

December 22, 2016

Manuel F. Silveira
360 Belleville Boulevard
Half Moon Bay, CA 94019

Dear Mr. Silveira:

SUBJECT: Coastside Design Review
Avenue Alhambra, El Granada
APN 047-043-240; County File No. PLN 2016-00085

At its meeting of December 8, 2016, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a design review permit to allow construction of a new 3,067 sq. ft. two-story single-family residence (including a 587 sq. ft. attached two-car garage) on a 6,485 sq. ft. legal parcel (Certificate of Compliance recorded on November 12, 2015). The project involves minor grading and no tree removal.

The CDRC was unable to make the findings for a design review recommendation of approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required. As such, requirements from the CDRC for further project redesign are as follows:

- a. *Section 6565.20(D). ELEMENTS OF DESIGN; 1. Building Mass, Shape and Scale; e. Wall Articulation. Standard (2).* Provide projecting or recessing architectural details and changes in building materials or colors to visually break up building walls in the Rear/East and Side/South elevations. This standard also needs to be applied to the enclosed decks in the project design to reduce their apparent mass.
- b. *Section 6565.20(D). ELEMENTS OF DESIGN; 2. Architectural Styles and Features; b. Openings. Standard (1).* Select windows for the Front elevation that are compatible with the other windows and features of the house (See the picture on page 15 of "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual).
- c. *Section 6565.20(D). ELEMENTS OF DESIGN; 2. Architectural Styles and Features; c. Entries. Standards (1) and (2).* Design the front entry to be on a scale compatible with other features of the house (1) and so that it is similar in size and proportion to other homes in the neighborhood (2) (See the picture on page 16 of "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual).



- d. *Section 6565.20(F). LANDSCAPING, PAVED AREAS, FENCES, LIGHTING AND NOISE; 1. Landscaping; Standards (b) and (f).* Further develop the landscape plan to provide for additional landscaping throughout the property to enhance the design of the house and complement the vegetation in the surrounding neighborhood (b); and use only drought-tolerant and either native or non-invasive plant species (f). Specifically, remove the Mexican Feather Grass from the landscape plan, and specify the size of the plantings indicated in the landscape plan.
- e. *Section 6565.20(F). LANDSCAPING, PAVED AREAS, FENCES, LIGHTING AND NOISE; 2. Paved Areas; Standards (a) and (c).* Minimize and revise the hardscape areas to provide a more natural appearance and to reduce the volume and improve the quality of runoff into creeks and storm drains (a); and redesign driveways, walkways, and parking areas on-site to be as small as possible within allowable standards.

Other recommendations discussed include:

- a. Either remove the storage container from the design plans or provide a design plan for the storage container that employs design standards for the Midcoast for ancillary structures [Section 6565.20(G)].
- b. Replace the proposed garage door with a carriage-door style. Please submit manufacturer's specifications.

As such, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Camille Leung, Senior Planner, at 650/363-1826, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

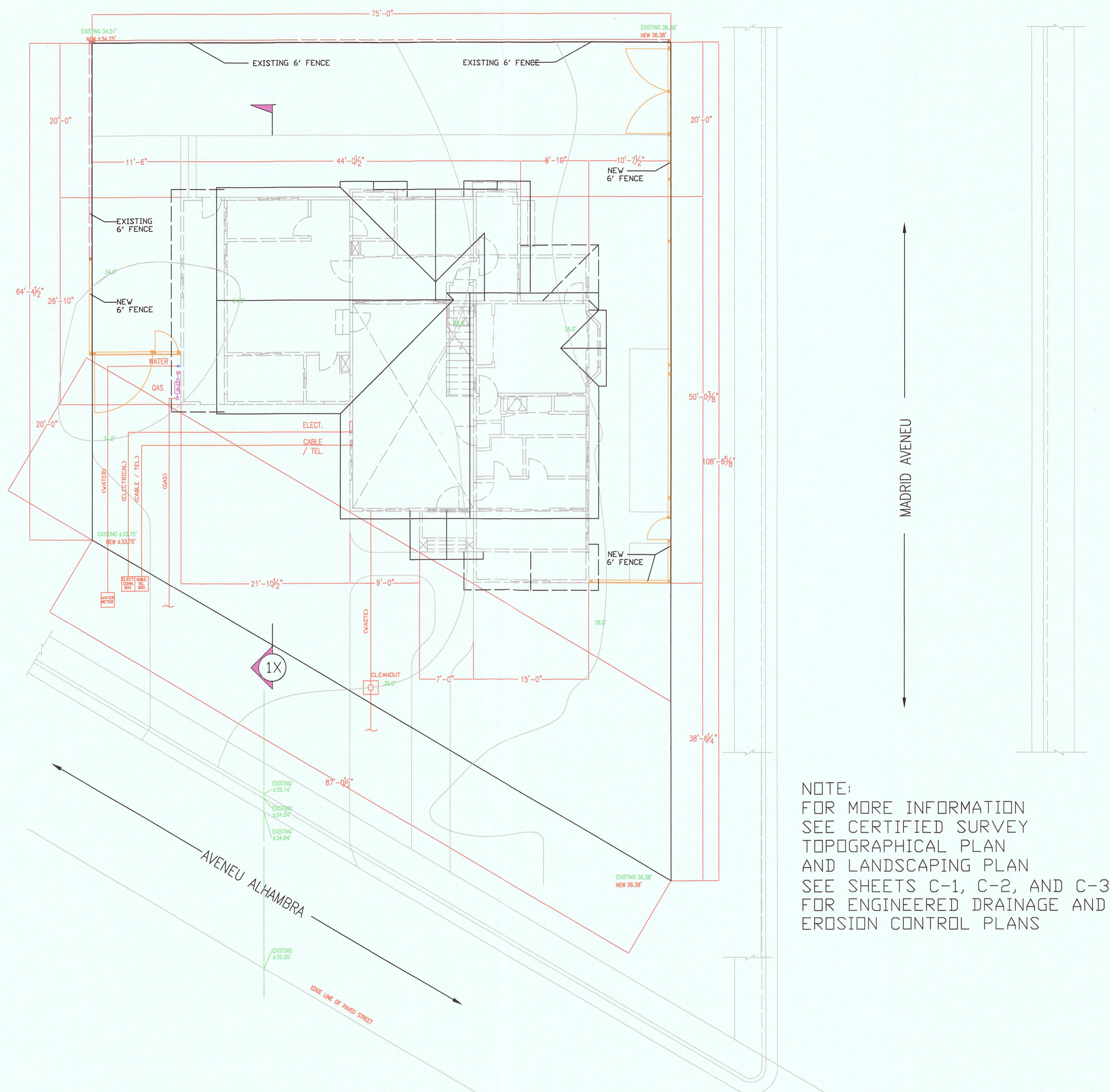
Sincerely,



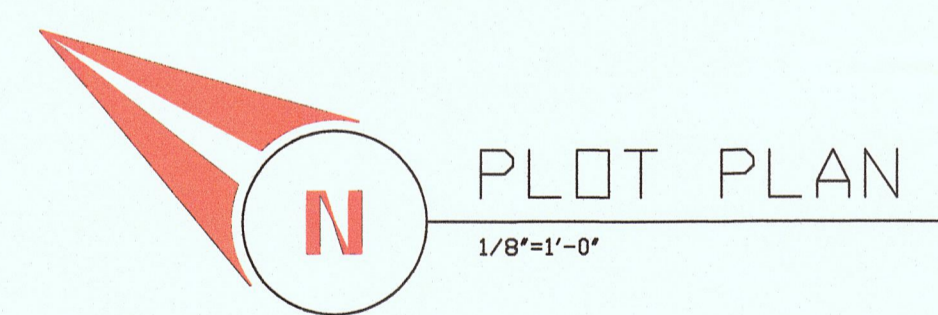
Dennis P. Aguirre, Design Review Officer

LAA:CML:jlh – CMLAA0707_WJN.DOCX

cc: Dianne Whitaker, Member Architect
Stuart Grunow, Member Architect
Chris Johnson, El Granada Community Representative
Linda Montalto Patterson, Interested Member of the Public



NOTE:
FOR MORE INFORMATION
SEE CERTIFIED SURVEY
TOPOGRAPHICAL PLAN
AND LANDSCAPING PLAN
SEE SHEETS C-1, C-2, AND C-3
FOR ENGINEERED DRAINAGE AND
EROSION CONTROL PLANS



SYMBOL LEGEND

- ⊖ 110 VOLT OUTLET
- ⊖ 220 VOLT OUTLET
- ⊕ LIGHT JUNCTION BOX
- ⊕ CAN LIGHT
- ⊕ FAN W/ FLUOR. LIGHT
- ⊕ FLUORESCENT LIGHT
- ⊕ TELEPHONE OUTLET
- ⊕ CABLE TV OUTLET
- ⊕ MEDIA / COMPUTER
- ⊕ HOT / COLD WATER
- ⊕ COLD WATER
- S LIGHT SWITCH (1 WAY)
- S2 LIGHT SWITCH (2 WAY)
- S3 LIGHT SWITCH (3 WAY)
- W WASHER
- D GAS/ELECT. DRYER
- FURN GAS FURNACE / AIR CONDITIONER / DISPOSER
- WH WATER HEATER
- ⊕ DISH WASHER
- ⊕ DISH WASHER
- ⊕ SMOKE DETECTOR
- ⊕ GAS CONNECTION
- FR FIRE RATED

GENERAL NOTES

- 1) All electrical work shall be done in accordance with National Electrical & local building codes.
- 3) All plumbing work shall be done in accordance with Uniform Plumbing & local building codes.
- 4) All 110-volt electrical outlets in bathrooms and / or exterior shall be wired with ground fault interrupters (GFI).
- 5) All fixtures, appliances, floor coverings, finishes, colors, & models to be selected by owner.
- 5) All glass shall conform with human impact code section 2406.
- 6) All work shall conform to Title 24 Energy Code.
- 7) Provide all security devices required by local ordinances.
- 8) Smoke alarm / detector are to be hardwired, interconnected, or with battery back-up. Smoke alarm to be installed per manufacturers' instructions and NFPA72
- 9) Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 50 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24". The net clear openable width dimension shall be 20". Finished sill height shall be not more than 44" above the finished floor.
- 10) This building will be protected by an automatic fire sprinkler system.
- 11) New attached garage shall meet occupancy separation requirements. Per CRC R302.5/R302.6.
- 11) New residential building shall have internally illuminated address numbers contrasting with background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway / roadway entrance leading to the building and / or on each individual building shall be required by the Coastside Fire District. The remote signage shall consist of a 6' by 8' green reflective metal sign with 3' reflective numbers / letters similar to Hy-Ko 911 or equivalent.

PROJECT INFORMATION

DESCRIPTION:	2 STORIES SINGLE FAMILY RESIDENCE ON VACANT OVERSIZED STANDARD LOT. ('S-17' DISTRICT)
LOT SIZE:	79'W x 108'-6" S/8' D (64'-4" 1/2" D OTHER SIDE) 6486 SQ FT
LOT COVERAGE:	
ALLOWED:	35 % 2270
EXISTING:	0 % 0 SQ FT
PROPOSED:	30.3 % 1967

CONSTRUCTION DATA

BUILDING SIZE:	
TOTAL ALLOWED FLOOR AREA:	53 % 3437.5 SQ FT
MAIN RESIDENCE LIVING FLOOR AREA (1ST & 2ND FLOORS):	19 % 2161 SQ FT
GARAGE FLOOR AREA:	9 % 587 SQ FT
1ST FLOOR AREA:	20 % 1299 SQ FT
2ND LEVEL FLOOR AREA:	13.1 % 862 SQ FT
2ND LEVEL DECK FLOOR AREA:	.05 % 319 (319 SQ FT - 56SQ FT EXCLUSION)
TOTAL PROPOSED FLOOR AREA:	47.1 % 3067

SETBACKS

PROPOSED:	MINIMUM ALLOWED:
FRONT:	20' 0"
REAR:	20' 0"
SIDES:	11' 6" & 10' 7 1/2" FOR TOTAL OF 22' 1 1/2" 5' 0" AND 10' 0" (15' 0" BOTH SIDES) (CORNER LOT)

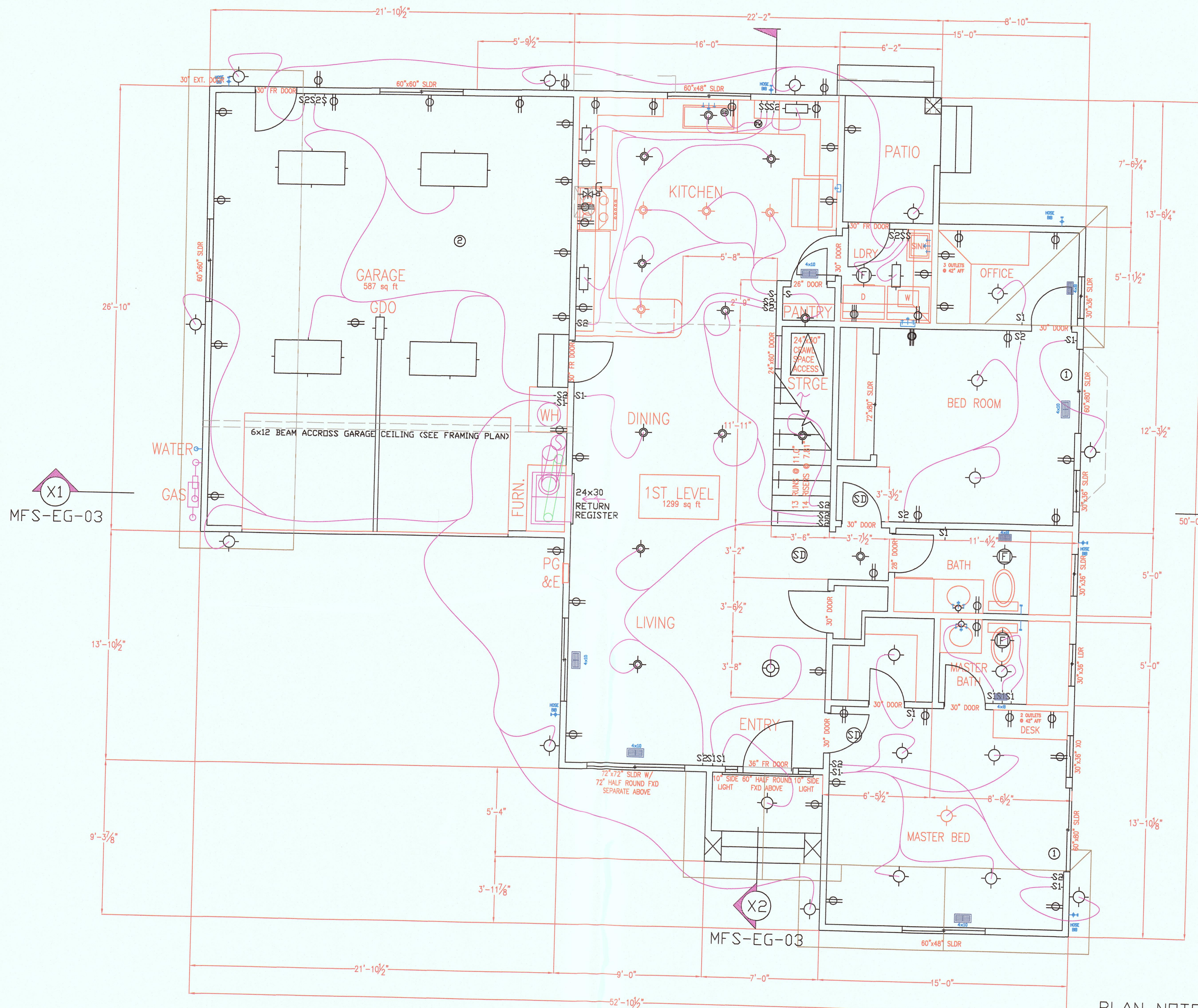


DRIVEWAY PROFILE

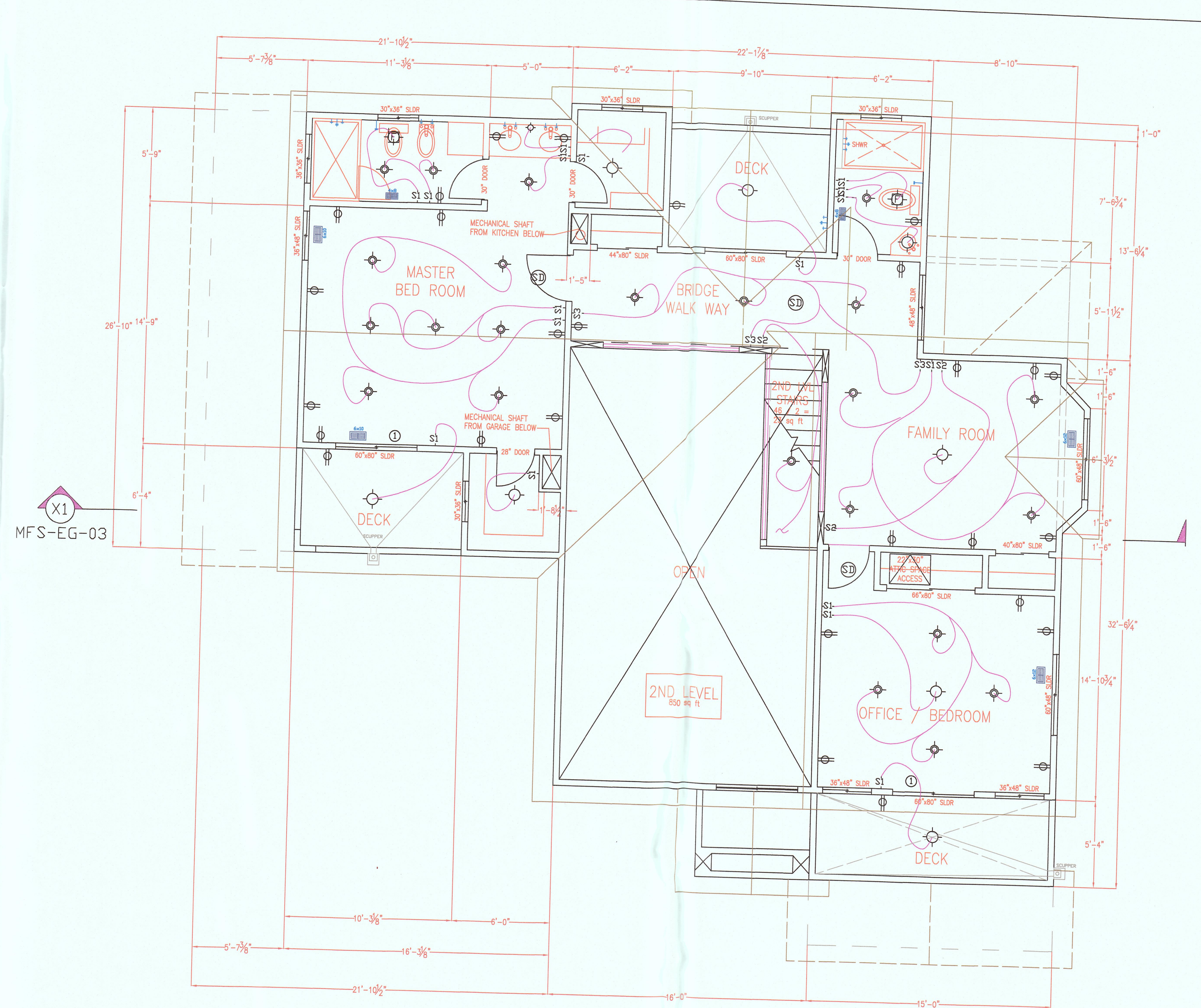
1/4"=1'-0"
(SEE DRAWING C-1)

JOB NO: EG-01
 DRAWN BY: M.S.
 DATE: 2/20/16
 REVISION: SUBMITTED FOR ARCHITECTURAL REVIEW 2/20/16
 REVIEWED AND APPROVED FOR ARCHITECTURAL REVIEW: M.S.
 PROPOSED RESIDENCE FOR: MR AND MRS MANUEL F. SILVEIRA
 360 BELLEVILLE BLVD, HALF MOON BAY, CALIFORNIA 94019
 TELE: (650) 619-8676 PROJECT MANAGER: DAN SILVEIRA
 APN #: 047-043-240
 PROJECT ADDRESS:
 ZONING: MIDCOAST S-17
 MFS DESIGN

RECEIVED
 DEC 13 2016
 San Mateo County
 Planning and Building Department
 PLN2016-00085



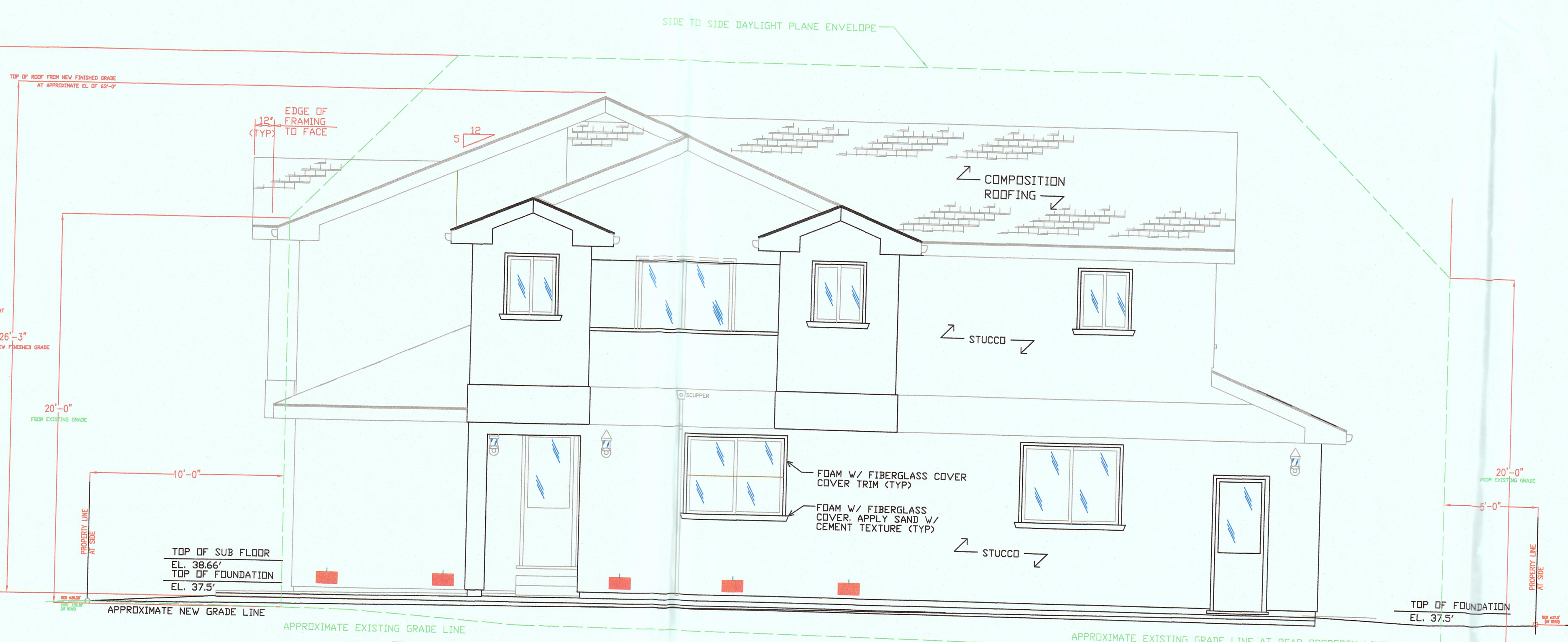
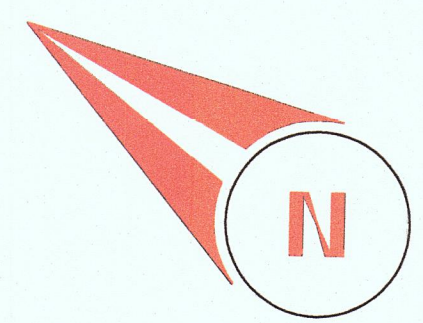
1ST FLOOR PLAN



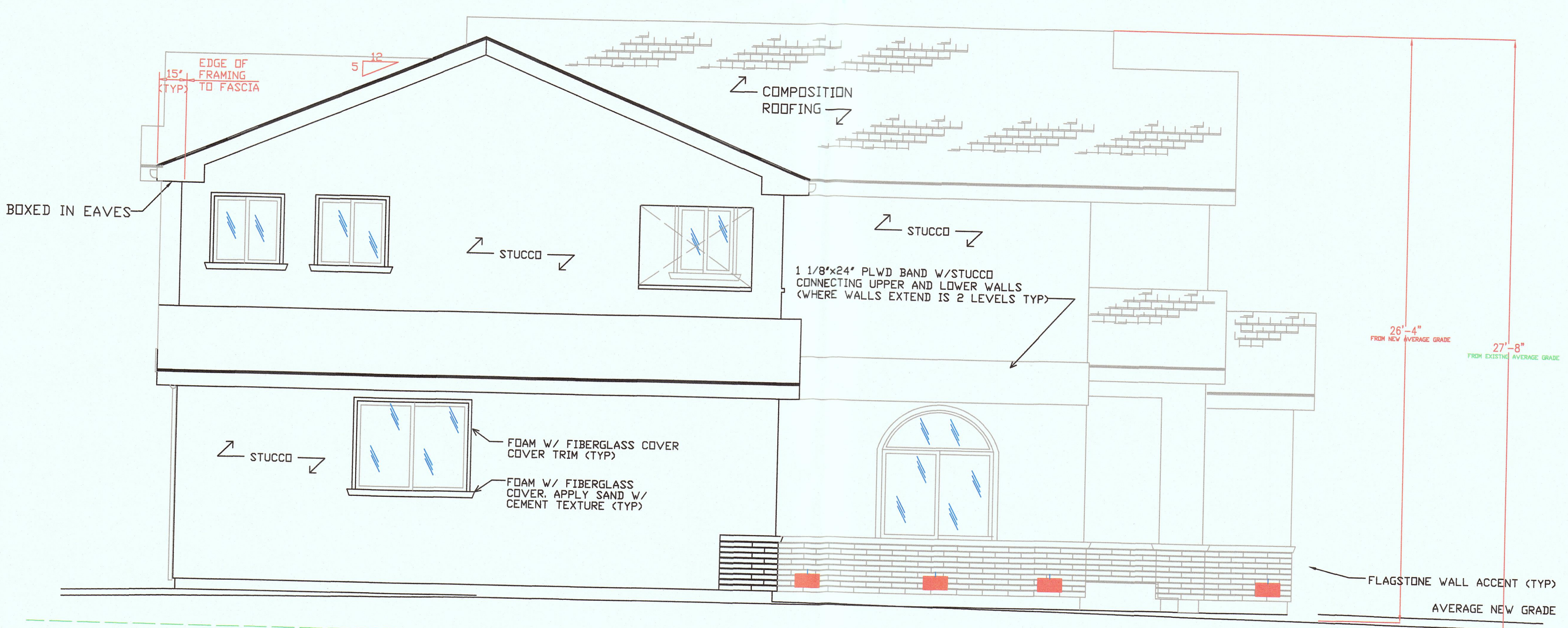
2ND FLOOR PLAN

PLAN NOTES

- 1) Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 50 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24". The minimum net clear dimension shall be 20". Finished sill height shall be not more than 44" above the finished floor. Note that all bedrooms have a sliding glass door for fire escape / exit.
- 2) New attached garage shall meet occupancy separation requirements. Per CRC R302.5/R302.6.



X1 REAR ELEVATION VIEW-EAST LOOKING WEST



SIDE ELEVATION VIEW-NORTH LOOKING SOUTH

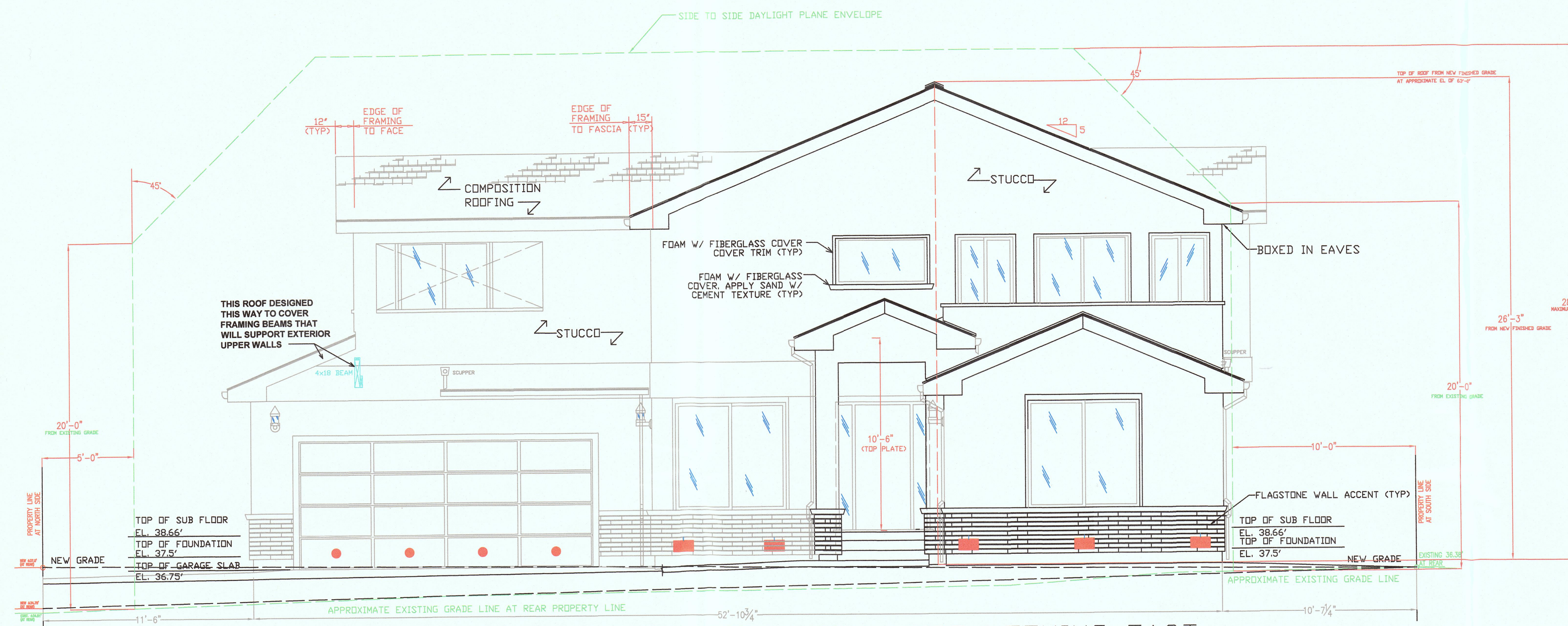
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DRAWN BY:	MFS
DATE:	11/17/16
SCALE:	AS SHOWN
FILE #:	
REVISION	
DATE	REVISION
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12/12/16	2
12/12/16	3
12/12/16	4
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12/12/16	100

APN # : 047-043-240
 PROJECT ADDRESS :
 360 BELLEVILLE BLVD, HALF MOON BAY, CALIFORNIA 94019
 0 ALHAMBRA AVENUE
 EL GRANADA, CA. 94018
 CROSS STREET : MADRID

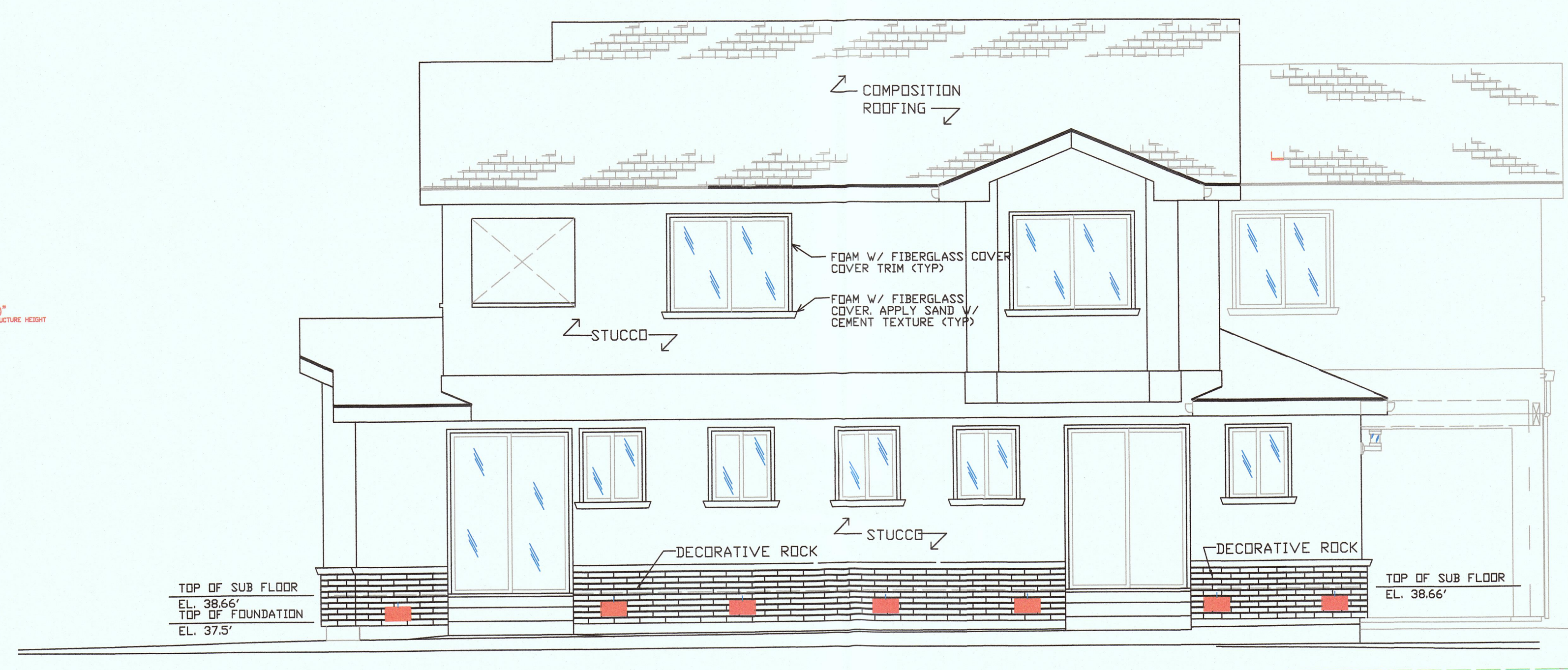
ZONING : MIDCOAST S-17
 APPROVAL STAMP:

MFS DESIGN
 OWNER / BUILDER CELL. #:
 (510) 266-2127

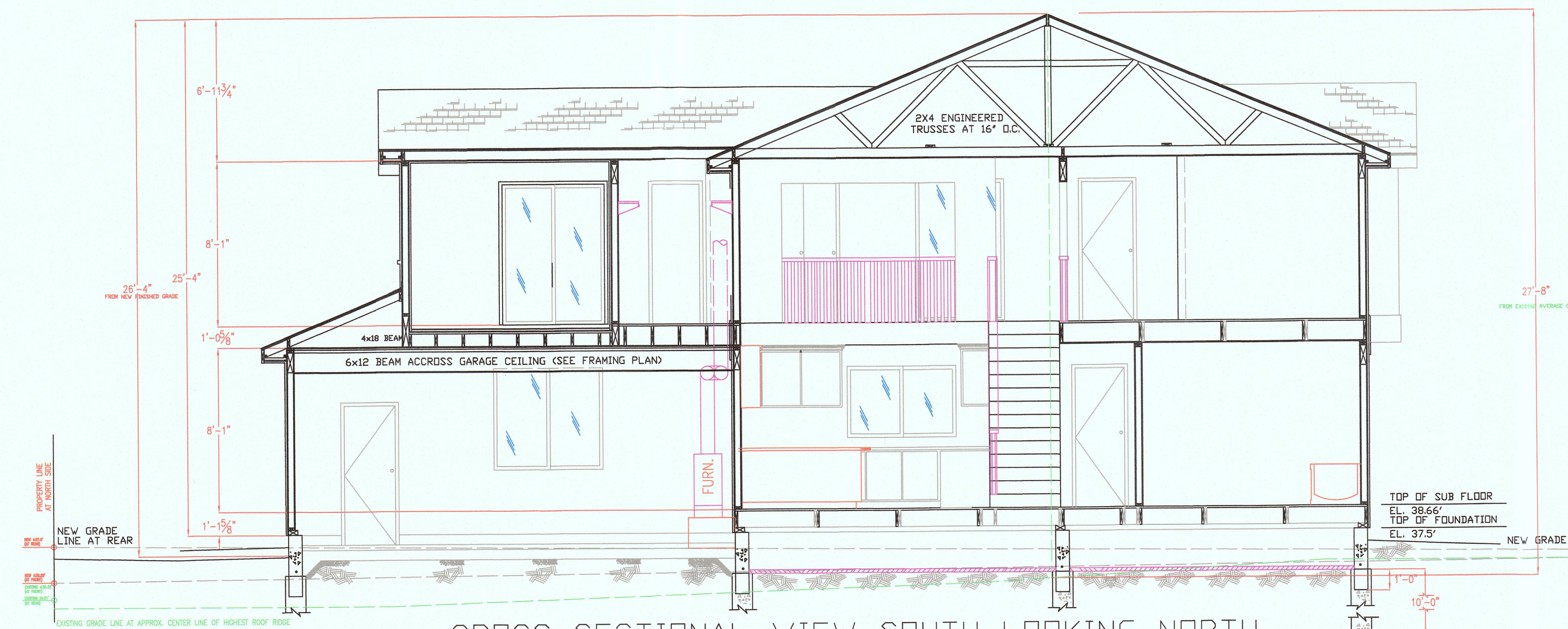
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 SHEET NO.



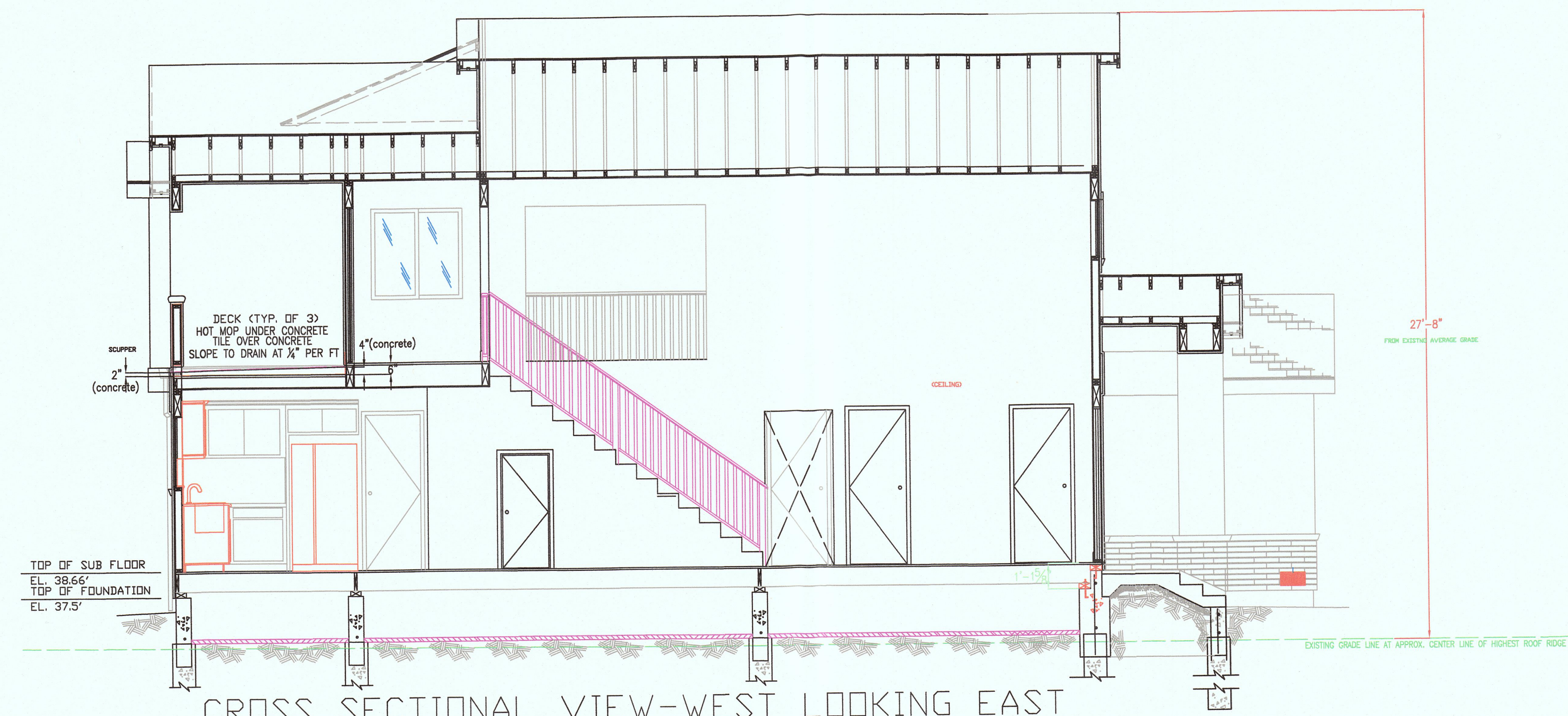
FRONT ELEVATION VIEW-WEST LOOKING EAST
1/4"=1'-0"



SIDE ELEVATION VIEW-SOUTH LOOKING NORTH
1/4"=1'-0"

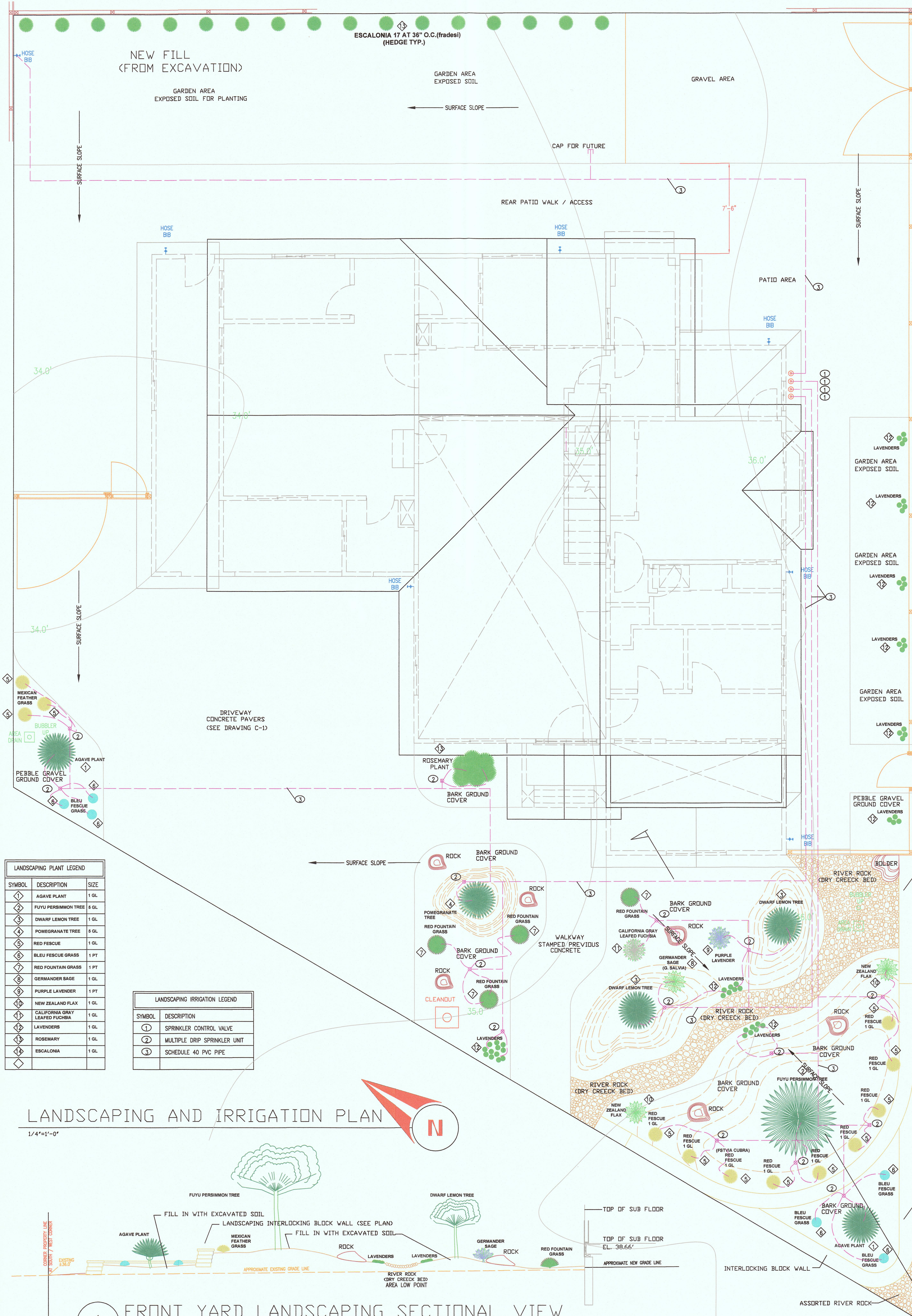


CROSS SECTIONAL VIEW-SOUTH LOOKING NORTH
1/4"=1'-0"



CROSS SECTIONAL VIEW-WEST LOOKING EAST
1/4"=1'-0"

EG-01
JOB NO. 047-043-240
DRAWN BY MFS
DATE 11/17/15
REVISION
DATE 12/17/15
SUBMITTED FOR ARCHITECTURAL REVIEW 12/17/15
APPROVED FOR ARCHITECTURAL REVIEW COMMENTS
PROPOSED RESIDENCE FOR: MR AND MRS MANUEL F. SILVEIRA
360 BELLEVILLE BLVD, HALF MOON BAY, CALIFORNIA 94019
PROJECT ADDRESS :
PROJECT ADDRESS :
ZONING : MIDCOST S-17
MFS
DATE 11/17/15
PROJECT ADDRESS :
PROJECT ADDRESS :



LANDSCAPING PLANT LEGEND

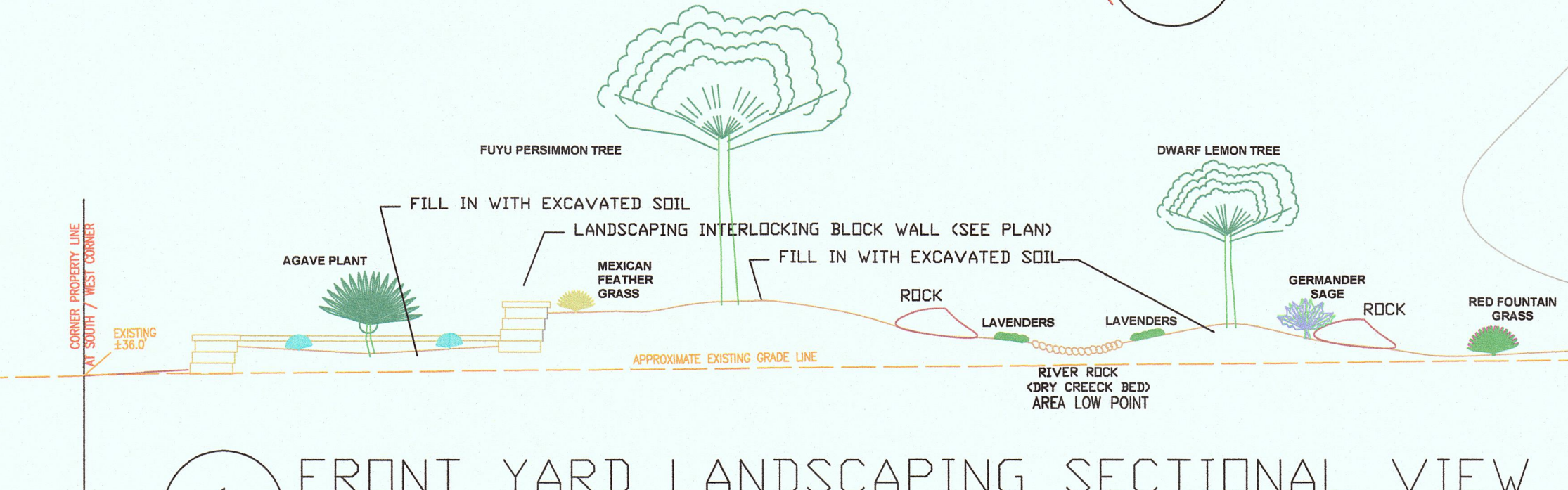
SYMBOL	DESCRIPTION	SIZE
◇	AGAVE PLANT	1 GL
◇	FUYU PERSEMON TREE	4 GL
◇	DWARF LEMON TREE	1 GL
◇	POMEGRANATE TREE	4 GL
◇	RED FESCUE	1 GL
◇	BLU FESCUE GRASS	1 PT
◇	RED FOUNTAIN GRASS	1 PT
◇	GERMANDER SAGE	1 GL
◇	PURPLE LAVENDER	1 PT
◇	NEW ZEALAND FLAX	1 GL
◇	CALIFORNIA GRAY LEAFED FUCHSIA	1 GL
◇	LAVENDERS	1 GL
◇	ROSEMARY	1 GL
◇	ESCALONIA	1 GL

LANDSCAPING IRRIGATION LEGEND

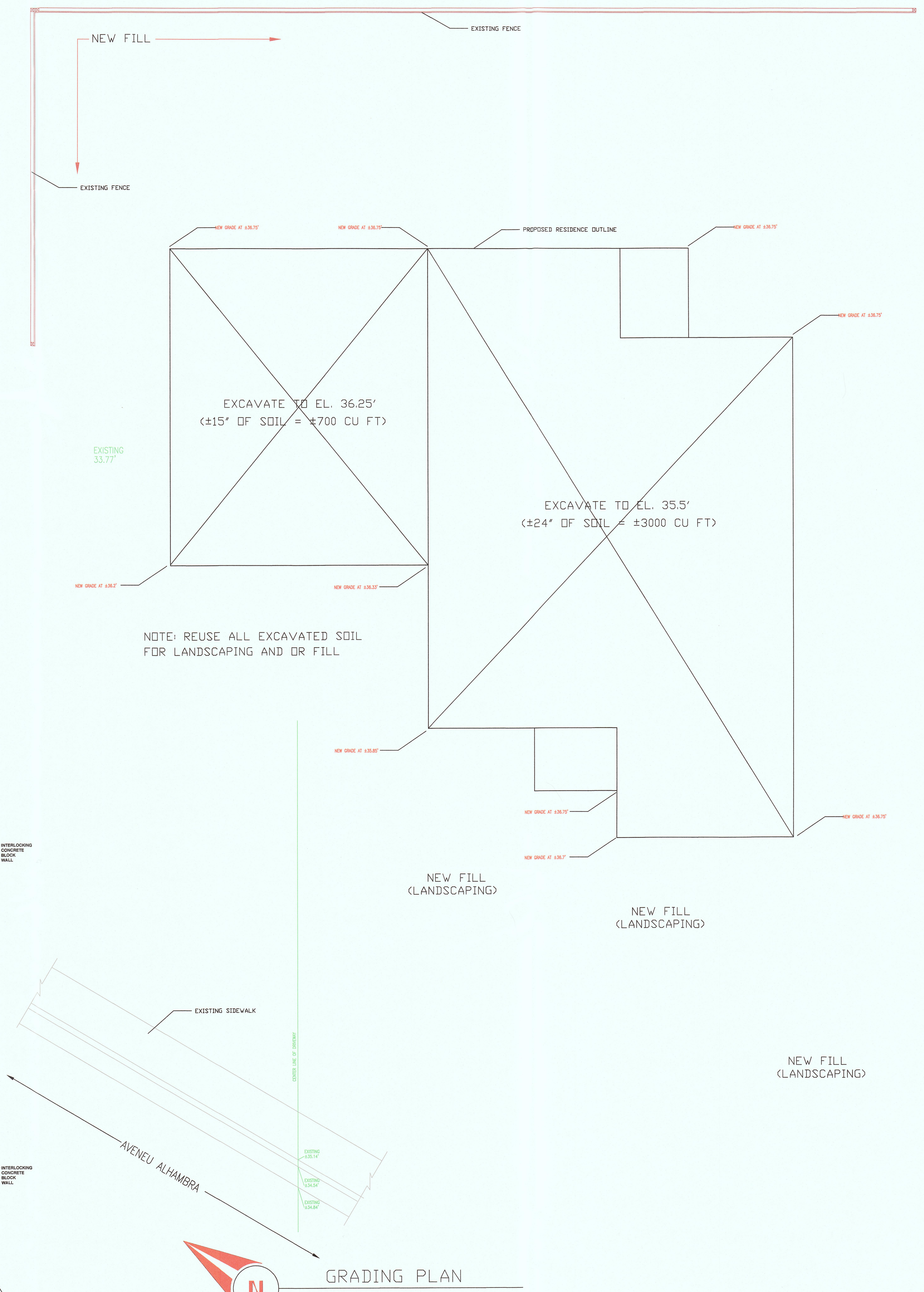
SYMBOL	DESCRIPTION
①	SPRINKLER CONTROL VALVE
②	MULTIPLE DRIP SPRINKLER UNIT
③	SCHEDULE 40 PVC PIPE

LANDSCAPING AND IRRIGATION PLAN

1/4"=1'-0"



1 FRONT YARD LANDSCAPING SECTIONAL VIEW
1/4"=1'-0"

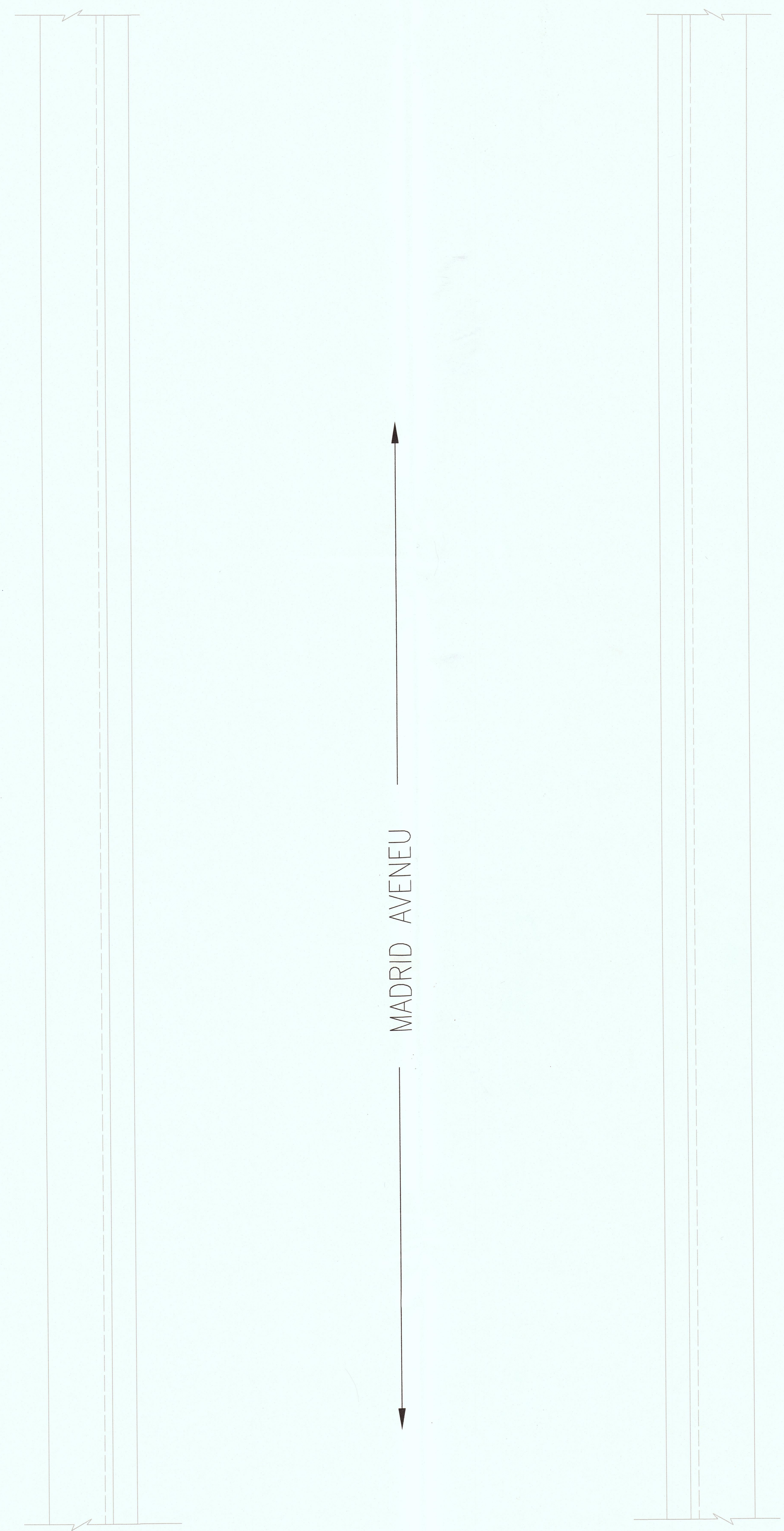
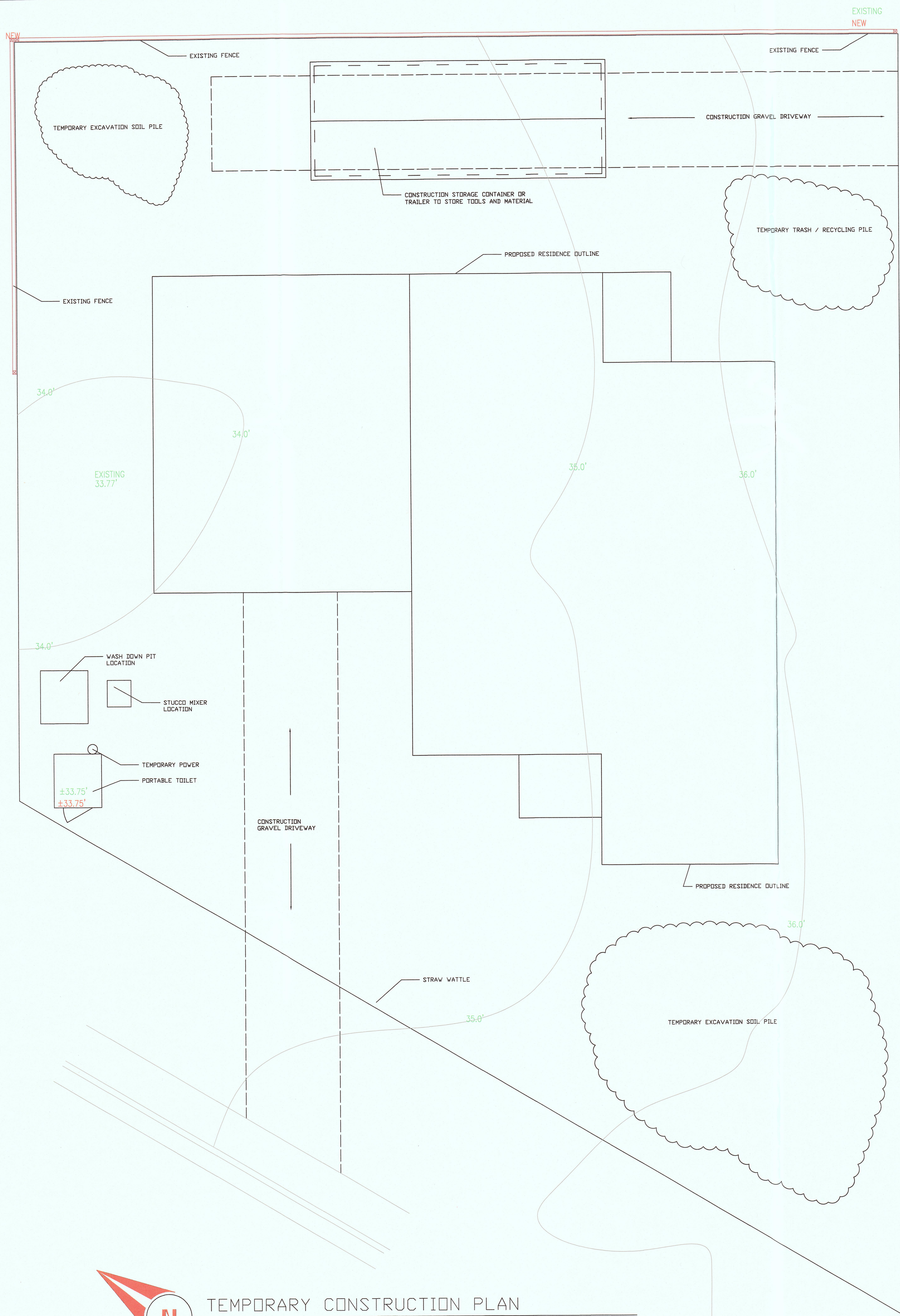


NOTE: REUSE ALL EXCAVATED SOIL FOR LANDSCAPING AND OR FILL

GRADING PLAN

1/4"=1'-0"

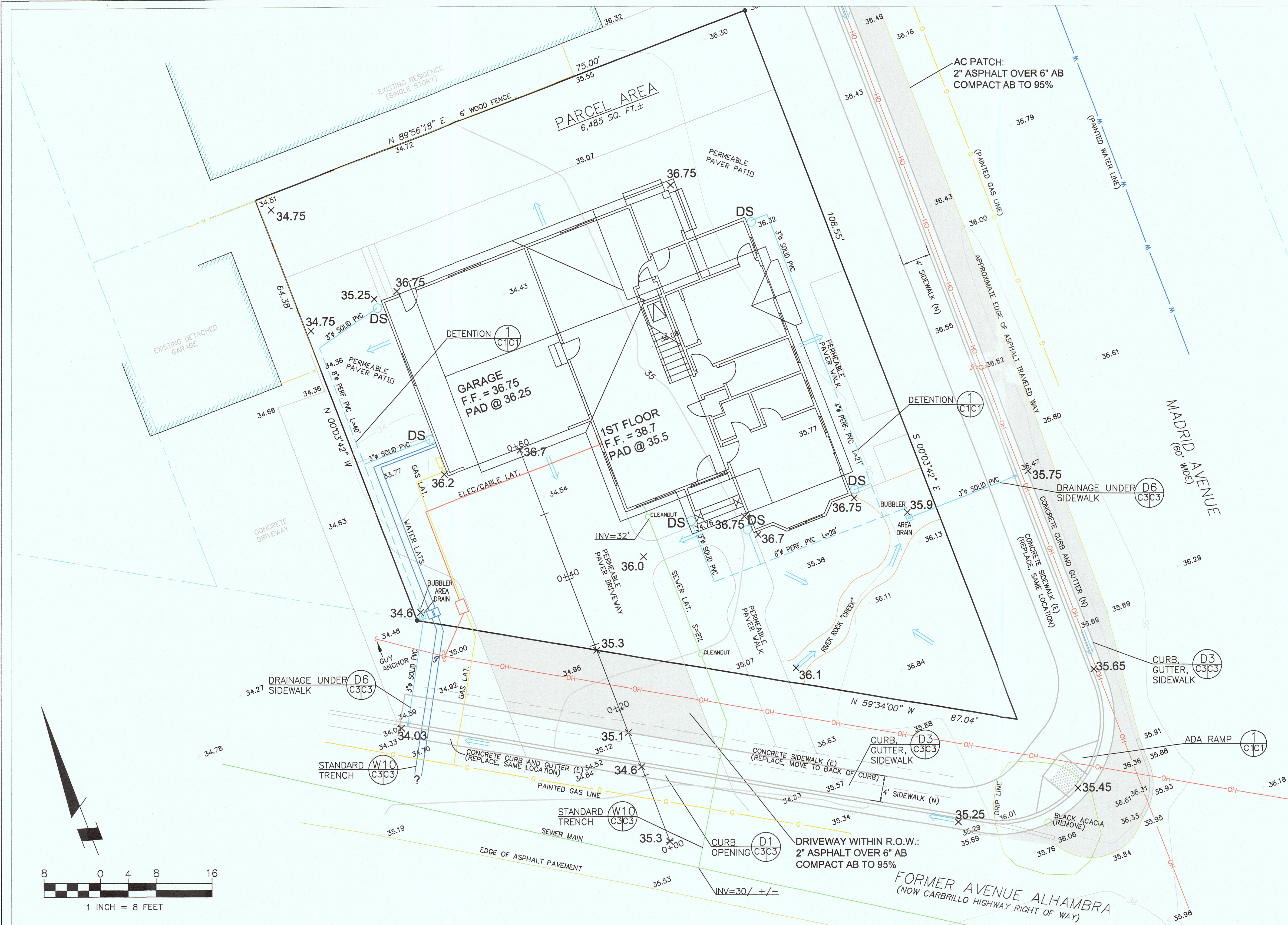
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 JOB NO: DRAWN BY: MFS
 DATE: 2/12/16
 REVISION: REVIEW
 SUBMITTED FOR ARCHITECTURAL REVIEW
 PROPOSED RESIDENCE FOR: MR AND MRS MANUEL F. SILVETRA
 360 BELLEVILLE BLVD. HALF MOON BAY, CALIFORNIA 94019
 TEL: (415) 619-8676 PROJECT MANAGER: DAN SILVETRA
 APN #: 047-043-240
 PROJECT ADDRESS:
 ZONING: MIDCOAST S-17
 MFS



NOTE:
SEE SHEETS C-1, C-2, AND C-3
FOR ENGINEERED DRAINAGE AND
EROSION CONTROL PLANS

 TEMPORARY CONSTRUCTION PLAN
1/4"=1'-0"

JOB NO: DRAWN BY: MFS DATE: 11/17/15	REVISION	DATE	APN # : 047-043-240	ZONING : MIDCOST S-17	MFS
	DATE	DATE	PROJECT ADDRESS :		
SUBMITTED FOR ARCHITECTURAL REVIEW			PROPOSED RESIDENCE FOR: MR AND MRS MANUEL F. SILVEIRA 360 BELLEVILLE BLVD. HALF MOON BAY, CALIFORNIA 94019 TEL: (415) 450-6676 PLOT ECT. MANAGER DAN SILVEIRA		



GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: MANNY SILVEIRA, OWNER
2. SURVEY AND TOPOGRAPHY BY BGT SURVEYING, DATED 7-26-06.
3. ELEVATION DATUM NAVD83
4. THIS IS NOT A BOUNDARY SURVEY.

GRADING NOTES

CUT VOLUME: 50 CY (FOR FOUNDATIONS)
 FILL VOLUME: 50 CY

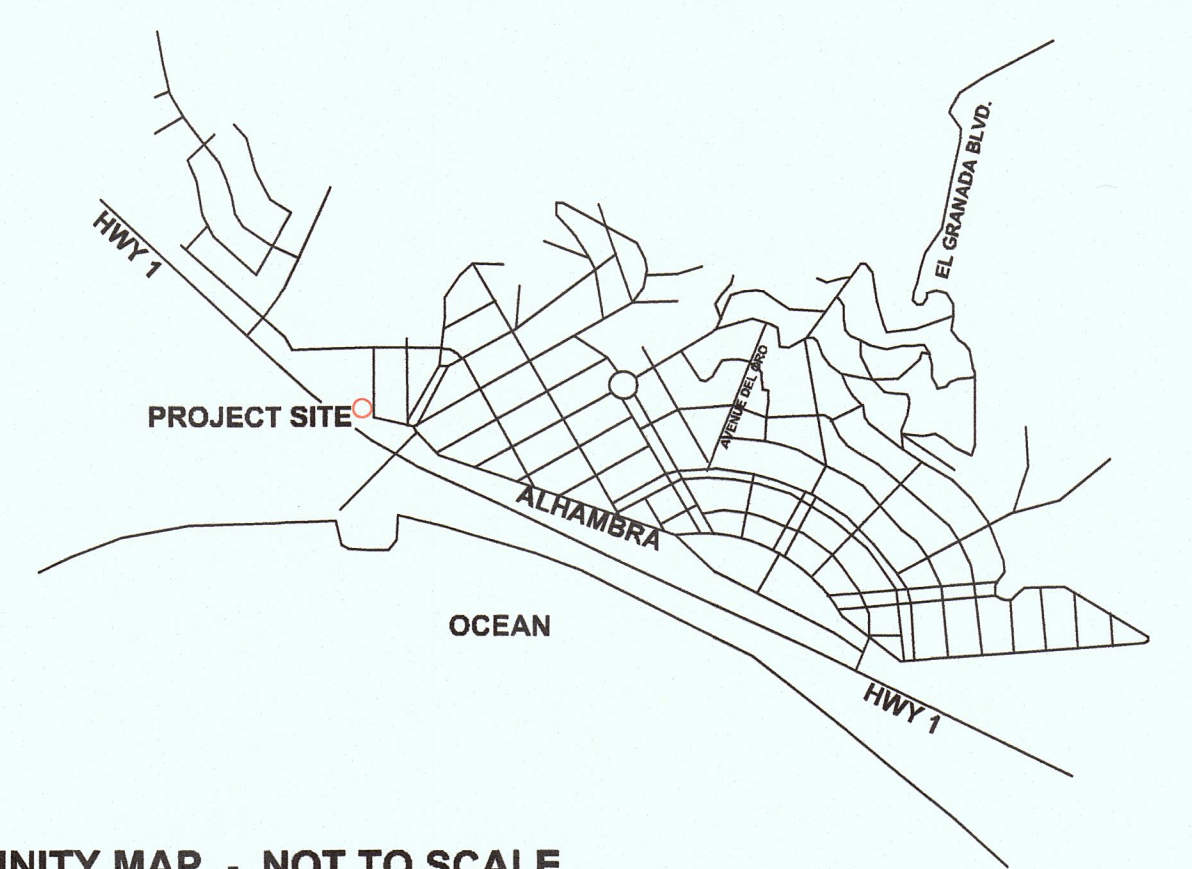
1. ABOVE VOLUMES ARE APPROXIMATE.
2. ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
3. ALL TRENCHES IN PROPOSED LANDSCAPE AREAS SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF AND DRIVEWAY RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
2. ALL ROOF DRAIN LINES SHALL LEAD TO DETENTION BASINS, AS SHOWN.
3. ALL DRAINAGE PIPES SHALL BE 3" MIN. DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASINS TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

TRAFFIC CONTROL NOTES

1. CONTRACTOR AND WORKERS SHALL PARK ALONG AVENUE ALHAMBRA AND MADRID AVENUE.
2. WHEN TRUCKS PARK IN STREET FOR DELIVERY OF SUPPLIES AND CONCRETE, EVERY EFFORT SHALL BE MADE TO PROVIDE ROOM FOR VEHICLES TO PASS. WORKERS SHALL PROVIDE TRAFFIC CONTROL AT ALL TIMES WHEN ROAD IS PARTIALLY BLOCKED.
3. IF ROAD IS BLOCKED, WORKERS SHALL PROVIDE WRITTEN DIRECTIONS FOR A DETOUR, IF REQUESTED BY A MOTORIST.

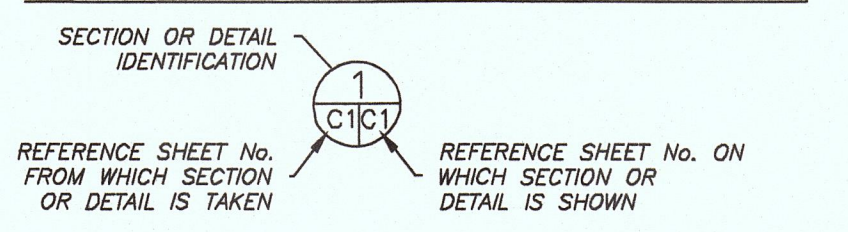


VICINITY MAP - NOT TO SCALE

LEGEND

- EXISTING CONTOURS
- PROPOSED SPOT ELEVATION
- DOWNSPOUT
- DIRECTION OF SURFACE DRAINAGE FLOW
- 3" SOLID DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.
- PERFORATED PVC PIPE - DIAMETER SHOWN IN PLAN VIEW

SECTION AND DETAIL CONVENTION

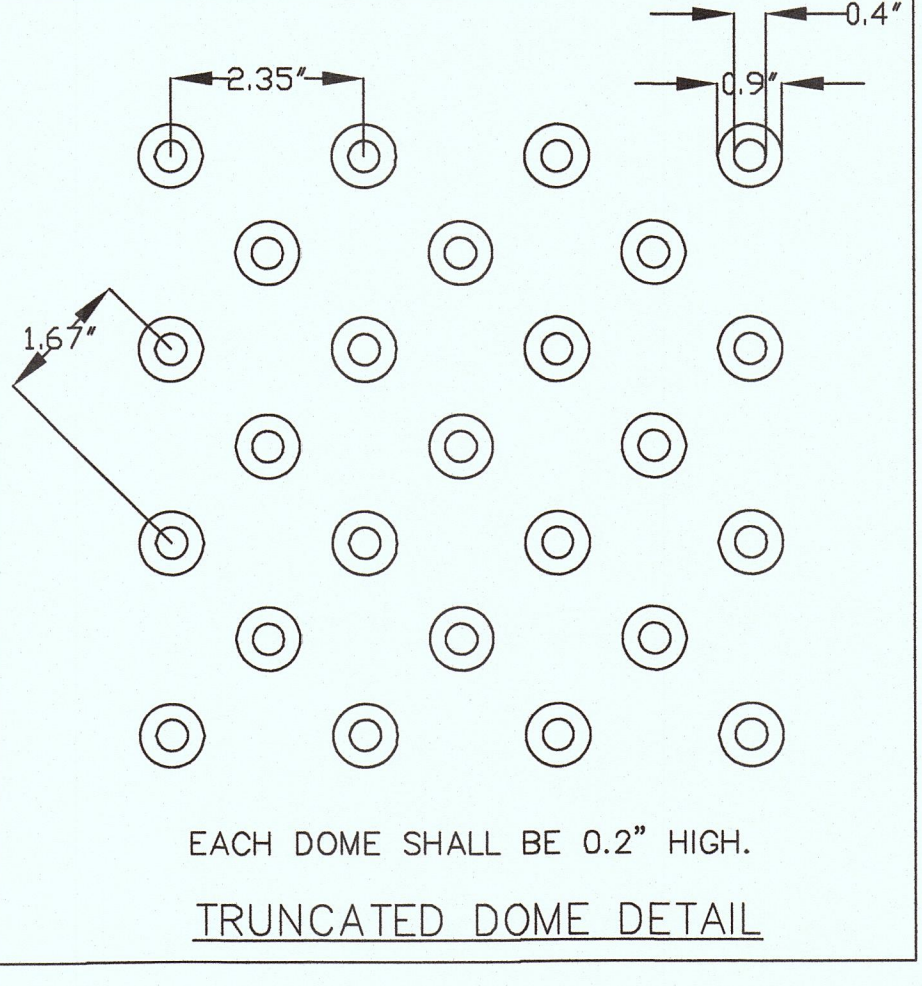
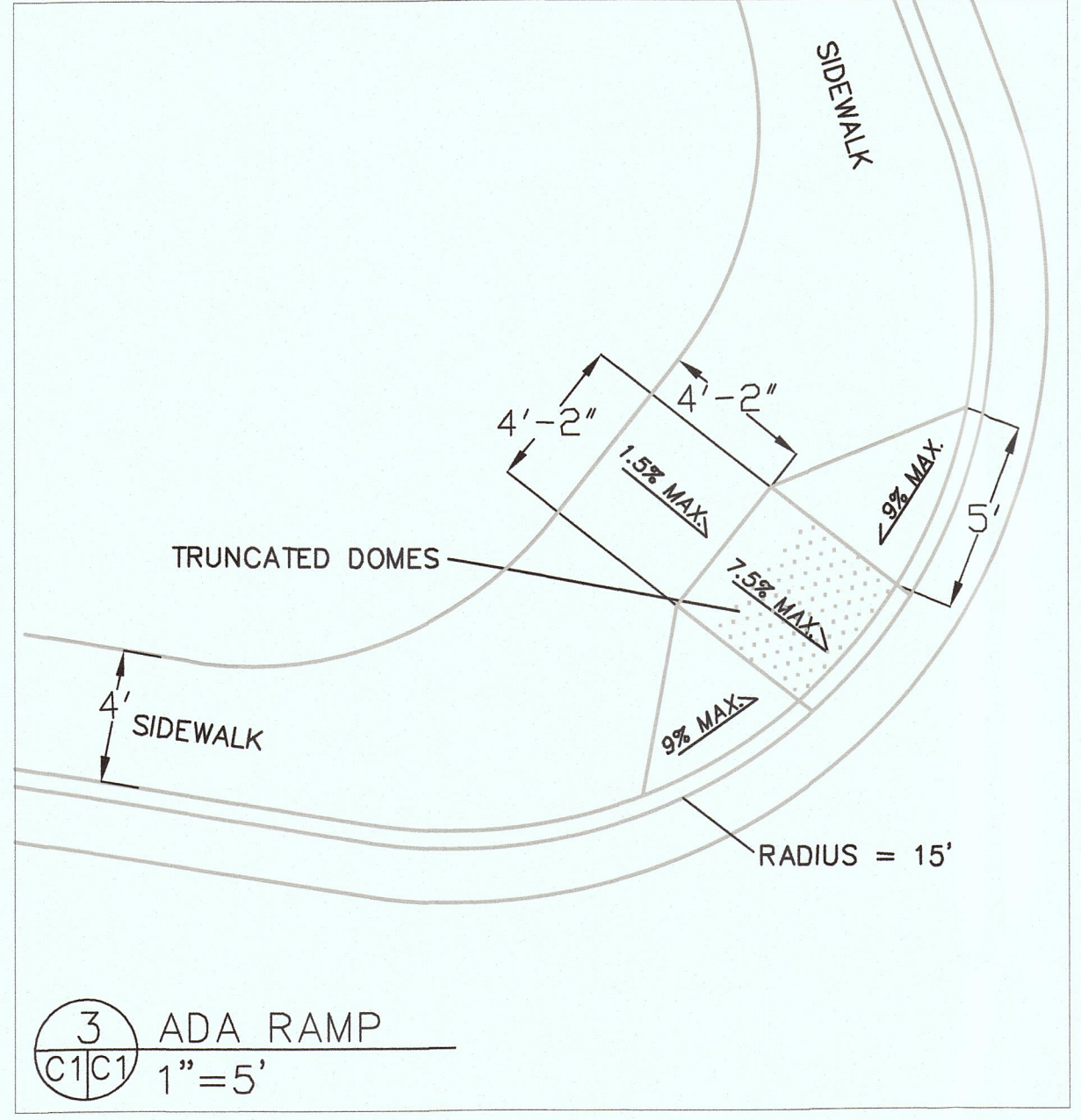
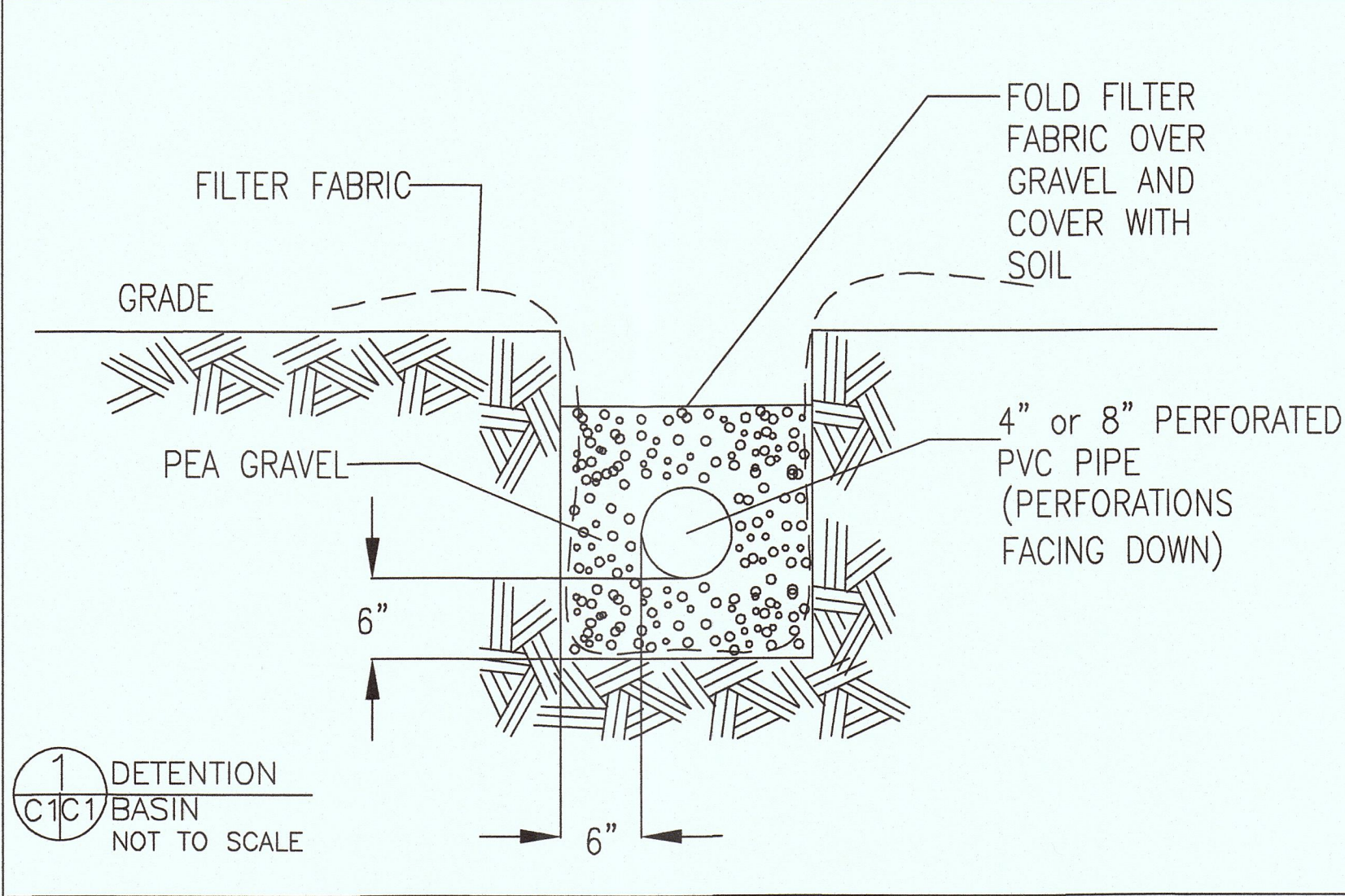
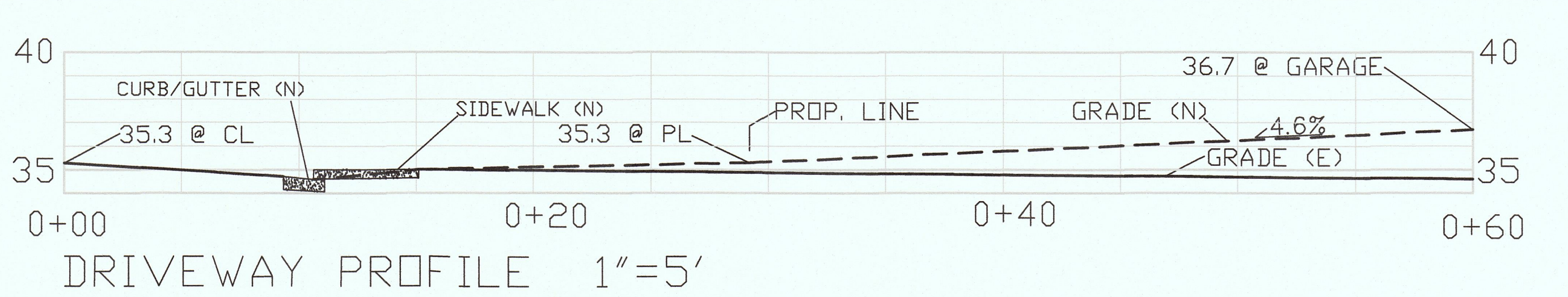
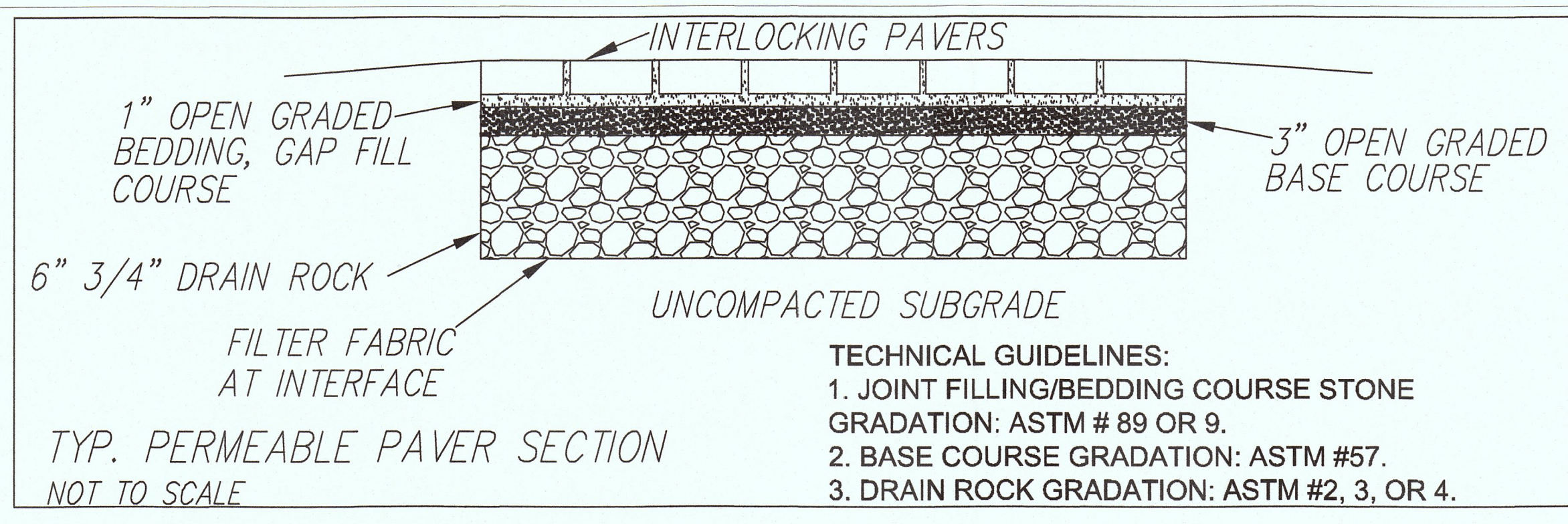
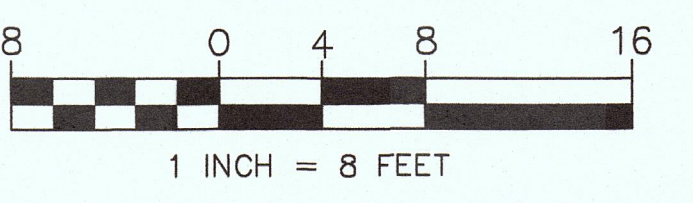


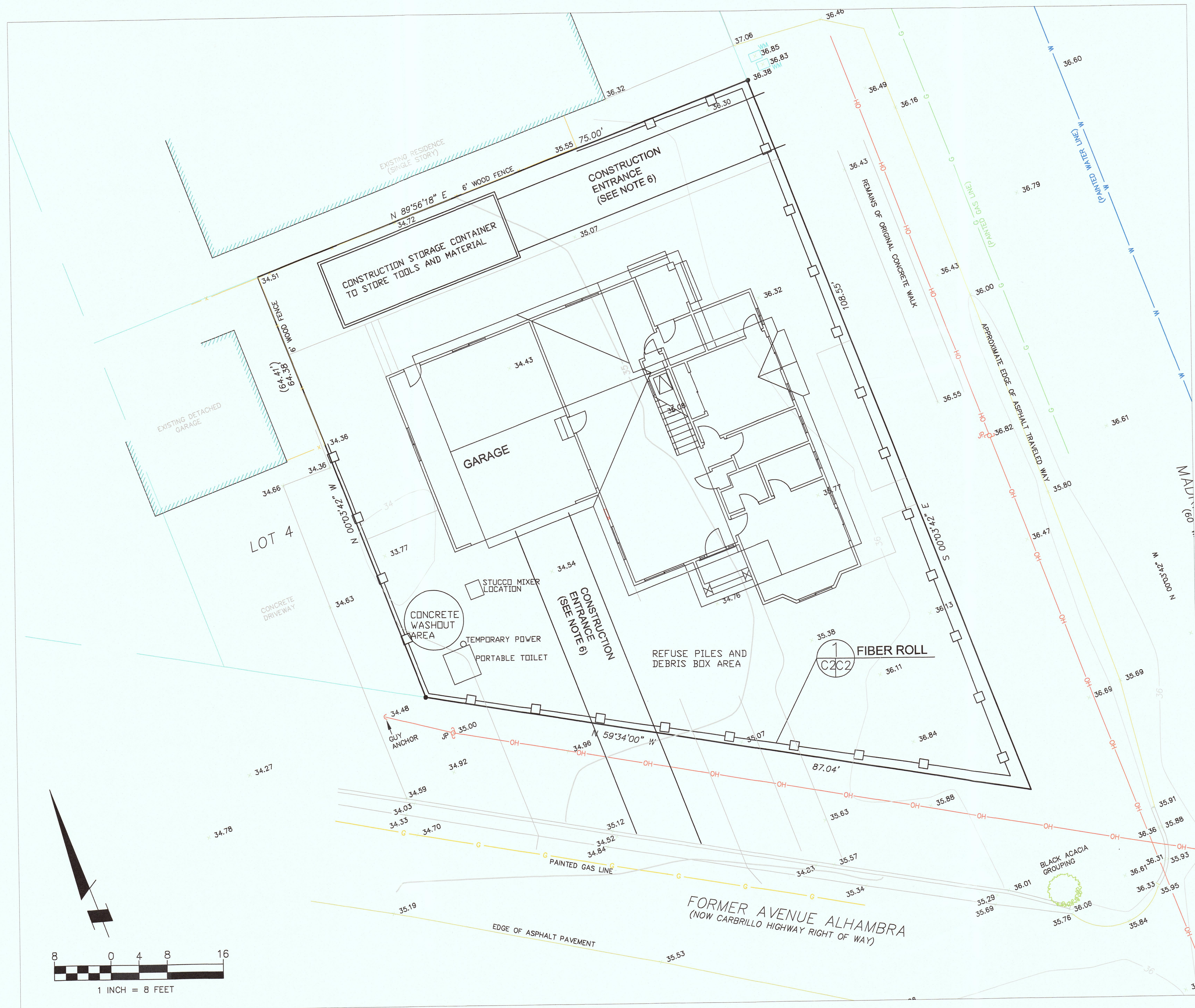
Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-5890
 FAX 728-5895

DATE:	7-19-16
DRAWN BY:	CMK
CHECKED BY:	AZG
REV. DATE:	9-19-16
REV. DATE:	8-27-18
REV. DATE:	

GRADING AND DRAINAGE PLAN
 SILVEIRA PROPERTY
 AVE. ALHAMBRA, EL GRANADA
 APN 047-043-240

SHEET
 C-1





GENERAL EROSION AND SEDIMENT CONTROL NOTES

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.



Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94018
 (650) 726-3990
 FAX 726-3985

DATE: 7-19-16
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE: _____
 REV. DATE: _____
 REV. DATE: _____

EROSION AND SEDIMENT CONTROL PLAN
 SILVEIRA PROPERTY
 AVE. ALHAMBRA, EL GRANADA
 APN 047-043-240

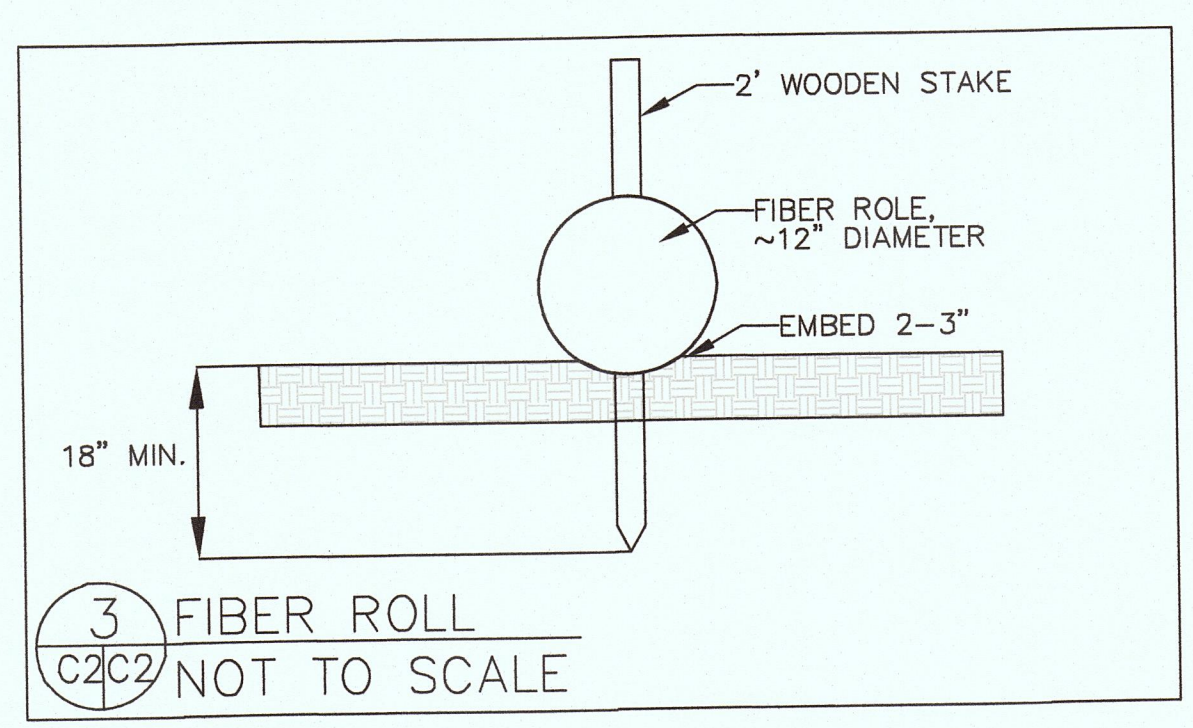
SHEET
 C-2

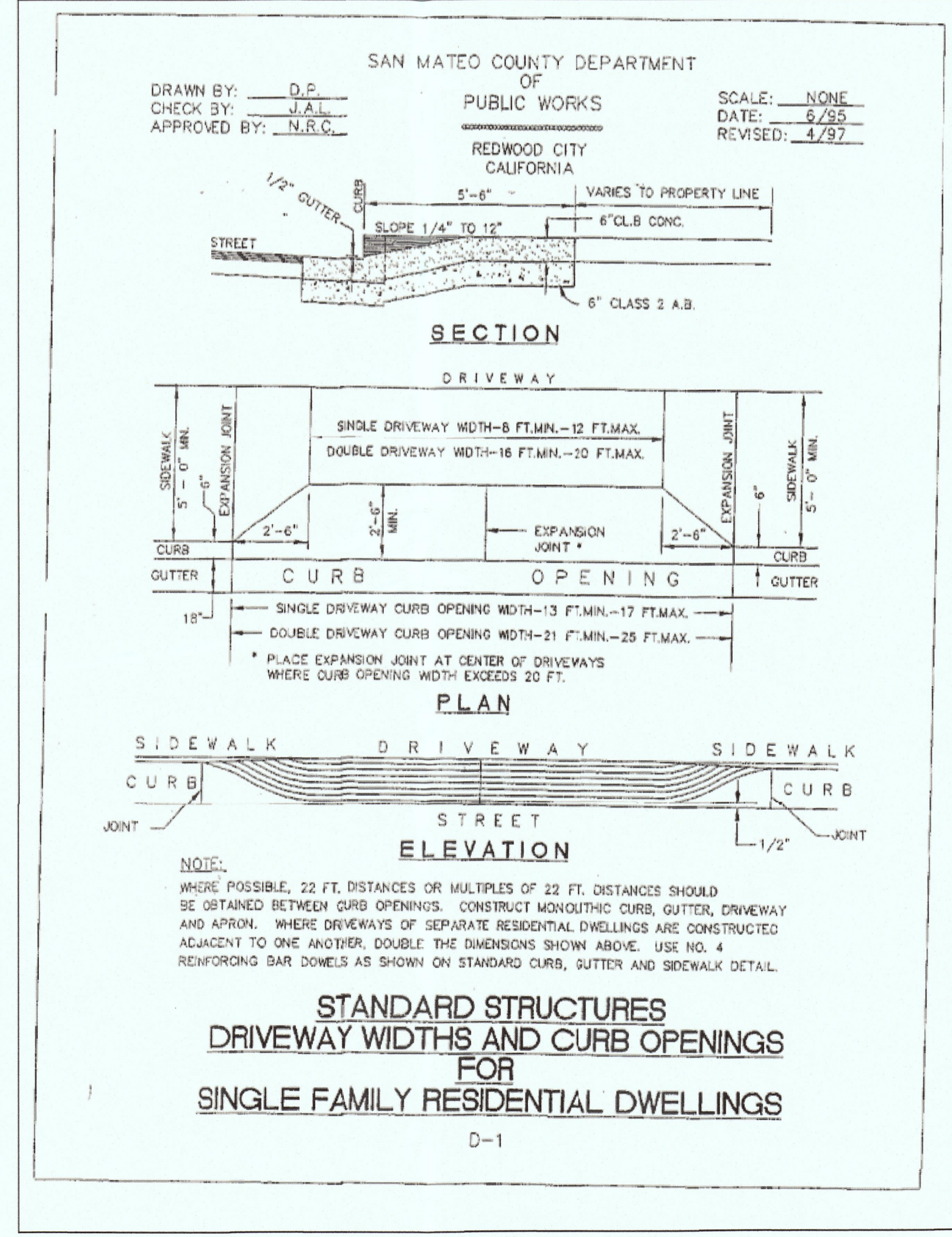
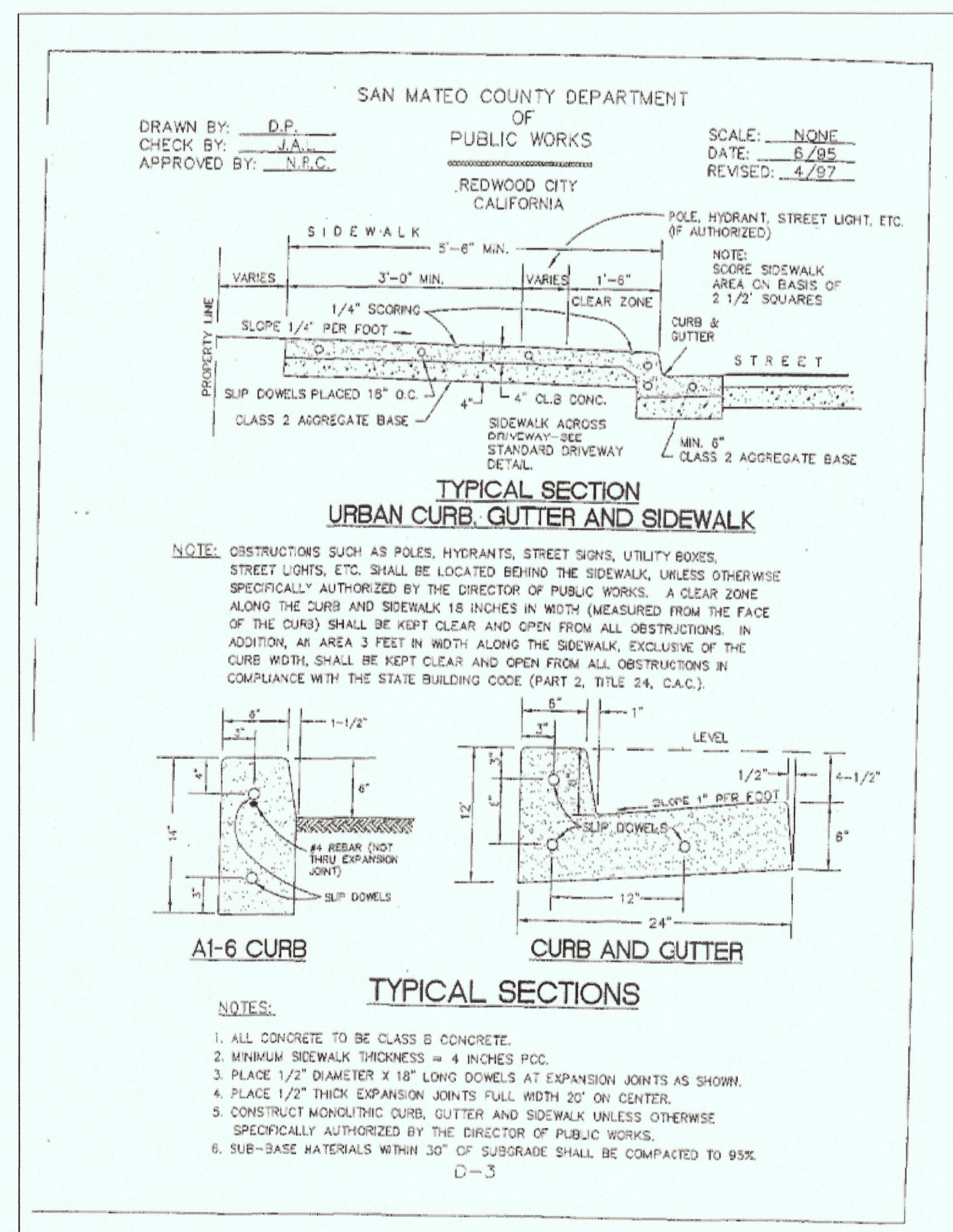
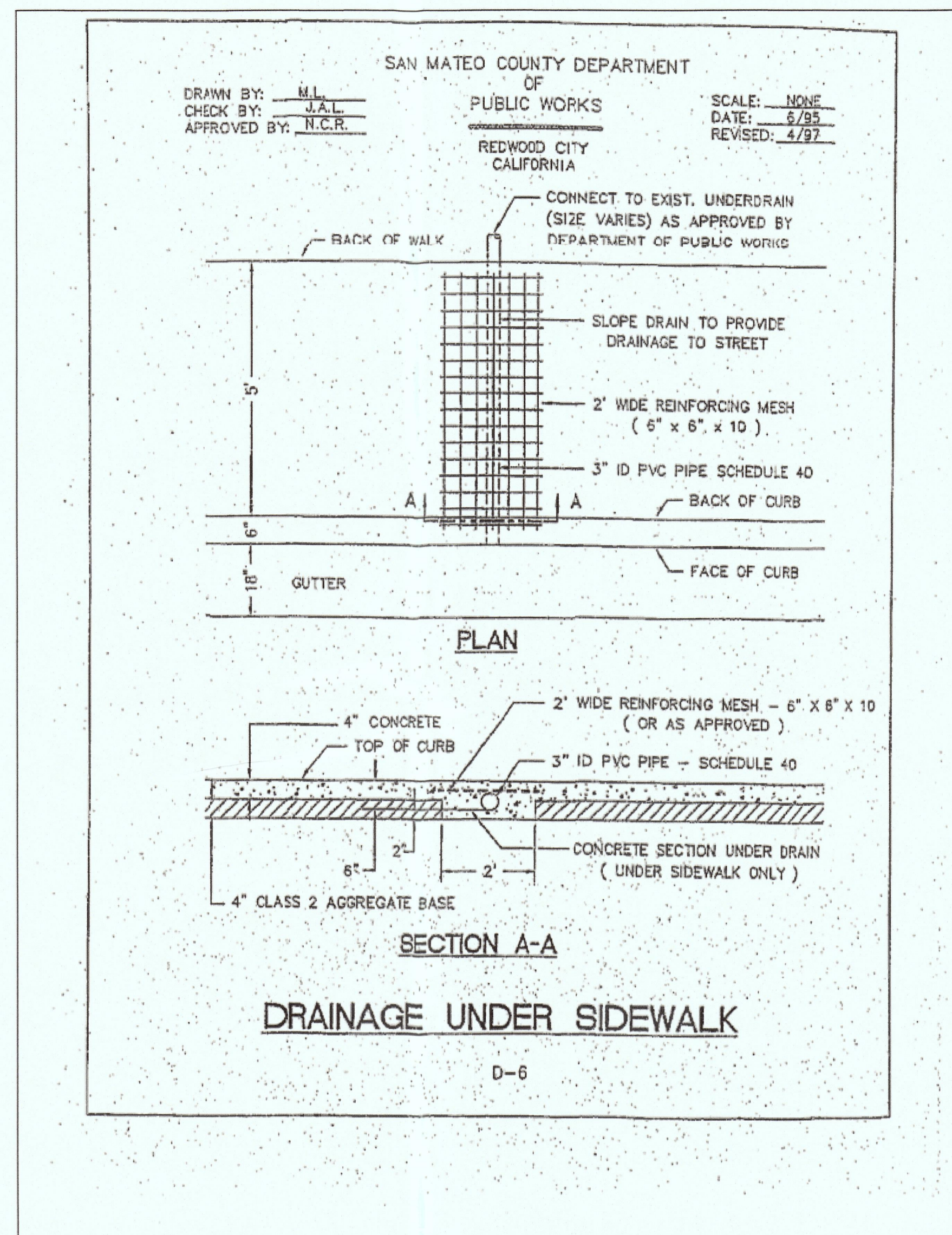
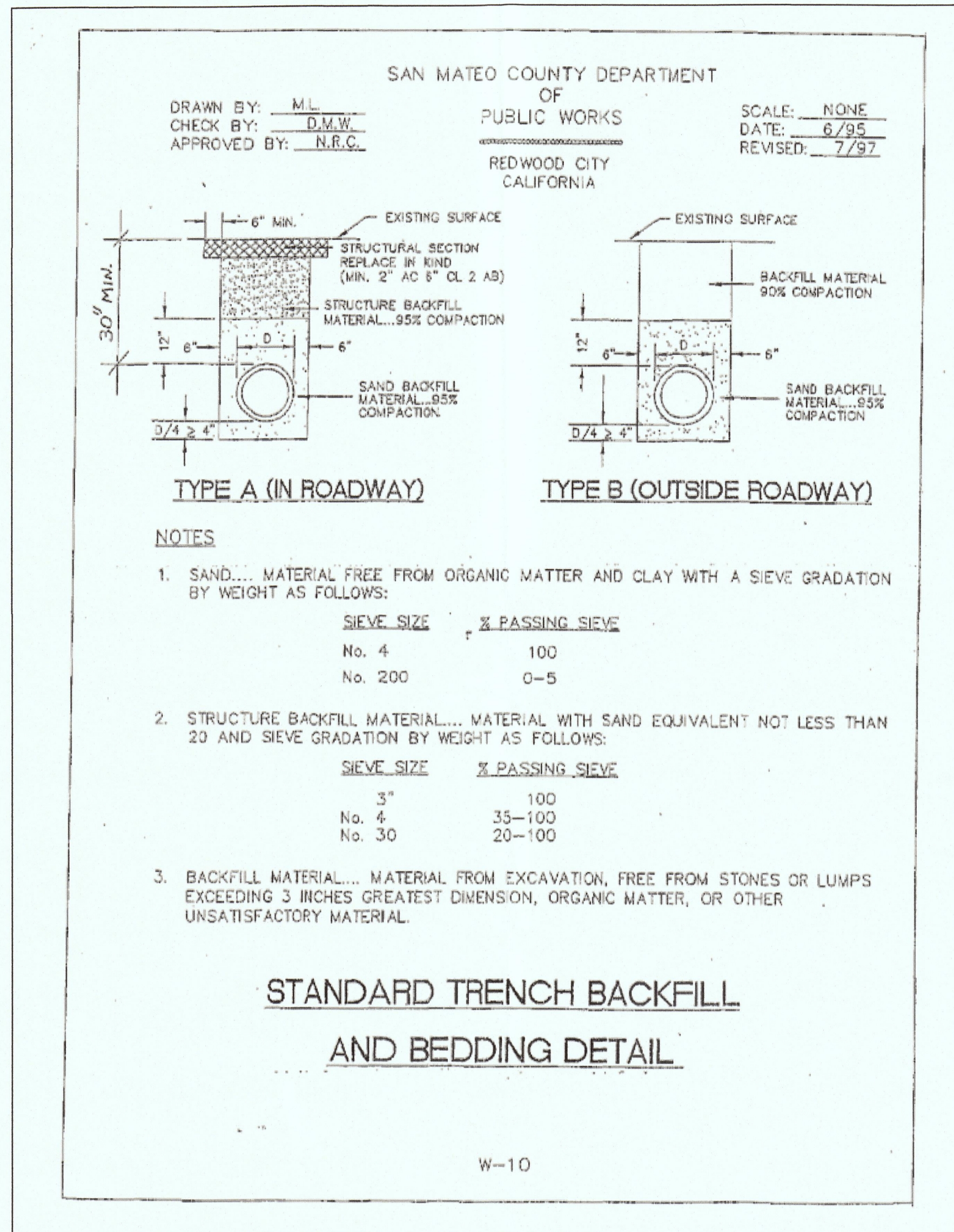
EROSION CONTROL POINT OF CONTACT
 THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.
 NAME: MANNY SILVEIRA
 TITLE/QUALIFICATION: CONTRACTOR
 PHONE: 510-266-2127
 PHONE: _____
 E-MAIL: M.SILVEIRA@MARELUCH.COM

USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.

FIBER ROLL
 INSTALL AT LOCATIONS SHOWN. AFIX AS SHOWN IN DETAIL 3

1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH MULCH AND/OR LANDSCAPING.
6. TWO ROCKED CONSTRUCTION ENTRANCES: 40 AND 50 FEET LONG BY 8 FEET WIDE AND CONFORM TO THE FOLLOWING:
 - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE OVER GEO-TEXTILE FABRIC.
 - B. PAD SHALL BE NOT LESS THAN 12" THICK.
 - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.





Sigma Prime Geosciences, Inc.
REGISTERED PROFESSIONAL ENGINEER
CHARLES M. KESSON
No. 62264
9-30-17
EXPIRES
CIVIL
STATE OF CALIFORNIA

DATE: 9-27-16
DRAWN BY: CMK
CHECKED BY: AZO
REV. DATE:
REV. DATE:
REV. DATE:

DETAILS

SHEET
C-3

SILVEIRA PROPERTY
AVE. ALHAMBRA, EL GRANADA
APN 047-043-240