

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: August 10, 2016

TO: Planning Commission

FROM: Planning Staff

SUBJECT: EXECUTIVE SUMMARY: Consideration of a Design Review Permit, Grading Permit, and Certificate of Compliance (Type B) to construct a new 4,080 sq. ft. single-family residence (3,508 sq. ft. house with an attached 572 sq. ft. garage) on a 28,820 sq. ft. parcel, to be legalized, located at 180 Winding Way in the unincorporated Devonshire area of San Mateo County. The project involves removal of twelve significant trees and earthwork in the amount of 638 cubic yards.

County File Number: PLN 2015-00451 (Gomez/Lubin)

PROPOSAL

The applicant proposes to construct a 4,080 sq. ft. single-family residence with an attached two-car garage on a vacant parcel. The parcel requires legalization with a Certificate of Compliance (Type B), as the parcel was not conveyed separately from surrounding parcels until 1993, after July 1945. The parcel is sloped and heavily populated with trees. Twelve significant trees, all within the footprint of the proposed development, are proposed for removal.

RECOMMENDATION

That the Planning Commission approve the Design Review Permit, Grading Permit and Certificate of Compliance (Type B), County File Number PLN 2015-00451, based on and subject to the required findings and conditions of approval listed in Attachment A of the staff report.

SUMMARY

The subject parcel is an irregularly-shaped, vacant parcel which is bordered by Winding Way on three sides, in a residential community within the unincorporated Devonshire area of the County. Residential development adjoins the property on two sides. The parcel, created in 1926, was not conveyed separately from the surrounding parcels until 1993, (well after July 1945, the effective date of the County's first Subdivision Ordinance). The parcel, in its current configuration, conforms to the residential R-1/S-71 Zoning District where the minimum parcel size is 5,000 sq. ft. As proposed and

conditioned, access and utility improvements will be provided in conjunction with the proposed development at the time of the issuance of a building permit for a new residence.

The property is zoned R-1/S-71/DR. Accordingly, single-family residential development requires a Design Review recommendation from the Bayside Design Review Committee (BDRC). The project was initially considered by the BDRC on January 13, 2016. At the hearing, the BDRC found the proposal to forgo replacement of the 12 trees to be removed to be unacceptable and required a more comprehensive examination by an arborist of the site and its ability to accommodate replacement trees. The BDRC also requested a change in the color of the garage door.

Revised plans were submitted by the applicant and reviewed by the BDRC at its meeting of February 3, 2016. The applicant's arborist supported tree replacement with three 24-inch box live Coast oaks. The garage door color, a shade of grey, was approved. As revised, the BDRC recommended approval of the design review portion of the project to the Planning Commission. The BDRC stated the project, as proposed and conditioned, complies with the Design Review Standards regarding site planning, architectural style, and building materials and colors.

A grading permit for earthwork in the amount of 638 cubic yards is also required for a stepped building pad to accommodate the pre-fabricated residence and a driveway. The plans have been preliminarily reviewed and approved by the Geotechnical Section of the Planning and Building Department and the Department of Public Works. As proposed and conditioned, the project would not have a significant adverse effect on the environment. Specifically, conditions of approval require the use of best management practices to minimize erosion and sedimentation, and compliance with the geotechnical recommendations.

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RECOMMENDATION

That the Planning Commission approve the Design Review Permit, Grading Permit and Certificate of Compliance (Type B), County File Number PLN 2015-00451, based on and subject to the required findings and conditions of approval listed in Attachment A.

BACKGROUND

Report Prepared By: Erica Adams, Project Planner, Telephone 650/363-1828

Applicant: Andrew Skiorski

Owner: Rafael Gomez-Sjoberg and Heidi Lubin

Location: 180 Winding Way, San Carlos

APN: 049-141-580

Size: Approximately 28,820 sq. ft.

Existing Zoning: R-1/S-71/DR (Single Family-Residential/Design Review)

General Plan Designation: Medium Density Residential

Sphere-of-Influence: City of San Carlos

Existing Land Use: Vacant

Water Supply: California Water Company

Sewage Disposal: Devonshire County Sanitation District

Flood Zone: Zone X, Panel Number 06081C0282E, Effective Date: October 16, 2012

Environmental Evaluation: This project is categorically exempt pursuant to Section 15303, Class 3 and Section 15305, Class 5, of the California Environmental Quality Act, related to construction of single-family residence in a residential zone

Setting: The property is undeveloped and located in the unincorporated, residential community of Devonshire. The property consists of four lots from the “Devonshire Properties” subdivision recorded in 1926 and a sanitary easement for the benefit of an adjacent parcel. Access to the parcel is provided directly from Winding Way, a roadway which is maintained by the County Department of Public Works and has the necessary utilities located within the public right-of-way to support the proposed development.

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

The General Plan Visual Quality Policy 4.4 requires the appearance of urban development to “promote aesthetically pleasing development.” The General Plan then calls for the establishment of guidelines for communities to achieve these goals. The establishment of the Design Review Chapter in the San Mateo County Zoning Regulations is the mechanism which fulfills this directive. A project that complies with the Devonshire Design Standards (Section 6565.15 of the San Mateo County Zoning Regulations) therefore also conforms with General Plan Policies 4.14 (*Appearance of New Development*) and 4.35 (*Urban Area Design Concept*). These policies require structures to promote and enhance good design, and improve the appearance and visual character of development in the area by managing

the location and appearance of the structure. The application has been reviewed by the Bayside Design Review Committee and it has been found to meet Design Review Standards for Devonshire, Section 6565.15. A detailed discussion of how the project complies is provided in Section A.3 of this report.

2. Conformance with Zoning Regulations

The project is in compliance with the R-1/S-71 Zoning Regulations as shown in the table below.

Development Standards	Zoning Requirements	Proposal
Minimum Building Site Area	5,000 sq. ft.	28,820 sq. ft.
Minimum Building Site Width	50 ft.	133 ft.
Minimum Setbacks		
Front	20 ft. for house 0 ft. for garage (per Section 6411.a where 14% or greater slope exists over the front half of the property.)	20 ft. for house 13 ft. for garage Slope is 15% in front half of property
Rear	20 ft.	21 ft.
Sides	5 ft.	67 ft. left 87 ft. right
Maximum Lot Coverage	50%	2,379 sq. ft. (32.3%)
Maximum Building Floor Area	4,100 sq. ft., and a 400 sq. ft. garage allowance.	3,508 sq. ft. proposed for house 572 sq. ft. proposed for garage 4,080 sq. ft. total*
Maximum Building Height	30 ft.	30 ft.
Minimum Parking	2 covered spaces	2 covered spaces
<i>*Indicates total square footage of all floors and the garage.</i>		

The parcel, which first appears in its current configuration in 1993, conforms to the current Residential S-71 Zoning District, where the minimum parcel size is 5,000 square feet. As indicated on the table above the proposed development is compliant with the Zoning Regulations.

3. Conformance with Design Review Regulations

Construction of the proposed single-family residence has been found to be consistent with the Design Review Standards, Section 6515.15 Zoning Regulations, by the Bayside Design Review Committee (BDRC) on

February 3, 2016. The BDRC reviewed the project initially on January 13, 2016 and found the proposed tree removal, facades, materials and colors and architectural styles did not conform to the design standards. The BDRC stated that to approve the project, it needed to have a tree replacement plan which better addresses the 3:1 replacement ratio found in the design review standards.

The BDRC recommended that the applicant revisit the project's design. The hearing on the project was continued to allow the applicant to explore design changes which would allow the project to comply with the standards. The applicants revised the project to address the BDRC's concerns which were reviewed on February 3, 2016 by the BDRC.

The project's compliance with each component of these standards along with the BDRC's concerns and how they were addressed in the revised plans are discussed below:

- a. Site Planning: Requires the siting of new buildings on a parcel in locations which achieve the following five objectives.

- (1) *Minimize tree removal.*

Twelve significant trees, in the footprint of development, are proposed to be removed with this project. Initially, no trees were proposed for replacement since the property is heavily populated with mature trees.

The BDRC stated that the project should comply in some respect with the design standard 3:1 ratio for the replacement. The BDRC recommended that trees be planted around the house to reduce the appearance of a tree-free swath through the property created by the proposed development.

An arborist report was provided by the applicant to evaluate the feasibility of planting replacement trees on the property. Three, 24-inch box, Coast live oaks in the front right side of the property were proposed and submitted on revised plans to the Design Review Officer, along with a supporting statement from arborist, Richard J. Gessner, from Monarch Consulting Arborist LLC, dated March 1, 2016.

The Design Review Officer determined that this proposal fulfills the BDRC's intentions and complies with Design Review standards. The prescribed tree planting is recommended as Condition No. 2 of Attachment A.

(2) *Minimize alteration of the natural topography.*

The project site is located on a primarily upward sloping parcel. The house has been sited on the flattest portion on the lot and extends into the parcel, following the grade, nearly perpendicular to the road, instead of spanning the width of the parcel. This placement reduces the amount of grading required and enables the required grading to blend with the existing topography.

(3) *Respect the privacy of neighboring houses and outdoor living areas.*

The subject parcel is larger than the minimum parcel size for the S-71 Zoning District. Outdoor living areas are oriented to maximize privacy. One outdoor deck is in the center of the property, facing the rear yard, and the second deck is on the lowest floor and is 8 feet away from the property line, approximately 25 feet from the residence on the adjacent property. There are tall, mature trees on adjacent properties which will provide privacy screening between existing residences and the new residence.

(4) *Minimize blockage of sunlight on neighboring housing and outdoor living areas.*

The house follows the contour of the existing topography, and daylight planes are met with this proposal. The project would minimize blockage of sunlight to neighboring houses.

(5) *Minimize alteration of streams and natural drainage channels.*

There are no streams or drainage channels that would be impacted by this project.

- b. Architectural Styles: Requires that buildings be architecturally compatible with existing buildings, and reflect and emulate, architectural styles and natural surroundings of the immediate area.

There is a wide array of residential styles in the immediate surrounding area, as is prevalent throughout the Devonshire neighborhood. The proposed residence integrates wood and siding materials, which are appropriate for the wooded setting the property provides. The BDRC stated that the architectural style of the revised project is compatible with nearby residences, those throughout the Devonshire community, and the natural surroundings.

- c. Unenclosed Spaces: Requires avoiding the creation of space beneath buildings and prohibits buildings that are predominantly built on stilts.

The garage and house are set into the grade, while decks on the right/downhill site of the structure are supported above grade. These unenclosed areas below the decks are a small portion of the structure and are oriented away from the view from the street.

- d. Building Shapes and Bulk: Requires that buildings are designed with shapes that respect and conform to the natural topography of the site.

The residence steps down with the hillside and follows the natural topography.

- e. Facades: Requires well-articulated and proportioned facades.

The pattern of windows and doors on the proposed structure does not create any massive blank walls.

The presence of the garage at street level is acceptable due to the slope of the parcel. In addition, Condition No. 3 requires the placement of three trees near the new residence that would partially screen and buffer the residence from views from the road.

- f. Roofs: Requires pitched roofs.

The roof plan of the house includes pitched roofs and complies with this design standard.

- g. Materials and Colors: Requires that varying architectural styles are compatible by using similar materials and colors which blend with the natural setting and the immediate area.

The color of the garage door was initially proposed to be white. The BDRC expressed concern over the garage color since it was not compliant with the standards and is the most visible part of the residence from the street.

The applicant changed the garage door color to “bronze,” a shade of grey, to meet the BDRC’s requirement. Condition No. 3 has been added to record this change.

The other selected colors are browns, grey and natural wood colors. The selected building materials include natural wood and wood-like siding as encouraged by the design standard.

- h. Utilities: New utilities should be placed underground.

All utilities will be placed underground per Condition No. 9.

- i. Paved Areas: Requires minimization of paved areas.

The amount of proposed paved area complies with this standard as the amount of pavement is limited to that necessary for appropriate vehicle access and parking, and a small patio.

4. Conformance with the Grading Regulations

The following findings must be made in order to issue a grading permit for this project. Staff's review of the project is discussed below:

- a. *That the granting of the permit will not have a significant adverse effect on the environment.*

The project site has a geotechnical study from Achievement Engineering Corp., dated June 14, 2014, which has been reviewed and preliminarily approved by the County's Geotechnical Section. The report from Achievement Engineering Corp. provides detailed recommendations about the proposed development. These specific recommendations and recommendations from other reviewing agencies have been integrated into the application and have been made conditions of approval for the grading permit, and will prevent a significant adverse impact on the environment. The grading plan has been prepared by a licensed civil engineer and has been reviewed and preliminarily approved by the Department of Public Works. Tree protection measures are included as conditions of approval.

- b. *That the project conforms to the criteria of Chapter 8, Division VII, of the San Mateo County Ordinance Code, including the standards referenced in Section 8605.*

Proposed grading meets the standards referenced in Section 8605 pertaining to Erosion and Sediment Control, Grading, Geotechnical Reports, Dust Control Plans, Fire Safety, and Time Restrictions. Erosion and sediment control measures are proposed and will be required to remain in place during- and post-construction, and they will be monitored throughout construction. Performance standards for grading have been added as conditions of approval and will be implemented and monitored. A dust control plan must be submitted for approval and implemented on the site. The proposed grading plan was prepared by a licensed civil engineer and reviewed by the San Mateo County Department of Public Works. A geotechnical

report was also prepared for the site and reviewed by the County's Geotechnical Section. Grading is only allowed during the dry season between April 30 and October 1.

The design of the project and conditions of approval assure that the development will be accomplished in a manner that minimizes the potential for erosion. In addition, the proposed grading is subject to standard conditions of approval that include pre-construction, during- and post-construction measures to ensure that the project is in compliance with the San Mateo County Grading Regulations.

- c. *That the project is consistent with the General Plan.*

The General Plan designation for this site is Low Density Residential. Due to its steep slopes, Devonshire is a region of the County where grading permits are often obtained for construction of new residences. The proposed construction and grading for a residence is consistent with the land use allowed by this General Plan designation. In addition, as discussed in the General Plan Compliance, Section A.1 of this report, the project, as conditioned, complies with applicable General Plan goals and policies.

5. Conformance with Subdivision Regulations

A Conditional Certificate of Compliance (CoC) is required to verify parcel legality in compliance with provisions of the County and State subdivision laws in effect at the parcel's time of creation. This process is required before new development can proceed, which in this case, is a proposal to construct a new single-family residence. The County Subdivision Regulations, Section 7134, allows for either a CoC (Type A) or CoC (Type B) to resolve and confirm a parcel's legality.

To qualify for a CoC (Type A) (pursuant to Section 7134.1), it must be confirmed that the subject parcel was conveyed separately (e.g., conveyed by deed) from any surrounding and adjacent parcels prior to the County's adoption of its first subdivision ordinance in July 1945; otherwise, if such conveyance is determined to have occurred after that date, a CoC (Type B) (pursuant to Section 7134.2) shall be required, as is the case with this application.

The subject parcel's legality must be established with a Certificate of Compliance (Type B) because it is an undeveloped parcel of an antiquated subdivision which was not conveyed as a single parcel prior to July 1945.

The subject parcel consists of Lot 57, 58, 73, and 74 in Block 19 of Devonshire Properties of Municipal Properties Company, amended and

supplementary Map of Subdivision Number Four, filed in the Office of the Recorder of San Mateo County on April 13, 1926 in Book 13 of Maps at Pages 49, 50, and 51. However, it was not until 1993 that the subject parcel, consisting of those four lots, was conveyed separately from any adjacent parcels, thus requiring the CoC (Type B).

Section 7134.2.c(a) of the County Subdivision Regulations states that the Community Development Director may impose “any conditions which would have been applicable (at the time the applicant acquired his or her interest in the property, and which had been established at the time of the Map Act or the County Subdivision Regulations.”

Section 7134.2.c of the Subdivision Regulations allows for the approval and recordation of a CoC subject to a public hearing, and allows the Community Development Director to impose conditions of approval to ensure that development on the parcel complies with public health and safety standards. Sanitary, water and energy infrastructure, needed to support future residential development, exist within or adjacent to the road right-of-way in this area. There are no additional improvements (typical of an urban subdivision) that must be required via conditions at this time. Applicable improvements (i.e., building permits, sewer connection, access upgrades and energy line laterals from the street to a future house) would be required at the time of receipt of a building permit application.

Thus, staff finds, pursuant to Subsection (c) of the above-cited section, that compliance with the conditions of the Conditional Certificate of Compliance is met for this parcel and applicable improvements are not required until a building permit for development of the property is issued by the County.

B. ENVIRONMENTAL REVIEW

This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15303, Class 3, relating to the construction of a single-family residence, in a residential zone, within an urbanized area. Section 15315, Class 15, relating to minor land divisions, which the subject Certificate of Compliance represents since it formally legalizes a single parcel, is also applicable.

C. REVIEWING AGENCIES

Building Inspection Section
Department of Public Works
Cal-Fire/County Fire Authority
County Counsel

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map and Assessor's Parcel Map
- C. Project Plans (site plan, floor plan, and elevations)
- D. Recommendation Letter, dated February 25, 2016
- E. 1926 Devonshire Properties Subdivision No. 4
- F. Replanting Plan, submitted on March 1, 2016
- G. Arborist Letter, dated March 1, 2016

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2015-00451 Hearing Date: August 10, 2016

Prepared By: Erica Adams, Project Planner For Adoption By: Planning Commission

RECOMMENDED FINDINGS

For the Environmental Review, Find:

1. That the project is categorically exempt under provisions of Section 15303, Class 3, relating to the construction of a single-family residence in a residential zone, within an urbanized area, and Section 15315, Class 15, relating to minor land divisions, which the subject Certificate of Compliance represents.

For the Conditional Certificate of Compliance (Type B), Find:

2. That the processing of the Certificate of Compliance (CoC) (Type B) is in full conformance with the County Subdivision Regulations Section 7134 (Legalization of Parcels; Certificate of Compliance), particularly Sections 7134.2(a), (b), and (c).
3. That the processing of the Conditional CoC (Type B) is in full conformance with Government Code Section 66499 et seq., as there are no additional improvements (typical of an urban subdivision) that must be required via conditions at this time. Applicable improvements (i.e., sewer and water connections, access upgrades and energy line laterals from the street to a future house) would be required at the time of receipt of a building permit application.

For the Design Review, Find:

4. That this project has been reviewed under and found to be in compliance with the Design Review Standards as stipulated in Chapter 28 Section 6565.15 of San Mateo County Zoning Regulations. The proposal was reviewed and recommended for approval by the Bayside Design Review Committee on February 3, 2016.

The Bayside Design Review Committee (Committee) stated that as conditioned the proposal (1) is designed with minimal tree removal and appropriate attention to tree protection, (2) is well sited and replicates the shape of the existing

topography, and (3) uses materials which are compatible to the immediate area and the natural woodland environment.

For the Grading Permit, Find:

5. That the granting of the permit will not have a significant adverse effect on the environment due to the fact that the proposed grading will be subject to conditions of approval that include pre-construction, during-construction, and post-construction measures to ensure that the project is in compliance with the San Mateo County Grading Ordinance.
6. That the project conforms to the criteria of the Grading Ordinance, including the standards referenced in Section 8605 relative to erosion and sediment control, grading performance standards, geotechnical issues, dust control, and fire safety.
7. That the project is consistent with the General Plan.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. The project shall be constructed in compliance with the approved plans. Any changes or revisions to the approved plans shall be submitted for review by the Community Development Director to determine if they are compatible with the Design Review Standards and in substantial compliance with the approved plans prior to being incorporated into the building plans. Adjustments to the project may be approved by the Bayside Design Review Committee if they are consistent with the intent of and are in substantial conformance with this approval. Adjustments to the design during the building plan stage may result in the assessment of additional plan resubmittal or revision fees. Alternatively, the Design Review Officer may refer consideration of the adjustments, if they are deemed to be major, to a new Bayside Design Review Committee public hearing, which requires payment of an additional fee of \$1,500 and surcharges.
2. The design review and grading permit final approval shall be valid for five (5) years from the date of final approval, in which time a building permit shall be issued and a completed inspection (to the satisfaction of the Building Inspector) shall have occurred within 180 days of its issuance. The design review approval may be extended by one 1-year increment with submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. The applicant is advised that prior to recordation of the Certificate of Compliance (CoC) description, the owner/applicant shall provide the project planner with a check for \$34.00 to cover the fee charged by the Recorder's Office. The project planner will confirm the amount prior to recordation. The CoC shall be recorded prior to Planning's approval of the associated building permit for the new residence.

4. The applicant shall plant three, 24-inch box Coast Live oaks as provided on a replanting plan submitted on March 1, 2016. Confirmation of such replanting shall be a final inspection condition of the associated building permit for the proposed residence.
5. The garage door color shall be changed to "Bronze," a shade of grey, in order to more closely match the window frames and doors.
6. Prior to any grading or construction activity on the project site, the property owner shall implement the following tree protection plan:
 - a. The property owner shall establish and maintain tree protection zones throughout the entire length of the project.
 - b. Tree protection zones shall be delineated using 4-foot tall orange plastic fencing supported by poles pounded into the ground, located as close to the driplines as possible while still allowing room for construction/grading to safely continue.
 - c. The property owner shall maintain tree protection zones free of equipment and materials storage and shall not clean any equipment within these areas.
 - d. Should any large roots or large masses of roots need to be cut, the roots shall be inspected by a certified arborist or registered forester prior to cutting.
 - e. Any root cutting shall be monitored by an arborist or forester and documented.
 - f. Roots to be cut should be severed cleanly with a saw or topers.
 - g. Normal irrigation shall be maintained, but oaks should not need summer irrigation.
7. All utilities shall be installed underground.
8. The approved exterior colors and materials shall be verified prior to final approval of the building permit. The applicant shall provide photographs to the Design Review Officer to verify adherence to this condition prior to a final building permit sign-off by the Current Planning Section.
9. Prior to the Current Planning Section approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
10. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the

applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.

If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.

11. The applicant shall adhere to all requirements of the Building Inspection Section, the Department of Public Works, and Cal-Fire.
12. No site disturbance shall occur, including any grading or tree removal, until a grading permit and a building permit have been issued.
13. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles impede through traffic along the right-of-way on Winding Way. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Winding Way. There shall be no storage of construction vehicles in the public right-of-way.
14. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays, and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).
15. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines" including, but not limited to, the following:
 - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.

- b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - c. Performing clearing and earth-moving activities only during dry weather.
 - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.
 - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
 - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilization of designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
16. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading remediation activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.

Cal-Fire

17. Fire Department access shall be to within 150 feet of all exterior portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or facility. Access shall be 20 feet wide, all weather capability, and able to support a fire apparatus weighing 75,000 lbs. Where a fire hydrant is located in the access, a minimum of 26 feet is required for a minimum of 20 feet on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Grades over 15% shall be paved and no grade shall be over 20%. When gravel roads are used, it shall be Class 2 base or equivalent compacted to 95%. Gravel road access shall be certified by an engineer as to the material thickness, compaction, all weather capability, and weight it will support.
18. All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least 6 feet above the finished surface of the driveway. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in color to their background and shall be no less than 4 inches in height, and have a minimum 1/2-inch stroke. Remote signage shall be a 6" x 18" green reflective metal sign.
19. A fire flow of 1,500 gallons per minute (gpm) for 2 hours with a 20-pounds per square inch (psi) residual operating pressure must be available as specified by additional project conditions to the project site. The applicant shall provide documentation including hydrant location, main size, and fire flow report at the building permit application stage. Inspection required prior to Cal-Fire's final approval of the building permit or before combustibles are brought on-site.
20. Any chimney or woodstove outlet shall have installed onto the opening thereof an approved (galvanized) spark arrester of a mesh with an opening no larger than 1/2-inch in size or an approved spark arresting device. Maintain around and adjacent to such buildings or structures a fuelbreak/firebreak made by removing and clearing away flammable vegetation for a distance of not less than 30 feet and up to 100 feet around the perimeter of all structures or to the property line, if the property line is less than 30 feet from any structure. This is not a requirement nor an authorization for the removal of live trees. Remove that flammable portion of any tree which extends within 10 feet of the outlet of any chimney or stovepipe, or within 5 feet of any portion of any building or structures. Remove that dead or dying portion of any tree which extends over the roofline of any structure.
21. The required fire flow shall be available from a County Standard 6" Wet Barrel Fire Hydrant. The configuration of the hydrant shall have a minimum of one each 4 1/2-inch outlet and one each 2 1/2-inch outlet located not more than 250 feet from the building measured by way of approved drivable access to the project site.

22. All roof assemblies in Very high Fire Hazard Severity Zones shall have a minimum CLASS-A fire resistive rating and be installed in accordance with the manufacturer's specifications and current California Building and Residential Codes.
23. Smoke alarms and carbon monoxide detectors shall be installed in accordance with the California Building and Residential Codes. This includes the requirement for hardwired, interconnected detectors equipped with battery backup and placement in each sleeping room in addition to the corridors and on each level of the residence.
24. An approved Automatic Fire Sprinkler System meeting the requirements of NFPA-13D shall be required to be installed for your project. Plans shall be submitted to the San Mateo County Building Inspection Section for review and approval by the authority having jurisdiction.
25. A statement that the building will be equipped and protected by automatic fire sprinklers must appear on the title page of the building plans.
26. This project is located in a wildland urban interface area. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors, and underfloor protection shall meet CRC R327 or CBC Chapter 7A requirements.

Department of Public Works

27. Prior to the issuance of the building permit or planning permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.
28. Prior to the issuance of the building permit or planning permit (if applicable), the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
29. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact

a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.

30. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.

EA:pac - EDAAA0391_WPU.DOCX



San Mateo County Planning Commission Meeting

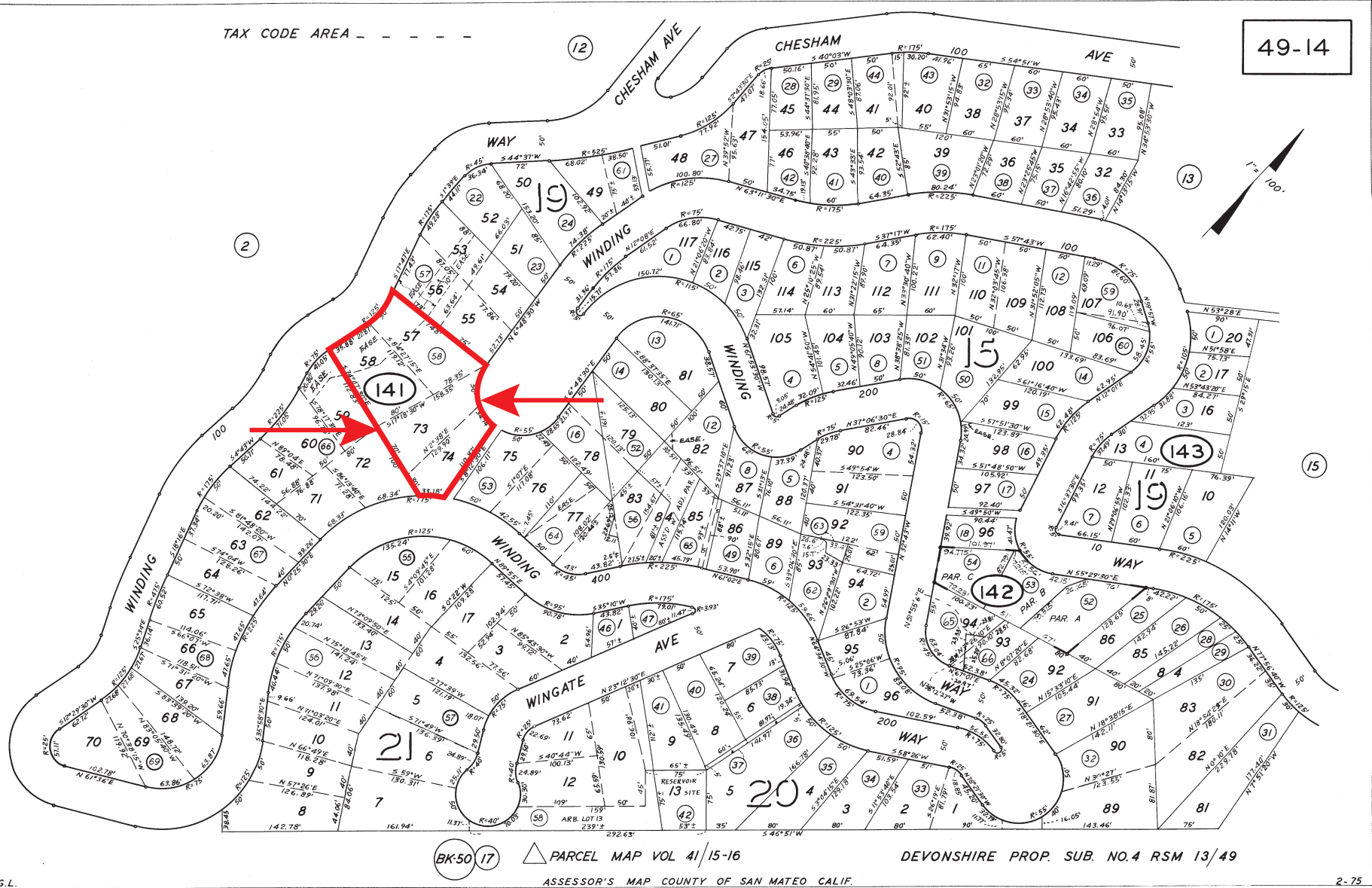
Owner/Applicant: _____

Attachment: _____

File Numbers: _____

TAX CODE AREA - - - - -

49-14



San Mateo County Planning Commission Meeting

Owner/Applicant: _____

Attachment: _____

File Numbers: _____



- LEGENDS:**
- PG&E MANHOLE
 - STORM INLET
 - SEWER MANHOLE
 - JOINT POLE
 - TREE TRUNK
 - FIRE HYDRANT
 - SURVEY CONTROL POINT
 - CITY MONUMENT
 - SET FIRE MAIL
 - SET REBAR
 - FOUND REBAR
 - GAS VALVE
 - ELECTRICAL METER
 - PG&E BOX
 - RETAINING WALL
 - WOOD FENCE

APN 049-414-580

164

184

SURVEYOR'S STATEMENT
 THE MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT AND LOCAL ORDINANCE AT THE REQUEST OF _____ ON _____.

- I FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED.
- I FURTHER STATE ALL MONUMENT LOCATIONS ARE BASED ON RECORD INFORMATION AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.
- I FURTHER STATE THAT IN ACCORDANCE WITH THE LAND SURVEYOR'S ACT THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE A RECORD OF SURVEY TO BE FILED.

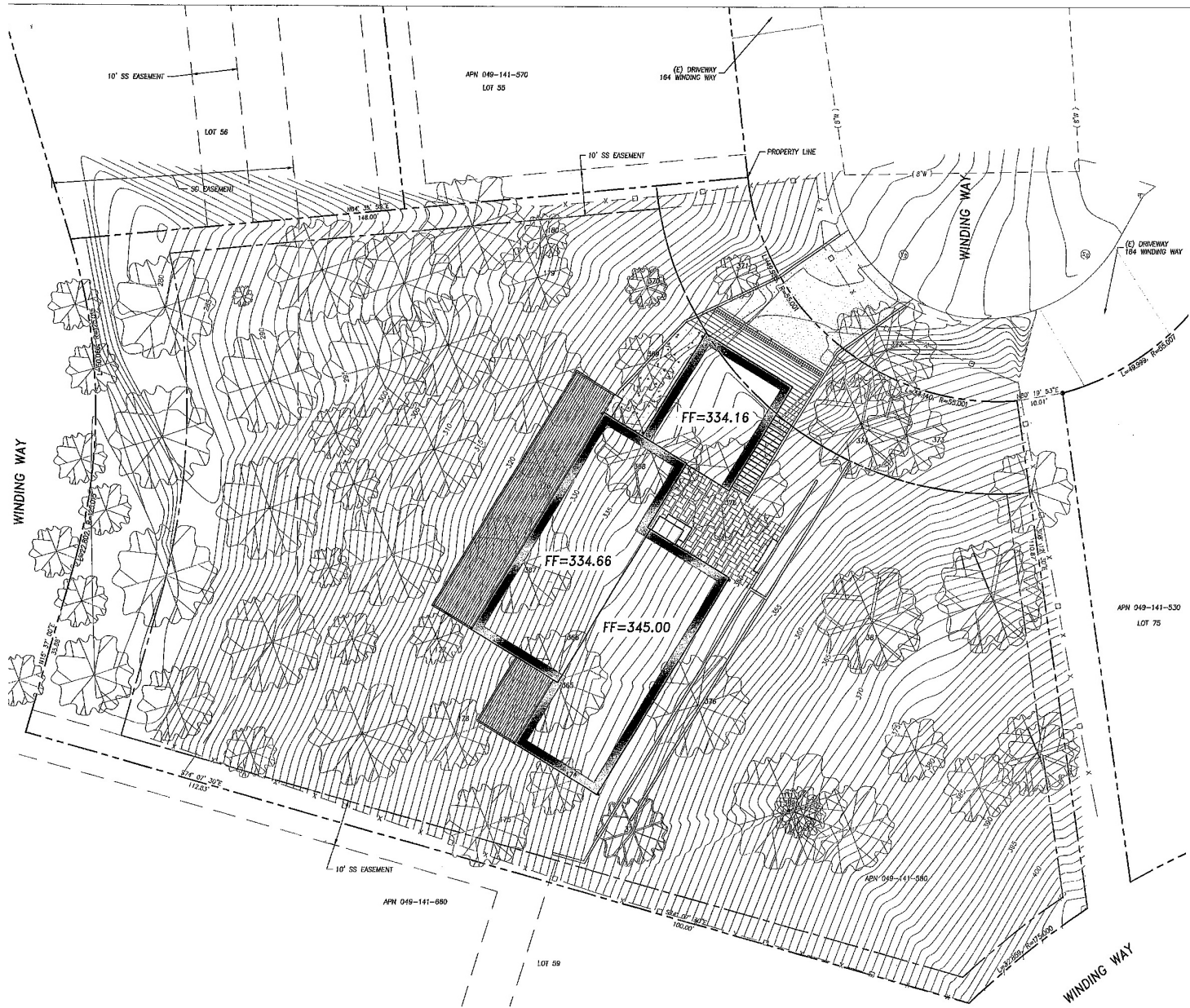
Henrik van de Pol
 HENDRIK VAN DE POL, R.G.E. 15472
 EXPIRATION DATE: MARCH 31, 2015

DATE: 5-23-2015



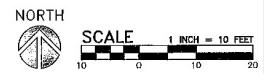
San Mateo County Planning Commission Meeting

Owner/Applicant: _____ Attachment: _____
 File Numbers: _____



EXISTING TREES			
TREE #	TYPE	TRUNK DIAMETER (IN)	REMOVE
174	COAST LINE OAK	18	YES
175	COAST LINE OAK	18	NO
176	BURKEYE	6	YES
177	COAST LINE OAK	24	NO
178	BAY LAUREL	12	NO
179	COAST LINE OAK	24	NO
180	COAST LINE OAK	24	NO
365	COAST LINE OAK	15	YES
366	COAST LINE OAK	12	YES
367	COAST LINE OAK	8	YES
368	COAST LINE OAK	17 AND 17	YES
369	COAST LINE OAK	14	YES
370	COAST LINE OAK	6 AND 8	NO
371	COAST LINE OAK	18	?
371	COAST LINE OAK	14	YES
372	COAST LINE OAK	16, 16, 16	NO
373	COAST LINE OAK	17	NO
374	COAST LINE OAK	45	NO
375	COAST LINE OAK	10	YES
376	COAST LINE OAK	24, 14, 12	YES
377	COAST LINE OAK	15 AND 13	YES
378	COAST LINE OAK	12	?
379	COAST LINE OAK	12	?
380	COAST LINE OAK	6 AND 4	?
381	COAST LINE OAK	12	NO
382	COAST LINE OAK	12 AND 5	?
383	COAST LINE OAK	?	?
384	COAST LINE OAK	4	?
385	COAST LINE OAK	4	?
386	BURKEYE	5	?
387	COAST LINE OAK	20	?
388	COAST LINE OAK	8	?
389	BAY LAUREL	30	NO
390	COAST LINE OAK	13	?
391	COAST LINE OAK	5	?
392	COAST LINE OAK	12 AND 12	?
393	BURKEYE	11	?
394	COAST LINE OAK	9	?
395	COAST LINE OAK	13	?
396	COAST LINE OAK	17 AND 15	?
397	COAST LINE OAK	10	?
398	COAST LINE OAK	16	?
399	COAST LINE OAK	8	?
400	COAST LINE OAK	13	?

1 SITE PLAN
SCALE: 1" = 10'

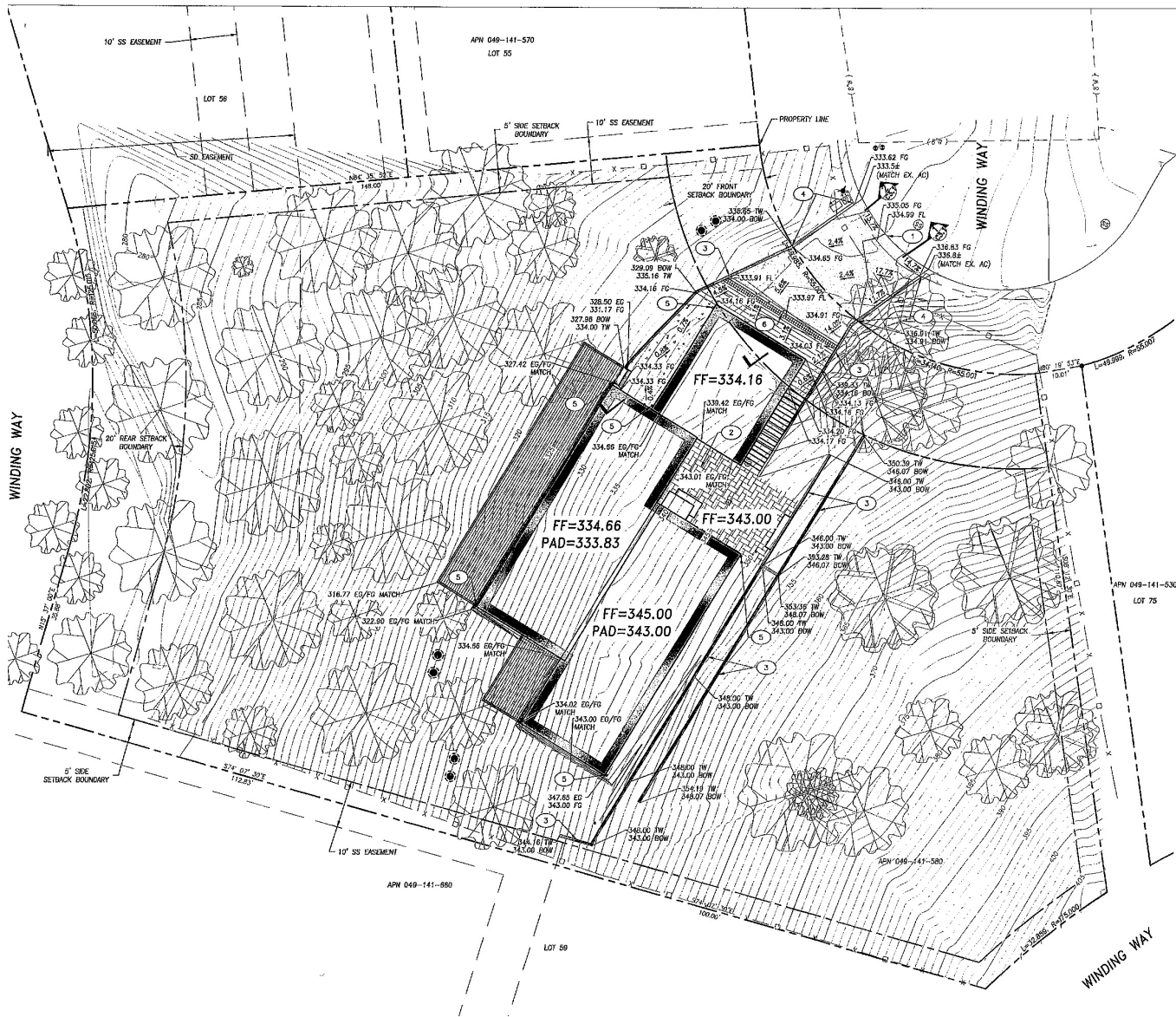


San Mateo County Planning Commission Meeting

Owner/Applicant:

Attachment:

File Numbers:



1 GRADING PLAN
SCALE: 1" = 10'



CONSTRUCTION NOTES

- 1 CONFORM (?) ASPHALT DRIVEWAY INTO (E) ROADWAY
- 2 PROPOSED CONCRETE PAVEMENT AREA - SEE ARCHITECTURAL SHEETS
- 3 PROPOSED RETAINING WALL - SEE STRUCTURAL PLAN SHEETS
- 4 PROVIDE 6"-24" VARIABLE HEIGHT CONCRETE CURB
- 5 PROPOSED ROOF DRAIN DOWNSPOUTS - SEE PLUMBING PLAN SHEETS
- 6 PROPOSED TRENCH DRAIN - SEE UTILITY PLAN SHEET

GRADING PLAN

- BUILDING LINE _____
- PROPOSED PAVEMENT AREA PER DETAIL 6/06.0 _____
- PROPOSED SITE CONCRETE PER DETAIL 1/06.0 _____
- PROPOSED CONCRETE PAVERS - SEE ARCH. SHEETS FOR FINISH _____
- PROPOSED TIMBERTECH DECKING - SEE ARCH. SHEETS _____
- PROPOSED CONCRETE FLOORING - SEE ARCH. SHEETS _____
- (?) CURB _____
- SWICUT LINE _____
- PROPERTY LINE _____
- MAJOR CONTOUR _____ 100
- MINOR CONTOUR _____ 99
- (E) MAJOR CONTOUR _____ 100
- (E) MINOR CONTOUR _____ 99

GRADING LABEL LEGEND

CALLOUT	DESCRIPTION
XXX	GRADING SLOPE AND DIRECTION (DOWN/UP)
XXXX	SPOT ELEVATION
XXXX	DESCRIPTION LISTED BELOW, NO DESCRIPTION MEANS TP OR TS
BS	BOTTOM OF SWALE
BS	BOTTOM OF STEP
BOW	BOTTOM OF WALL
EG	EXISTING GRADE
FF	FINISHED FLOOR
FL	FLOW LINE
G	GUTTER
HP	HIGH POINT
LP	LOW POINT
RM	RM OF STRUCTURE
TC	TOP OF CURB
TG	TOP OF GROUND
TP	TOP OF PAVEMENT
AC	ASPHALT
ACE	ASPHALT CONCRETE MATCH EXISTING
TS	TOP OF STEP
TW	TOP OF WALK

SOIL QUANTITIES

CUT	424 CU YD
FILL	214 CU YD
NET	210 CU YD (CUT)

APPROVED BY: _____ EXPRES ONE YEAR AFTER THE APPROVAL

GEOTECHNICAL ENGINEER _____ DATE

APPROVED BY: _____ EXPRES ONE YEAR AFTER THE APPROVAL

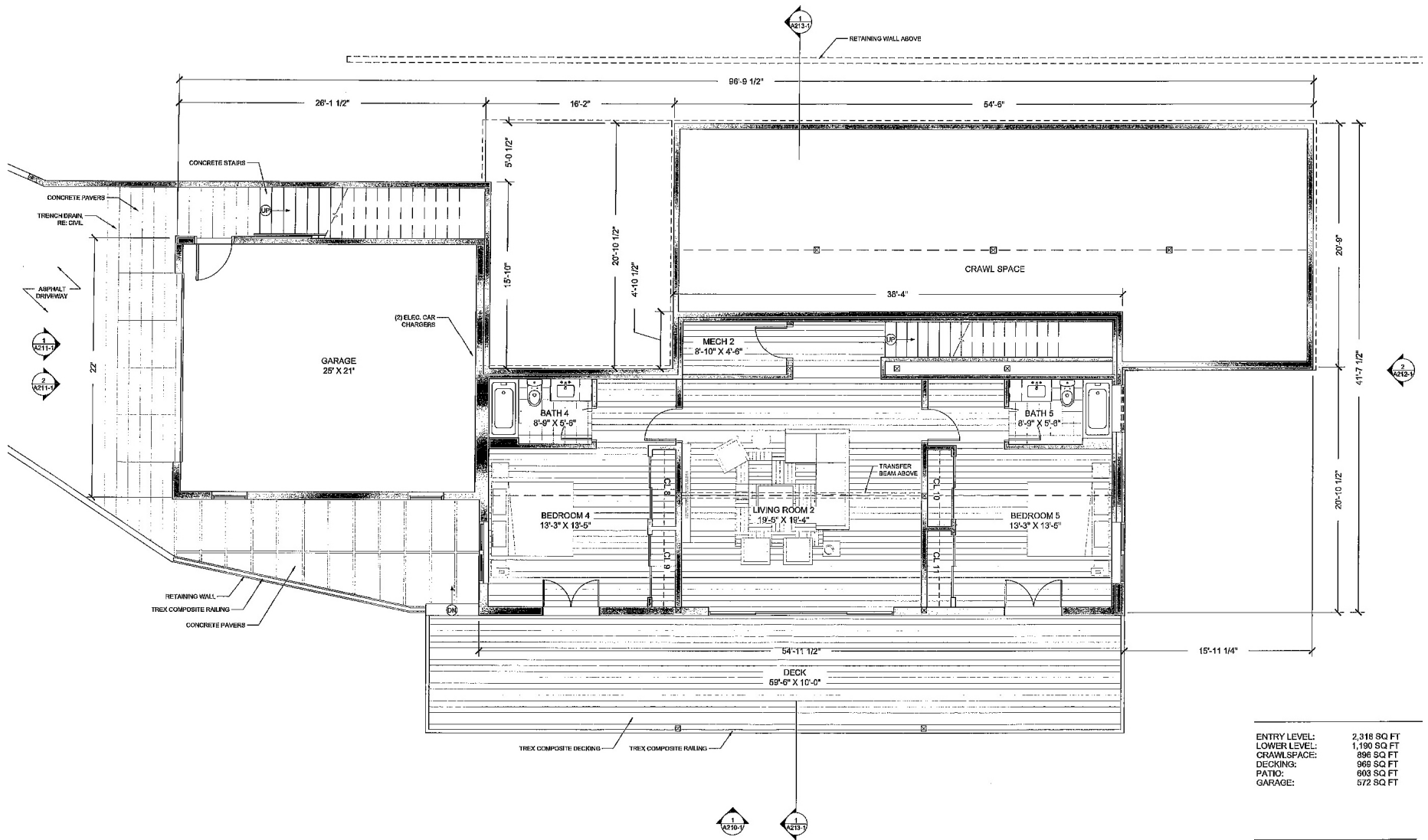
GRY ENGINEER _____ DATE

San Mateo County Planning Commission Meeting

Owner/Applicant: _____

File Numbers: _____

Attachment: _____



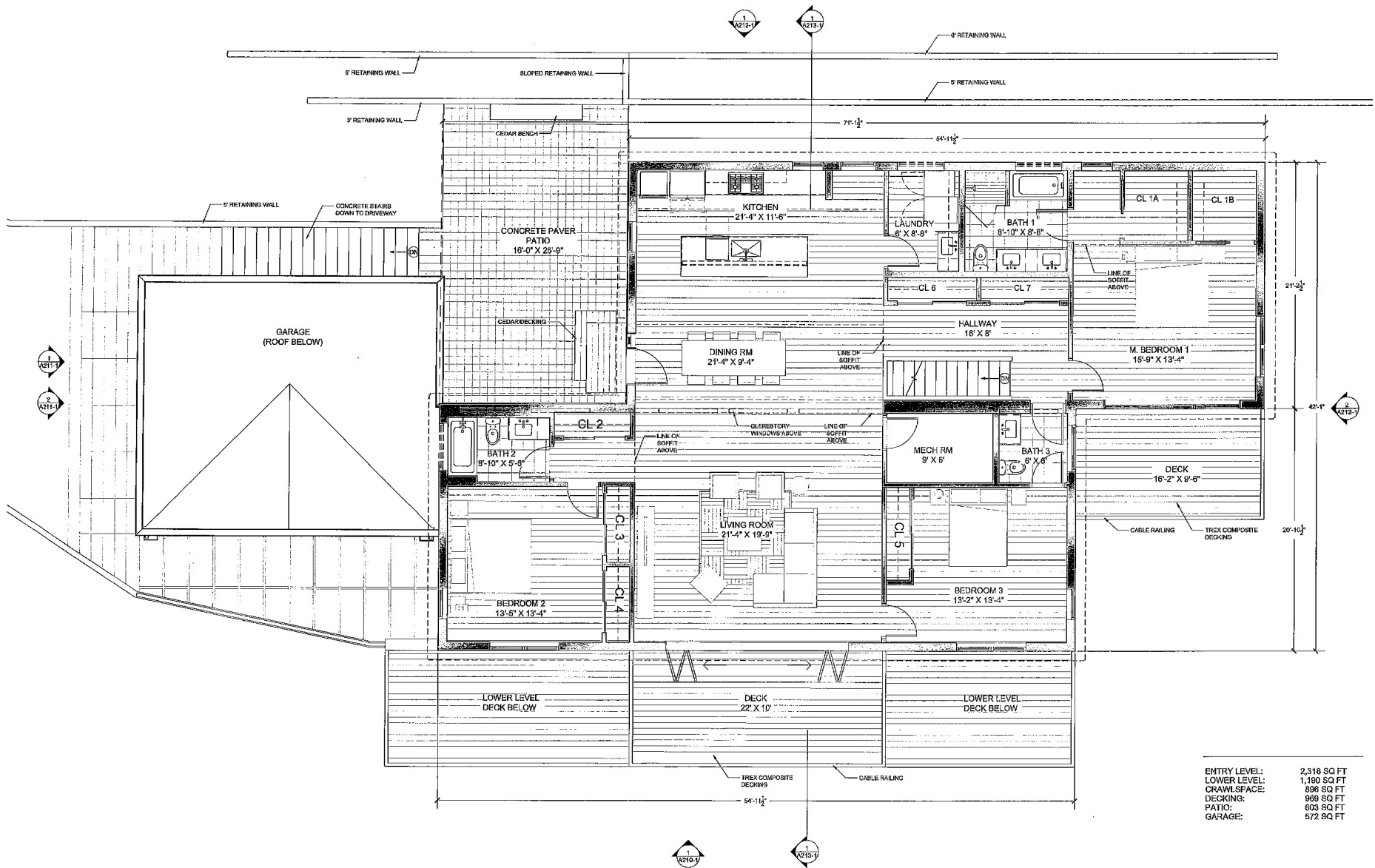
1 LOWER LEVEL PLAN

San Mateo County Planning Commission Meeting

Owner/Applicant: _____

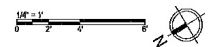
Attachment: _____

File Numbers: _____



1 ENTRY LEVEL PLAN

Scale: 1/4" = 1'-0"

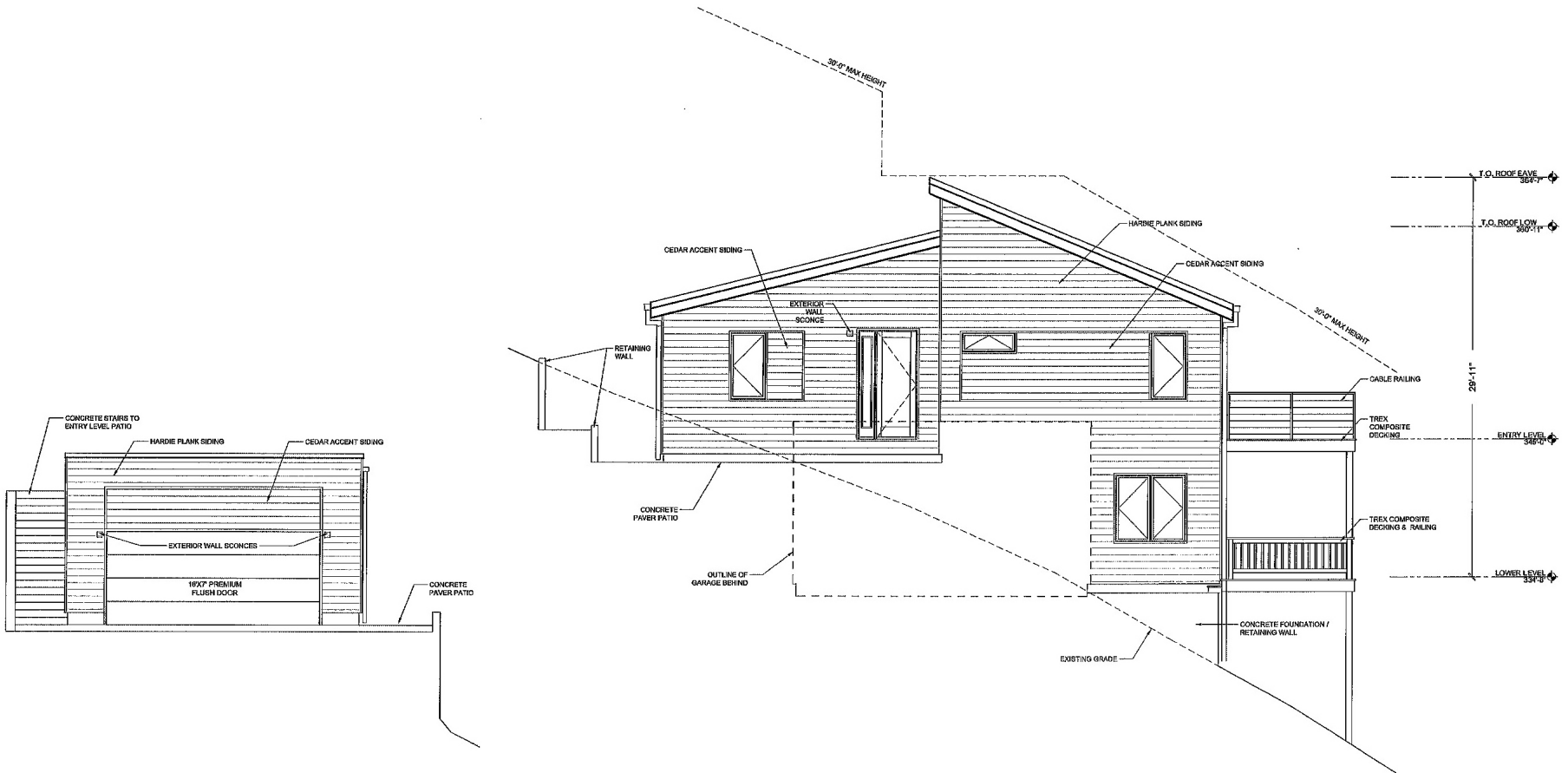


San Mateo County Planning Commission Meeting

Owner/Applicant: _____

Attachment: _____

File Numbers: _____



2 NORTH (FRONT) GARAGE ELEVATION Scale: 1/4" = 1'-0"

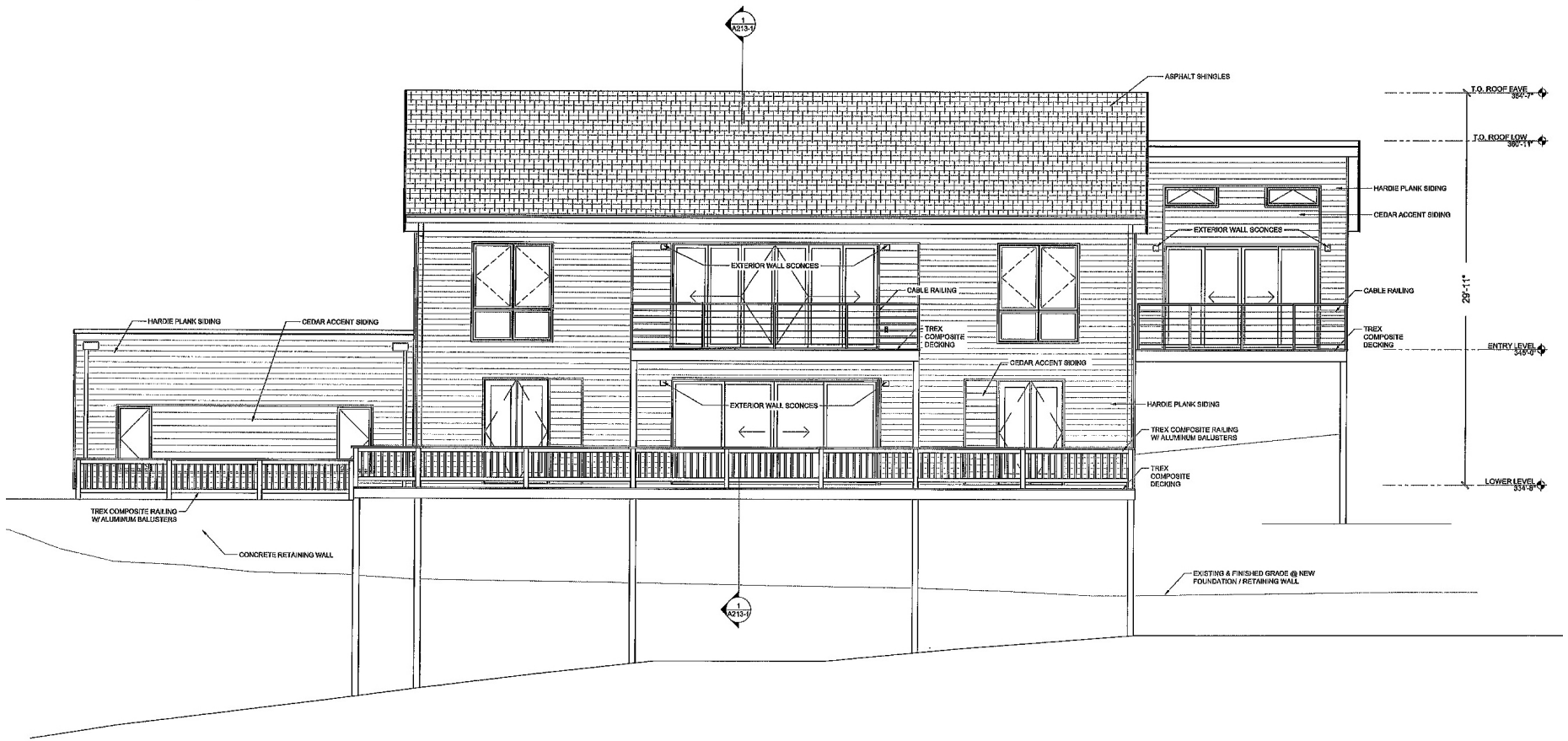
1 NORTH (FRONT) ELEVATION Scale: 1/4" = 1'-0"

San Mateo County Planning Commission Meeting

Owner/Applicant: _____

Attachment: _____

File Numbers: _____



① WEST (REAR) ELEVATION

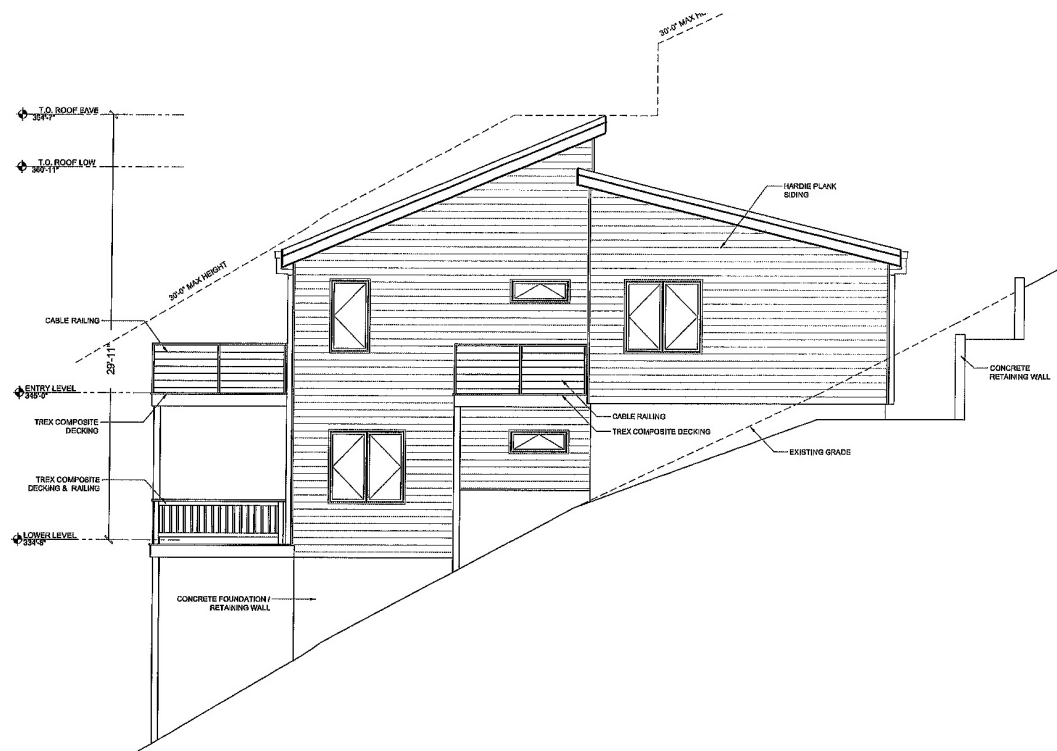
1/4" = 1'
 Scale: 1/4" = 1'-0"

San Mateo County Planning Commission Meeting

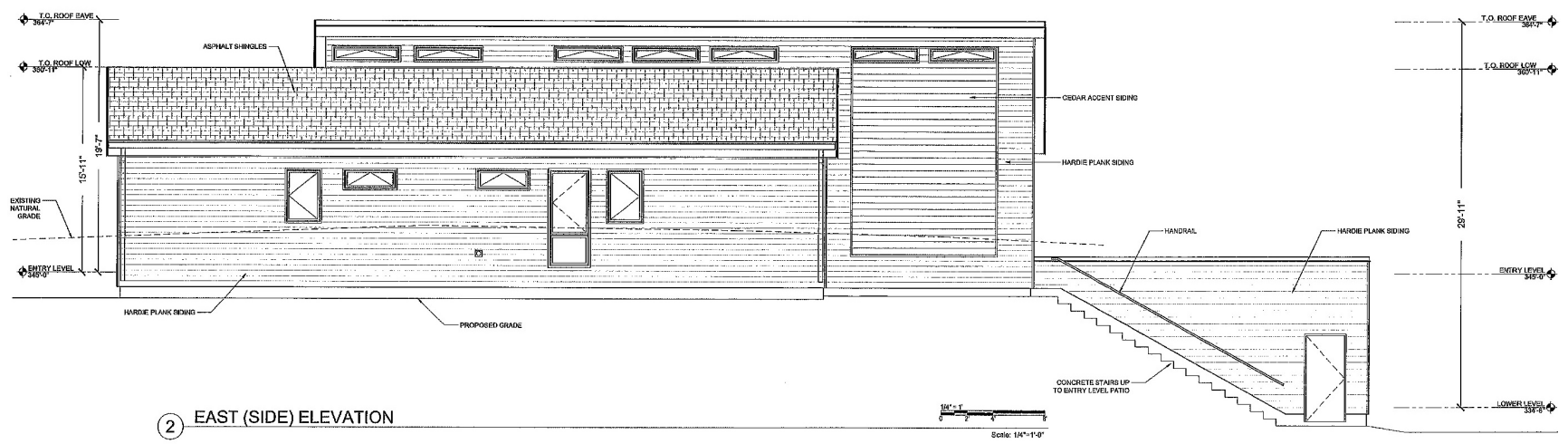
Owner/Applicant:

Attachment:

File Numbers:



① SOUTH (SIDE) ELEVATION



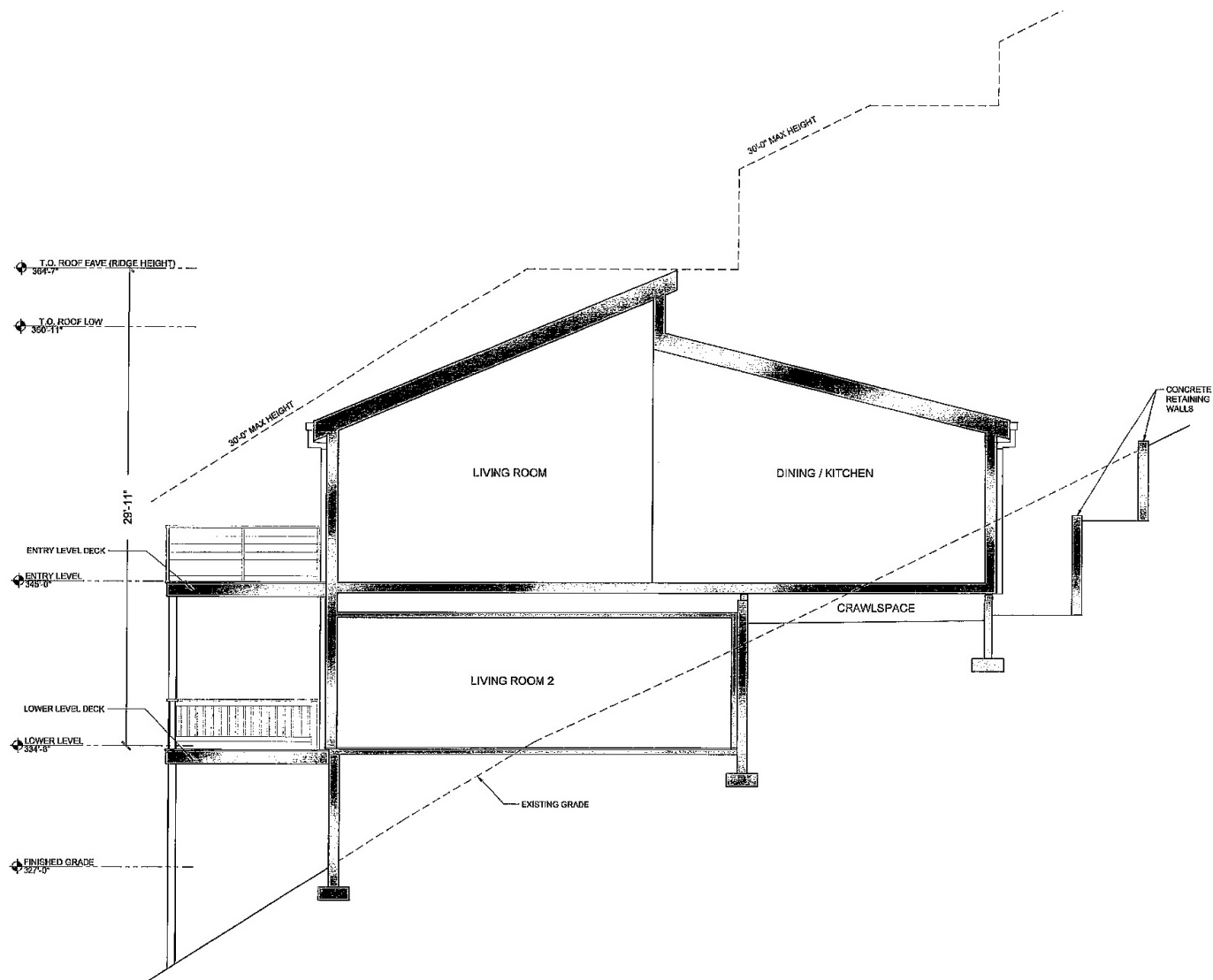
② EAST (SIDE) ELEVATION

San Mateo County Planning Commission Meeting

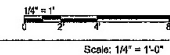
Owner/Applicant: _____

Attachment: _____

File Numbers: _____



1 BUILDING CROSS SECTION

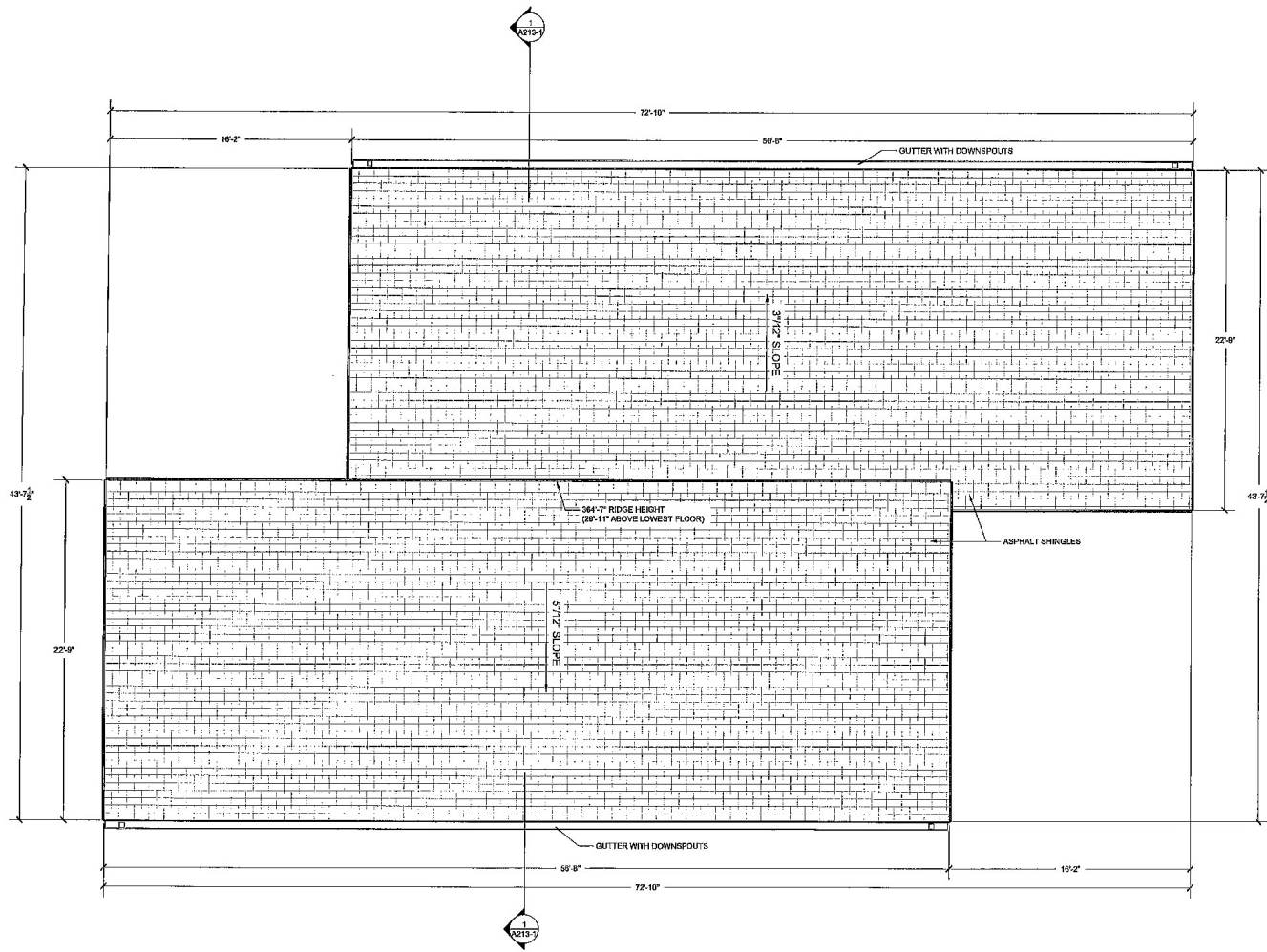


San Mateo County Planning Commission Meeting

Owner/Applicant:

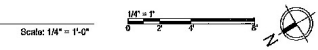
Attachment:

File Numbers:



ENTRY LEVEL:	2,318 SQ FT
LOWER LEVEL:	1,198 SQ FT
CRAWL SPACE:	898 SQ FT
DECKING:	988 SQ FT
PATIO:	803 SQ FT
GARAGE:	572 SQ FT

① ROOF PLAN



San Mateo County Planning Commission Meeting

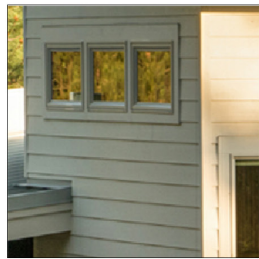
Owner/Applicant: _____

Attachment: _____

File Numbers: _____



GUTTER & DOWNSPOUTS: ALUM.
BRAND: DREXEL METALS, OR EQ.
COLOR: MEDIUM BRONZE



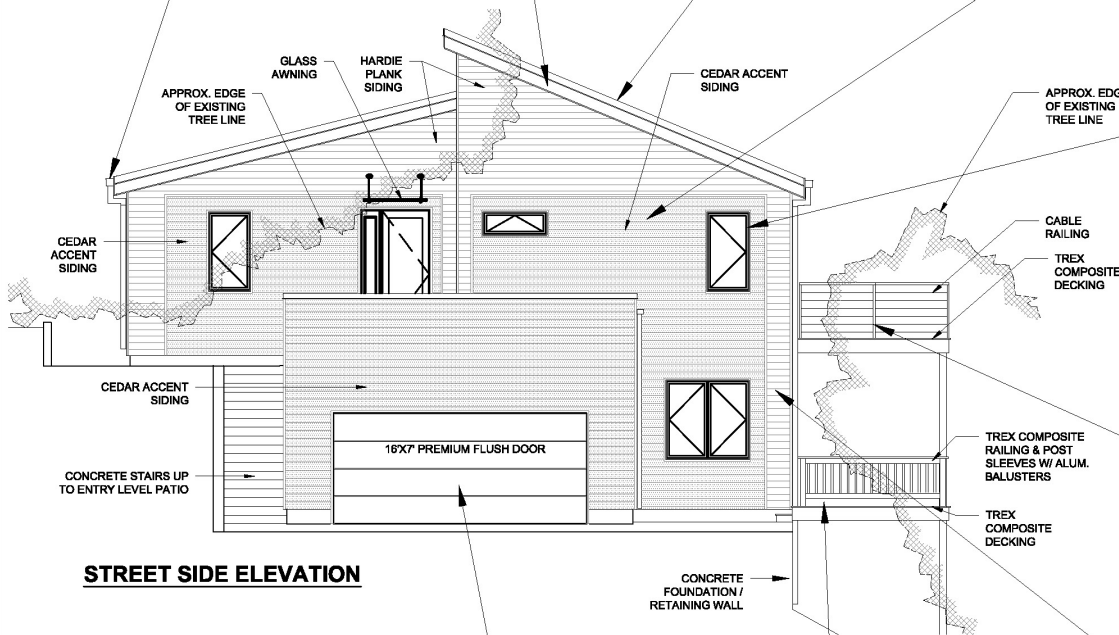
EXTERIOR TRIM: PAINTED COMPOSITE
BRAND: AZEK
COLOR: MATCH PRIMARY SIDING



ROOFING: ASPHALT SHINGLES
BRAND: GAF - TIMBERLINE COOL
COLOR: ANTIQUE SLATE



ACCENT SIDING: CLEAR WESTERN RED CEDAR, STAINED
COLOR: REDWOOD TONE



STREET SIDE ELEVATION



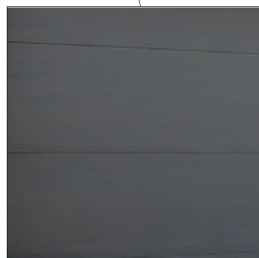
EXTERIOR WINDOWS & DOORS
BRAND: ANDERSEN
COLOR: TERRATONE



UPPER LEVEL RAILING: STEEL & CABLE
BRAND: AGS, OR EQUAL
RAIL: CEDAR TO MATCH ACCENT



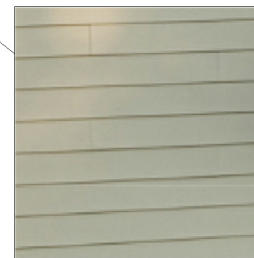
ENTRY AWNING: GLASS
HARDWARE: CR LAURENCE
COLOR: STAINLESS STEEL



GARAGE DOOR: FLUSH STEEL PANEL
BRAND: CLOPAY
COLOR: BRONZE



ALL DECKING: COMPOSITE
BRAND: TREX
COLOR: ISLAND MIST
RAILING: COMPOSITE/ALUM.
BRAND: TREX
COLOR: GRAVEL PATH POSTS W/ BLACK ALUM. BALUSTERS



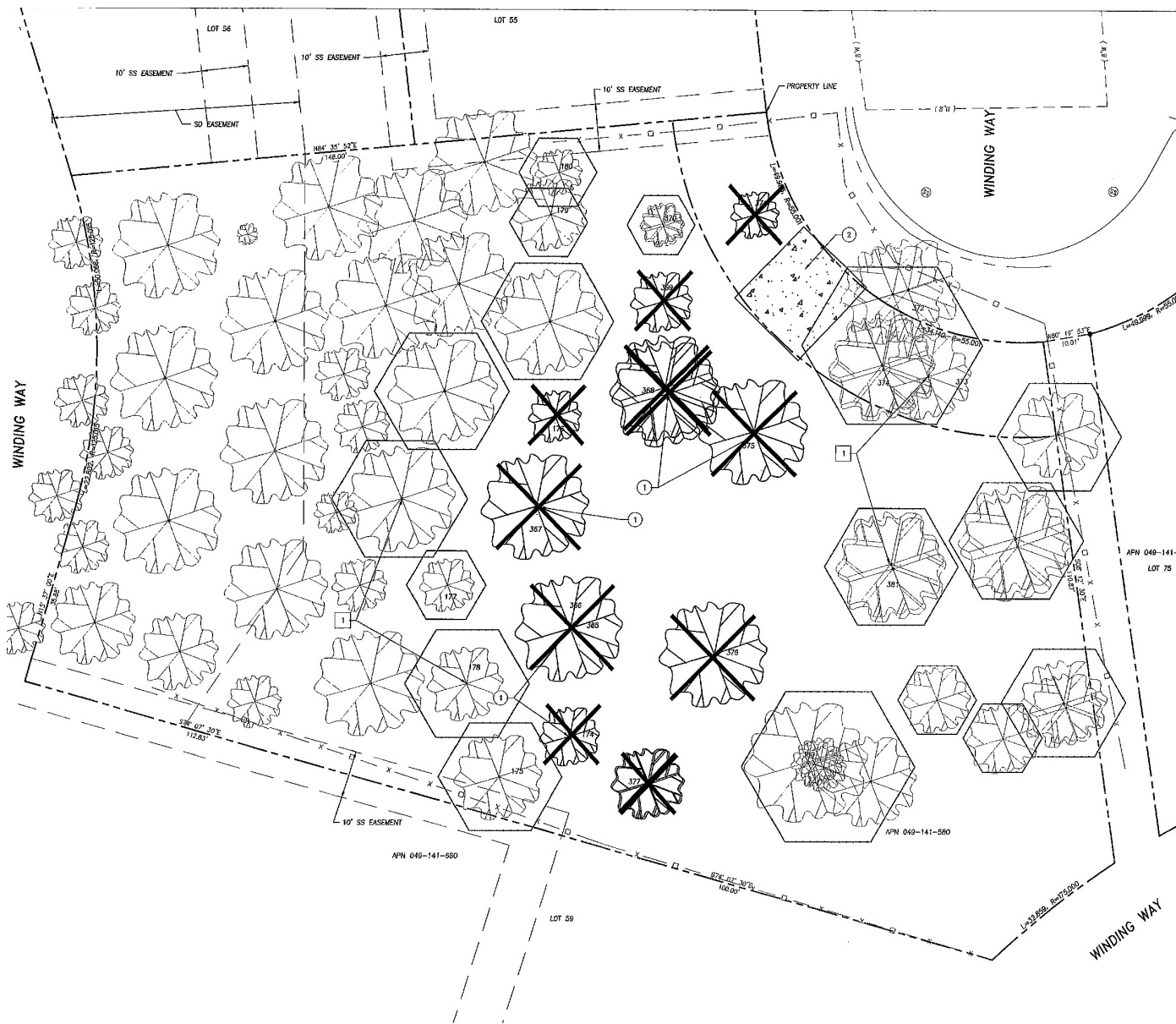
PRIMARY SIDING: CEMENTITIOUS PLANK, 5" REVEAL, SMOOTH
BRAND: JAMES HARDIE
COLOR: COBBLESTONE

San Mateo County Planning Commission Meeting

Owner/Applicant: _____

Attachment: _____

File Numbers: _____



DEMOLITION PLAN

① DEMO AND REMOVE EXISTING TREE
 ② DEMO, REMOVE, AND OFF-HAUL EXISTING CONCRETE PAVEMENT

PROTECTION NOTES

① PROTECT EXISTING TREE

DEMO TREE

TREE PROTECTION

NOTE: LIMITS OF DEMOLITION ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LIMITS PRIOR TO BEGINNING OF CONSTRUCTION.

EXISTING TREES

ABBV	BOTANICAL NAME
CD	CEDRUS DEPLEANA
HE	HOSEA BREVIFLORA
PCH	PESTALOTIA CHAMENSIS
PA	PLATANUS ACERIFOLIA
PC	PYRUS CALLERIANA

TREE PROTECTION AND MITIGATION

IDEAL PROTECTION - ALL EXISTING TREES OR GROUPINGS OF TREES SHALL BE FENCED FROM TO ANY CONSTRUCTION ACTIVITIES. FENCING AND TREE PROTECTION SHALL BE AS FOLLOWS:

A. PLASTIC MESH SAFETY FENCING SHALL BE TIED SECURELY TO 4" STEEL POSTS, 30" ON CENTER MAXIMUM OR OTHER MEANS ACCEPTABLE TO THE COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO COMMENCEMENT OF WORK.

B. FENCING SHALL BE PLACED AT THE APPROXIMATE OUTLINE OF THE TREES CANOPY OR THE LIMIT OF GROWING, WHICHEVER IS APPROPRIATE. SEE PLAN FOR APPROXIMATE FENCING LOCATIONS.

C. FENCING SHALL REMAIN INTACT UNTIL CONSTRUCTION IS COMPLETED AND MAY NOT BE REMOVED WITHOUT THE WRITTEN APPROVAL OF THE COMMUNITY DEVELOPMENT DEPARTMENT.

D. ANY EXCAVATION, CUTTING, FILLING, PAVING OR COMPACTION OF THE EXISTING GROUND SURFACES WITHIN THE PROTECTED ZONE SHALL BE MINIMIZED. NO ADVERSE SIGNIFICANT CHANGE IN EXISTING GROUND LEVEL SHALL OCCUR WITHIN THE DROPLINE OF ANY PROTECTED TREE.

E. CONSTRUCTION EQUIPMENT SHALL NOT BE STORED WITHIN THE PROTECTED ZONE. NO OIL OR CHEMICALS OR OTHER SUBSTANCES THAT MAY BE HARMFUL TO TREES SHALL NOT BE STORED OR DUMPED WITHIN THE PROTECTED ZONE, OR ANY OTHER LOCATION ON THE SITE FROM WHICH SUCH SUBSTANCES MIGHT ENTER THE PROTECTED ZONE.

F. TREASURES, INCLUDING UNDERGROUND TREASURES, WITHIN THE PROTECTED ZONE SHALL BE AVOIDED TO THE GREATEST EXTENT POSSIBLE. UNDERGROUND TREASURING FOR UTILITIES SHALL AVOID MAJOR SUPPORT AND FEEDER ROOTS OF PROTECTED TREES TO THE GREATEST EXTENT POSSIBLE. IF AVOIDANCE IS IMPRACTICAL, TUNNELS SHALL BE MADE BELOW THE ROOTS.

① DEMOLITION PLAN
 SCALE: 1" = 10'



February 25, 2016

Andrew Sikorski
Blu Homes, Inc.
1245 Nimitz Avenue
Vallejo, CA 94592

Dear Mr. Sikorski:

SUBJECT: Bayside Design Review Recommendation
Winding Way, Devonshire
APN 049-141-580; County File No. PLN 2015-00451

At the February 3, 2016 meeting, the Bayside Design Review Committee (Committee) considered your design review application to allow construction of new 4,080 sq. ft. single-family residence (3,508 sq. ft. with an attached 572 sq. ft. garage) on a 28,820 sq. ft. parcel (legalization to be confirmed with a certificate of compliance). Twelve significant trees are proposed to be removed. The project also requires a staff-level grading permit for earthwork in the amount of 638 cubic yards.

The Committee continued its review of the project from the January 13, 2016 meeting, where the Committee found that the project did not comply with the design review standards. No members of the public attended the February 3, 2016 meeting. No correspondence was received for the continued review of the item. An email sent prior to the first meeting covered several topics, which are outside of the purview of the design review application, such as air quality, construction traffic, protection of animals, and slope stabilization. An issue raised in the email, the removal of trees, was discussed by the Committee at both meetings.

Revised plans were submitted by the applicant to the Design Review Officer and reviewed by the Committee at the February 3, 2016 meeting. The Committee found the proposal to forgo replanting the 12 trees to be removed to be unacceptable and required a more comprehensive examination by an arborist of the site and its ability to accommodate replacement trees. The Committee also requested a change in the color of the garage door.

The Committee recommended approval of the project with the following conditions:

1. The applicant shall provide the Design Review Officer a tree replanting plan developed by a certified arborist which incorporates as many replacement trees as is feasible (up to 6 trees, 15-gallon each), and identifies locations that will both allow the trees to have adequate sunlight and contribute to increased privacy for the residence downhill of the proposed residence.



2. The garage door color shall be changed to "Bronze," a shade of grey, in order to more closely match the window frames and doors.

In a review of compliance with the design standards, the Bayside Design Review Committee determined that the project, as designed and conditioned, complies with the standards regarding respect for privacy of neighboring houses, incorporates facades which prohibit massive blank walls, has proper scale of windows and doors, and uses recommended materials and colors.

The California Environmental Quality Act (CEQA) provides a categorical exemption for the construction of a single-family residence in a residential zone under Class 3 of the CEQA Guidelines. Section 15300 of the Public Resources Code lists this class of project as one that has been determined not to have a significant effect on the environment.

Based on the plans, application forms and accompanying materials submitted, the Bayside Design Review Committee recommended approval of the design review portion of your project subject to the following findings and conditions. A final decision on the design review approval, certificate of compliance, and associated grading permit will be issued by the Community Development Director in the upcoming weeks.

FINDINGS

For the Environmental Review

The Design Review Officer found that:

1. This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15303, Class 3, relating to construction of small structures, such as single-family residences.

For the Design Review

The Bayside Design Review Committee found that:

2. This project, as designed and conditioned, has been reviewed under and found to be in compliance with the Design Review Standards as stipulated in Chapter 28, Section 6565.15, of the San Mateo County Zoning Regulations. The proposal was reviewed by the Bayside Design Review Committee on January 13, 2016 and February 3, 2016.
3. After consideration of public testimony and additional correspondence, the Committee found that the project, as proposed and conditioned, is in compliance with the Design Review Standards because the project: (a) has a well-articulated front facade and other elevations, (b) uses materials which comply with the Design Review Standards, and (c) respects privacy of neighboring houses.

CONDITIONS OF APPROVAL

Current Planning Section

1. The project shall be constructed in compliance with the approved plans. Any changes or revisions to the approved plans shall be submitted for review by the Community Development Director to determine if they are compatible with the Design Review Standards and in substantial compliance with the approved plans prior to being incorporated into the building plans. Adjustments to the project may be approved by the Bayside Design Review Committee if they are consistent with the intent of and are in substantial conformance with this approval. Adjustments to the design during the building plan stage may result in the assessment of additional plan resubmittal or revision fees. Alternatively, the Design Review Officer may refer consideration of the adjustments, if they are deemed to be major, to a new Bayside Design Review Committee public hearing which requires payment of an additional fee of \$1,500, and surcharges.
2. The applicant shall provide the Design Review Officer a tree replanting plan developed by a certified arborist which incorporates as many replacement trees as is feasible (up to 6 trees, 15-gallon each), and identifies locations that will both allow the trees to have adequate sunlight and contribute to increased privacy for the residence downhill of the proposed residence.
3. The garage door color shall be changed to "Bronze," a shade of grey, in order to more closely match the window frames and doors.
4. Prior to any grading or construction activity on the project site, the property owner shall implement the following tree protection plan:
 - a. The property owner shall establish and maintain tree protection zones throughout the entire length of the project.
 - b. Tree protection zones shall be delineated using 4-foot tall orange plastic fencing supported by poles pounded into the ground, located as close to the driplines as possible while still allowing room for construction/grading to safely continue.
 - c. The property owner shall maintain tree protection zones free of equipment and materials storage and shall not clean any equipment within these areas.
 - d. Should any large roots or large masses of roots need to be cut, the roots shall be inspected by a certified arborist or registered forester prior to cutting.
 - e. Any root cutting shall be monitored by an arborist or forester and documented.
 - f. Roots to be cut should be severed cleanly with a saw or toppers.
 - g. Normal irrigation shall be maintained, but oaks should not need summer irrigation.

5. All utilities shall be installed underground.
6. The approved exterior colors and materials shall be verified prior to final approval of the building permit. The applicant shall provide photographs to the Design Review Officer to verify adherence to this condition prior to a final building permit sign-off by the Current Planning Section.
7. Prior to the Current Planning Section approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
8. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.

If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.

9. The applicant shall adhere to all requirements of the Building Inspection Section, the Department of Public Works, and Cal-Fire.
10. No site disturbance shall occur, including any grading or tree removal, until a grading permit and a building permit have been issued.
11. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.

- c. The applicant shall ensure that no construction-related vehicles impede through traffic along the right-of-way on Winding Way. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Winding Way. There shall be no storage of construction vehicles in the public right-of-way.
12. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays, and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).
13. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines" including, but not limited to, the following:
 - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - c. Performing clearing and earth-moving activities only during dry weather.
 - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.
 - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
 - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilization of designated access points.

- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
14. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading remediation activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.

Cal-Fire

15. Fire Department access shall be to within 150 feet of all exterior portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or facility. Access shall be 20 feet wide, all weather capability, and able to support a fire apparatus weighing 75,000 lbs. Where a fire hydrant is located in the access, a minimum of 26 feet is required for a minimum of 20 feet on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Grades over 15% shall be paved and no grade shall be over 20%. When gravel roads are used, it shall be class 2 base or equivalent compacted to 95%. Gravel road access shall be certified by an engineer as to the material thickness, compaction, all weather capability, and weight it will support.
16. All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least 6 feet above the finished surface of the driveway. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in color to their background and shall be no less than 4 inches in height, and have a minimum 1/2-inch stroke. Remote signage shall be a 6" x 18" green reflective metal sign.

17. A fire flow of 1,500 gpm for 2 hours with a 20-psi residual operating pressure must be available as specified by additional project conditions to the project site. The applicant shall provide documentation including hydrant location, main size, and fire flow report at the building permit application stage. Inspection required prior to Fire's final approval of the building permit or before combustibles are brought on-site.
18. Any chimney or woodstove outlet shall have installed onto the opening thereof an approved (galvanized) spark arrester of a mesh with an opening no larger than 1/2 inch in size or an approved spark arresting device. Maintain around and adjacent to such buildings or structures a fuelbreak/firebreak made by removing and clearing away flammable vegetation for a distance of not less than 30 feet and up to 100 feet around the perimeter of all structures or to the property line, if the property line is less than 30 feet from any structure. This is not a requirement nor an authorization for the removal of live trees. Remove that flammable portion of any tree which extends within 10 feet of the outlet of any chimney or stovepipe, or within 5 feet of any portion of any building or structures. Remove that dead or dying portion of any tree which extends over the roofline of any structure.
19. The required fire flow shall be available from a County Standard 6" Wet Barrel Fire Hydrant. The configuration of the hydrant shall have a minimum of one each 4 1/2" outlet and one each 2 1/2" outlet located not more than 250 feet from the building measured by way of approved drivable access to the project site.
20. All roof assemblies in Very high Fire Hazard Severity Zones shall have a minimum CLASS-A fire resistive rating and be installed in accordance with the manufacturer's specifications and current California Building and Residential Codes.
21. Smoke alarms and carbon monoxide detectors shall be installed in accordance with the California Building and Residential Codes. This includes the requirement for hardwired, interconnected detectors equipped with battery backup and placement in each sleeping room in addition to the corridors and on each level of the residence.
22. An approved Automatic Fire Sprinkler System meeting the requirements of NFPA-13D shall be required to be installed for your project. Plans shall be submitted to the San Mateo County Building Inspection Section for review and approval by the authority having jurisdiction.
23. A statement that the building will be equipped and protected by automatic fire sprinklers must appear on the title page of the building plans.
24. This project is located in a wildland urban interface area. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors, and underfloor protection shall meet CRC R327 or CBC Chapter 7A requirements.

Department of Public Works

25. Prior to the issuance of the building permit or planning permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.
26. Prior to the issuance of the building permit or planning permit (if applicable), the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
27. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
28. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.

If you have questions or need further information, please contact me at 650/363-1828.

To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

Sincerely,



Erica D. Adams
Design Review Officer

EDA:fc – EDAAA0092_WFN.DOCX

cc: Heidi Lubin and Rafael Gomez-Sjoberg, Owners
David Fedor, Interested Party

January 26, 2016

Andrew Sikorski
Blu Homes, Inc.
1245 Nimitz Avenue
Vallejo, CA 94592

Dear Mr. Sikorski:

SUBJECT: Bayside Design Review Continuance
Winding Way, Devonshire
APN 049-141-580; County File No. PLN 2015-00451

At the January 13, 2016 meeting, the Bayside Design Review Committee (Committee) considered your design review application to allow construction of new 4,080 sq. ft. single-family residence (3,508 sq. ft. with an attached 572 sq. ft. garage) on a 28,820 sq. ft. parcel to be legalized with a Certificate of Compliance. Twelve significant trees are proposed to be removed. The project also requires a staff-level grading permit for earthwork in the amount of 638 cubic yards.

At the meeting, email correspondence from a concerned member of the public was distributed to the Committee and applicant. No members of the public attended the hearing. The email covered several topics which are outside of the purview of the design review application, such as air quality, construction traffic, protection of animals, and slope stabilization. One issue raised in the email, the removal of trees, was discussed by the Committee at the hearing and will be addressed by a plan from the applicant.

The California Environmental Quality Act (CEQA) policies provides a categorical exemption for the construction of a single-family residence in a residential zone under Class 3 of the CEQA Guidelines. Section 15300 of the Public Resources Code lists this class of projects as one that does not have a significant effect on the environment.

Additionally, the project site is not in an area with mapped hazards or resources; therefore, potential environmental impacts from construction of a single residence, while they may be inconvenient for residents in the vicinity, are temporary, and have been determined to be less than significant and do not require mitigation.

At the meeting, the applicant described the project and how it complies with the design review standards. The Committee unanimously determined that the project did not comply with the standards and made a movement to recommend denial of the permit; however, a request was made by the applicant to continue the hearing to the February 3, 2015 meeting to allow revisions to be made to the project in order to achieve compliance with the following listed design standards.



The Bayside Design Review Committee found that the proposed residence did not comply with these design standards and a continuance was granted to allow the applicant to explore design changes which would allow the project to comply with the following listed design standards in Section 6565.15.

A. *Site Planning*

As much as possible, site new buildings on a parcel in locations that:

1. *Minimize tree removal.*

The Committee would like to see a tree plan which better addresses the 3:1 replacement ratio found in the design review standards.

B. *Architectural Styles*

Design new buildings that are architecturally compatible with existing buildings by requiring them to reflect and emulate, as much as possible, the predominant architectural styles and the natural surroundings of the immediate area (e.g., bungalow, craftsman, ranch). Avoid revivalist historical styles.

The Committee stated that the selected materials and style of the residence were not an architectural style which worked with the site and its immediate surroundings. The Committee recommended that the applicant revisit the project's design relative to this standard.

E. *Facades*

Design well-articulated and proportioned facades by:

1. *Avoiding the dominance of garages at street level;*
2. *Considering the placement and appearance of garages and the width of garage doors;*
3. *Prohibiting massive blank walls by creating aesthetic and proportioned patterns of windows and shadows; and*
4. *Relating the size, location, and scale of windows and doors to adjacent buildings.*

The Committee stated that the project did not have doors and windows which created proportioned patterns and facades. The Committee recommended that the applicant reconfigure window sizes to improve the project's window patterns.

G. *Materials and Colors*

Make varying architectural styles compatible by using similar materials and colors which blend with the natural setting and the immediate area. Avoid the use of building materials

and colors which are highly reflective and contrasting by requiring them to blend and harmonize with the natural woodland environment and vegetation of the area.

1. *Use colors such as warm grays, beiges, natural woods, and muted greens. Prohibit the use of cool grays, blues, pinks, yellows, and white.*
2. *Encourage the use of building materials that are compatible with the predominant architectural styles of the immediate area. In areas where bungalow, craftsman, and ranch architectural styles are predominant, use 28.1.12 real wood and stone building materials such as board and batten, wall shingles, fire-resistant roof shingles, flagstone, and rock. Avoid such materials as simulated stone and T-111 plywood. Ensure that all roof materials have Class "C" or better fire resistive ratings.*

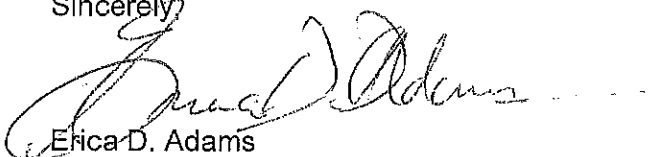
The Committee stated that the selected color, is not compliant with the standard which prohibits cool grays and whites. A different color should be selected to comply with the design standards. In addition the Committee stated that there should be increased application of recommended materials on the facades facing public views. The level of contrast between the colors of the selected materials should be reduced to better blend with the natural setting.

The Committee also suggested that the applicant consider adding a protected entryway to the project to prevent one from being added at a later date that is not well integrated into the existing aesthetic.

The design review hearing was continued to a date certain, February 3, 2016 at 3:00 p.m. No additional notification is required.

If you have questions or need further information, please contact me at 650/363-1828.

Sincerely,



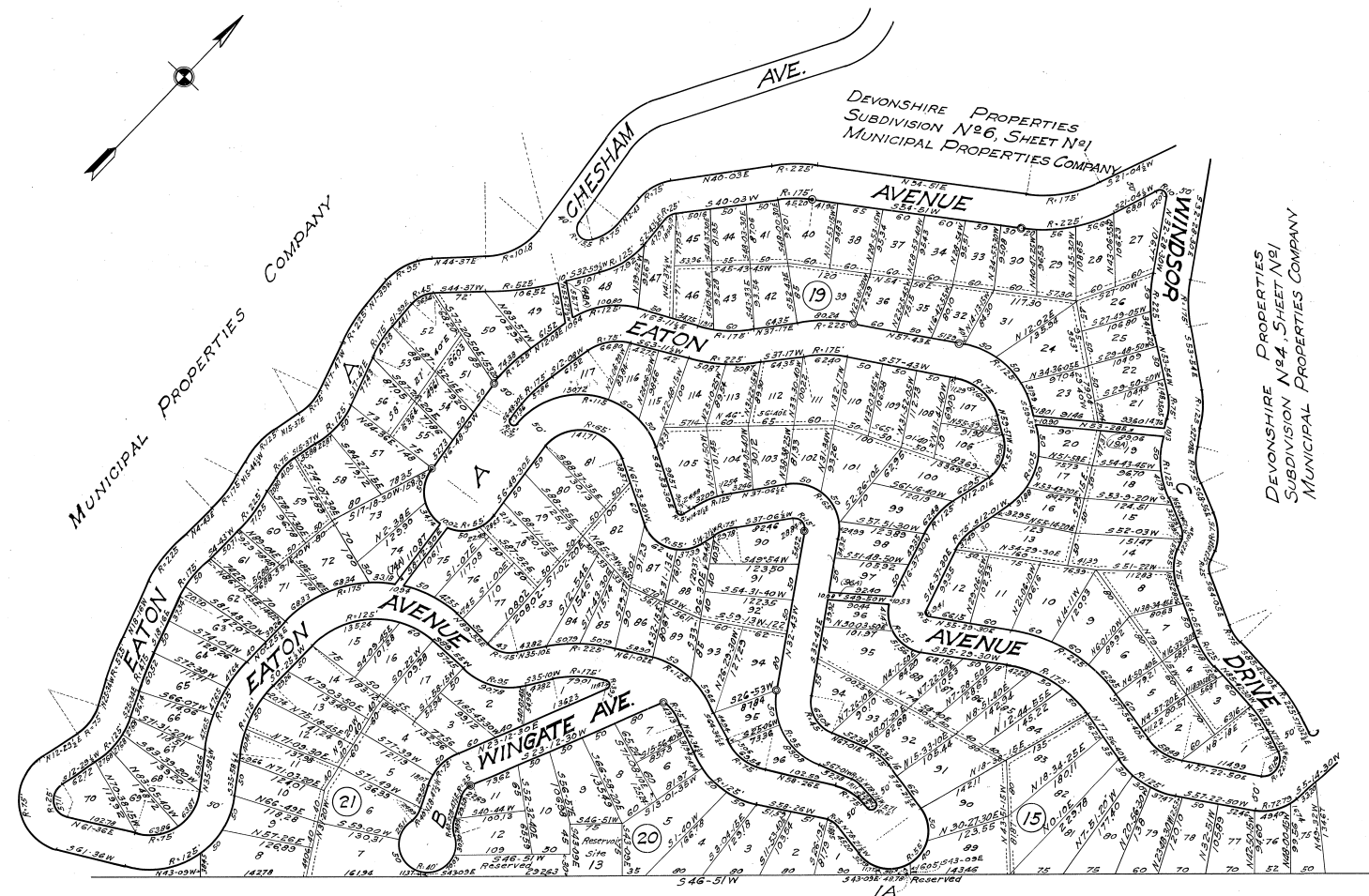
Erica D. Adams
Design Review Officer

EDA:pac – EDAAA0051_WPN.DOCX

cc: Heidi Lubin and Rafael Gomez-Sjoberg, Owners
David Fedor, Interested Party

All dimensions are in feet and decimals
All bearings are true Meridian
2x2 stakes at all lot corners
⊙ Indicates Iron Pipe Monuments
--- Indicates 10 foot easement, 5 feet
on each side of the lot line, for Sewer, Water,
Gas, Electric and Telephone Lines.

DEVONSHIRE PROPERTIES
OF
MUNICIPAL PROPERTIES COMPANY
AMENDED AND SUPPLEMENTARY MAP OF
SUBDIVISION NUMBER FOUR



BRITTAN

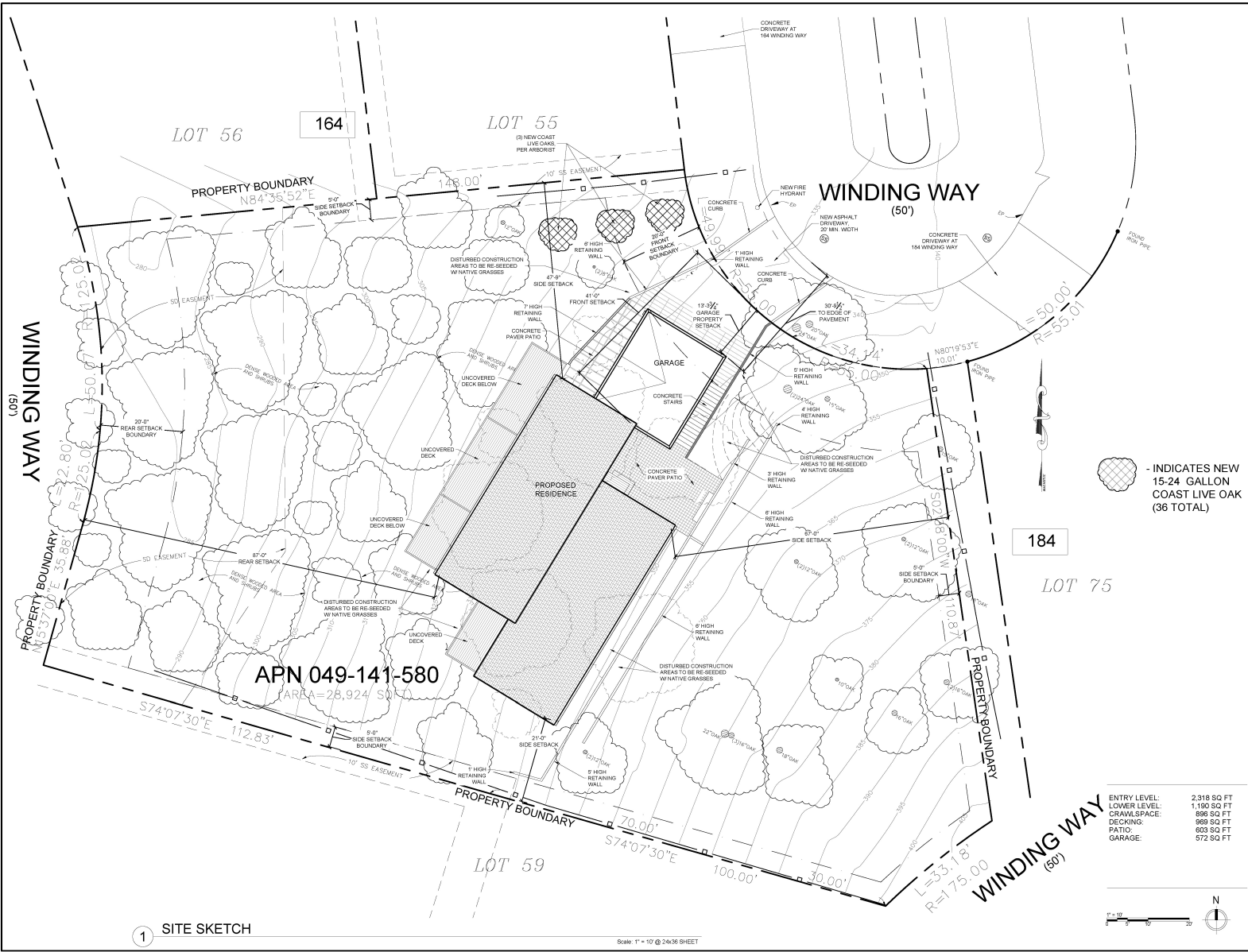
SHEET TWO OF THREE SHEETS

San Mateo County Planning Commission Meeting

Owner/Applicant: _____

Attachment: _____

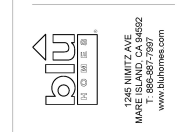
File Numbers: _____



BLU/OWNER: SARAH WAGNER
 SALES: SARAH WAGNER
 PROJ. COORD: FRANK DE LA CAMPA
 A&E: ANDREW SIKORSKI

SEE SHEET 000-1 FOR COMPLETE BLU NOTES AND PROJECT CONSULTANT CONTACT INFORMATION

LUBIN RESIDENCE
 0 WINDING WAY
 SAN CARLOS, CA 94070
 PROJECT#: 00049SD



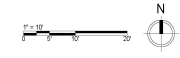
SUBMITTAL DESIGN REVIEW			
REV	DATE	DRAWN	CHECKED
0	10/07/15	AS	AS
1	12/04/15	AS	AS
2	01/27/15	AS	AS
3	02/16/16	AS	AS

BLU PRODUCTS:
BA-15 & L-GA

SHEET TITLE:
SITE PLAN SKETCH

SHEET NUMBER:
A010-1

ENTRY LEVEL: 2,318 SQ FT
 LOWER LEVEL: 1,190 SQ FT
 CRAWL SPACE: 896 SQ FT
 DECKING: 888 SQ FT
 PATIO: 603 SQ FT
 GARAGE: 572 SQ FT



A:\Projects\Lubin - Winding Way (20151020)\GIS-Schematic\Design Review (CAD or Revit)\Lubin - Design Review_20151020\1 - Site Information.dwg 2/15/2016 8:52:54 AM
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San Mateo County Planning Commission Meeting

Owner/Applicant:

Attachment:

File Numbers:

March 1, 2016

Heidi Lubin
0 Winding Way
San Carlos, CA 94070



I reviewed the most recent site plan A010-1 dated February 16, 2016 for 0 Winding Way in San Carlos to assess the tree planting locations.

It is my opinion the tree planting in this location is best for the site and the exiting tree canopy. The lot is heavily forested with mature trees and already has a dense canopy cover. Best forestry practices would be to minimize replanting on the site due to the current amount of trees the site can sustain. I am in approval of this plan for this site.

Please contact me with any questions.

Richard J. Gessner

A handwritten signature in blue ink that reads "Richard J. Gessner".

ASCA Registered Consulting Arborist® #496
ISA Board Certified Master Arborist® WE-4341B
ISA Tree Risk Assessor Qualified

