
19. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.

#### Coastside Fire Protection District

20. Smoke detectors which are hardwired: As per the California Building Code, State Fire Marshal Regulations, and Coastside Fire Protection District Ordinance No. 2013-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hardwired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final.
21. Add the following note to the plans: New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least 6 feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6-inch by 18-inch green



reflective metal sign with 3-inch reflective numbers/letters similar to Hy-Ko 911 or equivalent. The 2<sup>nd</sup> Unit requires a separate address.

22. Fire Access Roads: The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The San Mateo County Department of Public Works, the Coastside Fire District Ordinance 2013-03, and the California Fire Code shall set road standards. As per the 2013 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire District specifications. As per the 2013 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20-foot road) and on-street parking is desired, an additional improved area shall be developed for that use.
23. Roof covering: As per Coastside Fire Protection District Ordinance No. 2013-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
24. Vegetation management: As per the Coastside Fire Protection District Ordinance No. 2013-03, the 2013 California Fire Code and Public Resources Code 4291:
  - a. A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. In SRA (State Responsible Area), the fuel break is 100 feet or to the property line.
  - b. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 to 10 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
  - c. Remove that portion of any existing tree, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure.
25. Show location of fire hydrant on a site plan. A fire hydrant is required within 250 feet of the building and flow a minimum of 1,000 gallons per minute (gpm) at 20 per square inch (psi). This information is to be verified by the water purveyor in a letter initiated by the applicant and sent to San Mateo County Fire/Cal-Fire or Coastside Fire Protection District. If there is not a hydrant within 250 feet with the required flow, one will have to be installed at the applicant's expense.
26. Automatic Fire Sprinkler System: As per San Mateo County Building Inspection Section Standards and Coastside Fire District Protection Ordinance Number 2013-03, the



applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. All areas that are accessible for storage purposes shall be equipped with fire sprinklers including closets and bathrooms. The only exception is small linen closets less than 24 sq. ft. with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Department. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire Protection District for review. The fee schedule for automatic fire sprinkler systems shall be in accordance with Half Moon Bay Ordinance No. 2006-01. Fees shall be paid prior to plan review.

27. Installation of underground sprinkler pipe shall be flushed and visually inspected by the Coastside Fire Protection District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open.
28. Exterior bell and interior horn/strobe are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener, are to be wired into a separate circuit breaker at the main electrical panel and labeled.
29. All fire conditions and requirements must be incorporated into your building plans, (see attached conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect and engineer of these requirements.
30. Add note to plans: Smoke alarm/detector are to be hardwired, interconnected, or with battery back-up
31. Add note to plans: Escape or rescue windows shall have a minimum net clear openable area of 5.7 sq. ft., 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor.
32. Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.
33. Occupancy Separation: As per the 2013 CBC, Section 406.3.4, a one-hour occupancy separation wall shall be installed with a solid core, 20-minute fire rated, self-closing door assembly with smoke gasket between the garage and the residence. All electrical boxes installed in rated walls shall be metal or protected.
34. The building is in a High Fire Hazard Severity Zone and will require a Class A roof. Add this to the plans.



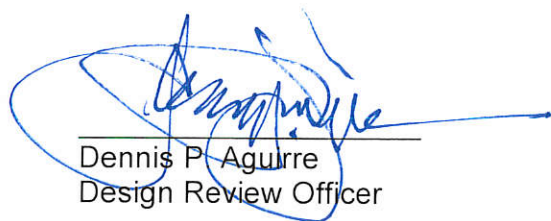
35. Add the note to the plans: The installation of an approved spark arrester is required on all chimneys, existing and new. Spark arresters shall be constructed of woven or welded wire screening of 12-gauge USA standard wire having openings not exceeding .5-inch.
36. Add the following note to the plans: A fuel break or defensible space is required around the perimeter of all structures, existing and new, to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees.
37. Add the note to the plans: Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
38. Add the note to the plans: Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
39. Show location of fire hydrant on a site plan. A fire hydrant is required within 250 feet of the building and flow a minimum of 1000 gpm at 20 psi. This information is to be verified by the water purveyor in a letter initiated by the applicant and sent to San Mateo County Fire/CAL Fire or Coastside Fire District. If there is not a hydrant within 250 feet with the required flow, one will have to be installed at the applicant's expense.
40. Add note to the title page that the building will be protected by an automatic fire sprinkler system.
41. Provide Eave & Gutter details that meet R327 include all materials.
  - a. All exterior doors including garage door must meet R327.
  - b. Carport requires to be WUI compliant.
42. Copy R-327 Worksheet to a plan sized sheet and check appropriate boxes.
43. CRC 2013 Section R327: This project is located in a State Responsibility Area for wildfire protection. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors and underfloor protection shall comply with CRC 2013 Section R327 requirements. You can visit the Office of the State Fire Marshal's website at [http://www.fire.ca.gov/fire\\_prevention/fire\\_prevention\\_wildland.php](http://www.fire.ca.gov/fire_prevention/fire_prevention_wildland.php) and click the new products link to view the "WUI Products Handbook."



Please note that the decision of the Coastsides Design Review Committee is a recommendation regarding the project's compliance with design review standards, not the final decision on this project, which requires a staff-level Coastal Development Permit and Parcel Merger. The decision on the staff-level Coastal Development Permit will take place at a later date. For more information, please contact the project planner, Dennis P. Aguirre, at 650/363-1867 or [daquirre@smc.gov](mailto:daquirre@smc.gov).

To provide feedback, please visit the Department's Customer Survey at the following link:  
<http://planning.smcgov.org/survey>.

Sincerely,



Dennis P. Aguirre  
Design Review Officer

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cc: Stuart Grunow, Member Architect  
Linda Montalto-Patterson, Miramar Community Representative  
Trip Chowdry  
Steve Wilson  
Ed Frymoyer  
Julie Trinkala  
Merry Belden



June 22, 2017

Steve Peterson  
P.O. Box 620865  
Woodside, CA 94062

Dear Mr. Peterson:

SUBJECT: "After-the-Fact" Staff-level Coastal Development Permit and  
Design Review Permit  
Terrace Avenue and Miramar Drive, Miramar  
APN 048-072-290; County File No. PLN 2016-00337 and PLN 2016-00264

Staff has reviewed your application for an "After-the-Fact" staff-level Coastal Development Permit (CDP) for the unauthorized removal of vegetation (PLN 2016-00264 and VIO 2016-00141) and Coastsides Design Review Permit to allow construction of a new 2-story 3,546 sq. ft. single-family residence plus an attached 487 sq. ft. 2-car garage, including a 1,152 sq. ft. second unit plus a detached 400 sq. ft. carport, on an existing 22,337 sq. ft. legal parcel (COC PLN2015-00444). Only minor grading is proposed. Seventeen (17) existing significant trees are proposed for removal associated with the construction of the new residence. The project is not appealable to the California Coastal Commission.

The project was referred to the San Mateo County Department of Public Works, Building Inspection Section, Coastsides Fire Protection District, and the Midcoast Community Council. Other than the Midcoast Community Council that provided no comments to staff, the rest of the departments/agencies provided preliminary approval of the project and subject to conditions of approval included in this letter.

At the Coastsides Design Review Committee (CDRC) meeting of February 9, 2017, the Coastsides Design Review Committee reviewed and recommended approval the Design Review permit for your project. Neighborhood notification of your project to homeowners and residents of properties within 300 feet of your property was completed prior to this meeting.

Although your parcel is located in a Categorical Exclusion Area pursuant to Section 6328.5(e) of the Coastal Development Permit Regulations (Regulations), where a CDP is not required for the construction of a single-family residence, the removal of major vegetation is considered development requiring a CDP, pursuant to Section 6328.4 of the Regulations. The CDP application (PLN 2016-0024) was submitted in response to VIO 2016-00141 for the unauthorized removal of sixteen (16) eucalyptus trees under 12 inches diameter at breast height (dbh) in size and one (1) pine tree under 12 inches dbh in size. The project is outside the California Coastal Commission appeals jurisdiction and the CDP is not appealable to the California Coastal Commission.





As discussed in the findings below, the removal of vegetation complies with applicable Local Coastal Program Policies. The proposed residence complies with the R-1/S-17/DR/CD Zoning District Regulations. The Coastal Development Permit and Design Review are hereby **approved**, based on the following findings and subject to the conditions of approval.

## FINDINGS

### 1. For the Environmental Review

This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15303, Class 3(a), relating to the construction of a single-family residence and associated activities in a residential zone.

### 2. For the Coastal Development Permit:

- a. The project, as described in the application and accompanying materials required by Zoning Regulations Section 6328.7 and as conditioned in accordance with Section 6328.14, conforms with the plans, policies, requirements and standards of the San Mateo County Local Coastal Program. Specifically, the project complies with policies related to visual resources pertaining to tree removal and sensitive habitats as the removal of major vegetation does not adversely impact any coastal resources.
- b. The project conforms as they pertain to applicable policies of the San Mateo County Local Coastal Program such as the Visual Resources and Sensitive Habitat policies specifically elaborated as follows:

Sensitive Habitats Policy 7.1 (*Definition of Sensitive Habitats*) defines sensitive habitat as any area in which plant or animal life or their habitats are either rare or especially valuable. These areas include habitats supporting rare, endangered and unique species.

The site is not a mapped sensitive habitat area, but since the undeveloped site consisted of major vegetation that potentially supported such an area, staff required determination of its current environmental condition in order to comply with applicable policies of the San Mateo County Local Coastal Program. The owner/applicant was requested to provide a biological report.

A Biotic Report prepared on February 22, 2017 by Charles Patterson, Plant Ecologist, described that the site is dominated by non-native tree species and supports no native plant species, natural plant communities, riparian vegetation, wetlands, drainage channels, nor sensitive animal species or habitats. The subject site does not contain sensitive habitat. However, Mr. Patterson states the trees on-site could be used by owls, bats and other raptors for nesting or roosting. The report recommends that a pre-construction nesting survey be prepared, subject to State or County guidelines or regulations, within 30 days of the start of



vegetation removal, grading, or construction activities, or if the work coincides with the spring/summer nesting season (see Condition No. 9). The report also recommends erosion control during project construction and grading (see Condition No. 5).

Visual Resources Policy 8.9 (a) and (g) (*Trees*) require that tree removal is minimized for the location and design of new development, and their removal is allowed if they pose a threat to public health, safety and welfare. Unauthorized tree removal was undertaken to remove live eucalyptus trees less than 12 inches dbh and a dead pine tree. Mr. Patterson states that eucalyptus trees, in general, constitute a significant hazard due to potential branch and trunk failure. In a letter dated August 17, 2016, you stated that trees were removed for fire safety. A separate proposal for the removal of seventeen (17) trees associated with the new development is included in the Design Review Permit recommended for approval by the CDRC on February 9, 2017. The applicant proposes to maintain several mature trees onsite, which will be protected during grading construction activities (see Condition No. 14).

Visual Resources Policy 8.10 (*Vegetative Cover*) requires the replacement of vegetation removed during construction with plant materials (trees, shrubs, ground cover) which are compatible with surrounding vegetation and is suitable to the climate, soil, and ecological character of the area. The proposed comprehensive landscape plan recommended for approval at the February 9, 2017 CDRC meeting includes new trees and plants to address both the unauthorized removal of trees and vegetation and the removal of 17 existing significant trees to accommodate the new single-family residence by adding 49 new replacement trees and other plantings onsite.

3. For the Administrative Design Review for a Second Dwelling Unit:

This project is in compliance with the Second Dwelling Unit Regulations, Section 6425 of the San Mateo County Zoning Regulations, with the exception that State Law supersedes standards regarding notification. The floor area of the proposed second dwelling unit is 1,152 sq. ft., which is less than the maximum allowed size of 35% of the floor area of the main unit (1,241 sq. ft.) The requirement of a minimum of one off-street parking space is provided, in addition to those parking spaces required for the single-family dwelling.

4. For the Design Review:

- a. Section 6565.7 of the Design Review District Regulations requires Design Review Committee review of residential projects in the Midcoast. This project has been reviewed by the CDRC and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:



- (1) Section 6565.20 (4) EXTERIOR MATERIALS AND COLORS: The colors chosen blend well with the environment and the neighborhood and break up the massing of the building.
- (2) Section 6565.20 (C) Site Panning and Structure Placement: The house design would maximize privacy for neighbors and integrate with the natural setting.
- (3) Section 6565.20 (F): The comprehensive landscape plan harmonizes with the existing trees and provides screening to protect the privacy of neighbors.

### **RECOMMENDED CONDITIONS**

#### **Current Planning Section**

1. The project shall be constructed in compliance with the plans approved by the Community Development Director on June 22, 2017. Any changes or revisions to the approved plans shall be submitted to the Community Development Director for review and approval prior to implementation. Minor adjustments to the project may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Community Development Director may refer consideration of major revisions to the Coastsides Design Review Committee, with applicable fees to be paid.
2. The Coastal Development Permit (CDP) and Design Review Permit (DR) shall be valid for five (5) years from the date of approval, in which time a building permit shall be issued for the residence and a completed inspection (to the satisfaction of the Building Inspector) shall have occurred within 180 days of its issuance. The DR approval may be extended by one, 1-year increment with submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. The applicant shall include a copy of this letter on the top pages of the building plans.
4. The applicant shall submit the following items and indicate the following on plans submitted for a building permit, as stipulated by the Coastsides Design Review Committee:
  - a. Removal of all lights on the north wall.
  - b. At the east elevation, install two (2) downward-directed exterior lighting fixtures (Fixtures) on each side of garage doors and one (1) fixture at the entry door.
  - c. At the west elevation, install one (1) Fixture by each door on the lower deck and one (1) Fixture on each side of the large door on the upper deck to total 4 Fixtures on this elevation.



5. During project construction, the applicant shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, minimize the transport and discharge of stormwater runoff from the construction site into storm drain systems and water bodies by:
  - a. Using filtration materials on storm drain covers to remove sediment from dewatering effluent.
  - b. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30.
  - c. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
  - d. Storing, handling, and disposing of construction materials and wastes so as to avoid their entry to the storm drain system or water body.
  - e. Avoiding cleaning, fueling or maintaining vehicles on-site, except in an area designated to contain and treat runoff.
  - f. Limiting and timing application of pesticides and fertilizers to avoid polluting runoff.
6. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
7. All new power and telephone utility lines from the street or nearest existing utility pole to the project structures on the property shall be placed underground.
8. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Department of Public Works and the Coastside Fire Protection District.
9. No site disturbance shall occur, including any grading or vegetation removal, until a building permit has been issued.
10. Prior to any land disturbance, the applicant shall submit a pre-construction survey for staff's review and approval, subject to State or County guidelines or regulations, in the event that the proposed trees for removal have not been removed within 30 days of the start of vegetation removal, grading or construction activities, or if the construction coincides with the spring/summer nesting season.

11. To reduce the impact of construction activities on neighboring properties, comply with the following:
  - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
  - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
  - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-ways on Miramar Drive and Terrace Avenue. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Miramar Drive and Terrace Avenue. There shall be no storage of construction vehicles in the public right-of-way.
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14. Installation of the approved landscape plan is required prior to final inspection. The landscape plan shall comply with the Water Efficient Landscape Ordinance.
15. The applicant shall submit a Tree Protection Plan for staff's review and approval, subject to Sections 12,020.4 and 12,020.5 of the County's Significant Tree Ordinance, prior to the issuance of a building permit and start of vegetation removal, grading or construction activities.
16. A Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a building permit to ensure that the approved tree protection measures are installed adequately prior to the start of vegetation removal, grading or construction activities.

#### Building Inspection Section

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#### Granada Community Services District

18. Prior to the issuance of a building permit, the applicant shall obtain a sewer connection



Coastside County Water District

19. Prior to the issuance of a building permit, the applicant shall obtain a water service connection to include fire suppression plans for review and approval.

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20. Prior to the issuance of the building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.
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In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final.

25. Add the following note to the plans: New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least 6 feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 3-inch reflective numbers/letters similar to Hy-Ko 911 or equivalent. The Second Unit requires a separate address.
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31. Installation of underground sprinkler pipe shall be flushed and visually inspected by the Coastside Fire Protection District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open.
32. Exterior bell and interior horn/strobe are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener, are to be wired into a separate circuit breaker at the main electrical panel and labeled.
33. All fire conditions and requirements must be incorporated into your building plans, (see attached conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect and engineer of these requirements.
34. Add note to plans: Smoke alarm/detector are to be hardwired, interconnected, or with battery back-up
35. Add note to plans: Escape or rescue windows shall have a minimum net clear openable area of 5.7 sq. ft., 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor.

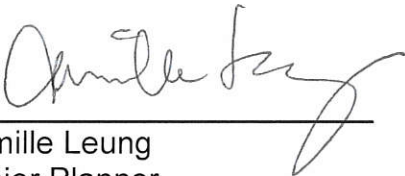
36. Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.
37. Occupancy Separation: As per the 2013 CBC, Section 406.3.4, a one-hour occupancy separation wall shall be installed with a solid core, 20-minute fire rated, self-closing door assembly with smoke gasket between the garage and the residence. All electrical boxes installed in rated walls shall be metal or protected.
38. The building is in a High Fire Hazard Severity Zone and will require a Class A roof. Add this to the plans.
39. Add the note to the plans: The installation of an approved spark arrester is required on all chimneys, existing and new. Spark arresters shall be constructed of woven or welded wire screening of 12-gauge USA standard wire having openings not exceeding .5 inches.
40. Add the following note to the plans: A fuel break or defensible space is required around the perimeter of all structures, existing and new, to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees.
41. Add the note to the plans: Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
42. Add the note to the plans: Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
43. Show location of fire hydrant on a site plan. A fire hydrant is required within 250 feet of the building and flow a minimum of 1000 gpm at 20 psi. This information is to be verified by the water purveyor in a letter initiated by the applicant and sent to San Mateo County Fire/CAL Fire or Coastside Fire District. If there is not a hydrant within 250 feet with the required flow, one will have to be installed at the applicant's expense.
44. Add note to the title page that the building will be protected by an automatic fire sprinkler system.
45. Provide Eave & Gutter details that meet R327 include all materials.
  - a. All exterior doors including garage door must meet R327.
  - b. Carport requires to be WUI compliant.



46. Copy R-327 Worksheet to a plan sized sheet and check appropriate boxes.
47. CRC 2013 Section R327: This project is located in a State Responsibility Area for wildfire protection. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors and underfloor protection shall comply with CRC 2013 Section R327 requirements. You can visit the Office of the State Fire Marshal's website at [http://www.fire.ca.gov/fire\\_prevention/fire\\_prevention\\_wildland.php](http://www.fire.ca.gov/fire_prevention/fire_prevention_wildland.php) and click the new products link to view the "WUI Products Handbook."

This approval may be appealed by the applicant or any aggrieved party on or before **5:00 p.m. on July 7, 2017**, the tenth working day following this action by the Community Development Director. An appeal is made by completing and filing a Notice of Appeal, including a statement of grounds for the appeal, with the Planning and Building Department and paying the \$616.35 appeal fee. This project is not appealable to the California Coastal Commission. Further information may be obtained by calling Dennis P. Aguirre, Project Planner, at 650/363-1867, or by email at [daguirre@smcgov.org](mailto:daguirre@smcgov.org).

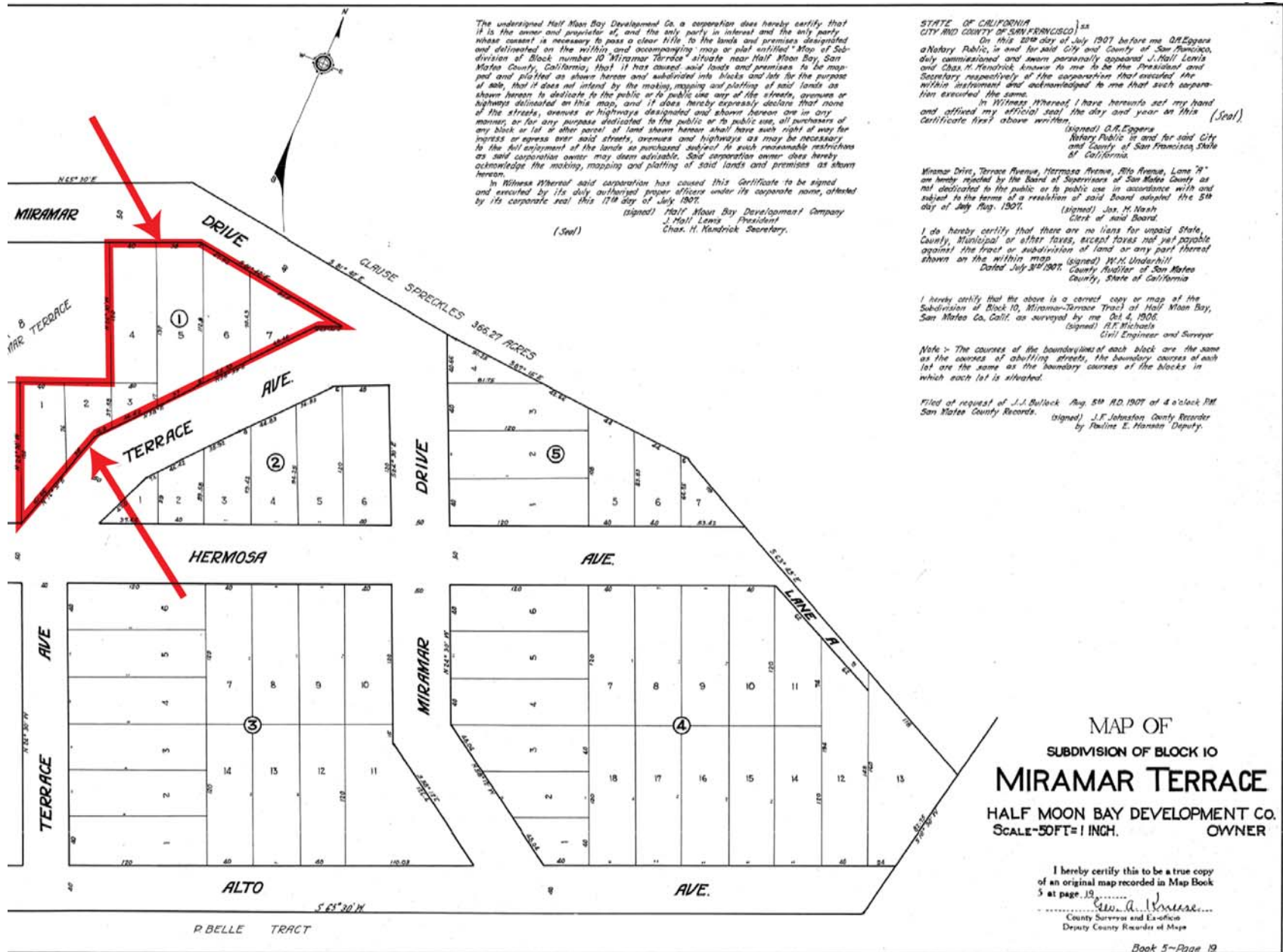
FOR STEVE MONOWITZ  
DIRECTOR OF COMMUNITY DEVELOPMENT, By:



Camille Leung  
Senior Planner

CML:DPA:aow – DPABB0343\_WAN.DOCX

cc: Stuart Grunow  
Linda Montalto-Patterson, Miramar Alternate Community Representative  
Trip Chowdry  
Steve Wilson  
Ed Frymoyer  
Julie Trinkala  
Merry Belden



## San Mateo County Planning Commission Meeting

Owner/Applicant: Steve Peterson

Attachment: G

File Numbers: PLN2016-00337 and PLN2016-00264





## ***San Mateo County Planning Commission Meeting***

Owner/Applicant: Steve Peterson

Attachment: H

File Numbers: PLN2016-00337 and PLN2016-00264





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## ***San Mateo County Planning Commission Meeting***

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Attachment: **H**

File Numbers: PLN2016-00337 and PLN2016-00264



San Mateo County

**Application for Appeal****Planning and Building Department**☐ To the Planning Commission☒ To the Board of Supervisors

County Government Center • 455 County Center, 2nd Floor  
 Redwood City • CA • 94063 • Mail Drop PLN 122  
 Phone: 650 • 363 • 4161 Fax: 650 • 363 • 4849

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**1. Appellant Information**

SEP 20 2017

Name: Tejinder SinghTripatinder ChowdhryAddress: 18 TERRACE AVEHALF MOON BAY, CA 94019Phone, W: 650-274-4653Zip: 94019**2. Appeal Information**Permit Numbers involved: APN: 048-072-290PLN: 2016-00337 &PLN: 2016-00264

I have read and understood the attached information regarding appeal process and alternatives.

☒ yes☐ no

I hereby appeal the decision of the:

☐ Staff or Planning Director☐ Zoning Hearing Officer☐ Design Review Committee☒ Planning Commission Sept 13, 2017

Appellant's Signature:

Date:

Sept 20 / 2017made on June 22, 2017, to approve/deny the above-listed permit applications.**3. Basis for Appeal**

Planning staff will prepare a report based on your appeal. In order to facilitate this, your precise objections are needed. For example: Do you wish the decision reversed? If so, why? Do you object to certain conditions of approval? If so, then which conditions and why?

PLEASE SEE THE ATTACHMENT FOR DETAILSBACKGROUND:OUR CEQA CONCERNS WERE NOT ADDRESSED IN THE PLANNING COMMISSION HEARING ON SEPT 13, 2017.DUE TO PREVIOUSLY SCHEDULED BUSINESS TRIP WE COULD NOT ATTEND THE PLANNING COMMISSION HEARING ON SEPT 13, 2017. OUR PERSISTENT REQUEST FOR POSTPONEMENT TO THE SUBSEQUENT MEETING/ <sup>HEARING</sup> ON SEPT 27, 2017 WAS DECLINED



SEP 20 2017

San Mateo County  
Planning and Building Department

We respectfully submit to the Board of Supervisors, that the exception granted to the owner of APN 048-072-290 from having a continuous retaining wall along his property adjoining Terrace Ave, is unsafe. Like every other home in this neighborhood a continuous retaining wall be a requirement for approval of PLN2016-00337 and PLN2016-00264.

The attached exhibits A1, A, B and C show the fragile condition of Terrace Ave along APN 048-072-290.

1. The recent removal of trees and vegetation by the owner of APN 048-072-290 and presence of construction trucks of APN 048-072-290 owner as shown in Exhibit-D, has made Terrace Ave edge along APN 048-072-290 worse. A Fire truck will not be able to service here either, as can be seen in the attached exhibits A1, A, B, C and D.
2. Consequently, in this neighborhood, without exception all homes on the lower side of Terrace Avenue and Miramar Drive have a retaining wall all along their property and Terrace Ave and Miramar Drive. The condition for a retaining wall along APN 048-072-290 and Terrace Ave is as compelling as for the other houses in this neighborhood. It is not clear why this property deserves an exception.
3. Based on the email from the Planner, this project was exempt under CEQA under the Categorical Exemptions in Section 15303. However, I would like to bring it to the Board of Supervisors kind attention, the exception to the CEQA exemption as below:

Categorical Exemptions represent activities that generally do not result in significant environmental impacts. These exemptions are not absolute. A categorical exemption does not apply if unusual circumstances increase a reasonable possibility that the activity may have a significant environmental impact if the cumulative impacts would be significant. Where there is any reasonable possibility that a project or activity may have a significant effect on the environment, an exemption would be improper. *Azusa Land Reclamation Company v. Main San Gabriel Basin Watermaster* (1997) 52 Cal. App 4th 1165, 1191; *Wildlife Alive v. Chickering* (1976) 18Cal 3d 190, 206-206.

In the case of *Berkeley Hillside Preservation v. City of Berkeley* (2015) 60 Cal. 4th 1086, the Court stated that an exception applies to a Categorical Exemption when there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstance.

Many factors exist in this case, including but not limited to,

- (i) the Utility Plan for this project has not been submitted;
- (ii) removal of vegetation supporting the hill earlier this year, without a county permit;
- (iii) the diversion of water;
- (iv) the unstable hill;
- (v) the damage to Terrace Avenue contributing to the erosion;
- (vi) damage assessment to Terrace Avenue by digging and earthmoving activity associated with installation of new utilities;



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SEP 20 2017

San Mateo County  
Planning and Building Department

(vii) the condition of the soil,

due to all of the above, the Project will have a significant effect on the environment due to the unusual circumstances and may not be exempt from CEQA and may not be granted the exception from a retaining wall which applied to all the other homes in this neighborhood.

4. This project is unique as it has a unique topography.

- a) We have not seen any study that the builder of APN 048-072-290 has performed or the county has made available, on the impact of cutting of the trees and its risk on land slide and mudslide. This hill is sensitive to landslide and mudslide.
- b) We have not seen any study that the builder of APN 048-072-290 has performed or the county has made available, on the impact of earth moving activity/digging activity, associated with getting water connection, sewage and other utilities on Terrace Avenue. As a matter of fact, the builder does not currently have any utility plan.

Consequently, the CEQA exemption may not apply to this project. Like all other similar homes in this neighborhood, installation of a retaining wall along APN 048-072-290 adjoining Terrace Avenue be required as part of the approval for this project.

The photographs of all neighborhood homes along the lower side of Terrace Avenue and Miramar Drive are in Exhibits E1, thru E8.

Please note that ALL of the homes have a retaining wall completely along their property and the road (Terrace Ave or Miramar Drive as the case is).

Thanks  
With Kind regards  
TJ Singh

























































### ***San Mateo County Planning Commission Meeting***

Owner/Applicant: Steve Peterson

Attachment: **J**

File Numbers: PLN2016-00337 and PLN2016-00264