

SAN MATEO



LOCAL AGENCY FORMATION COMMISSION

455 COUNTY CENTER, 2ND FLOOR • REDWOOD CITY, CA 94063-1663 • PHONE (650) 363-4224 • FAX (650) 363-4849

January 12, 2022

To: LAFCo Commissioners
From: Rob Bartoli, Interim Executive Officer
Subject: LAFCo File No. 18-13–Proposed Annexation of APN 080-072-210 (Vacant parcel on El Nido Road, Los Trancos) to West Bay Sanitary District (0.21 acres)

Summary

This proposal, submitted by landowner petition, requests annexation of APN 080-072-210 (Vacant parcel on El Nido Road, Los Trancos) to the West Bay Sanitary District and connection to the District's sewer main. The vacant property is proposed for development with the construction of a new single-family home. The proposal has 100 percent landowner consent and waiver of conducting authority proceedings is also requested. Commission approval is recommended.

Departmental Reports

County Assessor: The total net assessed land valuation for the parcel shown in the records of the County Assessor is \$667,936. The boundaries of the annexation as proposed conform to lines of assessment and ownership.

County Clerk: The territory has zero registered voters. If the annexation is approved, the property will need to be assigned to a precinct that includes West Bay Sanitary District.

County Public Works: The map and legal description have not yet been submitted for review of the requirements set by the State Board of Equalization. Permits will be needed from County Public Works for any work within the right-of-way.

County of San Mateo: The property has a general plan designation of residential, low-density. A permit has been approved to allow for grading associated with the construction of a new single-family house (County Permit PLN2018-00483).

County Environmental Health: The California Water Service Company and West Bay Sanitary District provide the available water and sewer service in the area. The applicant must pay an application fee to Environmental Health prior to connecting to West Bay Sanitary District.

COMMISSIONERS: MIKE O'NEILL, CHAIR, CITY ▪ ANN DRAPER, VICE CHAIR, PUBLIC ▪ HARVEY RARBACK, CITY ▪ DON HORSLEY, COUNTY
 ▪ WARREN SLOCUM, COUNTY ▪ JOSHUA COSGROVE, SPECIAL DISTRICT ▪ RIC LOHMAN, SPECIAL DISTRICT

ALTERNATES: KATI MARTIN, SPECIAL DISTRICT ▪ DIANA REDDY, CITY ▪ JAMES O'NEILL, PUBLIC ▪ DAVE PINE, COUNTY

STAFF: ROB BARTOLI, INTERIM EXECUTIVE OFFICER ▪ TIM FOX, LEGAL COUNSEL ▪ ANGELA MONTES, CLERK

West Bay Sanitary District: Fees for annexation, permits and annual service charges will be required. The property is proposed to connect to the existing gravity main on El Nido Rd. No main extension is necessary. All costs will be paid by the project proponent.

Executive Officer's Report

This proposal has been submitted by landowner petition in order to support the construction of a new single-family house at a vacant property on El Nido Rd. in Los Trancos Woods. The territory proposed for annexation is APN 080-072-210, located near Los Trancos Circle. The property is proposed to connect to the existing force main located in front of the property.

The annexation area is within the sphere of influence of West Bay Sanitary District adopted by the Commission in 1984 and is consistent with the District's plans for extending service. Approval of the annexation is recommended.

California Environmental Quality Act

On November 24, 2021, the County of San Mateo as lead agency adopted a Mitigated Negative Declaration (MND) under California Environmental Quality Act (CEQA) guidelines and approved the subdivision.

As responsible agency under CEQA, the Commission must certify that it has considered the contents of the MND prepared by the County of San Mateo in considering the Outside Service Agreement. Pursuant to Sections 15096(g)(2) and 15096(h) of the State CEQA Guidelines, the Commission as responsible agency must consider the MND. It is recommended that the Commission make the following finding in regard to the MND:

The Commission has reviewed and considered the Mitigated Negative Declaration including any findings and the mitigation and monitoring program, prepared by the County of San Mateo as lead agency and that mitigation measures are within the responsibility and jurisdiction of the County of San Mateo (Section 15091(a)(2)).

Waiver of Conducting Authority Proceedings

Section 56663(c) of the Cortese-Knox-Hertzberg (CKH) Act specifies that the Commission may waive conducting authority proceedings for annexations of uninhabited territory with 100 percent landowner consent provided that no objection is submitted by subject property owners or voters. The purpose of the conducting authority proceedings is to measure landowner or voter protest within the affected territory. Paragraph (c) was added to Section 56663 to streamline proceedings in which landowners have already given consent to uninhabited annexation. The landowners have requested, and staff recommends waiver of conducting authority proceedings.

Recommended Commission Action by Resolution

- 1) By resolution, approve LAFCo File 18-13–Proposed Annexation of APN 080-072-210 (Vacant parcel on El Nido Road, Los Trancos) to West Bay Sanitary District and Waiver of Conducting Authority Proceedings.

- 2) By motion, certify that the Commission has reviewed and considered the Mitigated Negative Declaration including any findings and the mitigation and monitoring program, prepared by the County of San Mateo as lead agency and that mitigation measures are within the responsibility and jurisdiction of the County of San Mateo (Section 15091(a)(2)).

Attachments

- A. Annexation Application for APN 080-072-210
- B. Vicinity Map
- C. Copy of Mitigated Negative Declaration Certified by San Mateo County

cc: Sergio Ramirez, General Manager, West Bay Sanitary District
George Li, Property Owners

Attachment A

APPLICATION FOR A CHANGE OF ORGANIZATION OR REORGANIZATION TO THE SAN MATEO LOCAL AGENCY FORMATION COMMISSION

RECEIVED

DEC 19 2018

LAFCO

A. GENERAL INFORMATION

1. Briefly describe the nature of the proposed change of organization or reorganization.

Annexation of APN 080-072-210 to West Bay Sanitary District

2. An application for a change of organization or reorganization may be submitted by individuals in the form of a petition or by an affected public agency in the form of a certified resolution. This application is submitted by (check one):

Landowners or registered voters, by petition
 An affected public agency, by resolution

(If this application is submitted by petition of landowners or registered voters in the affected territory, complete the petition form.)

3. What are the reasons for the proposal?

Annexation is requested in order to abandon failing septic and connect to public sewer to accommodate home remodel and possible addition.

4. Does this application have 100% consent of landowners in the affected area?

Yes No

5. Estimated acreage: 0.21

B. SERVICES

1. List the name or names of all existing cities and special districts whose service area or service responsibility would be altered by the proposed change of organization or reorganization.

West Bay Sanitary District

2. List all changes to the pattern of delivery of local services to the affected area. For each service affected by the proposed change(s) of organization, list the present source of service (state "none" if service is not now provided), the proposed source of service and the source of funding for construction of necessary facilities (if any) and operation. Example is given on the first two lines of the space provided for your response.

SERVICE	PRESENT SOURCE	PROPOSED SOURCE	FUNDING SOURCE	
			CONSTRUCTION	OPERATING
Sewer	None	West Bay Sanitary.	Proponent	Fees

C. PROJECT PROPOSAL INFORMATION

1. Please describe the general location of the territory which is the subject of this proposal. Refer to major highways, roads and topographical features.

3 Bedroom, 3 Bath Room Single Family Home

2. Describe the present land use(s) in the subject territory.

Vacant

3. How are adjacent lands used?

North: Residential

South: " Residential

East: " Residential

West: " Vacant

4. Will the proposed change of organization result in additional development? If so, how is the subject territory to be developed?

To Construct a new Single family Home

5. What is the general plan designation of the subject territory?

Low Density Residential

6. What is the existing zoning designation of the subject territory?

R-1-S-83

7. What rezoning, environmental review or development approvals have already been obtained for development in the subject territory?

None

8. What additional approvals will be required to proceed?

LAFCo approval, West Bay Sanitary Permits, Septic Abandonment Permit, Road Encroachment permit

9. Does any portion of the subject territory contain any of the following --agricultural preserves, sewer or other service moratorium or wetlands subject to the State Lands Commission jurisdiction?

None

10. If no specific development projects are associated with this proposal, will the proposal increase the potential for development of the property? If so, how?

N/A

LAFCo will consider the person signing this application as the proponent of the proposed action(s). Notice and other communications regarding this application (including fee payment) will be directed to the proponent at:

NAME: George Li

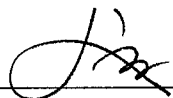
ADDRESS: 146 LASSEN DR. SAN BRUNO CA 94066 TELEPHONE: 650-799-0160


ATTN: _____

[Signature]
Signature of Proponent
email: GUAMLi@Yahoo.com

Addendum to Application titled LAFCO File No. --
Proposed Annexation of APN 080-072-210 to the West Bay
Sanitary District

As part of above noted application submitted by petition, the Chief Applicants, George Li as Applicants and subject landowners, real party in interest, agree to defend, indemnify, hold harmless, and release the San Mateo LAFCO, its agents, Commissioners, Executive Officer, attorneys, and employees from any claim, action, proceeding brought against any of them, the purpose of which is to attack, set aside, void, or annul the approval of this application or adoption of the environmental document which accompanies it. This indemnification obligation shall include, but not be limited to, damages, costs, and expenses, including attorney fees. The person signing this addendum to above noted application will be considered the proponent for the proposed action(s) and will receive all related notices and other communications.

 Date 12/19/18

 Date 12/19/18

_____ Date _____

_____ Date _____

RECEIVED
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
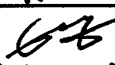
**PETITION
FOR PROCEEDINGS PURSUANT TO
THE CORTESE-KNOX-HERTZBERG LOCAL GOVERNMENT REORGANIZATION ACT
OF 2000**

The undersigned hereby petition(s) the Local Agency Formation Commission of San Mateo County for approval of a proposed change of organization or reorganization, and stipulate(s) as follows:

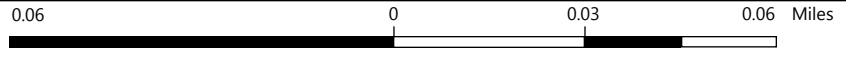
1. This proposal is made pursuant to Part 3, Division 3, Title 5 of the California Government Code (commencing with Section 56000, Cortese-Knox-Hertzberg Local Government Reorganization Act of 2000)
2. The specific change(s) of organization proposed (i.e., annexation, detachment, reorganization, etc. is/are:
Annexation of APN 080-072-210 to West Bay Sanitary District
3. The boundaries of the territory(ies) included in the proposal are as described in Exhibit(s) attached hereto and by this reference incorporated herein.
4. The territory(ies) included in the proposal is/are:
 inhabited (12 or more registered voters) Uninhabited
5. This proposal is is not consistent with the sphere of influence of the affected city and/or district(s).
6. The reason(s) for the proposed Annexation (annexation, detachment, reorganization, etc.) is/are:
Connect single family residence to public sewer and abandon septic system to accommodate home remodel
7. The proposed annexation is requested to be made subject to the following terms and conditions:
None
8. The persons signing this petition have signed as:
 registered voters or Owners of land (check one) within the subject territory.

Wherefore, petitioner(s) request(s) that proceedings be taken in accordance with the provisions of Section 56000, et seq. Of the Government Code and herewith affix signatures as follows:

Chief Petitioners (not to exceed three):

Date:	Printed Name:	Signature/Residence Address:	APN*
1/4/22	George Li	 66 Knox Ave Clifftside park NJ 07010	080-072-210
1/4/22	Xiaojing Tian	 66 Knox Ave. Clifftside park NJ 07010	

*Assessor's Parcel Number of parcel(s) proposed for annexation.



WGS_1984_Web_Mercator_Auxiliary_Sphere
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1:1,781

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Attachment C

November 24, 2021

George Li
146 Lassen Drive
San Bruno, CA 94066

Dear Mr. Li:

SUBJECT: Staff Level Grading Permit
El Nido Road, Los Trancos Woods
APN 080-072-210; County File No. PLN 2018-00483

Staff has reviewed your application for a staff-level grading permit to allow 410 cubic yards of cut and 10 cubic yards of fill, and the removal of nine (9) trees, in association with the construction of a new 3,295 sq. ft. single-family residence which includes an attached 400 sq. ft. two-car garage on an undeveloped legal 8,540 sq. ft. size parcel. Nine (9) trees are proposed for removal, which includes two (2) black oaks (16-inch and 21-inch diameter at breast height (dbh)), six (6) California bay laurel (7-inch to 38-inch dbh), and one 10-inch dbh madrone tree.

The project is located within the R-1/S-83 (Single-family Residential/7,500 sq. ft. minimum parcel size) Zoning District. Staff has reviewed the project for compliance with the development standards of the S-83 regulations and found that the project complies.

The grading permit application has been reviewed and recommended conditional approval by the Department of Public Works, Geotechnical and Drainage staff, the Building Inspection Section, West Bay Sanitary District, California Water Service – Bear Gulch District, and the Woodside Fire Protection District. The project requires annexation into the West Bay Sanitary District for sewer service to the parcel; a process which requires approval by West Bay Sanitary District and the Local Agency Formation Commission (LAFCo).

Public notification for the project was sent out to property owners within 300 feet of the subject property on May 26, 2021. The public comment period began on May 27, 2021 and ended on June 6, 2021. No comments were received during this 10-day public comment period.



Staff prepared an Initial Study and Mitigated Negative Declaration for the project. The public comment period commenced on May 21, 2021 and ended on June 9, 2021. Staff received a request for formal consultation from the Tamien Nation on June 14, 2021 under the provisions of the California Environmental Quality Act (CEQA) (Public Resources Code Section 21080.3.1 subdivisions (b), (d) and (e)) for potential project impacts to tribal cultural resources. The Tamien Nation requested to receive any cultural resource assessments or other assessments that have been completed on all or part of the project's potential "area of project effect". In response to the Tamien Nation's request to review documents on file, staff forwarded a copy of the Sonoma State comment letter and the Native American Heritage Commission letter to the Tamien Nation. Upon the tribes' review of these letters, Tamien Nation confirmed that they had no further questions and requested the following mitigation measures to be included for the project, and that consultation was complete:

If any resources are discovered during ground disturbance activities, Tamien Nation requests that the applicant contact the San Mateo County Planning Department and Tamien Nation.

All mitigation measures have been included as conditions of approval below. Based on the plans, application forms, and accompanying materials submitted, staff has approved the project and certified the Mitigated Negative Declaration, subject to the following recommended findings and conditions of approval.

FINDINGS

Staff found that:

For the Environmental Review:

1. That the Initial Study and Mitigated Negative Declaration are complete, correct, and adequate, and prepared in accordance with the California Environmental Quality Act (CEQA) and applicable State and County Guidelines. An Initial Study and Mitigated Negative Declaration were prepared for this project and circulated from May 21, 2021 to June 9, 2021.
2. That, on the basis of the Initial Study and comments received for consideration by the Community Development Director, there is no substantial evidence that the project will have a significant effect on the environment. The Initial Study and Mitigated Negative Declaration identify potentially significant impacts to air quality, biological resources, cultural resources, geology and soils, hazards and hazardous materials, and tribal

cultural resources. The mitigation measures contained in the Mitigated Negative Declaration have been imposed as conditions of approval in this attachment. As proposed and mitigated, the project will not result in any significant environmental impacts.

3. That the mitigation measures identified in the Mitigated Negative Declaration have been agreed to by the applicant and imposed as conditions of project approval.
4. That the Initial Study and Mitigated Negative Declaration reflect the independent judgement of the County.

For the Grading Permit:

5. That the granting of the permit will not have a significant adverse effect on the environment.

The proposed single-family residence and associated proposed 420 cubic yards of grading is in conformance with the General Plan and Zoning Designation for the property. The proposed grading is necessary for the construction of a proposed residence, due to the slope of the property.

Further, this project has been reviewed and recommended conditional approval by the Department of Public Works, Geotechnical and Drainage staff, the Building Inspection Section, California Water Service – Bear Gulch District, and the Woodside Fire Protection District. West Bay Sanitary District will serve the property upon annexation approval through the Local Agency Formation Commission (LAFCo). Implementation of the proposed grading plan prepared by a licensed civil engineer and associated conditions of approval will ensure the project will not have a significant adverse effect on the environment.

6. The project conforms to the criteria of Chapter 5, Division VII, San Mateo County Ordinance Code, including the standards referenced in Section 9296.

Planning staff, the Geotechnical and Drainage Sections, the Building Section, and the Department of Public Works have reviewed the project and have determined its conformance to the criteria of Chapter 5, Division VII, San Mateo County Ordinance Code, including the standards referenced in Section 9296 and the San Mateo County General Plan, including timing of grading activity, fire safety,

implementation of erosion and sediment control measures, and dust control measures. Any grading proposed between October 1 to April 30 will require advanced approval of a winter grading exception by the Community Development Director.

7. That the project is consistent with the General Plan.

The subject site has a General Plan land use designation of Low-density Residential. The proposed single-family residence is infill development and is consistent with the allowed density and use of the designation. The project also conforms with the zoning standards for the S-83 zoning district which aids in the orderly and harmonious development of the parcel as it relates to the surrounding neighborhood. Therefore, the project as proposed and conditioned is consistent with the San Mateo County General Plan.

CONDITIONS OF APPROVAL

Current Planning Section

1. The project shall be constructed in compliance with the plans approved by the Community Development Director on November 24, 2021. Any changes or revisions to the approved plans shall be submitted to the Community Development Director for review and approval prior to implementation. The Community Development Director may approve minor adjustments to the project if they are consistent with the intent of and are in substantial conformance with this approval.
2. The Grading Permit final approval shall be valid for one (1) year from the date of approval, in which time an associated Building Permit shall be issued, and a completed inspection (to the satisfaction of the Building Inspector) shall have occurred within 365 days of its issuance. The grading permit "hard card" shall only be issued concurrently with an associated building permit. This approval may be extended by a 1-year increment with submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. The applicant shall include a copy of this letter on the top pages of the building plans.
4. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Drainage Section, and the Geotechnical Section.

5. No site disturbance shall occur, including any grading or vegetation removal, until a building permit and grading permit "hard card" have been issued.
6. This permit allows for the removal of nine (9) trees, which includes two (2) black oaks (16-inch and 21-inch dbh), six (6) California bay laurel (7-inch to 38-inch dbh), and a 10-inch dbh madrone tree located throughout the parcel. Removal of any additional trees with a diameter equal to, or greater than, 12 inches as measured 4.5 feet above the ground shall require a separate tree removal permit.
7. Approved tree removal shall not commence until issuance of a building permit for associated construction.
8. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on El Nido Road. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on El Nido Road. There shall be no storage of construction vehicles in the public right-of-way.
9. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo Ordinance Code Section 4.88.360).

Mitigation Measures from the Mitigated Negative Declaration

10. **Mitigation Measure 1:** The applicant shall require construction contractors to implement all the Bay Area Air Quality Management District's Basic Construction Mitigation Measures, listed below:
 - a. Water all active construction areas at least twice daily.
 - b. Apply water two times daily or apply (non-toxic) soil stabilizers on all unpaved access roads, parking, and staging areas at construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
 - c. Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
 - d. Limit traffic speeds on unpaved roads within the project parcel to 15 miles per hour.
 - e. All construction equipment shall be maintained and properly tuned in accordance with manufacturers' specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
 - f. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of the California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
 - g. Enclose, cover, water twice daily, or apply nontoxic soil binders to exposed stockpiles (dirt, sand, etc.) that can be blown by the wind.
 - h. Replant vegetation in disturbed areas as quickly as possible.
 - i. Install erosion control measures to prevent soil runoff to public roadway.
 - j. All haul trucks transporting soil, sand or other loose material on and off sites shall be covered.
 - k. Roadway and building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - l. A publicly visible sign with the telephone number and person to contact at the project site regarding dust complaints shall be posted. This person shall respond and take corrective

action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

11. **Mitigation Measure 2:** All trees proposed for removal shall be replaced at a 1:1 ratio, minimum 15-gallon size stock. All proposed replacement trees shall be shown on a Tree Replanting Plan or Landscape Plan and shall include species, size and location; The Plan shall be submitted to the County Planning and Building Department for review and approval as part of the building permit plan sets.
12. **Mitigation Measure 3:** In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director for review and approval a report of the findings and methods of curation or protection of the resources. In addition, an archaeological report meeting the Secretary of the Interior's Standards detailing the findings of the monitoring will be submitted to the Northwest Information Center after monitoring has ceased. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred.
13. **Mitigation Measure 4:** If a newly discovered resource is, or is suspected to be, Native American in origin, the resource shall be treated as a significant Tribal Cultural Resource, pursuant to Public Resources Code 21074, until the County has determined otherwise with the consultation of a qualified archaeologist and local tribal representative.
14. **Mitigation Measure 5:** In the event of discovery or recognition of any human remains during project construction, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains. The applicant shall then immediately notify the County Coroner's Office and possibly the State Native American Heritage Commission to seek recommendations from a Most Likely Descendant (Tribal Contact) before any further action at the location of the find can proceed. All contractors and sub-contractors shall be made aware of these requirements and shall adhere to all applicable laws including State Cultural Preservation laws. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).
15. **Mitigation Measure 6:** Prior to commencement of the project, the application shall submit to the Planning Department for review and approval, an erosion and drainage control plan

that shows how the transport and discharge of soil and pollutant from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment capturing devices. The plan shall limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plans shall adhere to the San Mateo County Wide Stormwater Pollution Prevention Program "General Construction and Site Guidelines," including:

- a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
- b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- c. Performing clearing and earthmoving activities only during dry weather.
- d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
- e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
- f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
- h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilization of designated access points.

- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
16. **Mitigation Measure 7:** An Erosion Control and Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit “hard card” and/or building permit to ensure that the approved erosion control and tree protection measures are installed adequately prior to the start of ground disturbing activities.
17. **Mitigation Measure 8:** No grading shall be allowed during the winter season (October 1 to April 30) or during any rain event to avoid potential soil erosion unless a prior written request by the applicant is submitted to the Community Development Director in the form of a completed application for an Exception to the Winter Grading Moratorium at least two (2) week prior to the projected commencement of grading activities stating the date when grading will begin for consideration, and approval is granted by the Community Development Director.
18. **Mitigation Measure 9:** If constraints are encountered that would confine traffic to one lane along El Nido Road, the applicant shall be required to submit a traffic control plan, consult with and obtain an encroachment permit from the Department of Public Works prior to any such road closures.
19. **Mitigation Measure 10:** Should any traditionally or culturally affiliated Native American Tribe respond to the County’s issued notification for consultation, such process shall be completed and any resulting agreed upon measures for avoidance and preservation of identified resources be taken prior to implementation.

20. **Mitigation Measure 11** In the event that tribal cultural resources are inadvertently discovered during project implementation, the applicant shall notify the San Mateo County Planning and Building Department and the Tamien Nation and all work shall cease until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resources in place or minimize adverse impacts to the resource. Those measures shall be approved by the County Planning Department prior to implementation and prior to continuing any work associated with the project.
21. **Mitigation Measure 12:** Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

Grading

22. Prior to any land disturbance and throughout the grading operation, the property owner shall implement the erosion control plan, as prepared and signed by the engineer of record and approved by the decision maker. Revisions to the approved erosion control plan shall be prepared and signed by the engineer and submitted to the Planning and Building Department for review and approval.
23. Prior to issuance of the grading permit "hard card," the property owner shall submit a schedule of all grading operations to the Current Planning Section, subject to review and approval by the Current Planning Section. The submitted schedule shall include a schedule for winterizing the site. If the schedule of grading operations calls for the grading to be completed in one grading season, then the winterizing plan shall be considered a contingent plan to be implemented if work falls behind schedule. All submitted schedules shall represent the work in detail and shall project the grading operations through to completion.
24. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.

25. For the final approval of the grading permit, the property owner shall ensure the performance of the following activities within thirty (30) days of the completion of grading at the project site: (a) the engineer shall submit written certification that all grading has been completed in conformance with the approved plans, conditions of approval/mitigation measures, and the Grading Regulations, to the Department of Public Works and the Planning and Building Department's Geotechnical Engineer, and (b) the geotechnical consultant shall observe and approve all applicable work during construction and sign Section II of the Geotechnical Consultant Approval form, for submittal to the Planning and Building Department's Geotechnical Engineer and the Current Planning Section.
26. The provision of the San Mateo County Grading Ordinance shall govern all grading for this project. Per San Mateo County Ordinance Section 9296.5, all equipment used in grading operations shall meet spark arrester and firefighting tool requirements, as specified in the California Public Resources Code.
27. The site is considered a Construction Stormwater Regulated Site (SWRS). Any grading activities conducted during the wet weather season (October 1 to April 30) will require monthly erosion and sediment control inspections by the Building Inspection Section, as well as prior authorization from the Community Development Director to conduct grading during the wet weather season.
28. The engineer who prepared the approved grading plan shall be responsible for the inspection and certification of the grading as required by Section 9297.2 of the Grading Ordinance. The engineer's responsibilities shall include those relating to non-compliance detailed in Section 9297.4 of the Grading Ordinance.

Building Inspection Section

29. A building permit is required prior to the start of grading and/or construction work.

Drainage Section

30. The applicant shall submit a final drainage report stamped and signed by a registered Civil Engineer.
31. The applicant shall submit a final grading and drainage plan stamped and signed by a registered Civil Engineer.

32. The applicant shall submit an updated C.3 and C.6 Checklist (if changes to the impervious areas have been made during the design phase).

Geotechnical Section

33. All analyses results shall be submitted at the Building Permit stage.
34. A Geotechnical Report with proposed grading, shoring, and foundation recommendations and necessary construction procedures shall be provided at the Building Permit stage.
35. A final grading report shall be provided prior to the end of grading.

Department of Public Works

36. Prior to the issuance of the Building permit (for Provision C3 Regulated Projects), the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.
37. Prior to the issuance of the Building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20 percent) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
38. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans,

have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.

39. It shall be the responsibility of the applicant's engineer to regularly inspect the erosion control measures and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected.
40. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.

Woodside Fire Protection District (WFPD)

41. At the start of construction a 2 ft. by 3 ft. address sign shall be posted in front of the project site.
42. At the time of the final inspection, the permanent address shall be mounted and clearly visible from the street with a minimum of 4-inch numbers on contrasting background.
43. A 100-foot defensible space from the structure is required prior to the start of construction.
44. Upon final inspection a 30-foot perimeter property line of defensible space is required per Woodside Fire Protection District (WFPD) ordinance section 304.1.2.A
45. An approved spark arrester shall be required on all installed chimneys including outside fireplaces.
46. The applicant shall install smoke and carbon dioxide detectors per 2016 CBC.
47. The applicant shall install an NFPA 13D fire sprinkler system. Sprinkler plans/calculations shall be submitted separately to WFPD.
48. The proposed driveway meets WFPD standards. If the driveway dimensions are revised during construction, the driveway must maintain compliance with WFPD standards.
NOTE: Fire trucks will not access this short driveway.

California Water Service – Bear Gulch District

49. Any improvements to the water system will be at the owner's expense, including additional services or fire protection needs. All storm and sewer lines must have separation from water of 10-foot horizontal separation and 1-foot vertical separation below the water main or service line. Service lines which go thru one property to another property must have legal easements granted with documentation submitted to California Water Service before installation.

West Bay Sanitary District

50. The development must comply with all current District Regulations and Standards which are available online at www.westbaysanitary.org.
51. No pool drains, roof gutters, surface drainage, or groundwater sump pumps are allowed to connect to the sanitary sewer.
52. If gravity cannot be obtained anywhere on the property, then a private ejector pump may be used. Please note that a grinder type pump is not allowed.
53. The single-family residence (SFR) will require a Class 1 sewer permit for the proposed lateral, property line clean out (PLCO), and main connection.
54. The Class 1 sewer permit will only be issued after annexation of the parcel is completed with LAFCo and West Bay Sanitary District (WBSD).
55. A conforming PLCO is required within 5-feet of the property line. The clean out box shall be accessible for maintenance purposes and plainly visible to the eye. The PLCO must be blue, minimum 4-inch PVC C900 DR 18, and include conforming ARC couplings, screw-cap assembly, and a root control fabric at all joints. Include WBSD detail No. 7 and 13. Daly City Details are unacceptable.
56. The sewer lateral shall conform to WBSD specifications from the PLCO to the main sewer. It shall be blue, minimum 4-inch PVC C900 DR 18, and include conforming ARC couplings, coated No. 8-gauge solid copper tracer wire, root control fabric at all joints, 3/4-inch non-recycled drain rock bedding 4-inches below the pipe to 12-inches above the pipe with metallic markings tape labeled "sanitary sewer" on top of drain rock, and non-recycled structural backfill that conforms to WBSD detail No. 8 relative to

compaction and sieve passing ratings. No other connection is allowed between the PLCO and the main sewer connection. Sewage must flow by gravity at a minimum 2 percent slope from the PLCO to the main. Refer to WBSD Detail No. 6, 7, 8, 13, 22 and 23.

57. The District's construction crew will provide the new main wye. The contractor will be responsible for excavation of the area (3-feet x 5-feet) by the depth of the pipe, with all appropriate shoring, steel plates, etc. Please call the District office to schedule a wye connection installation.
58. The lateral from the building to the PLCO shall meet the requirements of the County's Building Department.
59. The District reserves the right to provide additional comments in response to subsequent submittals.
60. Class 1 sewer permits currently cost \$270.00. The connection fee for the SFR is currently \$8,501.00. The applicant can apply for the required permit at the District's office located at 500 Laurel Street, Menlo Park from 8:00 a.m. to 4:00 p.m. Monday-Friday. For any questions call 650-321-0384.
61. Due to the current coronavirus (COVID-19) pandemic, please check the District's website at www.westbaysanitary.org for the latest information on obtaining permits.

The approval of this Grading Permit and any conditions of the approval may be appealed within ten (10) working days of the date of this letter. An appeal form accompanied by the applicable filing fee of \$616.35 must be submitted by **5:00 p.m., on December 10, 2021**. For more information, please contact the project planner, Olivia Boo, by email at oboo@smcgov.org.

To provide feedback, please visit the Department's Customer Survey at the following link: <http://planning.smcgov.org/survey>.

Sincerely,



Summer Burlison, Senior Planner

SSB:OSB:agv - OSBFF0874_WAN.DOCX

cc: Eason Yuan, Architect

COUNTY OF SAN MATEO, PLANNING AND BUILDING DEPARTMENT

**NOTICE OF INTENT TO ADOPT
MITIGATED NEGATIVE DECLARATION**

A notice, pursuant to the California Environmental Quality Act of 1970, as amended (Public Resources Code 21,000, et seq.), that the following project: Grading for a Single-Family Residence, when adopted and implemented, will not have a significant impact on the environment.

FILE NO.: PLN 2018-00483

OWNER: George Li

APPLICANT: George Li

NAME OF PERSON UNDERTAKING THE PROJECT OR RECEIVING THE PROJECT APPROVAL (IF DIFFERENT FROM APPLICANT): Same

ASSESSOR'S PARCEL NO.: 080-072-210

LOCATION: El Nido Road, near the cross street of Los Trancos Circle, in the unincorporated Los Trancos area of San Mateo County (vacant parcel).

PROJECT DESCRIPTION

A Grading Permit for 420 cubic yards of grading for the construction of a future 3,295 sq. ft., three-story single-family residence, with an attached 400 sq. ft. garage. Nine (9) trees are proposed for removal, which includes two black oaks (16" and 21" dbh,, six California bay laurel (sized 7" to 38" dbh), and a 10" dbh Madrone. The project includes annexation into the West Bay Sanitary District for sewer to serve a future single-family residence on the property; a process which requires approval by West Bay Sanitary District and the Local Agency Formation Commission (LAFCo).

FINDINGS AND BASIS FOR A NEGATIVE DECLARATION

The Current Planning Section has reviewed the initial study for the project and, based upon substantial evidence in the record, finds that:

1. The project will not adversely affect water or air quality or increase noise levels substantially.
2. The project will not have adverse impacts on the flora or fauna of the area.
3. The project will not degrade the aesthetic quality of the area.
4. The project will not have adverse impacts on traffic or land use.
5. In addition, the project will not:

- a. Create impacts which have the potential to degrade the quality of the environment.
- b. Create impacts which achieve short-term to the disadvantage of long-term environmental goals.
- c. Create impacts for a project which are individually limited, but cumulatively considerable.
- d. Create environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly.

The County of San Mateo has, therefore, determined that the environmental impact of the project is insignificant.

MITIGATION MEASURES included in the project to avoid potentially significant effects:

Mitigation Measure 1: The applicant shall require construction contractors to implement all the Bay Area Air Quality Management District's Basic Construction Mitigation Measures, listed below:

- a. Water all active construction areas at least twice daily.
- b. Apply water two times daily or apply (non-toxic) soil stabilizers on all unpaved access roads, parking, and staging areas at construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
- c. Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
- d. Limit traffic speeds on unpaved roads within the project parcel to 15 miles per hour.
- e. All construction equipment shall be maintained and properly tuned in accordance with manufacturers' specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- f. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of the California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.

Mitigation Measure 2: All trees proposed for removal shall be replaced at a 1:1 ratio, minimum 15-gallon size stock. All proposed replacement trees shall be shown on a Tree Replanting Plan or Landscape Plan and shall include species, size and location; The Plan shall be submitted to the County Planning and Building Department for review and approval as part of the building permit plan sets.

Mitigation Measure 3: In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community

Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director for review and approval a report of the findings and methods of curation or protection of the resources. In addition, an archaeological report meeting the Secretary of the Interior's Standards detailing the findings of the monitoring will be submitted to the Northwest Information Center after monitoring has ceased. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred.

Mitigation Measure 4: If a newly discovered resource is, or is suspected to be, Native American in origin, the resource shall be treated as a significant Tribal Cultural Resource, pursuant to Public Resources Code 21074, until the County has determined otherwise with the consultation of a qualified archaeologist and local tribal representative.

Mitigation Measure 5: In the event of discovery or recognition of any human remains during project construction, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains. The applicant shall then immediately notify the County Coroner's Office and possibly the State Native American Heritage Commission to seek recommendations from a Most Likely Descendant (Tribal Contact) before any further action at the location of the find can proceed. All contractors and sub-contractors shall be made aware of these requirements and shall adhere to all applicable laws including State Cultural Preservation laws. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

Mitigation Measure 6: Prior to commencement of the project, the application shall submit to the Planning Department for review and approval, an erosion and drainage control plan that shows how the transport and discharge of soil and pollutant from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment capturing devices. The plan shall limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plans shall adhere to the San Mateo County Wide Stormwater Pollution Prevention Program "General Construction and Site Guidelines," including:

- a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
- b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- c. Performing clearing and earthmoving activities only during dry weather.
- d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
- e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.

- f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
- h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilization of designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
- n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.

Mitigation Measure 7: The applicant shall submit a detailed Tree Protection Plan incorporating measures from a certified arborist as part of the building permit plan set.

Mitigation Measure 8: No grading shall be allowed during the winter season (October 1 to April 30) or during any rain event to avoid potential soil erosion unless a prior written request by the applicant is submitted to the Community Development Director in the form of a completed application for an Exception to the Winter Grading Moratorium at least two (2) week prior to the projected commencement of grading activities stating the date when grading will begin for consideration, and approval is granted by the Community Development Director.

Mitigation Measure 9: If constraints are encountered that would confine traffic to one lane along El Nido Road, the applicant shall be required to submit a traffic control plan, consult with and obtain an encroachment permit from the Department of Public Works prior to any such road closures.

Mitigation Measure 10: Should any traditionally or culturally affiliated Native American Tribe respond to the County's issued notification for consultation, such process shall be completed and any resulting agreed upon measures for avoidance and preservation of identified resources be taken prior to implementation.

RESPONSIBLE AGENCY CONSULTATION

Local Agency Formation Commission
West Bay Sanitary

INITIAL STUDY

The San Mateo County Current Planning Section has reviewed the Environmental Evaluation of this project and has found that the probable environmental impacts are insignificant. A copy of the initial study is attached.

REVIEW PERIOD: May 21, 2021 to June 9, 2021.

All comments regarding the correctness, completeness, or adequacy of this Mitigated Negative Declaration must be received by the County Planning and Building Department via mail to 455 County Center, Second Floor, Redwood City, or email to the project contact below, no later than **5:00 p.m., June 9, 2021**.

CONTACT PERSON

Olivia Boo, Project Planner

oboo@smcgov.org

Olivia Boo

Olivia Boo, Project Planner

County of San Mateo
Planning and Building Department

**INITIAL STUDY
ENVIRONMENTAL EVALUATION CHECKLIST**
(To Be Completed by Planning Department)

1. **Project Title:** Grading for a new single-family residence
2. **County File Number:** PLN 2018-00483
3. **Lead Agency Name and Address:** County of San Mateo Planning and Building Department
455 County Center, 2nd Floor, Redwood City, CA 94063
4. **Contact Person and Phone Number:** Olivia Boo, Project Planner; oboo@smcgov.org
5. **Project Location:** El Nido Road, near the cross street of Los Trancos Circle, in the unincorporated Los Trancos area of San Mateo County (undeveloped parcel).
6. **Assessor's Parcel Number and Size of Parcel:** 080-072-210, 8,538 square feet.
7. **Project Sponsor's Name and Address:** George Li, 146 Lassen Drive, San Bruno CA, 94066.
8. **Name of Person Undertaking the Project or Receiving the Project Approval (if different from Project Sponsor):** N/A
9. **General Plan Designation:** Low Density Residential
10. **Zoning:** R-1/S-83 (One-family Residential District)
11. **Description of the Project:** A Grading Permit for 420 cubic yards of grading for the construction of a future 3,295 sq. ft., three-story single-family residence, with an attached 400 sq. ft. garage. Nine (9) trees are proposed for removal, which includes two black oaks (16" and 21" dbh), six California bay laurel (sized 7" to 38" dbh), and a 10" dbh Madrone. The project includes annexation into the West Bay Sanitary District for sewer to serve a future single-family residence on the property; a process which requires approval by West Bay Sanitary District and the Local Agency Formation Commission (LAFCo).
12. **Surrounding Land Uses and Setting:** The approximately 8,538 square foot parcel is located in the unincorporated area of Los Trancos, an urbanized area of Los Trancos with improved roads and existing single-family residences.
13. **Other Public Agencies Whose Approval is Required:** N/A
14. **Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code Section 21080.3.1? If so, is there a plan for consultation that includes, for example, the determination of significance of impacts to tribal cultural resources, procedures regarding confidentiality, etc.?** Staff has mailed project scope letters to the applicable tribes

and to date, no tribes have submitted written request for consultation per PRC Section 21080.3.1.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a “Potentially Significant Impact” or “Significant Unless Mitigated” as indicated by the checklist on the following pages.

	Aesthetics		Energy		Public Services
	Agricultural and Forest Resources	X	Hazards and Hazardous Materials		Recreation
X	Air Quality		Hydrology/Water Quality		Transportation
X	Biological Resources		Land Use/Planning	X	Tribal Cultural Resources
	Climate Change		Mineral Resources		Utilities/Service Systems
X	Cultural Resources		Noise		Wildfire
X	Geology/Soils		Population/Housing		Mandatory Findings of Significance

EVALUATION OF ENVIRONMENTAL IMPACTS

1. A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an Environmental Impact Report (EIR) is required.
4. “Negative Declaration: Less Than Significant with Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Than Significant Impact.” The lead agency must describe the mitigation measures,

and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analyses,” as described in 5. below, may be cross-referenced).

5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other California Environmental Quality Act (CEQA) process, an effect has been adequately analyzed in an earlier EIR or negative declaration (Section 15063(c)(3)(D)). In this case, a brief discussion should identify the following:
 - a. Earlier Analysis Used. Identify and state where they are available for review.
 - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c. Mitigation Measures. For effects that are “Less Than Significant with Mitigation Measures Incorporated,” describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
7. Supporting Information Sources. Sources used or individuals contacted should be cited in the discussion.

1. AESTHETICS. Except as provided in Public Resources Code Section 21099, would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
1.a. Have a substantial adverse effect on a scenic vista, views from existing residential areas, public lands, water bodies, or roads?				X
<p>Discussion: The project site is not located within any scenic corridor and is not expected to have adverse impact to views from residential areas, public lands, roads or water bodies. The property is located in Los Trancos Woods, an urbanized area developed with single family residences on sloped topography. The nearest body of water is 350 feet northwest, on Lake Road, of the project site. The subject parcel is one street east from the lake and development will not have impacts to any existing scenic views from the lake.</p> <p>The Skyline State Scenic Corridor is the closest scenic corridor and is located over 4,000 feet southwest of the subject parcel. The project site will not impact views from any public lands due to the surrounding topography (steep slopes) and dense vegetation.</p>				

Source: County General Plan, Scenic Corridor Map; Google Earth/Maps; Project Plans; San Mateo County Geographic Information System.

1.b. Substantially damage or destroy scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?				X
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Discussion: The proposed project is not located within any state scenic highway and will not damage or destroy scenic resources, rock outcroppings or historic buildings. The property is undeveloped, a steep sloped site, covered with dense vegetation and seventeen (17) significant and non-significant mature trees. Though nine (9) trees are proposed to be removed to build the future single-family residence and associated underground utilities, the project will be required to replant nine trees prior to the Building Permit final inspection. See discussion under 1.a. regarding scenic highway.

Source: Project Plans.

1.c. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings, such as significant change in topography or ground surface relief features, and/or development on a ridgeline? (Public views are those that are experienced from publicly accessible vantage point.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?				X
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Discussion: The project parcel is zoned R-1/S-83 (Single-family Residential) and is located in an urbanized area. Although the parcel directly across El Nido Road and adjacent, on the right side, are undeveloped, the parcel to the left and to the rear are developed with existing single-family residences. The project does not propose a significant change to the existing topography of the parcel, though 420 cubic yards of grading is proposed, the house is still designed to be stepped into the hillside of the parcel. The parcel is not located on a ridgeline. The nearest park is Foothills Park, approximately 1,600 feet northeast of the subject parcel. Due to the distance of the project site from Foothills Park and existing dense tree cover of the El Nido Road area, views from Foothills Park will not be impacted from the proposed structure.

Upon building permit application for a future single-family residence, the house would be subject to comply with the R-1/S-83 District standards.

Source: Field Inspection; Proposed Site Plans.

1.d. Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?				X
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Discussion: No new lighting is involved for the grading permit. Furthermore, the property is not located in any scenic corridor or in a Design Review District regulating light.

Source: Project Plans.					
1.e.	Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?				X
<p>Discussion: The project site is not located within a scenic corridor. The subject parcel is located over 4,000 feet from Skyline State Scenic Corridor, the nearest scenic corridor. No impacts are expected.</p> <p>Source: Project Plans; San Mateo County Geographic Information System.</p>					
1.f.	If within a Design Review District, conflict with applicable General Plan or Zoning Ordinance provisions?				X
<p>Discussion: The project is not located within a Design Review District and does not conflict with applicable General Plan or Zoning Ordinance provisions.</p> <p>Source: Zoning Maps; General Plan.</p>					
1.g.	Visually intrude into an area having natural scenic qualities?				X
<p>Discussion: The parcel is located within an urbanized area of Los Trancos Wood, a heavily vegetated neighborhood with mature trees. Although nine (9) trees are proposed for removal to develop the house, replanting is required at a 1:1 ratio, minimum 15-gallon size tree, prior to building permit final inspection. Because the neighborhood has a heavy tree canopy, the grading for the future single-family house is not expected to have a significant visual impact.</p> <p>Source: Google Maps; Project Plans.</p>					

<p>2. AGRICULTURAL AND FOREST RESOURCES. In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:</p>					
		Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
2.a.	For lands outside the Coastal Zone, convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland				X

Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				
<p>Discussion: No Impact. The project is located outside the Coastal Zone. According to the California Department of Conservation-Farmland Mapping and Monitoring Program Map, the property is designated as Urban and Built Up Land and does not include Farmland.</p> <p>Source: Project Location; California Department of Conservation-Farmland Mapping and Monitoring Program Map.</p>				
2.b. Conflict with existing zoning for agricultural use, an existing Open Space Easement, or a Williamson Act contract?				X
<p>Discussion: The property is not located within an open space easement or under a Williamson Act contract.</p> <p>Source: Geographic Information System.</p>				
2.c. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forestland to non-forest use?				X
<p>Discussion: The parcel is zoned for single-family development, located in an urban area and not designated as Farmland. Forestland is defined as land that can support 10 percent native tree cover of any species, including hardwoods, under natural conditions, and that allows for management of one or more forest resources, including timber, aesthetics, fish and wildlife, biodiversity, water quality, recreation, and other public benefits (PRC 12220(g)). Though the parcel likely supports more than 10 percent native tree cover, forest resource management is not feasible given the parcel size is 8,500 sq. ft. and due to the residential land use designation of the parcel.</p> <p>Source: Geographic Information System; Project Site.</p>				
2.d. For lands within the Coastal Zone, convert or divide lands identified as Class I or Class II Agriculture Soils and Class III Soils rated good or very good for artichokes or Brussels sprouts?				X
<p>Discussion: The project site is not located in the Coastal Zone.</p> <p>Source: Geographic Information System.</p>				
2.e. Result in damage to soil capability or loss of agricultural land?				X
<p>Discussion: The project is not located in the Coastal Zone and is not designated as agricultural land.</p> <p>Source: Project Location.</p>				

<p>2.f. Conflict with existing zoning for, or cause rezoning of, forestland (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?</p> <p><i>Note to reader: This question seeks to address the economic impact of converting forestland to a non-timber harvesting use.</i></p>				X
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Discussion: The project parcel is zoned for single-family residential development (R-1/S-83). The parcel is not located in a Timberland Preserve Zone District nor is timber harvesting a permitted use on this property. While the parcel may support more than 10 percent native tree cover, forest resources management is not feasible given the parcel size (8,500 sq. ft.) and the residential land use designation of the parcel. The proposed development of a single-family residential structure is an allowed use in the R-1 (single-family residential) District. The project does not conflict with the zoning, would not require a rezoning of the parcel, nor interfere with timberland production elsewhere on appropriately zoned lands.

Source: County Zoning Map and Regulations.

3. AIR QUALITY. Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
3.a. Conflict with or obstruct implementation of the applicable air quality plan?		X		

Discussion: The Bay Area Air Quality Management District (BAAQMD) 2-17 Clean Air Plan (CAP) is the applicable plan for San Mateo County. The CAP was created to improve Bay Area air quality and to protect public health and climate.

The proposed project would not conflict with or obstruct the implementation of the BAAQMD's 2017 CAP. The project and its operation involve minimal hydrocarbon (carbon monoxide, CO₂) air emissions, whose source would be exhaust from vehicle trips (e.g., construction vehicles and personal cars of construction workers), whose primary fuel source is gasoline, during its construction. Due to the site's residential location potential project air emission levels from construction would be increased from general levels. However, any such construction -related emissions would be temporary and localized and would not conflict with or obstruct the Bay Area Air Quality Plan. Similarly, once constructed ongoing use of the single-family residence would have minimal impacts to air quality standards. The BAAQMD has established thresholds of significance for construction emissions and operational emissions as defined in the BAAQMD's

2017 CEQA Guidelines, but does not require quantification of construction emission due to the number of variables that can impact the calculation of construction emissions. Instead, the BAAQMD emphasizes implementation of all feasible construction measures to minimize emissions from construction activities. The BAAQMD provides a list of construction related control measures that they have determined, when fully implemented, would significantly reduce construction related air emissions to a less than significant level. These control measures have been included in Mitigation Measure 1 below.

Mitigation Measure 1: The applicant shall require construction contractors to implement all the Bay Area Air Quality Management District’s Basic Construction Mitigation Measures, listed below:

- a. Water all active construction areas at least twice daily.
- b. Apply water two times daily or apply (non-toxic) soil stabilizers on all unpaved access roads, parking, and staging areas at construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
- c. Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
- d. Limit traffic speeds on unpaved roads within the project parcel to 15 miles per hour.
- e. All construction equipment shall be maintained and properly tuned in accordance with manufacturers’ specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- f. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of the California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- g. Enclose, cover, water twice daily, or apply nontoxic soil binders to exposed stockpiles (dirt, sand, etc.) that can be blown by the wind.
- h. Replant vegetation in disturbed areas as quickly as possible.
- i. Install erosion control measures to prevent soil runoff to public roadway.
- j. All haul trucks transporting soil, sand or other loose material on and off sites shall be covered.
- k. Roadway and building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- l. A publicly visible sign with the telephone number and person to contact at the project site regarding dust complaints shall be posted. This person shall respond and take corrective action within 48 hours. The Air District’s phone number shall also be visible to ensure compliance with applicable regulations.

Source: Bay Area Air Quality Management District 2017 Clean Air Plan; Bay Area Air Quality Management District CEQA Guidelines May 2017.

3.b. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable Federal or State ambient air quality standard?		X		

Discussion: The San Francisco Bay Area Air Basin is a State designated non-attainment area for Ozone, Particulate Matter (PM10) and Fine Particulate Matter (PM2.5). Non-attainment area is an area considered to have air quality worse than the National Ambient Air Quality Standards as defined in the Clean Air Act Amendment of 1970. On January 9, 2013, the Environmental Protection Agency (EPA) issued a final rule to determine that the Bay Area attained the 24-hour PM-2.5 national standard. However, the Bay Area will continue to be designated as “non-attainment” for the national 24-hour PM-2.5 standard until the BAAQMD submits a “re-designation request” and a “maintenance plan” to the EPA and the proposed re-designation is approved by the EPA. A temporary increase in PM-2.5 in the project area is anticipated to occur during construction since these PM-2.5 particles are a typical vehicle emission. Therefore, any construction and California Air Resources Board vehicle regulations will reduce the potential effects of increased PM-2.5 to a less than significant impact. Implementation of Mitigation Measure 1 would minimize increases in non-attainment criteria pollutants generated from project construction to a less than significant level.

Source: Project Plans; Bay Area Air Quality Management District.

3.c. Expose sensitive receptors to substantial pollutant concentrations, as defined by the Bay Area Air Quality Management District?		X		
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Discussion: Sensitive receptors are facilities or land uses such as hospitals, schools, daycare facilities, elderly housing, residential areas and convalescent facilities where individuals spend significant amounts of time. Sensitive individuals, such as children and the elderly, are the most susceptible to poor air quality.

The project site is located in a residential area with sensitive receptors (single-family residences) located in all directions. Pollutant concentrations associated with the occupation of a single-family residential structure are expected to be less than significant. However, though pollutant emissions generated from the construction of the proposed project will primarily be temporary in nature they have the potential to negatively impact nearby sensitive receptors. Mitigation Measure 1 will minimize potentially significant exposure of pollutants to nearby sensitive receptors to a less than significant level.

Source: Bay Area Air Quality Management District.

3.d. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?			X	
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Discussion: Once the grading has commenced, the project has the potential to generate emissions during construction such as noise and odor. However, any such odors will be temporary and are expected to be minimal. Additionally, the project would be required to comply with the County’s adopted Noise Ordinance to reduce noise emissions to a less than significant level. Therefore, no further mitigation is required.

Source: Project Scope.

4. BIOLOGICAL RESOURCES. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
4.a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service or National Marine Fisheries Service?				X
<p>Discussion: The project is located in an urbanized area of unincorporated Los Trancos Woods. The subject project parcel is undeveloped, with some of the surrounding parcels developed with existing residential development. A review of the California Natural Diversity Database shows there are no State or Federal mapped protected species located on the project site.</p> <p>Source: Project location; San Mateo County Geographic Information System California Natural Diversity Database.</p>				
4.b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service or National Marine Fisheries Service?				X
<p>Discussion: There are no riparian habitats or other sensitive communities located within the project area. There are no State or Federal mapped protected species located on the project site.</p> <p>Source: Project location, San Mateo County Geographic Information System California Natural Diversity Database.</p>				
4.c. Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?				X
<p>Discussion: To meet the US Army Corps of Engineers definition of wetland, three characteristics must be demonstrated- wetland vegetation, wetland hydrology, and wetland soils. In addition, a wetland must have a hydrological connection to the other wetlands and/or waters of the United States. The U.S. Fish and Wildlife Service is the principal agency that provides information to the public on the extent and status of the Nation's wetlands. Per the U.S. Fish and Wildlife Service National Wetlands Inventory Mapper, there are no wetlands located within the project area. The nearest emerging wetland is 615 feet from the subject parcel with existing developed single-family homes between the subject site and the emerging wetland area.</p>				

Source: Project location; U.S. Fish and Wildlife Service; Wetland Mapper.					
4.d.	Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?				X
<p>Discussion: There are no wildlife corridors, wildlife sites, migratory fish, or wildlife species located in the project area. Given the urbanized nature of the project area, there are no substantial threats to native wildlife corridors, wildlife sites, migratory fish, or wildlife species.</p> <p>Source: Project location; Project Proposal; California Natural Diversity Database.</p>					
4.e.	Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance (including the County Heritage and Significant Tree Ordinances)?		X		
<p>Discussion: The proposed grading does not conflict with any local policies or ordinances protecting biological resources as noted under the San Mateo County Geographic Information System's California Natural Diversity Database. The proposed grading involves the removal of nine (9) significant trees which include, two black oak (16" and 21" dbh), six California bay laurels (7" to 38" dbh in size), and one 10" Madrone, on the property due to future development of a single-family residence. A 1:1 replanting ratio, using 15-gallon sized trees, for each tree removed is required. Therefore, the applicant will be required to replant nine (9) 15-gallon trees prior to the building permit sign off. The project parcel does not contain any heritage trees. Replanting shall be required as a mitigation measure.</p> <p>Mitigation Measure 2: All trees proposed for removal shall be replaced at a 1:1 ratio, minimum 15-gallon size stock. All proposed replacement trees shall be shown on a Tree Replanting Plan or Landscape Plan and shall include species, size and location. The Plan shall be submitted to the County Planning and Building Department for review and approval as part of the building permit plan sets.</p> <p>Source: Project Plans.</p>					
4.f.	Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, other approved local, regional, or state habitat conservation plan?				x
<p>Discussion: There is no Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or State habitat conservation plans associated with the project parcel.</p> <p>Source: California Department of Fish and Wildlife; California Natural Community Conservation Plans Map (April 2019).</p>					
4.g.	Be located inside or within 200 feet of a marine or wildlife reserve?				X

<p>Discussion: The project site is not located inside or within 200 feet of a marine or wildlife reserve.</p> <p>Source: Project location, United States Fish and Wildlife Service; National Wildlife Refuge System (accessed March 2021).</p>					
4.h.	Result in loss of oak woodlands or other non-timber woodlands?			X	
<p>Discussion: The grading project scope involves the removal of nine (9) significant trees which include, two black oak (16" and 21" dbh), six California bay laurels (7" to 38" dbh in size), and one 10" Madrone, however Mitigation Measure 2 requires that replanting be a 1:1 ratio and that replanting be completed prior to the building inspection final.</p> <p>Source: Project Plans; San Mateo County Significant Tree Ordinance.</p>					

<p>5. CULTURAL RESOURCES. Would the project:</p>					
		<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
5.a.	Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5?			X	
<p>Discussion: The project site is located in an urbanized area, with existing residential development in all directions and is not listed on a State or local historical registry. The proposed grading project and potential future development of a single-family residence is not expected to cause a substantial adverse impact to a historical resource.</p> <p>Source: Project location; Project proposal; California State Parks Office of Historic Preservation;</p>					
5.b.	Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Section 15064.5?		X		
<p>Discussion: The project area is located in an urbanized area, developed with existing single-family residential uses in all directions. The possibility of unrecorded archaeological evidence is low. The following Mitigation Measures are recommended should grading or construction discover cultural, paleontological or archaeological resources during construction.</p> <p>Mitigation Measures 3: In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director for review and approval a report of the findings and methods of curation or protection of the resources. In addition, an archaeological report meeting the Secretary of the Interior's Standards detailing the findings of the monitoring will be submitted to the Northwest Information Center after</p>					

monitoring has ceased. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred.

Mitigation Measure 4: If a newly discovered resource is, or is suspected to be, Native American in origin, the resource shall be treated as a significant Tribal Cultural Resource, pursuant to Public Resources Code 21074, until the County has determined otherwise with the consultation of a qualified archaeologist and local tribal representative.

Mitigation Measure 5: In the event of discovery or recognition of any human remains during project construction, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains. The applicant shall then immediately notify the County Coroner’s Office and possibly the State Native American Heritage Commission to seek recommendations from a Most Likely Descendant (Tribal Contact) before any further action at the location of the find can proceed. All contractors and sub-contractors shall be made aware of these requirements and shall adhere to all applicable laws including State Cultural Preservation laws. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

Source: Project Plans; California Historical Resources Information System (CHRIS).

5.c. Disturb any human remains, including those interred outside of formal cemeteries?		X		
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Discussion: The project area is located in an urbanized area, developed with existing single-family residential uses in all directions. The possibility of discovering human remains is low. Approximately 420 cubic yards (410 c.y. of cut and 10 c. y. of fill) is proposed for the project site. Mitigation Measure 5 is recommended should construction discover cultural, paleontological or archaeological resources during construction.

Source: Project Plans; California Historical Resources Information System (CHRIS).

6. ENERGY. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
6.a. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?			X	

Discussion: Energy Conservation Standards for new residential and non-residential buildings were adopted by the California Energy Resources Conservation and Development Commission (now the California Energy Commission) in June 1977 and are updated every 3 years (Title 24, Part 6, of the California Code of Regulations). Title 24 requires the design of building shells and building components to conserve energy. The standards are updated periodically to allow for consideration and possible incorporation of new energy efficient technologies and methods. On June 10, 2015, the California Energy Commission adopted the 2016 Building Energy Efficiency Standards which went into effect on January 1, 2017. On May 9, 2018, the CEC adopted the 2019 Building Energy Efficient Standards, which took effect on January 1, 2020. The proposed project will be required to comply

with the 2019 Building Energy Efficient Standards which will be verified by the San Mateo County Building Inspection Section prior to the issuance of a building permit. The project would also be required to adhere to the provisions of CAL Green which established planning and design standards for sustainable site development, energy efficiency (in excess of the California Energy Code requirements), water conservation, material conservation, and internal air contaminants.

Construction

The construction of the project would require the consumption of nonrenewable energy resources, primarily in the form of fossil fuel (e.g., fuel oil, natural gas, and gasoline) for automobiles (transportation) and construction equipment. Transportation energy use during construction would come from the transport and use of construction equipment, delivery vehicles and haul trucks, and construction employee vehicles that would use diesel fuel and/or gasoline. The use of energy resources by these vehicles would fluctuate according to the phase of construction, would be temporary, and would not require expanded energy supplies or the construction of new infrastructure. Most construction equipment during demolition/site preparation, grading and foundation work would be gas-powered or diesel-powered, and the later construction phase would require electricity-powered equipment.

Operation

During operation, energy consumption would be associated with residence and visitor vehicle trips and delivery and supply trucks. The project is a residential development project in Los Trancos, served by existing road infrastructure. Pacific Gas and Electric (PG&E) provides electricity in the project area. Currently, the existing site does not use any electricity because it is an undeveloped parcel. Project implementation would result in a permanent increase in electricity over existing conditions. However, such an increase to serve a single-family residence would represent an insignificant increase compared to overall demand in PG&E's service area. The nominal increased demand is expected to be adequately served by the existing PG&E electrical facilities and the projected electrical demand would not significantly impact PG&E's level of service. No natural gas distribution lines exist within the project vicinity. The natural gas demands for a single-family residence are nominal. As such, the proposed project would not result in a wasteful, inefficient or unnecessary consumption of energy resources. Impacts are less than significant, and no mitigation is required.

Source: California Building Code; California Energy Commission; Project Plans.

6.b. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency.				X
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Discussion: The project is for a grading permit, 420 cubic yards to construct a new single-family residence. Once the grading permit receives approval, the design and operation for the single-family residence would comply with State Building Energy Efficiency Standards, appliance efficiency regulations, and green building standards. Therefore, the project does not conflict with or obstruct state or local renewable energy plans and will not have a significant impact. Furthermore, the development would not cause inefficient, wasteful and unnecessary energy consumption.

Source: Project Plans.

7. GEOLOGY AND SOILS. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
7.a. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving the following, or create a situation that results in:				
i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? <i>Note: Refer to Division of Mines and Geology Special Publication 42 and the County Geotechnical Hazards Synthesis Map.</i>			X	
<p>Discussion: The 2018 geotechnical report submitted by Silicon Valley Soil Engineering reports the site is suitable for the proposed development, provided the recommendations made in the report are carefully followed. The property is located within the Alquist-Priolo Earthquake Fault Zone. Based on analysis of the site, it has low expansion potential when subjected to fluctuations in moisture and skin friction drilled concrete piers and grade beam foundation is recommended. For trench excavation less than 5 feet, shoring is not needed but for trenching greater than 5 feet in depth, shoring is required. All earthwork, grading, backfilling, foundation drilling and excavation shall be observed and inspected by a representative from Silicon Valley Soil Engineering.</p> <p>The County's Geographic Information System does not indicate liquefaction in the area. The geotechnical report confirms there is a low potential for liquefaction to occur at the site. There are old dormant landslides mapped in the area but there is no indication that these landslides will have further movement, although intense seismic shaking may result in some movement, primarily from a major earthquake.</p> <p>The County's Geotechnical staff has conditionally approved the grading project. At the building permit stage, the following is required. A) All analyses results, B) A geotechnical report with proposed grading, shoring, and foundation recommendations and necessary construction procedures, and C) A final grading report shall be provided by the end of grading.</p> <p>Source: Project Location; San Mateo County Geographic Information System; 2018 Geotechnical report submitted by Silicon Valley Soil Engineering.</p>				

ii. Strong seismic ground shaking?			X	
<p>Discussion: The project site will experience high intensity ground shaking in the future due to a moderate and large magnitude earthquake from the San Andreas and Bay Area faults. There is a 72 percent chance of a future earthquake of 6.7 or greater magnitude in the next 30 years. The San Andreas fault, which is closest, has a 6 to 7 percent chance to cause strong seismic shaking. The principal concern related to human exposure to ground shaking is that strong ground shaking can result in structural damage to buildings, potentially jeopardizing the safety of its occupants. The single-family residence must meet minimum State building standards for earthquakes. Adherence for the construction of the future single-family residence, to applicable building codes will reduce the likelihood of potential substantial adverse effects, including the risk of loss, injury or death resulting from strong seismic ground shaking. No further mitigation is necessary.</p> <p>Source: San Mateo County Geographic Information System; 2018 Geotechnical report submitted by Silicon Valley Soil Engineering.</p>				
iii. Seismic-related ground failure, including liquefaction and differential settling?			X	
<p>Discussion: The County's Geographic Information system does not indicate liquefaction in the area. The geotechnical report confirms there is a low potential for liquefaction to occur at the site.</p> <p>Source: San Mateo County Geographic Information System; 2018 Geotechnical report submitted by Silicon Valley Soil Engineering.</p>				
iv. Landslides?				X
<p>Discussion: The project site is located within a landslide area. The submitted Silicon Valley Soil Engineering geotechnical report and C2Earth Inc., peer review report notes the slope instability risk associated with the landslide hazard to be low. Model results revealed the surfaces with the lowest factor of safety were for predicted landslides with depths of 40 feet below ground surface. The material strength within the applicable Santa Clara formation at this depth are likely higher than the shallower lab tests strengths used. Additionally, because the thin layer of colluvial soil has no significant effect on the global stability, further analysis is not required.</p> <p>Source: San Mateo County Geographic Information System; 2018 Geotechnical report submitted by Silicon Valley Soil Engineering and C2Earth Inc. geotechnical peer review report.</p>				
v. Coastal cliff/bluff instability or erosion?				X
<p><i>Note to reader: This question is looking at instability under current conditions. Future, potential instability is looked at in Section 7 (Climate Change).</i></p> <p>Discussion: The project site is not located on a cliff or bluff.</p> <p>Source: Project Plans.</p>				

7.b. Result in substantial soil erosion or the loss of topsoil?		X		
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Discussion: The property has 17 mature trees and low-growing vegetation with a 35% percent slope upwards, away from El Nido Road. The project proposes 420 cubic yards of grading. To reduce erosion, the applicant has submitted an erosion control plan to contain soil on the site during construction and ensure that sediment does not flow off site. The erosion control plan is required to adhere to the County’s Erosion and Sediment Control Plan Best Management Practices for construction sites. The project is conditioned to comply with a pre-site inspection to verify tree protection is properly installed and a grading moratorium exception approval should grading be pursued during the winter moratorium (October 1 to April 30). These requirements are included as Mitigation Measures 7 and 8.

Mitigation Measure 6: Prior to commencement of the project, the application shall submit to the Planning Department for review and approval, an erosion and drainage control plan that shows how the transport and discharge of soil and pollutant from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment capturing devices. The plan shall limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plans shall adhere to the San Mateo County Wide Stormwater Pollution Prevention Program “General Construction and Site Guidelines,” including:

- a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
- b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- c. Performing clearing and earthmoving activities only during dry weather.
- d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
- e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
- f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
- h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilization of designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.

l. m. n.	<p>Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.</p> <p>Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.</p> <p>Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.</p>				
<p>Mitigation Measure 7: An Erosion Control and Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit “hard card” and/or building permit to ensure that the approved erosion control and tree protection measures are installed adequately prior to the start of ground disturbing activities.</p>					
<p>Mitigation Measure 8: No grading shall be allowed during the winter season (October 1 to April 30) or during any rain event to avoid potential soil erosion unless a prior written request by the applicant is submitted to the Community Development Director in the form of a completed application for an Exception to the Winter Grading Moratorium at least two (2) week prior to the projected commencement of grading activities stating the date when grading will begin for consideration, and approval is granted by the Community Development Director.</p>					
<p>Source: Project Plans.</p>					
7.c.	<p>Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, severe erosion, liquefaction or collapse?</p>			X	
<p>Discussion: The geotechnical report confirms there is a low potential for liquefaction to occur at the site. The area has mapped old dormant landslides in the areas but there is no indication that these landslides will have further movement, although intense seismic shaking may result in some movement, primarily from a major earthquake.</p>					
<p>Source: Geographic Information System; 2018 Geotechnical report submitted by Silicon Valley Soil Engineering.</p>					
7.d.	<p>Be located on expansive soil, as defined in Table 18-1-B of Uniform Building Code, creating substantial direct or indirect risks to life or property?</p>				X
<p>Discussion: The future construction of the property will be subject to the California Building Code in effect at the time, which would require compliance with seismic code standards to maximize structural integrity.</p>					
<p>Source: Project Plans.</p>					
7.e.	<p>Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?</p>				X

Discussion: The proposed project does not require the installation of a septic system or other alternative wastewater disposal system. The project applicant is seeking annexation into the West Bay Sanitary District for sewer service.

Source: Project Plans.

7.f. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?		X		
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Discussion: The proposed project is located in an urbanized area with the neighborhood developed with existing single-family residences. It is not expected that the project property hosts any paleontological resources or unique geological features. Should any paleontological evidence be discovered, Mitigation Measure 3 shall be implemented.

Source: Project Plans; Project Location.

8. CLIMATE CHANGE. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
8.a. Generate greenhouse gas (GHG) emissions (including methane), either directly or indirectly, that may have a significant impact on the environment?		X		

Discussion: Greenhouse Gas Emissions (GHG) include hydrocarbon (carbon monoxide; CO₂) air emissions from vehicles and machines that are fueled by gasoline. Construction equipment and vehicle trips (e.g., construction vehicles, personal vehicles for construction workers, maintenance workers) and machinery associated with construction for the grading and future single-family residence, will result in temporary generation of GHG emissions. Assuming construction vehicles are based in and travelling from urban areas, the potential project GHG emission levels from construction would be considered minimal and limited to a short duration of time. Although the project scope is not likely to generate significant amounts of greenhouse gases, Mitigation Measure 1 will ensure that any impacts are less than significant.

Source: Project Plans.

8.b. Conflict with an applicable plan (including a local climate action plan), policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?			X	
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Discussion: The San Mateo County Energy Efficiency Climate Action Plan (EECAP) identifies implementation measures for the reduction of GHG emissions resulting from development consistent with state legislation, including construction idling. The majority of GHG emissions from the project are expected to occur during the grading and construction phases, primarily from vehicle exhaust.

<p>GHG emission from the habitation of the single-family residence will be associated with vehicle trips, will not conflict with the EECAP, and are expected to be less than significant.</p> <p>Source: Project Plans; 2013 San Mateo County Energy Efficiency Climate Action Plan.</p>					
8.c.	Result in the loss of forestland or conversion of forestland to non-forest use, such that it would release significant amounts of GHG emissions, or significantly reduce GHG sequestering?			X	
<p>Discussion: As defined by Public Resources Code Section 12220(g), forestland is land that can support 10 percent native tree of any species, including hardwoods, under natural conditions, and that allows for management of one or more forest resources including timber, aesthetics, fish and wildlife, biodiversity, water quality, recreation, and other public benefits. While the 8,538 sq. ft. project parcel contains 10 percent native tree cover in its current condition, and the project proposes to remove nine (9) trees on -site, the proposed tree loss is relatively insignificant when compared to the dense tree coverage of the surrounding vicinity. Thus, the proposed tree removal will not release significant amounts of GHG emissions or significantly reduce the GHG existing in the area. Mitigation Measure 2 requires replanting of trees at a 1:1 ratio for the significant trees removed.</p> <p>Source: Public Resources Code Section 12220(g); San Mateo County EECAP; Project Plans.</p>					
8.d.	Expose new or existing structures and/or infrastructure (e.g., leach fields) to accelerated coastal cliff/bluff erosion due to rising sea levels?				X
<p>Discussion: No, the project is not located on or near a coastal cliff or bluff. The project will not expose people or structures to significant risk involving coastal cliff/bluff erosion resulting from sea level rise.</p> <p>Source: Project Location; San Mateo County GIS.</p>					
8.e.	Expose people or structures to a significant risk of loss, injury or death involving sea level rise?				X
<p>Discussion: The project site is located 10 miles from the Pacific Ocean. The project will not expose people or structures to significant risk involving sea level rise.</p> <p>Source: Project Location; Project Plans; San Mateo County GIS.</p>					
8.f.	Place structures within an anticipated 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X
<p>Discussion: The property is located in Flood Zone X, area of minimal flood hazard as mapped by the Federal Emergency Management Agency (FEMA). Upon application for a single-family residence mandatory flood insurance purchase is required (FEMA Panel No. 06081C0402E, effective October 16, 2012). FEMA Flood Zone X areas have a 0.2 percent annual chance of</p>					

flooding, with areas with one percent annual chance of flooding with average depths of less than 1-foot. Therefore, the project impact would be less than significant.

Source: Project Location; County GIS Maps Federal Emergency Management Agency Flood Insurance Rate Map 06081C0402E, effective October 16, 2012.

8.g. Place within an anticipated 100-year flood hazard area structures that would impede or redirect flood flows?				X
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Discussion: The project parcel is not located in an anticipated 100-year flood hazard area as mapped by FEMA. See discussion under 8.f.

Source: Project Plans; Project Location; Federal Emergency Management System Flood Insurance Rate Map.

9. HAZARDS AND HAZARDOUS MATERIALS. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
9.a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials (e.g., pesticides, herbicides, other toxic substances, or radioactive material)?				X
<p>Discussion: The project involves grading for the construction of a single-family residence on an undeveloped parcel. The construction of the project does not involve the use, transport, or disposal of hazardous material.</p> <p>Source: Project Plans.</p>				
9.b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?				X
<p>Discussion: The use of hazardous materials is not proposed as part of this project.</p> <p>Source: Project Plans.</p>				
9.c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?				X

<p>Discussion: The project involves grading for a future single-family residence and does not involve the use, transport or disposal of hazardous materials. The closest school, Corte Madera School, is over 1 mile from the subject property. Since the school is not located within 0.25 miles of the subject parcel, no impacts are expected to occur.</p> <p>Source: Project Plans; Project Location.</p>					
9.d.	Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?				X
<p>Discussion: The project is not located in an area identified as a hazardous materials site and therefore would not result in the creation of a significant hazard to the public or the environment.</p> <p>Source: List of Superfund Sites.</p>					
9.e.	For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, result in a safety hazard or excessive noise for people residing or working in the project area?				X
<p>Discussion: The site is located 7 miles from the nearest airport, Palo Alto Airport.</p> <p>Source: Area Maps; Project Location.</p>					
9.f.	Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?		X		
<p>Discussion: A majority of the improvements are located within the parcel boundaries with exception of the utility connection to the existing utilities in the right-of-way for water and sewer. There is no expected significant impact to any such emergency response or evacuation plan. Construction vehicles will be required to park on El Nido Road but shall not obstruct emergency vehicles. The project would not impair implementation of, or physically interfere with, an adopted emergency response or evacuation plan. The project is not expected to impede, change the configuration of, or close any roadways that could be used for emergency purposes. However, if the project requires the partial closure of El Nido Road for construction purposes, the implementation of the mitigation measure below will reduce any such impact to a less than significant level.</p> <p>Mitigation Measure 9: If constraints are encountered that would confine traffic to one lane along El Nido Road, the applicant shall be required to submit a traffic control plan, consult with and obtain an encroachment permit from the Department of Public Works prior to any such road closures.</p> <p>Source: Project Plans; Project Location; San Mateo County GIS.</p>					
9.g.	Expose people or structures, either directly or indirectly, to a significant risk				X

of loss, injury or death involving wildland fires?				
<p>Discussion: The project parcel is located within a State Responsibility Area (SRA) Fire Hazard Severity Zone, as mapped by the California Department of Fire and Forestry. The parcel is located in an urban area that has mixed vegetation of mature trees and low-growing vegetation. When the single-family residence is proposed, the project will be reviewed by Woodside Fire Protection District.</p> <p>Source: Project Plans.</p>				
9.h. Place housing within an existing 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X
<p>Discussion: Refer to discussion under 8.f.</p> <p>Source: Project Location; County GIS Maps Federal Emergency Management System Agency Flood Insurance Rate Map 06081C0402E, effective October 16, 2012.</p>				
9.i. Place within an existing 100-year flood hazard area structures that would impede or redirect flood flows?				X
<p>Discussion: Refer to discussion under 8.g.</p> <p>Source: Project Location; County GIS Maps Federal Emergency Management System Agency Flood Insurance Rate Map 06081C0402E, effective October 16, 2012.</p>				
9.j. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?				X
<p>Discussion: In addition to the discussion under Section 8.f., no dam or levee is located in close proximity to the project parcel. Therefore, there is no risk of flooding due to failure of a dam or levee.</p> <p>Source: Project Location; San Mateo County Dam Failure Inundation Areas Map.</p>				
9.k. Inundation by seiche, tsunami, or mudflow?				X
<p>Discussion: The project site is not located within a tsunami inundation area.</p> <p>Source: San Mateo County Geographic Information System.</p>				

10. HYDROLOGY AND WATER QUALITY. Would the project:
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	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
10.a. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality (consider water quality parameters such as temperature, dissolved oxygen, turbidity and other typical stormwater pollutants (e.g., heavy metals, pathogens, petroleum derivatives, synthetic organics, sediment, nutrients, oxygen-demanding substances, and trash))?			X	
<p>Discussion: The project would result in 4,310 sq. ft. of new impervious surface area and has the potential to generate stormwater runoff during construction and operation. The project is required to comply with the County's Drainage Policy requiring post construction stormwater flows to be at, or below, pre-construction flow rates. At the building permit stage, the applicant will be required to provide a drainage analysis that states the post development runoff will be less than or equal to the pre-development runoff.</p> <p>The project will be served by California Water Service- Bear Gulch; the agency has reviewed the project and issued conditions, that any improvements to the water system will be at the owners' expense including additional services or fire protection needs.</p> <p>Source: Project Plans; Project Location.</p>				
10.b. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?				X
<p>Discussion: The proposed grading is to build a future single-family residence on a currently undeveloped lot which will create impervious surface that could potentially impact groundwater supply. The project would create approximately 4,310 sq. ft. of new impervious surface which will include the structure, driveway, and walkway. Runoff from these surfaces would be directed to onsite bioretention areas or other on-site drainage areas that would allow the surface water to infiltrate into the groundwater system. The project site does not contain any wells nor does the project propose a new well. The project proposes to connect to California Water-Bear Gulch water supply.</p> <p>Source: Project Plans; Project Location.</p>				
10.c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner that would:			X	

I. Result in substantial erosion or siltation on- or off-site;				
<p>Discussion: The project does not involve the alteration of a stream or river. The project will support the future construction of 4,310 sq. ft. of impervious surface associated with a future single-family home, driveway and walkways which will alter the drainage pattern of the project site. Future development of a residence on the project parcel will include drainage features that will be reviewed by the Building Department drainage staff. The future single-family residence is not expected to alter the course of a stream or river. The construction of the project is required to comply with the County's Drainage Policy requiring post construction stormwater flows to be at, or below, pre-construction flow rates. Drainage analysis will be required at the building permit stage. The applicant will be required to provide a drainage analysis that states the post development runoff will be less than or equal to the pre-development runoff. To reduce erosion, the applicant has submitted an erosion control plan to contain soil on the site during construction and ensure that sediment does not flow off site. The erosion control plan is required to adhere to the County's Erosion and Sediment Control Plan Best Management Practices for construction sites. Mitigation Measure 6 will be implemented to ensure erosion from grading and drainage improvements is minimized.</p> <p>Source: Project Plans; Project Location.</p>				
ii. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site;				X
<p>Discussion: Though the project will create 4,310 sq. ft. of new impervious surface area, the project is required to meet the County's drainage standards. These standards include requiring post construction stormwater flows to be at or below pre-construction flow rates and to ensure that drainage structures are sized appropriately to accept increased runoff from development. At the building permit stage, the project will be reviewed by the Building Department drainage staff to insure the post construction drainage will be at, or below, pre-construction flow rates and will not substantially increase the rate of amount of surface runoff in a matter that would result in flooding on or off-site.</p> <p>Source: Project Plans.</p>				
iii. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or				X
<p>Discussion: Per the discussion in 10.a. the proposed project shall comply with the County's Drainage requirements and would have a less than significant impact.</p> <p>Source: Project Plans.</p>				
iv. Impede or redirect flood flows?				X
<p>Discussion: The project does not involve the alteration of a stream or river. The project site is not located in a floodway or flood zone as identified by FEMA. Since the project is not located within a floodway or flood zone the proposed project is not expected to impede or redirect flood flows. No</p>				

mitigation is necessary. Pursuant to the discussion in Sections 10.a and 10.c.i, the proposed project would have a less than significant impact.

Source: Project Plans; County Geographic Information System; Federal Emergency Management Agency Flood Insurance Rate Map 06081C0402E, effective October 16, 2012.

10.d. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?				X
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Discussion: As discussed in Section 9.k, the project is not located in a flood hazard, tsunami or seiche zone.

Source: Project Location; San Mateo County Geographic Information System; Federal Emergency Management Agency Flood Insurance Rate Map 06081C0402E, effective October 16, 2012.

10.e. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?			X	
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Discussion: As discussed under 10.a. and 10.b. the proposed project would have less than significant impact.

Source: Project Plans; Project Location; San Mateo County Hazards Map; Federal Emergency Management Agency Flood Insurance Rate Map 06081C0402E, effective October 16, 2012.

10.f. Significantly degrade surface or groundwater water quality?				X
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Discussion: As discussed under 10.b. the project would not significantly degrade surface or groundwater water quality. Thus the project would pose a less than significant impact.

Source: Project Plans; Project Location.

10.g. Result in increased impervious surfaces and associated increased runoff?			X	
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Discussion: Although the project will create 4,310 sq. ft. of new impervious surface area, the project is required to meet the County's drainage standards. These standards include requiring post construction stormwater flows to be at or below pre-construction flow rates. At the building permit stage, the project will be reviewed by the Building Department drainage staff to insure the post construction drainage will be at, or below, pre-construction flow rates.

Source: Project Plans.

11. LAND USE AND PLANNING. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>

11.a. Physically divide an established community?				X
<p>Discussion: The proposed project would result in infill development within an existing urban area adjacent to existing single-family development to the north, south, east and west (though some parcels are still undeveloped). The project does not propose to subdivide land or include development that would result in the division of an established community.</p> <p>Source: Project Plans; Proposed Location.</p>				
11.b. Cause a significant environmental impact due to a conflict with any land use plan, policy or regulation adopted for the purpose of avoiding or mitigating an environmental effect?			X	
<p>Discussion: Staff has reviewed the proposed project and it does not conflict with the applicable General Plan or S-83 Zoning District regulations that would cause a significant environmental impact. Provided the mitigation measures contained within this document are implemented, no significant impacts are expected to occur.</p> <p>Source: Project Plans; San Mateo County General Plan, and Zoning Regulations.</p>				
11.c. Serve to encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas (examples include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)?				X
<p>Discussion: The project proposes grading to construct a new single-family residence within a single-family zoned area. Existing single-family residences are located to the west, north, east and south of the project parcel. The project proposes to connect to West Bay Sanitary District by seeking annexation approval from the Local Agency Formation Commission and West Bay Sanitary District. Upon annexation approval, sewer connection would not require a mainline extension that could serve to encourage off-site development. Water service will be provided by California Water Service -Bear Gulch. Though new utility lines will be installed to serve the proposed development, the connections will be private lines/connections to serve the specific project and will not serve any other adjacent parcel. Any future undeveloped parcel in the area would be required to obtain its own private service.</p> <p>Source: Project Plans.</p>				

12. MINERAL RESOURCES. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>

12.a. Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?				X
<p>Discussion: No, the project does not involve nor result in any extraction or loss of mineral resources. Therefore, the project poses no impact.</p> <p>Source: Project Plans.</p>				
12.b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				X
<p>Discussion: The project parcel does not contain any known mineral resources.</p> <p>Source: Project Plans; Project Location; San Mateo County General Plan- Mineral Resources Map.</p>				

13. NOISE. Would the project result in:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
13.a. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?		X		
<p>Discussion: The proposed project would not produce any long-term significant noise sources. The project will generate short-term noise associated with the construction and grading activities. The short-term noise generated during the grading and construction activities will be temporary, where volume and hours are regulated by Section 4.88.360 (Exemptions) of the San Mateo County Ordinance Code for Noise Control which limits noise sources associated with demolition, construction, repair, remodeling or grading of any real property to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. This section prohibits such activities on Sundays, Thanksgiving and Christmas and limits noise levels produced by construction activities to a maximum of 80-dBA level at any one moment. Therefore, the County's noise regulations would limit potential temporary noise impacts to a less than significant level. Once construction is complete, the project is not expected to generate significant amounts of noise.</p> <p>Source: Project Plans; San Mateo County Noise Ordinance.</p>				
13.b. Generation of excessive ground-borne vibration or ground-borne noise levels?				X

Discussion: Generation of excessive ground-borne vibration or noise levels is expected during the grading and construction activities. However, construction activities that typically generate the most severe vibrations, such as blasting and pile driving, would not occur for this project. Adherence to the San Mateo County Noise Ordinance (discussed in Section 13.a above) will ensure that the impact is less than significant. Furthermore, habitation of the proposed single-family residence is not expected to generate excessive ground-borne vibration or noise levels.

Source: Project Plans; Project Location; San Mateo County Ordinance.

13.c. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, exposure to people residing or working in the project area to excessive noise levels?				X
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Discussion: The site is located 7 miles from the nearest airport, Palo Alto Airport. The project site is not located within the airport's noise exposure contours. Thus, the proposed project would not expose its occupants to excessive noise levels. Therefore, the project poses a less than significant impact.

Source: Project Location; Project Plans.

14. POPULATION AND HOUSING. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
14.a. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?				X

Discussion: The proposed grading for a single-family residential structure will be access by an existing improved road, El Nido Road and would be served by existing utility infrastructure. No new road improvement is required to provide access to the property. The project would support one single family residence which is not considered a significant population growth, therefore the project poses no impact.

Source: Project Plans; Project Location; San Mateo County Geographic Information System.

14.b. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?				X
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Discussion: The proposed grading project is necessary to construct a future single-family residence. No people or housing will be displaced as a result of the project. The project site is undeveloped. The project poses no impact.

Source: Project Plans; Project Location.

15. PUBLIC SERVICES. Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities, the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
15.a. Fire protection?				X
15.b. Police protection?				X
15.c. Schools?				X
15.d. Parks?				X
15.e. Other public facilities or utilities (e.g., hospitals, or electrical/natural gas supply systems)?				X

Discussion: All of the proposed project improvements are to occur completely on privately owned property. The addition of one new residence is not considered a significant impact to the expansion of service in the area. The project would not significantly increase the demand on regional parks and other recreational facilities. The addition of one new residence will not result in impacts of such a significant level that physical deterioration of any public facility will occur or be accelerated. The property will be under the fire authority of Woodside Fire Protection District. Woodside Fire District will review the proposed single-family residence at the building permit stage to ensure compliance with fire standards for emergency access and fire suppression. There is no expectation that the proposed project will disrupt acceptable service ratio, response times or performance objectives of fire, police, schools, parks or any other public facilities or energy supply systems.

Source: Project Plans; Project Location; Woodside Fire Protection District.

16. RECREATION. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
16.a. Increase the use of existing neighborhood or regional parks or				X

other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?				
<p>Discussion: The grading project for a future residence would not have a significant increase to the use of existing parks or other recreational facilities. The nearest parks and outdoor spaces are Windy Hill Open Space Reserve (1.5 miles), Foothills Park (0.2 miles), Coal Creek Preserve (0.5 miles), and Russian Ridge (1.3 miles). These parks will not be significantly affected by the addition of one house to the Los Trancos area. Potential project impact on the use of neighborhood or regional parks or other recreational facilities would be less than significant and significant physical deterioration of any such facilities as related to the project is not expected to occur or be accelerated from the grading for the construction of a single-family residence. The project poses no impact.</p> <p>Source: Project Plans; San Mateo County Geographic Information System; Google Maps.</p>				
16.b. Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?				X
<p>Discussion: The project does not include or require the construction or expansion of a recreational facility.</p> <p>Source: Project Plans.</p>				

17. TRANSPORTATION. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
17.a. Conflict with a program plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities, and parking?			X	
<p>Discussion: The grading for the development of a single-family residence is exempted from the development and implementation of a traffic impact analysis and mitigation plan. Traffic trips (which includes both owner/tenants and guests) generated by the new residence is not expected to introduce any significant increase in vehicles on El Nido Road and thus will not pose significant impacts to other vehicles, pedestrians or bicycles. At the building permit stage for the single-family residence, the project will be reviewed by the County's Department of Public Works and Woodside Fire Protection District for adequate access and fire safety. The project poses a less than significant impact and no mitigation is required.</p> <p>Source: Project Plans; San Mateo County Department of Public Works; Woodside Fire Protection District.</p>				

<p>17.b. Would the project conflict or be inconsistent with CEQA Guidelines Section 15064.3, Subdivision (b) <i>Criteria for Analyzing Transportation Impacts?</i></p> <p><i>Note to reader: Section 15064.3 refers to land use and transportation projects, qualitative analysis, and methodology.</i></p>			X	
<p>Discussion: Section 15064.3 of the CEQA Guidelines provides specific considerations for evaluating a projects transportation impact. A project’s effect on automobile delay does not constitute a significant environmental impact under CEQA. Per Section 15064.3 an analysis of vehicle miles traveled (VMT) attributable to a project is the most appropriate measure of transportation impacts. Other relevant considerations may include the effects of the project on transit and non-motorized travel. Per Section 15064.3(b)(3), a lead agency may analyze a projects VMT qualitatively based on the availability of transit, proximity to destinations, etc.</p> <p>The proposed grading project scope will not produce long term automobile delays as the grading is a short-term project. For the proposed addition of a new single-family residence, there does not appear to be public transit stations in the vicinity (upon review of Google maps), however the addition of one single-family house is not expected to generate a substantial amount of traffic on local roadways or result in a traffic safety hazard. The proposed residential use of the parcel complies with the zoning district and will be compatible with the existing urban residential development in the project area. Therefore, the project would result in a less than significant impact.</p> <p>Source: Project Plans; San Mateo County Geographic Information System.</p>				
<p>17.c. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?</p>				X
<p>Discussion: The grading project will be accessed by an existing paved public right-of-way, El Nido Road, and no new road improvements are required. The future single-family residence will be accessed by a standard-length driveway fronting on El Nido Road that will be subject to review and approval by the Department of Public Works and Woodside Fire Protection District. The project does not propose permanent utilization of equipment that would be in conflict with existing vehicular traffic. No mitigation is necessary.</p> <p>Source: Project Plans; Project Location.</p>				
<p>17.d. Result in inadequate emergency access?</p>			X	
<p>Discussion: The project proposes grading for a future single-family residence, the project site will be accessed from El Nido Road Right-Of-Way. There will be temporary construction in the El Nido Right-Of-Way to install the underground utilities. No activity is expected to impact emergency access to the existing neighborhood. Any construction vehicles are required to park on the sides of the road and not block thru access. The construction parking will be temporary, during the duration of the grading and the construction of the new home. The project has conditional approval from Woodside Fire Protection District and Department of Public Works. Mitigation Measure 9 will reduce impacts to less than significant.</p>				

Source: Project Plans; Project Location; Woodside Fire Protection District.

18. TRIBAL CULTURAL RESOURCES. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
18.a. Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place or cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:				
i. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k)				X
<p>Discussion: The project site is undeveloped and is not listed in the California Register of Historical Resources nor is the location listed in a local register of historical resources, pursuant to any local ordinance or resolution as defined in Public Resources Code Section 5020.1(k).</p> <p>Source: Project Location; California Register of Historical Resources, County General Plan.</p>				
ii. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in Subdivision (c) of Public Resources Code Section 5024.1. (In applying the criteria set forth in Subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)		X		
<p>Discussion: The possibility of the land containing California Native American artifacts is unlikely. However, while the project is not expected to cause a substantial adverse change to any potential tribal cultural resources, the following mitigation measures are recommended to minimize any potential significant impacts to unknown tribal resources:</p>				

The California Historical Resources Information System (CHRIS) office commented their office has no record of previous historical resource studies for the proposed project area; therefore, the project area has the possibility of unrecorded archaeological evidence and further study is recommended by the California Historical Resources Information System. The applicant shall submit an archaeological study to the Current Planning Section should future development be proposed.

Mitigation Measure 10: Should any traditionally or culturally affiliated Native American Tribe respond to the County’s issued notification for consultation, such process shall be completed and any resulting agreed upon measures for avoidance and preservation of identified resources be taken prior to implementation.

Mitigation Measure 11: In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall cease until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resources in place or minimize adverse impacts to the resource. Those measures shall be approved by the County Planning Department prior to implementation and prior to continuing any work associated with the project.

Mitigation Measure 12: Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

Source: California Office of Historic Preservation; San Mateo County Listed Historical Resources.

19. UTILITIES AND SERVICE SYSTEMS. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
19.a. Require or result in the relocation or construction of new or expanded water, wastewater treatment or stormwater drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?			X	

Discussion: The proposed grading will not involve utility connections. The future single-family residence will be served by California Water Service- Bear Gulch for domestic water and West Bay Sanitary District, upon annexation approval from the Local Agency Formation Commission (LAFCO), and West Bay Sanitary District, for sewer service. The future residence will be subject to review and approval by California Water Service -Bear Gulch and West Bay Sanitary District at the time of proposal. Both California Water Bear Gulch and West Bay Sanitary District have reviewed the project and noted conditional approval. Upon annexation approval, future development on the property would be required to construct a sewer lateral from the existing mainline along El Nido Road to the parcel; this sewer lateral would only serve the subject parcel. The future residence will connect to existing PG&E infrastructure for electric power. The new residence will result in 4,310 sq. ft. of impervious surface and has the potential to generate polluted stormwater runoff during project operation, however, the permanent project would be required to comply with the County’s Drainage Policy requiring adequately sized and appropriately located infrastructure to be accommodated on-site to ensure post-construction stormwater flows do not exceed pre-construction flow rates.

<p>Therefore, utilities necessary to support a future residence on the project parcel would not require relocation, construction, or expansion of facilities that could cause a significant environmental effect. Source: Project Plans; Project Location.</p>				
19.b. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?				X
<p>Discussion: The proposed grading does not require a permanent water supply, water will only be needed for erosion and dust control purposes to retain dirt on site. In order to construct the proposed single-family residence, connection to the public water utility district, California Water Service-Bear Gulch is required. The habitation of a single-family residence is not a high intensity use and is not expected to tax the existing water system. The California Water Service -Bear Gulch District has reviewed the project and had no comments during this time other than connection to water is at the owner's expense, including water needed for fire service needs and any service lines that go through another property must secure easements. Source: Project Plans; California Water Service Bear Gulch District.</p>				
19.c. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?				X
<p>Discussion: Upon approved annexation from the Local Agency Formation Commission (LAFCO) and West Bay Sanitary District, the future single-family residence is expected to be served by West Bay Sanitary District. The District has reviewed and conditionally approved the subject project. Source: Project Plans.</p>				
19.d. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?				X
<p>Discussion: The proposed grading for the future single-family residence is expected to generate solid waste on a temporary short-term basis. The proposed single-family residence will also result in ongoing generation of solid waste after its construction. The future residence will receive municipal trash and recycling pick up. The solid waste generated is not expected to result in inadequate landfill capacity at the County's local landfill (Ox Mountain Landfill), which has a capacity /service life until 2034. Source: Project Plans; San Mateo County Integrated Waste Management Plan.</p>				
19.e. Comply with Federal, State, and local management and reduction statutes and regulations related to solid waste?				X

Discussion: The solid waste resulting from the grading will be minimal and considered short term. The solid waste generated by a new single-family residence is expected to be minimal. Both the grading and single-family residence will comply with Federal, State and local management. The project would receive solid waste collection service from Waste Management and is required to adhere to County ordinances with respect to waste reduction and recycling. The landfill discussed under Section 19.d. is licensed and operates pursuant to all Federal, State and local statutes and regulations as overseen by the San Mateo County Health System's Environmental Health Services and the San Mateo County Office of Sustainability. As a result, impacts related to Federal State and local management statutes governing solid waste are not anticipated and no mitigation is required.

Source: Project Plans.

20. WILDFIRE. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
20.a. Substantially impair an adopted emergency response plan or emergency evacuation plan?		X		

Discussion: The project site is located in a State Responsibility Area High Fire Hazard Severity Zone, as identified by the County's GIS maps.

No revisions to the adopted Emergency Operations Plan would be required as a result of the proposed grading project. Emergency fire access to the project site would be maintained during the grading activity and the project would not impair or physically interfere with an adopted emergency response or evacuation plan subject to Mitigation Measure 9. Therefore, impacts would be less than significant, and no further mitigation measure is required.

Source: Project Plans; Project Location; County GIS

20.b. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?				X
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Discussion: Wildland Urban Interface (WUI) fires occur where combustible vegetation meets combustible structures, combining the hazards associated with wildfires and structure fires.

The future residential structure would include fire-resistant features to conform to modern fire and building codes, as well as fire detection or extinguishing systems, and interior fire sprinklers. The likelihood that a major structural fire will expand into a wildland fire before it can be brought under control is therefore significantly reduced. Grading activity shall comply with Section 9296.5 which requires all equipment used in grading operations to meet spark arrester and firefighting tool requirements as specified in the California Public Resources Code.

Source: Project Plans; Project Location.

20.c. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?				X
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Discussion: The proposed project does not involve a new road, fuel breaks, or emergency water sources. The project site is located in an already urbanized area, surrounded by existing single-family residences in all directions. Power lines already exist in the area and, the future residential development will involve connection to an existing power line/power pole. Connection to the existing West Bay Sanitary District sewer system and California Water Service water system will be required will be required with construction of the future residence but is not expected to exacerbate fire risk or the environment.

Source: Project Plans.

20.d. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?				X
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Discussion: Grading for a future single-family residence has been reviewed by the Building Department drainage staff for on-site drainage and has conditional approval, with further review to occur at the building permit stage. The project is conditioned to submit a final grading and drainage plan at the building permit stage for a new residence in compliance with County Drainage requirements, the grading and drainage plan shall be prepared and signed by a civil engineer.

To reduce erosion, the applicant has submitted an erosion control plan to contain soil on the site during construction and ensure that sediment does not flow off site. The erosion control plan is required to adhere to the County's Erosion and Sediment Control Plan Best Management Practices for construction sites.

Source: Project Plans; Project Location.

21. MANDATORY FINDINGS OF SIGNIFICANCE.				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
21.a. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number			X	

<p>or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?</p>				
<p>Discussion: No federal sensitive habitats are mapped in the project. area. The project site is located in an urbanized area of the County and supports existing residential development. Source: Project Scope; Project Location; County Geographic Information System.</p>				
<p>21.b. Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)</p>		X		
<p>Discussion: As defined by the CEQA Guidelines, cumulative impacts reflect “the change in the environment which results from the incremental impact of the project when added to other closely related past, present and reasonably foreseeable probably future projects. Cumulative impacts can result from individually minor but collectively significant projects taking place over a period of time.” (CEQA Guidelines, Section 15355[b]).</p> <p>A recent grading project was approved at the end of Foxwood road to build a new single-family residence which is expected to begin construction in 2021 (located approximately 0.2 miles from the project site). Another residential addition located on Los Trancos Road (located approximately 0.5 miles from the project site) is in the early Planning process and has not been approved. Traffic patterns associated with single-family residential development or remodel will generate some traffic for a duration of approximately 12 months. The project’s potential impacts with respect to air quality, water quality, noise, and cultural resources etc., will be limited and temporary and are determined to be less than significant with mitigation measures. Therefore, the project’s impacts are not expected to result in broader regional impacts. Staff is unaware of any approved or pending projects on this parcel or near the project site.</p> <p>Source: All applicable sources cited in this document.</p>				
<p>21.c. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?</p>		X		
<p>Discussion: Based on the discussions in the previous sections of this document where project impacts were determined to be less than significant or mitigation measures were recommended to reduce impacts to less than significant levels, the proposed project would not cause significant adverse effects on human beings, either directly or indirectly. Source: All applicable sources previously cited in this document.</p>				

RESPONSIBLE AGENCIES. Check what agency has permit authority or other approval for the project.

AGENCY	YES	NO	TYPE OF APPROVAL
Bay Area Air Quality Management District		X	
Caltrans		X	
City		X	
California Coastal Commission		X	
County Airport Land Use Commission (ALUC)		X	
Other: Local Agency Formation Commission _____	X		Sewer annexation
National Marine Fisheries Service		X	
Regional Water Quality Control Board		X	
San Francisco Bay Conservation and Development Commission (BCDC)		X	
Sewer/Water District: West Bay Sanitary District	X		Sewer annexation
State Department of Fish and Wildlife		X	
State Department of Public Health		X	
State Water Resources Control Board		X	
U.S. Army Corps of Engineers (CE)		X	
U.S. Environmental Protection Agency (EPA)		X	
U.S. Fish and Wildlife Service		X	

<u>MITIGATION MEASURES</u>		
	<u>Yes</u>	<u>No</u>
Mitigation measures have been proposed in project application.	X	
Other mitigation measures are needed.	X	
<p>The following measures are included in the project plans or proposals pursuant to Section 15070(b)(1) of the State CEQA Guidelines:</p> <p>Mitigation Measure 1: The applicant shall require construction contractors to implement all the Bay Area Air Quality Management District’s Basic Construction Mitigation Measures, listed below:</p> <p>a. Water all active construction areas at least twice daily.</p>		

- b. Apply water two times daily or apply (non-toxic) soil stabilizers on all unpaved access roads, parking, and staging areas at construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
- c. Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
- d. Limit traffic speeds on unpaved roads within the project parcel to 15 miles per hour.
- e. All construction equipment shall be maintained and properly tuned in accordance with manufacturers' specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- f. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of the California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- g. Enclose, cover, water twice daily, or apply nontoxic soil binders to exposed stockpiles (dirt, sand, etc.) that can be blown by the wind.
- h. Replant vegetation in disturbed areas as quickly as possible.
- i. Install erosion control measures to prevent soil runoff to public roadway.
- j. All haul trucks transporting soil, sand or other loose material on and off sites shall be covered.
- k. Roadway and building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- l. A publicly visible sign with the telephone number and person to contact at the project site regarding dust complaints shall be posted. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

Mitigation Measure 2: All trees proposed for removal shall be replaced at a 1:1 ratio, minimum 15-gallon size stock. All proposed replacement trees shall be shown on a Tree Replanting Plan or Landscape Plan and shall include species, size and location. The Plan shall be submitted to the County Planning and Building Department for review and approval as part of the building permit plan sets.

Mitigation Measure 3: In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director for review and approval a report of the findings and methods of curation or protection of the resources. In addition, an archaeological report meeting the Secretary of the Interior's Standards detailing the findings of the monitoring will be submitted to the Northwest Information Center after monitoring has ceased. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred.

Mitigation Measure 4: If a newly discovered resource is, or is suspected to be, Native American in origin, the resource shall be treated as a significant Tribal Cultural Resource, pursuant to Public Resources Code 21074, until the County has determined otherwise with the consultation of a qualified archaeologist and local tribal representative.

Mitigation Measure 5: In the event of discovery or recognition of any human remains during project construction, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains. The applicant shall then immediately notify the County Coroner's Office and possibly the State Native American Heritage Commission to seek recommendations from a Most Likely Descendant (Tribal Contact) before any further action at the location of the find can proceed. All contractors and sub-contractors shall be made aware of these requirements and shall adhere to all applicable laws including State Cultural Preservation laws. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

Mitigation Measure 6: Prior to commencement of the project, the application shall submit to the Planning Department for review and approval, an erosion and drainage control plan that shows how the transport and discharge of soil and pollutant from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment capturing devices. The plan shall limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plans shall adhere to the San Mateo County Wide Stormwater Pollution Prevention Program "General Construction and Site Guidelines," including:

- a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
- b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- c. Performing clearing and earthmoving activities only during dry weather.
- d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
- e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
- f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
- h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilization of designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.

- l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices
- m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
- n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.

Mitigation Measure 7: An Erosion Control and Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit “hard card” and/or building permit to ensure that the approved erosion control and tree protection measures are installed adequately prior to the start of ground disturbing activities.

Mitigation Measure 8: No grading shall be allowed during the winter season (October 1 to April 30) or during any rain event to avoid potential soil erosion unless a prior written request by the applicant is submitted to the Community Development Director in the form of a completed application for an Exception to the Winter Grading Moratorium at least two (2) week prior to the projected commencement of grading activities stating the date when grading will begin for consideration, and approval is granted by the Community Development Director.

Mitigation Measure 9: If constraints are encountered that would confine traffic to one lane along El Nido Road, the applicant shall be required to submit a traffic control plan, consult with and obtain an encroachment permit from the Department of Public Works prior to any such road closures.

Mitigation Measure 10: Should any traditionally or culturally affiliated Native American Tribe respond to the County’s issued notification for consultation, such process shall be completed and any resulting agreed upon measures for avoidance and preservation of identified resources be taken prior to implementation.

Mitigation Measure 11: In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall cease until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resources in place or minimize adverse impacts to the resource. Those measures shall be approved by the County Planning Department prior to implementation and prior to continuing any work associated with the project.

Mitigation Measure 12: Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

DETERMINATION (to be completed by the Lead Agency).

On the basis of this initial evaluation:

I find the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared by the Planning Department.

X I find that although the proposed project could have a significant effect on the environment, there WILL NOT be a significant effect in this case because of the mitigation measures in the discussion have been included as part of the proposed project. A MITIGATED NEGATIVE DECLARATION will be prepared.

I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

Olivia Boo

(Signature)

5/21/21

Planner III

Date

(Title)

OSB:cmc – OSBFF0645_WCH.DOCX

GRADING PLAN

RESIDENTIAL DEVELOPMENT

El Nido Road Portola Valley CA

GENERAL NOTES

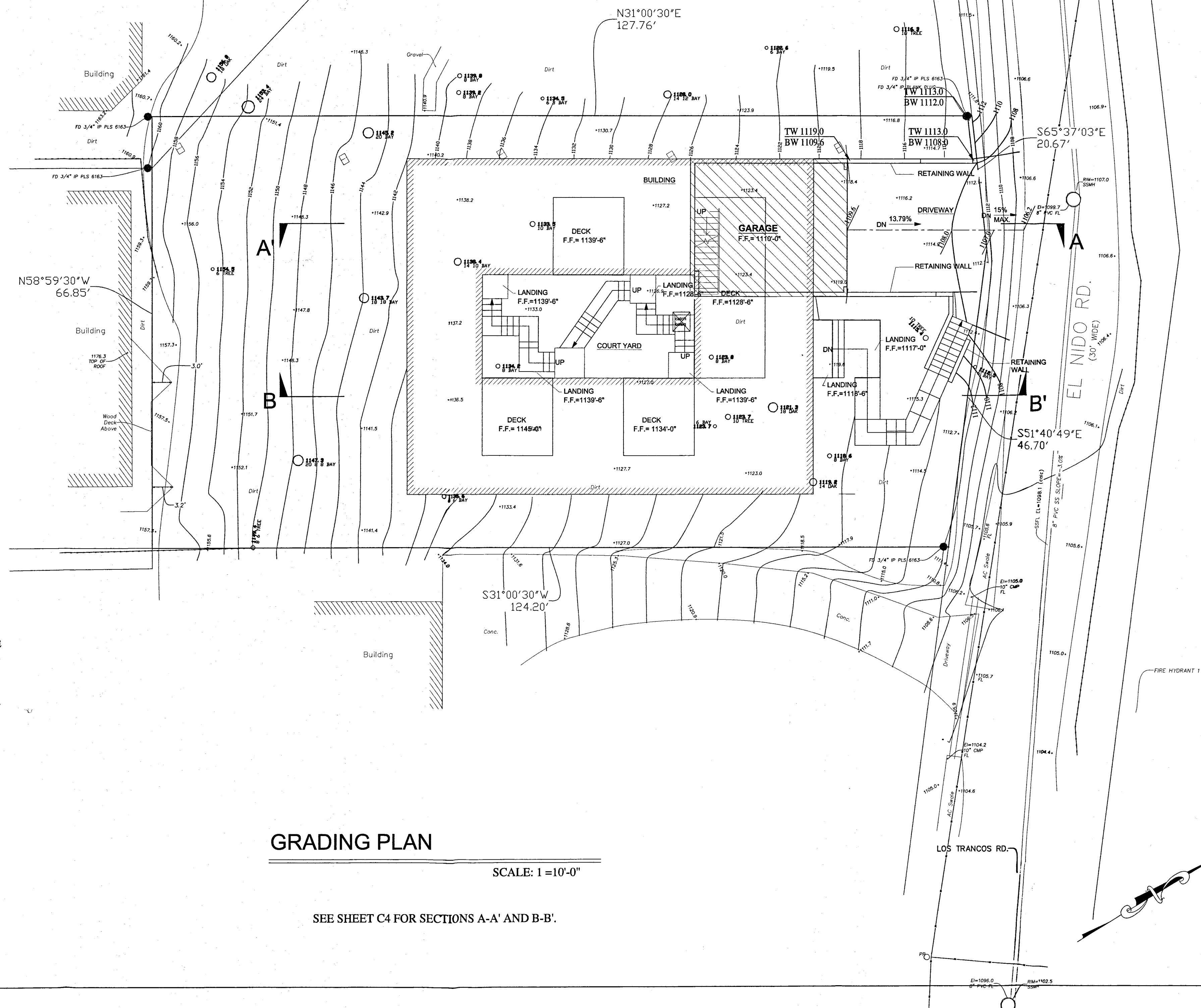
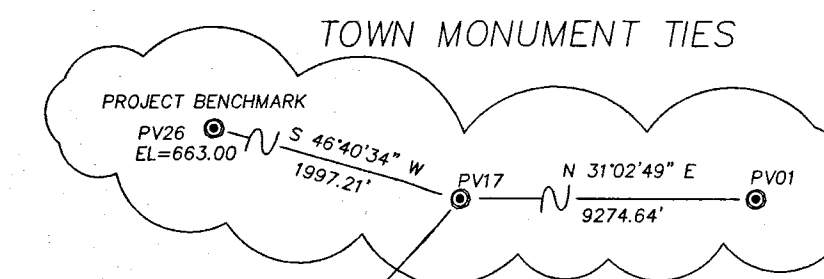
1. ALL DISTURBED SLOPES SHALL BE LANDSCAPED TO PREVENT SOIL EROSION.
2. SLOPES (1:1 MAXIMUM ALLOWABLE) SHALL BE JUTE MATTED PRIOR TO GROUND COVER PLANTING. APPROVAL EQUAL "GEO-FABRIC" SHOULD BE USED IN LIEU OF JUTE MATTING.
3. LOW PRECIPITATION IRRIGATION HEADS SHALL BE USED TO MINIMIZE WATER RUNOFF AND WATER USAGE. ALL DOWNSPOUTS, SITE AREA DRAINS AND CATCH BASINS AS SHOWN ON SITE PLAN SHALL BE COLLECTED WITH DRAINAGE SYSTEMS & ROUTED TO STREET OR "V" DITCH AS SHOWN ON PLAN. MIN. SLOPE OF PIPE TO BE 1/4" PER FOOT. INVERTS @ AREA DRAINS PRIX. 1'-0" BELOW ELEVATION SHOWN.
4. ALL RETAINING WALLS SHALL HAVE DRAINAGE WITH 4" PERFORATED RIGID WALL STYRENE AND COLLECTED WITH RIGID WALL STYRENE. MIN. SLOPE OF PIPE TO BE 1/4" PER FOOT.
5. A POSITIVE GRADIENT SHALL BE PROVIDED AWAY FROM THE FOUNDATION TO AN ADEQUATE DISCHARGE POINT. GRADING SHALL ENSURE DRAINAGE DOES NOT CROSS PROPERTY LINES. SLOPE SHALL NOT BE LESS THAN 5% FOR A DISTANCE OF 5 FEET FROM THE STRUCTURE. NO POUNDING OF WATER SHALL BE ALLOWED ON THE PAD OR ADJACENT TO THE FOUNDATION. SLOPE BEYOND 5 FEET FROM THE FOUNDATION SHALL BE A MINIMUM OF 1%. ALL GRADING ON THIS SITE TO COMPLY WITH SOILS ENGINEER RECOMMENDATIONS FROM THE SOILS REPORT LISTED ON COVER SHEET.
6. CONSTRUCTION ACTIVITIES, EXCEPT FOR GRADING, SHALL BE LIMITED TO THE FOLLOWING HOURS: 7 A.M. TO 5:30 P.M. MONDAY THROUGH FRIDAY AND 9 A.M. TO 6 P.M. SATURDAY AND SUNDAY.
7. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER &/ OR DESIGNER CAN NOT ASSUME RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THEIR DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT ARE NOT SHOWN ON THESE DRAWINGS.
8. GENERAL CONTRACTOR SHALL COORDINATE ALL UNDERGROUND UTILITIES. PROVIDE 6" MINIMUM BETWEEN PIPES CROSSING ELECTRICAL LINES AND 12" MINIMUM BETWEEN PIPES PARALLEL TO ELECTRICAL LINES. WATER-PIPING NOT ALLOWED IN SAME TRENCH AS ELECTRICAL SERVICES CONDUIT.
9. CONTRACTOR TO PROVIDE ADEQUATE DUST CONTROL AT ALL TIMES.
10. DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED STRUCTURE. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO SHORING AND TEMPORARY BRACING.
11. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO INSURE SAFETY OF ALL PERSONS AND STRUCTURES AT THE SITE AND ADJACENT TO THE SITE. OBSERVATION VISITS TO THE SITE BY THE ENGINEER OR CONSTRUCTION MANAGER SHALL NOT RELIEVE THE CONTRACTOR OF SUCH RESPONSIBILITY.

GRADING NOTES

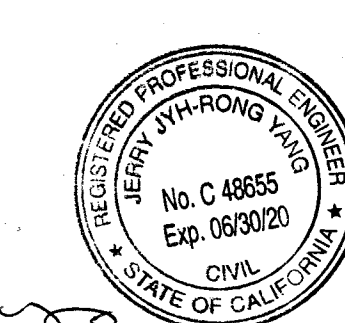
1. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES OVER FIVE FEET IN HEIGHT SHALL BE PLANTED WITH SUITABLE GROUND COVER.
2. ALL GRADING SHALL CONFORM TO TOWN OF PORTOLA VALLEY ORDINANCE.
3. ALL GRADING OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE CIVIL ENGINEER AND ARE SUBJECT TO HIS OBSERVATION. THE CIVIL ENGINEER SHALL CERTIFY GRADING OPERATIONS FOR CONFORMANCE TO THE APPROVED PLAN.
4. THE CONTRACTOR IS TO BE FAMILIAR WITH THE SOILS REPORT ENTITLED "ENGINEERING GEOLOGIC RECONNAISSANCE AND GEOTECHNICAL INVESTIGATION, PROPOSED RESIDENCE, EL NIDO ROAD, PORTOLA VALLEY, CA" PREPARED BY SILICON VALLEY SOIL ENGINEERING. DATED SEPTEMBER 12, 2018.
5. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES NOT SHOWN AT THE SITE.
6. PADS MUST BE GRADED WITHIN 0.1+ OF PROPOSED SUBGRADE ELEVATIONS.
7. ALL ORGANIC MATERIAL, INCLUDING GRASS & WEEDS SHALL BE STRIPPED PRIOR TO ANY GRADING OPERATION AND TRANSPORTED AWAY FROM AREAS THAT ARE TO RECEIVE STRUCTURE OR ENGINEERED FILL. STRIPPING SHALL BE USED FOR LANDSCAPING, MOUNDING, AND OR BLENDING AND USED AS A FILL IN NON-STRUCTURAL AREAS.
8. GRADING SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES, SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES AND A DUST PALLIATIVE MAY BE REQUIRED BY THE CITY INSPECTOR. ANY OPERATION THAT CREATED DUST SHALL CEASE IMMEDIATELY UNTIL SUFFICIENT MEASURES SATISFACTORY TO THE CITY HAVE BEEN TAKEN TO INSURE COMPLIANCE WITH THE DUST CONTROL.
9. DUST SHALL BE KEPT DOWN BY WATERING WHICH SHALL BE ACCOMPLISHED BY A WATERING TRUCK ON SITE OR FROM HYDRANTS ON SITE.
10. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT, (800) 642-2444. 48 HOURS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
11. IF PAVING AND STORM DRAIN IMPROVEMENT ARE NOT COMPLETED BY OCTOBER 1ST TEMPORARY SILT AND DRAINAGE CONTROL FACILITIES SHALL BE INSTALLED TO CONTROL AND CONTAIN EROSION - CAUSED SILT DEPOSITS AND TO PROVIDE FOR THE SAFE DISCHARGE OF STORM WATERS INTO EXISTING STORM WATER FACILITIES. DESIGN OF THESE FACILITIES MUST BE APPROVED BY THE CITY.
12. PRIOR TO GRADING OR CONSTRUCTION, ALL TREES TO REMAIN SHALL BE IDENTIFIED WITH NON-PERMANENT MARKING AND ALL TREE PROTECTION MEASURES SHALL BE IN PLACE. THIS SHALL BE CERTIFIED BY THE LANDSCAPE ARCHITECT OR THE ARBORIST DURING CLEARING AND GRADING OF THE SITE. THE LANDSCAPE ARCHITECT OR THE ARBORIST SHALL BE PRESENT TO MONITOR THE REMOVAL OF TREES AND COMPLIANCE WITH THE REQUIREMENTS OF THE TREE PRESERVATION PLAN.
13. ALL CONSTRUCTION SHALL BE LIMITED TO TAKE PLACE BETWEEN THE HOURS OF 7:30 A.M. AND 6:00 P.M., MONDAY THROUGH FRIDAY, EXCEPT AS APPROVED BY THE DIRECTOR OF PUBLIC WORKS.
14. ALL UTILITY SERVICES TO THE NEW BUILDINGS SHALL BE PLACED UNDERGROUND FROM THE APPROPRIATE UTILITY POLE OR SERVICE POINTS. ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH CITY STANDARD DETAILS AND SPECIFICATIONS.
15. A SEWER CLEANOUT AT THE PROPERTY LINE SHALL BE INSTALLED.
16. SHORING SHOP DESIGN IF REQUIRED IS DEFERRED APPROVAL TO BE PREPARED BY SHORING SPECIALIST OR CONTRACTOR. THE PERFORMANCE OF TEMPORARY SHORING SYSTEM WILL MAINLY DEPEND ON THE TIMELY ACTION OF EXCAVATION AND SHORING INSTALLATION. IT IS ESSENTIAL THAT THE EXCAVATION AND SHORING BE OBSERVED FULLTIME BY THE SHORING DESIGNER OR HIS REPRESENTATIVE.

SITE SOIL WORK

ITEM	QUANTITY (cubic yard)
CUT VOLUME	410
FILL VOLUME	<10
HAUL VOLUME = (CUT+FILL) x 1.2	500



GeoTrinity Consultants, Inc.
 7770 Pardee Lane, Suite 101
 Oakland, CA 94621
 www.geotrinity.com
 Email: info@geotrinity.com
 Tel : 510-383-9950
 Fax: 510-383-9957



Jerry Yang, P.E.; G.E.

Owner:
 Mr. George Li
 Tel: 650-799-0160

RECEIVED
 DEC 18 2018
 San Mateo County
 Planning Division

PLN2018-00483

No.	Date

Project Name and Address
SINGLE FAMILY HOUSE
 El Nido Road
 Portola Valley CA

Sheet Title
GRADING PLAN

Project	GE2609	Sheet	
Date	12/13/2018		C1
Scale			

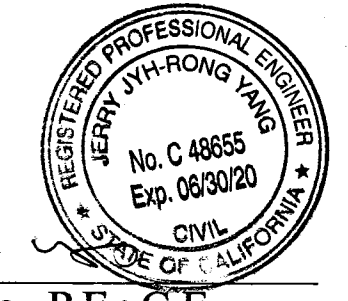
DRAINAGE PLAN

RESIDENTIAL DEVELOPMENT

El Nido Road Portola Valley CA



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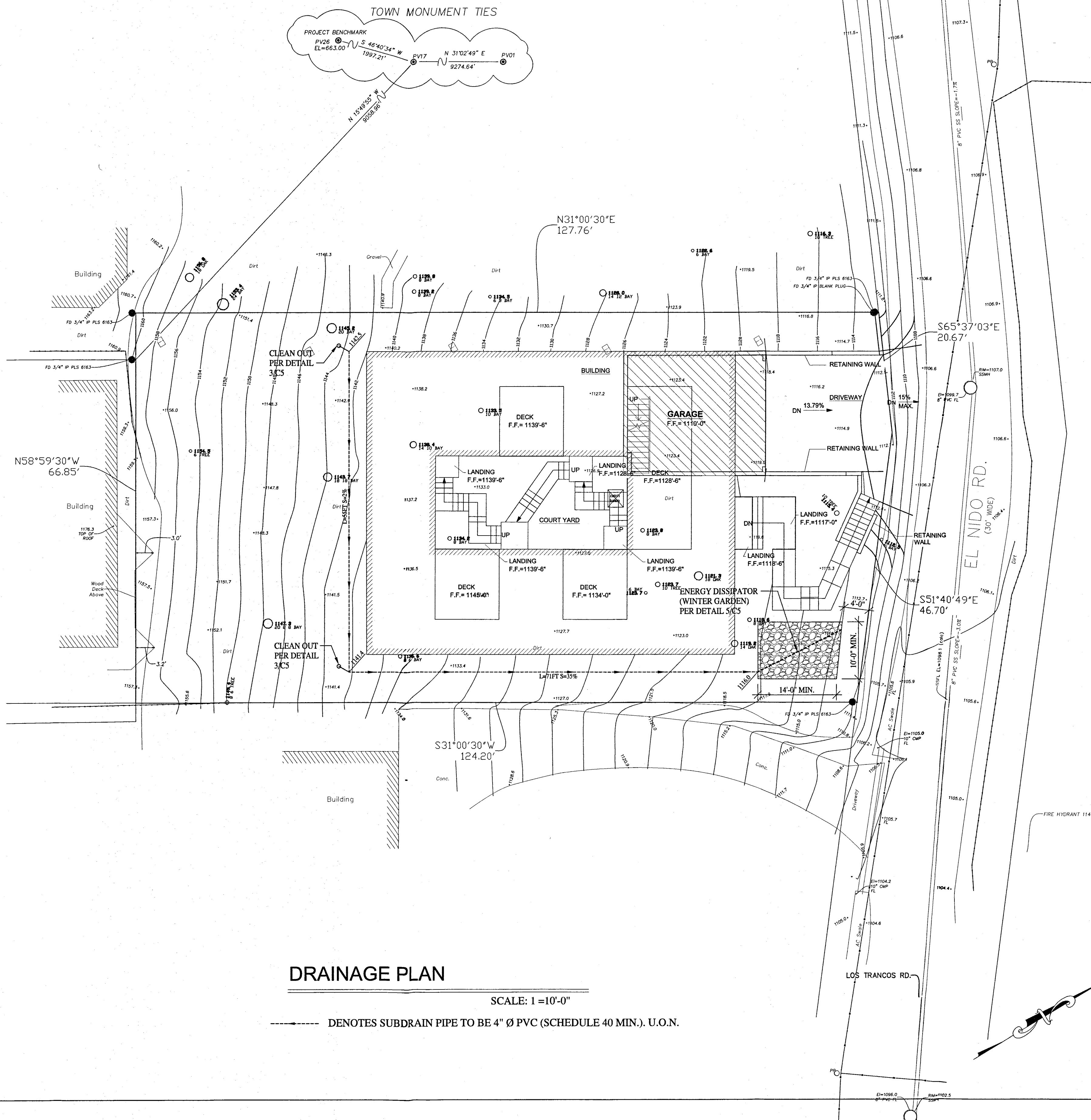


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Mr. George Li
Tel: 650-799-0160

BEST MANAGEMENT PRACTICES AND STORMWATER POLLUTION PREVENTION NOTES:

1. ALL WORK SHALL APPLY THE "BEST MANAGEMENT PRACTICES" (BMPs) FOR THE CONSTRUCTION INDUSTRY. IN ADDITION, THE CONTRACTOR IS REQUIRED TO BE FAMILIAR WITH, AND IMPLEMENT ALL STORMWATER QUALITY AND POLLUTION CONTROL MEASURES IN ACCORDANCE WITH CODE.
2. PROTECT ADJACENT PROPERTIES FROM ALL STORM WATER OR SILT RUNOFF GENERATED BY ON-SITE CONSTRUCTION ACTIVITIES.
3. GATHER ALL CONSTRUCTION DEBRIS ON A REGULAR BASIS. STORE ALL CONSTRUCTION MATERIALS AND WASTE IN A COVERED AREA, OR UNDER A TARP. SWEEP WHERE POSSIBLE. DO NOT USE WATER TO WASH DOWN AREAS DRAINING TO STORM DRAINS. USE PROPER EQUIPMENT CLEANING, FUELING, AND MAINTENANCE PRACTICES.
4. MINIMIZE CONSTRUCTION ACCESS POINTS TO THE SITE. PROVIDE A CONSTRUCTION ENTRANCE AT EACH ACCESS POINT. REMOVE ALL SILT, GRAVEL, RUBBISH, AND GREEN WASTE FROM THE STREET ADJOINING THE SITE PRIOR TO OCTOBER 1ST. PROVIDE REGULAR MAINTENANCE, WEEKLY OR AFTER STORM EVENTS, TO KEEP ACCESS POINTS CLEAN AND FREE OF DEBRIS. DURING WET WEATHER AVOID DRIVING OFF PAVED AREAS AND TRACKING MUD AND SILT ONTO PAVED AREAS.
5. MINIMIZE REMOVAL OF ANY VEGETATION. STABILIZE ALL CLEARED AND DE-VEGETATED AREAS PRIOR TO OCTOBER 1ST. STABILIZATION SHOULD INCLUDE TEMPORARY OR PERMANENT RE-SEEDING, MULCHING, PROTECTIVE BERMS, SILT FENCES, PLASTIC COVERINGS OR ROCKING OF ROADS, AND SHOULD BE BASED ON ABAG EROSION CONTROL OR CALIFORNIA STORM WATER BMP HANDBOOK STANDARDS.
6. STABILIZE SWALES, GULLIES, CHANNELS, CULVERTS, FIELD INLETS, AND OUTFALLS ON THE CONSTRUCTION SITE TO PREVENT EROSION.
7. USE SEDIMENT CONTROLS AND FILTRATION TO REDUCE SEDIMENTATION FROM DEWATERING EFFLUENT. CONTROL THE USE AND PREVENT DISCHARGE TO STORM DRAINS OF ALL POTENTIAL POLLUTANTS. FOR EXAMPLE, PESTICIDES, PETROLEUM PRODUCTS, NUTRIENTS (PLANT WASTES), SOLID WASTES, AND CONSTRUCTION DISCHARGES FROM DEWATERING ACTIVITIES, STREET WASHING, AND PAVEMENT SAW CUTTING. INSTALL FILTER MATERIALS (SANDBAGS, FILTER FABRIC) AT ALL STORM DRAIN INLETS, WHICH DRAIN THE SITE. FILTERS SHALL BE MAINTAINED AND CHANGED REGULARLY TO ENSURE EFFECTIVENESS AND PREVENT FLOODING. DISPOSE OF FILTRATE PROPERLY.
8. DUST CONTROL MEASURES:
 - 1). WATER ALL ACTIVE CONSTRUCTION AREAS NECESSARY TO CONTROL DUST.
 - 2). COVER STOCKPILES OF DEBRIS, SOILS OR OTHER MATERIAL IF BLOWN BY WIND.
 - 3). SWEEP ADJACENT PUBLIC RIGHT OF WAY AND STREET DAILY IF VISIBLE SOIL MATERIAL OR DEBRIS IS CARRIED ONTO THESE AREAS.
 - 4). COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF EBOARD.
 - 5). HYDROSEED OR APPLY NON-TOXIC SOIL STABILIZERS TO INACTIVE CONSTRUCTION AREAS.
 - 6). ENCLOSE, COVER, WATER TWICE DAILY OR APPLY NON-TOXIC SOIL BINDERS TO EXPOSED STOCKPILES (DIRT, SAND, ETC.).
 - 7). INSTALL SANDBAGS OR OTHER EROSION CONTROL MEASURES TO PREVENT SILT RUNOFF ONTO PUBLIC ROADWAYS.
 - 8). REPLANT VEGETATION IN DISTURBED AREAS AS QUICKLY AS POSSIBLE.
9. PROVIDE 4" PERFORATED DRAIN PIPE AGAINST THE EXTERIOR GRADE BEAM AROUND ENTIRE STRUCTURE PER THE FOUNDATION SUBDRAIN RECOMMENDATIONS IN THE SOILS REPORT.



No.	Date
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Project Name and Address
SINGLE FAMILY HOUSE
El Nido Road
Portola Valley CA

Sheet Title
DRAINAGE PLAN

Project GE2609	Sheet
Date 12/13/2018	C2
Scale	

EROSION CONTROL PLAN

RESIDENTIAL DEVELOPMENT

El Nido Road Portola Valley CA



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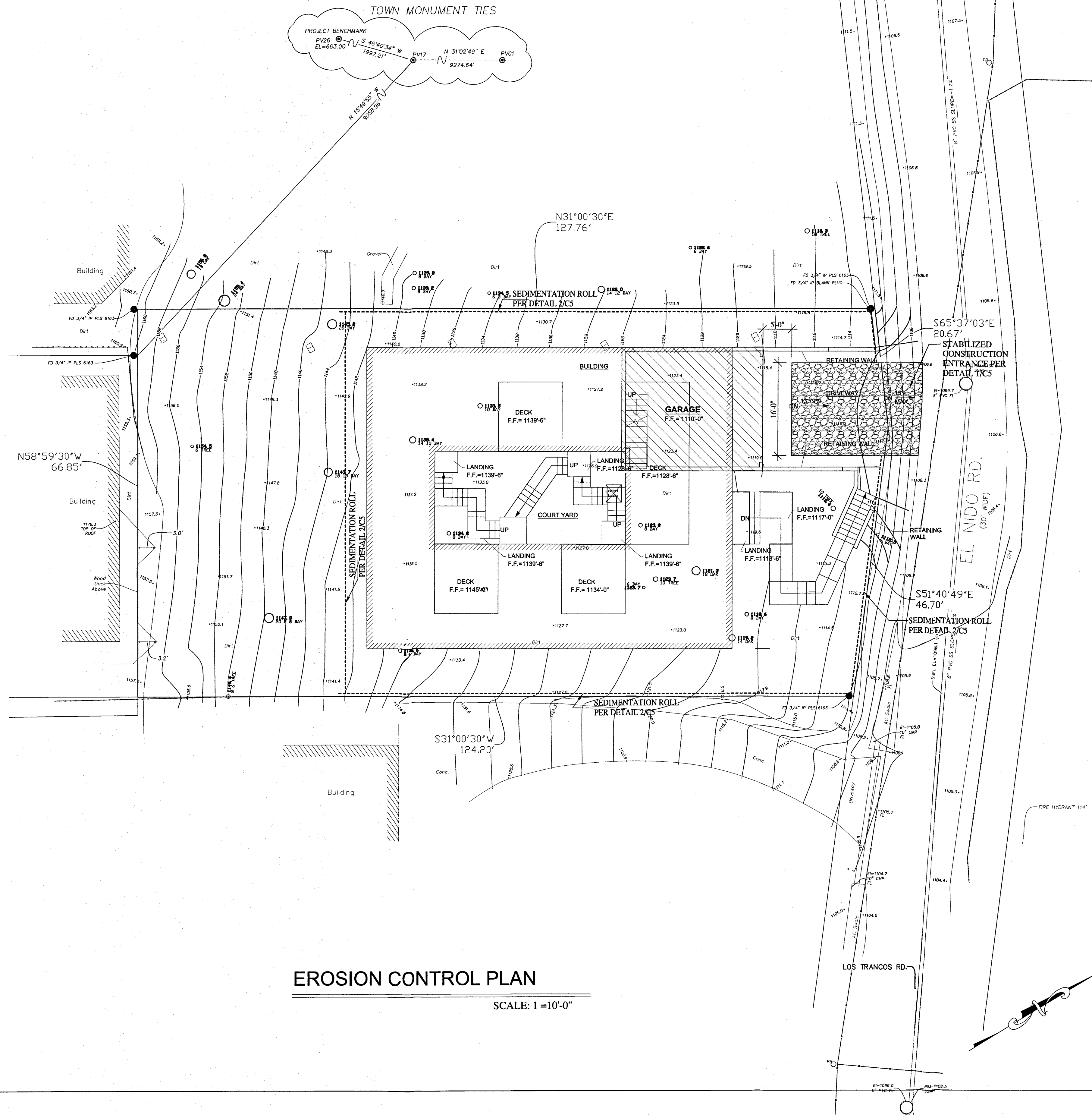


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Owner:
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EROSION CONTROL & WATER QUALITY NOTES:

1. NO LAND CLEARING, GRADING OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 15TH AND APRIL 15TH. ANY DEVIATION FROM THIS CONDITION REQUIRES REVIEW AND APPROVAL OF A SEPARATE WINTER EROSION CONTROL PLAN BY ENVIRONMENTAL PLANNING PRIOR TO BEGINNING CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
2. BETWEEN OCTOBER 15TH AND APRIL 15TH EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. HAY BALES, FILTER BERMS, SITE FENCES OR OTHER MEANS SHALL BE EMPLOYED TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING ANY WATER COURSE.
3. THE CONTRACTOR SHALL COMPLETE ALL WORK IN ACCORDANCE WITH THE CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICE HANDBOOKS LATEST EDITION, AND THE STORMWATER POLLUTION PREVENTION PLAN PREPARED FOR THE PROJECT TITLED "STORMWATER POLLUTION PREVENTION PLAN."
4. THE CONTRACTOR SHALL DESIGNATE ONE AREA (OR AREAS) OF THE CONSTRUCTION SITE WELL AWAY FROM ANY STREAMS, WETLAND RESTORATION AREA OR STORM BASIN INLETS FOR EQUIPMENT PARKING AND ROUTINE EQUIPMENT AND VEHICLE MAINTENANCE.
5. ALL VEHICLES AND HEAVY EQUIPMENT SHALL BE INSPECTED FREQUENTLY FOR LEAKS, CLEAN UP SPILLED DRAY MATERIALS IMMEDIATELY, NOT WASHING THEM OR BURYING THEM.
6. CLEAN UP LIQUID SPILLS ON PAVED AND IMPERVIOUS SURFACES USING "DRY" CLEAN UP METHODS. (I.E. ABSORBENT MATERIALS, RAGS)
7. CLEAN UP SPILLS ON DIRT AREAS BY REMOVING AND PROPERLY DISPOSING OF CONTAMINATED SOIL
8. REPORT SIGNIFICANT SPILLS TO THE APPROPRIATE SPILL RESPONSE AGENCY. SEE THE STORM WATER POLLUTION PLAN PREPARED FOR THE PROJECT.
9. WASH OUT CONCRETE MINER WITHIN DESIGNATED WASHOUT AREAS.
10. THE CONTRACTOR SHALL KEEP CONTAMINANTS FROM FRESH CONCRETE AND ASPHALT OUT OF STORM DRAINS AND STREAMS AND WETLAND AREAS BY SCHEDULING PAVING JOBS AFTER PERIODS OF DRY WEATHER, ALLOWING NEW PAVEMENT TO CURE BEFORE STORM WATER FLOWS ACROSS IT.
11. THE CONTRACTOR SHALL PROVIDE EQUIPMENT AND STAFFING FOR WATERING OF ALL EXPOSED OR DISTURBED SOIL SURFACES SUFFICIENT TO SUPPRESS DUST PLUMES, INCLUDING WEEKDAYS AND HOLIDAYS. AN APPROVED DUST PALLIATIVE OR SUPPRESSANT, ADDED TO WATER BEFORE APPLICATION, SHOULD BE UTILIZED. ALL TRUCKS HAULING EXPORT AND IMPORT MATERIALS SHALL BE PROVIDED WITH TARP COVER AT ALL TIMES. SPILLAGE OF HAUL MATERIALS AND MUD TRACKING ON THE HAUL ROUTES SHALL BE CONTROLLED AT ALL TIMES.
12. THE CONTRACTOR SHALL MINIMIZE EARTH MOVING OR OTHER DUST-PRODUCING ACTIVITIES DURING PERIODS OF HIGH WINDS.
13. SWEEP CONSTRUCTION AREA AND ADJACENT STREETS OF ALL MUD AND DEBRIS, SINCE THIS MATERIAL CAN BE PULVERIZED AND LATER SUSPENDED BY VEHICLE TRAFFIC.
14. THE CONTRACTOR SHALL PAINT THE CURB AT ALL EXISTING & NEW INLETS "NO DUMPING - DRAINS TO CREEK."
15. THE FACILITIES SHOWN HEREIN ARE DESIGNED TO CONTROL SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 THRU APRIL 15. AFTER GRADING HAS BEEN COMPLETED, MEASURES ARE TO BE OPERABLE PRIOR TO OCTOBER 1ST OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
16. ALL BMP DOCUMENTS APPROVED FOR THIS PROJECT SHALL BE KEPT ON FILE AT THE JOB SITE.
17. STRAW WATTLES FOR EROSION CONTROL SHALL BE RUN HORIZONTALLY ACROSS THE HILLSIDE AT 10' VERTICAL SPACING, AT THE TOE OF SLOPES, AND AT THE DOWNHILL EDGE OF DISTURBED SOIL OR GRADING ACTIVITIES. WATTLES OR OTHER MEASURES ARE REQUIRED TO CONTROL WATER FLOW DOWN THE DRIVEWAY.



No.	Date

Project Name and Address
SINGLE FAMILY HOUSE
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Portola Valley CA

Sheet Title
EROSION CONTROL PLAN

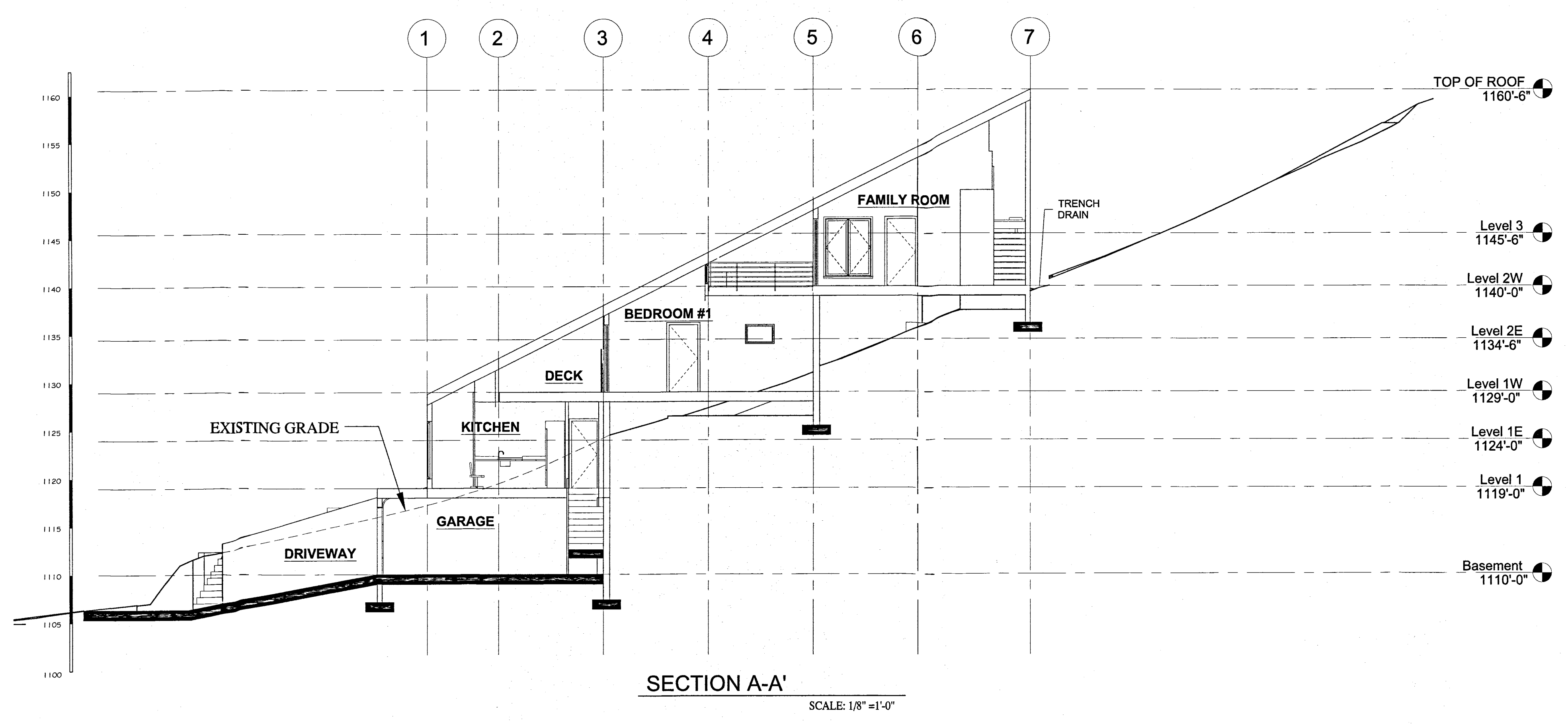
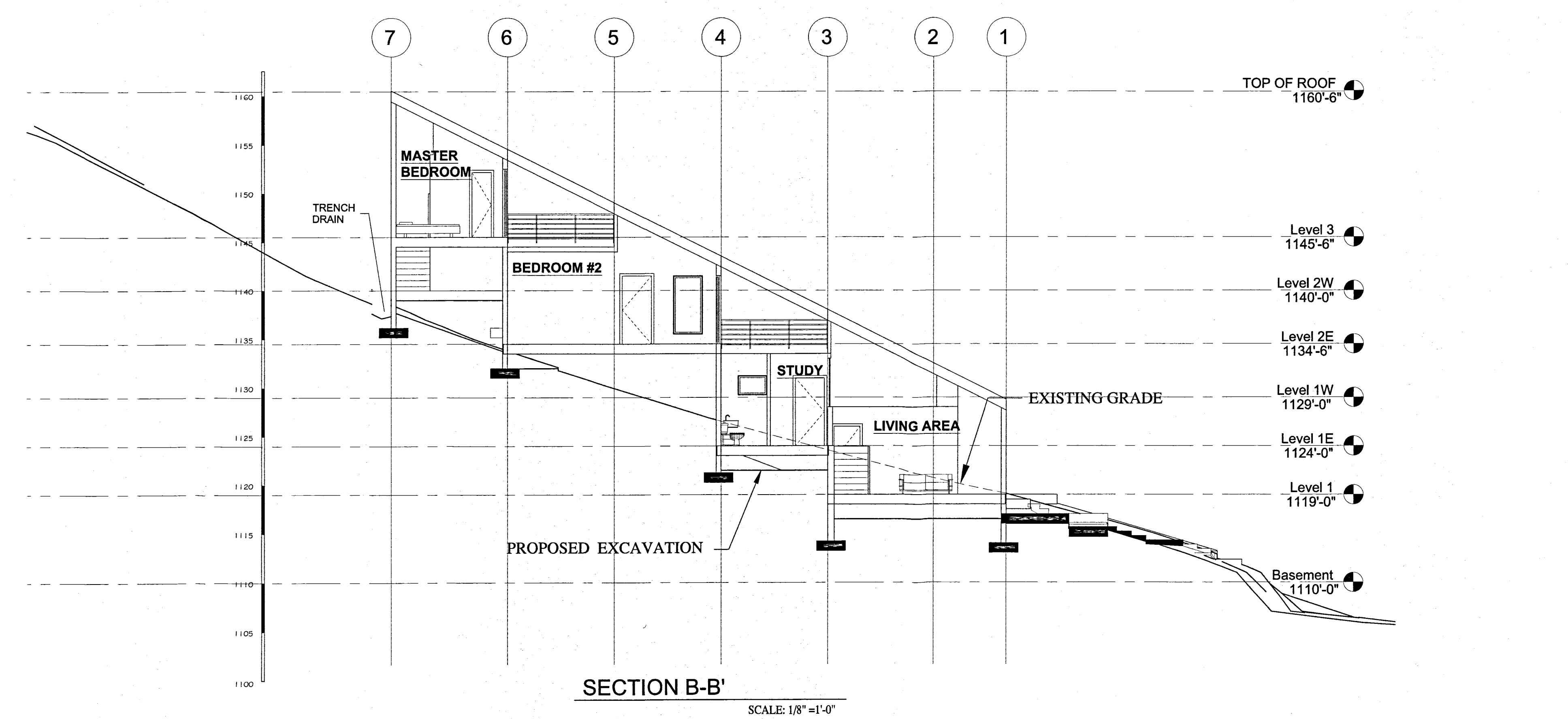
Project	GE2609	Sheet	
Date	12/13/2018		C3
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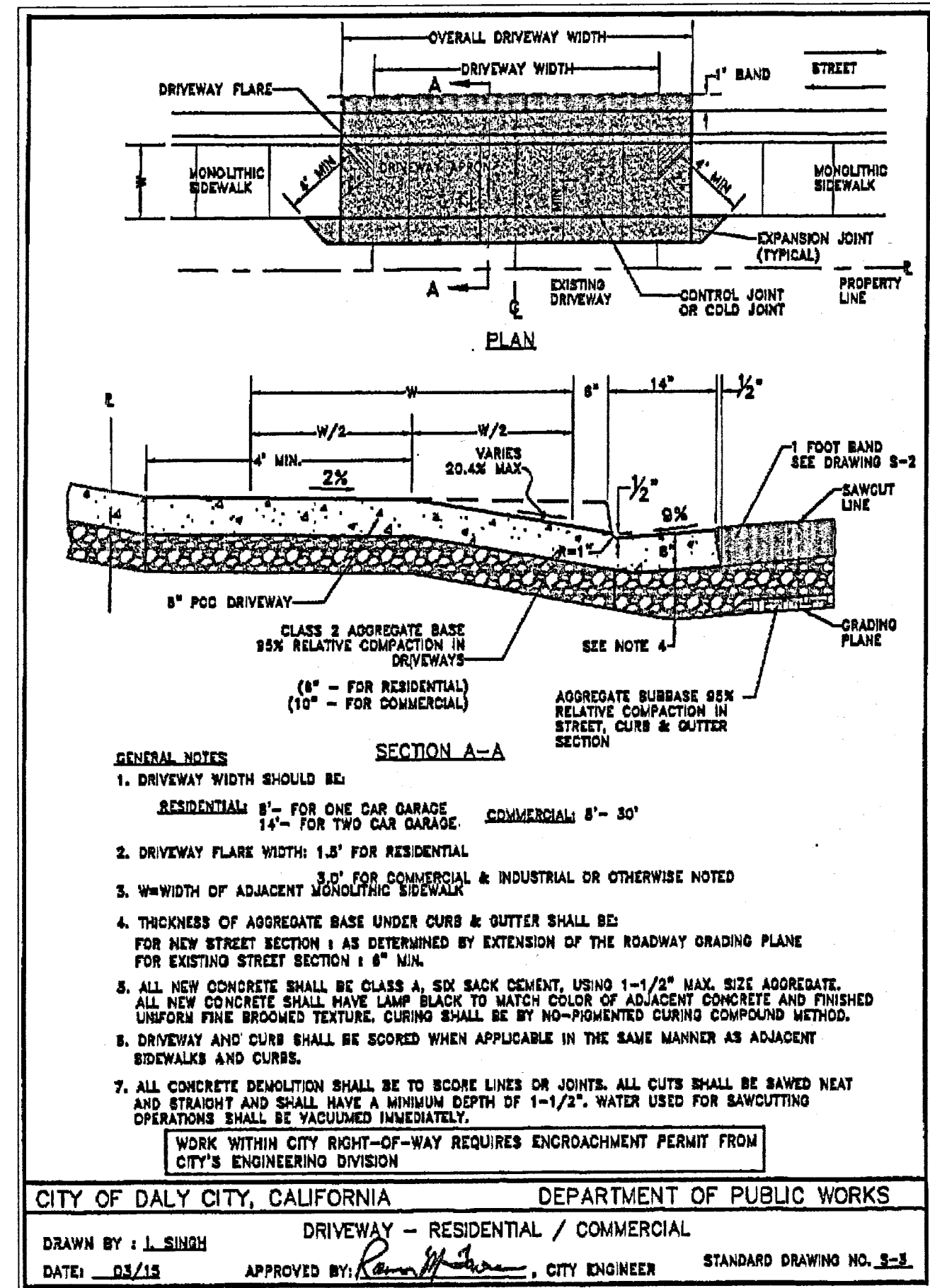
THE TEMPORARY SHORING IS DESIGNED BY EXCAVATION CONTRACTOR AND/OR SHORING SPECIALIST,
SEE GRADING NOTES 16 AND 17 ON SHEET C1

No.	Date

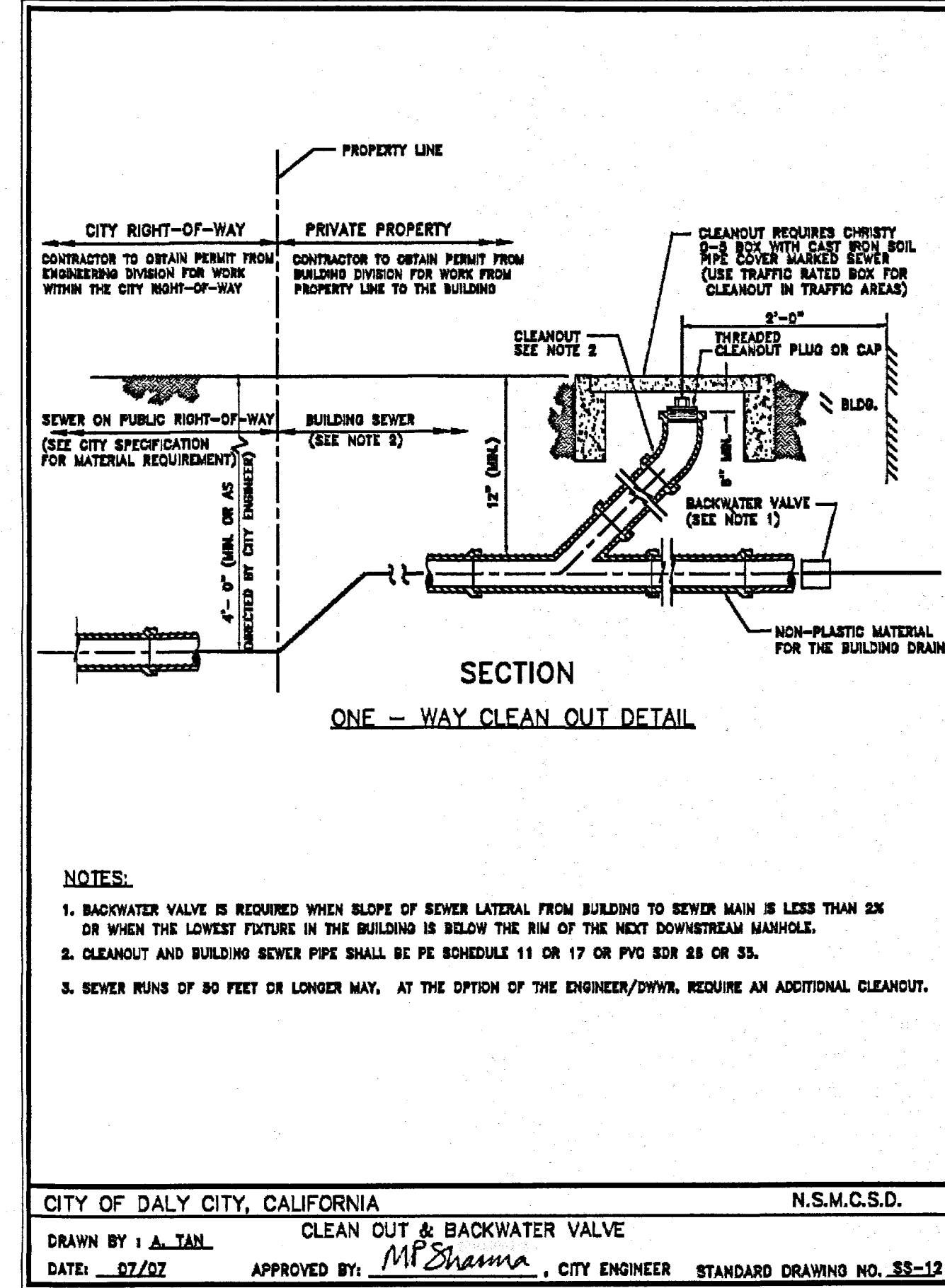
Project Name and Address
SINGLE FAMILY HOUSE
El Nido Road
Portola Valley CA

Sheet Title
SECTIONS

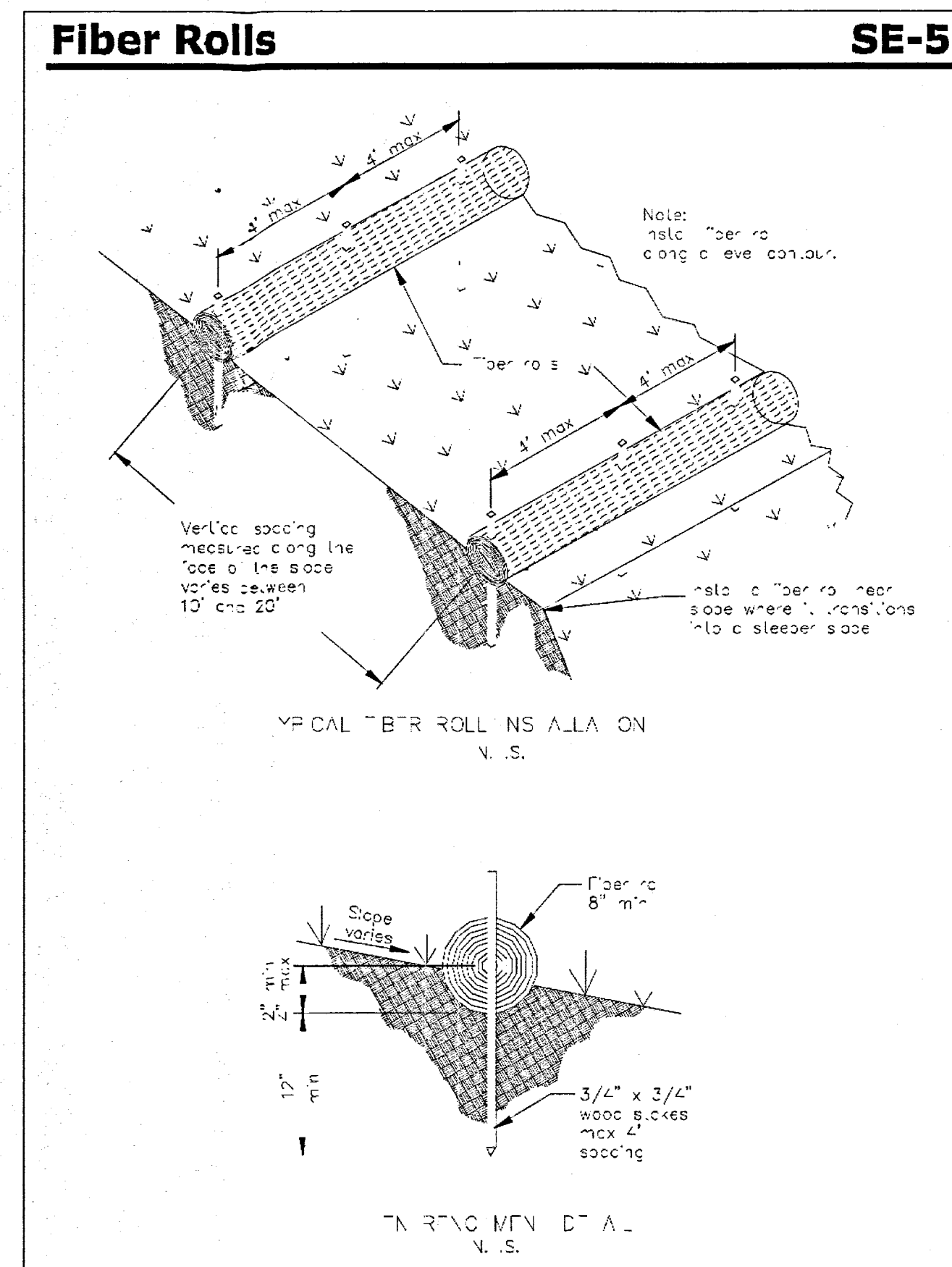
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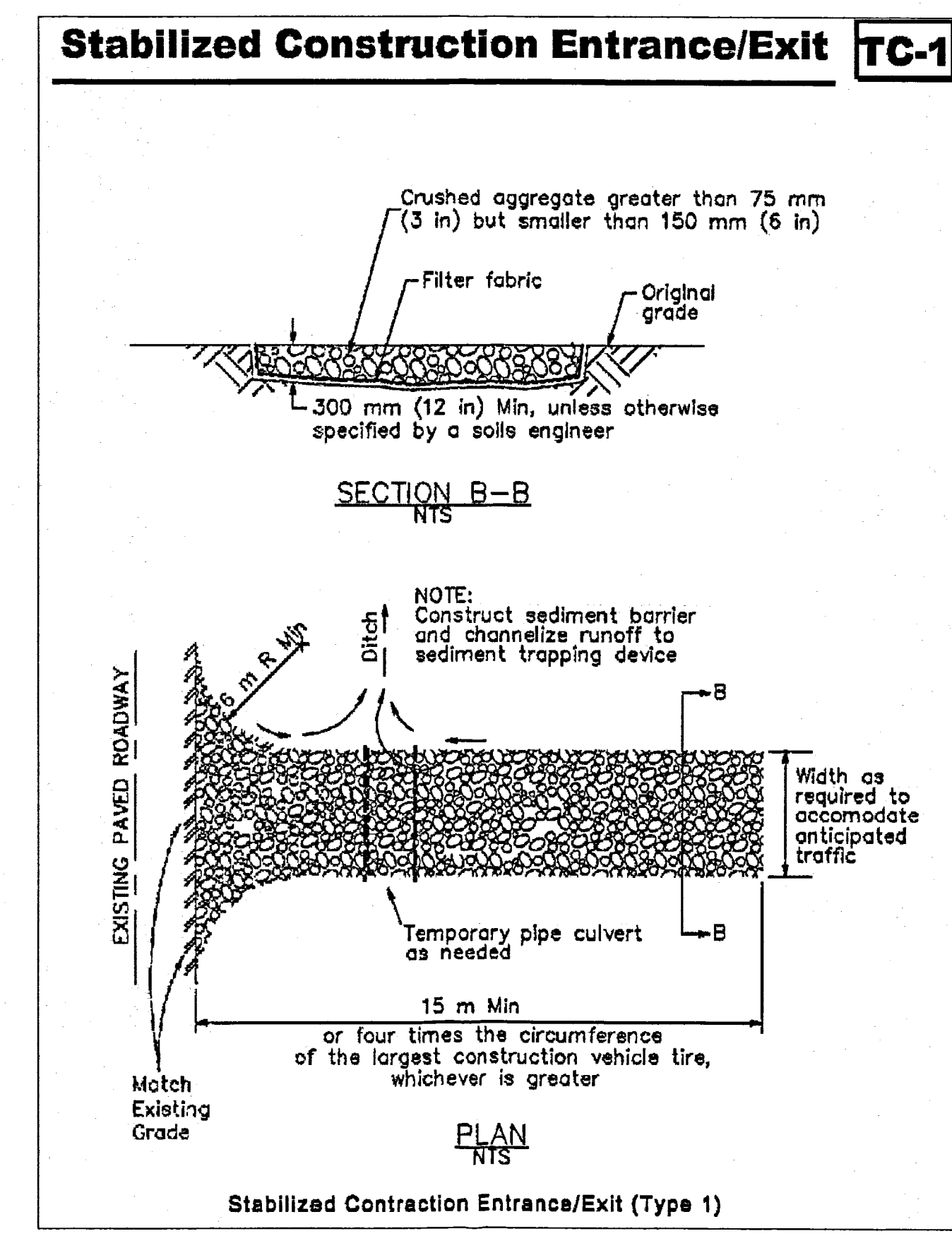
DRIVEWAY DETAIL 4



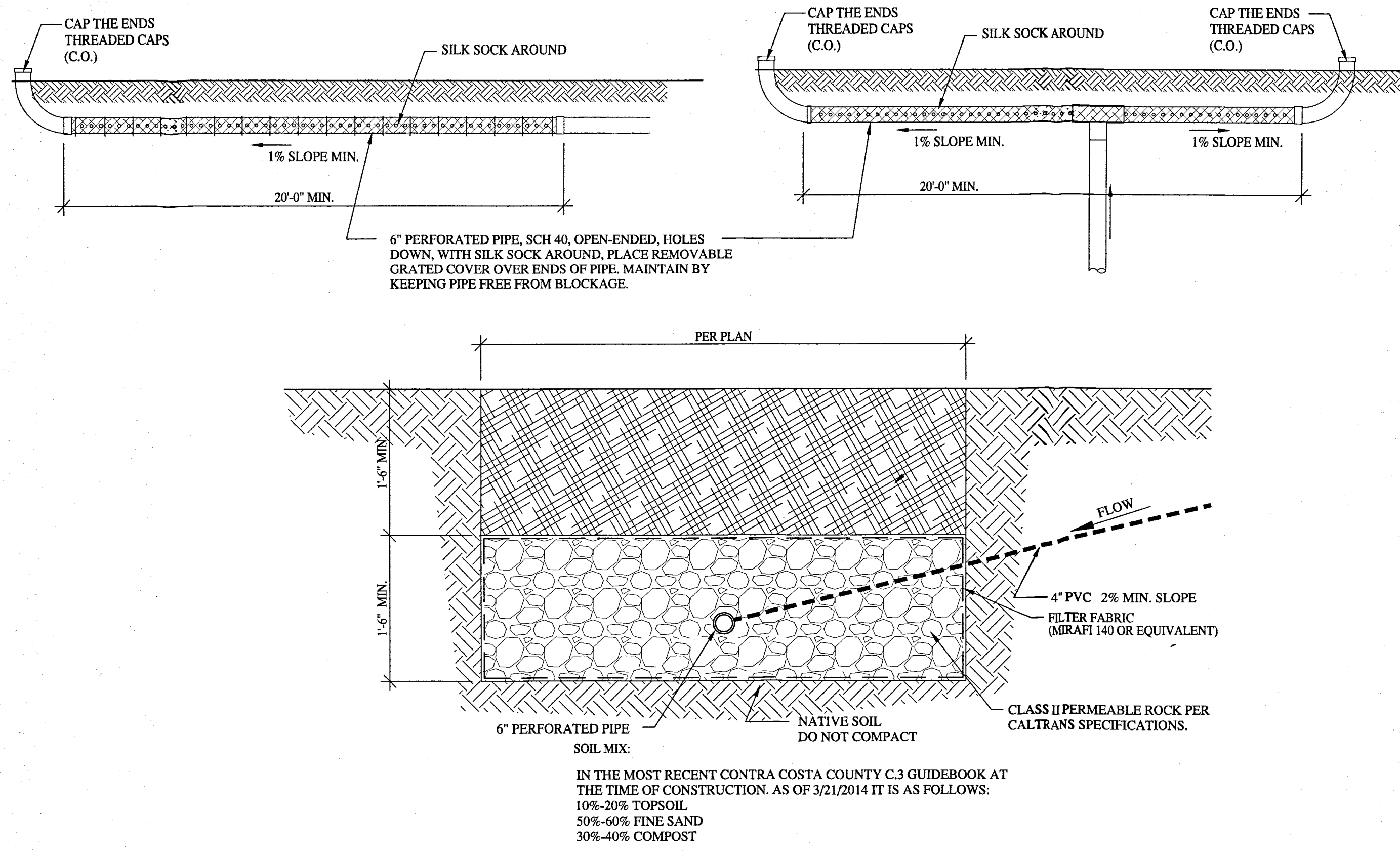
CLEAN OUT DETAIL 3



SEDIMENTATION ROLL DETAIL 2



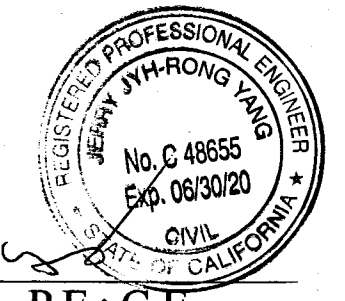
STABILIZED CONSTRUCTION ENTRANCE 1



ENERGY DISSIPATOR (WINTER GARDEN) DETAIL 5



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SINGLE FAMILY HOUSE
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DETAILS

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