



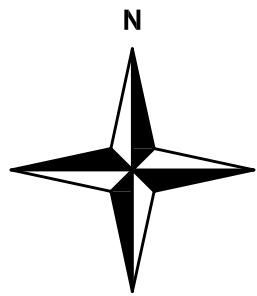
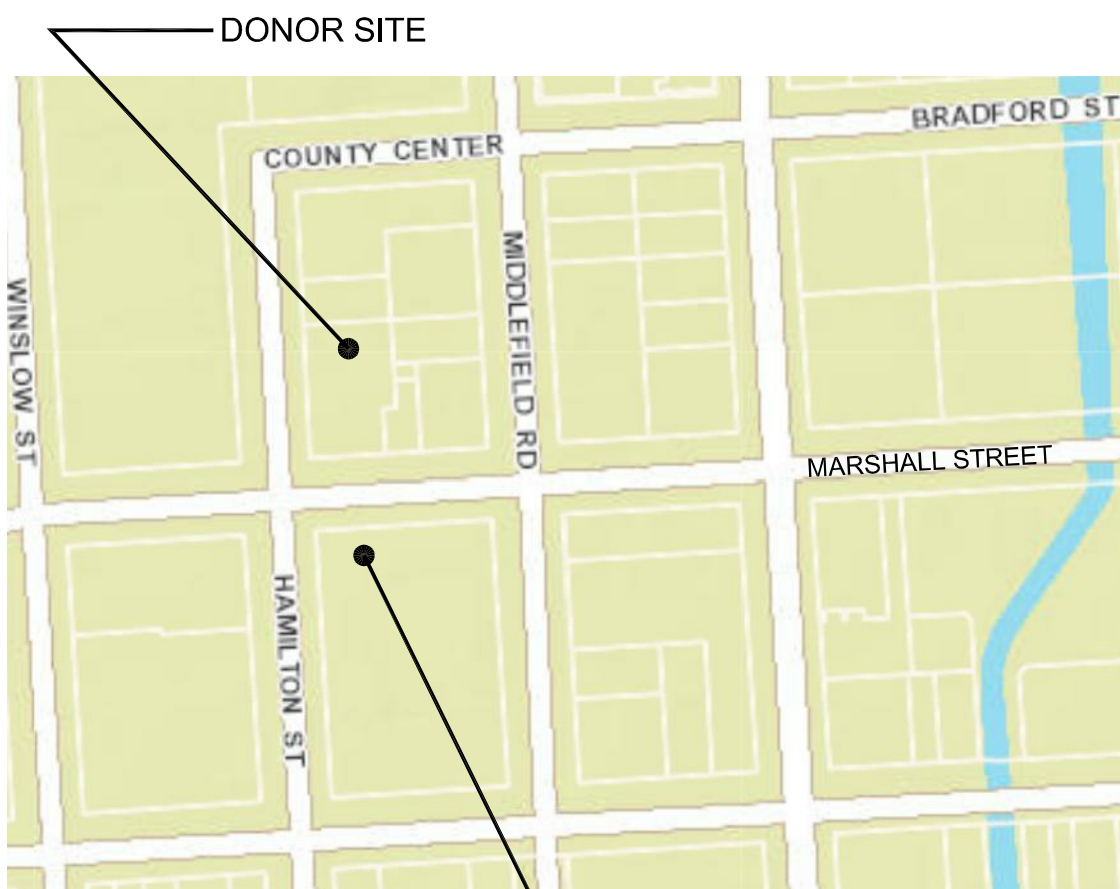
582 MARKET STREET
SUITE 1800
SAN FRANCISCO, CA 94104
T: 415.391.9633
F: 415.391.9647
www.garavaglia.com

LATHROP HOUSE
RELOCATION
REDWOOD CITY, CA 94063



LATHROP HOUSE

LOCATION MAP



CODE INFORMATION

BUILDING CODE: 2016 CALIFORNIA HISTORICAL BUILDING CODE
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA PLUMBING, MECHANICAL,
ELECTRICAL AND ENERGY EFFICIENCY
STANDARDS
2016 CALIFORNIA GREEN BUILDING STANDARDS
CODE
COUNTY OF SAN MATEO BUILDING REGULATIONS,
DIVISION, DIVISION VII, CHAPTER 5,
REGULATIONS ON MOVING & REMOVAL
OF BUILDINGS & STRUCTURES

PROJECT INFORMATION

ADDRESS: DONOR: 627 HAMILTON STREET
REDWOOD CITY, CA 94063
RECEIVER: 701 HAMILTON STREET,
SE CORNER OF INTERSECTION
W/ MARSHALL
REDWOOD CITY, CA 94063

GENERAL DESCRIPTION: THIS PROJECT IS A PRESERVATION EFFORT IN
PREPARATION FOR FUTURE DEVELOPMENT OF
THE DONOR SITE. THE PRIMARY SCOPE OF
WORK IS TO RELOCATE THE EXISTING
HISTORIC LATHROP HOUSE FROM ITS
CURRENT LOCATION TO ITS NEW LOCATION AT
THE NORTHWEST CORNER OF THE HISTORIC
COUNTY COURTHOUSE BLOCK.

APN: 052-344-140 (DONOR) / 052-367-010 (RECEIVER)

ZONING: P - DOWNTOWN PRECISE PLAN

OCCUPANCY: GROUP A-3 ASSEMBLY / B BUSINESS

CONSTRUCTION TYPE: TYPE V-B (NON-RATED)

AREA SUMMARY:
EXISTING BUILDING FOOTPRINT AREA: 1,808 SF
PROPOSED BUILDING FOOTPRINT AREA: 1,808 SF
GROSS FLOOR AREA (SF):
EXISTING
FIRST FLR. 1,808 SF
SECOND FLR. 1,585 SF
TOTAL 3,393 SF

OCCUPANT LOAD:
FIRST FLOOR
GROUP A-3 (EXHIBIT): 1,285 SF / 30 SF/PERSON NET = 43 PEOPLE
GROUP B (KITCHEN): 110 SF / 100 SF/PERSON = 2 PEOPLE
GROUP B (STORAGE): 50 SF / 300 SF/PERSON = 2 PEOPLE
SECOND FLOOR
GROUP A-3 (EXHIBIT): 1,064 SF / 30 SF/PERSON NET= 36 PEOPLE
GROUP B (OFFICES): 140 SF / 100 SF/PERSON = 2 PEOPLE
TOTAL: 85 PEOPLE

PROJECT DIRECTORY

OWNER: COUNTY OF SAN MATEO
PROJECT DEVELOPMENT UNIT
402 MAPLE STREET
REDWOOD CITY, CA 94063

ARCHITECT: MICHAEL GARAVAGLIA, AIA
GARAVAGLIA ARCHITECTURE, INC.
582 MARKET STREET, SUITE 1800
SAN FRANCISCO, CA 94104
CONTACT: AMBROSE WONG
TEL: 415-391-9633
FAX: 415-391-9647
EML: ambrose@garavaglia.com

CIVIL: BKF ENGINEERS
1646 N. CALIFORNIA BLVD., SUITE 400
WALNUT CREEK, CA 94596
CONTACT: MICHAEL STEELE
TEL: 925-940-2257
FAX: 925-940-2299
EML: msteele@bkf.com

STRUCTURAL: DUQUETTE ENGINEERING
4340 STEVENS CREEK BLVD., SUITE 200
SAN JOSE, CA 95129
CONTACT: STEVE DUQUETTE
TEL: 408-615-9200
FAX: 408-615-9900
EML: spd@duquette-eng.com

MEP: EDesignC, INC.
582 MARKET STREET, SUITE 400
SAN FRANCISCO, CA 94104
CONTACT: MARCUS TAM
TEL: (415) 963-4303
FAX: (415) 963-4341
EML: marcus@edesignc.com

LANDSCAPE: CALLANDER ASSOCIATES
1633 BAYSHORE BLVD. SUITE 133
BURLINGAME, CA 94010
CONTACT: BRIAN FLETCHER
TEL: 650-375-1313
FAX: 925-344-3290
EML: bfletcher@callanderassociates.com

COST ESTIMATOR: SAYLOR CONSULTING GROUP
71 STEVENSON STREET, SUITE 400
SAN FRANCISCO, CA 94105
CONTACT: JEFF SAYLOR
TEL: 415-399-9990
FAX: 415-354-8392
EML: jsaylor@saylorconsulting.com

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COVER SHEET

PROJ. NO. 2016 - 105
SCALE NO SCALE
DATE 8 JUNE 2017
PHASE SD
DRAWN LK
CHECKED

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20	OCT 2017	PERMIT SUBMITTAL
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A-0.00

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ARCHITECTURAL GENERAL NOTES

1.

THE CONTRACT FOR CONSTRUCTION SHALL BE THE A.I.A. DOCUMENT A107 - STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR FOR A PROJECT OF LIMITED SCOPE, 2007 ed. AND A.I.A. DOCUMENT A201 - GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, 2007 ed.
2.

THE ARCHITECT/OWNER SHALL SUBMIT DRAWINGS FOR PLAN CHECK. THE OWNER SHALL PAY FOR ALL PLAN CHECK FEES. THE CONTRACTOR SHALL PICK UP PERMITS.
3.

ALL WORK SHALL CONFORM TO THE 2016 CALIFORNIA HISTORICAL BUILDING CODE, THE 2016 CALIFORNIA BUILDING CODE AS WELL AS TO THE LATEST EDITIONS OF THE ELECTRICAL, PLUMBING, MECHANICAL, AND ANY OTHER APPLICABLE CODES. ALL WORK SHALL CONFORM TO THE SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION AS OUTLINED ON THIS SHEET.
4.

ALL WORK SHALL CONFORM TO ALL LOCAL CODES AND/OR ORDINANCES.
5.

ALL WORK SHALL BE COMPLETED SKILLFULLY AND IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS.
6.

EXCEPT WHERE CONTRACT DOCUMENTS INCLUDE MORE STRINGENT REQUIREMENTS, APPLICABLE INDUSTRY STANDARDS INCLUDING MANUFACTURER STANDARDS AND INSTALLATION INSTRUCTIONS HAVE THE SAME FORCE AND EFFECT AS IF BOUND OR COPIED INTO THE CONTRACT DOCUMENTS. SUCH STANDARDS ARE PART OF THE CONTRACT DOCUMENTS BY REFERENCE. WHERE COMPLIANCE WITH A STANDARD IS REQUIRED, COMPLY WITH THE STANDARD IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS.
7.

THE CONTRACTOR SHALL COORDINATE THE VARIOUS CONSTRUCTION ACTIVITIES TO ENSURE EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK. COORDINATE CONSTRUCTION OPERATIONS THAT ARE DEPENDENT UPON EACH OTHER FOR PROPER INSTALLATION, CONNECTION, AND OPERATION.
8.

CONTRACTOR SHALL COORDINATE WITH OWNER FOR OWNER PROVIDED MATERIALS.
9.

CONTRACTOR SHALL COORDINATE WITH OWNER FOR REQUIRED SCHEDULING & ORDERING INFORMATION. CONTRACTOR SHALL ASSIST IN DETERMINING QUANTITIES WHEN REQUIRED.
10.

CONTRACTOR SHALL PROVIDE OWNER W/ REQUESTED DELIVERY DATES FOR ALL P.B.O. PRODUCTS & KEEP OWNER ABREAST OF SCHEDULE REVISIONS. OWNER SHALL DETERMINE LEAD TIME FOR ALL PRODUCTS & HAVE PRODUCTS DELIVERED WHEN NEEDED BY CONTRACTOR
11.

CONTRACTOR SHALL INFORM THE ARCHITECT OF SCHEDULE REVISIONS.
12.

CONTRACTOR SHALL INFORM THE ARCHITECT ON THE PROGRESS OF THE WORK ON A WEEKLY BASIS OR MORE FREQUENTLY AS CONDITIONS WARRANT.
13.

CONTRACTOR SHALL SCHEDULE MEETINGS WITH THE ARCHITECT ON A TIMELY BASIS AND TO ALLOW FOR TIME REQUIRED TO PROVIDE APPROPRIATE RESPONSE TO ANY QUESTIONS OR SITE CONDITIONS.
14.

CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING AND FOR ANOTHER MEETING AFTER DETERMINING THE PROJECT DIMENSIONAL LAYOUT FOR THE REVIEW BY THE ARCHITECT AND OWNER.
15.

CONTRACTOR SHALL ALLOW TWO WEEKS FOR REVIEW BY THE ARCHITECT OF SUBMITTALS, SHOP DRAWINGS, SUBSTITUTIONS, AND RFIS BY THE ARCHITECT. CONTRACTOR SHALL REVIEW ALL SUBMITTALS BEFORE ISSUING THEM TO THE ARCHITECT FOR REVIEW.
16.

THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW OF CONFORMANCE WITH DESIGN INTENT.
17.

ALL CHANGE ORDERS SHALL BE IN WRITING AND SHALL BE SIGNED BY THE OWNER, ARCHITECT, AND CONTRACTOR. CHANGE ORDERS SHALL BE SIGNED PRIOR TO BEGINNING THE WORK OR ORDERING THE MATERIALS ADDRESSED IN THE CHANGE ORDER.
18.

CONTRACTOR SHALL SUBMIT ALL DESIGN CHANGES OR SUBSTITUTIONS TO THE ARCHITECT FOR APPROVAL. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CHANGES IN PLANS, DETAILS, OR SPECIFICATIONS UNLESS APPROVED IN WRITING AND IN ADVANCE BY THE ARCHITECT.
19.

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL MODIFICATIONS REQUESTED BY THE BUILDING DEPARTMENT, OR OFFICIAL HAVING JURISDICTION, AND OF ALL CHANGES REQUESTED BY THE INSPECTOR, OWNER, OR OTHERS. SUBSTITUTIONS WILL BE CONSIDERED, BUT DO NOT SUBSTITUTE DETAILS, EQUIPMENT, OR METHODS WITHOUT SPECIFIC WRITTEN APPROVAL BY THE ARCHITECT.
20.

CONTRACTOR SHALL VERIFY WITH THE ARCHITECT CODE UPGRADE WORK NOT REQUIRED BY BUILDING INSPECTORS. IF THE CONTRACTOR BELIEVES CODE WORK IS NECESSARY, AND IT HAS NOT BEEN REQUIRED BY BUILDING INSPECTOR, THE ARCHITECT SHALL DETERMINE, WITH OWNER'S CONSENT, WHETHER WORK SHALL BE UNDERTAKEN.
21.

REMODELING OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, BECAUSE SOME OF THE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT DESTROYING ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING, THE CONTRACTOR SHALL VERIFY ALL QUESTIONS, CONDITIONS AND PROCEDURES WITH THE ARCHITECT PRIOR TO COMMENCING EACH PORTION OF THE WORK.
22.

THE CONTRACTOR SHALL CONFIRM ALL EXISTING DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO BEGINNING WORK. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS MUST BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK. THE CONTRACTOR SHALL RESOLVE ANY DISCREPANCY PRIOR TO PROCEEDING WITH WORK.
23.

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. DIMENSIONS ARE TO THE FACE OF FINISH, UNLESS OTHERWISE NOTED.
24.

WHERE CONSTRUCTION ABUTS ADJACENT PROPERTY OR AN EXISTING STRUCTURE, THE CONTRACTOR SHALL VERIFY, PRIOR TO THE START OF WORK, IF ANY CONDITIONS WILL AFFECT WORK PROGRESS OR CONFORMANCE TO THESE DOCUMENTS.
25.

THE REMOVAL OR ALTERING IN ANY WAY OF EXISTING WORK SHALL BE CARRIED ON IN SUCH A MANNER AS TO PREVENT INJURY OR DAMAGE TO ANY PORTION(S) OF THE EXISTING WORK, WHICH REMAIN(S).
26.

CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INCURRED AS A RESULT OF THE WORK. ANY DAMAGE SHALL BE REPAIRED AT NO ADDITIONAL COST TO OWNER.
27.

EXECUTE WORK TO ENSURE THE SAFETY OF PERSONS AND ADJACENT PROPERTY FROM DAMAGE CAUSED BY CONSTRUCTION OPERATIONS IN CONNECTION WITH THIS WORK. WHERE EXISTING CONSTRUCTION IS CUT, DAMAGED, OR REMODELED, PATCH OR REPLACE WITH MATERIALS TO MATCH IN KIND, QUALITY, AND PERFORMANCE WITH ADJACENT MATERIALS.
28.

DO NOT NOTCH, BORE, OR CUT MEMBERS FOR PIPES, DUCTS, OR OTHER REASONS WITHOUT THE SPECIFIC, ADVANCE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
29.

THE CONTRACTOR IS RESPONSIBLE FOR CAPPING OFF ANY UTILITY LINES DISTURBED DURING THE DEMOLITION AND CONSTRUCTION PROCESS THAT COULD BE A SAFETY HAZARD OR CAUSE DAMAGE TO THE BUILDING.
30.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEMPORARY SUPPORTS, BARRICADES, AND SHORING AS REQUIRED FOR RELOCATION OF THE HOUSE. CONTRACTOR SHALL SUBMIT SHORING AND MOVE PLAN FOR APPROVAL PRIOR TO BEGINNING RELOCATION..
31.

UNLESS OTHERWISE INDICATED, ALL NEW WORK SHALL MATCH EXISTING MATERIALS, DETAILS, TRIM, ETC. TO THE FULLEST EXTENT POSSIBLE. PROVIDE PRODUCTS OF THE SAME KIND AND FROM A SINGLE SOURCE.
32.

PRIOR TO ORDERING OR FABRICATING MATERIAL, EQUIPMENT, OR PRODUCTS, THE CONTRACTOR SHALL DETERMINE THAT THE SIZE AND PRODUCTS INDICATED MEET THE INTENT OF THE CONTRACT DOCUMENTS.
33.

THE CONTRACTOR SHALL INSPECT MATERIALS AND EQUIPMENT IMMEDIATELY UPON DELIVERY AND AGAIN PRIOR TO INSTALLATION. CONTRACTOR SHALL REJECT DAMAGED AND DEFECTIVE ITEMS.
34.

CONTRACTOR SHALL INSTALL ALL EQUIPMENT, FIXTURES AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS. FOLLOW MANUFACTURER'S INSTRUCTIONS CAREFULLY. MANUFACTURER'S INSTRUCTIONS AND GUARANTEES SHALL BE GIVEN TO THE OWNER AT THE END OF THE JOB.
35.

THE CONTRACTOR SHALL FLASH AND COUNTERFLASH TO S.M.A.C.N.A. STANDARDS, INDUSTRY STANDARDS, AND MANUFACTURER'S SPECIFICATIONS WHEREVER NECESSARY TO PROVIDE A WATERPROOF AND WEATHERPROOF CONSTRUCTION PROJECT.
36.

IF OPENED IN COURSE OF WORK PROVIDE AND INSTALL NEW FIBERGLASS BATT INSULATION AS FOLLOWS, U.O.N.:
R-13 AT (N) EXTERIOR WALLS OR WALLS ADJACENT TO UNCONDITIONED SPACES
R-19 AT (E) AND (N) FLOORS,
R-19 AT (E) AND (N) ATTICS
R-19 AT (N) CEILINGS/FLOORS
37.

WHERE GLASS IS BEING REPLACED IN (E) HISTORIC WINDOWS OR DOORS, PROVIDE AND INSTALL REPLACEMENT GLASS IN KIND. PROVIDE AND INSTALL TEMPERED GLAZING IN (N) NON-HISTORIC OPENINGS WHERE REQUIRED BY CODE.
38.

CONTRACTOR SHALL INSPECT AND APPROVE PLYWOOD SUBSTRATE AND BUILDING PAPER FOR PROPER INSTALLATION. ADEQUATE PREPARATION OF THE SUBSTRATE IS IMPERATIVE FOR PROPER BONDING OF THE PAINT. PREPARE EACH SUBSTRATE AS RECOMMENDED BY THE MANUFACTURER. CLEAN ALL SURFACES THROUGHOUT. REMOVE ANY PAINT WHERE BONDING FAILURE IS EVIDENT & ROUGHEN ANY SURFACES AS REQUIRED FOR ADHESION OF (N) PAINT.
39.

NOT USED.
40.

ALL EXTERIOR EXPOSED WOOD TO BE APPROVED, NATURALLY WEATHER AND PEST RESISTANT, OR PRESSURE TREATED. ALL CUTS SHALL BE TREATED W/ PRESERVATIVE COATING BEFORE INSTALLATION. ALL METAL CONNECTORS AND FASTENERS IN CONTACT WITH TREATED WOOD SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.

41.

ALL FINISHES SHALL BE PAINTED AS FOLLOWS:
EXTERIOR: THREE COAT
STAIN & SEAL WHERE INDICATED
INTERIOR: TWO COAT FOR LIGHT INTERIOR, THREE COAT FOR DARK INTERIOR
STAIN & SEAL WHERE INDICATED
COLORS TO BE SELECTED BY THE ARCHITECT & OWNER. FINAL ACCEPTANCE OF COLORS WILL BE FROM JOB-APPLIED SAMPLES. PROVIDE FULL COAT FINISH SAMPLES ON SURFACES WITH A MINIMUM SIZE OF 4 SF FOR APPROVAL BY THE ARCHITECT & OWNER.
42.

AS A MINIMUM, ALL INTERIOR WOOD TRIM SHALL BE PAINT GRADE, SOLID WOOD, (SPECIES TO BE DETERMINED) AND ALL EXTERIOR WOOD TRIM SHALL BE PAINT GRADE, WEATHER-RESISTANT WOOD.
43.

CONTRACTOR SHALL CONTACT ARCHITECT FOR DECISIONS REGARDING ALL MATERIALS PROVIDED BY CONTRACTOR WHICH REQUIRE COLOR OR FINISH SELECTIONS.
44.

NOT USED.
45.

NOT USED.
46.

THE CONTRACTOR SHALL KEEP THE JOB SITE CLEAN AND SAFE AT ALL TIMES, INCLUDING CLEANING MATERIALS, PROTECTING CONSTRUCTION IN PROGRESS AND ADJOINING MATERIALS IN PLACE. PROVIDE TEMPORARY, PROTECTIVE COVERINGS WHERE NECESSARY TO ENSURE PROTECTION FROM DAMAGE OR DETERIORATION.
47.

CONTRACTOR SHALL PERIODICALLY CLEAN AND MAINTAIN COMPLETED CONSTRUCTION ON A REGULAR BASIS. AT THE COMPLETION OF THE PROJECT, PROVIDE A FINAL CLEANING OF ALL SURFACES. POLISH ALL GLASS, BROOM SWEEP EXTERIOR SURFACES, AND VACUUM ALL INTERIOR FLOORS. CONTRACTOR SHALL LEAVE THE PREMISES CLEAN AND ORDERLY AND READY FOR OCCUPANCY.
48.

CONTRACTOR SHALL DISPOSE OF ALL DEBRIS AND WASTE OFF SITE IN A LEGAL MANNER ON A REGULAR BASIS TO PREVENT EXCESS ACCUMULATION ON SITE.
49.

CONTRACTOR IS TO INSPECT THE (E) BLDG FOR ANY ADDITIONAL PROBLEMS OR CONCERNS (STRUCTURAL, FINISH, MECHANICAL, ETC.) WHICH ARE NOT REFLECTED IN THE DRAWINGS & NOTATIONS. REPORT ANY FINDINGS TO THE ARCHITECT DURING BID PHASE AND BEFORE PROCEEDING WITH WORK.
50.

ELECTRICAL AND PLUMBING SYSTEMS SHALL BE "DESIGN/BUILD." PERFORMANCE SPECIFICATIONS SHALL BE REVIEWED BY THE ARCHITECT BEFORE COMMENCEMENT OF THE WORK.

SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION

1.

A PROPERTY WILL BE USED AS IT WAS HISTORICALLY OR BE GIVEN A NEW USE THAT REQUIRES MINIMAL CHANGE TO ITS DISTINCTIVE MATERIALS, FEATURES, SPACES, AND SPATIAL RELATIONSHIPS.
2.

THE HISTORIC CHARACTER OF A PROPERTY WILL BE RETAINED AND PRESERVED. THE REMOVAL OF DISTINCTIVE MATERIALS OR ALTERATION OF FEATURES, SPACES, AND SPATIAL RELATIONSHIPS THAT CHARACTERIZE A PROPERTY WILL BE AVOIDED.
3.

EACH PROPERTY WILL BE RECOGNIZED AS A PHYSICAL RECORD OF ITS TIME, PLACE, AND USE. CHANGES THAT CREATE A FALSE SENSE OF HISTORICAL DEVELOPMENT, SUCH AS ADDING CONJECTURAL FEATURES OF ELEMENTS FROM OTHER HISTORIC PROPERTIES, WILL NOT BE UNDERTAKEN.
4.

CHANGES TO A PROPERTY THAT HAVE ACQUIRED HISTORIC SIGNIFICANCE IN THEIR OWN RIGHT WILL BE RETAINED AND PRESERVED.
5.

DISTINCTIVE MATERIALS, FEATURES, FINISHES AND CONSTRUCTION TECHNIQUES OR EXAMPLES OF CRAFTSMANSHIP THAT CHARACTERIZE A PROPERTY WILL BE PRESERVED.
6.

DETERIORATED HISTORIC FEATURES WILL RE REPAIRED RATHER THAN REPLACED. WHERE THE SEVERITY OF DETERIORATION REQUIRES REPLACEMENT OF A DISTINCTIVE FEATURE, THE NEW FEATURE WILL MATCH THE OLD IN DESIGN, COLOR, TEXTURE, AND, WHERE POSSIBLE, MATERIALS. REPLACEMENT OF MISSING FEATURES WILL BE SUBSTANTIATED BY DOCUMENTARY AND PHYSICAL EVIDENCE.
7.

CHEMICAL OR PHYSICAL TREATMENTS, IF APPROPRIATE, WILL BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE. TREATMENTS THAT CAUSE DAMAGE TO HISTORIC MATERIALS WILL NOT BE USED.
8.

ARCHEOLOGICAL RESOURCES WILL BE PROTECTED AND PRESERVED IN PLACE. IF SUCH RESOURCES MUST BE DISTURBED, MITIGATION MEASURES WILL BE UNDERTAKEN.

ARCHITECTURAL ABBREVIATIONS

<	ANGLE	KIT.	KITCHEN
@	AT	LAM.	LAMINATE
Ⓢ	CENTERLINE	LAV.	LAVATORY
#	POUND OR NUMBER	L.P.	LOW POINT
(E)	EXISTING	M.O.	MASONRY OPENING
(N)	NEW	MAX.	MAXIMUM
A.F.F.	ABOVE FLOOR FINISH	MECH.	MECHANICAL
ACOUS.	ACOUSTICAL	MTL.	METAL
ADJ.	ADJUSTABLE	MIN.	MINIMUM
AGGR.	AGGREGATE	N.A.	NOT APPLICABLE
ALUM.	ALUMINUM	N.I.C.	NOT IN CONTRACT
APPROX.	APPROXIMATE	N.T.S.	NOT TO SCALE
ARCH.	ARCHITECTURAL	NO.	NUMBER
ASPH.	ASPHALT	O.C.	ON CENTER
BM.	BEAM	OPNG.	OPENING
BTWN.	BETWEEN	OPP.	OPPOSITE
BITUM.	BITUMINOUS	O.F.O.S.	OUTSIDE FACE OF STUD
BLKG.	BLOCKING	o/	OVER
BD.	BOARD	O.D.	OUTSIDE DIAMETER
BOT.	BOTTOM	OF.D.	OVERFLOW DRAIN
BLDG.	BUILDING	PTD.	PAINTED
CLG.	CEILING	PR.	PAIR
CEM.	CEMENT	PART.	PARTITION
CER.	CERAMIC	PERM.	PERMANENT
CLR.	CLEAR	PLAS.	PLASTER
CLO.	CLOSET	PL.	PLATE
COL.	COLUMN	PLUMB.	PLUMBING
CONC.	CONCRETE	PLYWD.	PLYWOOD
CONT.	CONTINUOUS	PT.	POINT
CORR.	CORRIDOR	PREFIN.	PREFINISHED
DTL.	DETAIL	P.T.D.F.	PRESSURE TREATED DOUGLAS FIR
DIA.	DIAMETER	P.B.O.	PROVIDED BY OWNER
DIM.	DIMENSION	R.	RADIUS
DR.	DOOR	R.W.L.	RAIN WATER LEADER
D.H.	DOUBLE HUNG	REF.	REFRIGERATOR
DN	DOWN	REINF.	REINFORCED
DWG.	DRAWING	REQ.	REQUIRED
EA.	EACH	R.D.	ROOF DRAIN
ELEC.	ELECTRICAL	RM.	ROOM
ELEV.	ELEVATION / ELEVATOR	R.O.	ROUGH OPENING
EQ.	EQUAL	S.S.D.	SEE STRUCTURAL DRAWINGS
E. J.	EXPANSION JOINT	SHT.	SHEET
EXT.	EXTERIOR	SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION
F. O. C.	FACE OF CONCRETE	SIM.	SIMILAR
F. O. F.	FACE OF FINISH	S.H.	SINGLE HUNG
F. O. S.	FACE OF STUD	S.C.	SOLID CORE
FIN.	FINISH	SPEC.	SPECIFICATION
F.E.	FIRE EXTINGUISHER	SQ.	SQUARE
FLR.	FLOOR	S.S.	STAINLESS STEEL
F. D.	FLOOR DRAIN	STOR.	STORAGE
FLUOR.	FLOOR FLUORESCENT	STRUCT.	STRUCTURAL
FT.	FOOT OR FEET	SUSP.	SUSPENDED
FTG.	FOOTING	SYM.	SYMBOL
F.A.U.	FORCED AIR UNIT	TEL.	TELEPHONE
FDN.	FOUNDATION	TOI.	TOILET
FURR.	FURRING	T.& G.	TONGUE AND GROOVE
GALV.	GALVANIZED	T.O.	TOP OF
GL.	GLASS	T.O.C.	TOP OF CURB
GYP.	GYPSUM	T.O.W.	TOP OF WALL
HT.	HEIGHT	TYP.	TYPICAL
H.P.	HIGH POINT	U.O.N.	UNLESS OTHERWISE NOTED
H.C.	HOLLOW CORE	VERT.	VERTICAL
H.B.	HOSE BIBB	VEST.	VESTIBULE
HR.	HOOR	W.	WITH
INSUL.	INSULATION	W/O	WITHOUT
INT.	INTERIOR	WD.	WOOD
I.D.	INSIDE DIAMETER		



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GENERAL NOTES

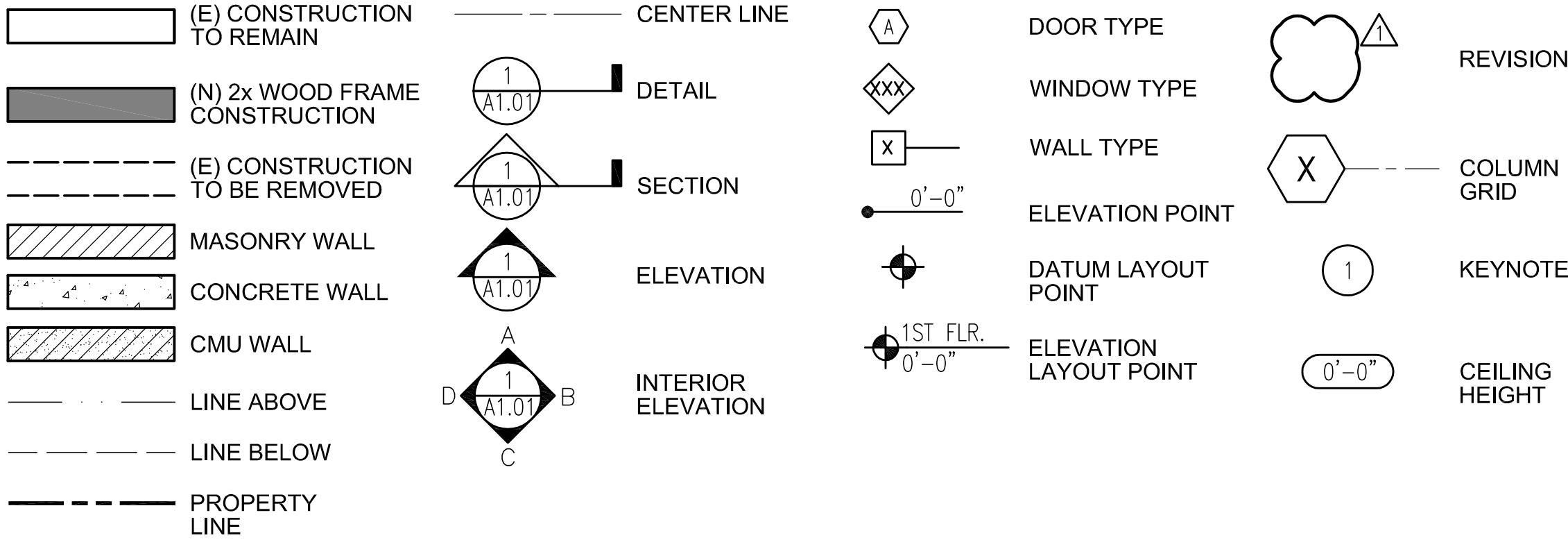
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SCALE NO SCALE
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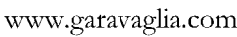
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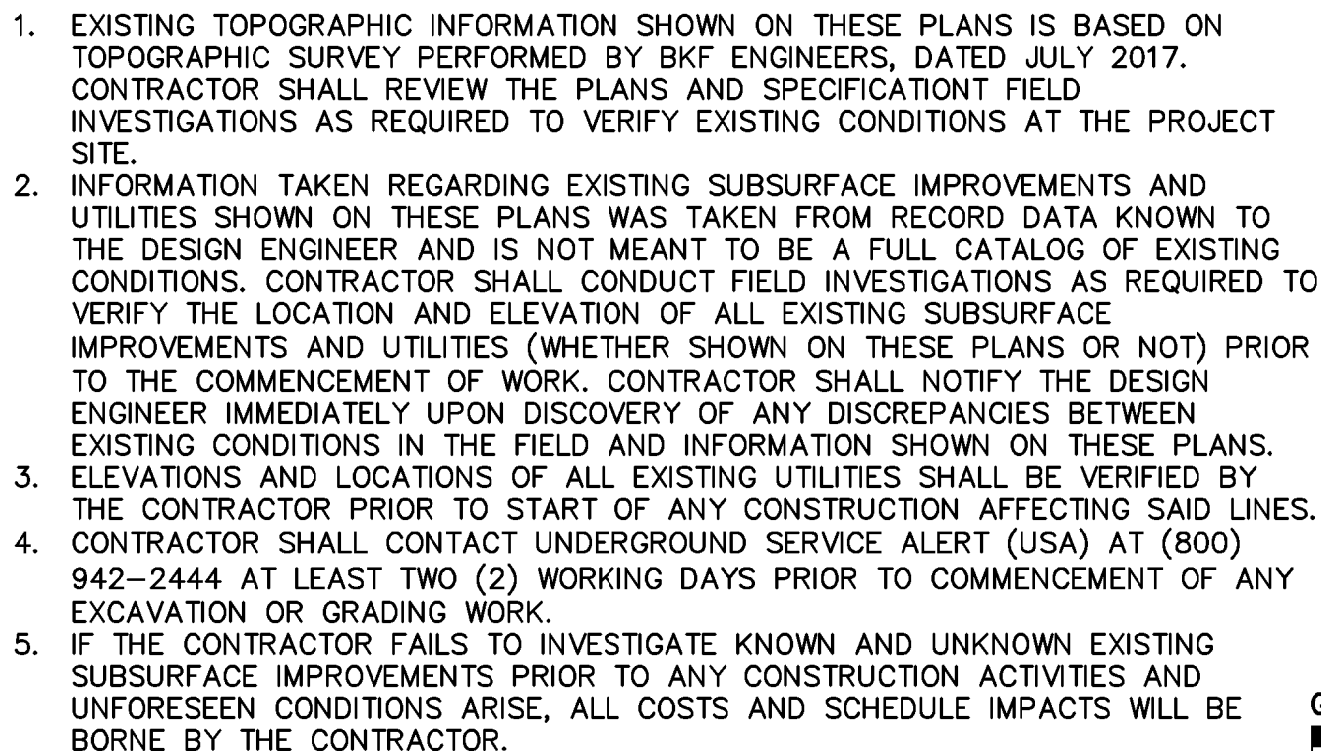


RELOCATION
REDWOOD CITY, CA 94063



NO.	DATE	REVISION
	20 NOV 2017	PERMIT SET

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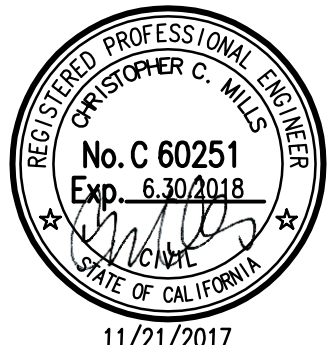
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LATHROP HOUSE

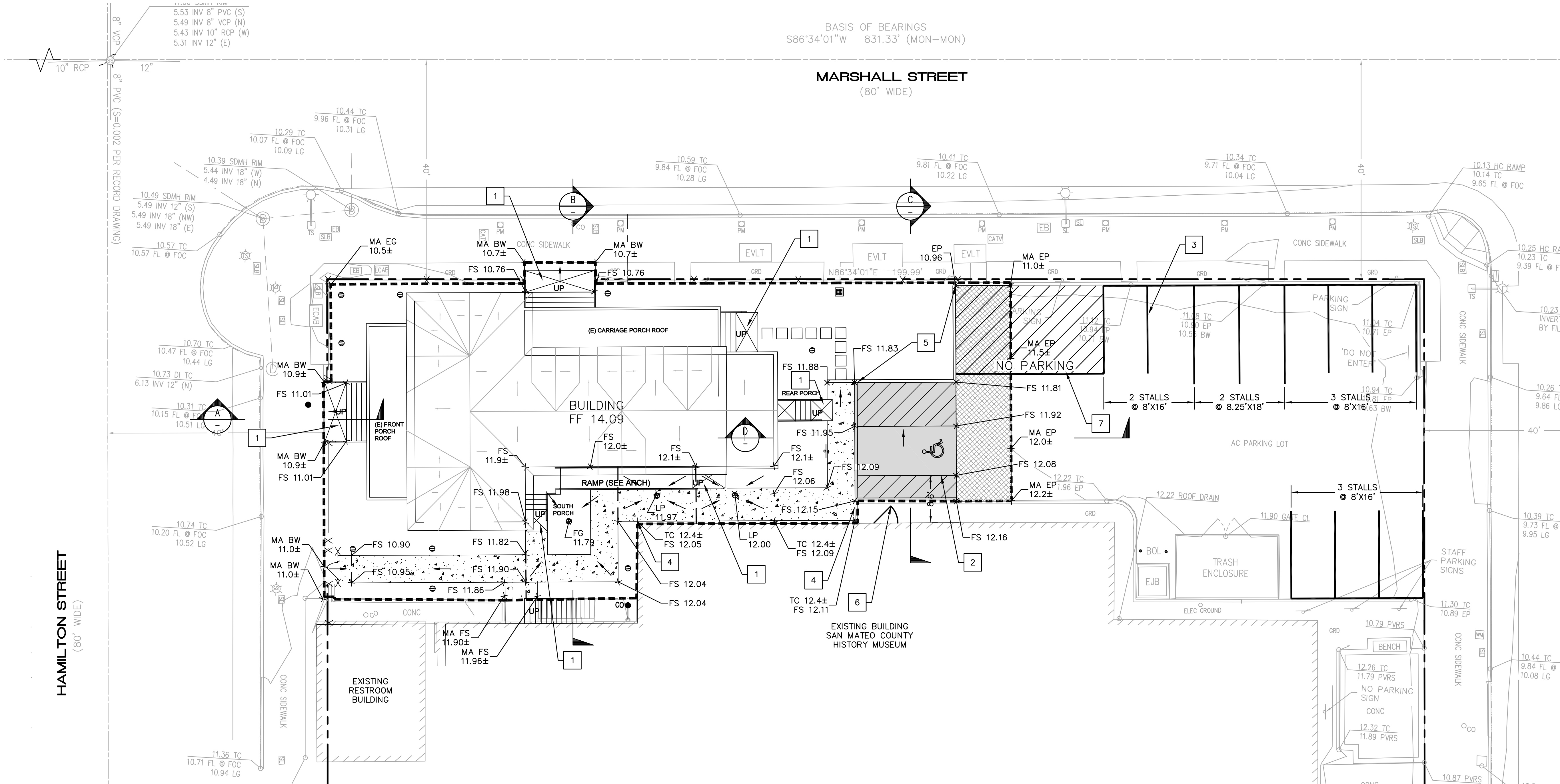
RELOCATION
REDWOOD CITY, CA 94063

BKF 100+
YEARS
ENGINEERS . SURVEYORS . PLANNERS



11/21/2017

GRADING PLAN



LEGEND

- STORM DRAIN AREA DRAIN
- PAVEMENT CONFORM
- REPLACE EXISTING AC SECTION IN KIND, MINIMUM 3" AC OVER 6.5" CLASS 2 AB
- WALKWAY - SEE LANDSCAPE DRAWINGS
- LANDSCAPING - SEE LANDSCAPE DRAWINGS
- GRADE BREAK

ABBREVIATIONS

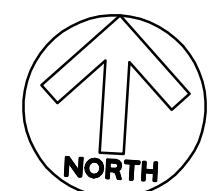
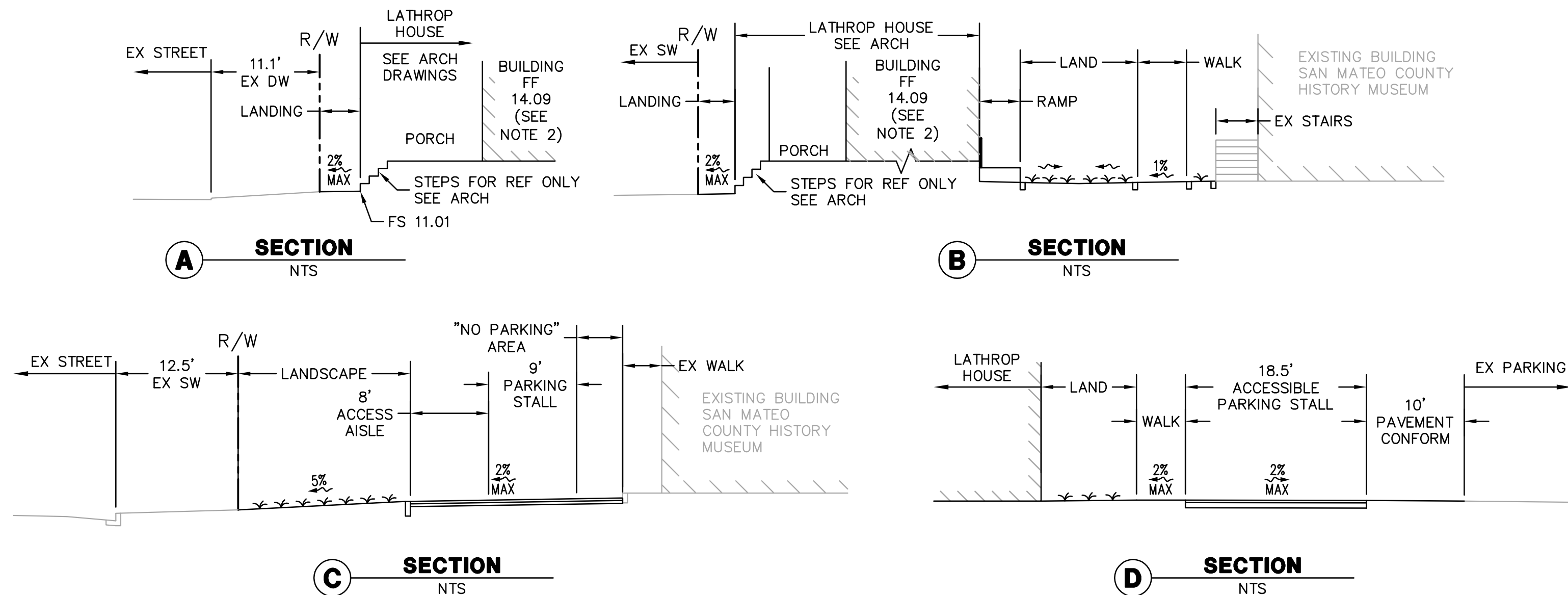
- BW BACK OF WALK
- DW DRIVEWAY
- EG EXISTING GRADE
- EX EDGE OF PAVEMENT
- FG FINISHED GRADE
- FS FINISHED SURFACE
- LA LANDSCAPE AREA
- LP LOW POINT
- MA MATCH
- R/W RIGHT OF WAY
- SSCO SANITARY SEWER CLEANOUT
- SW SIDEWALK
- TC TOP OF CURB

KEYNOTES

- LEVEL LANDINGS SHALL BE 2% MAX IN ANY DIRECTION. LANDINGS ARE PER ARCHITECTURAL DRAWINGS AND ARE SHOWN FOR REFERENCE.
- ACCESSIBLE PARKING: 2% MAXIMUM SLOPE IN ANY DIRECTION
- 4" WIDE WHITE STRIPING FOR PARKING
- VERTICAL CURB
- FLUSH CONCRETE PERIMETER CURB. BASE SHALL BE SET 4" BELOW ADJACENT PAVING SECTION
- IMPROVEMENTS SHALL NOT IMPACT CURB AND SIDEWALK FOR ACCESS TO THE DOOR. NOTIFY ENGINEER IF FIELD CONDITIONS VARY.
- 4" WHITE DIAGONAL STRIPES SPACED 3' APART WITH "NO PARKING" PAINTED WITH LETTERS NO LESS THAN 1" HIGH

NOTE

- BUILDING LAYOUT IS SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LOCATION INFORMATION AND LANDSCAPE DRAWINGS FOR SITE LAYOUT. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF THE FINAL LAYOUT CONFLICTS WITH PROPOSED.
- FINISHED FLOOR BASED ON ELEVATION DIFFERENCE OF 3.08' BETWEEN BOTTOM OF STEPS AT THE FRONT PORCH AND BUILDING FINISHED FLOOR.



GRAPHIC SCALE



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LATHROP HOUSE

RELOCATION
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11/21/2017
UTILITY PLAN

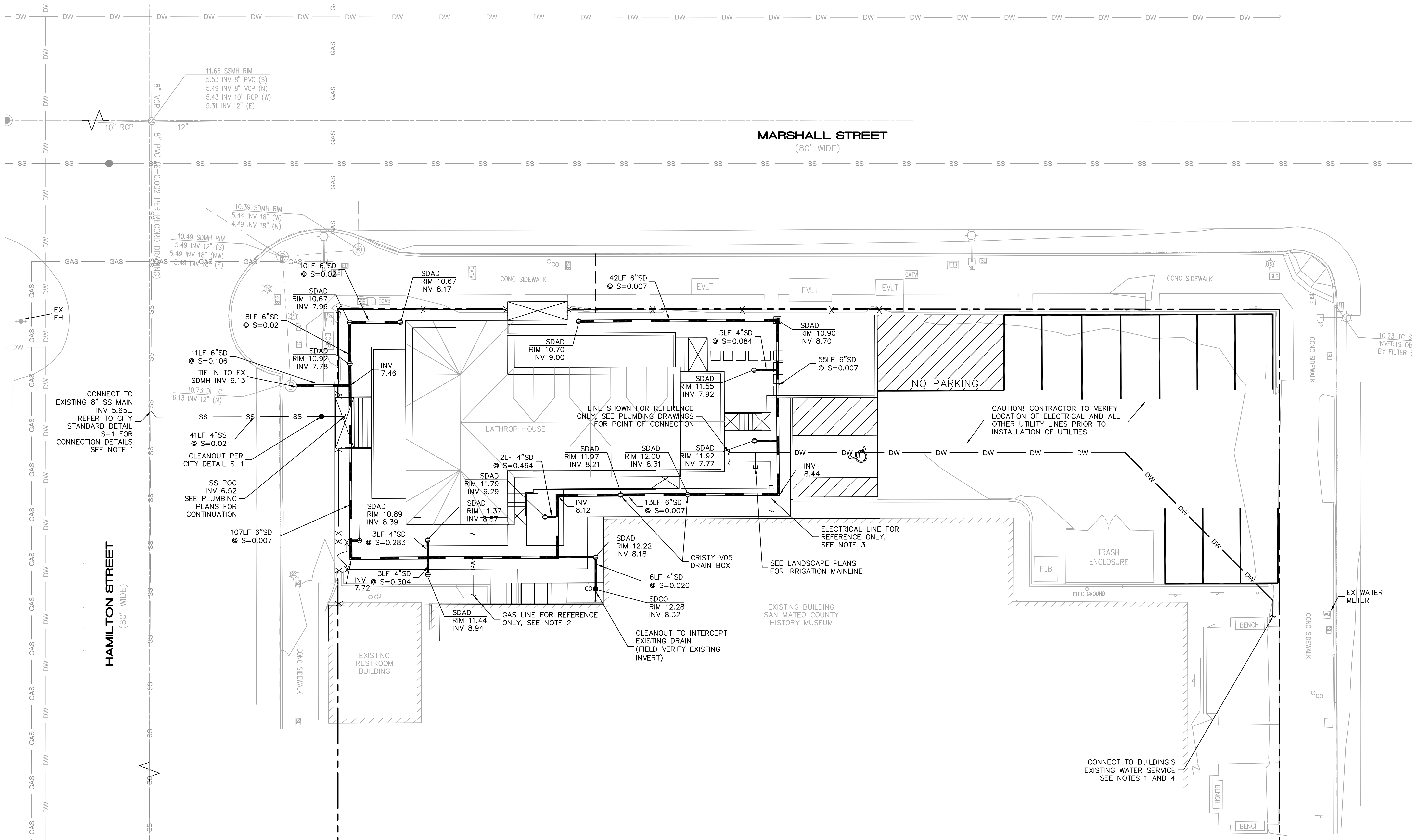
PROJ. NO. 2016 - 105
SCALE AS NOTED
DATE 10 JULY 2017
PHASE CD
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LEGEND

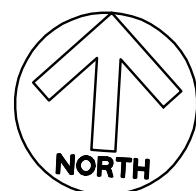
- STORM DRAIN LINE, SEE NOTE 5
- SS SANITARY SEWER LINE, SEE NOTE 5
- STORM DRAIN AREA, SEE NOTE 6
- 2" DOMESTIC WATER LINE, SEE NOTE 5
- GAS LINE (SHOWN FOR REFERENCE ONLY, SEE MEP DRAWINGS)
- ELECTRIC LINE (SHOWN FOR REFERENCE ONLY, SEE MEP DRAWINGS)

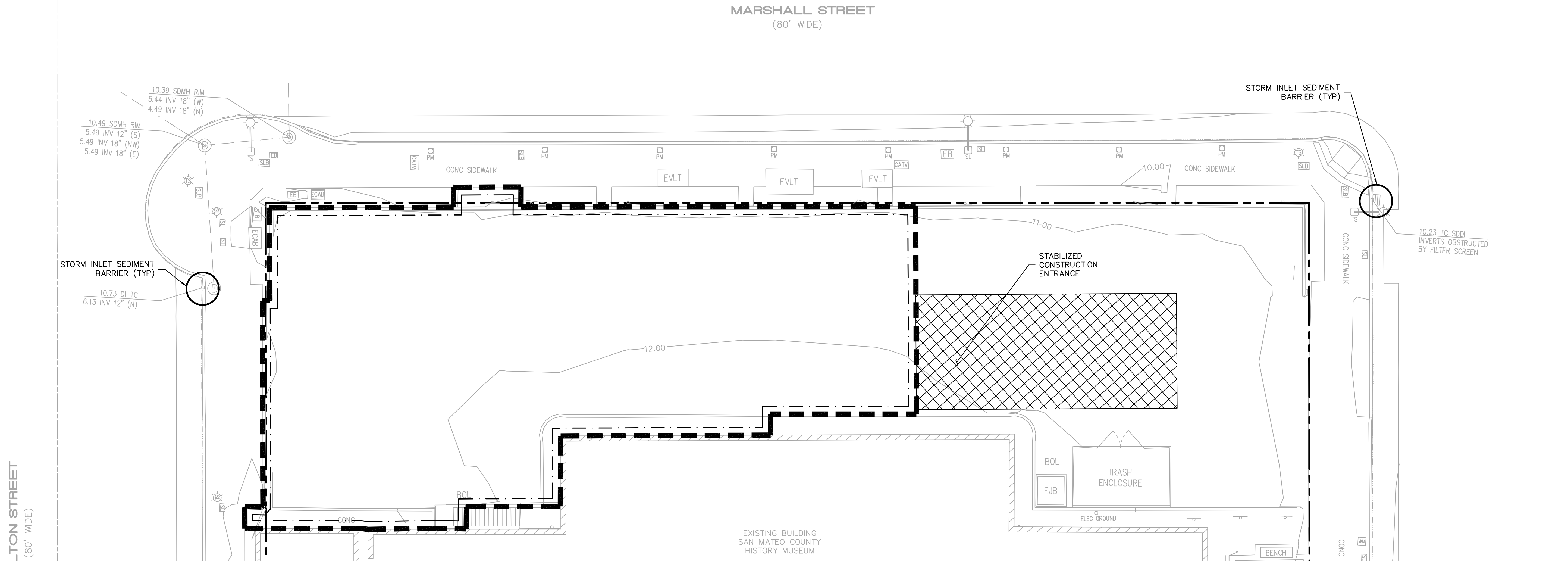
ABBREVIATIONS

- EX EXISTING
- INV INVERT
- LF LINEAR FEET
- SDAD STORM DRAIN AREA DRAIN
- SDMH STORM DRAIN MANHOLE
- SSCO SANITARY SEWER CLEANOUT

NOTES

- CONTRACTOR SHALL FIELD VERIFY LOCATION, DEPTH, AND SIZE OF EXISTING UTILITY AND CONFIRM WITH ENGINEER PRIOR TO CONSTRUCTION.
- GAS ROUTING IS SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL COORDINATE GAS TIE-IN LOCATION WITH PROJECT OWNER AND PROJECT PLUMBING ENGINEER.
- ELECTRICAL ROUTING IS SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL COORDINATE ELECTRICAL TIE-IN LOCATION WITH PROJECT OWNER AND PROJECT ELECTRICAL ENGINEER.
- CONTRACTOR SHALL CONFIRM LOCATION AND CONDITION OF EXISTING WATER SERVICE TO BUILDING PRIOR TO CONSTRUCTION.
- ALL STORM DRAIN PIPES TO BE PVC SDR 35. ALL SANITARY SEWER PIPES TO BE PVC SDR 26. DOMESTIC WATER PIPES TO BE PVC SDR 26.
- DRAINS ARE TO HAVE ATRIUM GRATES IN LANDSCAPED AREAS AND ADA COMPLIANT/HEEL-PROOF GRATES IN PAVED AREAS.





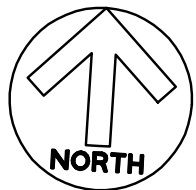
LEGEND

- LIMIT OF WORK
- FIBER ROLL
- STABILIZED CONSTRUCTION ENTRANCE
- STORM INLET SEDIMENT BARRIER

EROSION CONTROL NOTES

- TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE EROSION CONTROL PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES TO MEET "AS GRADED" CONDITIONS.
- ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AND PAVED AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR.
- ALL FILLS SHALL BE GRADED TO PROMOTE DRAINAGE AWAY FROM THE EDGES OF THE FILL.
- ALL UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS FROM THE BOTTOM TO THE TOP WITH A DOUBLE ROW OF SANDBAGS PRIOR TO BACKFILL. STORM AND SEWER TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF SANDBAGS EXTENDING UPWARD, TO WITHIN TWO SANDBAGS FROM THE GRADED SURFACE OF THE STREET. SANDBAGS ARE TO BE PLACED WITH THE ALTERNATE HEADER AND STRETCHER COURSES. THE INTERVALS PRESCRIBED BETWEEN SANDBAG BLOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT EXCEED THE FOLLOWING:

GRADE OF THE STREET	INTERVAL
LESS THAN 2%	AS REQUIRED
2% TO 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET
- AFTER SEWER AND UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDED SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTERLINE OF A CROWNED STREET.
- APPROVED EROSION PREVENTATIVE DEVICES SHALL BE PROVIDED AND MAINTAINED DURING THE RAINY SEASON OF OCTOBER 1 THROUGH MAY 31. SAID DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY.
- EROSION CONTROL DEVICES SHALL BE STOCKPILED IN PARKWAYS AT INTERVALS SHOWN ON THE EROSION CONTROL PLAN, READY TO BE PLACED IN POSITION WHEN RAIN IS FORECAST OR WHEN DIRECTED BY THE INSPECTOR.
- THE CONTRACTOR SHALL PROVIDE A "STANDBY EMERGENCY CREW" WHICH SHALL BE ALERTED BY THE CONSTRUCTION MANAGER, CITY OR CONTRACTOR TO PERFORM EMERGENCY WORK DURING RAINSTORMS.
- ALL CUT AND FILL SLOPES GREATER THAN 1 VERTICAL TO 3 HORIZONTAL SHALL BE COVERED WITH 10 MIL PLASTIC SHEETING HELD IN PLACE WITH SANDBAGS (UNLESS PLANTED OR HYDRO-SEEDED).
- ALL TRUCK TIRES SHALL BE CLEANED PRIOR TO EXITING THE PROPERTY. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- IF NO WORK HAS PROGRESSED FOR A PERIOD OF 6 WEEKS, FINAL DRAINAGE AND EROSION CONTROL IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH AN APPROVED WINTERIZATION PLAN.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR PREVENTING SEDIMENT FROM LEAVING THE SITE AND ENTERING THE DOWNSTREAM DRAINAGE SYSTEM. THIS PLAN MAY NOT COVER ALL SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. CONTRACTOR SHALL UPDATE PLANS TO REFLECT CHANGING SITE CONDITIONS AND MONITOR EROSION CONTROL EFFECTIVENESS. BASIN AND TRAP SIZES AND ELEVATIONS MAY BE ADJUSTED AS LONG AS THE MINIMUM AREA AND DEPTH FOR SEDIMENT SETTLING AND STORAGE ARE NOT REDUCED. ALL EXISTING TEMPORARY OR PERMANENT CATCH BASINS SHALL USE ONE OF THE SEDIMENT BARRIERS SHOWN.
- PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE OR RECYCLED FOR USE AS FILL.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- THE CONTRACTOR WILL BE LIABLE FOR ANY AND ALL DAMAGES TO PUBLICLY AND/OR PRIVATELY OWNED AND MAINTAINED ROADS CAUSED BY CONTRACTOR'S GRADING ACTIVITIES, AND WILL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SPILLED ON ANY PUBLIC ROAD ON THE HAUL ROUTE. ADJACENT PUBLIC ROADS SHALL BE CLEANED AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE CITY. CONTRACTOR SHOULD PROPERLY DOCUMENT EXISTING CONDITIONS OF PUBLIC AND PRIVATE STREETS SUBJECT TO SUCH DAMAGE.
- APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE PROVIDED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT.
- GRADING SCHEDULE SHALL BE SUBMITTED FOR APPROVAL TO THE CITY BY THE DATE INDICATED BY THE CITY ENGINEER.
- EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED AND COMPLETED PRIOR TO OCTOBER 1. RAINY SEASON IS BETWEEN OCTOBER 1 THROUGH MAY 31. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE OPERABLE YEAR ROUND.
- THE SURFACE OF ALL CUT SLOPES MORE THAN 4 FEET IN HEIGHT, AND FILL SLOPES MORE THAN 3 FEET IN HEIGHT, SHALL BE PROTECTED AGAINST EROSION BY PLANTING WITH GRASS OR GROUNDCOVER PLANTS.
- SEED MIX FOR REVEGETATION AND HYDROSEEDING SHALL BE NORTHERN CALIFORNIA COVER MIX BY ACBRIGHT OR EQUAL: 30% BLUE WILD RYE, 30% MEADOW BARLEY, 20% ZORRO FESCUE, 10% PURPLE NEEDLE GRASS, AND 10% CALIFORNIA NATIVE WILDFLOWERS APPLY AT 40 POUNDS PER ACRE MINIMUM. THE HYDROSEED MIX SHALL BE APPLIED IN ADVANCE TO ALLOW VEGETATION TO BE FULLY ESTABLISHED BY OCTOBER 1ST. PLANTED SLOPES SHALL BE WATERED AND MAINTAINED UNTIL A COVER SATISFACTORY TO THE CITY ENGINEER IS ESTABLISHED.
- STUBBED OUT ENDS OF PARTIALLY COMPLETED SUBDRAINS SHALL BE WRAPPED WITH AN APPROVED FABRIC TO PREVENT SOIL AND DEBRIS FROM ENTERING THE PIPE.
- BORROW AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES (FIBER ROLLS, ETC.) OR COVERED WITH VISQUEEN TO ENSURE SILT DOES NOT LEAVE THE SITE OR ENTER THE STORM DRAIN SYSTEM.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- VACUUM SAW-CUT SLURRY IMMEDIATELY AND REMOVE FROM SITE. DO NOT ALLOW SAW-CUT SLURRY TO ACCUMULATE ON SURROUNDING PAVEMENT OR ENTER THE STORM WATER CONVEYANCE SYSTEM.
- REMOVE ALL DIRT/MUD, GRAVEL, RUBBISH, REFUSE AND GREEN WASTE FROM THE SIDEWALK, STREET PAVEMENT, AND STORM DRAIN SYSTEM ADJOINING THE PROJECT SITE DAILY AND PRIOR TO RAIN. CLEAN UP LEAKS, DRIPS AND SPILLS IMMEDIATELY. DURING WET WEATHER, AVOID DRIVING VEHICLES OFF PAVED AREAS AND OTHER OUTDOOR WORK AREAS AND ONTO PAVED PUBLICLY ACCESSIBLE RIGHT-OF-WAY.
- SITE DE-WATERING OPERATIONS SHALL BE DESIGNED TO PREVENT THE DISCHARGE OF ANY SEDIMENT, DEBRIS OR OTHER POLLUTANTS TO THE MUNICIPAL STORM WATER CONVEYANCE SYSTEM.
- ALL SEDIMENT, EROSION AND OTHER POLLUTION PREVENTION CONTROLS SHALL BE IMPLEMENTED PRIOR TO START OF CONSTRUCTION, MAINTAINED DURING CONSTRUCTION TO PROVIDE ADEQUATE PROTECTION AND REMOVED AT THE END OF CONSTRUCTION.



LATHROP HOUSE
RELOCATION
REDWOOD CITY, CA 94063



EROSION CONTROL
PLAN

PROJ. NO. 2016 - 105

SCALE AS NOTED

DATE

PHASE CD

DRAWN JO

CHECKED MS

NO. DATE REVISION

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RELOCATION
REDWOOD CITY, CA 94063



1. BACKFILL MATERIAL WITHIN PAVEMENT AREAS TO CONFORM TO THE CITY OF REDWOOD CITY STANDARD DRAWINGS.
2. PLACE GEOTEXTILE FABRIC (MIRAFI 140N OR EQUIVALENT) AT THE BASE OF EXCAVATION IF COARSE-GRAINED SOIL IS EXPOSED.

NTS



1. PARKING STALLS MARKING SHALL COMPLY WITH CBC 2016 SECTION 11B-502.6.4.1
2. PAINT SYMBOL AND PERIMETER WITH (2) COATS OF TRAFFIC WHITE
3. PAINT SYMBOL BACKGROUND WITH (2) COATS OF TRAFFIC BLUE (COLOR #15090 IN FED. STD. 595B)



- ## NOTES

1. PARKING STALL SIGNAGE SHALL COMPLY WITH CBC 2016 SECTION 11B-502.6 & 11B-703
2. A PARKING SPACE IDENTIFICATION SIGN SHALL BE VISIBLE FROM EACH PARKING SPACE. SIGNS SHALL BE PERMANENTLY POSTED EITHER IMMEDIATELY ADJACENT TO THE PARKING SPACE OR WITHIN THE PROJECTED SPACE WIDTH AT THE HEAD END OF THE PARKING SPACE. SIGNS MAY ALSO BE PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE.



1. PLACE 1/4" EXPANSION JOINT MATERIAL AT 20' OC
2. EXTEND CURB 4" BELOW SUBGRADE.
3. REQUIRED CONCRETE MIX DESIGN IS 5 SACK, 3/4" AGGREGATE, 2500 PSI WITH 1 1/2 LB LAMPBLACK PER CU. YD.

PROJ. NO. 2016 - 105
SCALE AS NOTED
DATE 28 AUGUST 2017
PHASE CD
DRAWN JO
CHECKED MS

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SHEET NOTES

1.

PROPERTY LINES, EXISTING ADJACENT STRUCTURE LOCATION, SITE FEATURES, CONTOURS, PROPOSED ROADWAY & SPOT ELEVATIONS ARE BASED ON A SURVEY PREPARED BY BKF ENGINEERS, DATED 7 JULY 2017.
2.

SETBACKS PER REDWOOD CITY ZONING CODE, ARTICLE 52, "P" DISTRICT (DOWNTOWN PRECISE PLAN):
HAMILTON STREET (FRONT SETBACK):
0' MIN. / 0' MAX.
MARSHALL STREET (SIDE SETBACK):
0' MIN. / 10' MAX.
3.

DRAWING SHOWS PROPOSED "RECEIVER" SITE AT 701 HAMILTON ST. "DONOR" SITE IS APPROXIMATELY ONE HALF BLOCK AWAY, AT 627 HAMILTON ST.
4.

SEE CIVIL DWGS FOR GRADING AND DRAINAGE WORK.
5.

SEE CIVIL DWGS FOR UTILITY POINTS OF CONNECTION.
6.

SEE LANDSCAPE DWGS FOR PROPOSED (N) PLANTED AREAS, SIDEWALKS AND OTHER SITE FEATURES.
7.

DISCONNECT & CAP (E) UTILITIES @ DONOR SITE BEFORE MOVE.
8.

INSTALL CONSTRUCTION FENCING AROUND DONOR SITE FOLLOWING RELOCATION OF BLDG. USE DRIVEN-POLE CHAINLINK FENCING STARTING @ NW CORNER OF PARKING LOT, THEN ALONG BACK OF WALK TO SOUTH PROPERTY LINE, THEN EAST TO (E) CMU FENCE. A PAIR OF 6'-0" WIDE INSWING GATES TO ALIGN W/(E) CURB CUT.
9.

BUILDING SEPARATION NOTES:
- WHEN LATHROP HOUSE & COURT-HOUSE ANNEX ARE SEPARATED BY 10'-0" OR MORE, NO PROTECTION OF OPENINGS IS REQUIRED.
- SEPARATION DISTANCE IS 10'-6".
- LATHROP HOUSE OPENINGS FACING THE ANNEX ARE LESS THAN MAX. PERMITTED 25% OF EXTERIOR WALL.

KEY NOTES

- 1

RELOCATED (E) BUILDING.
- 2

(N) ACCESSIBLE PATH OF TRAVEL.
- 3

(N) ACCESSIBLE RAMP W/HANDRAILS.
- 4

(N) LEVEL LANDING AT TOP & BOTTOM OF STAIRS / RAMP.
- 5

(N) VAN-ACCESSIBLE PARKING SPACE SEE CIVIL DWGS. FOR DIMS & DETAILS
- 6

(N) FENCING ALONG INSIDE OF PROPERTY LINE
- 7

(N) GATE @ (N) FENCE
- 8

(N) LANDSCAPED AREA.
- 9

EDGE OF (N) PARKING AREA.
- 10

(E) EXIT STAIR FROM ADJACENT (E) BUILDING.
- 11

(N) EXTERIOR STAIRS W / HANDRAILS.
- 12

(E) PUBLIC TOILETS.
- 13

(E) ANNEX.
- 14

REMOVE (E) CURB WITHIN LIMIT OF WORK
- 15

(E) ELECTRICAL VAULT TO REMAIN.
- 16

APPROX. LIMIT OF WORK.
- 17

SEE A-2.01 FOR ENLARGED PLAN VIEW OF STAIR & RAMP TOP LANDINGS.
- 18

CHECK INTEGRITY OF FLASHING & ROOFING AFTER MOVE; PROVIDE DOCUMENTATION PRIOR TO REPAIR OF ANY DAMAGE.
- 19

REQ'D. FRONT SETBACK TO MATCH (E) FRONT SETBACK AT DONOR SITE.
- 20

REMOVE (E) CURB AT GATE.
- 21

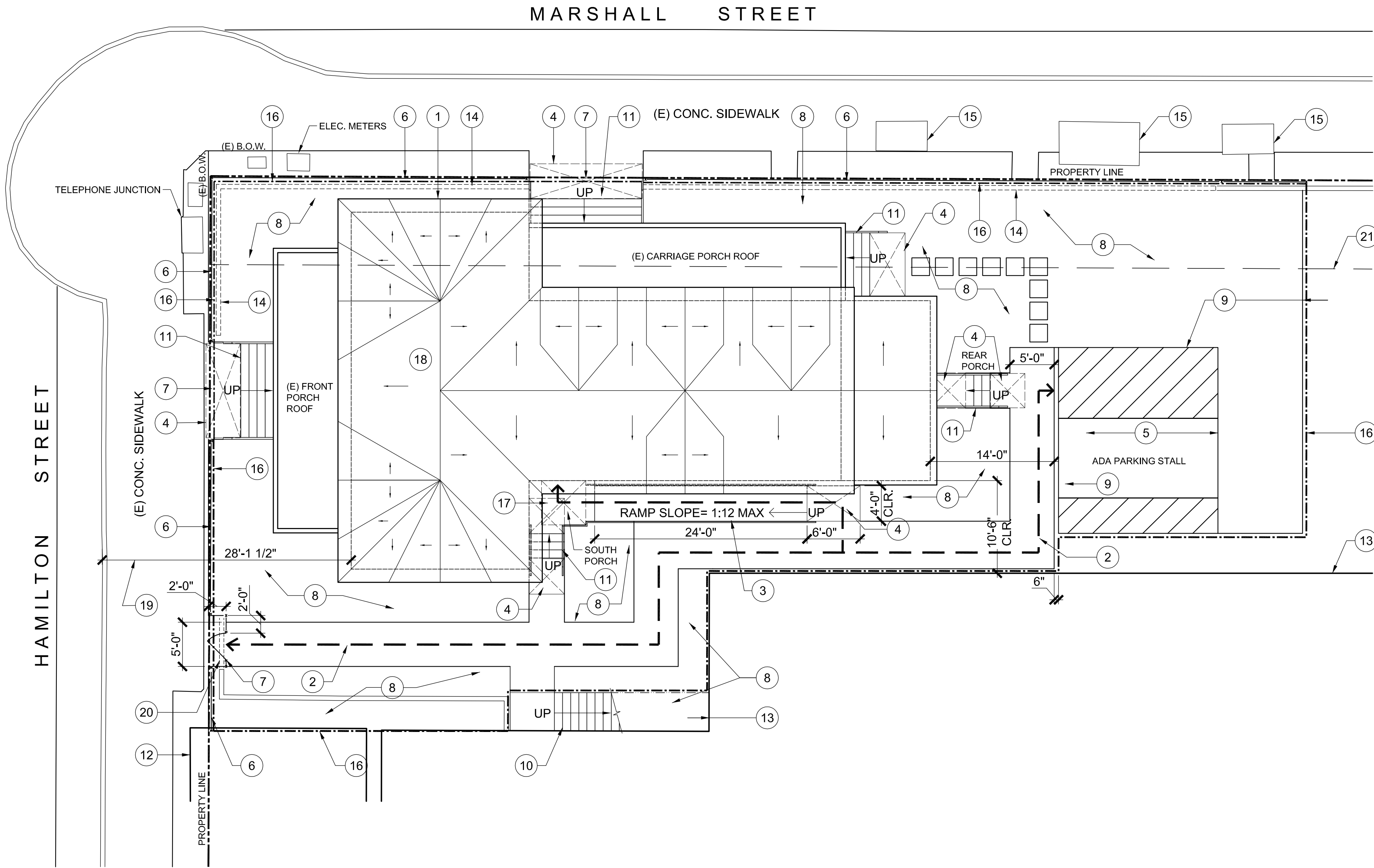
SIDEYARD SETBACK 10' MAX.



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LATHROP HOUSE

RELOCATION
REDWOOD CITY, CA 94063

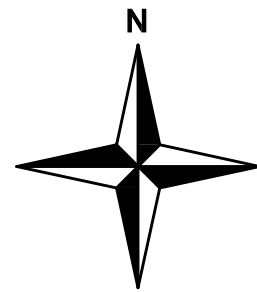
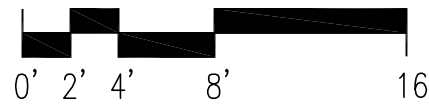


SITE PLAN
PROPOSED

PROJ. NO. 2016 - 105
SCALE AS NOTED
DATE 17 AUG 2017
PHASE SD
DRAWN LK
CHECKED

NO.	DATE	REVISION
20 OCT 2017	PERMIT SUBMITTAL	
20 NOV 2017	PERMIT SET	

1 SITE PLAN
SCALE: 1/8" = 1'-0"



SHEET NO.
A-1.11

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SHEET NOTES

1.

PRIOR TO START OF WORK, PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
2.

DEMOLISH AND REMOVE COMPLETE, ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
3.

MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
4.

REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.
5.

BUILD (N) FOUNDATION FOR RE-LOCATED (E) HOUSE.
6.

UON, REPAIR (E) EXTERIOR AND INTERIOR WALL, FLOOR & CEILING FINISHES TO MATCH EXISTING, WHERE DAMAGED BY RELOCATION.
7.

COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF STRUCTURAL & OTHER BUILDING ELEMENTS.
8.

ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, UON.
9.

(E) PORCH FLOORS: REPLACE ANY SPONGY, ROTTED BOARDS. RE-ATTACH LOOSE NOSING & TRIM. (N) T & G BOARDS TO MATCH SIZE OF (E). USE CLEAR, ALL HEART T & G YELLOW CEDAR BACK-PRIME ALL SIDES OF (N) WOOD. BEFORE INSTALLATION

KEY NOTES

- 1

(N) ACCESSIBLE RAMP W/HANDRAILS; S.S.D.
- 2

(N) LEVEL LANDING AT TOP & BOTTOM OF STAIRS / RAMP.
- 3

(E) EXIT STAIR FROM ADJACENT (E) BUILDING.
- 4

DEMOLISH (E) STAIRS PRIOR TO HOUSE RELOCATION. CONSTRUCT (N) STAIRS AFTER HOUSE RELOCATION.
- 5

(E) PUBLIC TOILETS.
- 6

(E) ANNEX.
- 7

EDGE OF (E) SIDEWALK.
- 8

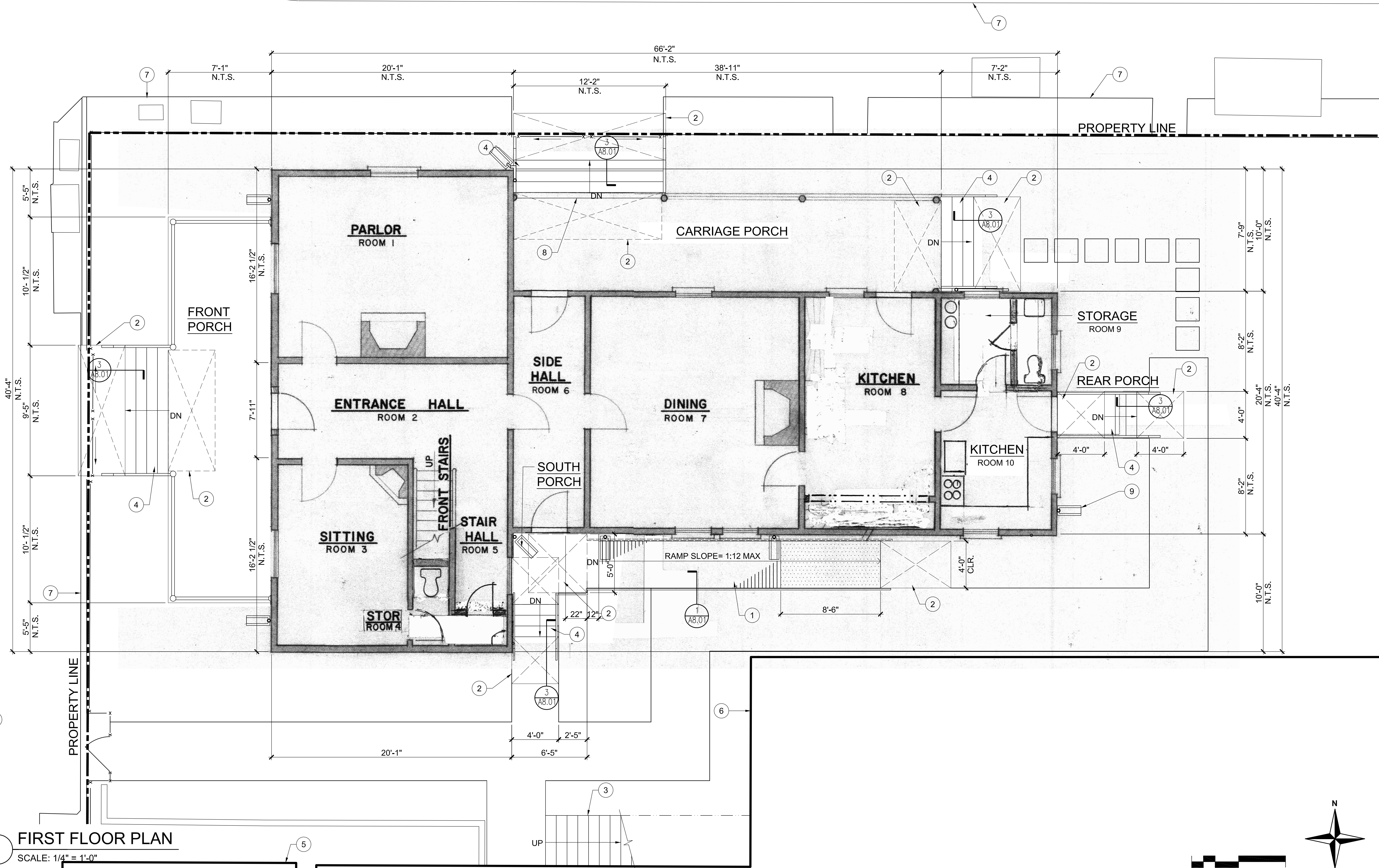
CHAIN BETWEEN PORCH COLUMN.
- 9

SPLASH BLOCK @ DOWNSPOUT, TYP.



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LATHROP HOUSE
RELOCATION
REDWOOD CITY, CA 94063



FLOOR PLAN
FIRST

PROJ. NO. 2016 - 105
SCALE AS NOTED
DATE 17 AUG 2017
PHASE SD
DRAWN LK
CHECKED

NO.	DATE	REVISION
20 OCT 2017	PERMIT SUBMITTAL	
20 NOV 2017	PERMIT SET	

SHEET NO.
A-2.01
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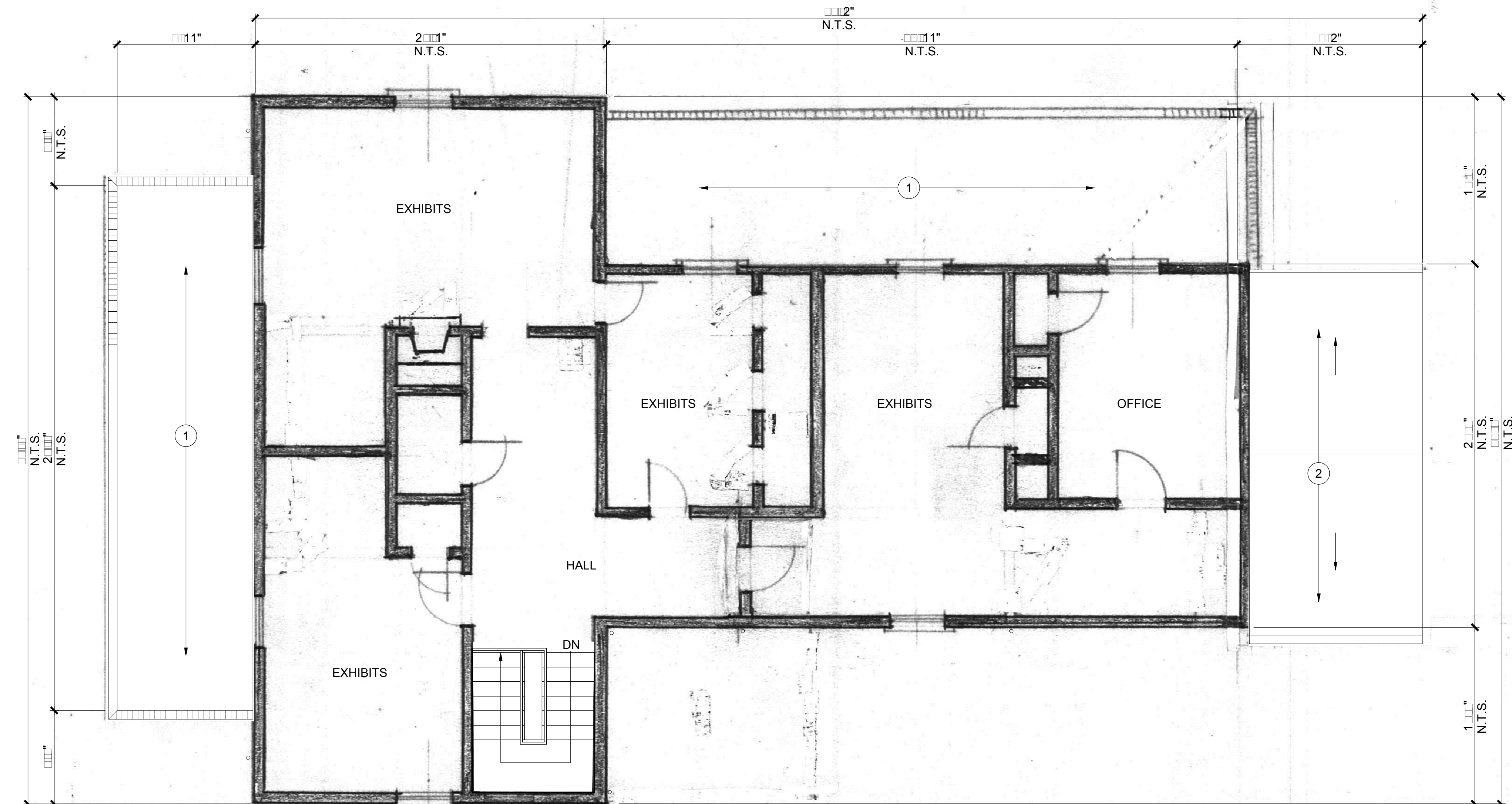
1. PRIOR TO START OF WORK, PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
2. DEMOLISH AND REMOVE COMPLETE ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE U.O.N.

- ALL (E) HISTORIC WINDOWS □ DOORS □ TRIM □ OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE □ BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION □ UON.

- 1 (E) PORCH ROOF. CHECK INTEGRITY OF FLASHING □ ROOF FOR DAMAGE AFTER MO.E. REPAIR AS REQUIRED
- 2 (E) ROOF OVER 1ST FLOOR PANTRY □ STORAGE ROOM. CHECK INTEGRITY OF FLASHING □ ROOF FOR DAMAGE AFTER MO.E. REPAIR AS REQUIRED



RELOCATION
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SCALE AS NOTED
DATE 17 AUG 2017
PHASE SD
DRAWN LK
CHECKED _____

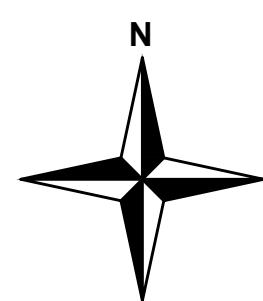
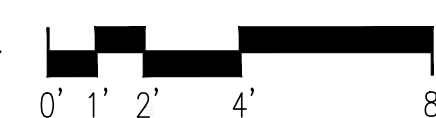
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1

SCALE: 1" = 1"



SHEET NOTES

1.

PRIOR TO START OF WORK, PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
2.

DEMOLISH AND REMOVE COMPLETE, ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
3.

MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
4.

COORDINATE DEMOLITION SCOPE W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW STRUCTURAL ELEMENTS.
5.

REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.
6.

UON, REPAIR (E) EXTERIOR WALL, FLOOR & CEILING FINISHES TO MATCH EXISTING, WHERE DAMAGED BY RELOCATION.
7.

COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF STRUCTURAL & OTHER BUILDING ELEMENTS.
8.

ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, UON.
9.

GC SUBMITTAL & OWNER APPROVAL REQ'D. BEFORE FINISH MATERIALS ARE PURCHASED.
10.

PATCH, REPAIR & REPAINT EXTERIOR TO A WATER-TIGHT CONDITION AFTER RELOCATION.

KEY NOTES

- 1

RELOCATED (E) BUILDING.
- 2

DEMOLISH (E) EXTERIOR STAIRS PRIOR TO HOUSE RELOCATION, CONSTRUCT (N) STAIRS W/ HANDRAIL (3'-0" HIGH) @ RECEIVER SITE. S.S.D.
- 3

AT DONOR SITE:
REMOVE & SALVAGE (E) STAMPED METAL PANELS & FOUNDATION VENT GRILLES AT FOUNDATION CRIPPLE WALL. LABEL EACH PANEL & GRILL AND PROVIDE DRAWING SHOWING RE-INSTALLATION IN ORIGINAL LOCATION.
AT RECEIVER SITE:
(N) CRIPPLE WALL SHALL INCLUDE BLOCKING TO MATCH (E) POINTS OF SUPPORT & ATTACHMENT. RE-ATTACH PANELS AT ORIGINAL POINTS, MINIMUM. USE PAN-HEAD GALV. WOOD SCREWS, UON. USE ADDITIONAL FASTENERS IF NEEDED TO PROVIDE FASTENING @ 6"± O.C. VERTICALLY & 12"± HORIZONTALLY, PATTERN SIM. TO EXISTING, AS REQUIRED TO KEEP PANELS TIGHT TO (N) CRIPPLE WALL. INSERT TOP OF PANELS UNDER WATER TABLE (LOOSEN TRIM BOARD WITHOUT REMOVING IT). ADJUST BOTTOM OF PANELS & (E) VENT GRILLES AS REQUIRED AT (N) GRADE LINE.
- 4

(E) WATER TABLE, PORCH, RAILING & ROOF TO REMAIN; PROTECT IN PLACE.
- 5

ALIGN (N) LANDING W/ (E) FINISH FLOOR INSIDE HOUSE.
- 6

REDWOOD LATTICE SCREEN.
- 7

REINSTALL (E) GRILLES INTO OPENINGS ON ALL FOUR ELEVATIONS, TO EXACTLY MATCH SIZE & LOCATION OF (E) OPENINGS INTO CRAWL SPACE AT DONOR SITE. TYPICAL OPENING ONLY SHOWN.
- 8

DOWNSPOUT W/ SPLASH BLOCK.
- 9

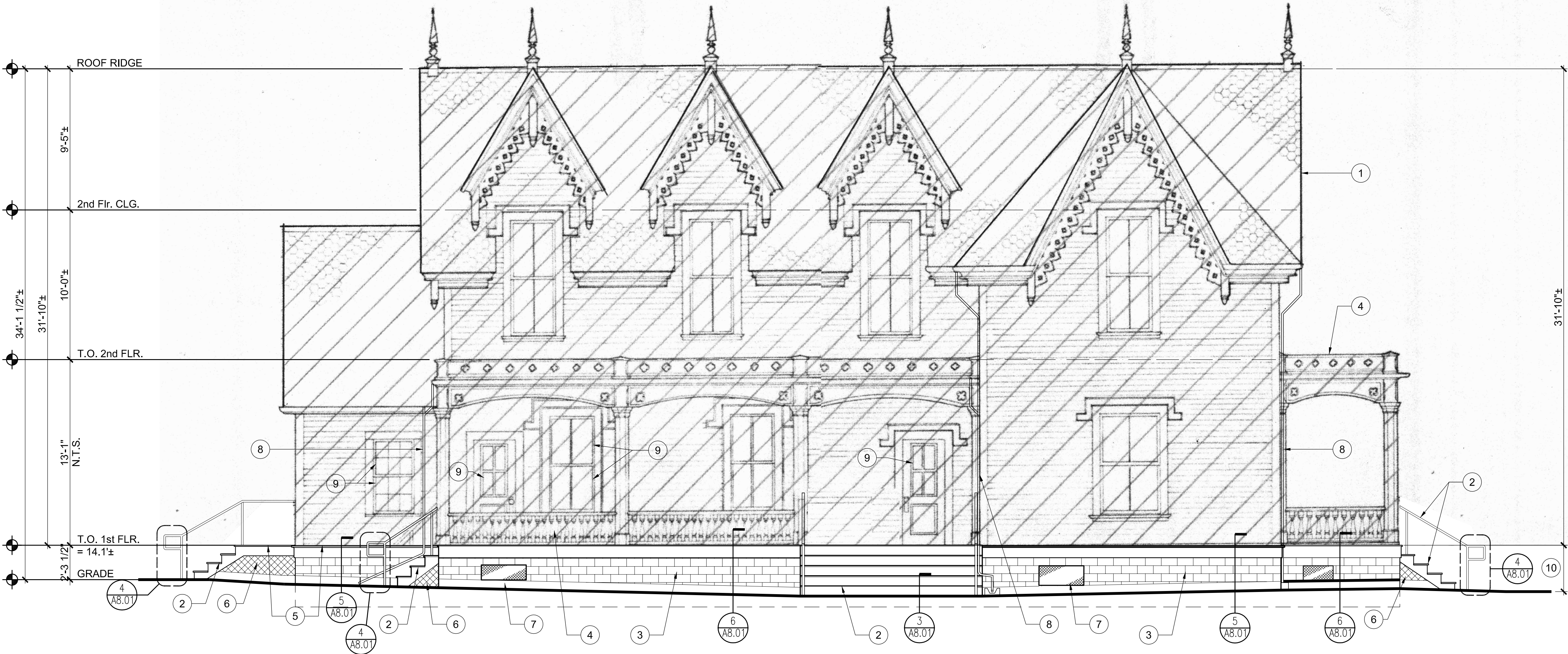
INSTALL TEMPERING FILM @ ALL PANES OF GLASS WHERE NOTED ON WINDOW/ DOOR, IF NOT (E) SAFETY GLASS.
- 10

MATCH FRONT PORCH HEIGHT ABOVE GRADE @ SIDEWALK WITH (E) @ DONOR SITE.



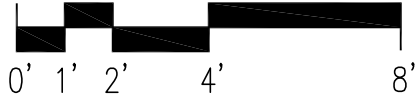
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LATHROP HOUSE
RELOCATION
REDWOOD CITY, CA 94063



ELEVATION
EXTERIOR

PROJ. NO.	2016 - 105
SCALE	<u>AS NOTED</u>
DATE	<u>17 AUG 2017</u>
PHASE	<u>SD</u>
DRAWN	<u>LK</u>
CHECKED	
NO. DATE	REVISION
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<u>20 OCT 2017</u>	<u>PERMIT SUBMITTAL</u>
<u>20 NOV 2017</u>	<u>PERMIT SET</u>



SHEET NOTES

1.

PRIOR TO START OF WORK, PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
2.

DEMOLISH AND REMOVE COMPLETE, ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
3.

MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
4.

COORDINATE DEMOLITION SCOPE W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW STRUCTURAL ELEMENTS.
5.

REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.
6.

UON, REPAIR (E) EXTERIOR WALL, FLOOR & CEILING FINISHES TO MATCH EXISTING, WHERE DAMAGED BY RELOCATION.
7.

COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF STRUCTURAL & OTHER BUILDING ELEMENTS.
8.

ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, UON.
9.

GC SUBMITTAL & OWNER APPROVAL REQ'D. BEFORE FINISH MATERIALS ARE PURCHASED.
10.

PATCH, REPAIR & REPAINT EXTERIOR TO A WATER-TIGHT CONDITION AFTER RELOCATION.

KEY NOTES

- 1

RELOCATED (E) BUILDING.
- 2

DEMOLISH (E) EXTERIOR STAIRS PRIOR TO HOUSE RELOCATION, CONSTRUCT (N) STAIRS W/ HANDRAIL (3'-0" HIGH) @ RECEIVER SITE. S.S.D.
- 3

AT DONOR SITE:
REMOVE & SALVAGE (E) STAMPED METAL PANELS & FOUNDATION VENT GRILLES AT FOUNDATION CRIPPLE WALL. LABEL EACH PANEL & GRILL AND PROVIDE DRAWING SHOWING RE-INSTALLATION IN ORIGINAL LOCATION.
AT RECEIVER SITE:
(N) CRIPPLE WALL SHALL INCLUDE BLOCKING TO MATCH (E) POINTS OF SUPPORT & ATTACHMENT. RE-ATTACH PANELS AT ORIGINAL POINTS, MINIMUM. USE PAN-HEAD GALV. WOOD SCREWS, UON. USE ADDITIONAL FASTENERS IF NEEDED TO PROVIDE FASTENING @ 6"± O.C. VERTICALLY & 12"± HORIZONTALLY, PATTERN SIM. TO EXISTING, AS REQUIRED TO KEEP PANELS TIGHT TO (N) CRIPPLE WALL. INSERT TOP OF PANELS UNDER WATER TABLE (LOOSEN TRIM BOARD WITHOUT REMOVING IT). ADJUST BOTTOM OF PANELS & VENT GRILLES AS REQUIRED AT (N) GRADE LINE.
- 4

(E) WATER TABLE, PORCH, RAILING & ROOF TO REMAIN; PROTECT IN PLACE. NOTE THAT (E) PORCH FLOOR IS APPROX. 5" BELOW (E) FINISH FLOOR INSIDE HOUSE. VERIFY IN FIELD.
- 5

(N) ACCESSIBLE RAMP W/HANDRAILS.
- 6

ALIGN (N) ACCESSIBLE LANDING WITH (E) FINISH FLOOR INSIDE HOUSE.
- 7

REDWOOD LATTICE SCREEN.
- 8

DOWNSPOUT W/ SPLASH BLOCK.
- 9

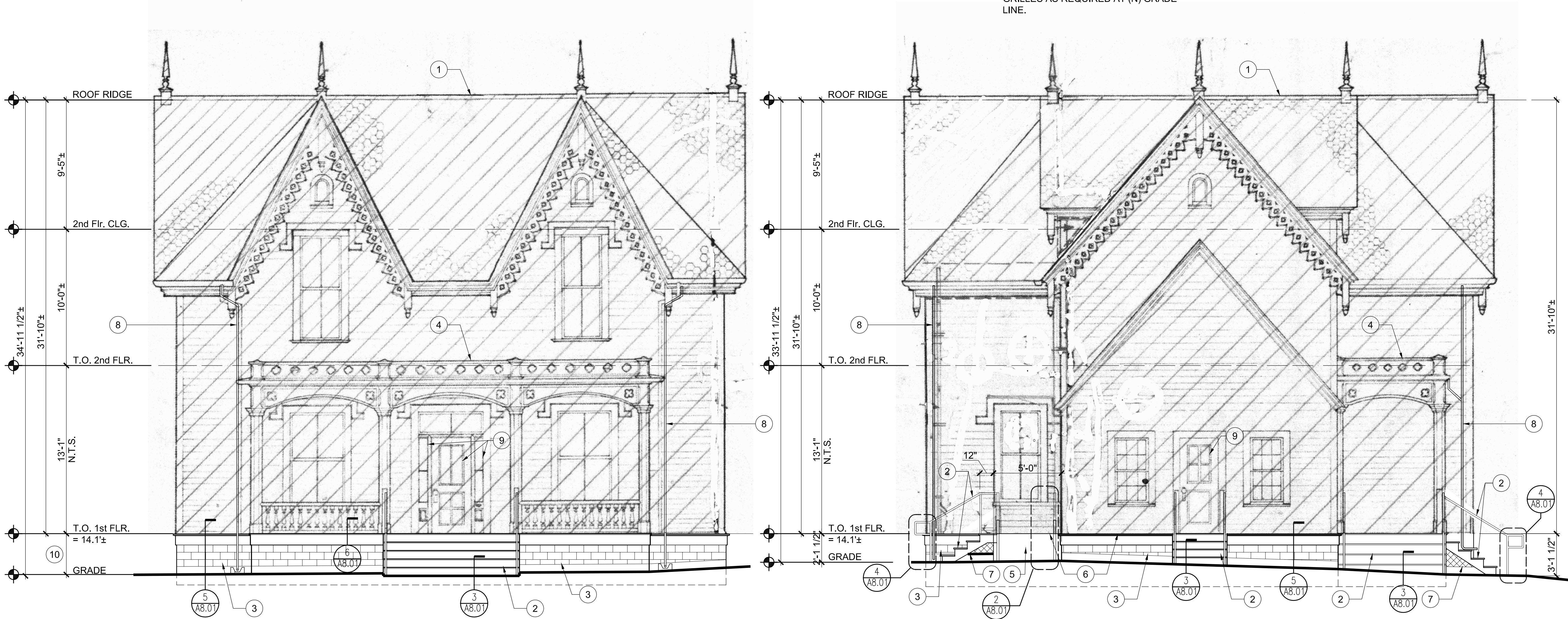
INSTALL TEMPERING FILM @ ALL PANES OF GLASS WHERE NOTED ON WINDOW/ DOOR, IF NOT (E) SAFETY GLASS.
- 10

MATCH FRONT PORCH HEIGHT ABOVE GRADE @ SIDEWALK WITH (E) @ DONOR SITE.



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LATHROP HOUSE
RELOCATION
REDWOOD CITY, CA 94063



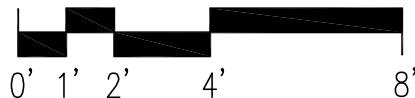
ELEVATIONS
EXTERIOR

PROJ. NO. 2016 - 105
SCALE AS NOTED
DATE 17 AUG 2017
PHASE SD
DRAWN LK
CHECKED

NO.	DATE	REVISION
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1 WEST
SCALE: 1/4" = 1'-0"

2 EAST
SCALE: 1/4" = 1'-0"



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SHEET NOTES

1.

PRIOR TO START OF WORK, PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
2.

DEMOLISH AND REMOVE COMPLETE ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
- MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE U.O.N.
- COORDINATE DEMOLITION SCOPE WITH STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW STRUCTURAL ELEMENTS.
- REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION SPECIFIC REQUIREMENTS.
- UNIFORM REPAIR (E) EXTERIOR WALL, FLOOR, CEILING FINISHES TO MATCH EXISTING WHERE DAMAGED BY RELOCATION.

- COORDINATE PROPOSED SCOPE OF WORK WITH ENGINEERING DRAWINGS FOR LOCATIONS OF STRUCTURAL OTHER BUILDING ELEMENTS.
- ALL (E) HISTORIC WINDOWS, DOORS, TRIM, OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE, BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION UNIFORM.
- GC SUBMITTAL, OWNER APPROVAL REQUIRED BEFORE FINISH MATERIALS ARE PURCHASED.
- 1 □

PATCH, REPAIR, REPAINT EXTERIOR TO A WATER-TIGHT CONDITION AFTER RELOCATION.

KEY NOTES

- 1

RELOCATED (E) BUILDING.
- 2

DEMOLISH (E) EXTERIOR STAIRS PRIOR TO HOUSE RELOCATION. CONSTRUCT (N) STAIRS WITH HANDRAIL (4" HIGH) AT RECEIVER SITE, S.S.D.
- **AT DONOR SITE:**
REMOVE SALVAGE (E) STAMPED METAL PANELS, FOUNDATION, CENT GRILLES AT FOUNDATION CRIPPLE WALL. LABEL EACH PANEL, GRILL AND PROVIDE DRAWING SHOWING REINSTALLATION IN ORIGINAL LOCATION.
AT RECEIVER SITE:
(N) CRIPPLE WALL SHALL INCLUDE BLOCKING TO MATCH (E) POINTS OF SUPPORT, ATTACHMENT. RE-ATTACH PANELS AT ORIGINAL POINTS, MINIMUM. USE PAN-HEAD GALV. WOOD SCREWS UNIFORM. USE ADDITIONAL FASTENERS IF NEEDED TO PROVIDE FASTENING @ 6"± O.C. VERTICALLY & 12"± HORIZONTALLY, PATTERN SIM. TO EXISTING. AS REQUIRED TO KEEP PANELS TIGHT TO (N) CRIPPLE WALL. INSERT TOP OF PANELS UNDER WATER TABLE (LOOSEN TRIM BOARD WITHOUT REMOVING IT). ADJUST BOTTOM OF PANELS, CENT GRILLES AS REQUIRED AT (N) GRADE LINE.
- (E) WATER TABLE, PORCH, RAILING, ROOF TO REMAIN, PROTECT IN PLACE. NOTE THAT (E) PORCH FLOOR IS APPROX. 1" BELOW (E) FINISH FLOOR INSIDE HOUSE. VERIFY IN FIELD.
- (N) ACCESSIBLE RAMP WITH HANDRAILS.
- ALIGN (N) ACCESSIBLE LANDING WITH (E) FINISH FLOOR INSIDE HOUSE.
- REDWOOD LATTICE SCREEN
- DOWNSPOUT WITH SPLASH BLOCK.
- INSTALL TEMPERING FILM, ALL PANES OF GLASS WHERE NOTED ON WINDOW, DOOR, IF NOT (E) SAFETY GLASS.
- 1 □

MATCH FRONT PORCH HEIGHT ABOVE GRADE, SIDEWALK WITH (E) DONOR SITE.



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LATHROP HOUSE

RELOCATION
REDWOOD CITY, CA 94063



ELEVATION
EXTERIOR

PROJ. NO. 2016 - 105
SCALE AS NOTED
DATE 17 AUG 2017
PHASE SD
DRAWN LK
CHECKED

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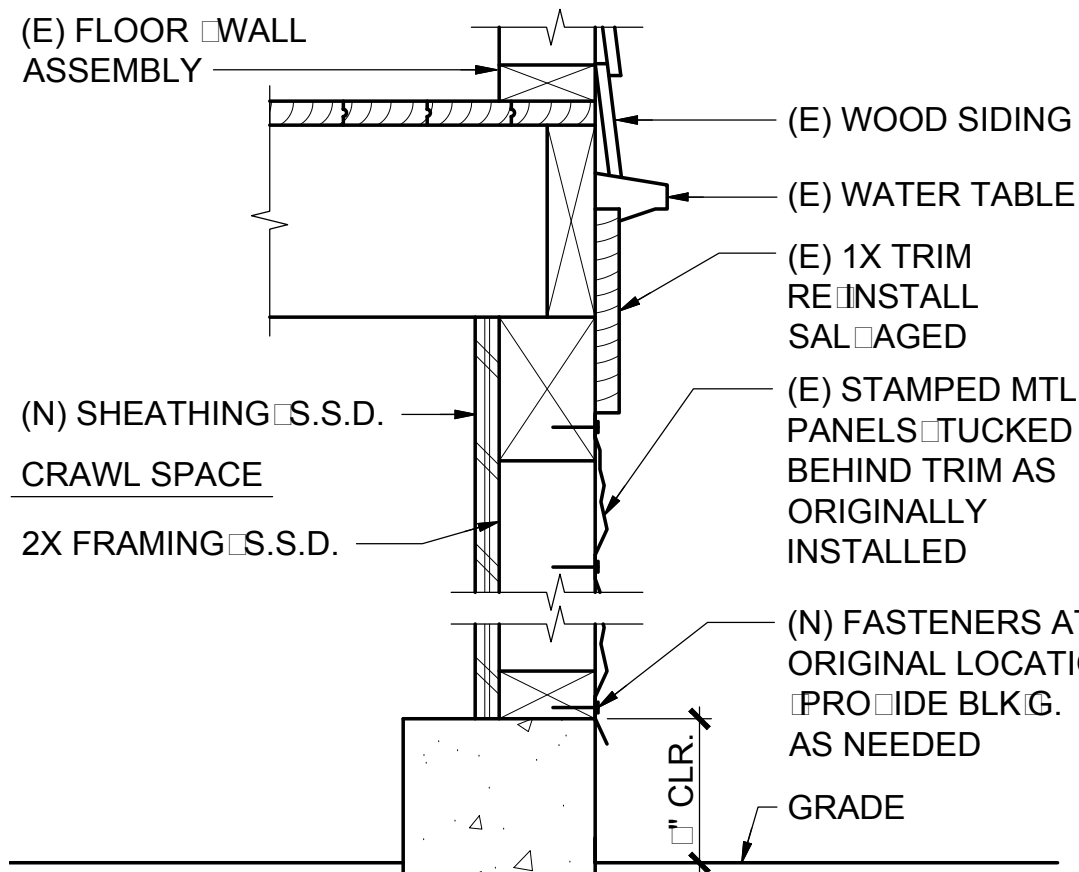
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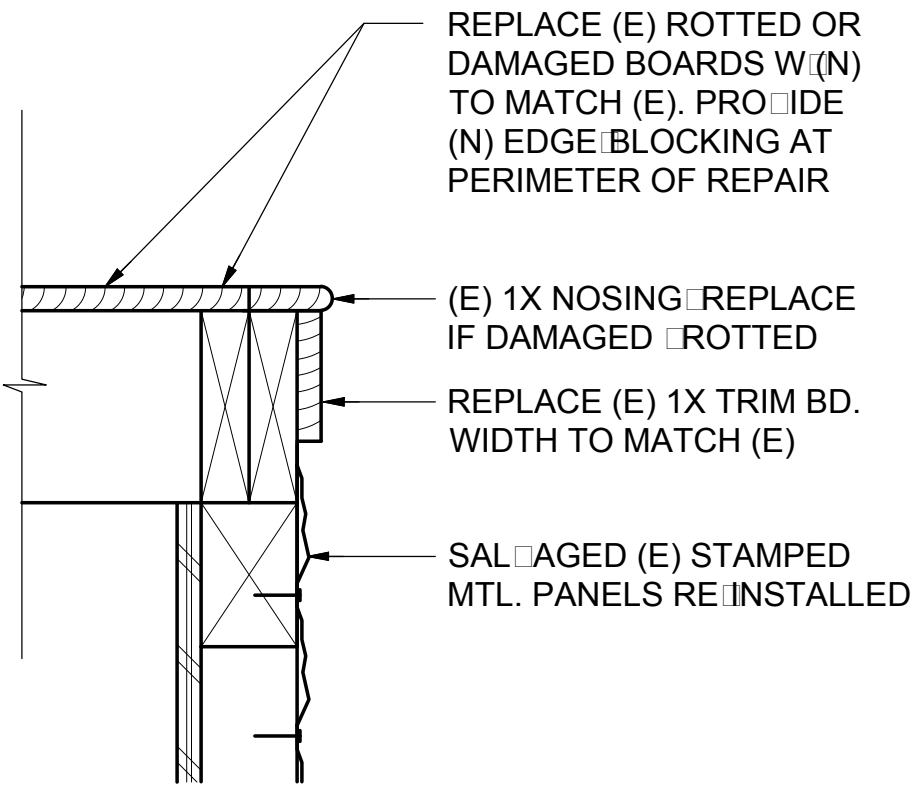
LATHROP HOUSE

RELOCATION
REDWOOD CITY, CA 94063



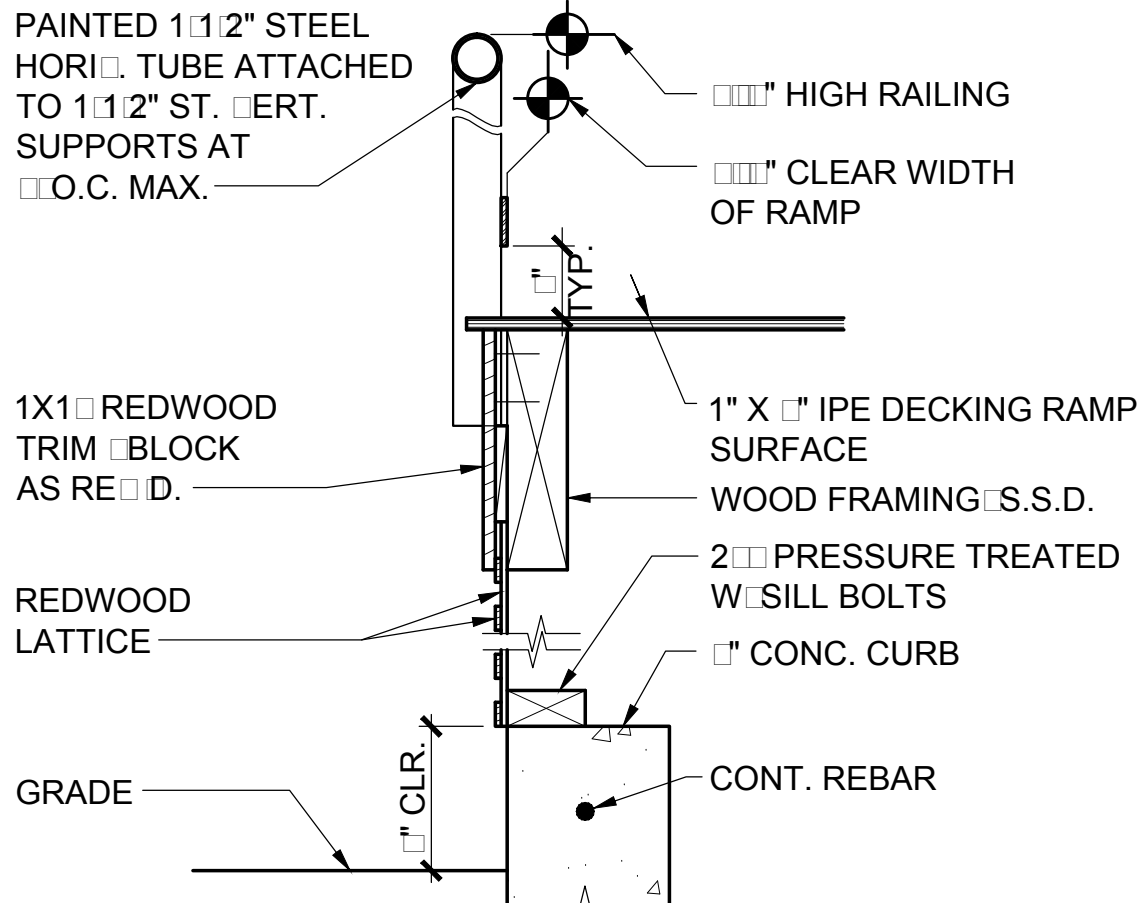
5 METAL PANELS

SCALE: 1 1/2" = 1'-0"



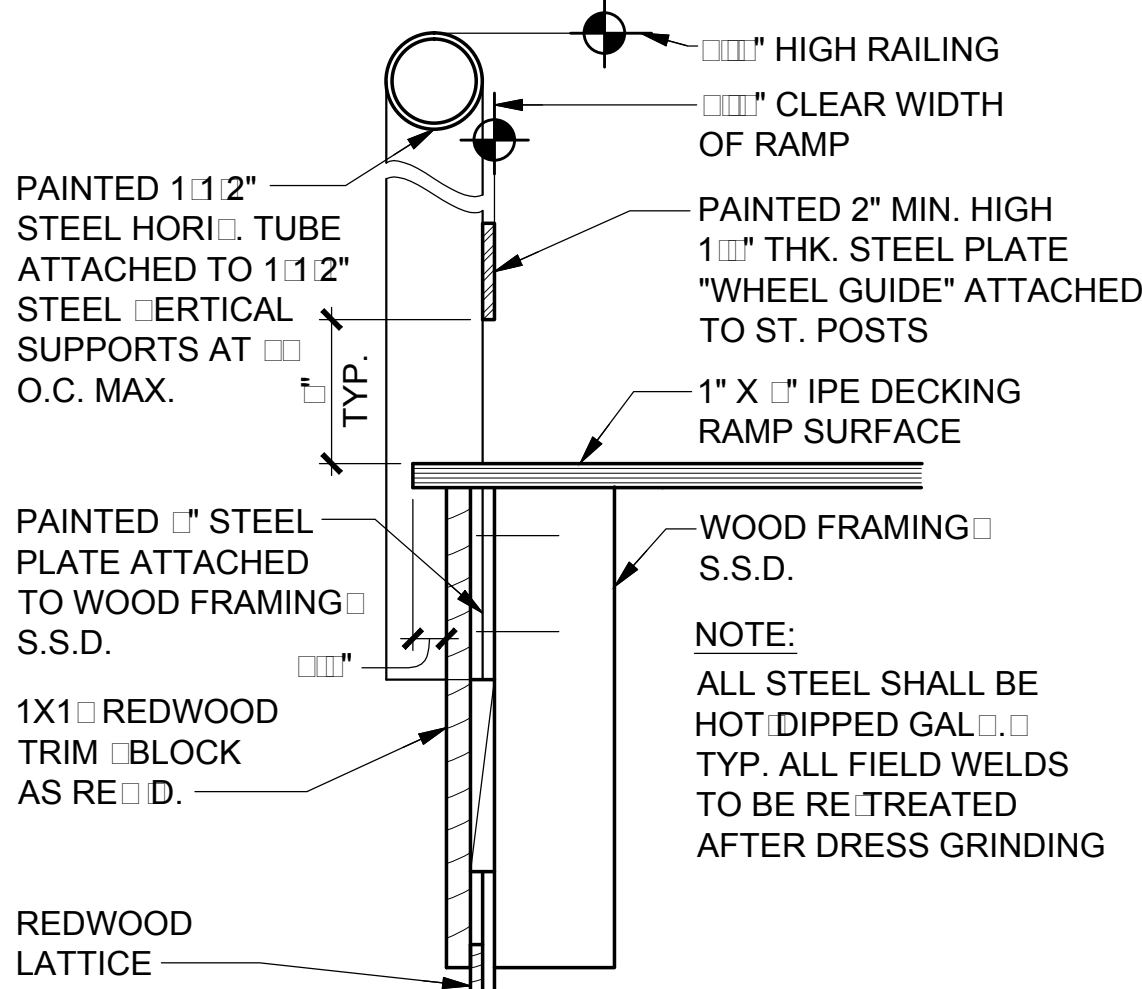
6 PORCH FLOOR REPAIR

SCALE: 1 1/2" = 1'-0"



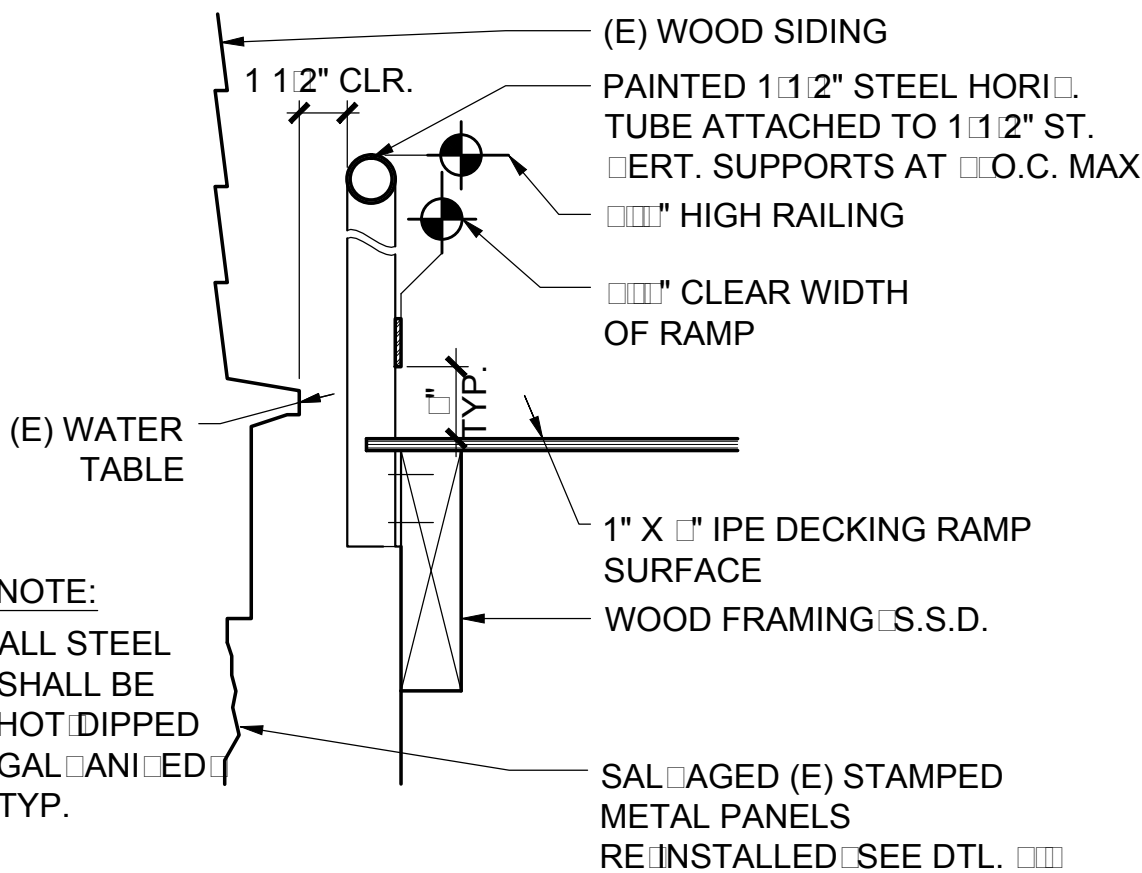
7 RAMP RAILING

SCALE: 1" = 1'-0"



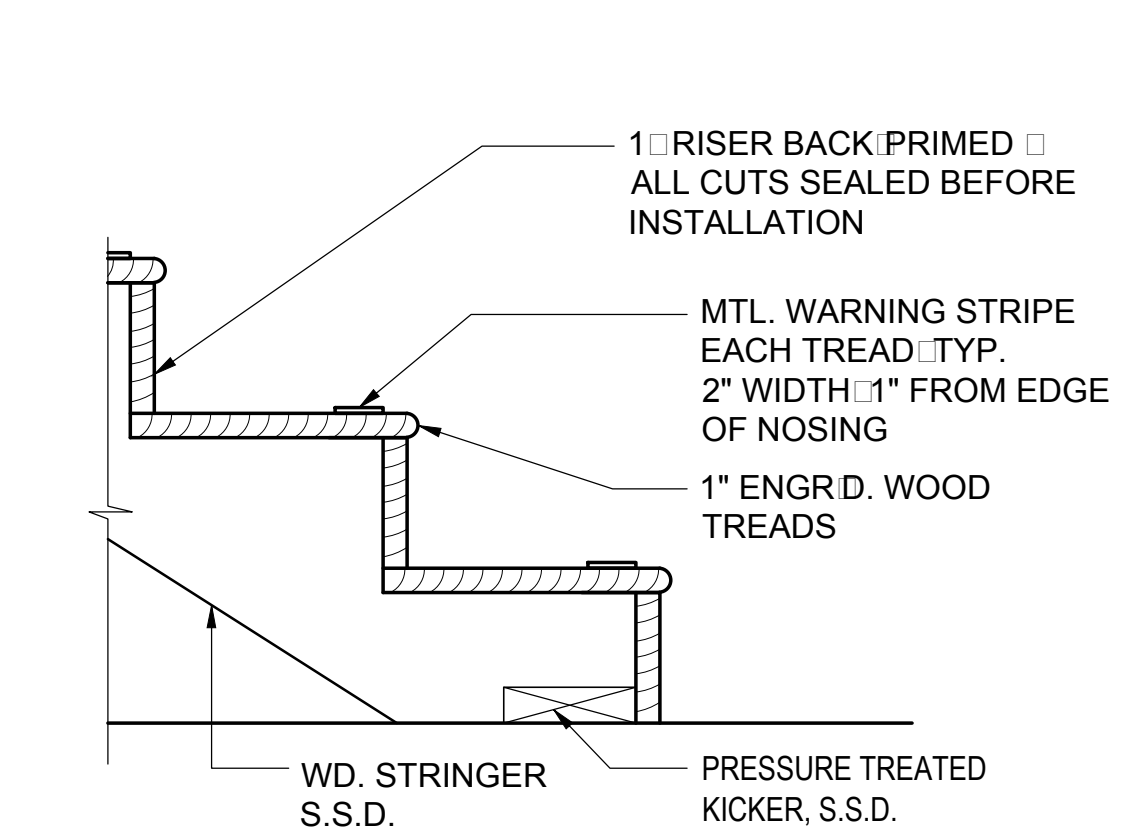
1 RAMP RAILING

SCALE: 1" = 1'-0"



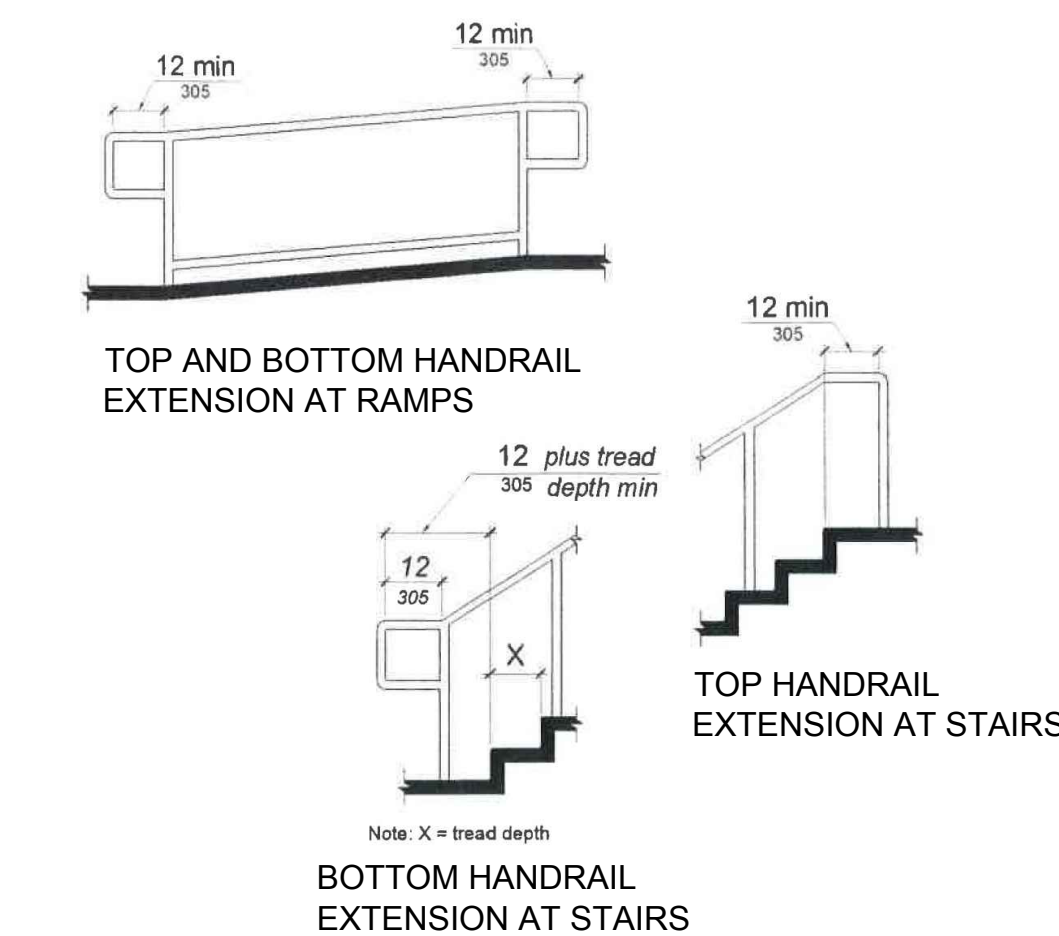
2 RAMP RAILING & WALL

SCALE: 1 1/2" = 1'-0"



3 EXTERIOR STAIR

SCALE: 1 1/2" = 1'-0"



4 HANDRAIL EXTENSIONS

SCALE: NONE



DETAILS

EXTERIOR

PROJ. NO. 2016 - 105

SCALE

DATE

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STRUCTURAL SPECIFICATIONS

SHEATHING

ALL SHEATHING SHALL CONFORM TO U.S. PRODUCT STANDARD PS 1, AMERICAN PLYWOOD ASSOCIATION. EACH SHEET SHALL BE STAMPED WITH THE PS AND/OR APA GRADEMARK.

WALL SHEATHING

- SHALL BE MINIMUM 1/2" OSB OR 3 PLY INTERIOR TYPE RATED SHEATHING, C-D GRADE WITH EXTERIOR GLUE (CDX-EXPOSURE 1), SPAN RATING 24/0, SPECIES GROUP 2 OR BETTER.

ALL SHEATHING PERMANENTLY EXPOSED TO WEATHER SHALL BE EXTERIOR TYPE SHEATHING VS. INTERIOR TYPE SHEATHING AS REFERENCED ABOVE.

ALL UNBLOCKED SHEATHING EDGES SHALL BE TONGUE-AND-GROOVE OR SUPPORTED WITH CLEATS OR CLIPS.

FRAMING

DOUGLAS FIR COAST REGION, CONFORMING TO WEST COAST LUMBER INSPECTION BUREAU STANDARD GRADING AND DRESSING RULE NO. 17 AS AMENDED TO DATE.

- 2x, 3x, PLATES, JOISTS, AND PURLINS NO.2 (900F-b), PARA. 123-a.
- 4x, PURLINS, LEDGERS, AND BEAMS, NO.1 (1000F-b), PARA. 123-b.
- 6x BEAMS, DENSE NO.1 (1550F-b), PARA. 130-bb.
- 4x4 POSTS, NO.1 (1500F-c), PARA. 124-b.
- 4x6 POSTS, NO.1 (1500F-c), PARA. 123-b.
- 6x6 AND LARGER POSTS, DENSE NO.1 (1200F-c), PARA. 131-bb.
- 2x4, 3x4, STUDS BLOCKING, CONSTRUCTION GRADE, (1000F-b), PARA. 122-b.
- 2x6 OR LARGER STUDS AND BLOCKING NO.1 (1000F-b), PARA. 123-b.
- FOUNDATION PLATES: SBX/DOT OR ZINC BORATE PRESSURE TREATED DOUGLAS FIR.

ALL FRAMING LUMBER 6" OR LARGER IN THE LEAST DIMENSION SHALL BE F.O.H.C.

LIGHT GAGE METAL CONNECTORS

ALL LIGHT GAGE METAL CONNECTORS SHALL BE SIMPSON COMPANY STRONG TIE CONNECTORS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.

CONCRETE

ALL CONCRETE SHALL HAVE PROPERTIES AS LISTED BELOW.
MAXIMUM WATER-CEMENT RATIO, BY WEIGHT SHALL BE AS FOLLOWS:

	W/O FLY ASH	W/ UP TO 15% FLY ASH
5000 PSI CONCRETE AT 28 DAYS	.48	0.43
4000 PSI CONCRETE AT 28 DAYS	.55	0.5
3500 PSI CONCRETE AT 28 DAYS	.55	0.5
3000 PSI CONCRETE AT 28 DAYS	.55	0.5
2500 PSI CONCRETE AT 28 DAYS	.55	0.5
2000 PSI CONCRETE AT 28 DAYS	.67	0.60

APPROXIMATELY 3 OUNCES PER SACK OF CEMENT OF POZZOLITH 300R OR APPROVED EQUAL SHALL BE USED AS A WATER DISPERSING ADDITIVE. AT CONTRACTOR'S OPTION, AN AIR ENTRAINING AGENT CONFORMING TO THE LATEST REVISION OF ASTM SPECIFICATION C 260 MAY BE ADDED TO THE CONCRETE TO PROVIDE SPECIFIED AMOUNTS OF ENTRAINED AIR.

CONCRETE ELEMENT	MIN. 28 DAY COMPRESSIVE STRENGTH	MAX. SIZE AGGREGATE (INCHES)	MAX. SLUMP	TOTAL AIR CONTENT
FOUNDATION	*3000	3/4	4	--%
SLAB ON GRADE	*3000	3/4	4	4%±1.5%
YARD CONCRETE, WALKS, AND CURBS	2000	3/4	4	--

*2500 PSI USED FOR DESIGN, NO SPECIAL INSPECTION REQUIRED

REINFORCING STEEL

BARs FOR REINFORCING SHALL BE GRADE 60 DEFORMED BARS CONFORMING TO ASTM A-615 INCLUDING SUPPLEMENT S1. LAP SPLICES SHALL BE IN ACCORDANCE WITH ACI 318 UNLESS NOTED OTHERWISE ON THE PLANS.

MACHINE BOLTS, ANCHOR BOLTS AND STUDS

ASTM A307

EARTHWORK

EARTHWORK SHALL BE IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE FOUNDATION INVESTIGATION BY KLEINFELDER DATED OCTOBER 3, 2017 (ADDENDUM).

SHOP DRAWINGS

FOR THE ENGINEER'S REVIEW WILL BE REQUIRED AS FOLLOWS:
1. MIX DESIGNS;
2. REINFORCING STEEL
CONTRACTOR SHALL SUBMIT THREE SETS OF PRINTS FOR REVIEW. FABRICATION SHALL NOT PROCEED UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED BY THE ENGINEER.

CONSTRUCTION LIABILITY

CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

EXISTING CONDITIONS

THE CONTRACTOR OR SUBCONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION AND OR ORDERING MATERIAL, ANY DISCREPANCIES DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.

NAILING SCHEDULE	
NAILED CONNECTION DESCRIPTION	MINIMUM REQUIRED NAILING (UNLESS DETAILED OTHERWISE)
JOIST TO SILL PLATE OR GIRDER	(3)-8d TOE NAILS
BRIDGING TO JOIST	(2)-8d TOE NAILS EACH END
1"x 6" SUB-FLOOR OR LESS	(2)-8d FACE NAILS EACH JOIST
WIDER THAN 1"x 6" SUB-FLOOR	(3)-8d FACE NAILS EACH JOIST
2" SUB-FLOOR TO JOIST OR GIRDER	(2)-16d BLIND & FACE NAIL
SOLE PLATE TO JOIST OR GIRDER	16d @ 16" O.C. FACE NAIL, (3)-16d EVERY 16" O.C. AT BRACED WALL PANELS
TOP PLATE TO STUD	(2)-16d END NAIL
STUD TO SILL PLATE	(4)-8d TOE NAIL, OR (2)-16d TOE NAILS (2)-16d END NAIL AT 2x SILL OR (2)-20d END NAIL AT ALL 3x SILL
DOUBLE STUDS	16d FACE NAILS @ 24" O.C.
DOUBLE TOP PLATES	16d FACE NAILS @ 16" O.C., (8)-16d AT LAPS
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	(3)-8d TOE NAILS
RIM JOIST OR BLOCKING TO TOP PLATE OR SILL PLATE	8d TOE NAILS @ 6" O.C.
TOP PLATE AT LAPS AND INTERSECTIONS	(2)-16d FACE NAILS
CONTINUOUS HEADER, TWO PIECES (ALONG EACH EDGE) w/ 1/2" SPACER	16d @ 16" O.C.
CEILING JOIST (CJ) TO PLATE	(3)-8d TOE NAILS
CONTINUOUS HEADER TO STUD	(4)-8d TOE NAILS
CEILING JOIST (CJ) LAPPED OVER PARTITIONS	(3)-16d FACE NAILS
CEILING JOIST (CJ) PARALLEL TO RAFTERS	(3)-16d FACE NAILS
RAFTER OR ROOF TRUSS TO PLATE	(3)-10d TOE NAILS, (2)-10d TOE NAILS ON ONE SIDE AND (1)-10d TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS
1" DIAGONAL BRACE TO EACH STUD & PLATE	(3)-8d FACE NAILS
1"x 6" SHEATHING OR LESS TO EACH BEARING	(3)-8d FACE NAILS
1"x 8" SHEATHING OR LESS TO EACH BEARING	(3)-8d FACE NAILS
WIDER THAN 1"x 8" SHEATHING TO EACH BEARING	(3)-8d FACE NAILS
BUILT-UP CORNER STUDS	16d FACE NAILS @ 12" O.C.
BUILT-UP GIRDERS AND BEAMS	20d @ 32" O.C. FACE NAILS TOP & BOTTOM, STAGGERED w/ (2)-20d AT EACH END & SPLICES
2" PLANKS, EACH END AND EACH BEARING	(2)-16d
COLLAR TIE TO RAFTER	(3)-10d FACE NAILS
ROOF RAFTER TO HIP OR VALLEY RAFTER	(4)-16d TOE NAILS OR (3)-16d FACE NAILS
ROOF RAFTER TO 2x RIDGE BEAM	(4)-16d TOE NAILS OR (3)-16d FACE NAILS
JOISTS TO RIM JOIST	(3)-16d FACE NAILS
2x LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	(3)-16d FACE NAILS AT EACH JOIST OR RAFTER

NOTES:

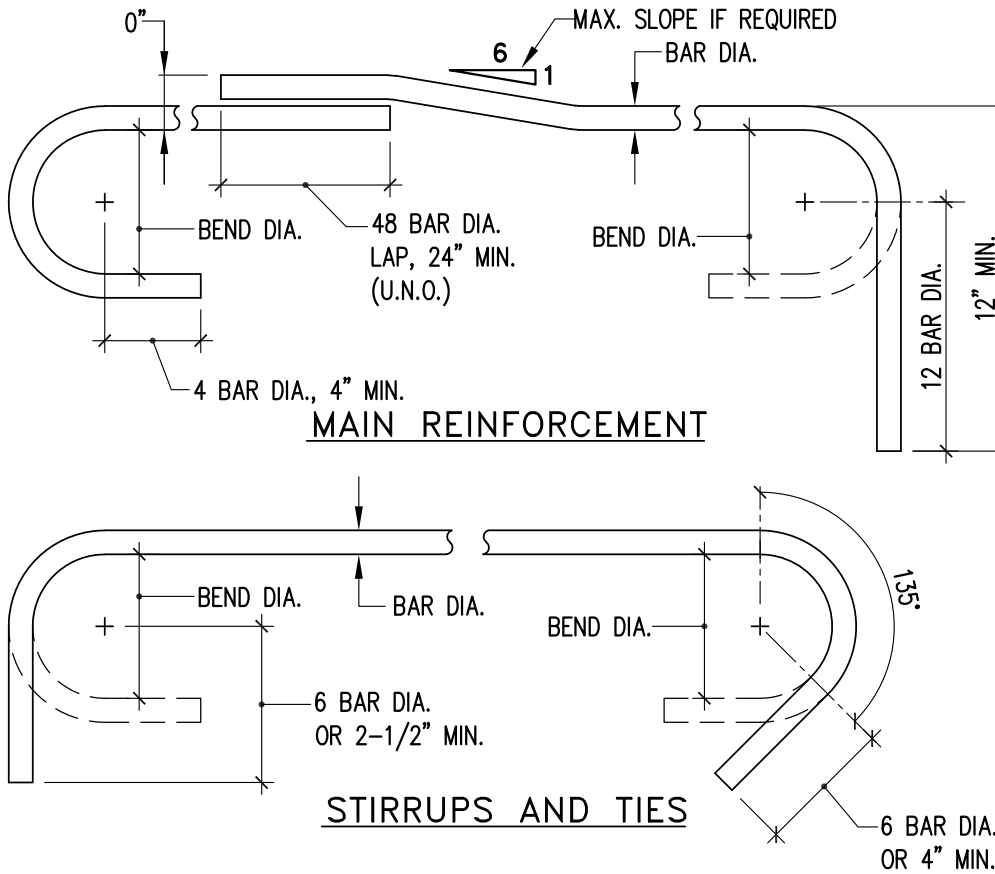
- USE COMMON WIRE NAILS FOR ALL NAILED CONNECTIONS. BOX NAILS ARE PROHIBITED.
- WHERE POSSIBLE, DRIVE NAILS PERPENDICULAR TO THE GRAIN IN LIEU OF TOE NAILING.
- NAILING DETAILED ELSEWHERE SUPERSEDES THE REQUIREMENTS OF THIS SCHEDULE. NAILING SHOWN ABOVE ARE MINIMUM REQUIREMENTS.
- NAILS USED AT PRESSURE TREATED FRAMING SHALL BE HOT-DIPPED GALVANIZED.

NAILING SCHEDULE

CLASS A & B BAR LAP SPICE LENGTHS (INCHES)									
l _d = DEVELOPMENT LENGTH OF BAR									
BAR SIZE	f _c =2500			f _c =3000			f _c =4000		
	Ld	A	B	Ld	A	B	Ld	A	B
# 3	18	18	23	16	16	21	14	14	18
# 4	24	24	31	22	22	28	19	19	25
# 5	30	30	39	27	27	36	24	24	31
# 6	36	36	47	33	33	43	28	28	37
# 7	53	53	68	48	48	62	42	42	54
# 8	60	60	78	55	55	71	47	47	62
# 9	68	68	88	62	62	80	54	54	70
# 10	76	76	99	70	70	77	60	60	78
# 11	85	85	110	90	90	100	67	67	87

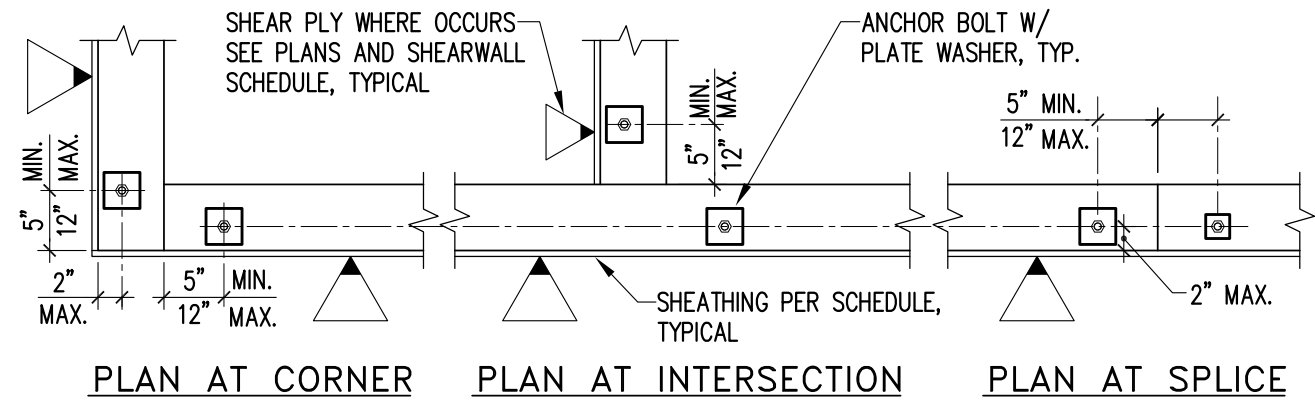
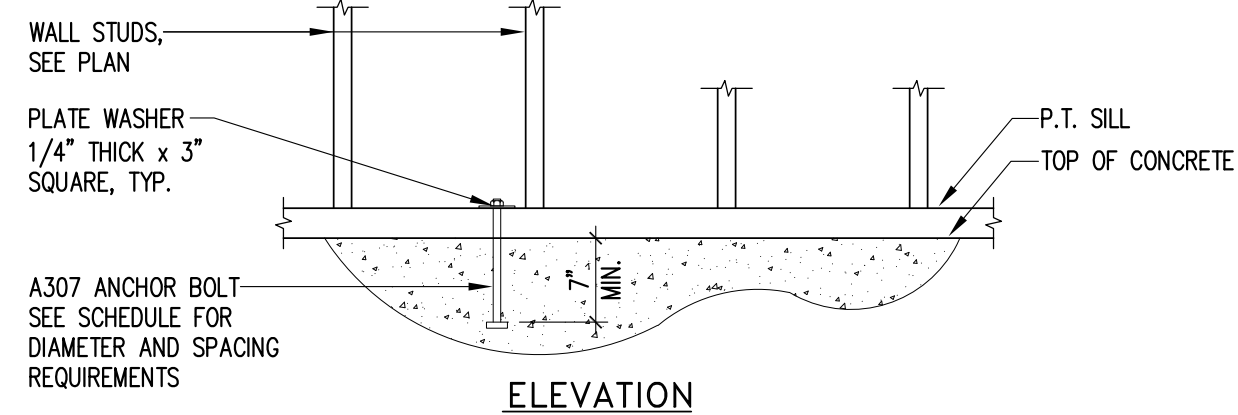
NOTES:

- FOR SLAB BARS, BOTTOM BEAM BARS, AND TEMPERATURE BARS IN SLABS, BEAMS, OR FOOTINGS WITH SPACING 6" OR MORE, USE 0.8 TIMES THE LENGTHS SHOWN, BUT NOT LESS THAN 1'-0".
- FOR BARS WITH MORE THAN 1'-0" OF CONCRETE CAST BELOW THE DEVELOPMENT LENGTH OR SPUCE, USE 1.3 TIMES THE LENGTHS SHOWN.
- IF MORE THAN 50% OF THE BARS ARE SPLICED WITHIN SPUCE LENGTH, USE CLASS 'B' LAP, OTHERWISE USE CLASS 'A' LAP.



BAR LAPS AT CONCRETE INTERSECTIONS
FOOTINGS & WALLS

SCALE: 3/4" = 1'-0"



SILL PLATE ANCHOR BOLT REQUIREMENT

SCALE: 3/4" = 1'-0"

TYPICAL REINFORCING BAR BENDS
AND LAP SPICE SCHEDULE

SCALE: 3" = 1'-0"

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S2.0	FOUNDATION DETAILS
S2.1	RAMP FOUNDATION DETAILS

SYMBOLS LEGEND

SYMBOL DESCRIPTION

- 1. Detail No.
- S2.1. Sheet Location
- View Direction
- 1. Section/Elevation No.
- S0.1. Sheet Location
- Indicates Degree of Slope
- 1/4 SLOPE
- Indicates Sloped Beam, Slab, or Deck. Arrowhead indicates direction.
- 6'-0"± Indicates estimated dimension. For Exact Dimension see Architect
- 1. Revision Number
- Affected Region due to Current Revision.

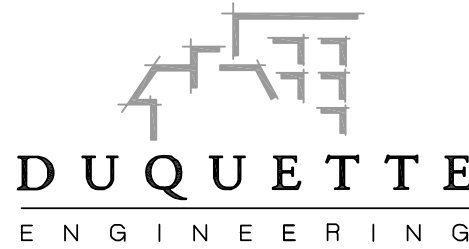


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STRUCTURAL SPEC.

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PROJ. NO. 17-0079

SCALE AS SHOWN

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SEE ARCHITECTURAL DRAWINGS FOR ALL
DIMENSIONS, ELEVATIONS AND WALL LAYOUT.
DO NOT SCALE THE STRUCTURAL DRAWINGS.

GARAVAGLIA

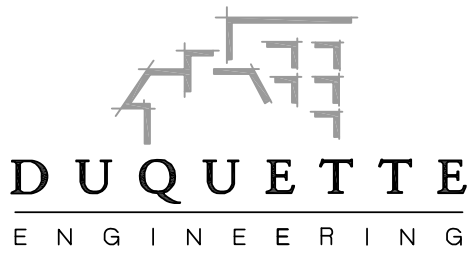
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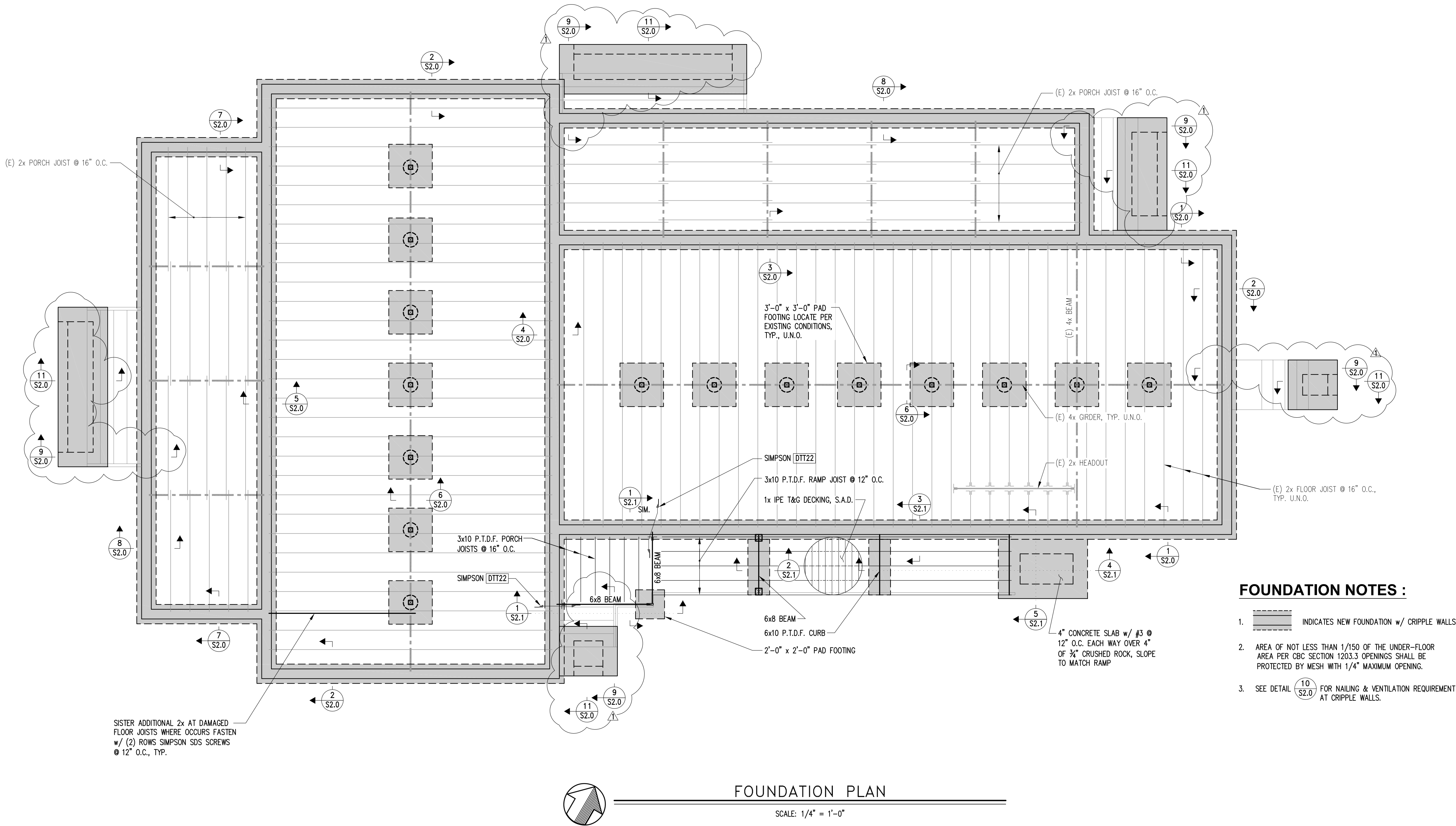
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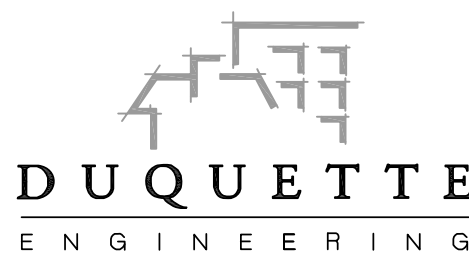
FOUNDATION PLAN



PROJ. NO.	17-0079
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DATE	<u>20 NOV 2017</u>
PHASE	<u>SD</u>
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CHECKED	<u>SPD</u>
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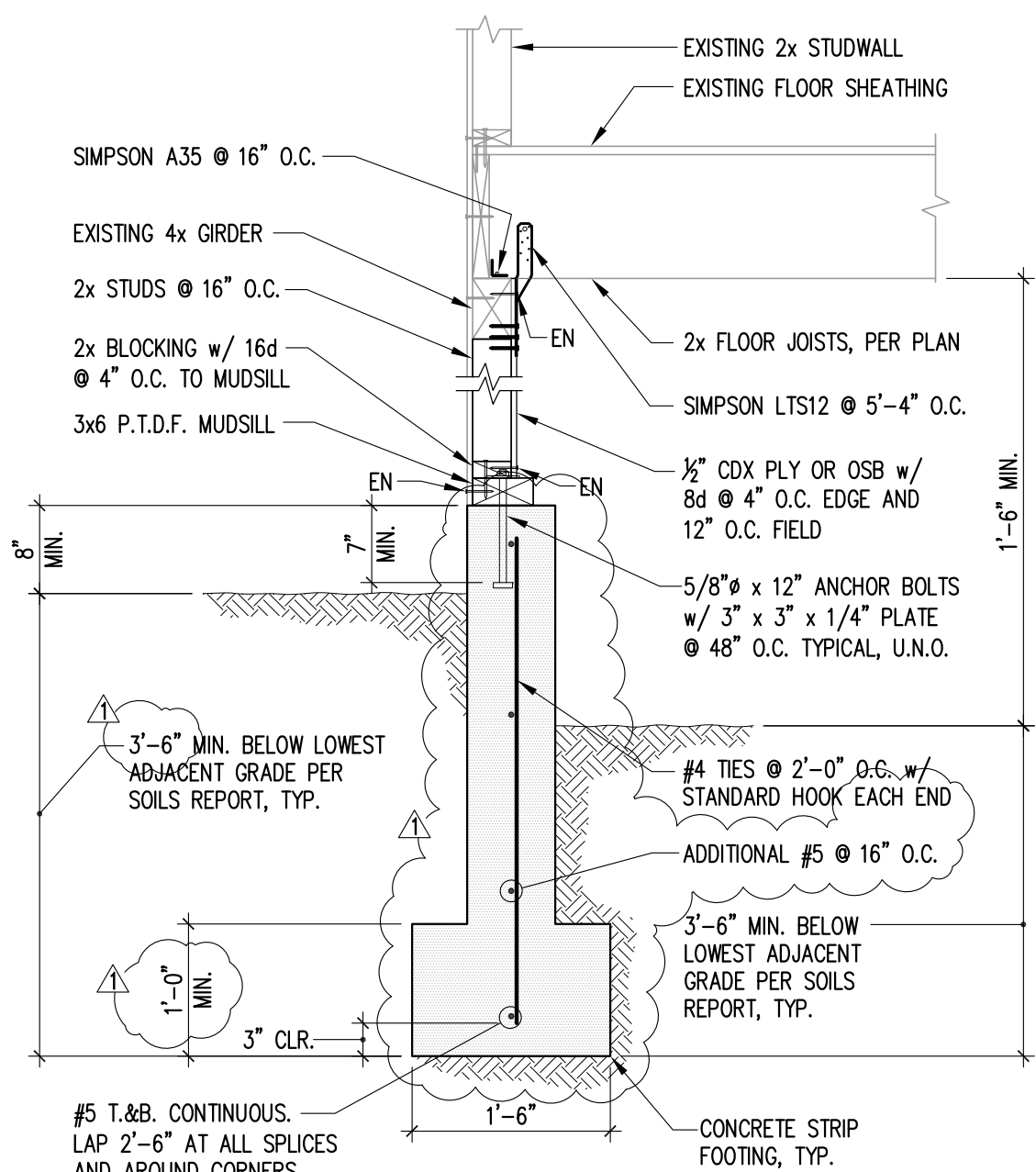
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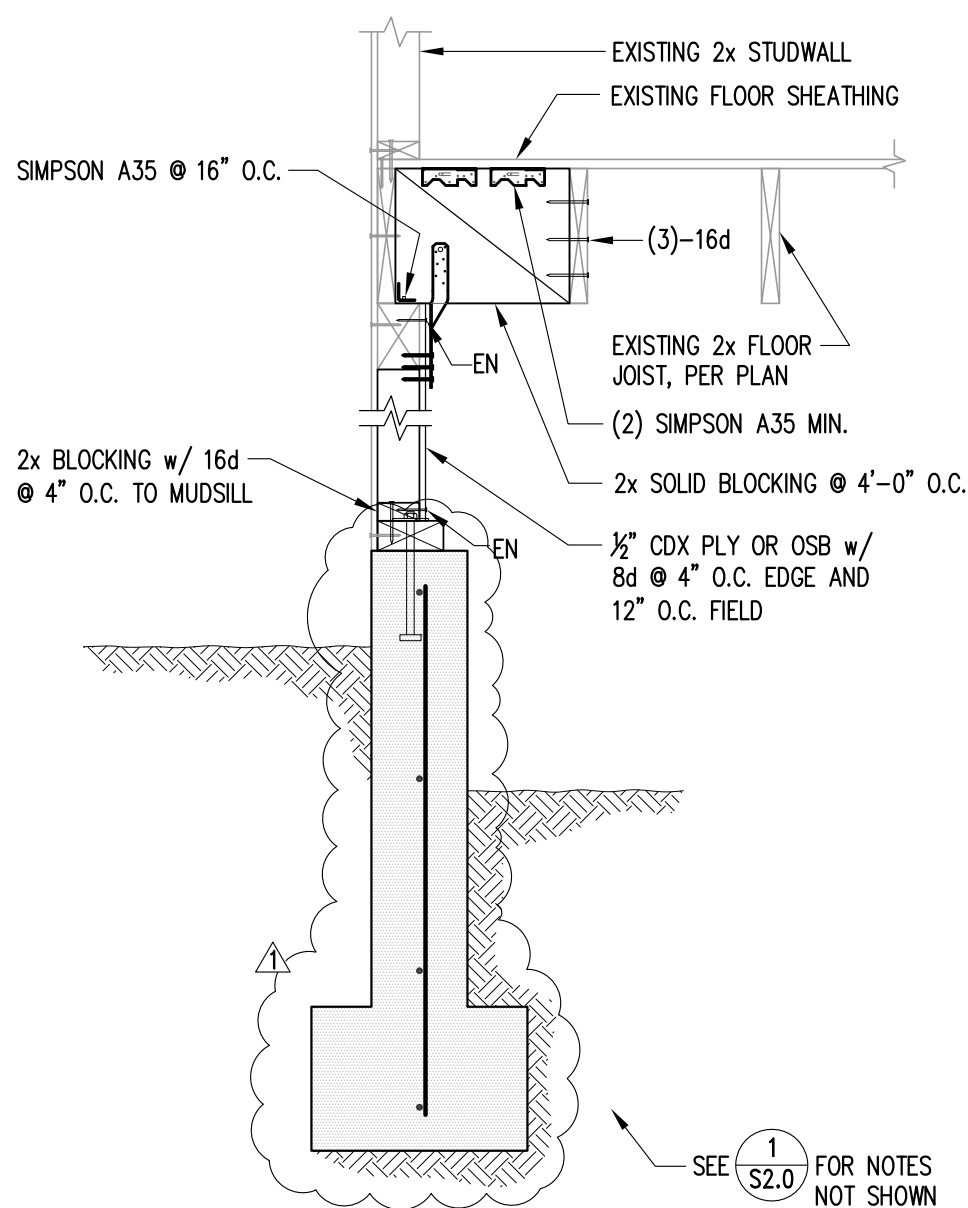
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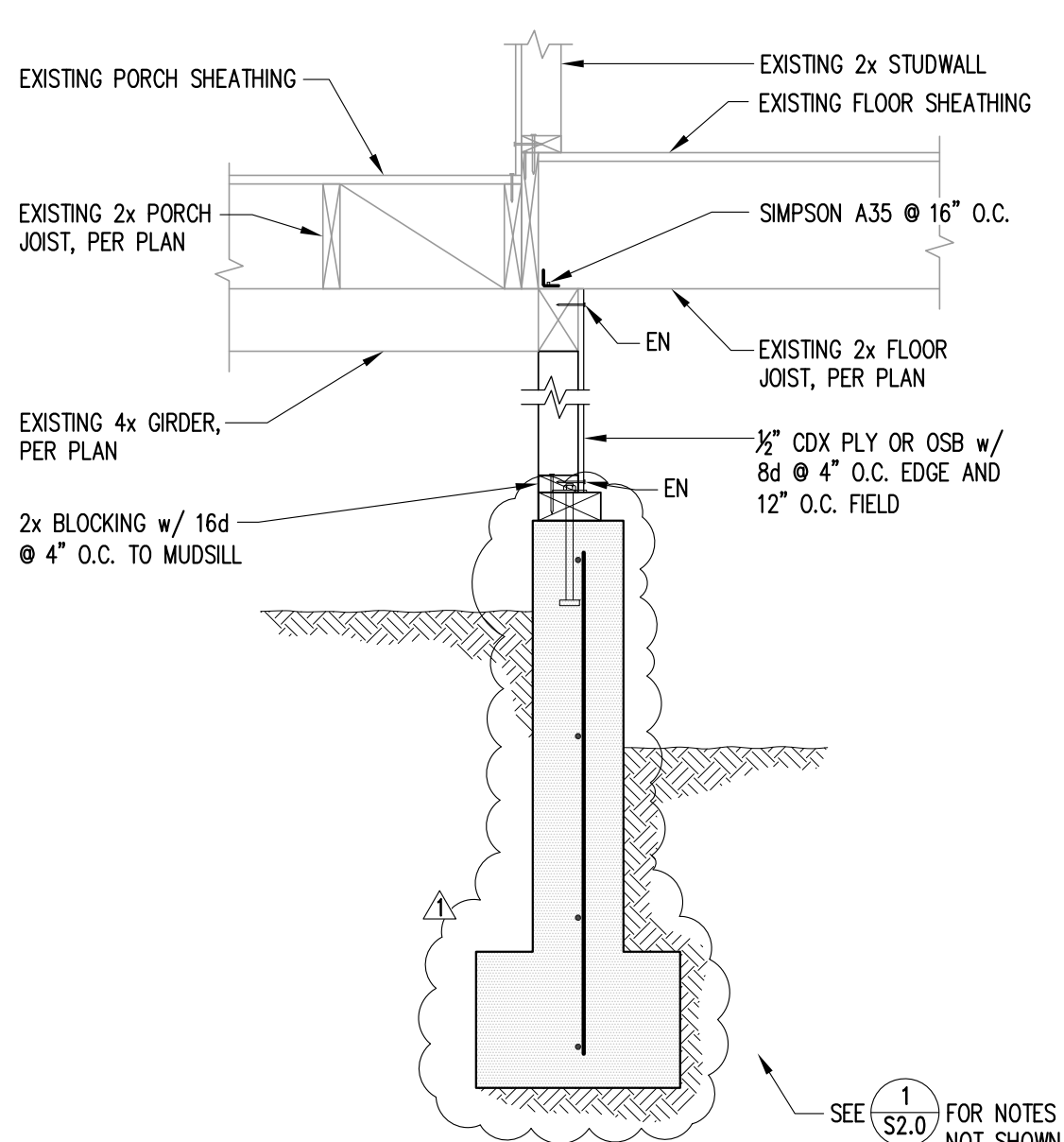
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SCALE: 3/4" = 1'-0"



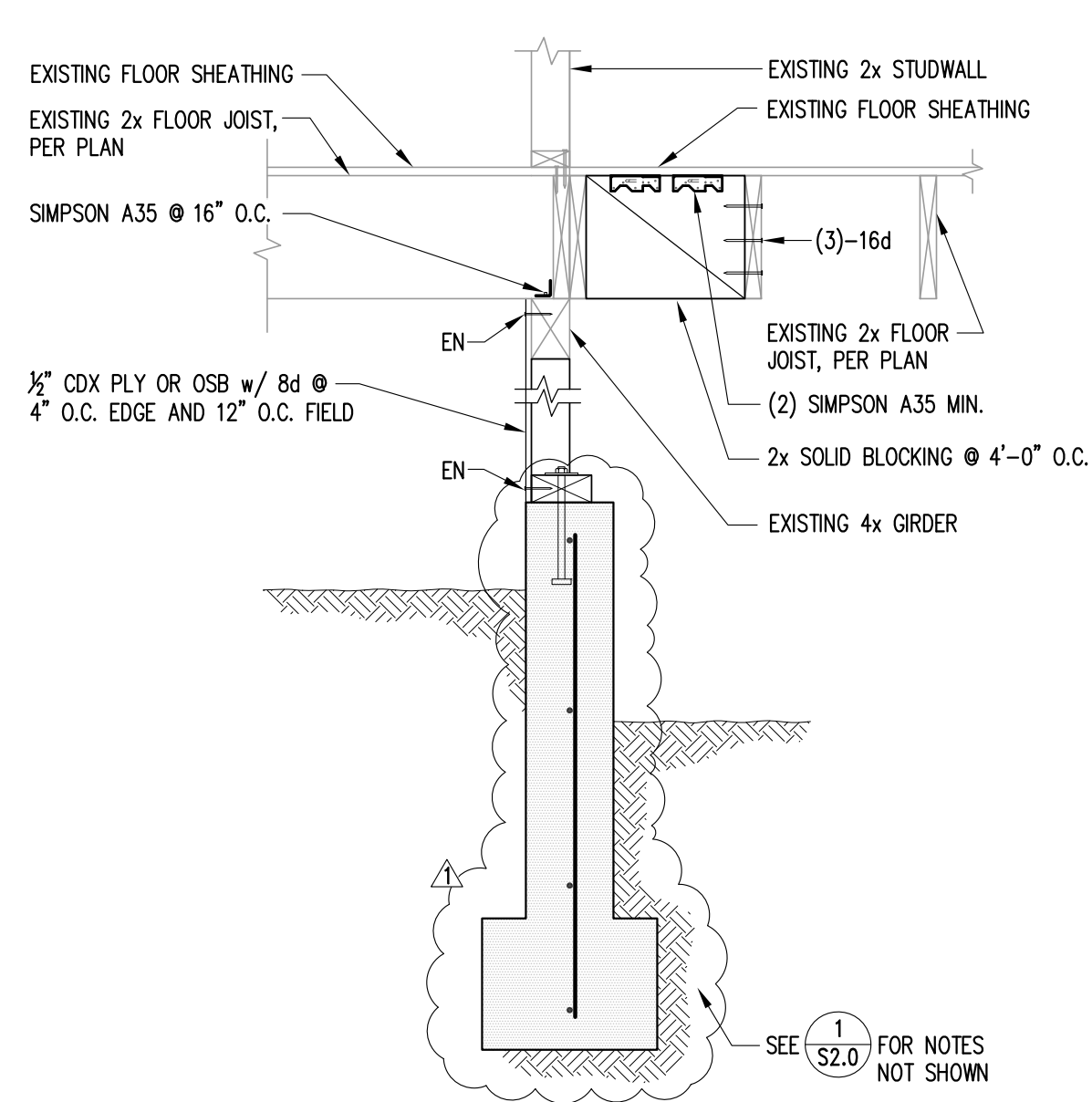
SECTION AT EXTERIOR FOOTING w/ CRIPPLE WALL-JOISTS PARALLEL

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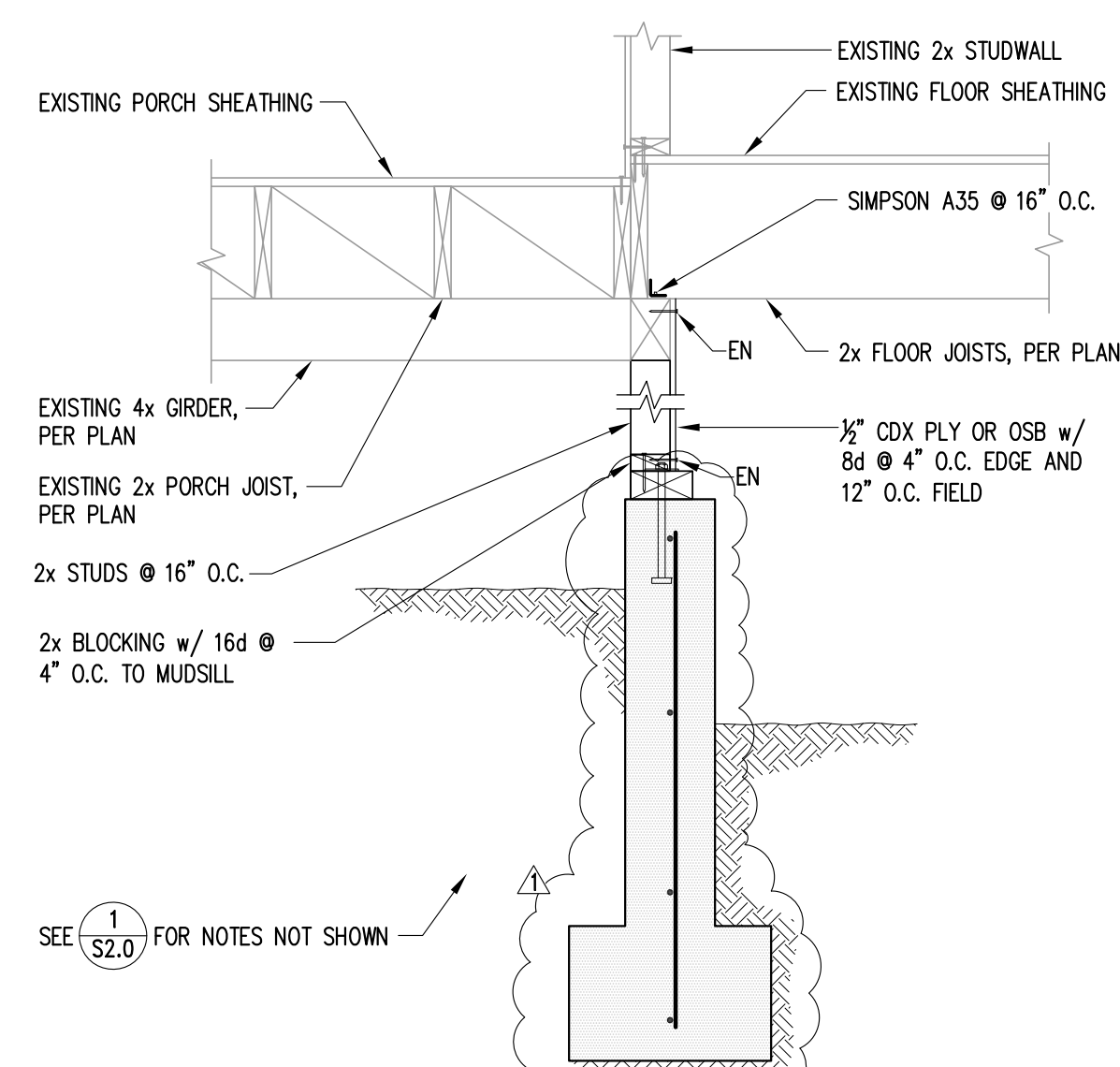
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SCALE: 3/4" = 1'-0"



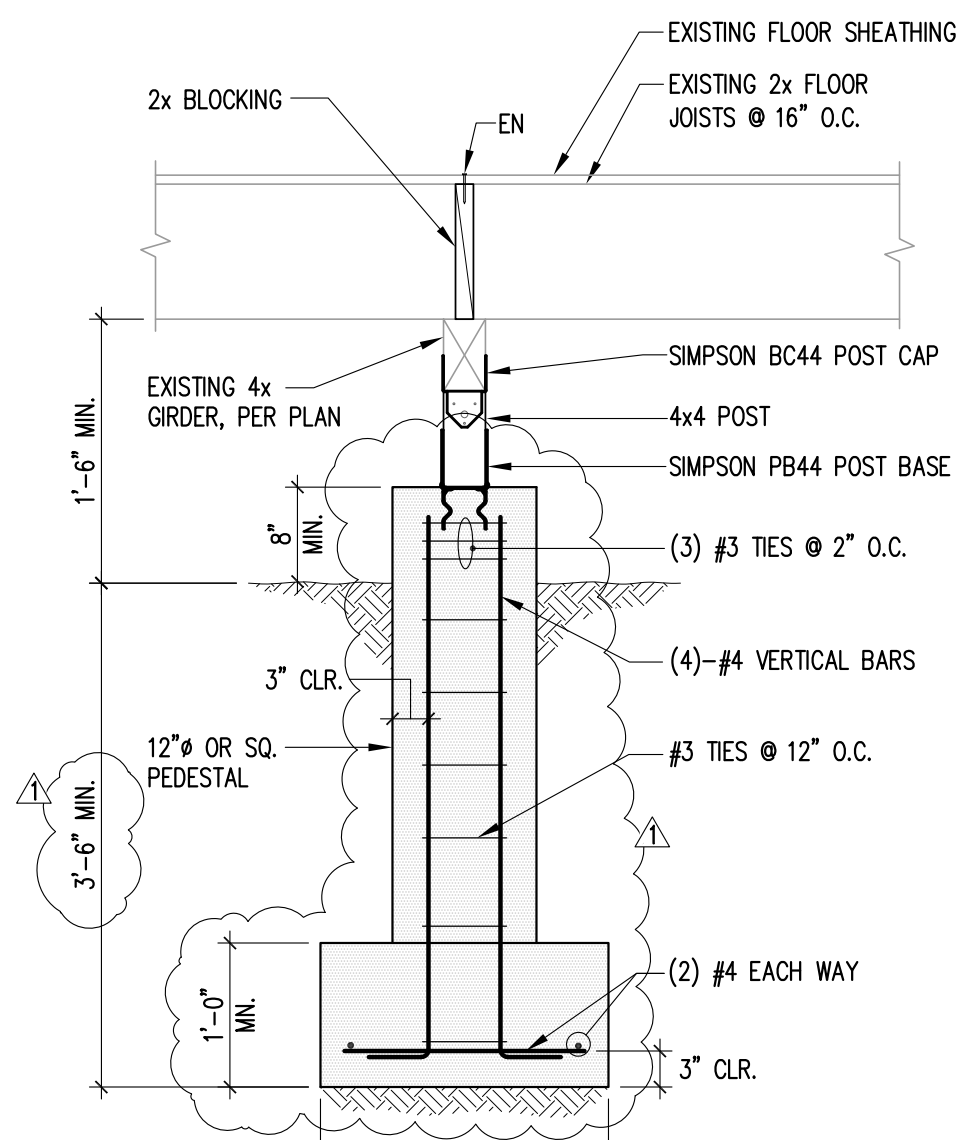
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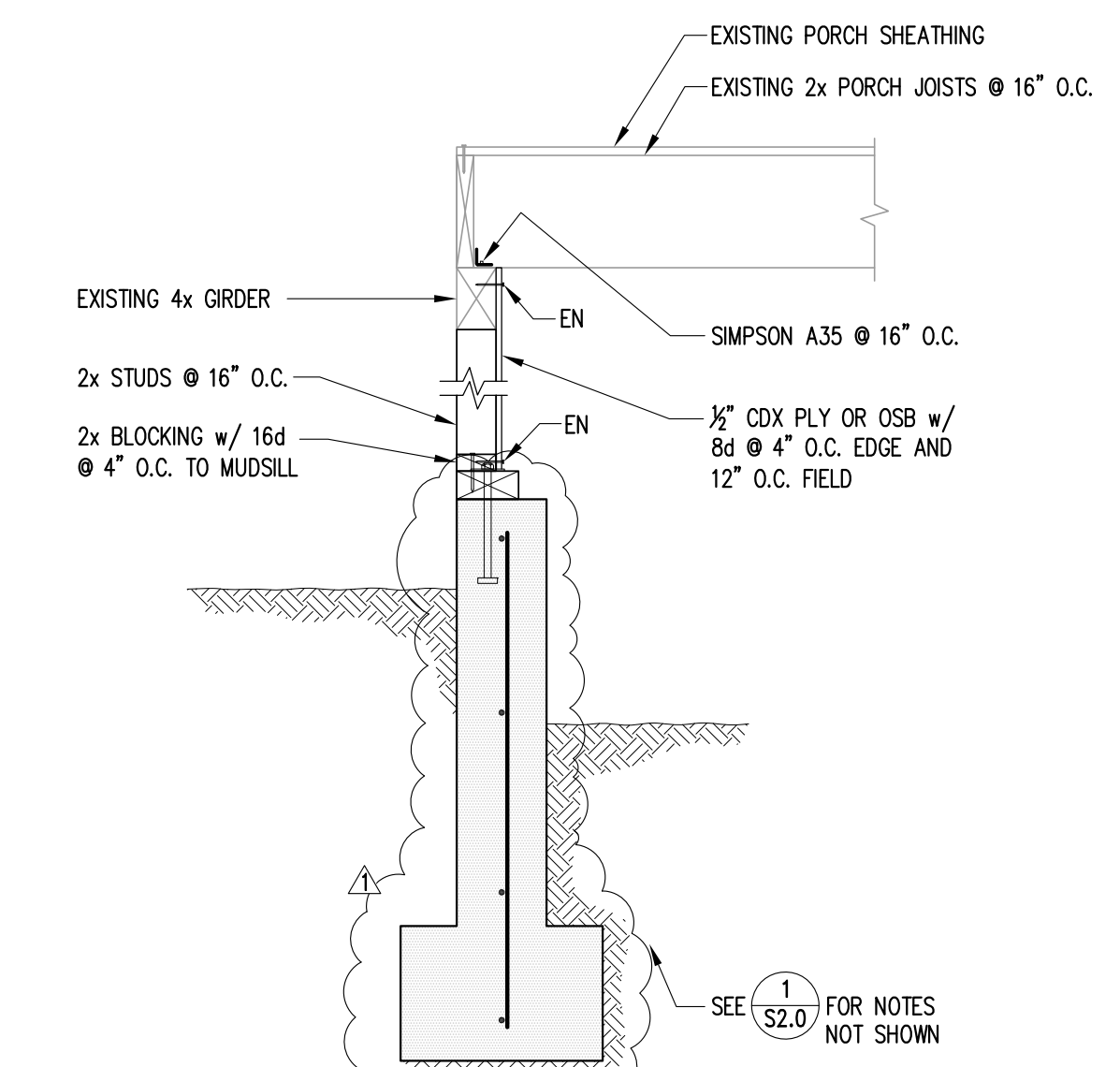
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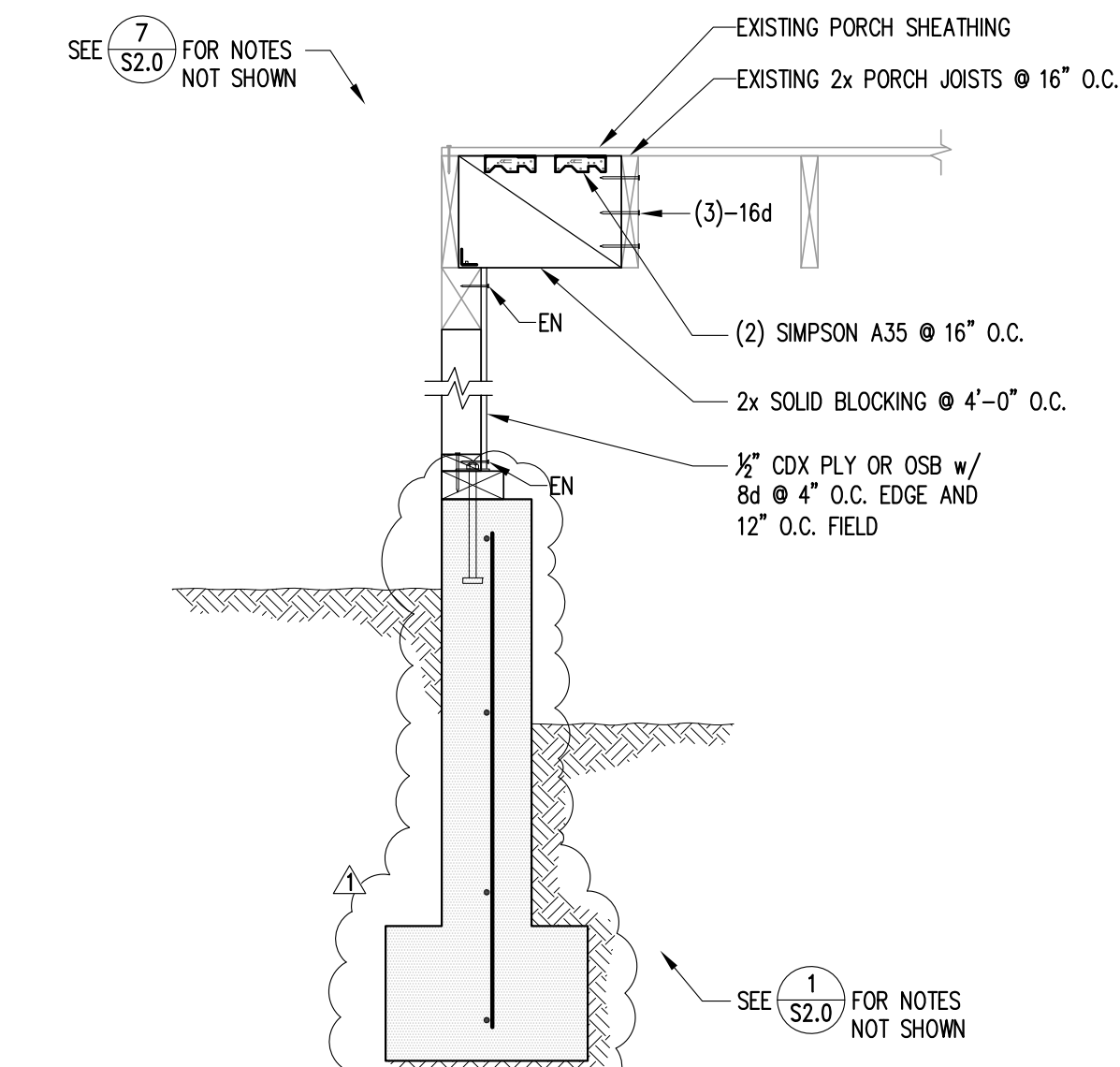
SECTION AT INTERIOR GIRDER AND POST

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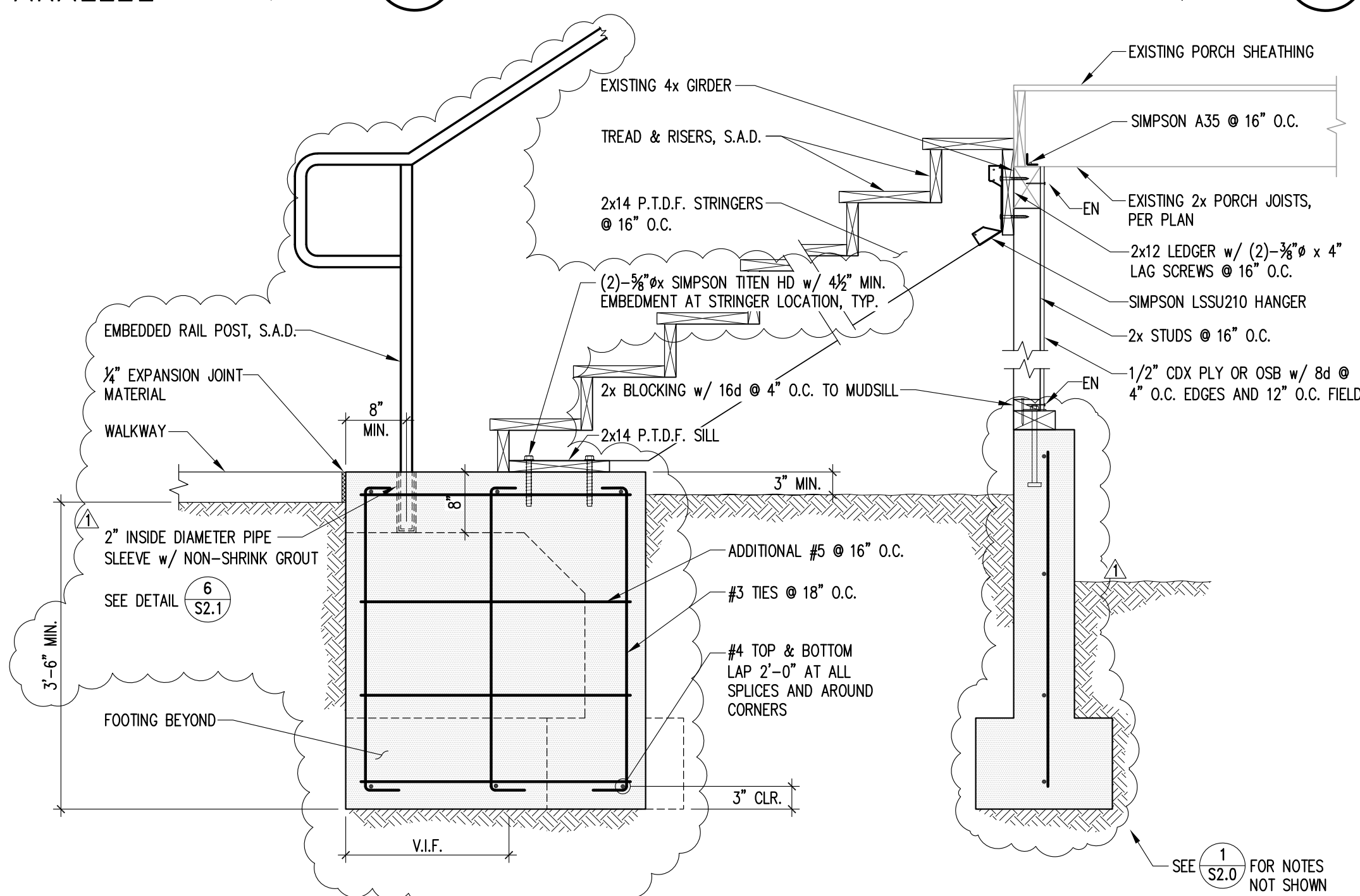
SECTION AT PORCH FOOTING w/ CRIPPLE WALL-JOISTS PERPENDICULAR

SCALE: 3/4" = 1'-0"



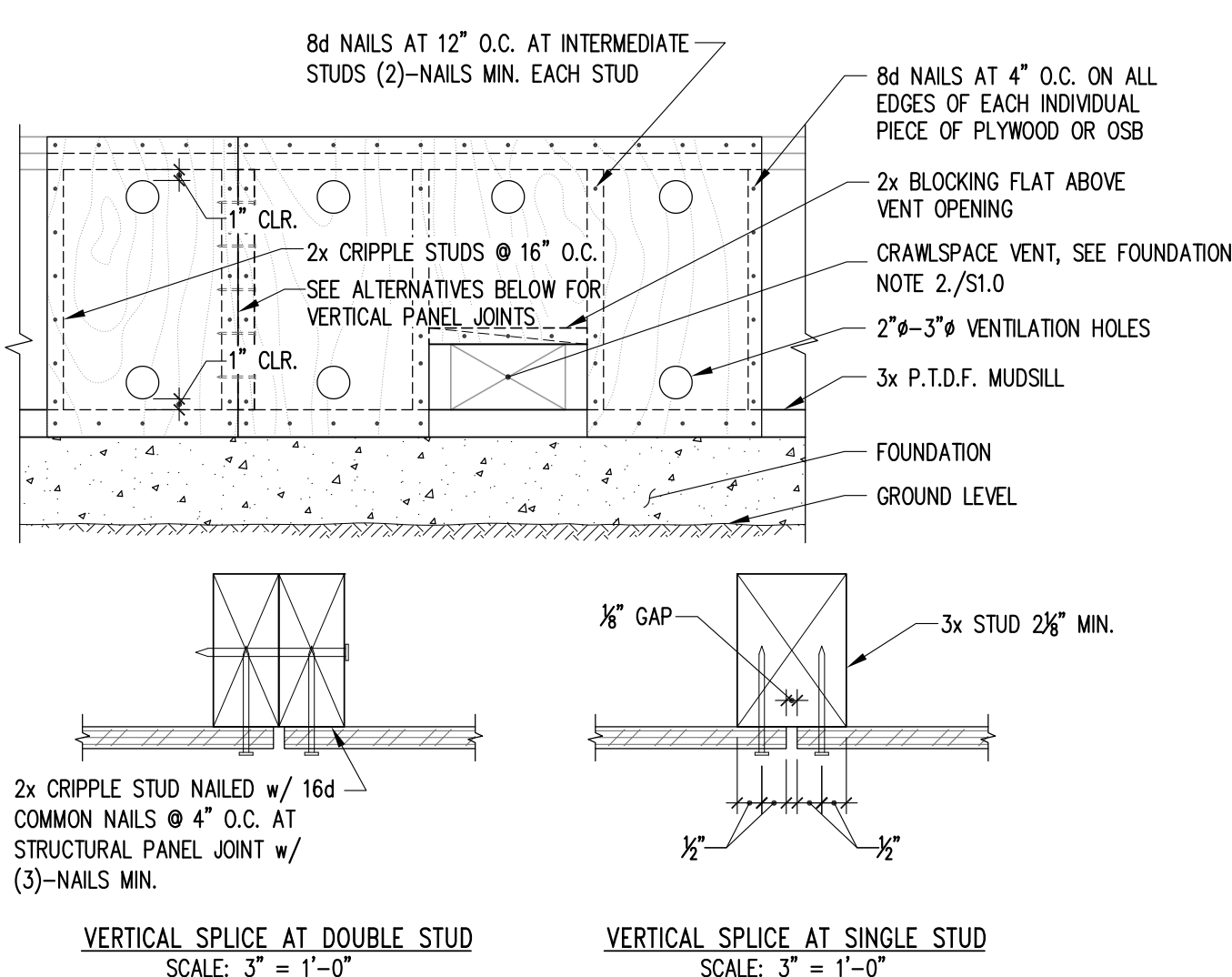
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SCALE: 3/4" = 1'-0"



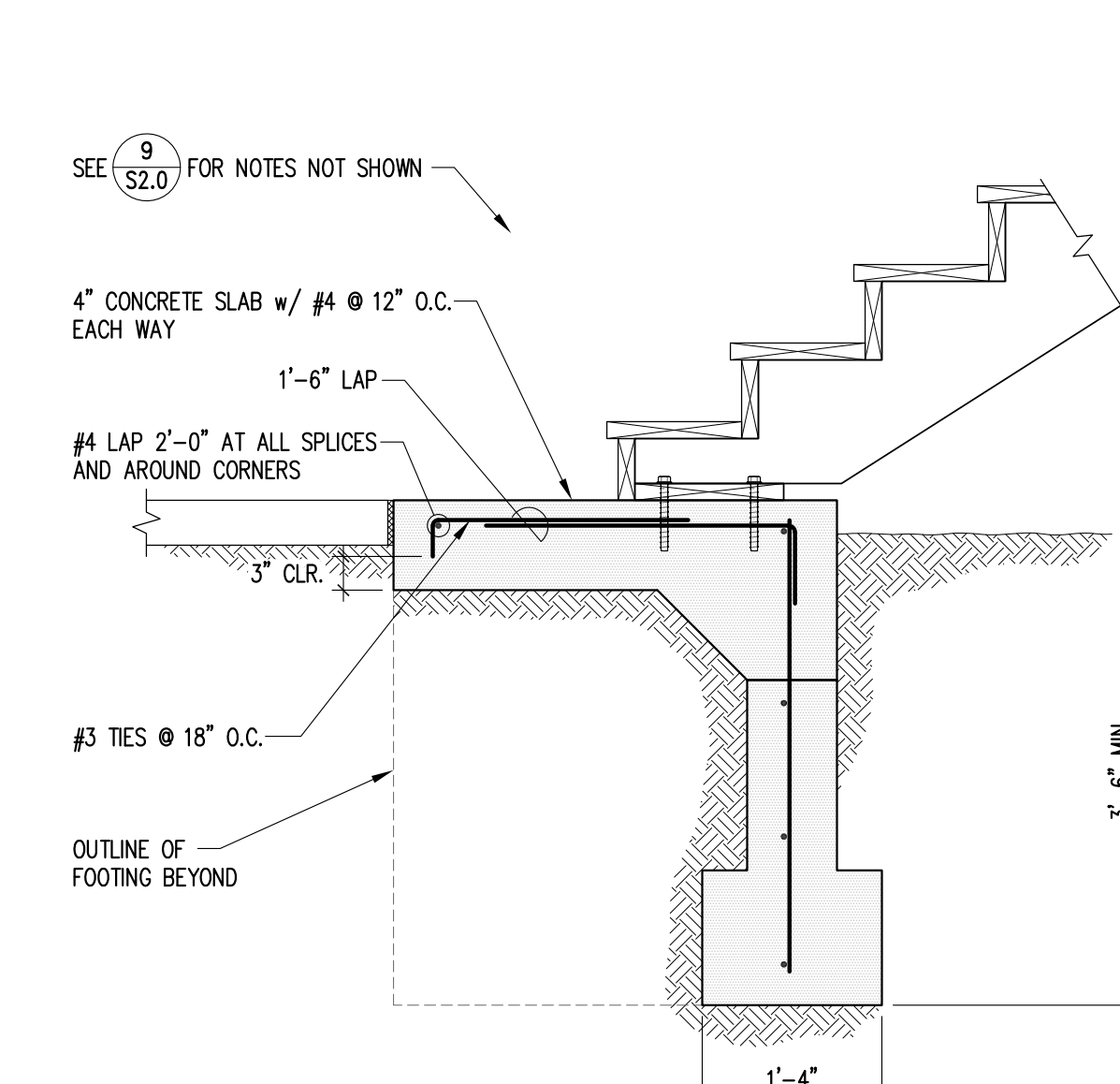
SECTION AT PORCH FOOTING w/ STAIRS

SCALE: 3/4" = 1'-0"



SECTION AT CRIPPLE WALL TYPICAL

SCALE: 3/4" = 1'-0"



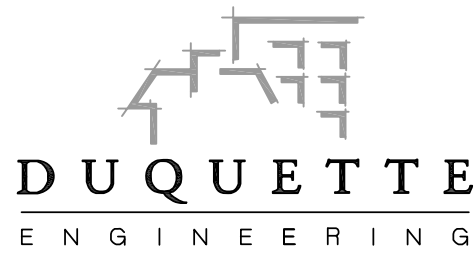
SECTION AT PORCH FOOTING

SCALE: 3/4" = 1'-0"



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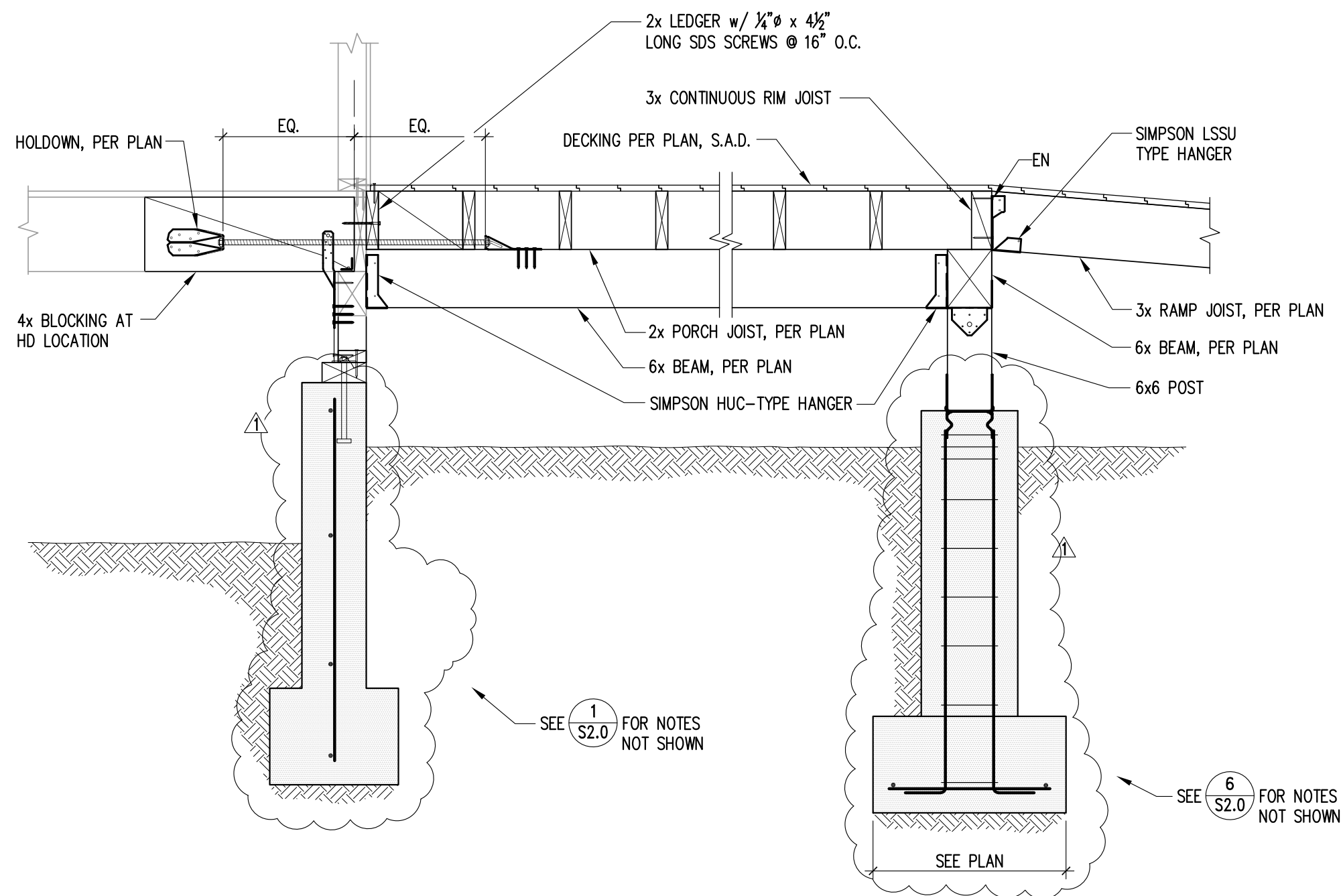


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RAMP FND DETAILS



SECTION AT RAMP PORCH

SCALE: 3/4" = 1'-0"

1

SECTION AT MID RAMP

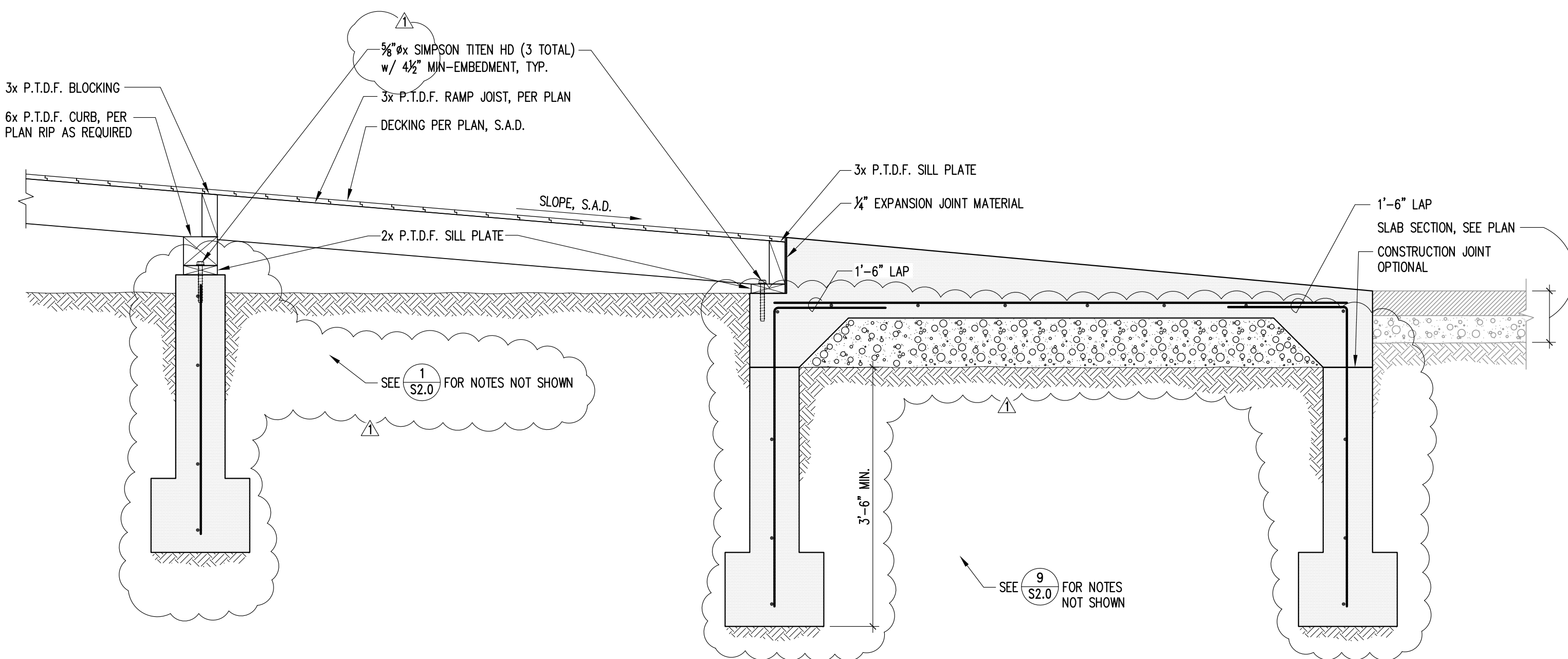
SCALE: 3/4" = 1'-0"

2

TYPICAL SECTION AT RAMP

SCALE: 3/4" = 1'-0"

3



SECTION AT LOWER RAMP

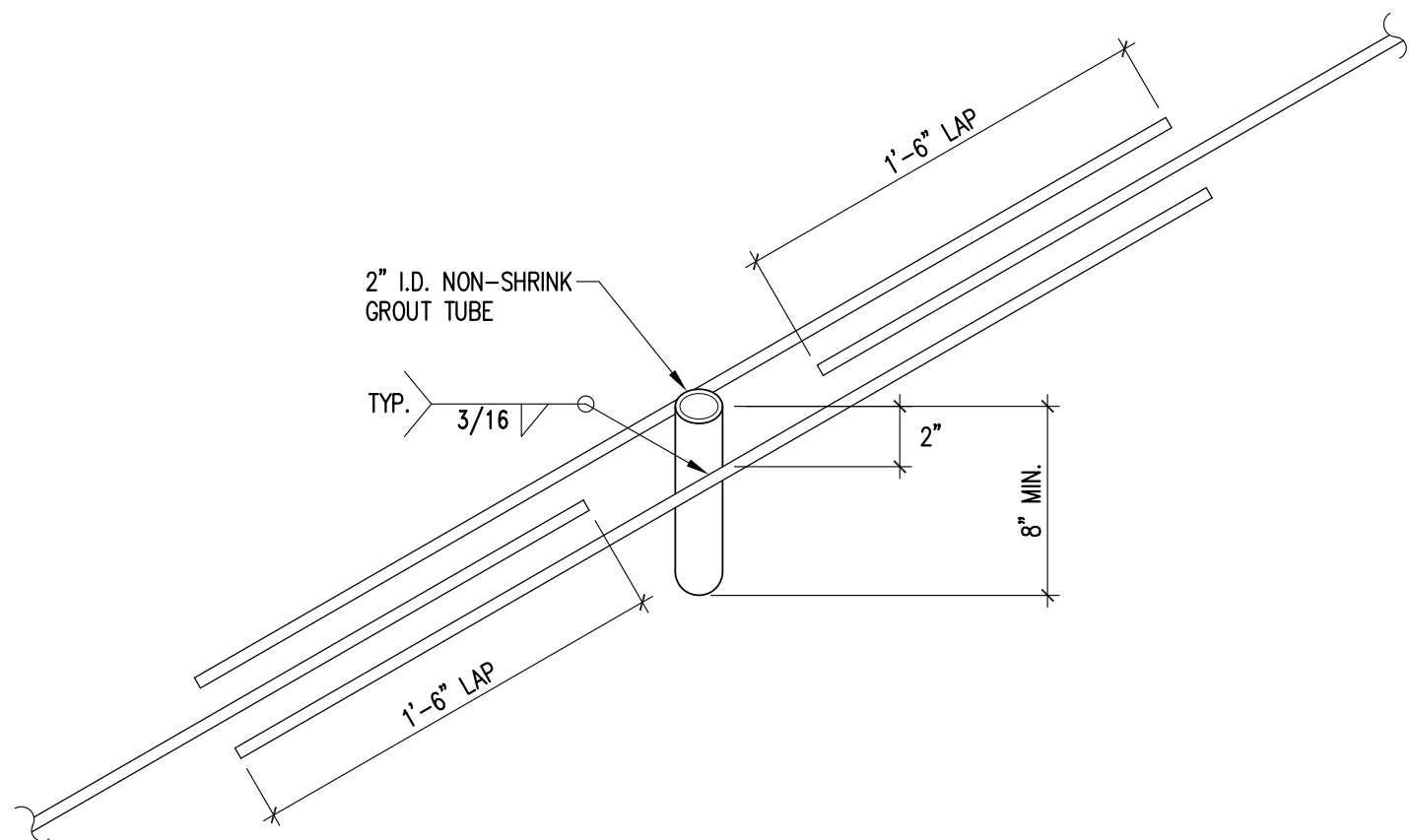
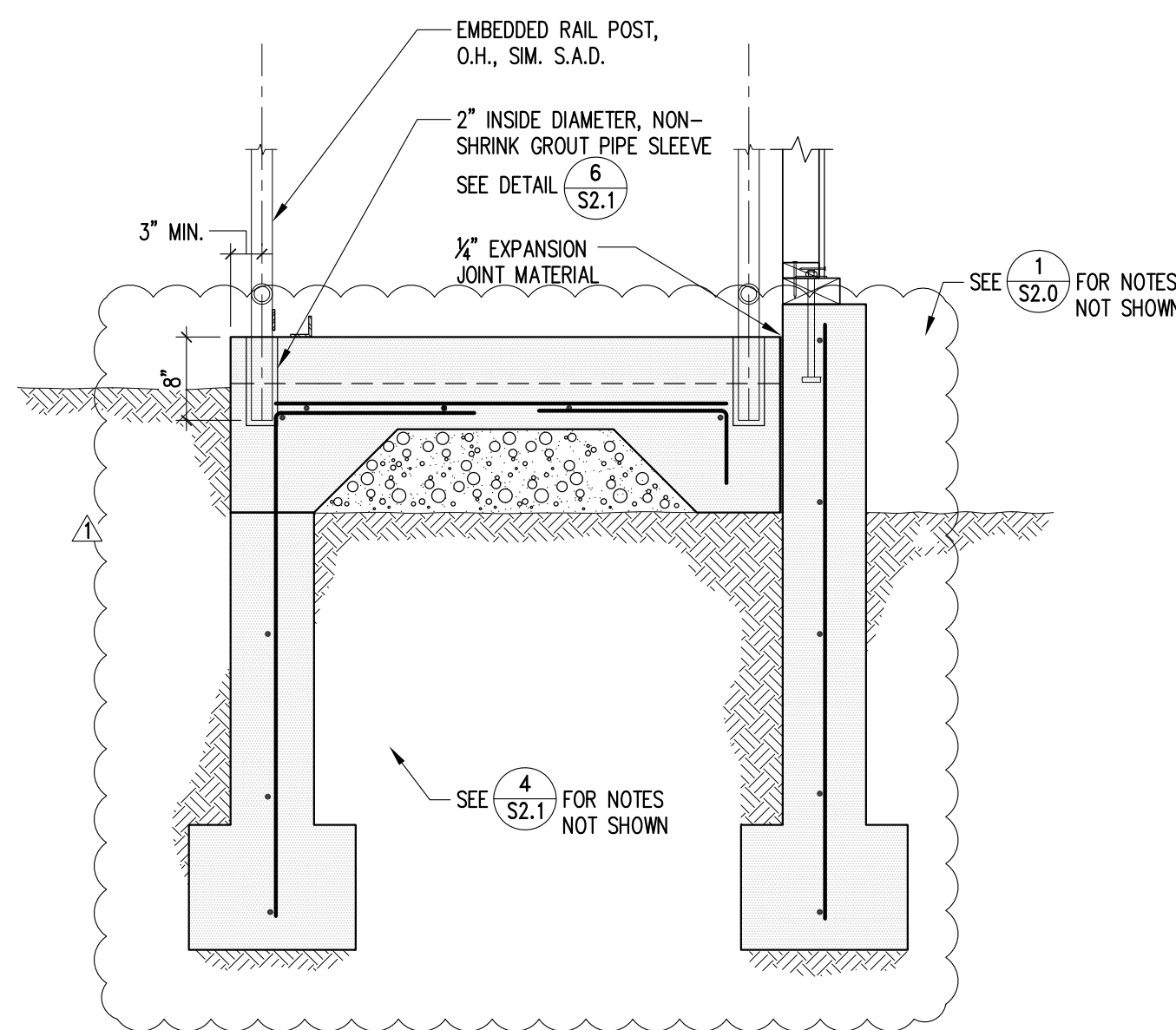
SCALE: 3/4" = 1'-0"

4

TYPICAL CROSS SECTION AT LOWER RAMP

SCALE: 3/4" = 1'-0"

5



PIPE SLEEVE DETAIL

SCALE: 1-1/2" = 1'-0"

6

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GENERAL PLUMBING NOTES

1. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS (C.C.R.), 2016 CPC.
2. ALL SYSTEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL APPLICABLE CITY, COUNTY, FEDERAL AND STATE CODES AND ORDINANCES, AND SHALL MEET ALL REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
3. DRAWINGS SHOWING THE LOCATIONS OF PLUMBING EQUIPMENT, PIPING, ETC. ARE DIAGRAMMATIC AND JOB CONDITIONS WILL NOT ALWAYS PERMIT THEIR INSTALLATION ON THE LOCATIONS SHOWN. THE PLUMBING DRAWINGS SHOW THE GENERAL ARRANGEMENTS OF EQUIPMENT, PIPING, ETC. AND SHALL BE FOLLOWED AS CLOSELY AS ACTUAL BUILDING CONSTRUCTION AND THE WORK OF OTHER TRADES WILL PERMIT. THE ARCHITECTURAL DRAWINGS SHALL BE PART OF THE WORK INSOFAR AS THESE DRAWINGS FURNISH THE CONTRACTOR WITH INFORMATION RELATING TO LOCATION OF FIXTURES AND EQUIPMENT AS WELL AS DESIGN AND CONSTRUCTION OF THE BUILDING. COORDINATE FIXTURES, EQUIPMENT, PIPE ROUGH-IN/CONNECTION LOCATIONS AND DRAIN LOCATIONS WITH ARCHITECTURAL DRAWINGS.
4. FURNISH AND INSTALL ANY INCIDENTAL WORK NOT SHOWN OR SPECIFIED WHICH ARE NECESSARY TO PROVIDE A COMPLETE AND WORKABLE SYSTEM.
5. PRIOR TO SUBMISSION OF BID, REVIEW FULL SET OF NEW CONSTRUCTION DRAWINGS (INCLUDING ALL OTHER TRADES). COORDINATE INSTALLATION OF PIPING, FIXTURES, EQUIPMENT AND THE LIKE BELOW AND ABOVE GRADE WITH STRUCTURAL COMPONENTS AND OTHER SYSTEMS INSTALLATION. INCLUDE ANY ADDITIONAL PIPE OFF-SETS THAT ARE NOT CURRENTLY SHOWN ON DRAWINGS BUT MAY BE REQUIRED TO CLEAR STRUCTURE, FINISHES OR WORK OF OTHER TRADES. NO EXTRA PAYMENT WILL BE ALLOWED FOR WORK RESULTING FROM LACK OF PROPER INITIAL APPRAISAL OF ENTIRE SCOPE OF WORK. SUBMIT REQUESTS FOR INFORMATION (RFIs) AS REQUIRED TO ANSWER ANY QUESTIONS THAT MAY ARISE DURING BIDDING PHASE. CLEARLY INDICATE SCOPE INCLUSION AND EXCLUSION IN BID.
6. FOR PLUMBING PIPING PENETRATING THRU, UNDER AND PARALLEL TO JOISTS, BEAMS AND FOOTINGS, SEE STRUCTURAL DETAILS. PIPE INSTALLATION OTHER THAN SHOWN ON STRUCTURAL DETAILS SHALL BE APPROVED BY THE STRUCTURAL ENGINEER.
7. CONDITIONS SHOW ON THE PLANS RELATIVE TO THE WORK TO BE PERFORMED ARE BASED ON THE BEST INFORMATION AVAILABLE AND SUBJECT TO VERIFICATION. VERIFY LOCATIONS AND ELEVATIONS OF UTILITIES TO BE CROSSED OR CONNECTED. CORRECT DEFICIENCIES CAUSED BY FAILURE TO PERFORM SUCH VERIFICATIONS AT NO EXPENSE TO OWNER. IMMEDIATELY NOTIFY ARCHITECT AND ENGINEER OF CONDITION IN CONFLICT WITH THE DETAILS/PLANS.
8. LOCATE VALVES FOR SERVICE ACCESSIBILITY. VALVES INSTALLED ABOVE CEILING SHALL BE WITHIN 18" OF CEILING.
9. SEE PLUMBING FIXTURE SCHEDULE FOR PIPE CONNECTION SIZES.
10. SANITARY SEWER AND STORM/OVERFLOW PIPING LESS THAN 4 INCHES SLOPE AT 2% AND 4 INCHES AND ABOVE AT 1% SLOPE.
11. ALL PLUMBING EQUIPMENT SHALL BE SECURELY FASTENED TO THE BUILDING STRUCTURES.
12. WHERE MAIN PIPE SIZE IS NOT INDICATED BETWEEN BRANCH CONNECTIONS ON THE DRAWING, THE PIPE SIZE SHALL BE OF THE PRECEDING PIPE SIZE.
13. ALL VALVES AND ACCESSORIES SHALL BE FULL LINE SIZE. PROVIDE ALL NECESSARY UNIONS, REDUCERS AND STOPS AS REQUIRED WHEN CONNECTING TO EACH FIXTURE AND/OR EQUIPMENT.
14. KEEP ALL PLUMBING PIPING AS HIGH AS POSSIBLE TO THE STRUCTURE ABOVE AND OFFSET PIPING AS REQUIRED.
15. INSTALL ACCESS PANELS IN ALL NON-ACCESSIBLE CEILINGS AND WALLS FOR VALVES AND OTHER MAINTENANCE ITEMS. REFER TO ARCHITECTURAL PLANS FOR TYPES OF CEILINGS AND WALLS. INSTALL SECURITY ACCESS PANELS IN SECURITY CEILINGS AND WALLS. INSTALL FIRE RATED ACCESS PANELS IN FIRE RATED CEILINGS AND WALLS. SEE SPECIFICATIONS. ALL ACCESS PANEL/DOOR LOCATIONS SHALL BE APPROVED BY THE ARCHITECT. OFFSET PLUMBING PIPING AND ACCESSORIES AS REQUIRED.
16. CLOSELY COORDINATE WORK WITH ALL TRADES.
17. FOR ANY CONFLICT IN THE DRAWINGS AND/OR SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL APPLY. ANY SUCH CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER FOR RESOLUTION PRIOR TO THE CONSTRUCTION OF SUCH ITEMS.
18. CHANGES IN THE DIRECTION OF DRAINAGE FLOW SHALL BE PER CALIFORNIA PLUMBING CODE.
19. ALL SANITARY VENTS SHALL TERMINATE AT LEAST 6" ABOVE ROOF AND AT LEAST 12" FROM ANY VERTICAL SURFACE. PROVIDE MINIMUM 10' CLEARANCE FROM VENT TERMINATIONS TO OUTSIDE AIR INLETS OR OPENINGS IN THE BUILDING.
20. PROVIDE INSULATION ON HW AND HWR PIPING AS REQUIRED BY CALIFORNIA ENERGY CODES.

ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS APPLY

Ø	DIAMETER	MA	MIXED AIR
AC	AIR CONDITIONING	MAX	MAXIMUM
AFF	ABOVE FINISHED FLOOR	MBH	THOUSAND BTU PER HOUR
AMP	AMPERE	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MIN	MINIMUM
BDD	BACKDRAFT DAMPERS	MSV	MANUAL SHUT-OFF VALVE
BHP	BRAKE HORSEPOWER	(N)	NEW
BLDG	BUILDING	N/A	NOT APPLICABLE
BTU	BRITISH THERMAL UNIT	NIC	NOT IN CONTRACT
BTUH	BRITISH THERMAL UNIT PER HOUR	NO	NUMBER OR NORMALLY OPEN
CD	CONDENSATE DRAIN	NTS	NOT TO SCALE
CFM	CUBIC FEET PER MINUTE	OAT	OUTSIDE AIR TEMPERATURE
CL	CENTER LINE	OBD	OPOSED BLADE DAMPER
CLG	CEILING	OC	ON CENTER
DBT	DRY BULB TEMPERATURE	OD	OUTSIDE DIMENSION
DN	DOWN	OSA	OUTSIDE AIR
DSD	DUCT MOUNTED SMOKE DETECTOR	PH	PHASE
(E)	EXISTING	PLBG	PLUMBING
EA	EXHAUST AIR	POC	POINT OF CONNECTION
EAT	ENTERING AIR TEMPERATURE	POD	POINT OF DEMOLITION
EER	ENERGY EFFICIENCY RATIO	PS	PUMPED SEWER PIPE
ELEC	ELECTRICAL	RA	RETURN AIR
EQV	EARTHQUAKE SHUT-OFF VALVE	REQ'D	REQUIRED
ESP	EXTERNAL STATIC PRESSURE (IN WG)	REV	REVISION
EWT	ENTERING WATER TEMPERATURE	RPM	REVOLUTIONS PER MINUTE
F	FAHRENHEIT	SA	SUPPLY AIR
FA	FACE AREA	SD	SMOKE DAMPER
FLA	FULL LOAD AMPS	SEER	SEASONAL ENERGY EFFICIENCY RATIO
FD	FIRE DAMPER	SGV	SOLENOID GAS VALVE
FPM	FEET PER MINUTE	SP	STATIC PRESSURE
FSD	FIRE/SMOKE DAMPER	SQ.FT.	SQARE FEET
FT	FEET	STRUCT	STRUCTURAL
GAL	GALLONS	SWV	SOLENOID WATER VALVE
GALV	GALVENIZED	TA	TRANSFER AIR
GS	GREASE SEWER	TCP	TEMPERATURE CONTROL PANEL
HD	PIPE HEAD	TEMP	TEMPERATURE
HP	HORSEPOWER	TOD	TOP OF DUCT
HVAC	HEATING VENTILATING AND AC	TP	TRAP PRIMER
HZ	HERTZ	TYP	TYPICAL
ID	INSIDE DIAMETER	UC	UNDERCUT
IN.	INCH	UF	UNDERFLOOR
IN. W.G.	INCHES WATER GAGE (PRESSURE)	UG	UNDERGROUND
KW	KILOWATT	US	UNDERSLAB
LAT	LEAVING AIR TEMPERATURE	UON	UNLESS OTHERWISE NOTED
LBS	POUNDS	VEL	VELOCITY
LF	LINEAR FEET	WT	WEIGHT

APPLICABLE CODES

1. 2016 BUILDING STANDARD ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
2. 2016 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.;
3. 2016 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.;
4. 2016 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.;
5. 2016 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.;
6. 2016 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.;
7. 2016 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24, C.C.R.;
8. 2016 CALIFORNIA "GREEN" BUILDING REQUIREMENTS, PART 11, TITLE 24 C.C.R. (PENDING ADOPTION)
9. 2016 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLE 24 C.C.R
10. 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R.
11. TITLE 19, CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
12. REFERENCE CODE SECTION FOR NFPA STANDARDS - CBC(SFM) 3504.1
13. TITLE 24 C.C.R. ACCESSIBILITY STANDARDS
14. AMERICAN WITH DISABILITIES ACT (A.D.A., ADAAG) FEDERAL ACCESSIBILITY STANDARDS

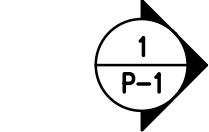
SCOPE OF WORK

DEMOLITION SCOPE OF WORK:
DISCONNECT (E) COLD WATER, SANITARY SEWER AND GAS MAINS FROM (E) BUILDING JUST OUTSIDE BUILDING. CAP (E) PIPE AND CREATE STUBS FROM BUILDING FOR RECONNECTION AT NEW SITE. CAP (E) CW & G PIPE MAINS AT METERS AND CAP (E) SS MAINS BELOW GRADE FOR FUTURE RECONNECTION AS SHOWN.

NEW SCOPE OF WORK:
RECONNECT NEW COLD WATER, SANITARY SEWER AND GAS MAINS TO (E) BUILDING MAIN AFTER RELOCATION OF BUILDING TO NEW SITE AS SHOWN. RECONNECTION AND ROUTING OF NEW PIPE MAINS TO (E) FROM (E) BUILDING PIPE STUBS SHALL BE PROVIDED UNDER CIVIL SCOPE OF WORK. PROPOSED RECONNECTION LOCATIONS ARE AT (E) RESTROOM FOR SS, AT (E) GAS AND WATER METERS AT THE EXISTING COURT HOUSE FOR GAS AND WATER.

SYMBOLS

NOTE: NOT ALL ABBREVIATIONS APPLY



SECTION NUMBER
DRAWING NUMBER

	PIPING OF TYPE INDICATED ABOVE FLOOR OR ABOVE GRADE
	PIPING OF TYPE INDICATED BELOW FLOOR OR BELOW GRADE
	DEMOLISHED PIPING
	CW COLD WATER SUPPLY
	HW HOT WATER SUPPLY
	HWR HOT WATER RECIRCULATING
	SS, W, S SANITARY SEWER, WASTE OR SOIL
	V SANITARY VENT
	CD, OCD CONDENSATE DRAIN, OVERFLOW CONDENSATE DRAIN
	G NATURAL GAS
	FCO, GCO FLOOR CLEANOUT OR GRADE CLEANOUT
	WALL CLEANOUT
	PIPE BREAK
	PIPE RISER UP (ELBOW)
	PIPE RISER DOWN (ELBOW)
	HB HOSE BIBB
	BV BALL VALVE
	PLUMBING FIXTURE IDENTIFICATION
	REFERENCE NOTE
	GAS MAIN SHUTOFF VALVE
	AQUASTAT
	WATER SHUTOFF VALVE

SHEET INDEX

P1.01	PLUMBING TITLE SHEET
P1.01	PLUMBING DEMOLITION PLAN
P2.01	PLUMBING PLAN



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PLUMBING

TITLE SHEET

PROJ. NO. 2016 - 105

SCALE

DATE OCTOBER 20, 2017

PHASE PERMIT SET

DRAWN HC

CHECKED RL

NO. DATE REVISION

SHEET NO.

P-0.01

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FLOOR PLAN
PLUMBING
DEMOLITION

PROJ. NO. 2016 - 105
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GENERAL SHEET NOTES:

1. DRAWING IS DIAGRAMMATIC AND SHOWS THE GENERAL DESIGN INTENT. FIELD VERIFICATION OF EXISTING CONDITIONS IS REQUIRED PRIOR AND DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND CLARIFIED PRIOR TO CONTINUATION OF WORK.

(E) SS FROM BUILDING TO REMAIN FOR RECONNECTION TO NEW, (FIELD VERIFY EXACT LOCATION AND SIZES)

(E) SS TO REMAIN & CAP FOR FUTURE, (FIELD VERIFY EXACT LOCATION AND SIZES)

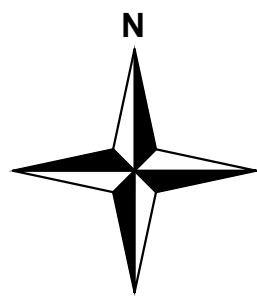
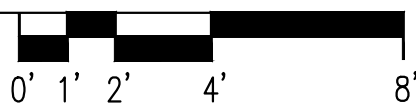
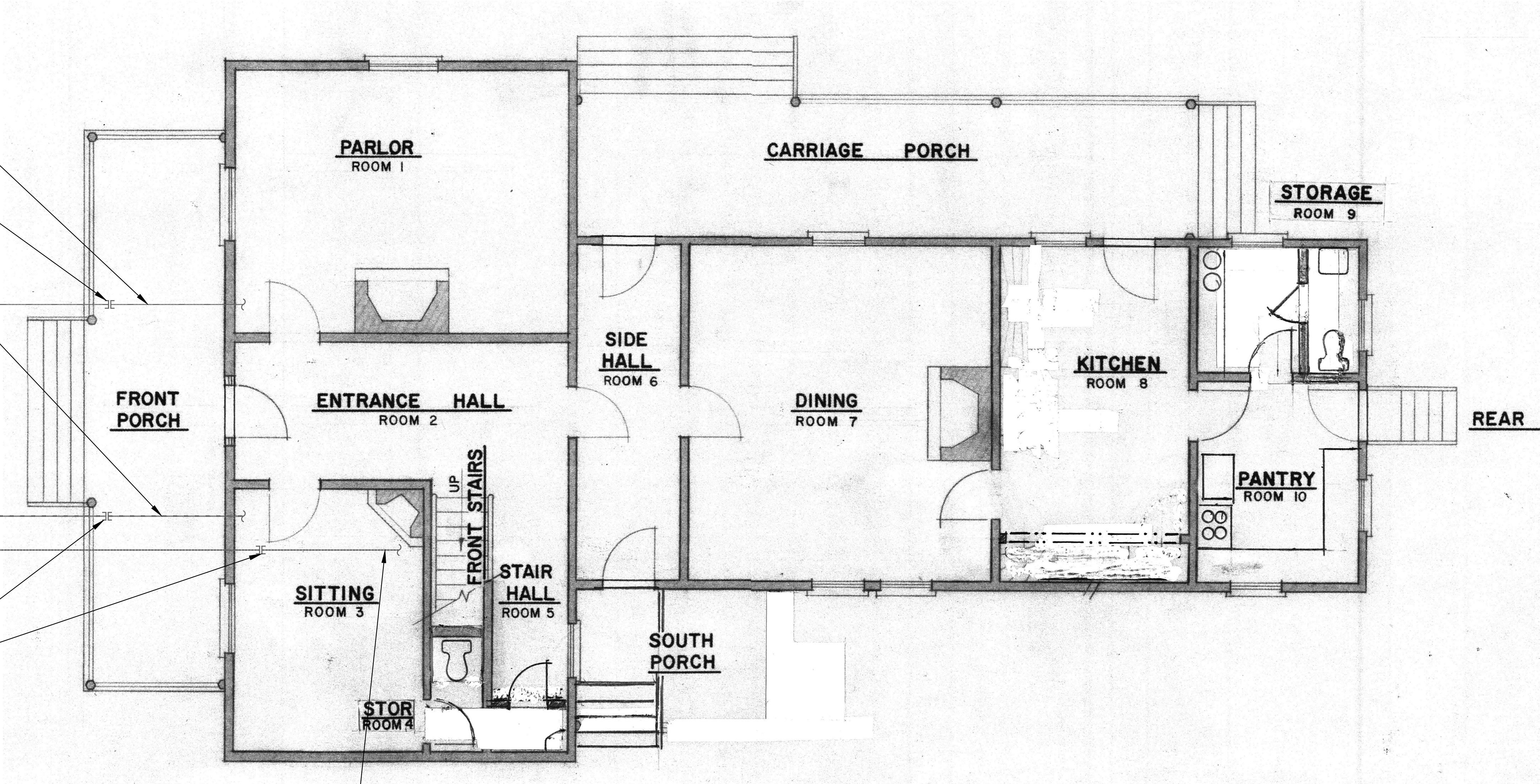
(E) CW FROM BUILDING TO REMAIN FOR RECONNECTION TO NEW, (FIELD VERIFY EXACT LOCATION AND SIZES)

(E) CW & WATER METER TO REMAIN & CAP FOR FUTURE, (FIELD VERIFY EXACT LOCATION AND SIZES)

(E) G & GAS METER TO REMAIN & CAP FOR FUTURE, (FIELD VERIFY EXACT LOCATION AND SIZES)

DISCONNECT (E) PIPING & CAP ENDS, TYP FOR G, CW & IRRIGATION PIPES (FIELD VERIFY EXACT LOCATION AND SIZES)

(E) G FROM BUILDING TO REMAIN FOR RECONNECTION TO NEW, (FIELD VERIFY EXACT LOCATION AND SIZES)





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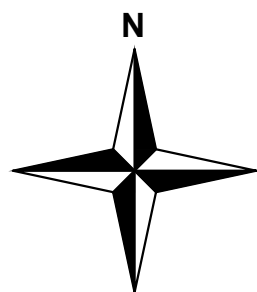
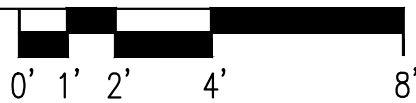
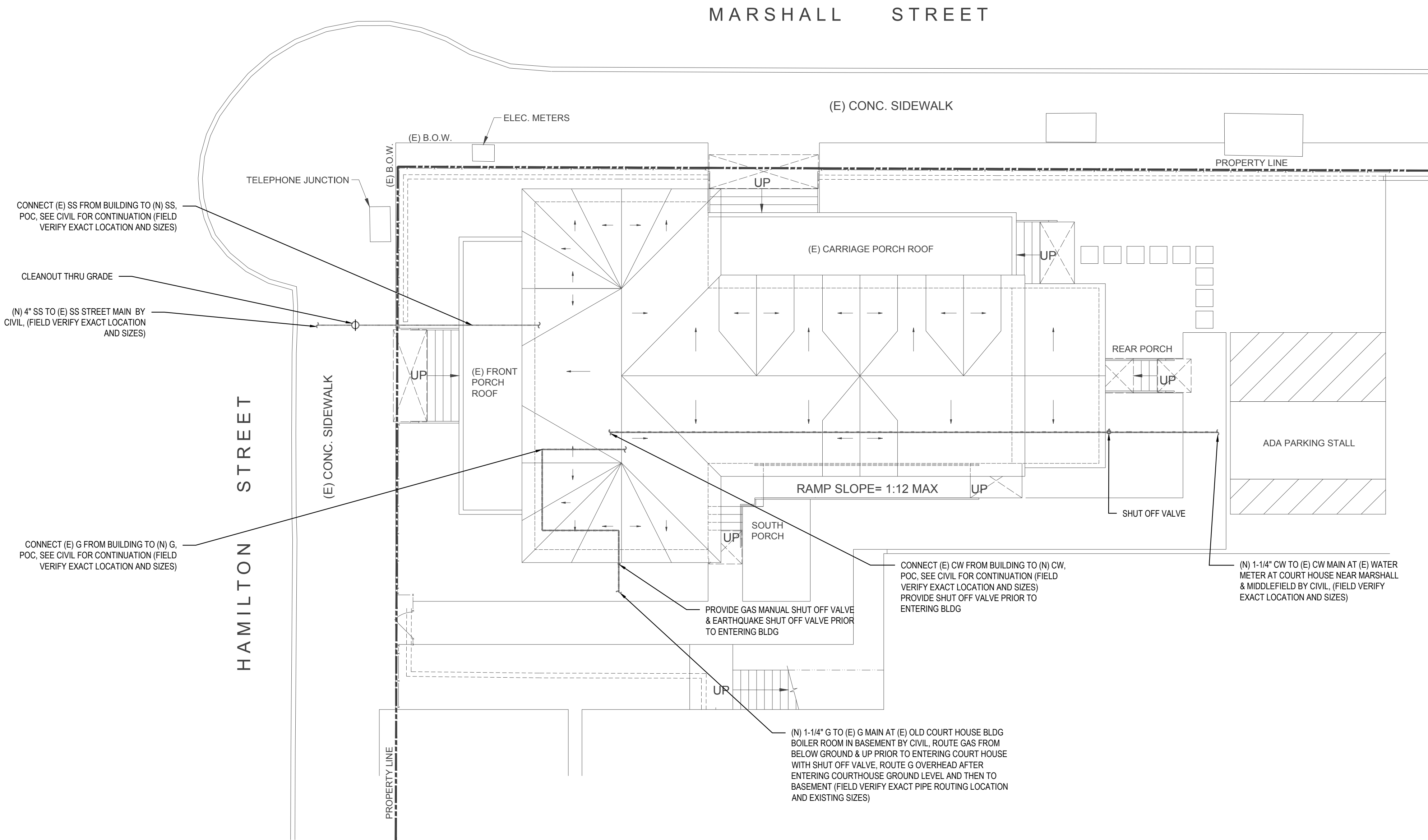
FLOOR PLAN
PLUMBING PLAN

PROJ. NO. 2016 - 105
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 2. PIPING FROM 5' OUTSIDE BUILDING SHALL BE PROVIDED UNDER THE CIVIL'S SCOPE OF WORK.
 3. NEW SANITARY SEWER SHALL BE CONNECTED TO (E) STREET MAIN WITH A NEW SERVICE FROM HAMILTON STREET. NEW COLD WATER SHALL BE CONNECTED TO (E) WATER METER AT EXISTING COURT HOUSE NEAR MARSHALL & MIDDLEFIELD STREET. NEW GAS SHALL BE CONNECTED TO (E) GAS MAIN IN THE BOILER ROOM OF THE EXISTING OLD COURT HOUSE. (FIELD VERIFY EXISTING)



GENERAL ELECTRICAL NOTES

1. ALL WORK IS TO BE PERFORMED IN STRICT COMPLIANCE WITH THE NATIONAL ELECTRIC CODE, STATE LAWS, AND ALL OTHER REGULATIONS GOVERNING WORK OF THIS NATURE.
2. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE EXISTING JOB CONDITION. HE SHALL EXAMINE CONSTRUCTION DRAWINGS AND SPECIFICATIONS AND SHALL HAVE HAD VISITED THE CONSTRUCTION SITE, PRIOR TO SUBMITTING HIS BID PROPOSAL. HE SHALL BE FAMILIAR WITH THE EXISTING CONDITIONS UNDER WHICH HE WILL HAVE TO OPERATE AND WHICH WILL IN ANY WAY AFFECT THE WORK UNDER THIS CONTRACT. NO SUBSEQUENT ALLOWANCE WILL BE MADE IN THIS CONNECTION IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART. DETERMINE THE SEQUENCE OF CONSTRUCTION THROUGHOUT THE PROJECT, INCLUDING TEMPORARY FACILITIES AND CONNECTIONS REQUIRED FOR THE DURATION OF THE PROJECT.
3. THE CONTRACTOR SHALL SECURE ALL PERMITS OR APPLICATIONS, AND PAY ANY AND ALL FEES AS REQUIRED.
4. EXISTING ARCHITECTURAL SURFACES DISTURBED DURING CONSTRUCTION SHALL BE PATCHED AND PAINTED TO MATCH EXISTING.
5. WORK SHOWN IN THESE PLANS ARE NEW, UON. INSTALLATION SHALL BE CONCEALED. WHERE NOT POSSIBLE, CONTRACTOR SHALL OBTAIN APPROVAL FROM ARCHITECT AND ENGINEER FOR EXPOSED INSTALLATION. A WRITTEN APPROVAL IS REQUIRED. USE SURFACE RACEWAYS, WIREMOLD, OR EQUAL. ALL ELECTRIC MATERIALS, DEVICES, AND EQUIPMENT FOR THE PROJECT SHALL BE NEW AND U.L. APPROVED
6. ALL CONDUIT SHALL BE 3/4" MINIMUM. ALL CONDUIT SHALL BE RUN PARALLEL TO EXISTING SURFACES. WHEN CONDUIT CROSSES CORRIDORS OR ROOMS IT SHALL BE DONE PERPENDICULAR TO WALLS.
7. SEAL ALL CONDUIT PENETRATIONS THROUGH FIRE RATED WALLS. FURNISH AND INSTALL FIRE RATED BACKBOXES AS REQUIRED TO MAINTAIN FIRE RATING OF CEILING OR WALLS WHERE RECESSED ELECTRIC EQUIPMENT SUCH AS LIGHT FIXTURES, SWITCHES, RECEPTACLES, PANEL, ETC. ARE INSTALLED IN RATED WALL OR CEILINGS. PENETRATIONS OF FIRE RATED WALLS, CEILINGS, OR FLOORS SHALL COMPLY WITH CBC CHAPTER 7 REQUIREMENTS. IN WALLS AND PARTITIONS THAT ARE FOR FIRE RESISTIVE CONSTRUCTION, OPENINGS FOR STEEL ELECTRICAL OUTLET BOXES SHALL NOT EXCEED 16 SQUARES INCHES. IN ADDITION, THE AGGREGATE AREA OF SUCH OPENING SHALL NOT EXCEED 100 SQ IN FOR ANY 100 SQUARE FEET OF WALL OR PARTITION. OUTLET BOXES ON OPPOSITE SIDES OF THE WALLS OR PARTITION SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF AT LEAST 24 INCHES, OR BE PROVIDED WITH FIRE PUTTY.
8. ALL NEW WIRING SHALL BE IN CONDUIT. COORDINATE ROUTING OF CONDUIT WITH ARCHITECT AND STRUCTURAL FOR OPENINGS IN WALLS AND ANY NOTCHING OF JOISTS.
9. THE ELECTRICAL PLANS ARE SCHEMATIC IN NATURE AND ARE NOT INTENDED TO SHOW ALL OF THE ARCHITECTURAL DETAILS OR SPECIFICS OF ELECTRICAL CONSTRUCTION. TAKE ALL DIMENSIONS FROM THE ARCHITECTURAL DRAWINGS. BEFORE ROUGH-IN, VERIFY ALL MOUNTING HEIGHTS AND EXACT LOCATIONS FOR ALL EQUIPMENT ELECTRICAL CONNECTIONS, STUB-UPS, RECEPTACLES, OUTLETS, CONDUIT RUNS, ETC. WITH ARCHITECT AND OWNER. PLACE DEVICES LOCATED ABOVE COUNTERS, SHELVING, ETC. AND IN BATHROOMS SO AS NOT TO CONFLICT WITH EDGES OF WAINSCOTING, COUNTER SPLASH, SHELVING, ETC. ARCHITECTURAL SHEETS SHALL GOVERN. SEE ELECTRICAL SECTION OF ARCHITECTURAL SPECIFICATION FOR ADDITIONAL INFORMATION.
10. PULLROPES: ANY RACEWAY WITHOUT CABLE OR WIRE SHALL BE INSTALLED WITH MINIMUM 200 POUND TEST PULL LINE AND LARGER.
11. ALL DEVICES AND EQUIPMENT INSTALLED OUTDOORS OR EXPOSED TO THE WEATHER SHALL BE OF WEATHERPROOF CONSTRUCTION. ALL WALL PENETRATIONS TO EXTERIOR WALLS SHALL BE SEALED WATER TIGHT.
12. ALL EQUIPMENT SHALL BE LISTED AND LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY AND SHALL BE INSTALLED AS PER LISTING OR LABELING (IE. MAXIMUM FUSE SIZE MEANS FUSE PROTECTION IS REQUIRED).
13. ALL EQUIPMENT MANUFACTURERS SHALL BE NOTED IN DRAWINGS. SUBSTITUTIONS ARE PERMITTED BUT MUST BE APPROVED EQUAL.
14. CONNECTIONS TO MECHANICAL EQUIPMENT SHALL BE MADE WITH A MINIMUM OF 24" OF WEATHERPROOF FLEXIBLE CONDUIT TO PREVENT SOUND AND VIBRATION TRANSMISSION TO THE STRUCTURE. COORDINATE ALL MOTOR OVERLOADS AND/OR FUSES FURNISHED BY THIS CONTRACT WITH THE ACTUAL EQUIPMENT INSTALLED. SIZE OVERLOADS BASED ON MOTOR NAMEPLATE FULL LOAD CURRENT AND SERVICE FACTOR. FUSES FOR MOTOR AND TRANSFORMER CIRCUITS SHALL BE DUAL ELEMENT. FUSES FOR OTHER "NON-INRUSH" LOADS SHALL BE FAST ACTING. ALL FUSES SHALL BE CURRENT LIMITING CLASS RK5 OR CLASS L, UON. CONTRACTOR SHALL COORDINATE WITH ALL TRADES FOR MANUFACTURER INSTALLATION REQUIREMENTS.
15. SEE MECHANICAL AND PLUMBING DRAWINGS FOR LOCATION OF FANS AND WATER HEATERS.
16. ALL ELECTRICAL WORK SHALL BE COORDINATED WITH THE MECHANICAL WORK AS CALLED FOR IN MECHANICAL SPECIFICATIONS.
17. GROUNDING CONDUCTORS ARE GENERALLY NOT SHOWN. GROUND AND BOND ALL EQUIPMENT, RACEWAYS, MOTORS, PANELBOARDS AND SWITCHBOARDS, ETC. IN ACCORDANCE WITH NEC ARTICLE 250.
18. FIELD MOUNTED DEVICES SUCH AS SWITCHES, MOTOR STARTERS, RECEPTACLES, ETC., ARE SHOWN IN THEIR APPROXIMATE LOCATION. SWITCH MOUNTING HEIGHT SHALL BE 48" ABOVE FINISHED FLOOR AND RECEPTACLE MOUNTING HEIGHT SHALL BE 18" ABOVE FINISHED FLOOR. CONTRACTOR SHALL COORDINATE WITH ALL TRADES FOR MANUFACTURER INSTALLATION REQUIREMENTS.
19. ELECTRICAL CONTRACTOR TO PROVIDE EXPANSION FITTINGS AT ALL EXPANSION JOINT LOCATION. USE STEEL FLEX 6 FEET EACH SIDE OF THE JOINT AND TERMINATE IN A PULLBOX AT EACH END, OR OTHER APPLIED METHODS.
20. ALL LIGHTING FIXTURE LOCATIONS AND ROUTING SHALL BE REVIEWED BY ARCHITECT PRIOR TO ROUGH-IN.
21. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED TO MAINTAIN A MINIMUM OF 36" CLEARANCE PER NEC ARTICLE 110.26.
22. PENETRATIONS OF FIRE RATED WALLS CEILINGS OR FLOORS SHALL COMPLY WITH CBC CHAPTER 7 REQUIREMENTS.
23. WHERE OUTLET BOXES ARE INSTALLED WITHIN RATED ASSEMBLIES, PROVIDE 3M MOLDABLE PUTTY PADS OR EQUAL TO MAINTAIN FIRE RATED ASSEMBLIES.
24. ALL RECEPTACLES SHALL BE GROUNDING TYPE.
25. ALL RECEPTACLES INSTALLED IN BATHROOMS AND KITCHENS SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION AS REQUIRED BY THE NATIONAL ELECTRIC CODE.
26. CONTRACTOR TO CONFIRM EXACT LOCATION OF METERS WITH ELECTRIC UTILITY.
27. SUBMIT TO THE OWNER CERTIFICATES OF INSPECTIONS IN DUPLICATE FROM AN APPROVED INSPECTION AGENCY UPON COMPLETION.
28. PERFORMANCE AND WITNESSING OF TESTS

A. THE CONTRACTOR SHALL FURNISH ALL INSTRUMENTS AND QUALIFIED PERSONNEL OR FIRM TO PERFORM ALL REQUIRED TESTS.

B. ALL NEW AND RECONNECTED ELECTRICAL CIRCUIT SHALL BE TESTED TO INSURE CIRCUIT CONTINUITY, INSULATION RESISTANCE, PROPER SPLICING AND GROUNDING IN ACCORDANCE WITH THE LATEST STANDARDS AS STATED ABOVE. BEFORE CONNECTING POWER CABLES TO MOTORS, THE INSULATION RESISTANCE OF ALL MOTOR WINDINGS SHALL BE TESTED IN ACCORDANCE WITH THE ABOVE STANDARDS.

C. ANY CONTRACTOR FURNISHED AND/OR INSTALLED SPLICE, RECOMMENDED VOLTAGE AND INSULATION RESISTANCE TESTS, SHALL BE CONNECTED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.

D. NO EQUIPMENT SHALL BE ENERGIZED UNTIL ALL TESTS AND ADJUSTMENTS HAVE BEEN MADE.

E. THREE COPIES OF ALL TEST RESULTS SHALL BE DELIVERED TO THE OWNER.

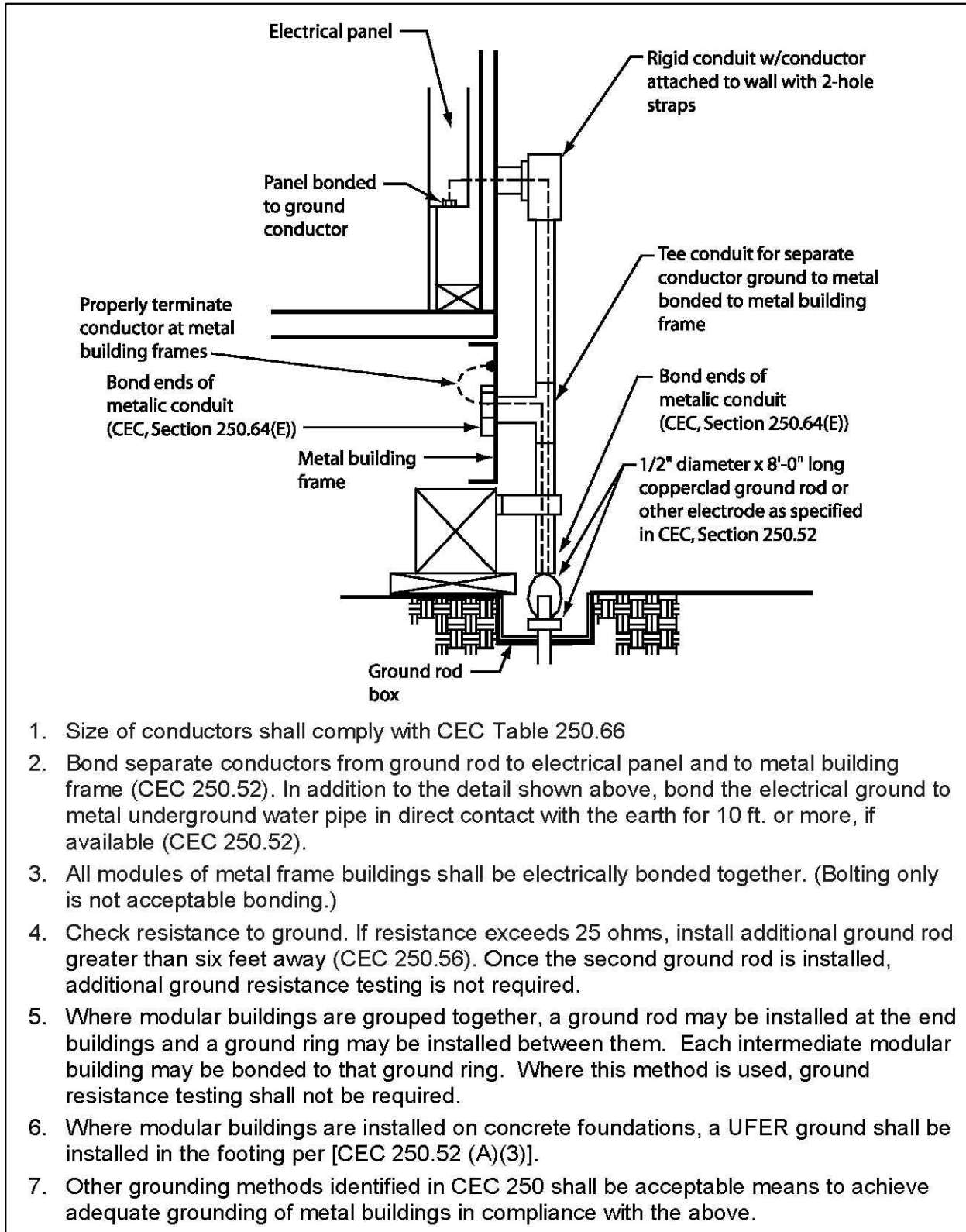
ABBREVIATIONS

A	AMPERE	N	NEUTRAL
AC	ALTERNATING CURRENT	(N)	NEW
AF	AMPERE RATING OF FUSE	NIC	NOT IN CONTRACT
AFF	ABOVE FINISHED FLOOR	N.E.C.	NATIONAL ELECTRICAL CODE
C	CONDUIT	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
CKT	CIRCUIT	NEUT	NEUTRAL
D	DEDICATED	NIC	NOT IN CONTRACT
E	EXISTING TO REMAIN	NTS	NOT TO SCALE
ELEC	ELECTRICAL	PB	PULL BOX
EM	EMERGENCY	PNL	PANEL
EMT	ELECTRICAL METALLIC TUBING	POS	POINT OF SALE
<F>	FUTURE	RR	REMOVE AND RELOCATE
FACP	FIRE ALARM CONTROL PANEL	RSC	RIGID STEEL CONDUIT
FATC	FIRE ALARM TERMINAL CAN	SLD	SINGLE LINE DIAGRAM SPEC SPECIFICATION
G	GROUNDING CONDUCTOR	T	TELEPHONE
GFI	GROUND FAULT INTERRUPTER	TV	TELEVISION
GND	GROUND	UG	UNDERGROUND
HP	HORSEPOWER	UAC	UNDER ANOTHER CONTRACT
kVA	KILOVOLT AMPS	UON	UNLESS OTHERWISE NOTED
kW	KILOWATTS	V	VOLT
LTG	LIGHTING	VP	VANDAL PROOF
LTS	LIGHTS	W	WATTS
LV	LOW VOLTAGE	WP	WEATHERPROOF (NEMA 3R)
MECH	MECHANICAL	WT	WATERTIGHT
MTD	MOUNTED	XFMR	TRANSFORMER
MV	MEDIUM VOLTAGE		

SYMBOLS

	DEMOLITION WORK
	BRANCH CIRCUIT WIRING IN CONDUIT CONCEALED IN CEILING OR WALL
	BRANCH CIRCUIT WIRING IN CONDUIT CONCEALED UNDER FLOOR OR UNDERGROUND
	DUPLEX RECEPTACLE 20A, 125V, 3WG, NEMA 5-20R, +15" (UON) (WP=GFCI AND WEATHERPROOF WITH IN-USE COVER, D=DEDICATED, OS=OCCUPANCY SENSOR CONTROLLED) NEW INTERIOR RECEPTACLES SHALL BE TAMPER RESISTANT TYPE. REFER TO SCOPE OF WORK MATRIX FOR AFCI TYPE RECEPTACLE APPLICATION.
	PANEL BOARD, 120/240V, SINGLE PHASE, 3W FLUSH IN RESIDENTIAL UNITS. 120/208V 3 PHASE, 4 WIRE FLUSH/SURFACE IN COMMUNITY BUILDING.
	WALL MOUNTED JUNCTION BOX OR PULL BOX. BOX TO BE PAINTED TO MATCH ADJACENT SURFACE. VERIFY COLOR WITH ARCHITECT.

GROUND DETAIL



SCOPE OF WORK

Existing Condition		Proposed Solution
Building Electrical Service	Building meter and main disconnect on front of house.	route new service from Museum MSB to existing main disconnect
Fire Alarm	None Existing	Provide monitoring and central station notification for new site fire protection sprinkler system.
Security System	Intrusion system monitoring entrances.	Coordinate with Security System contractor to reconnect to MPOE.
Telephone	Antiquated systems existing	Coordinate reconnect of telephone line service from Museum to MPOE.

APPLICABLE CODES

1. 2016 BUILDING STANDARD ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
2. 2016 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.;
3. 2016 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.;
4. 2016 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.;
5. 2016 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.;
6. 2016 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.;
7. 2016 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24, C.C.R.;
9. 2016 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLE 24 C.C.R
10. 2016 CALIFORNIA "GREEN" BUILDING REQUIREMENTS, PART 11, TITLE 24 C.C.R
11. 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R.
12. TITLE 19, CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

NFPA 13, AUTOMATIC SPRINKLER SYSTEM, 2016 EDITION
NFPA 14, STANDPIPE AND HOSE SYSTEMS, 2016 EDITION
NFPA 72, NATIONAL FIRE ALARM CODE, 2016 EDITION

SHEET INDEX

E-0.01	ELECTRICAL TITLE SHEET
E-1.01	FLOOR PLAN ELECTRICAL DEMOLITION
E-2.01	FLOOR PLAN ELECTRICAL PLAN



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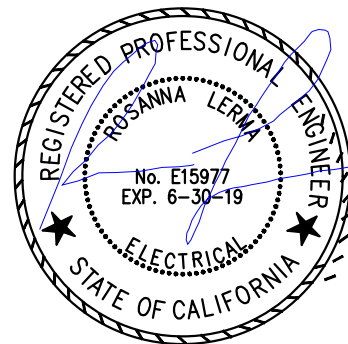
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ELECTRICAL

TITLE SHEET

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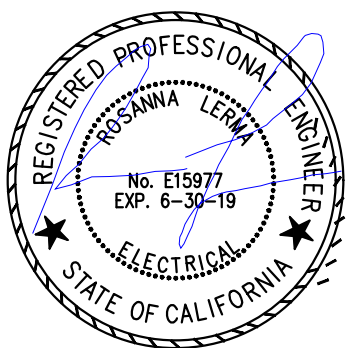
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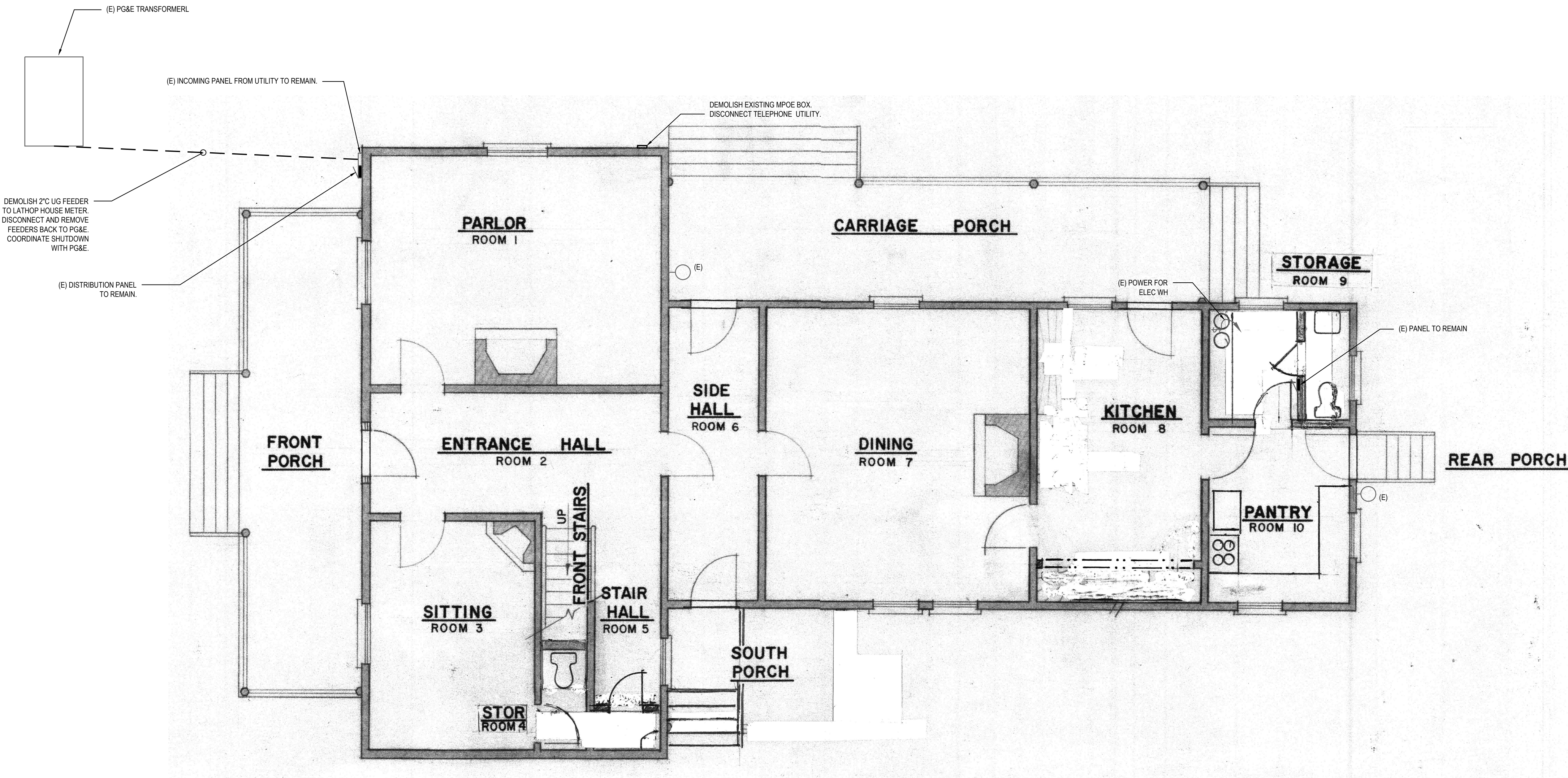


FLOOR PLAN

ELECTRICAL
DEMOLITION

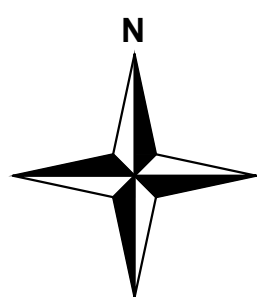
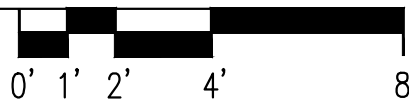
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1 FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



SHEET NO.

E-1.01

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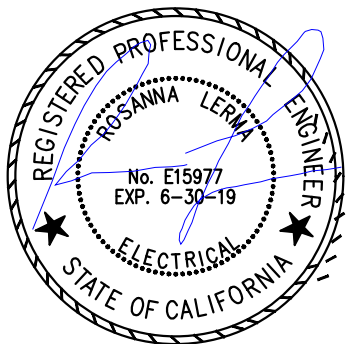
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MARSHALL STREET

(E) CONC. SIDEWALK

TELEPHONE JUNCTION

ELEC. METERS

(E) B.O.W.

NIC

(E) INCOMING PANEL.
ROUTE NEW 100A FEEDER
FROM MUSEUM.
(E) DISTRIBUTION PANEL
TO REMAIN.

UP

(E) CARRIAGE PORCH ROOF

2A

(E) POWER FOR
ELEC. WH.

EXTEND POWER FROM NEAREST
EXTERIOR LIGHT. ROUTE
3/4" C-3#12-#12GND UNDER HOUSE.

UP

(E) PANEL TO REMAIN

REAR PORCH

(E)

1" CUG FOR
TELEPHONE.

(E) FRONT
PORCH
ROOF

UP

RAMP SLOPE= 1:12 MAX

2A

EXTEND POWER FROM
NEAREST EXTERIOR LIGHT.
ROUTE 3/4" C-3#12-#12GND
UNDER HOUSE.

SOUTH PORCH

UP

NEW TELEPHONE MPOE WP BOX. 12"X9"
MINIMUM. ROUTE TWISTED PAIR FOR
SECURITY, PHONE, AND FIRE ALARM.

12"X12" WP PULLBOX FOR
ELECTRICAL FEEDERS.

UG 1-1/4" C-3#1-#18GND FOR POWER.
ROUTE TO NEW PULL BOX AND
THROUGH CRAWLSPACE TO
EXISTING MAIN DISCONNECT. ROUTE
FROM LATHROP HOUSE TO MUSEUM
MAIN SWITCHBOARD ON SPARE
BREAKER.

12"X12" WP PULLBOXES. ONE
FOR POWER AND ONE FOR
TELEPHONE. LOCATION SHALL
BE COORDINATED WITH
MUSEUM FOR POWER AND
TELEPHONE MPOE.

EXISTING MUSEUM

LIGHTING FIXTURE SCHEDULE

Type	Manufacturer	Model	Lamping	Mounting	Control	Voltage	Max VA	Notes
2A	Sternberg Lighting	668U-INCAND- MED-OPTIONS- CAP-FINISH	60W INCANDESCENT	WALL	TIMECLOCK	120	60	INSTALLED AT DOORS WITH EXIT PORCHES

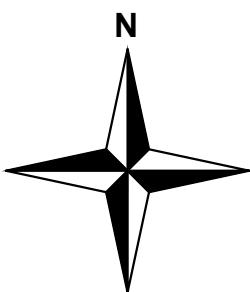
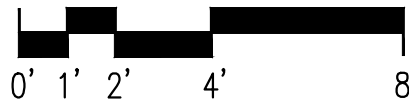
NOTES:

- 1 - OPTIONS AND FINISH SHALL BE SELECTED BY ARCHITECT.
- 2 - ENGINEERED APPROVED EQUAL ALTERNATE MANUFACTURES ARE ACCEPTABLE.

1

FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"





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SITE CONSTRUCTION LEGEND

CONCRETE LANDING

EXPANSION JOINT, TYP.

SCORE JOINT, TYP.

INTERLOCKING PAVERS

POURED IN PLACE CONCRETE STEPPING STONE

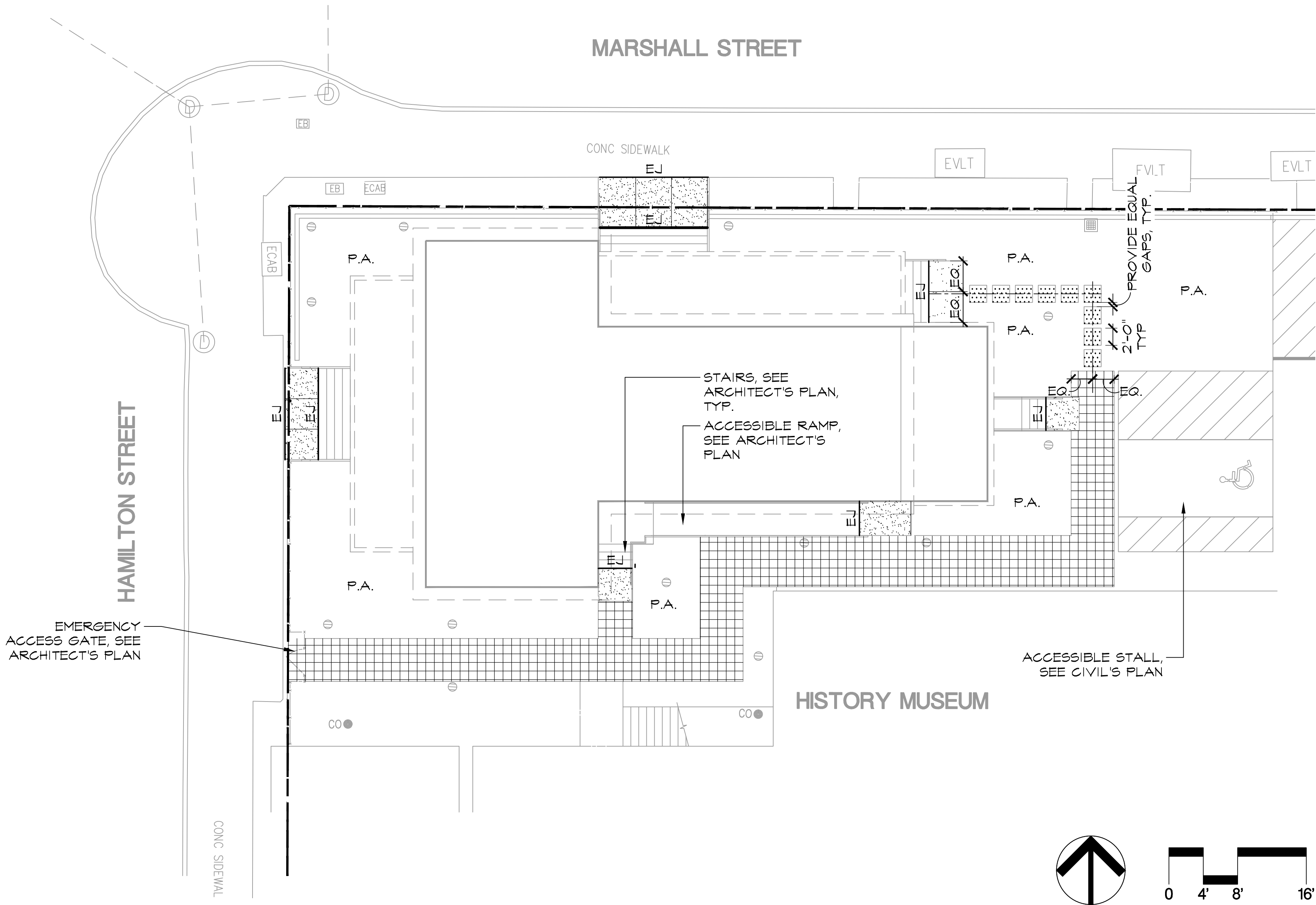
FENCING, SEE ARCHITECT'S PLAN

P.A.

PLANTING AREA

SITE CONSTRUCTION NOTES

- DIMENSIONS:** ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.
- EXPANSION JOINTS:** INSTALL EXPANSION JOINTS AS SHOWN ON DRAWINGS, AS WELL AS BETWEEN CONCRETE FLATWORK AND WALLS, CURBS, AND EXISTING FLATWORK OR STRUCTURES.
- SLEEVING:** REFER TO IRRIGATION PLAN FOR REQUIREMENTS OF SLEEVING UNDER PAVING.
- PROJECT STAKING:** ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD FOR REVIEW BY THE CITY INSPECTOR PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS.



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SITE CONSTRUCTION PLAN

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IRRIGATION PLAN

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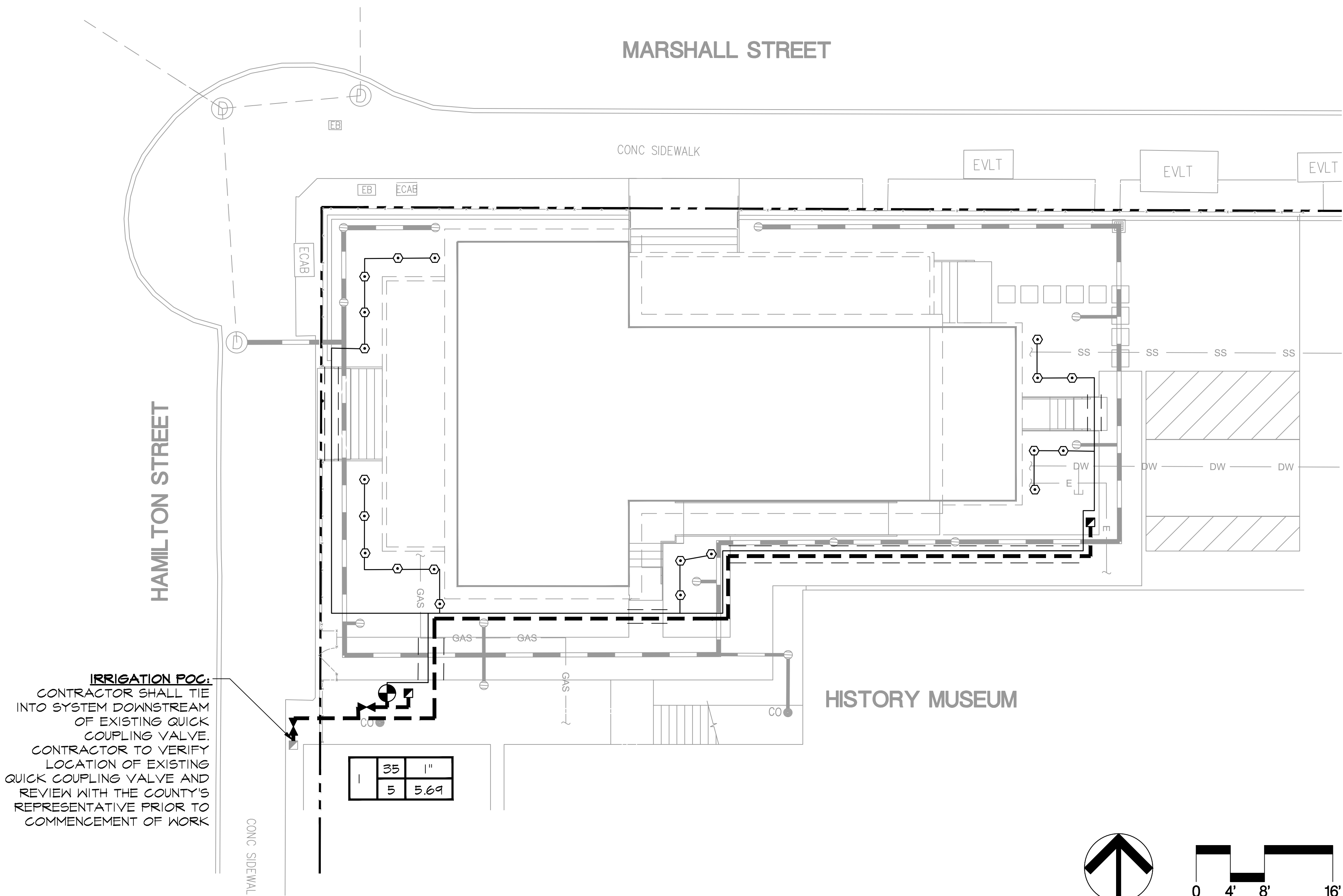
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IRRIGATION LEGEND


- SHRUB BUBBLER, HUNTER PCB-25, EACH SYMBOL REPRESENTS 1 BUBBLER PER SHRUB
 - REMOTE CONTROL VALVE, HUNTER, ICV SERIES, SIZE PER PLAN WITH CONTROLLER HUNTER NODE-100
 - LATERAL LINE, SCH. 40, 3/4" SIZE PVC
 - MAINLINE, CLASS AS REQUIRED PER SPECS, 1-1/4" SIZE
 - SLEEVE, SCH 40 PVC, SIZE AS REQUIRED
 - QUICK COUPLING VALVE, HUNTER, HQ-44LRC
 - ⋈ GATE VALVE, NIBCO, CLASS 125, T-113, LINE SIZE, INSTALL IN VALVE BOX
- VALVE #
OPERATING PRESSURE
VALVE SIZE
PRECIPITATION RATE (INCHES PER HOUR)
APPROXIMATE GPM THROUGH VALVE
- EXISTING QUICK COUPLING VALVE


IRRIGATION NOTES


- SPECIFICATIONS:** SEE IRRIGATION SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- VERIFICATION:** SYSTEM DESIGN IS BASED ON 35 P.S.I. AND 5 G.P.M. AVAILABLE AT DISCHARGE OUTLET OF METER OR OTHER POINT OF CONNECTION. VERIFY SAME AND NOTIFY COUNTY'S REPRESENTATIVE IF LOWER FIGURES ARE RECORDED DURING VERIFICATION. SUCH NOTICE SHALL BE MADE IN WRITING AND PRIOR TO COMMENCING ANY IRRIGATION WORK.
- UTILITIES:** VERIFY LOCATION OF ALL ON-SITE UTILITIES. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE COUNTY.
- SCHEMATIC:** SYSTEM FEATURES ARE SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. INSTALL ALL PIPING AND VALVES IN COMMON TRENCHES WHERE FEASIBLE AND INSIDE PLANTING AREAS WHENEVER POSSIBLE. ALL VALVES SHALL BE LOCATED IN GROUND COVER OR SHRUB AREAS WHENEVER POSSIBLE.
- CODES:** IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS. NOTIFY COUNTY'S REPRESENTATIVE BY TELEPHONE AND IN WRITING OF ANY CONFLICTS PRIOR TO INSTALLATION.
- SLEEVING:** ADEQUATELY SIZE ALL SLEEVES SHOWN ON PLAN. SLEEVES SHALL BE INSTALLED AT THE NECESSARY DEPTHS PRIOR TO PAVEMENT CONSTRUCTION. SLEEVING SHALL EXTEND 1'-0" FROM EDGE OF PAVING INTO LAWN OR PLANTING AREA, AND SHALL HAVE ENDS CLEARLY MARKED ABOVE GRADE.
- QUICK COUPLING VALVES:** INSTALL ON TRIPLE SWING JOINT. LOCATE 12 INCHES AWAY FROM EDGE OF WALKS, WALLS, CURBS, AND HEADERBOARDS WITHIN PLANTING AREAS. PROVIDE COUNTY WITH ONE OPERATING KEY, TWO SETS OF LOCKING COVER KEYS, AND ONE SWIVEL HOSE ELL.
- CONTROLLER:** INSTALL CONTROLLER IN VALVE BOX PER MANUFACTURER'S RECOMMENDATION
- MAINLINE BREAK:** SHOULD THE EXISTING MAINLINE BREAK OR BE SHUT OFF FOR ANY REASON DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR SHALL HAND WATER ALL TREES, SHRUBS, TURF, AND GROUND COVER THAT THE EXISTING IRRIGATION SYSTEM WATERS. CONTINUE TO DO SO UNTIL THE IRRIGATION SYSTEM IS OPERABLE.
- EXISTING IRRIGATION SYSTEM:** CONTRACTOR SHALL ENSURE THAT ALL EXISTING IRRIGATION IS IN WORKING CONDITION AND NOT DAMAGED DURING CONSTRUCTION. CONTRACTOR SHALL CONDUCT A PRE AND POST CONSTRUCTION TEST TO ENSURE WORKING CONDITION AND DOCUMENT ALL EXISTING DEFICIENCIES IN THE SYSTEM. AND DAMAGES INCURRED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AND SHALL BE RESPONSIBLE FOR ALL ASSOCIATED FEES. THE CONTRACTOR SHALL MAINTAIN THE EXISTING IRRIGATION SYSTEM TO BE FULLY OPERATIONAL FOR AREAS OUTSIDE THE LIMIT OF WORK. IN CASE OF DAMAGE, CONTRACTOR SHALL HAND WATER UNTIL HE/SHE HAS FULLY REPAIRED IRRIGATION.
- IRRIGATION DISRUPTION:** CONTRACTOR SHALL DETERMINE IF THE PROPOSED IRRIGATION SYSTEM WILL INTERFERE WITH EXISTING DEVICES ON THE MAINLINE INCLUDING BUT NOT LIMITED TO THE MASTER VALVE AND FLOW SENSOR. CONTRACTOR TO NOTIFY COUNTY'S REPRESENTATIVE IF PROPOSED IRRIGATION SYSTEM WILL DISRUPT THE EXISTING SYSTEM.



PLANT LEGEND

 SHRUB MASS



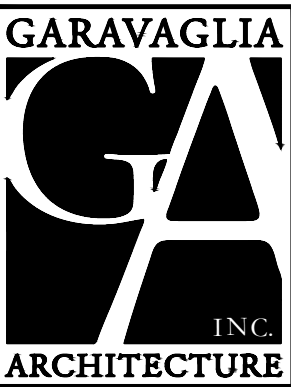
 MULCH, SEE NOTE #2

PLANT LIST

ABBREV.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS				
MYR CUM	MYRTUS COMMUNIS 'COMPACTA'	MYRTLE	1 GALLON	4'-0" O.C.
SAR RUS	SARCOCOCCA RUSCIFOLSA	SWEET BOX	5 GALLON	4'-0" O.C.

PLANTING NOTES

1. **ACID PLANT MAINTENANCE:** FERTILIZER APPLICATIONS OF "49ER BRAND ACID FOOD" SHALL CONTINUE THROUGH THE MAINTENANCE PERIOD IN QUANTITIES PER MANUFACTURER'S SPECIFICATIONS, AND IN FREQUENCIES AS FOLLOWS: SARCOCOCCA ONCE EVERY 60 DAYS
2. **MULCH:** INSTALL A UNIFORM THREE INCH COVERING OF WALK-ON MULCH, 1-1/2" MAX PARTICLE SIZE, IN ALL AREAS TO BE PLANTED OR AS SHOWN ON PLANS. MATERIAL AVAILABLE FROM REDI-GRO, (800) 654-4358, OR EQUAL.
3. **EXISTING PLANT MATERIAL:** PROTECT ALL EXISTING PLANT MATERIAL TO REMAIN. REPAIR ANY DAMAGES INCURRED AS A DIRECT RESULT OF THIS CONTRACT TO THE OWNER'S SATISFACTION AT NO ADDITIONAL COST.
4. **GROUND COVER:** PROVIDE GROUND COVER AT INDICATED ON-CENTER SPACING THROUGHOUT ALL AREAS TO BE PLANTED. GROUND COVER SHALL BE PROVIDED UP TO THE WATERING BASIN OF ALL TREES AND SHRUBS.
5. **QUANTITIES:** THE QUANTITIES SHOWN ON THE LABELS ARE NOT TO BE CONSTRUED AS THE COMPLETE AND ACCURATE LIMITS OF THE CONTRACT. FURNISH AND INSTALL ALL PLANTS SHOWN SCHEMATICALLY ON THE DRAWINGS.
6. **TOP SOIL:** ALL PLANTING AREAS TO RECEIVE A SIX INCH LAYER OF IMPORT TOPSOIL PER SPECIFICATIONS.
7. **SOILS TESTING:** SEE SPECIFICATIONS FOR TESTING OF TOPSOIL AND AMENDMENTS. IN ADDITION, CONTRACTOR SHALL SUBMIT A FIVE GALLON SAMPLE OF NATIVE TOPSOIL FROM ANY AREAS PREVIOUSLY COVERED BY PAVING, TO WAYPOINT ANALYTICAL, INC. OF SAN JOSE, (408) 727-0330, FOR CONTAMINATION TESTING. TESTING REQUIRES FOUR TO FIVE WEEKS. CONTRACTOR SHALL ALLOW SUFFICIENT TIME FOR TESTING PRIOR TO CONSTRUCTION.



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PLANTING PLAN

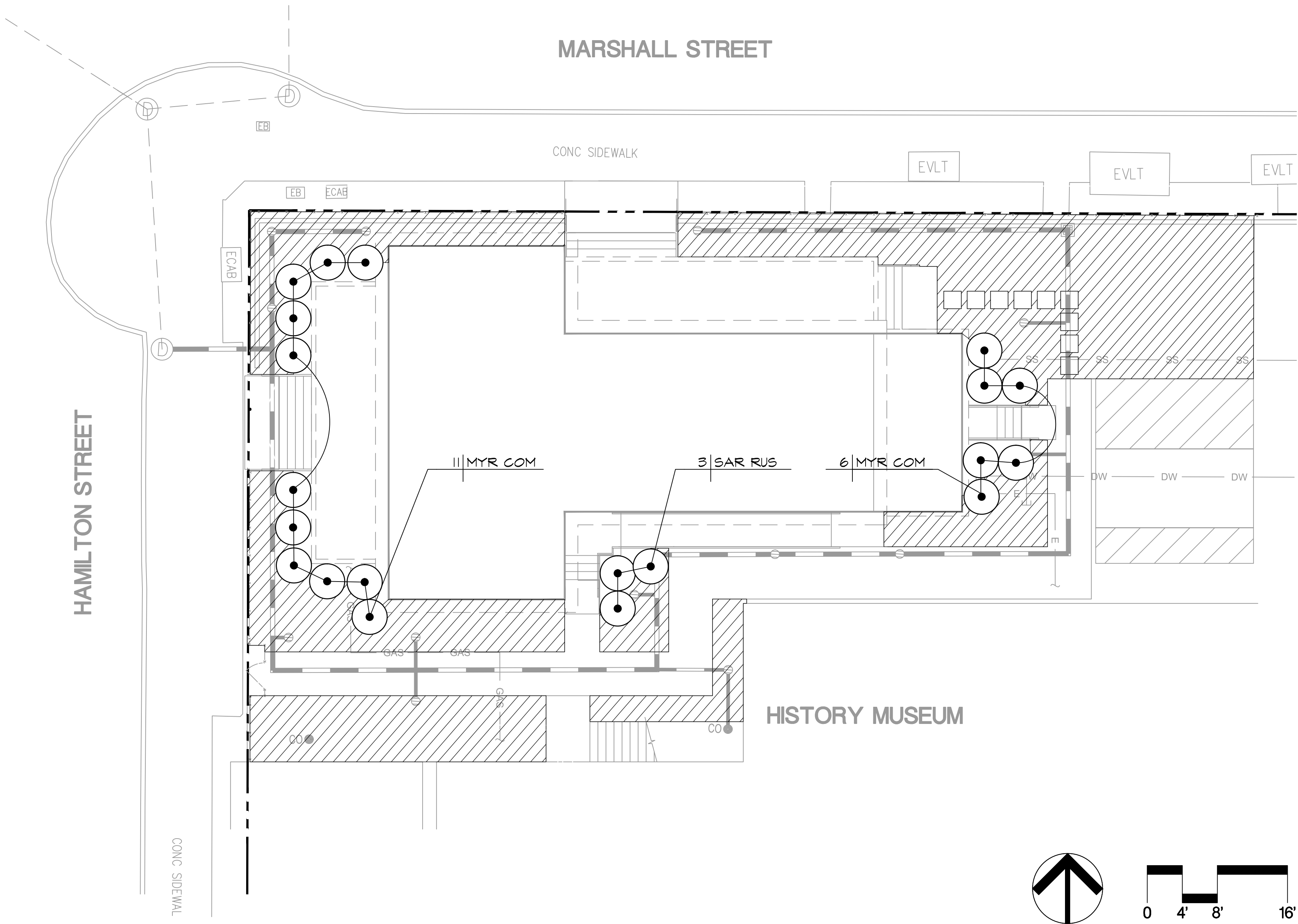
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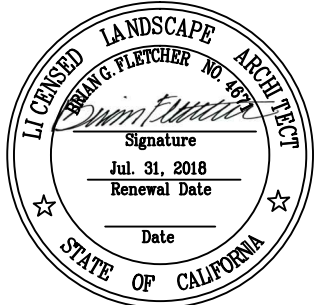
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40
YEAR

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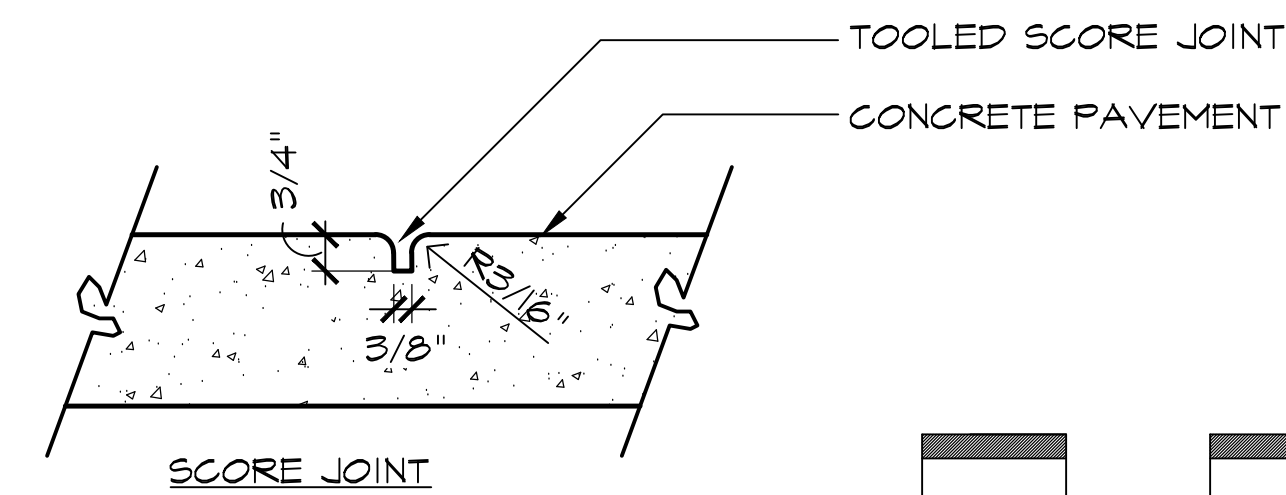
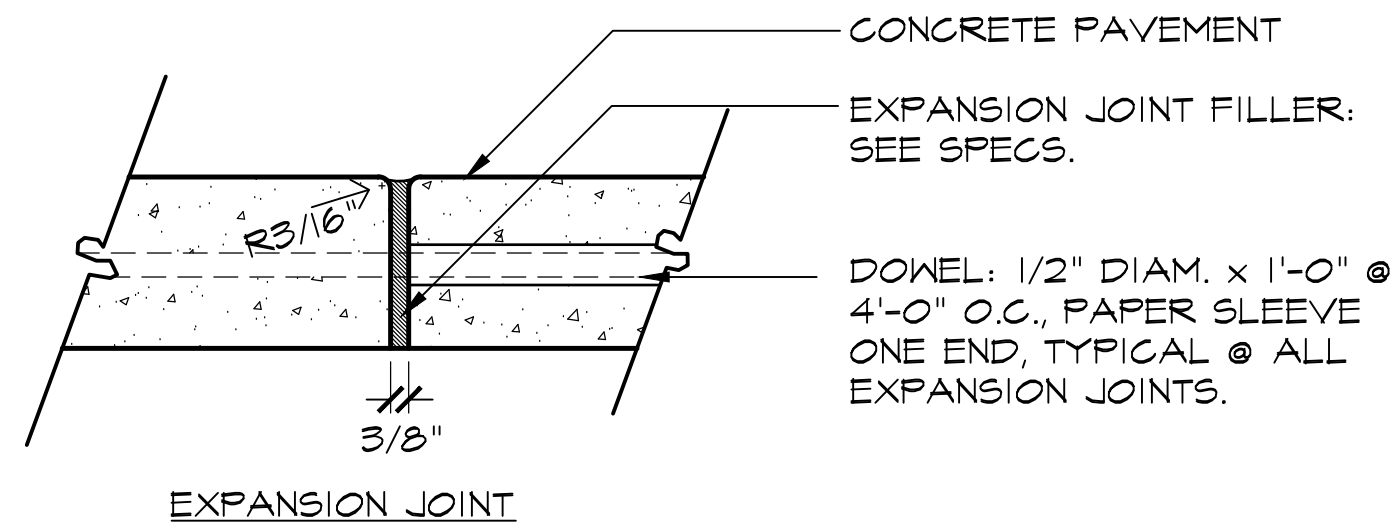
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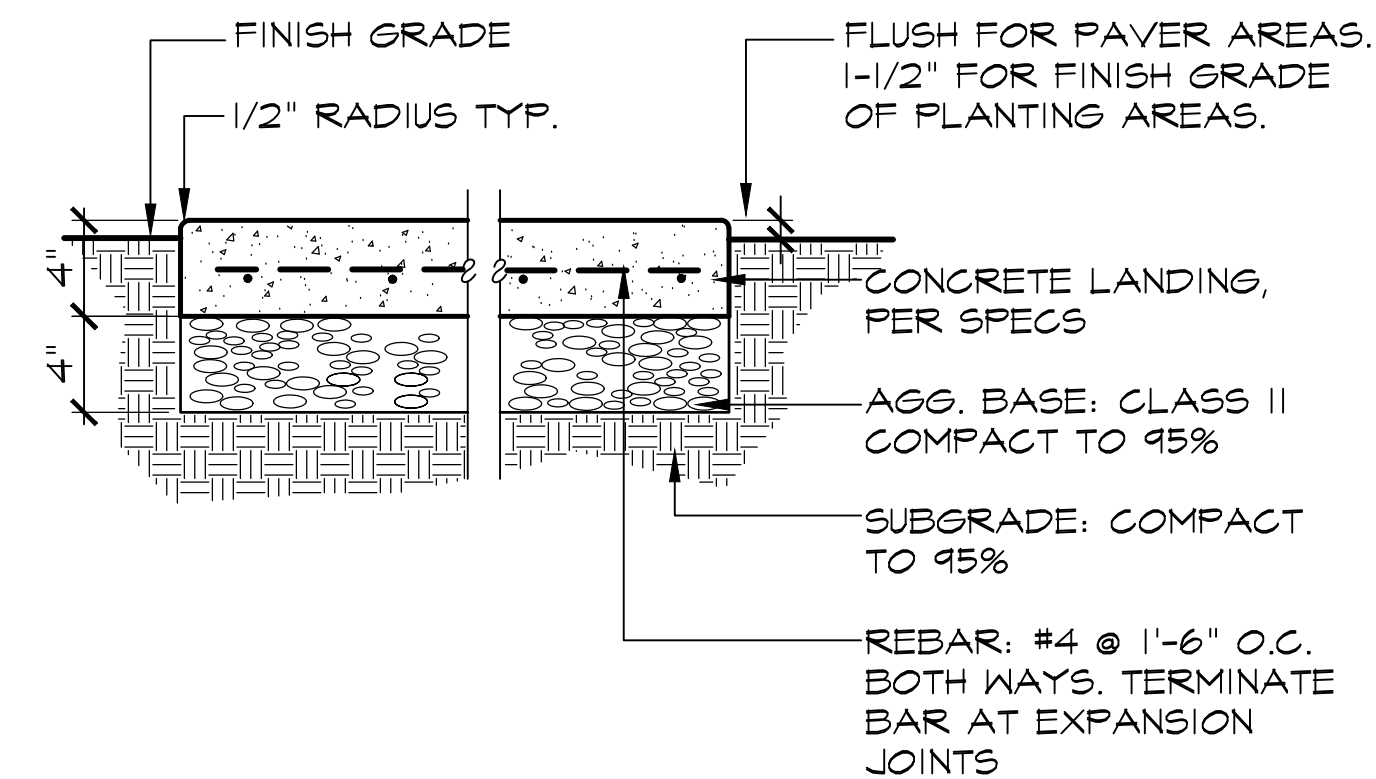
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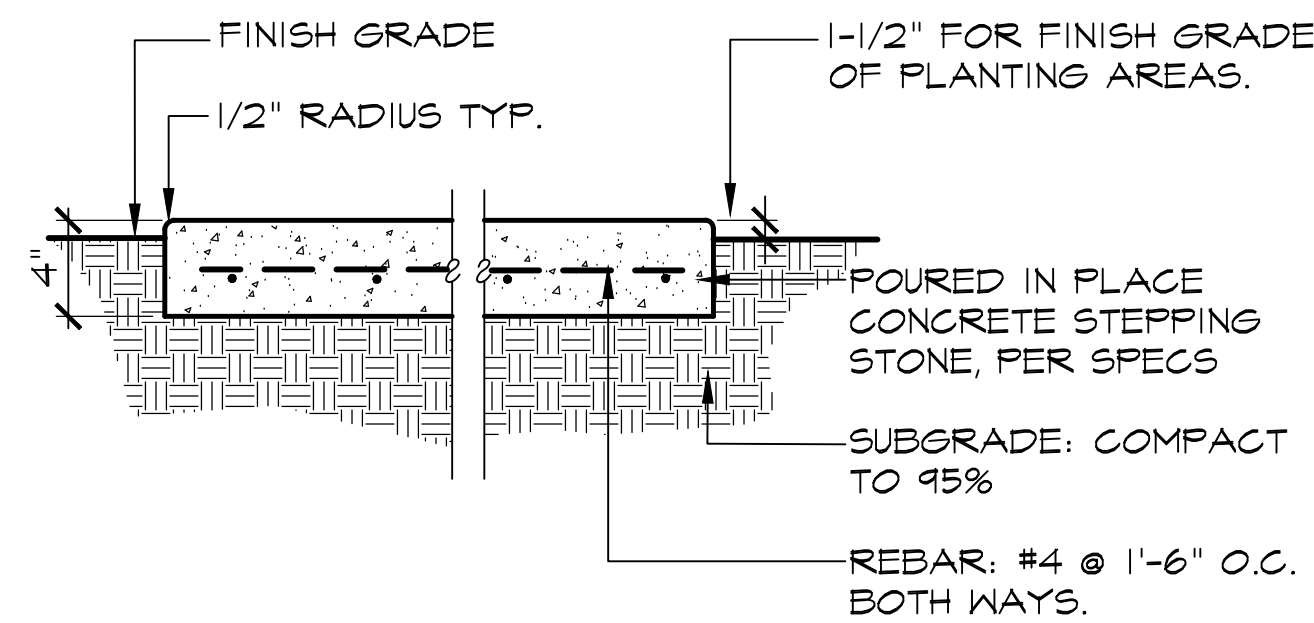
1. DISCONTINUE REBAR 3" FROM ALL
EXPANSION JOINTS



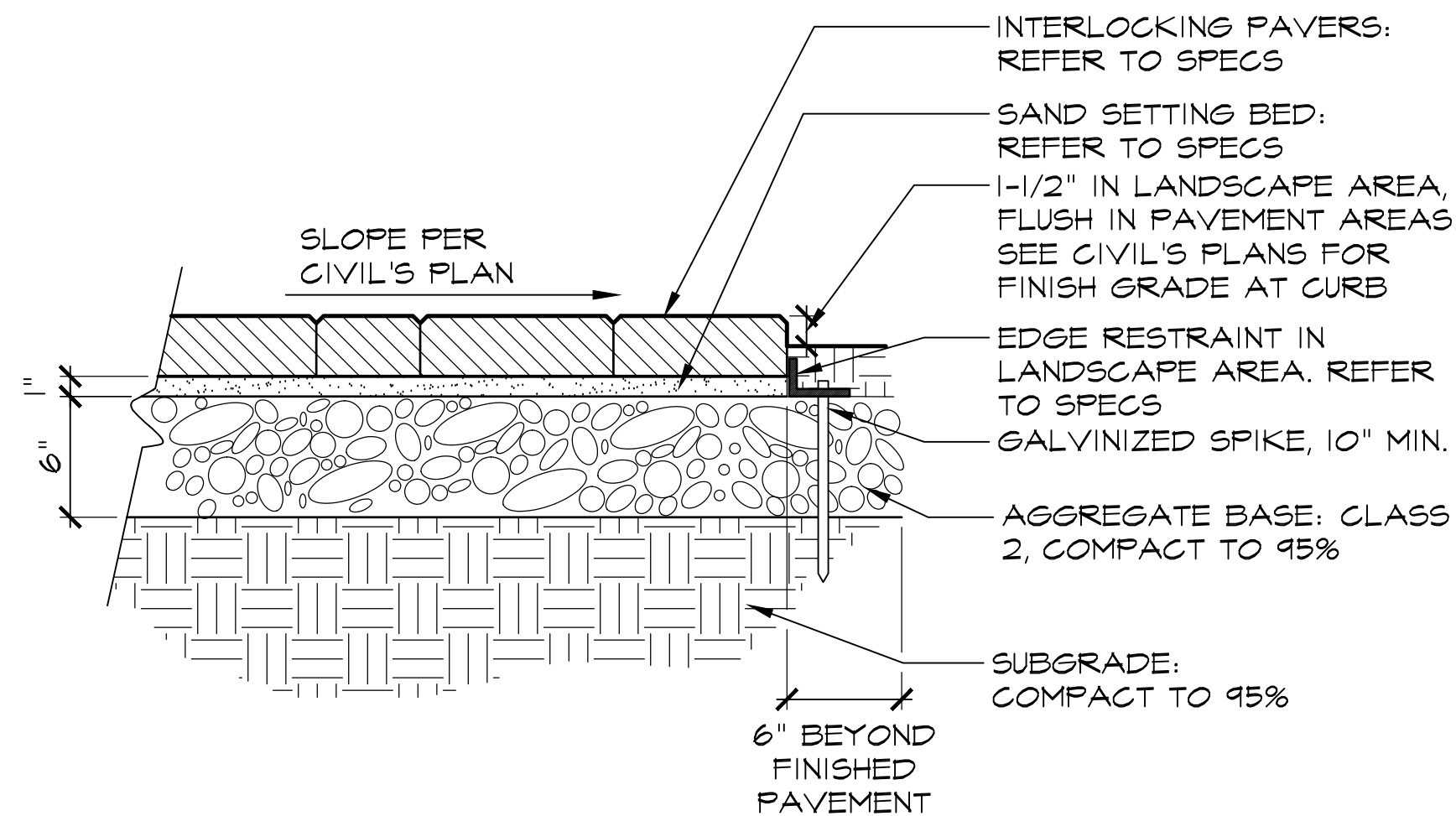
1
L4.0
CONCRETE JOINTS
SECTION
17036 Concrete Joints 4.dwg



2
L4.0
CONCRETE LANDING
SECTION
17036 Concrete Pavement 12.dwg

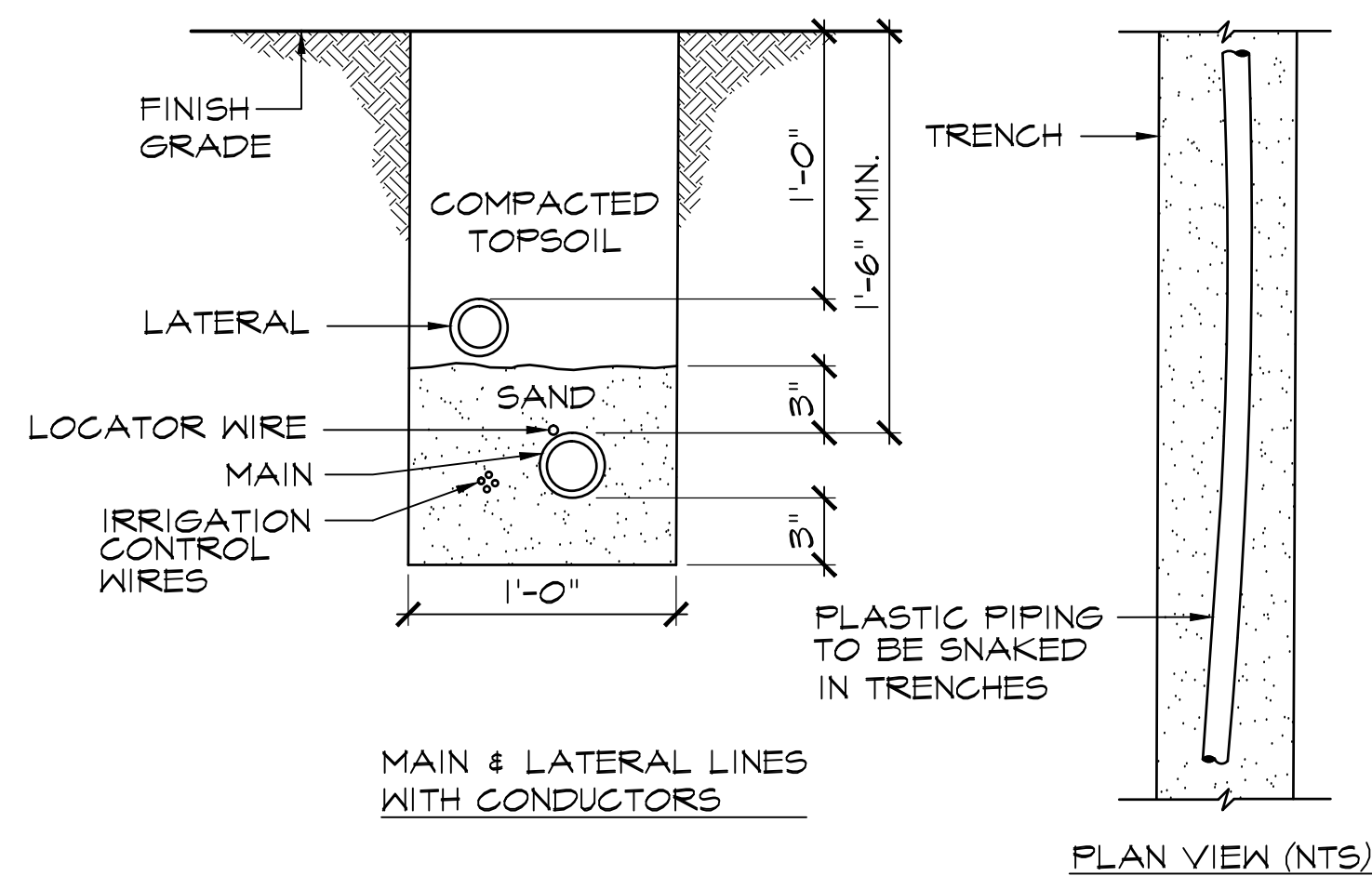


3
L4.0
POURED IN PLACE
CONCRETE STEPPING STONE
SECTION
17036 Concrete Stepping Stone 12.dwg

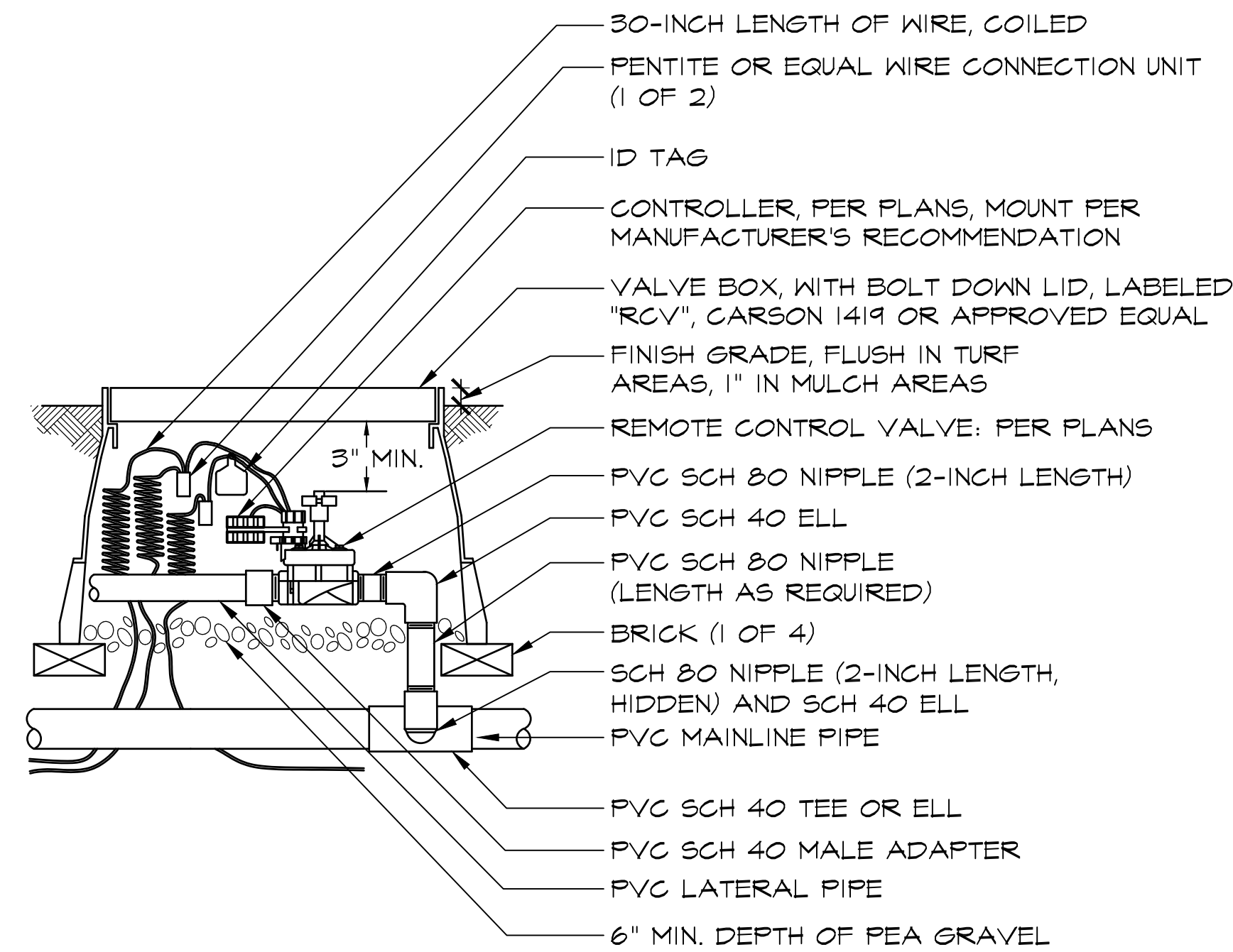


4
L4.0
INTERLOCKING PAVERS
SECTION
17036 Interlocking Pavers 8.dwg

NOTE:
TAPE AND BUNDLE WIRING AT 10'-0" INTERVALS.



5
L4.0
IRRIGATION TRENCHING
SECTION
17036 Irrigation Trenching 8.dwg



6
L4.0
REMOTE CONTROL VALVE
SECTION
N.T.S.
17036 Remote Control Valve 4.dwg

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