



Project Site



WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
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1:2,256 

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

# Planning Permit Application Form

455 County Center, 2nd Floor • Redwood City CA 94063  
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849  
www.co.sanmateo.ca.us/planning

PLN: 2017-00539

BLD:

## Applicant/Owner Information

Applicant: Elevate Design Build- Jeff Midwood

Mailing Address: 3164 Putnam Blvd., Suite 'C'  
Walnut Creek, CA

Phone, W: 925429.8860

H: 925336.7544

Zip: 94597

E-mail Address: jeffm@elevatedesignbuild.com

FAX:

Name of Owner [1]: Julian Platis

Mailing Address: 671 Naple Street

San Francisco, CA

Zip: 94122

Phone, W: 510432.6055

H:

E-mail Address: sakis@diodeka.com

Name of Owner [2]: n/a

Mailing Address:

Zip:

Phone, W:

H:

E-mail Address:

## Project Information

Project Location (address):

San Ramon Road, Moss Beach CA

Zoning: R-1/ S-17/ DR/ GH/ CD

Assessor's Parcel Numbers: 037 — 259 — 200

Parcel/lot size: 5,458

SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

Describe Existing Structures and/or Development:

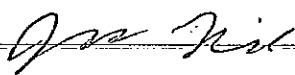
## Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature:

Owner's signature:

Applicant's signature:



Planning and Building Department

County Government Center • 455 County Center • Redwood City CA 94063  
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN PIN2017-00539

Other Permit #: \_\_\_\_\_

1 Basic Information

Applicant:

Name: Julian Platis  
Address: 671 Naple Street  
San Francisco, CA Zip: 94122  
Phone, W: 510432.6055 H:  
Email: sakis@diodeka.com

Owner (if different from Applicant):

Name: Julian Platis  
Address: 671 Naple Street  
San Francisco, CA Zip: 94597  
Phone, W: H: 510432.6055  
Email: sakis@diodeka.com

Architect or Designer (if different from Applicant):

Name: Elevate Design Build- Jeff Midwood  
Address: 3164 Putnam Blvd.-C, Walnut Creek Zip: 94597  
Phone, W: 925429.8860 H: 925336.7544 Email: jeffm@elevatedesignbuild.com

2 Project Site Information

Project location:

APN: 0372259200  
Address: San Ramon Road, Moss Beach CA  
Zip: 94038  
Zoning: R-1/ S-17/ DR/ GH/ CD  
Parcel/lot size: 5,458 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):

3 Project Description

Project:

- New Single Family Residence: 1,278 sq. ft
- Addition to Residence: \_\_\_\_\_ sq. ft
- Other: Detached Garage- 400 sq. ft.

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

New construction of a single family (single story) residence and detached garage on a vacant lot.

**4. Materials and Finish of Proposed Buildings or Structures**

Fill in Blanks:	Material	Color/Finish (If different from existing, attach sample)	Check if matches existing
a. Exterior walls	Vert. cement fiber board	BM- "Hale Navy"	<input type="checkbox"/>
b. Trim	Wood	BM- "Decor White"	<input type="checkbox"/>
c. Windows	Vinyl frame	"Standard White"	<input type="checkbox"/>
d. Doors	Wood clad	BM- "Decor White"	<input type="checkbox"/>
e. Roof	Ashpalt Shingle	GAF-ELK "Charcoal"	<input type="checkbox"/>
f. Chimneys	n/a	n/a	<input type="checkbox"/>
g. Decks & railings	Wood	BM- "Decor White"	<input type="checkbox"/>
h. Stairs	Wood	BM- "Decor White"	<input type="checkbox"/>
i. Retaining walls	n/a	n/a	<input type="checkbox"/>
j. Fences	Wood-cedar	Transparent stain	<input type="checkbox"/>
k. Accessory buildings	n/a	n/a	<input type="checkbox"/>
l. Garage/ Carport	Vert. cement fiber board	BM- "Hale Navy"	<input type="checkbox"/>

**5. Required Findings**

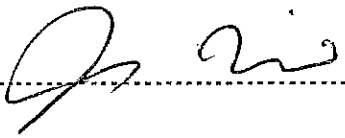
To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

**6. Signatures**

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: \_\_\_\_\_ Applicant: \_\_\_\_\_

Date:  Date: 12/29/17

# Environmental Information Disclosure Form

Planning and Building Department

PLN PLN2017-00539

BLD \_\_\_\_\_

Project Address:  
San Ramon Road, Moss Beach CA

Name of Owner: Julian Platis

Address: 671 Naple Street-San Francisco, CA  
94122 Phone: 510432.6055

Assessor's Parcel No.: 037 259 200

Name of Applicant: Elevate DB- Jeff Midwood

Address: 3164 Putnam Blvd. C, Walnut Creek  
94597 Phone: 925.3367544

Zoning District: R-1/S-17/ DR/ GH/ CD

## Existing Site Conditions

Parcel size: 5,458 sf

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). ~~Vacant lot~~

Vacant Lot

## Environmental Review Checklist

### 1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>Cut-AU Clear/Gr</u> c.y. Fill: <u>4.6 CUT/CLEAR</u> <u>35</u> c.y. <u>40</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Signature required on reverse →

## 2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

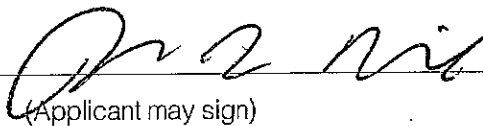
## 3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u></p> <p>If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>b. <u>Land disturbance of 1 acre or more of area?</u></p> <p>If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.</p>

## Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:

  
(Applicant may sign)

Date:

12/29/17

February 9, 2018

RE: Application No. PLN2017-00539  
0 San Ramon Ave, Moss Beach, CA

## PROJECT DESCRIPTION

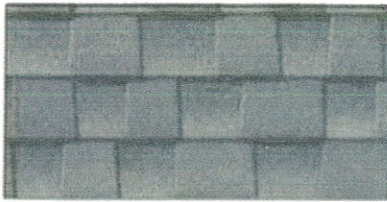
The project aligns with the Design Review Standards in the following ways:

The existing neighborhood context can be described as a single-family neighborhood with a mixture of one- and two-story homes. The proposed residence is similar in mass, size, and use. It is also similar in character and style.

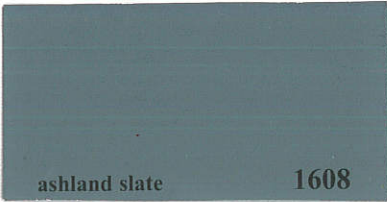
The architectural character of the proposed residence has a Bay Area Bungalow feel. It has a pitched roof with composition shingle roofing, simple forms and detailing, an entry porch and prominent bay window facing the street. The detailing, windows, siding and trim attempt to be consistent with the character of the surrounding neighborhood. The main body color of the house is a vibrant blue with white trim, connecting the home nicely to its coastal context.

The detached garage keeps parking and the garage structure toward the rear of the property and off the street, creating a more pedestrian scale at the front. The front entry porch creates a warm and inviting entry to the building. The one-story nature of the proposed house minimizes the impact on views and daylight of surrounding homes. The front ridge of the structure runs side-to-side, keeping the scale of the building to a minimum. Grading is minimized and the detached garage allows the project to be stepped up the hill.

The landscape is proposed to be native and/or natural planting with low water needs.



ROOFING- ASPHALT COMPOSITION SHINGLES  
GAF-ELK PRESTIQUE TIMBERLINE- "CHARCOAL" COLOR



BODY COLOR  
BENJAMIN MOORE- "ASHLAND SLATE" 1608

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San Mateo County  
Planning Division



ACCENT COLOR  
BENJAMIN MOORE- "WHITE DOVE" PM-19

PLN2017-00539

- (N) COMP SHINGLE ROOFING
- (N) 2x6 W/ Z-METAL FLASHING
- (N) 1x4 O/2x8 WOOD FASCIA
- (N) GUTTER
- (N) 2x4 WOOD TRIM
- (N) VERTICAL LAP CEMENT FIBER SIDING O/ 60 MIN BUILDING PAPER
- (N) SECTIONAL GARAGE DOOR

(N) VINYL FRAME WINDOW-  
"STANDARD WHITE"



SAN RAMON AVENUE-  
MOSS BEACH, CA

PROPOSED FRONT ELEVATION



# PLATIS RESIDENCE

## MOSS BEACH, CA

**PLATIS RESIDENCE**  
SAN RAMON AVENUE  
MOSS BEACH, CA  
APN: 037-259-200



### DESCRIPTION OF WORK

NEW SINGLE-STORY SINGLE FAMILY RESIDENCE AND NEW DETACHED GARAGE ON A SINGLE-FAMILY RESIDENTIAL LOT

### OCCUPANCY & CONSTRUCTION

R-3 OCCUPANCY  
TYPE VB CONSTRUCTION

### BUILDING CODES

2016 CALIFORNIA BUILDING CODE  
2016 CALIFORNIA RESIDENTIAL CODE  
2016 CALIFORNIA PLUMBING CODE  
2016 CALIFORNIA MECHANICAL CODE  
2016 CALIFORNIA ELECTRICAL CODE  
2016 CALIFORNIA REFERENCED STANDARDS CODE  
2016 CALIFORNIA ENERGY CODE  
2016 CALIFORNIA GREEN BUILDING CODE

### DRAWING INDEX

- A0 COVER SHEET & ARCHITECTURAL SITE & LANDSCAPE PLAN
- A1 MAIN RESIDENCE- FLOOR PLAN & ROOF PLAN
- A2 MAIN RESIDENCE- EXTERIOR ELEVATIONS
- A3 MAIN RESIDENCE- SECTION 'A'
- A4 DETACHED GARAGE- FLOOR & ROOF PLANS, EXTERIOR ELEVATIONS & SECTION 'A'
- C1 TITLE SHEET
- C2 GENERAL NOTES
- C3 PRELIMINARY GRADING AND DRAINAGE PLAN
- C4 PRELIMINARY EROSION CONTROL AND TREE PRESERVATION PLAN
- C5 PRELIMINARY DRIVEWAY PROFILE
- THE KARSTEN COMPANY FOUNDATION PLANS
- A-1 TITLE SHEET
- D-1 TYPICAL FOUNDATION/ SUPPORT DETAILS & GENERAL NOTES
- F-1 TYPICAL DOUBLE WIDE FOUNDATION
- F-2 TYPICAL TRIPLE WIDE FOUNDATION
- F-3 TYPICAL TAG UNIT WIDE FOUNDATION (ADDENDUM)
- F-4 TYPICAL SINGLE WIDE FOUNDATION

### SITE NOTES

- THIS SITE PLAN IS NOT A SURVEY. IT IS PROVIDED FOR BUILDING AND SITE WORK LAYOUT ONLY. THE CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, AND SUB-STRUCTURES.
- FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. SEE SOILS REPORT FOR ANY SPECIFIC REQUIREMENTS.
- ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.
- IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT SATURATION OF SOIL ADJACENT TO BUILDING.
- A PERFORATED DRAIN SET IN GRAVEL TRENCH SHALL BE INSTALLED AT ALL RETAINING WALLS. THE DRAIN SHALL DISCHARGE INTO THE STREET OR APPROVED DRAINAGE FACILITY. SEE SOILS REPORT FOR ANY SPECIFIC REQUIREMENTS.
- PROVIDE EXPANSION AND CONTROL JOINTS IN ALL EXTERIOR CONCRETE SLABS. SPACING OF JOINTS SHALL BE PER INDUSTRY STANDARDS.
- FINISH GRADE SHALL SLOPE MINIMUM 5% AWAY FROM FOUNDATION AND ADJACENT PROPERTIES TO AN APPROVED LOCATION. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE FOUNDATION WALL PER CRC R401.3.

### GENERAL INFORMATION

APN: 037-259-200  
ZONING DISTRICT: R-1/ S-17/ DR/ GH/ CD

SAN MATEO COUNTY PLANNING AND BUILDING DEPARTMENT  
CHAPTER 20B- "CD" (COASTAL DEVELOPMENT DISTRICT)

SINGLE-FAMILY LOT COVERAGE (PERCENT) MAXIMUM: 35%  
EXISTING PARCEL SIZE: 5,456 sq. ft.

PROPOSED LOT COVERAGE (SQ. FT.): 1,745 sq. ft.  
(HOUSE- 1,279 sq. ft. + COVERED PORCH- 66 sq. ft. + GARAGE- 400 sq. ft. = 1,745 sq. ft.)

PROPOSED LOT COVERAGE (PERCENT): 31.98%  
(1,745 sq. ft. / 5,456 sq. ft. = 0.319831)

PROPOSED FAR (SQ. FT.): 1,679 sq. ft.  
(HOUSE- 1,279 sq. ft. + GARAGE- 400 sq. ft. = 1,679 sq. ft.)

PROPOSED FAR (PERCENT): 30.77%  
(1,679 sq. ft. / 5,456 sq. ft. = 0.307735)

SETBACKS: FRONT: 20 ft.  
SIDE: 5 ft.  
REAR: 20'-0"

### OWNER

SAKIS (AKA JULIAN) & ELISHEBA PLATIS  
671 NAPLES STREET  
SAN FRANCISCO, CA 94112  
(510) 432-6055

### DESIGNER

ELEVATE DESIGN BUILD  
JUSTIN HANSON  
3164 PUTNAM BLVD., STE C  
WALNUT CREEK, CA 94597  
(925) 429-8860

### PLAN AREAS

#### PROPOSED

HOUSE: 1,279 sq. ft.  
COVERED PORCH: 66 sq. ft.  
GARAGE: 400 sq. ft.  
TOTAL: 1,745 sq. ft.

### GENERAL NOTES

- PROPOSED ARCHITECTURAL SITE AND LANDSCAPE PLAN SHALL MEET OR EXCEED THE LATEST EDITION OF CODES ADOPTED BY THE LOCAL GOVERNING AGENCIES. THESE SHALL INCLUDE (BUT ARE NOT LIMITED TO): California Building Code, California Residential Code, California Mechanical Code, California Plumbing Code, California Electric Code, AND ALL OTHER HEALTH AND SAFETY CODES, ORDINANCES AND REQUIREMENTS ADOPTED BY GOVERNING AGENCIES.
- THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED NOR FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, VERIFY, RESOLVE, AND INSTALL ALL MATERIALS AND EQUIPMENT.
- THE DESIGNER WILL NOT BE OBSERVING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY CONTROL AND CONSTRUCTION STANDARDS FOR THIS PROJECT.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH ALL RECOMMENDATIONS OF THE SOILS REPORT, IF PROVIDED FOR THE PROJECT.
- EXISTING DIMENSIONS ARE APPROXIMATE. VERIFY IN FIELD.
- PRIOR TO CLOSE OUT OF THE PERMIT, ALL PLUMBING FIXTURES SHALL COMPLY WITH THE WATER SAVING REQUIREMENTS OR TO BE CERTIFIED THAT THE EXISTING FIXTURES MEET THE REQUIREMENTS.

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DEC 29 2017

San Mateo County  
Planning Division

COVER SHEET  
PROPOSED SITE PLAN

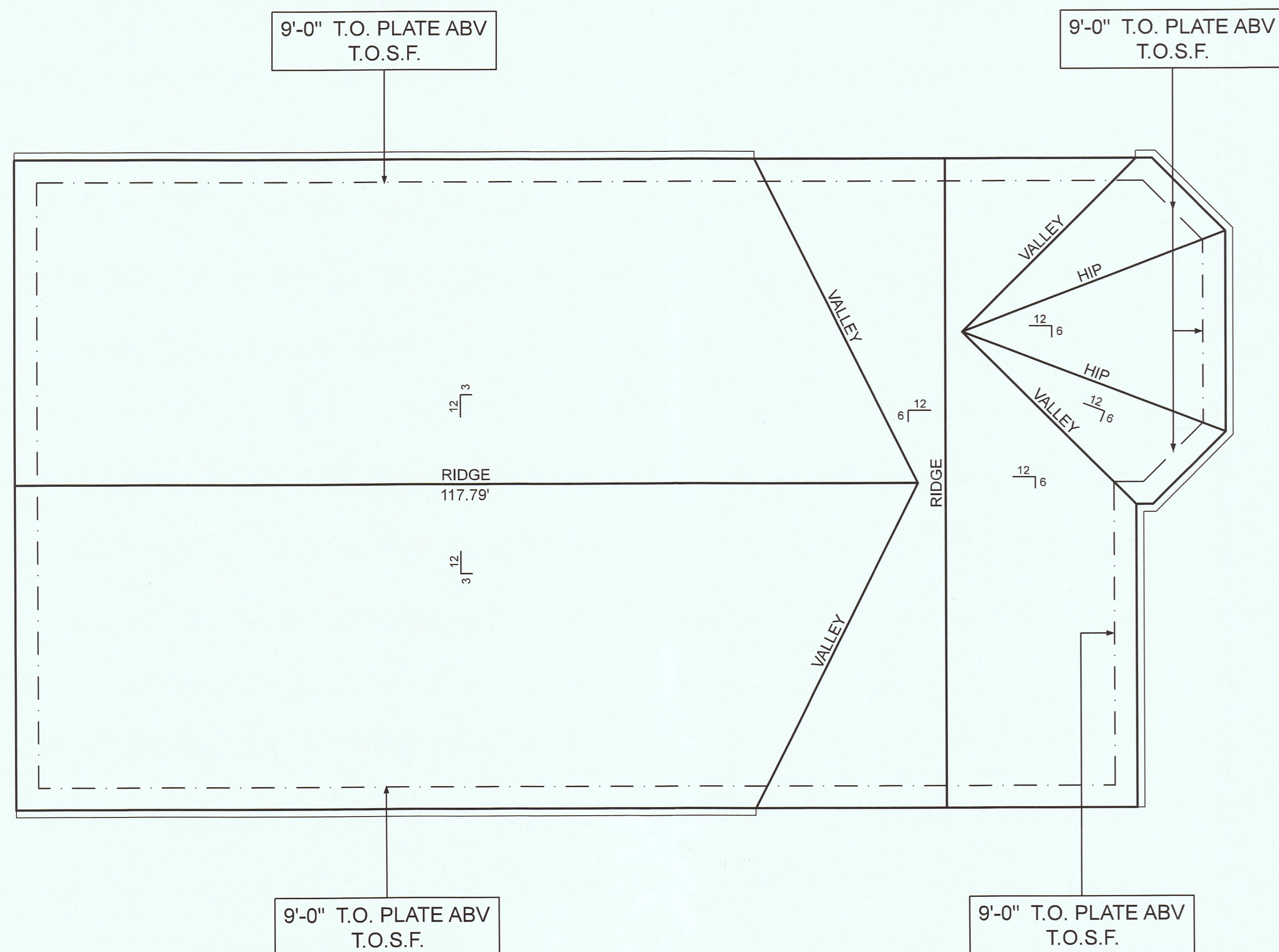
SHEET

JOB 16-PLATIS

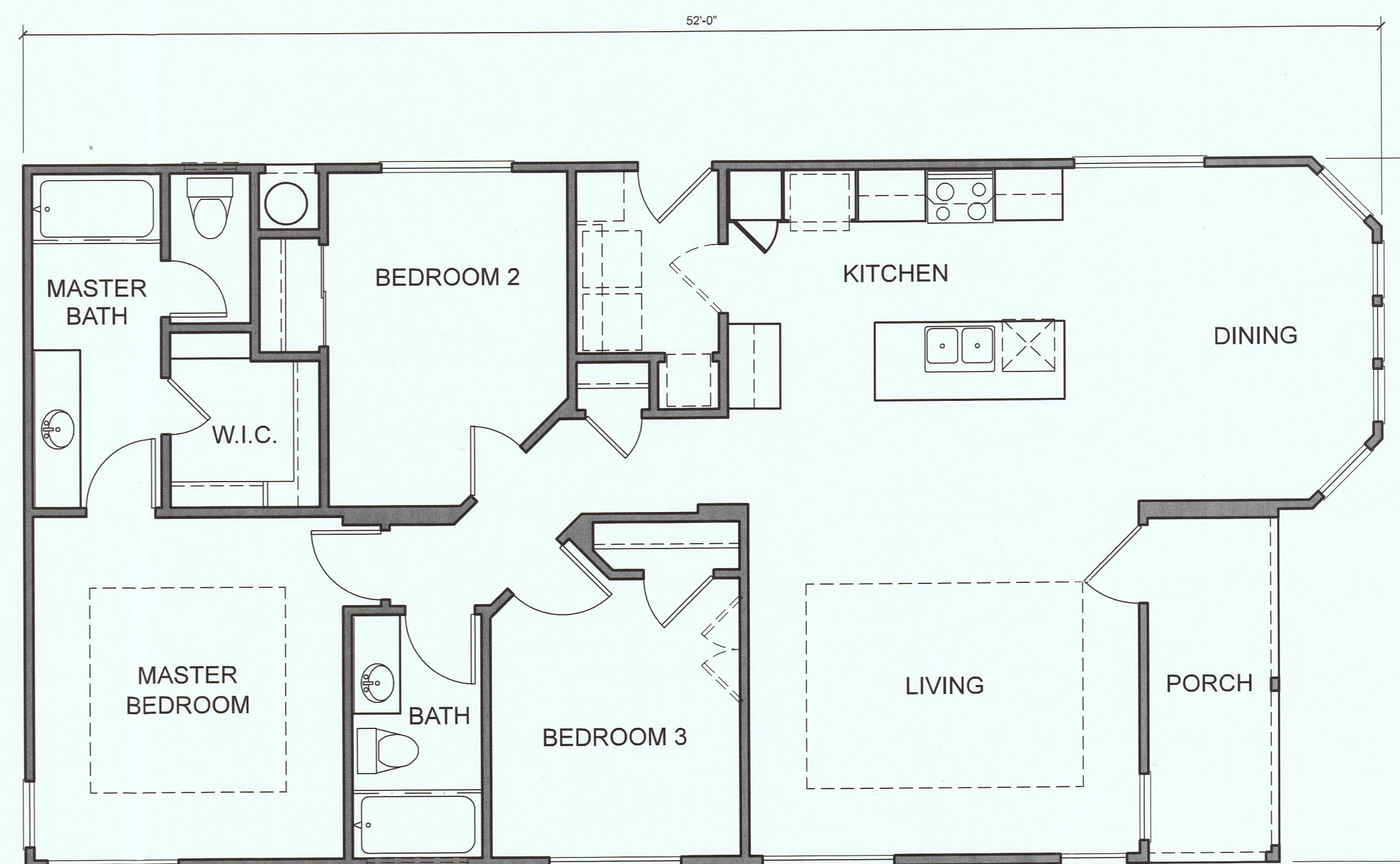
DRAWN JLM

DATE 03-21-17

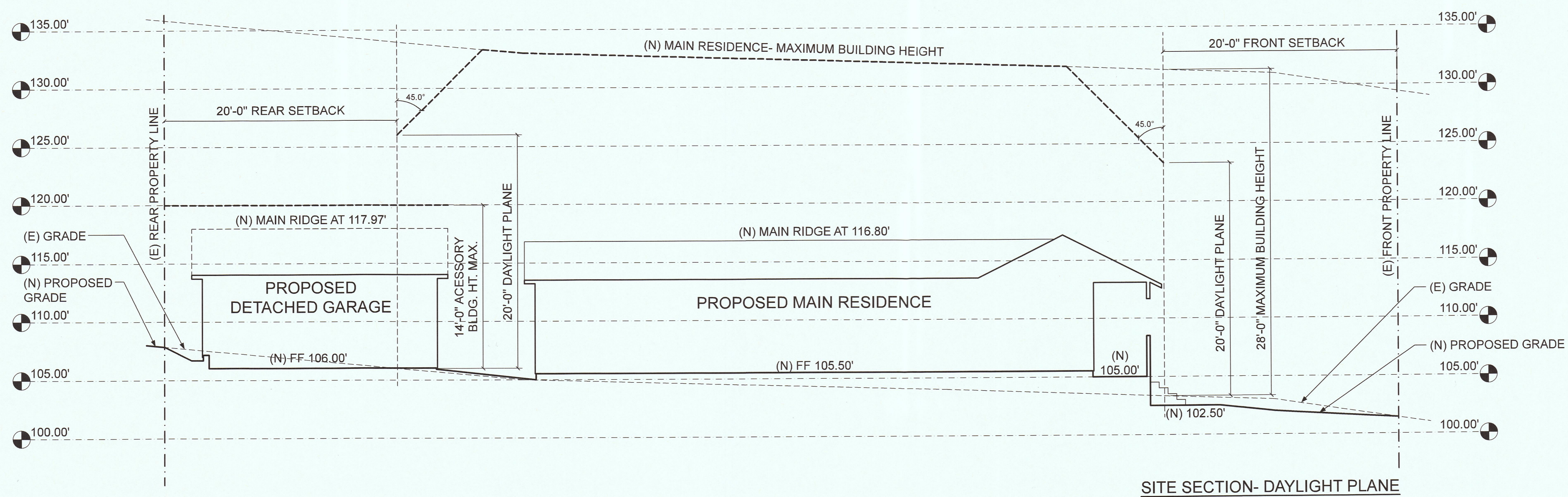
A0



MAIN RESIDENCE- PROPOSED ROOF PLAN



MAIN RESIDENCE- PROPOSED FLOOR PLAN



SITE SECTION- DAYLIGHT PLANE

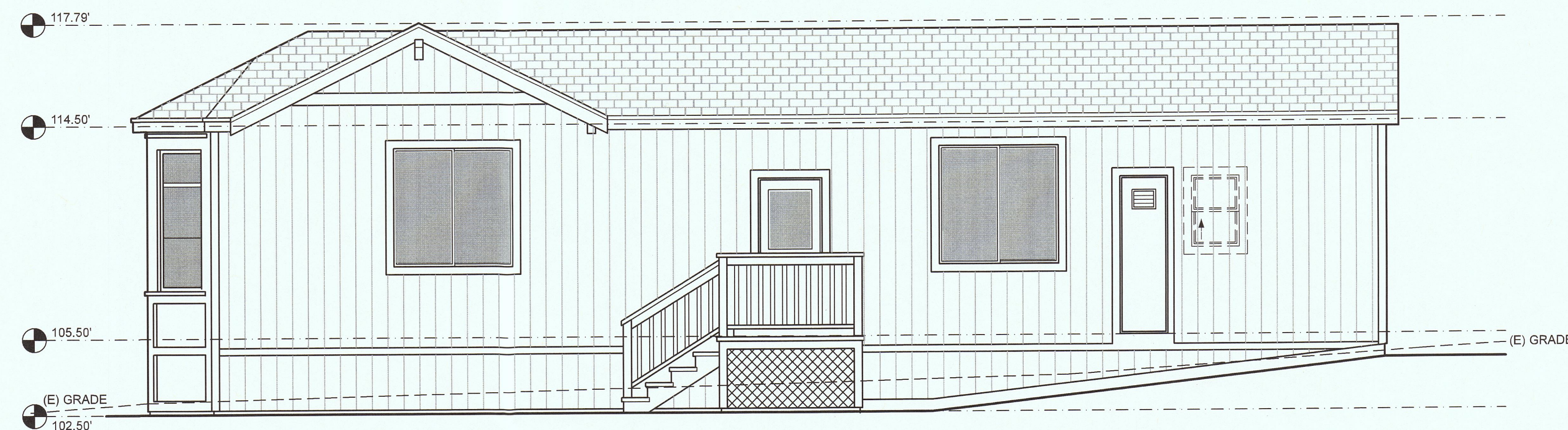
MAIN RESIDENCE  
 PROPOSED FLOOR PLAN,  
 ROOF PLAN AND SITE  
 SECTION- DAYLIGHT PLANE  
 SCALE: 1/4" = 1'-0"  
 SHEET

JOB 16-PLATIS  
 DRAWN -  
 DATE 03-21-17

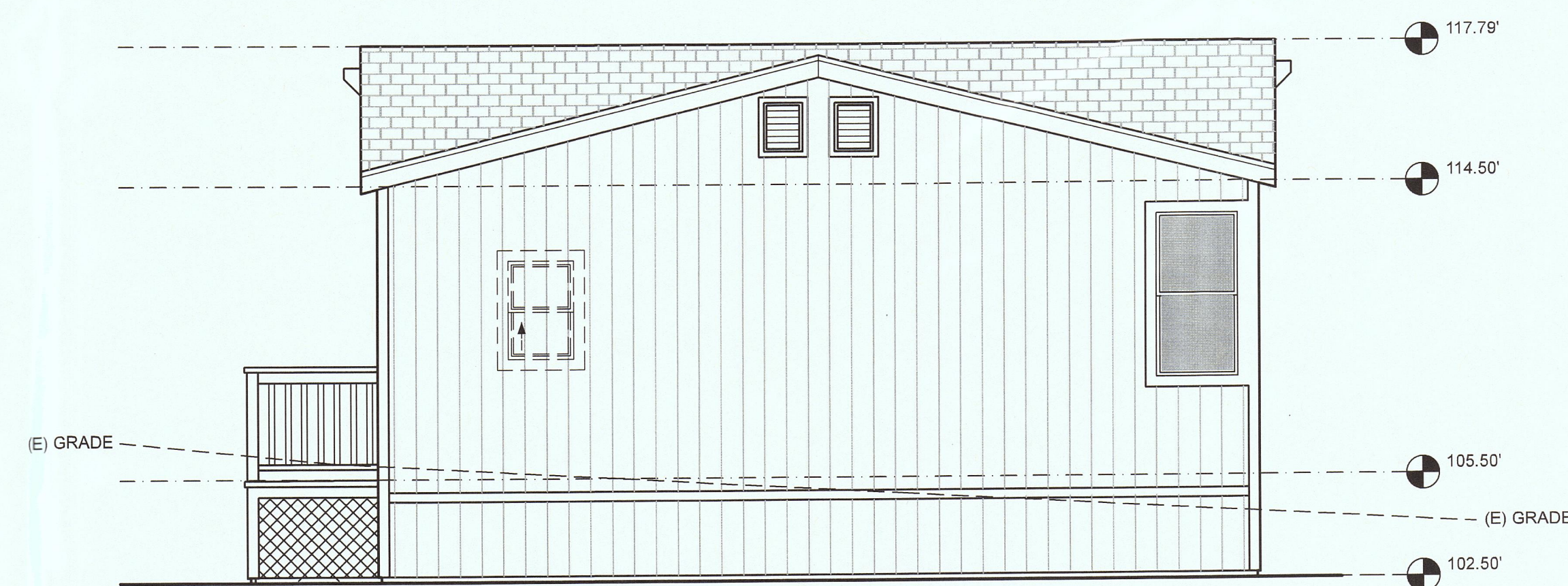
A1



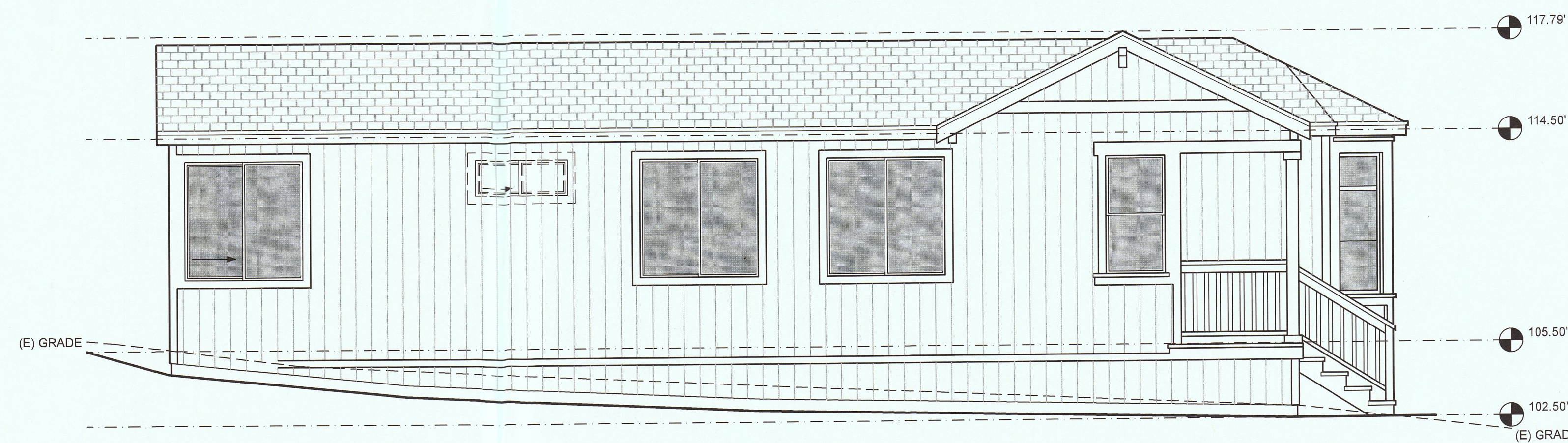
**MAIN RESIDENCE- PROPOSED FRONT ELEVATION**



**MAIN RESIDENCE- PROPOSED RIGHT SIDE ELEVATION**



**MAIN RESIDENCE- PROPOSED REAR ELEVATION**



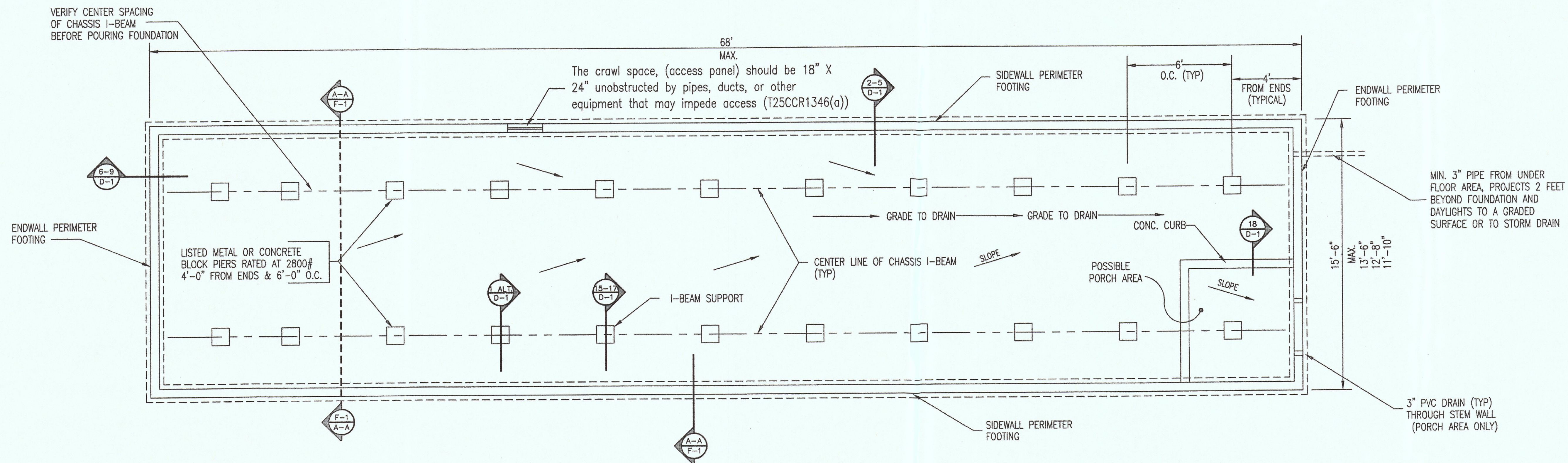
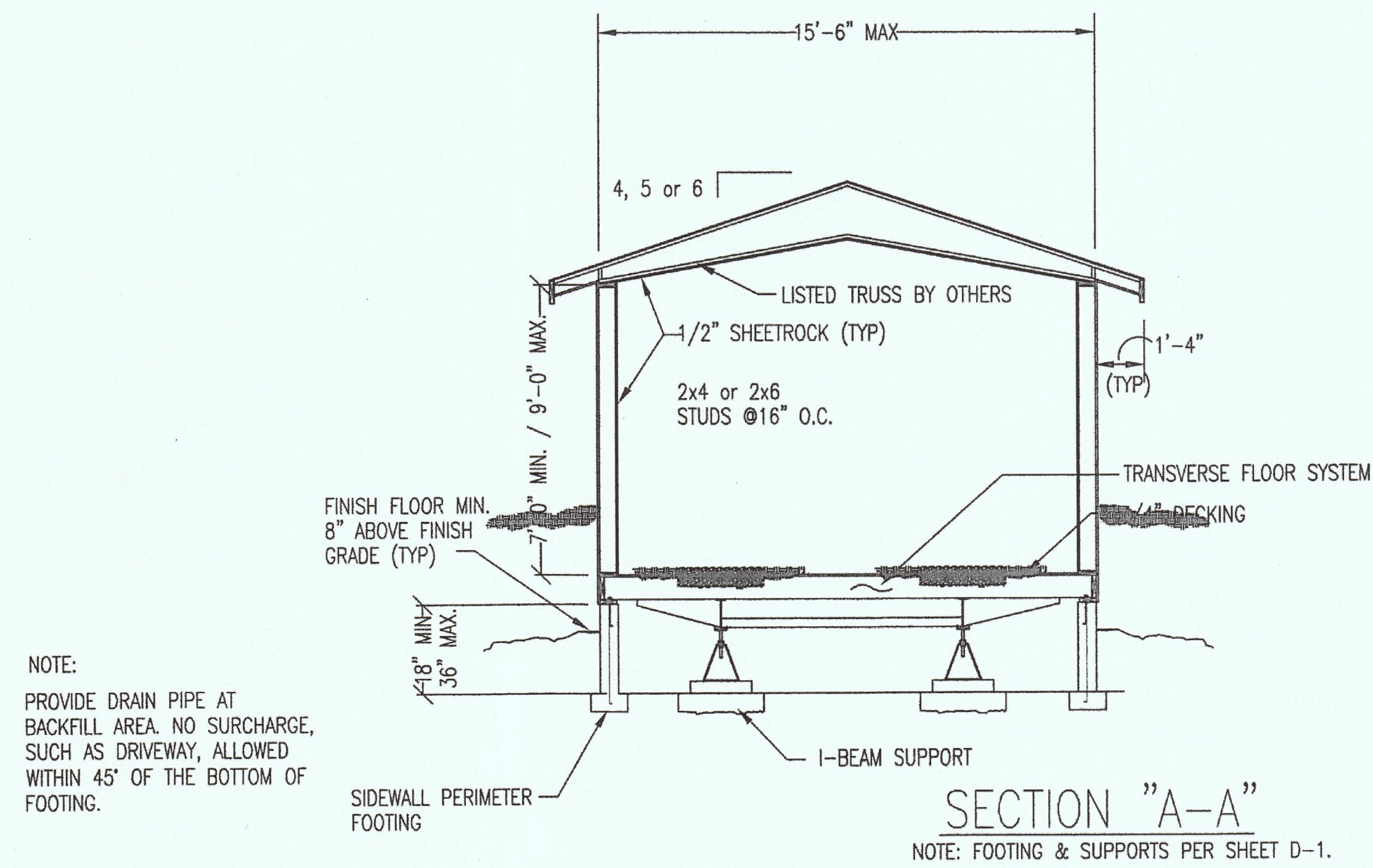
**MAIN RESIDENCE- PROPOSED LEFT SIDE ELEVATION**

**MAIN RESIDENCE  
 PROPOSED  
 EXTERIOR  
 ELEVATIONS**  
 SCALE: 1/4" = 1'-0" SHEET  
 JOB 16-PLATIS  
 DRAWN -  
 DATE 03-21-17

**A2**

Notice to the Contractor

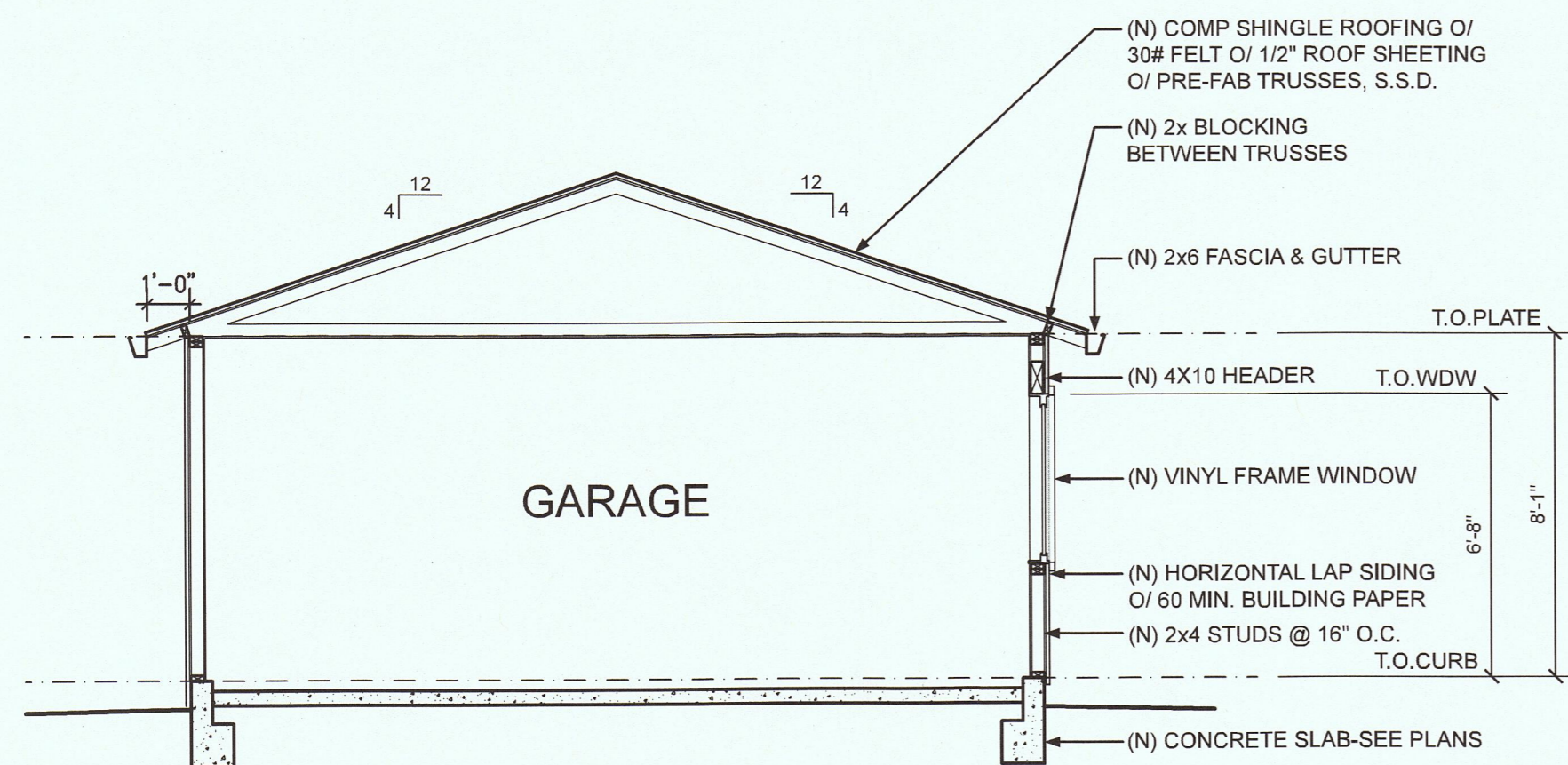
The Perimeter Foundation layout Shown Heron Is Illustrational Only. Actual Perimeter Foundation Shall Be Constructed in Accordance With The Dimensioned Floor Plan Supplied By The Karsten Company.



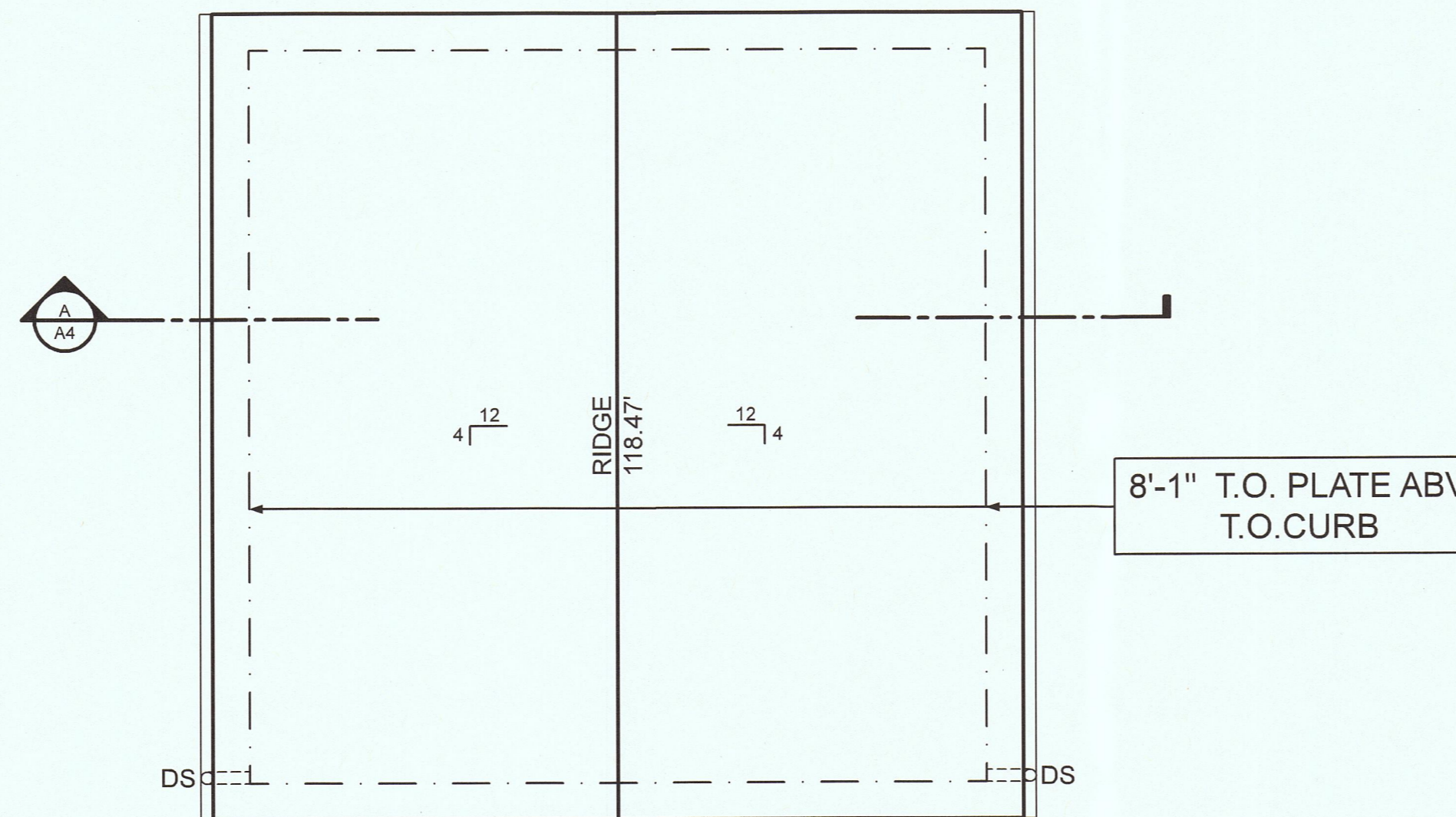
MAIN RESIDENCE  
 PROPOSED  
 SECTION 'A-A'

SCALE: 1/4" = 1'-0" SHEET  
 JOB 16-PLATIS  
 DRAWN -  
 DATE 03-21-17

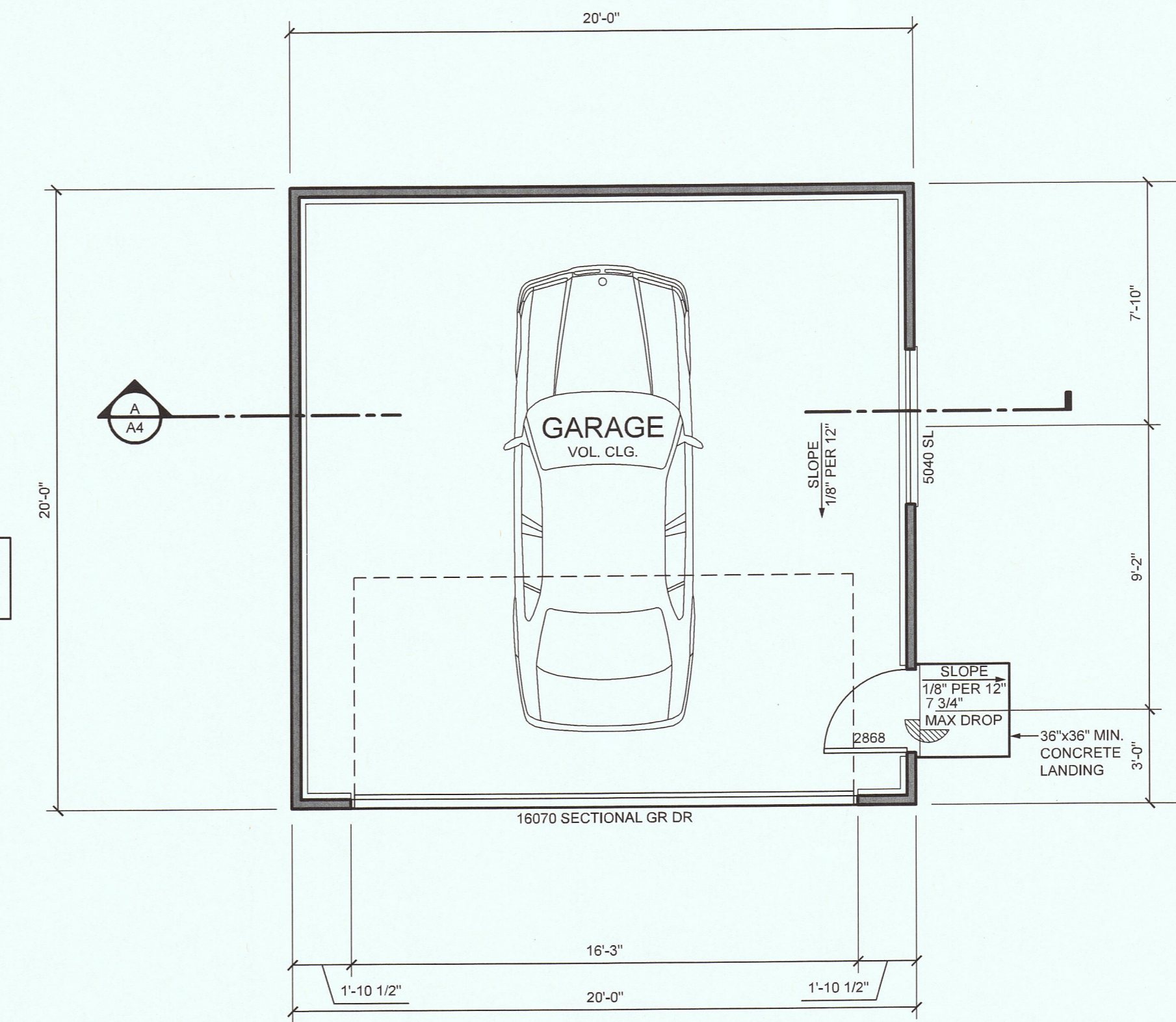
A3



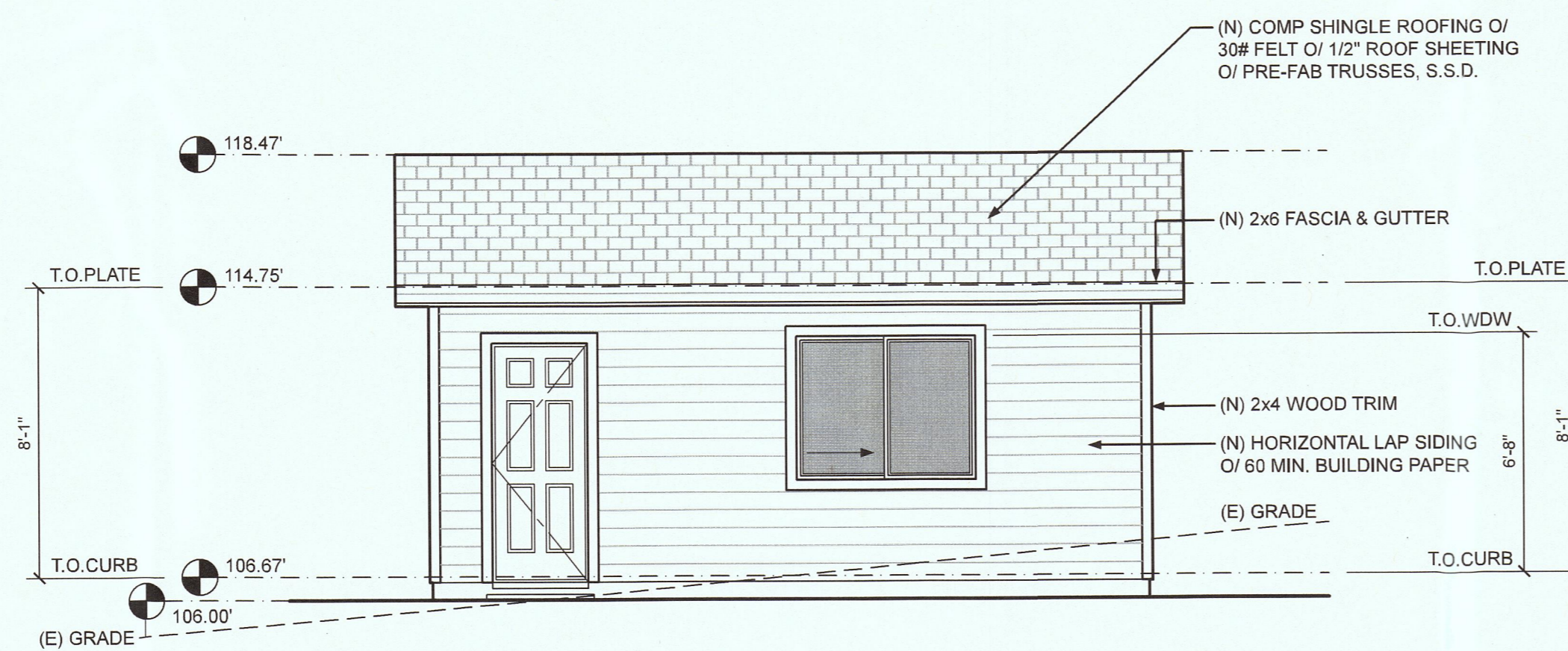
**DETACHED GARAGE-  
 BUILDING SECTION 'A'**



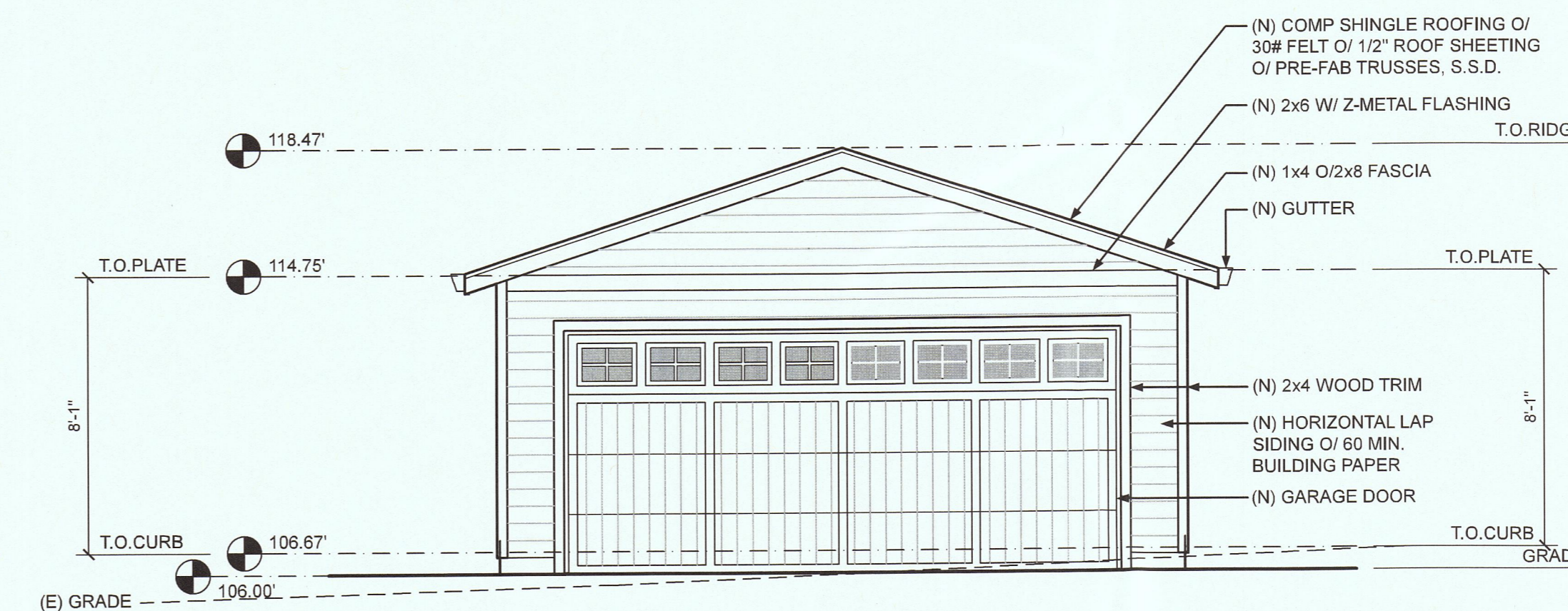
**DETACHED GARAGE-  
 PROPOSED ROOF PLAN**



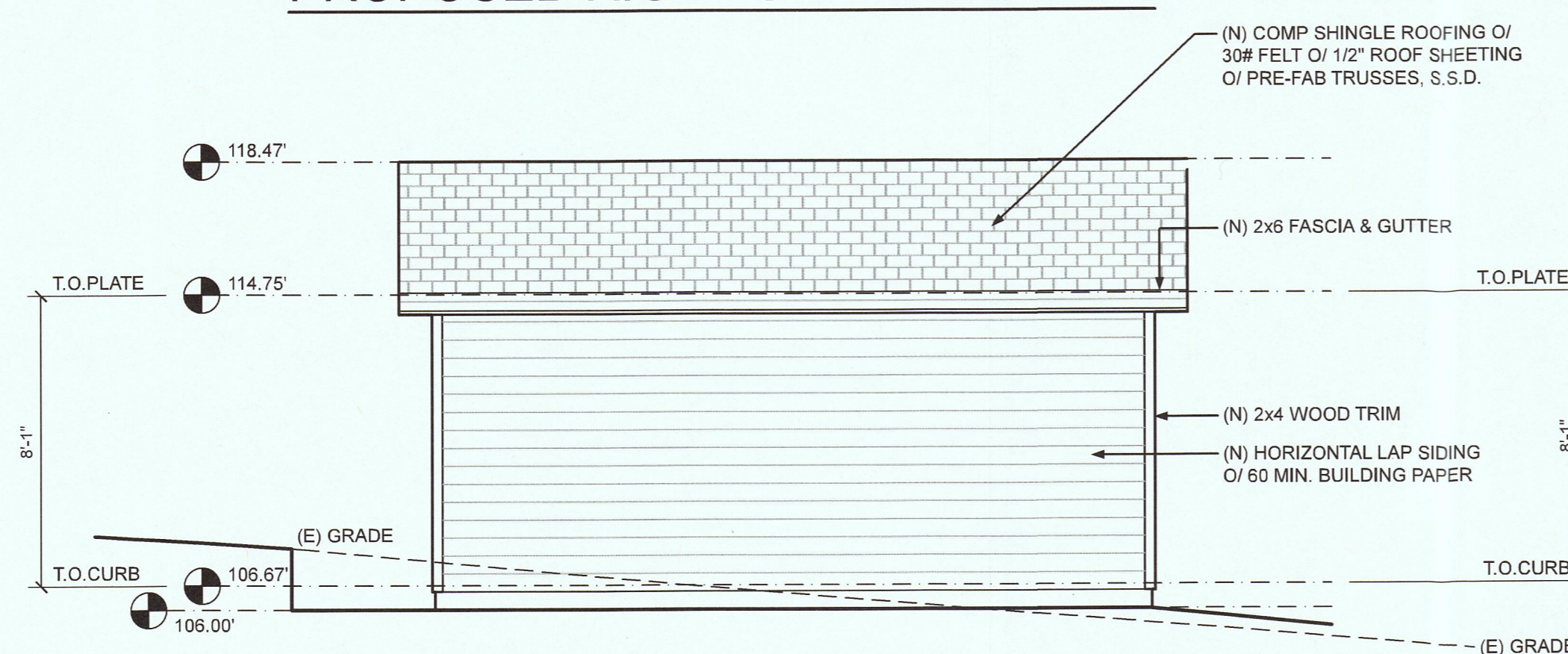
**DETACHED GARAGE-  
 PROPOSED FLOOR PLAN**



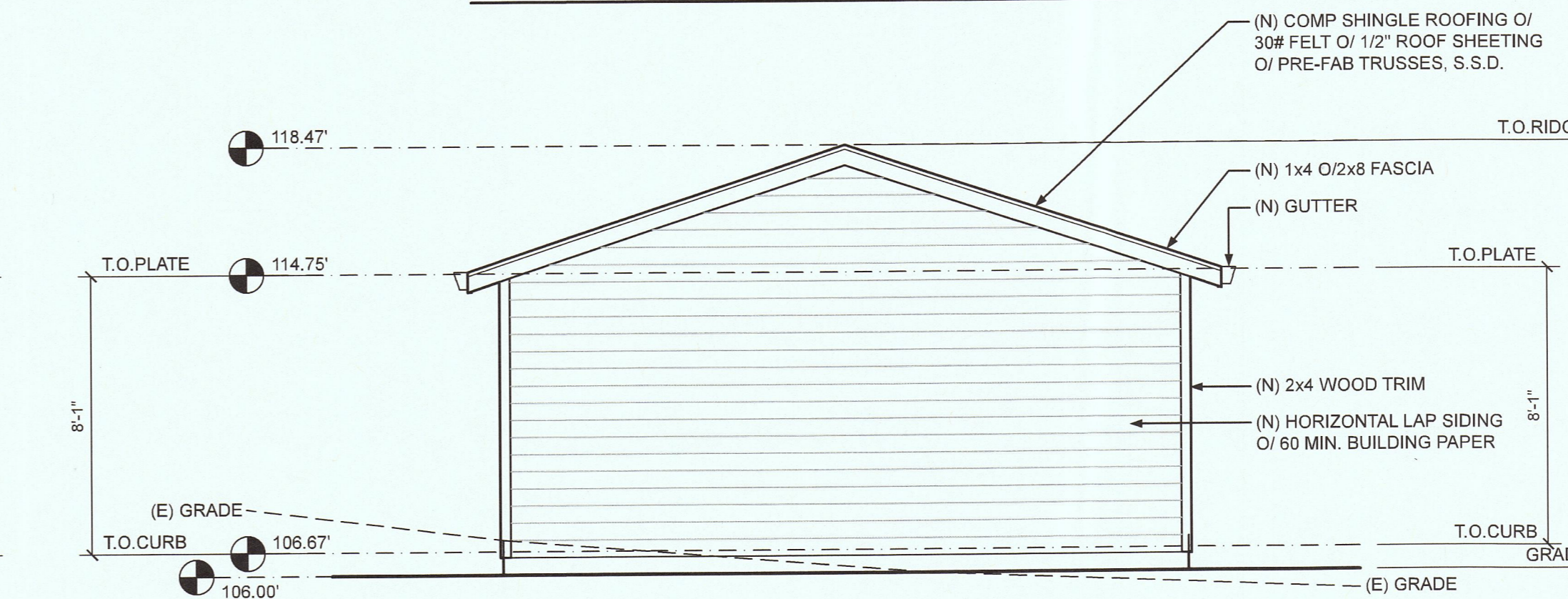
**DETACHED GARAGE-  
 PROPOSED RIGHT SIDE ELEVATION**



**DETACHED GARAGE-  
 PROPOSED FRONT ELEVATION**



**DETACHED GARAGE-  
 PROPOSED LEFT SIDE ELEVATION**



**DETACHED GARAGE-  
 PROPOSED REAR ELEVATION**

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 P:\16-005\CADD\ENGR\PRELIMINARY PLANS\16005P\_C01-TLO1.DWG Mar. 21, 2017-01:18 pm, MICKEY  
 2nd PLANNING SUBMITTAL - NOT FOR CONSTRUCTION

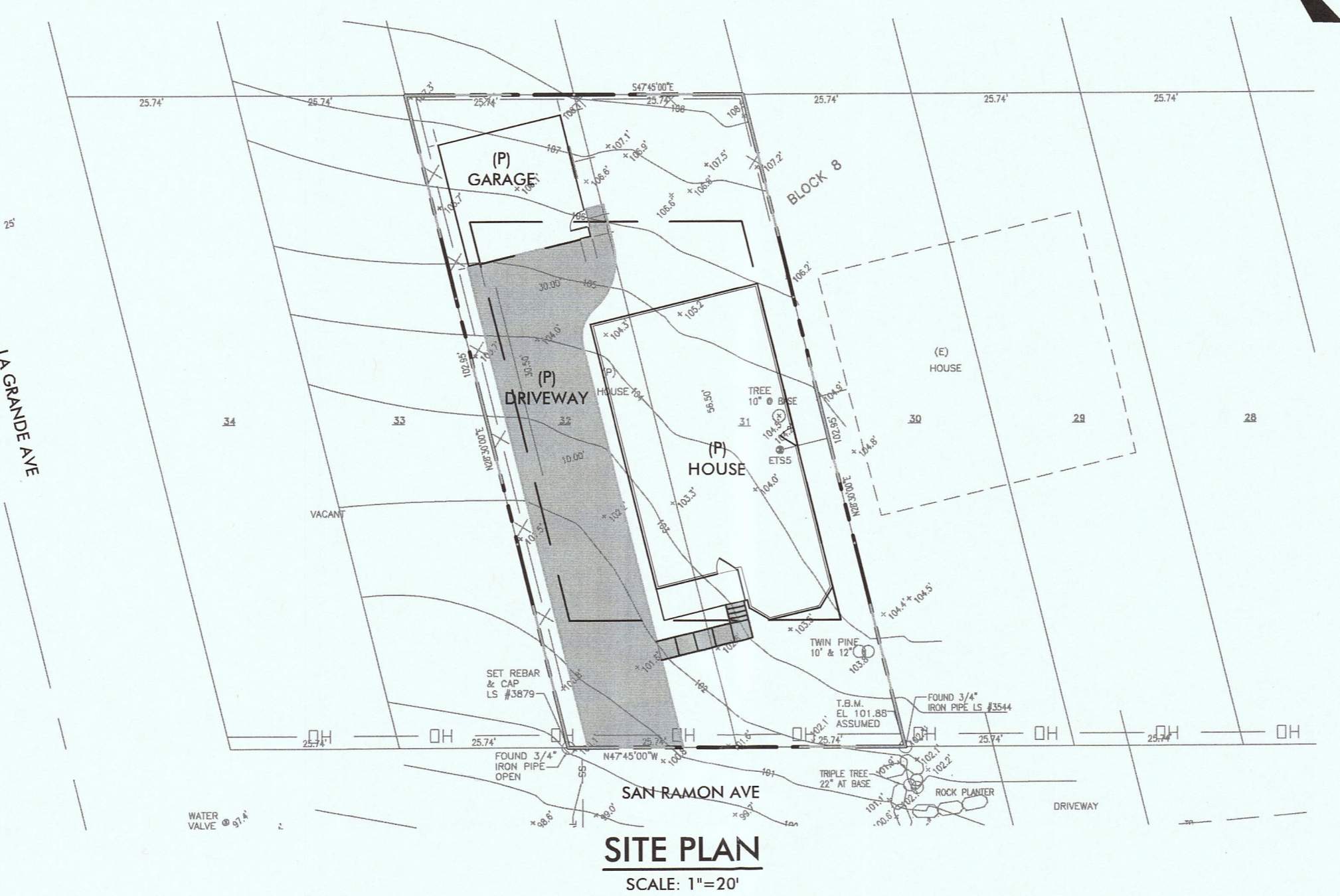
**LEGEND**

DESCRIPTION	EXISTING	PROPOSED
LOT LINES	---	---
EASEMENT	---	---
PROPERTY LINE	---	---
CENTERLINE	---	---
CURB & GUTTER	---	---
DITCH	---	---
STORM DRAIN	SD	SD
SANITARY SEWER	SS	SS
WATER	W	W
GAS LINE	G	G
FIRE SERVICE	FS	FS
SDMH	○	○
AREA DRAIN	□	□
DROP INLET	○	○
DIRECTION OF SURFACE FLOW	→	→
SSMH	○	○
SSCO	○	○
SEWER SERVICE	→	→
BLOW OFF	BO	BO
FIRE HYDRANT	⊕	⊕
WATER VALVE	⊕	⊕
WATER METER	⊕	⊕
MONUMENT	○	○
UTILITY POLE	○	○
UTILITY POLE WITH LIGHT	○	○
STREET LIGHT	○	○
POST TOP STREET LIGHT	○	○
FENCE	X-X-X	X-X-X
INDEX CONTOUR	25	25
INTERMEDIATE CONTOUR	25	25
HEDGE	~	~
JUNCTION/PULL BOX	PB	PB
SIGN	⊕	⊕
GRADE BREAK LINE	GB	GB
FINISH GRADE ELEVATION	+114.55	57.20
TREE & DRIPLINE	○	○
CONCRETE SIDEWALK	▨	▨
AC PAVEMENT	▨	▨
PAVEMENT REMOVAL	▨	▨
STAMPED AC PAVEMENT	▨	▨

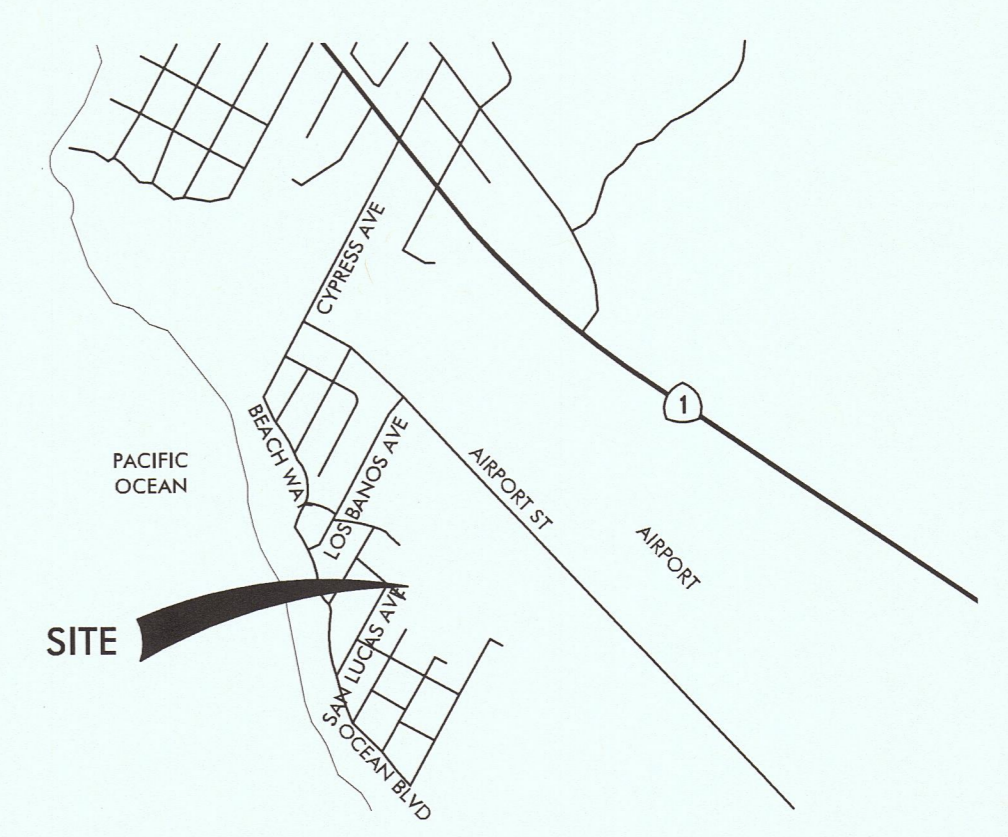
**ABBREVIATIONS**

AC	ASPHALT CONCRETE
AD	AREA DRAIN
A.E.	APPROVED EQUAL
AP	ANGLE POINT
ARV	AIR RELEASE VALVE
BK	BOOK
BOC	BACK OF CURB
BOV	BLOW-OFF VALVE
BOW	BACK OF WALK
BW	BOTTOM OF WALL
CG	CURB AND GUTTER
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC	CONCRETE
CP	CAR POOL
DI	DROP INLET
DIP	DUCTILE IRON PIPE
DIST	DISTRICT
DWG	DRAWING
(E)	EXISTING OR EAST
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX	EXISTING
EXIST	EXISTING
EV	ELECTRIC VEHICLE
F	FUTURE
FF	FINISH FLOOR
FG	FINISH GRADE
FS	FIRE SERVICE
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
FL	FLOW LINE
FP	FINISH PAVEMENT
G	GAS
GB	GRADE BREAK
GR	GRATE
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
INTX	INTERSECTION
INV	INVERT
IRR	IRRIGATION
LF	LINEAR FEET
LT	LEFT
NFPA	NATIONAL FIRE PREVENTION ACT
NO	NUMBER
NTS	NOT TO SCALE
OG	ORIGINAL GROUND
OMP	OPEN METAL PIPE
PIV	POST INDICATOR VALVE
(P)	PROPOSED
PROP	PROPOSED
PCC	PORTLAND CEMENT CONCRETE
PCC	POINT OF CONNECTION
PL	PROPERTY LINE
PG	PAGE
PUE	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
RT	RIGHT
ROW	RIGHT-OF-WAY
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SDWK	SIDEWALK
S.O.	SIDE OPENING
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT
SSMH	SANITARY SEWER MANHOLE
STD	STANDARD
SVC	SERVICE
SW	SIDEWALK
TBW	TOP BACK OF WALK
TC	TOP OF CURB
TYP	TYPICAL
TW	TOP OF WALL
W	WATER
WV	WATER VALVE
WM	WATER METER

**PRELIMINARY PLANS FOR**  
**MOSS BEACH RESIDENCE**  
**SAN RAMON AVENUE**  
**MOSS BEACH, CALIFORNIA 94038**  
**COUNTY OF SAN MATEO**  
**APN: 037-259-200**



**VICINITY MAP**



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- C2 GENERAL NOTES
- C3 PRELIMINARY GRADING AND DRAINAGE PLAN
- C4 PRELIMINARY EROSION CONTROL AND TREE PRESERVATION PLAN
- C5 PRELIMINARY DRIVEWAY PROFILE
- THE KARSTEN COMPANY FOUNDATION PLANS
- A-1 TITLE SHEET
- D-1 TYPICAL FOUNDATION/SUPPORT DETAILS & GENERAL NOTES
- F-1 TYPICAL DOUBLE WIDE FOUNDATION
- F-2 TYPICAL TRIPLE WIDE FOUNDATION
- F-3 TYPICAL TAG UNIT FOUNDATION (ADDENDUM)
- F-4 TYPICAL SINGLE WIDE FOUNDATION

**SURVEY NOTE**

THE TOPOGRAPHIC SURVEY AND BOUNDARY FOR THIS PROJECT WAS PREPARED BY OTHERS. THE OLYMPUS GROUP, INC. SHALL NOT ASSUME RESPONSIBILITY OR LIABILITY FOR ANY ERRORS CONTAINED WITHIN THE TOPOGRAPHIC SURVEY AND BOUNDARY, WHICH RESULTS IN FIELD CHANGES DURING CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE BOUNDARY AND ALL EXISTING FIELD CONDITIONS CONTAINED WITHIN THE SURVEY AND BOUNDARY TO ENSURE ACCURACY. IF ERRORS ON THE SURVEY ARE ENCOUNTERED THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.

**ELECTRICAL NOTE**

ELECTRICAL PLANS FOR THIS PROJECT ARE NOT A PART OF THIS PLAN SET.

**S.W.P.P.P. NOTE**

A STORM WATER POLLUTION PREVENTION PLAN IS NOT REQUIRED FOR THIS PROJECT.

**EARTHWORKS**

CLEAR & GRUB	4.6 YDS (APPROX)
CUT	40 CU YDS (APPROX)
FILL	35 CU YDS (APPROX)

(DOES NOT INCLUDE TRENCH SPOILS OR UNSUITABLE SOILS)

**UTILITY REPRESENTATIVES**

UTILITY	COMPANY	CONTACT	PHONE
GAS	P.G. & E.		(800) 743-5000
ELECTRICITY	P.G. & E.		(800) 743-5000
TELEPHONE	AT&T		(800) 483-4000
WATER	MONTARA WATER & SANITARY DIST.		(650) 728-3545
SEWER	MONTARA WATER & SANITARY DIST.		(650) 726-0124
DRAINAGE	COUNTY OF SAN MATEO		(650) 363-4100
FIRE	COASTSIDE FIRE PROTECTION DIST.	PAUL COLE	(650) 726-5213
CABLE T.V.	COMCAST		(800) 934-6489
UNDERGROUND	U.S.A.		

**PROJECT CONSTRUCTION HOURS**

CONSTRUCTION ACTIVITIES SHALL BE RESTRICTED TO THE WEEKDAY DAYTIME HOURS OF 7:00 A.M. TO 6:00 P.M. CONSTRUCTION ACTIVITIES DURING SATURDAYS SHALL BE RESTRICTED TO THE DAYTIME HOURS OF 8:00 A.M. TO 5:00 P.M. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS AND HOLIDAYS.

**SOILS REPORT NOTES**

A SOILS REPORT HAS BEEN PREPARED FOR THIS SITE/PROJECT, BY EARTH INVESTIGATIONS CONSULTANTS, DATED JUNE 3, 2016. PROJECT # 2161.01.00 (650)557-0262.

<b>SUBMITTED BY:</b>	<b>APPROVED BY:</b>
_____ DATE _____	_____ DATE _____
<b>APPROVED BY:</b>	<b>APPROVED BY:</b>
COASTSIDE FIRE PROTECTION DIST. _____ DATE _____	XXXX _____ DATE _____
<b>ACCEPTED BY:</b>	_____ DATE _____
COUNTY OF SAN MATEO - DIRECTOR	_____ DATE _____

**GENERAL CONSTRUCTION NOTES**

- A LETTER FROM A LICENCED CIVIL ENGINEER OR SURVEYOR SHALL BE PROVIDED TO THE BUILDING DEPT. AT THE TIME OF THE FOUNDATION INSPECTION VERIFYING THAT PAD HEIGHTS AND SETBACKS ARE IN COMPLIANCE WITH THESE APPROVED PLANS.
- A LETTER FROM THE GEOTECHNICAL ENGINEER SHALL BE PROVIDED TO THE BUILDING DEPT. AT THE TIME OF FOUNDATION INSPECTION VERIFYING FOUNDATION EXCAVATIONS AND SOILS WORK HAS BEEN OBSERVED AND IS CONSISTENT WITH THE SOILS REPORT.
- ALL WORK PROPOSED IN THE PUBLIC RIGHT OF WAY WILL REQUIRE AN ENCROACHMENT PERMIT. PLEASE APPLY WITH THE CITY OF MOSS BEACH OR SAN MATEO COUNTY.
- THE CONTRACTOR SHALL FLAG PROPERTY CORNERS PRIOR TO ANY CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PREPARING A HAUL ROUTE FOR EXPORT ACTIVITY.
- A LETTER FROM A LICENSED CIVIL ENGINEER OR SURVEYOR SHALL BE PROVIDED TO THE BUILDING DEPARTMENT AT THE TIME OF THE FOUNDATION INSPECTION THAT THE PAD HEIGHTS AND SETBACKS ARE IN COMPLIANCE WITH THE APPROVED PLANS AND THE CITY OF MOSS BEACH OR SAN MATEO COUNTY ZONING CODE.

**OWNER:**  
 JULIAN PLATIS  
 671 NAPLES STREET  
 SAN FRANCISCO, CA 94112

**ENGINEER:**  
 THE OLYMPUS GROUP, INC.  
 8850 GREENBACK LANE  
 ORANGEVALE, CA 95662  
 PHONE: 916-396-6228  
 CONTACT: RICH FRANCIS

**GARAGE ARCHITECT:**  
 ELEVATE DESIGN BUILD  
 4188 PICKWICK DRIVE  
 CONCORD, CA. 94521  
 PHONE: 925-429-8860  
 CONTACT: JUSTIN HANSON

**PREFABRICATION STRUCTURE AND FOUNDATION PLAN:**  
 THE KARSTEN COMPANY  
 9988 OLD PLACERVILLE RD.  
 SACRAMENTO, CA 95827



**THE OLYMPUS GROUP**  
 ENGINEERING, PLANNING & SURVEYING  
 8850 GREENBACK LANE, SUITE C, ORANGEVALE, CA 95662  
 PHONE: 916-396-6228  
 WWW.OLYMPUSGROUP.COM

DRAWN BY: STAFF  
 CHECKED BY: R. FRANCIS  
 DATE: MAR 21, 2017  
 SCALE: 1"=20'  
 PROJECT NO: 16-006

C1

SHEET 1 OF 5

IMPROVEMENT PLANS FOR  
**SAN RAMON AVENUE**  
 CITY OF MOSS BEACH  
 TITLE SHEET

COUNTY OF SAN MATEO, CALIFORNIA  
 2nd PLANNING SUBMITTAL - NOT FOR CONSTRUCTION

CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE OLYMPUS GROUP CONSULTING AND ENGINEERING AND MAY NOT BE USED ON ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE OLYMPUS GROUP, INC.

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### GENERAL NOTES:

- ALL APPLICABLE FEES TO BE PAID AND PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR BEFORE COMMENCEMENT OF CONSTRUCTION.
- THE TYPES, LOCATIONS, SIZES, AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, OLYMPUS GROUP CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD THE DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONALS.
- PRIOR TO ANY CORRECTIVE ACTION BY THE CONTRACTOR DUE TO ALLEGED STAKING ERROR, THE CONTRACTOR SHALL NOTIFY OLYMPUS GROUP. FOR RESTAKING AND VERIFICATION OF PREVIOUS STAKING, SHOULD ANY CORRECTIVE WORK BE DONE PRIOR TO NOTIFICATION, OR IF THE ORIGINAL STAKING IS DONE BY OTHERS, OLYMPUS GROUP ASSUMES NO LIABILITIES FOR THE COSTS INCURRED FOR THIS WORK. WHERE IT HAS BEEN DETERMINED THAT ANY CORRECTIVE ACTION WILL REQUIRE FINANCIAL PARTICIPATION BY OLYMPUS GROUP, THAT AMOUNT SHALL BE AGREED TO BY OLYMPUS GROUP, IN WRITING PRIOR TO TAKING CORRECTIVE ACTION. FAILURE TO OBTAIN WRITTEN ACCEPTANCE BY OLYMPUS GROUP WILL NEGATE ALL REQUIREMENTS OF OUR FINANCIAL ASSISTANCE.
- OLYMPUS GROUP HAS EXERCISED A REASONABLE AND ACCEPTABLE STANDARD OF CARE IN THE PREPARATION OF THESE PLANS. HOWEVER, THE DESIGN PROCESS INCLUDES ACTIVITIES OCCURRING AFTER PLAN SIGNATURE, THESE ACTIVITIES INCLUDE CALCULATIONS, PLAN INTERPRETATIONS AND VERIFICATIONS DURING CONSTRUCTION. SHOULD PERSONS OTHER THAN OLYMPUS GROUP PERFORM THE CONSTRUCTION STAKING OPERATIONS, THEY SHALL INDEMNIFY OLYMPUS GROUP FROM ANY DAMAGES RESULTING FROM OMISSION OR ERROR CONTAINED IN THE PLANS WHICH WOULD REASONABLY HAVE BEEN DISCOVERED AND CORRECTED BY OLYMPUS GROUP.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING UNDERGROUND PIPING FROM TEMPORARY CONSTRUCTION VEHICLE LOADING DURING CONSTRUCTION. SHOULD PIPING BECOME DAMAGED DUE TO CONTRACTOR SURCHARGING THE PIPE DUE TO INSUFFICIENT COVER, CONTRACTOR SHALL REPLACE DAMAGED PIPING AT HIS COST. WHEN CONTRACTOR IS CONSTRUCTING TEMPORARY HAUL ROADS, DIMENSIONS FOR MINIMUM PIPE COVER ARE RECOMMENDED AS FOLLOWS:
  - 4 FEET FOR METAL AND PLASTIC PIPE.
  - 3 FEET FOR REINFORCED CONCRETE PIPE.
 WHEN REQUIRED AS PART OF THE ROUGH GRADING OPERATION THE CONTRACTOR SHALL PLACE PROTECTIVE STRENGTH PIPE IF TRENCH CONDITIONS ENCOUNTERED DIFFER FROM THE DESIGN TRENCH.

### TRAFFIC NOTES - (AS APPLICABLE)

A TRAFFIC CONTROL PLAN SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO COUNTY OF SAN MATEO CONSTRUCTION MANAGEMENT DIVISION FOR REVIEW AT LEAST 20 DAYS PRIOR TO COMMENCEMENT OF ANY WORK. AN ENCROACHMENT PERMIT OR PLAN APPROVAL MUST FIRST BE OBTAINED PRIOR TO ANY WORK COMMENCING WITHIN THE CITY RIGHT-OF-WAY.

### CONTRACTOR'S RESPONSIBILITY NOTE

THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. INCLUDING SAFETY OF ALL PERSONS AND PROPERTY AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

### COUNTY REQUIRED NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE COUNTY OF SAN MATEO STANDARD CONSTRUCTION SPECIFICATIONS AND IMPROVEMENT STANDARDS. WHERE INCONSISTENCIES EXIST, THE LATEST EDITION SHALL TAKE PRECEDENCE.
- PUBLIC SAFETY AND TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE STANDARD CONSTRUCTION SPECIFICATIONS AND AS DIRECTED BY THE COUNTY INSPECTOR. SAFE VEHICULAR AND PEDESTRIAN ACCESS SHALL BE PROVIDED AT ALL TIMES DURING CONSTRUCTION.
- THE CONSULTING ENGINEER SHALL NOTIFY THE COUNTY OF SAN MATEO CONSTRUCTION INSPECTION OFFICE UPON COMPLETION OF STAKING.
- THE CONTRACTOR SHALL NOTIFY THE COUNTY OF SAN MATEO CONSTRUCTION INSPECTION OFFICE TWO WORKING DAYS PRIOR TO THE INTENTION TO COMMENCE WORK. THE CONTRACTOR SHALL NOT START ANY GRADING UNTIL THE CITY COMPLETES A PRE-CONSTRUCTION MEETING.
- THE COUNTY OF SAN MATEO IS A MEMBER OF THE UNDERGROUND SERVICE ALERT (U.S.A.) ONE CALL PROGRAM. THE CONTRACTOR OR ANY SUB CONTRACTOR FOR THIS CONTRACT SHALL NOTIFY MEMBERS OF U.S.A. TWO WORKING DAYS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK BY CALLING THE TOLL-FREE NUMBER: 1-800-227-2600.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- ALL SERVICE SEWERS SHALL HAVE FOUR TO FIVE FEET OF COVER AT THE PROPERTY LINE OR RIGHT-OF-WAY, UNLESS OTHERWISE NOTED ON PLANS.
- EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE COUNTY OF SAN MATEO IMPROVEMENT STANDARDS.
- WHenever the work area is adjacent to a traffic lane and there is a cut, ditch or trench more than two inches deep, the contractor shall maintain continuous barricades spaced at approximately 20-foot intervals for the first 100 feet from the beginning of the cut, ditch or trench, and at approximately 50-foot intervals thereafter. If the cut, ditch or trench is more than ten feet from a traffic lane, the barricade spacing may be greater but shall not exceed 200 feet.
- A TRAFFIC CONTROL PLAN SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO CITY OF MONTE SERENO CONSTRUCTION MANAGEMENT AND INSPECTION DIVISION FOR REVIEW AT LEAST 20 DAYS PRIOR TO COMMENCEMENT OF ANY WORK. AN ENCROACHMENT PERMIT OR PLAN APPROVAL MUST FIRST BE OBTAINED PRIOR TO ANY WORK COMMENCING WITHIN THE CITY RIGHT-OF-WAY.
- UNLESS SPECIFICALLY SET FORTH AS SPECIAL PROVISION, ALL MARKED LANES OF TRAFFIC SHALL BE UNOBSTRUCTED ON SAN RAMON AVE. IN EACH DIRECTION DURING THE PEAK TRAFFIC HOURS OF 7:00AM TO 8:00 AM AND 3:30PM AND 6:00 PM. A TRAFFIC LANE SHALL BE CONSIDERED UNOBSTRUCTED IF IT IS SURFACED WITH ASPHALT AND IS AT LEAST TEN FEET WIDE.
- NO PAVEMENT WORK WILL OCCUR WITHIN THE ROAD RIGHT OF WAY PRIOR TO COMPLETION OF ANY NECESSARY UTILITY POLE RELOCATION WITHIN THAT RIGHT OF WAY.
- THE DEVELOPER SHALL CONTACT COASTSIDE FIRE PROTECTION DISTRICT AT (650) 726-5213 FOR INSPECTION AND ACCEPTANCE PRIOR TO COUNTY PROJECT ACCEPTANCE.

### DRAINAGE CONSTRUCTION NOTES:

- ALL CONSTRUCTION AND MATERIALS FOR DRAINAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE COUNTY OF SAN MATEO IMPROVEMENT STANDARDS AND STANDARD CONSTRUCTION SPECIFICATIONS. WHERE DISCREPANCIES EXIST, APPROPRIATE NOTES SHALL BE ADDED TO THE PLANS, TAKING PRECEDENCE OVER THE STANDARD CONSTRUCTION SPECIFICATIONS.
- THE MINIMUM COVER REQUIREMENTS DURING CONSTRUCTION FOR TEMPORARY CONSTRUCTION VEHICLE LOADING SHALL BE 4- FEET FOR METAL AND PLASTIC PIPE, AND 3- FEET FOR REINFORCED CONCRETE PIPE.
- THE CONTRACTOR SHALL PLACE THE PROPER STRENGTH PIPE IF TRENCH CONDITIONS ENCOUNTERED DIFFER FROM THE DESIGN TRENCH.

### STAKING NOTES:

- WHEN REQUESTING CONSTRUCTION STAKES, THE CONTRACTOR IS REQUIRED TO NOTIFY THE PROJECT ENGINEER 48 HOURS IN ADVANCE. OLYMPUS GROUP ENGINEERS ASSUMES NO RESPONSIBILITY FOR ANY COSTS INCURRED FOR CONSTRUCTION SHUTDOWNS OR DELAYS WHEN NOT GIVEN THIS ADVANCE NOTICE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS OR MARKERS DESTROYED OR LOST DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DESTROYED OR LOST DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS EXPENSE AND WILL REQUIRE 48 HOURS NOTICE FROM THE CONTRACTOR TO REPLACE SAID MONUMENTS.
- THE CONTRACTOR WILL NOT PERFORM ANY CORRECTIVE WORK DUE TO STAKING ERRORS WITHOUT FIRST CONSULTING WITH THE PROJECT ENGINEER. IN THE EVENT THE COST OF ANY ITEM OF CORRECTIVE WORK EXCEEDS \$500.00, PERMISSION TO PROCEED MUST BE RECEIVED IN WRITING FROM THE PROJECT ENGINEER. NO LIABILITY WILL BE ASSUMED BY THE PROJECT ENGINEER FOR THE COSTS OF WORK PERFORMED IN VIOLATION OF THIS PROVISION.
- OLYMPUS GROUP ENGINEERS ASSUMES NO LIABILITY FOR ANY WORK CONSTRUCTED IF STAKED BY OTHERS.
- WHENEVER THE NOTE "VERIFY" IS INDICATED ON THESE PLANS, THE CONTRACTOR SHALL EXPOSE THESE FACILITIES PRIOR TO THE START OF ANY CONSTRUCTION. AFTER THE CONTRACTOR HAS COMPLETED EXPOSING SAID FACILITIES, HE SHALL NOTIFY THE PROJECT ENGINEER AND REQUEST THEY VERIFY THAT THE HORIZONTAL, VERTICAL ALIGNMENTS, MEASUREMENT, ETC., ARE IN SUBSTANTIAL CONFORMANCE WITH THESE PLANS TO THE PROJECT ENGINEERS SATISFACTION. IN THE EVENT THAT SAID FACILITIES ARE DETERMINED NOT TO BE IN SUBSTANTIAL CONFORMANCE, THE PROJECT ENGINEER RESERVES THE RIGHT TO REVISE THESE PLANS TO REFLECT THE FOUND CONDITIONS.

### SEWER NOTES:

- ALL MATERIAL AND METHODS OF CONSTRUCTION FOR SANITARY SEWERS MUST CONFORM TO THE STANDARD SPECIFICATIONS OF MANTARA WATER & SANITARY DISTRICT. INSPECTION OF SANITARY SEWER WORK WILL BE CARRIED OUT BY SAID DISTRICT LOCATED AT 888B CABRILLO HWY, MONTARA, CALIFORNIA. NOTIFY DISTRICT OFFICE 48 HOURS BEFORE REQUIRING INSPECTION. TELEPHONE (650) 726-0124.
- UNLESS OTHERWISE INDICATED ON THE IMPROVEMENT PLANS, SEWER PIPE OPTIONS ARE VITRIFIED CLAY AND PVC SDR 26 (OR BETTER.)
- 3/4" CRUSHED AGGREGATE (PER SECTION 200-1.2) SHALL BE USED FOR PIPE BEDDING AS SET FORTH IN SECTION 304-1.2.1 OF THE 2006 EDITION OF THE "GREENBOOK" (STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION).
- A BUILDING SEWER SHALL BE CONSTRUCTED FOR EACH RESIDENCE, MINIMUM SLOPE 2%. THE UNDERGROUND CONTRACTOR SHALL INSTALL A CLEAN-OUT FOR EACH BUILDING SEWER.
- ENGINEER SHALL SUBMIT A SET OF CUT SHEETS IN A FORM APPROVED BY THE DISTRICT AT LEAST ONE WORKING DAY PRIOR TO THE START OF CONSTRUCTION. APPROVED PLAN REVISIONS REQUIRING CHANGES IN GRADE OR ALIGNMENT WILL REQUIRE SUBMITTAL OF REVISED CUT SHEETS BEFORE CONSTRUCTION.
- UNDERGROUND CONTRACTOR SHALL BE APPROPRIATELY LICENSED AND COMPLY WITH DISTRICT'S INSURANCE COVERAGE AND PERFORMANCE BOND REQUIREMENTS.
- PRIOR TO CONSTRUCTION, UNDERGROUND CONTRACTOR TO OBTAIN EXCAVATION PERMIT FROM SAN MATEO COUNTY OR CITY OF MOSS BEACH.
- CONTRACTOR SHALL OBTAIN INQUIRY IDENTIFICATION NUMBER FROM USA (800) 227-2600.
- MONTARA WATER & SANITARY DISTRICT, REQUIRES THE INSTALLATION OF A BACK-FLOW PROTECTIVE DEVICE IN THE BUILDING PLUMBING SYSTEM WHEN THE LOWEST FLOOR LEVEL IS BELOW THE NEXT UPSTREAM MANHOLE OR VERTICAL RISER RIM.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO "POTHOLE" ANY UTILITY CROSSINGS OR OTHER UNDERGROUND OBSTRUCTIONS BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHOULD COORDINATE WITH THE DESIGN ENGINEER TO VERIFY THE ELEVATION AND ALIGNMENT OF ANY UNDERGROUND APPURTENANCES. FAILURE TO VERIFY LOCATIONS IN ADVANCE MAY RESULT IN CONSTRUCTION DELAYS PENDING DESIGN REVISIONS AND RE-SUBMITTALS FOR APPROVAL.
- CONTRACTOR SHALL EXERCISE PROPER SAFETY PROCEDURES WHEN WORKING IN CONFINED SPACE IN ACCORDANCE WITH THE LATEST CAL/OSHA PROVISIONS.
- ALL SANITARY SEWER LINES, INCLUDING 4-INCH BUILDING SEWERS, WILL BE TV-INSPECTED BY MW&SD.
- TO ACCOMMODATE THE TV-INSPECTION OF SEWER LINES 6" OR LARGER, THE CONTRACTOR WILL AIR TEST, BALL, MANDREL (FOR PLASTIC PIPE), AND FLUSH THE SYSTEM. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE ACCESS TO THE MANHOLE. IN THE EVENT THE TV-INSPECTION CREW ARRIVES TO FIND THEY ARE UNABLE TO CONDUCT THE TV-INSPECTIONS BECAUSE OF BURIED MANHOLES, EQUIPMENT OR MATERIALS IN THE WAY, ETC., THEN THE DEVELOPER OR CONTRACTOR WILL BE CHARGED FOR THE TIME SPENT BY MW&SD.

### CULTURAL RESOURCES:

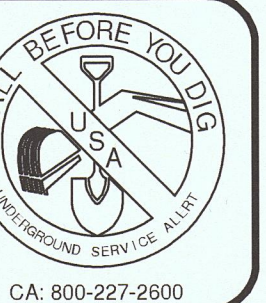
SHOULD ANY CULTURAL RESOURCES, SUCH AS STRUCTURAL FEATURES, UNUSUAL AMOUNTS OF BONE OR SHELL, ARTIFACTS, HUMAN REMAINS, OR ARCHITECTURAL REMAINS BE ENCOUNTERED DURING ANY DEVELOPMENT ACTIVITIES, WORK SHALL BE SUSPENDED AND THE DEPARTMENT OF ENVIRONMENTAL REVIEW AND ASSESSMENT SHALL BE IMMEDIATELY NOTIFIED AT (916) 440-7914. AT THAT TIME, THE DEPARTMENT OF ENVIRONMENTAL REVIEW AND ASSESSMENT WILL COORDINATE ANY NECESSARY INVESTIGATION OF THE SITE WITH APPROPRIATE SPECIALISTS AS NEEDED. THE PROJECT PROPONENT SHALL BE REQUIRED TO IMPLEMENT ANY MITIGATION DEEMED NECESSARY FOR THE PROTECTION OF THE CULTURAL RESOURCES. IN ADDITION, PURSUANT TO SECTION 5097.98 OF THE STATE PUBLIC RESOURCES CODE, AND SECTION 7050.5 OF THE STATE HEALTH AND SAFETY CODE, IN THE EVENT OF THE DISCOVERY OF HUMAN REMAINS, ALL WORK IS TO STOP AND THE COUNTY CORONER SHALL BE IMMEDIATELY NOTIFIED. IF THE REMAINS ARE DETERMINED TO BE NATIVE AMERICAN, GUIDELINES OF THE NATIVE AMERICAN HERITAGE COMMISSION SHALL BE ADHERED TO IN THE TREATMENT AND DISPOSITION OF THE REMAINS.

### MITIGATION, MONITORING & RESTORATION PROCEDURE NOTES:

- MAINTAIN A GRAVELED TRACK, OR 'TRACK OUT' PLATE, AT ALL PROJECT ENTRYWAYS TO REMOVE MUD AND DIRT FROM VEHICLES LEAVING THE SITE.
- WATER ALL DISTURBED EARTH SURFACES THROUGHOUT CONSTRUCTION TO CONTROL DUST EROSION.
- FOR SLOPES GREATER THAN TWO FEET VERTICAL IN ELEVATION, PERMANENT SOIL STABILIZATION MEASURES (E.G., PAVING OR LANDSCAPE PLANTING) SHALL BE IMPLEMENTED IMMEDIATELY FOLLOWING THE COMPLETION OF CONSTRUCTION OF ANY PORTION OF THE SITE WHERE CONSTRUCTION HAS OCCURRED.
- ALL INACTIVE FILL STOCKPILES OR DISTURBED GROUND AT 5:1 SLOPE OR GREATER SHALL BE HYDRO-SEEDDED USING THE SEED MIX IDENTIFIED BELOW, TO CONTROL EROSION: USE RICHMOND MIX

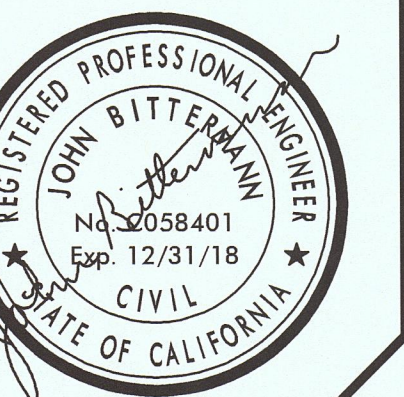
### GRADING NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE COUNTY OF SAN MATEO, CALIFORNIA STANDARDS AND SPECIFICATIONS, CHAPTER 70 OF THE UNIFORM BUILDING CODE, LATEST EDITION, AND THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SOILS ENGINEER'S REPORTS AND RECOMMENDATIONS.
- THE OWNER RESERVES THE RIGHT TO HAVE ALL GRADING OPERATIONS, EXCAVATION, FILL, COMPACTION, TRENCHING AND BACKFILL INSPECTED AND TESTED BY A QUALIFIED REGISTERED SOILS ENGINEER. THE CONTRACTOR SHALL SCHEDULE AND COOPERATE WITH THE SOILS ENGINEER WHEN TESTS, INSPECTIONS, AND APPROVALS ARE DEEMED NECESSARY BY THE OWNER TO ASSURE COMPLIANCE WITH THE ESTABLISHED RECOMMENDATIONS.
- PRIOR TO THE START OF GRADING, ALL EXISTING VEGETATION AND DEBRIS, INCLUDING EXISTING STRUCTURES, FOOTINGS, FOUNDATIONS, RUBBLE, TREES, AND ROOT SYSTEMS SHALL BE REMOVED FROM THE SITE TO THE SATISFACTION OF THE OWNER.
- AFTER STRIPPING THE DEBRIS, ANY EXISTING LOOSE FILL OR DISTURBED NATURAL SOILS SHALL BE EXCAVATED TO THE SATISFACTION OF THE SOILS ENGINEER.
- THE EXPOSED SOILS SHALL THEN BE SCARIFIED TO A MINIMUM DEPTH OF SIX (6) INCHES, BROUGHT TO A MOISTURE CONTENT OF NOT LESS THAN 3% ABOVE THE OPTIMUM MOISTURE AND COMPACTED TO AT LEAST 90% OF THE MAXIMUM DENSITY OBTAINABLE BY THE ASTM D-1557-78 METHOD OF COMPACTION TO ATTAIN A DENSE AND UNYIELDING CONDITION.
- AFTER COMPACTING THE NATURAL SOILS, ALL REQUIRED FILL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING EIGHT (8) INCHES IN UNCOMPACTED THICKNESS AND COMPACTED TO AT LEAST 90% PER ASTM D-1557-78 AT A MOISTURE CONTENT NOT LESS THAN 3% ABOVE THE OPTIMUM MOISTURE.
- IN AREAS TO BE PAVED, AT LEAST THE UPPER SIX (6) INCHES OF SUBGRADE SOIL SHALL BE COMPACTED TO 95% MINIMUM. THIS SHALL INCLUDE THE SUBGRADE BENEATH THE DRIVE THRU SLAB.
- NO FILL MAY BE PLACED UNTIL THE EXPOSED SURFACES HAVE BEEN APPROVED BY THE SOILS ENGINEER AND COUNTY GRADING INSPECTOR.
- ALL FILL AND BACKFILL MATERIAL MUST BE APPROVED BY THE SOILS ENGINEER, UTILITY COMPANY INVOLVED, AND CITY CONSTRUCTION INSPECTION. ALL MATERIAL TO BE USED AS FILL.
- COMPACTION SHALL BE TO THE DEGREE SPECIFIED BY THE SOILS REPORT.
- IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, THEY SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE SOILS ENGINEER AND THE OWNER PRIOR TO PROCEEDING.
- DUST SHALL BE CONTROLLED BY WATERING THROUGHOUT THE GRADING AND BUILDING CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL ARRANGE AND PAY FOR CONSTRUCTION WATER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES TO REMAIN IN USE WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN HEREON. DISPOSITION OF EXISTING UTILITIES NOT TO REMAIN IN USE SHALL BE IN ACCORDANCE WITH THE SOILS ENGINEER'S RECOMMENDATIONS.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTIES, PUBLIC AND PRIVATE, AT ALL TIMES DURING CONSTRUCTION AND NOT TO CAUSE ANY MUD, SILT OR DEBRIS TO BE ONTO THE ADJACENT PROPERTIES. ANY MUD OR DEBRIS CAUSED ON ADJACENT PROPERTIES SHALL BE REMOVED IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING AND/OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS SITE TO THE FINISHED ELEVATIONS SHOWN HEREON IN ACCORDANCE WITH THE APPROVED PLANS, SPECIFICATIONS AND THE SOILS ENGINEER'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
- UPON COMPLETION OF THE ASPHALT PAVEMENT AND PRIOR TO THE STRIPING AND SEALCOATING OF THE PARKING LOT, THE CONTRACTOR SHALL HAVE THE SOILS ENGINEER CORE THE PAVED AREAS AT LOCATIONS SPECIFIED BY THE OWNER FOR APPROVAL PRIOR TO THE PAINTING AND SEALING OF THE PAVEMENT.
- ALL GRADING OPERATIONS, EXCAVATION, FILL, COMPACTION, TRENCHING AND BACKFILL SHALL BE OBSERVED AND TESTED BY A QUALIFIED REGISTERED SOILS ENGINEER.
- ALL GRADING OPERATION INCLUDING, BUT NOT LIMITED TO, ROUGH GRADE, RETAINING WALLS, FINE GRADE, BUILDING LAYOUT, CURBS, AND CURB AND GUTTERS SHALL BE STAKED BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR. THE CIVIL ENGINEER/SURVEYOR MUST BE APPROVED BY THE OWNER. OLYMPUS GROUP ENGINEERS IS AN APPROVED SURVEY/ENGINEERING COMPANY. OTHERS WILL BE CONSIDERED UPON REQUEST (THIS REQUEST WILL ACCOMPANY THE BID). THE CONTRACTOR IS TO NOTIFY THE ENGINEER/SURVEYOR A MINIMUM OF TWO WORKING DAYS IN ADVANCE ON STAKING REQUESTS.



REVISIONS:

**IMPROVEMENT PLANS FOR**  
**SAN RAMON AVENUE**  
**CITY OF MOSS BEACH**  
**GENERAL NOTES**  
COUNTY OF SAN MATEO, CALIFORNIA  
2nd PLANNING SUBMITTAL - NOT FOR CONSTRUCTION

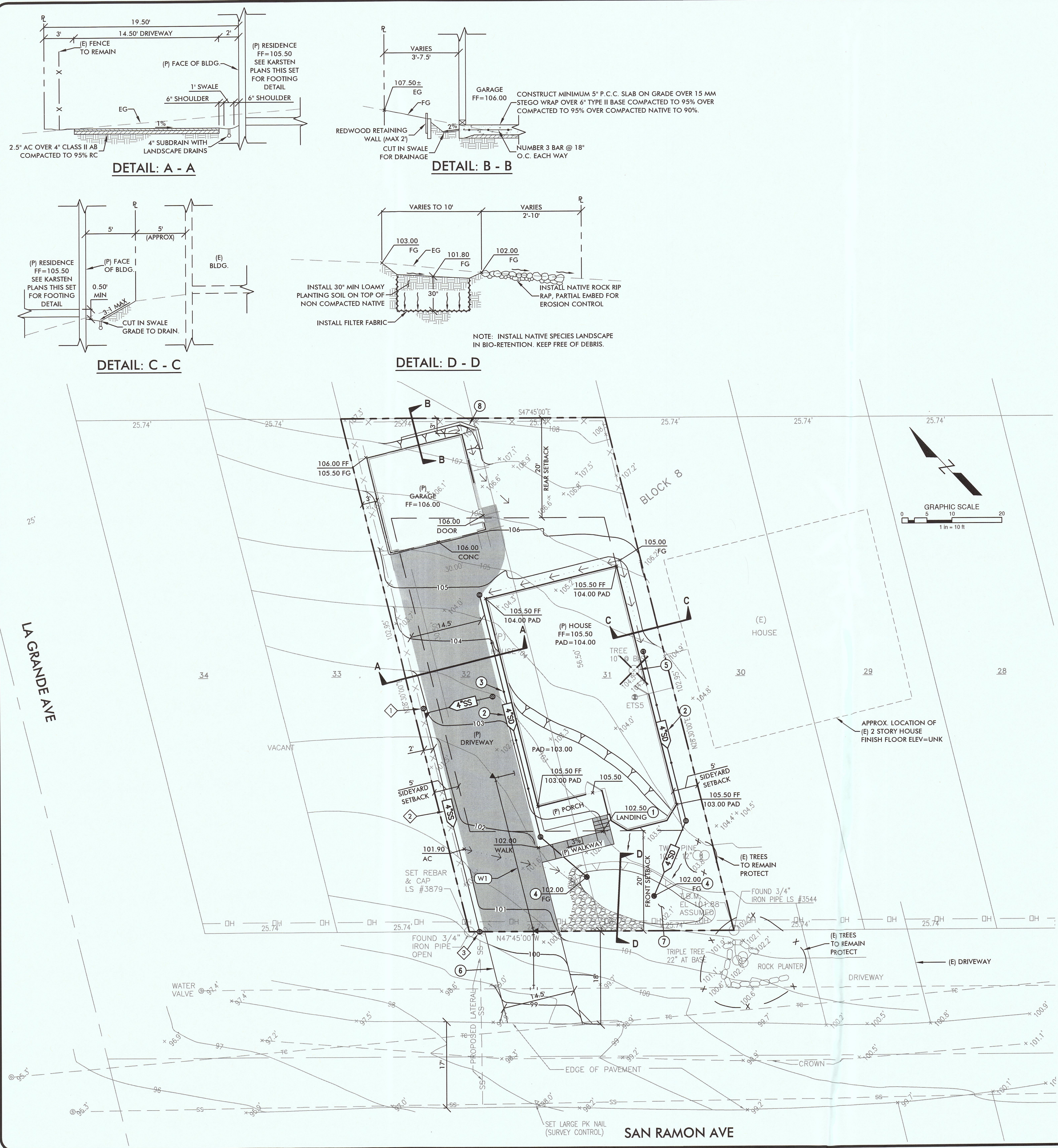


DRAWN BY: J. BITTERMANN  
DESIGNED BY: J. BITTERMANN  
SCALE: AS SHOWN  
PROJECT NO. 16-006  
DATE: MAR - 21 - 2017



**C2**  
SHEET 2 OF 5

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**DETAIL: A - A**

**DETAIL: B - B**

**DETAIL: C - C**

**DETAIL: D - D**

**CONSTRUCTION NOTES**

- ① CONSTRUCT 5 RISERS @ 7" EA. TO PORCH.
- ② PLACE 4" SD PVC SCH. 80 @ 1% MIN. SLOPE. PROVIDE CLEANOUT TO GRADE AS SHOWN. TIE IN RAIN GUTTER DOWNSPOUTS TO 4" PVC.
- ③ CONSTRUCT LANDSCAPE INLET WITH 4" GRATE AND CONNECT TO 4" SD @ 10' O.C.
- ④ CONSTRUCT LANDSCAPE INLET (REVERSE FLOW BUBBLE UP PRINCIPAL) USE NDS 12" SQUARE BASIN, WITH ATRIUM GRATE AND 4" ADAPTOR.
- ⑤ REMOVE EXISTING TREE.
- ⑥ CONSTRUCT COMPACTED CLASS II AB DRIVEWAY FROM EDGE OF PAVEMENT TO R.
- ⑦ BIO RETENTION/RAIN GARDEN 170 SF. SEE SECTION DD.
- ⑧ CONSTRUCT REDWOOD RETAINER WALL. MAX 2' HIGH.

**SANITARY SEWER NOTES**

- ① PLACE CLEANOUT TO GRADE.
- ② PLACE 61 LF 4" PVC SDR-35 @ 2% MIN.
- ③ EXPOSE AND VERIFY EXISTING PUBLIC SS STUB. PLACE CLEANOUT TO GRADE, CONNECT TO PUBLIC SYSTEM.

**WATER NOTES**

- W1 FIELD LOCATE AND EXPOSE POTABLE WATER SERVICE CONNECTION AT R, INSTALL 3/4" COPPER CONNECTION AND SERVICE TO BUILDING FOR BUILDING PLUMBING CONNECTION.

**GRADING NOTES**

1. SEE GRADING NOTES ON SHEET C2.
2. ALL SUBGRADE SHALL BE PREPARED PER THE GEOTECHNICAL REPORT.



REVISIONS:  
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IMPROVEMENT PLANS FOR  
**SAN RAMON AVENUE**  
 CITY OF MOSS BEACH  
**GRADING & DRAINAGE PLAN**  
 COUNTY OF SAN MATEO, CALIFORNIA  
 2ND PLANNING SUBMITTAL - NOT FOR CONSTRUCTION



**THE OLYMPUS GROUP**  
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 (925) 462-1721 | WWW.OLYMPUSGRP.COM

DRAWN BY: STAFF  
 DESIGNED BY: R. BITTERMANN  
 DATE: 12/31/18  
 SCALE: 1"=10'  
 PROJECT NO: 16-008

**C3**  
 SHEET 3 OF 5



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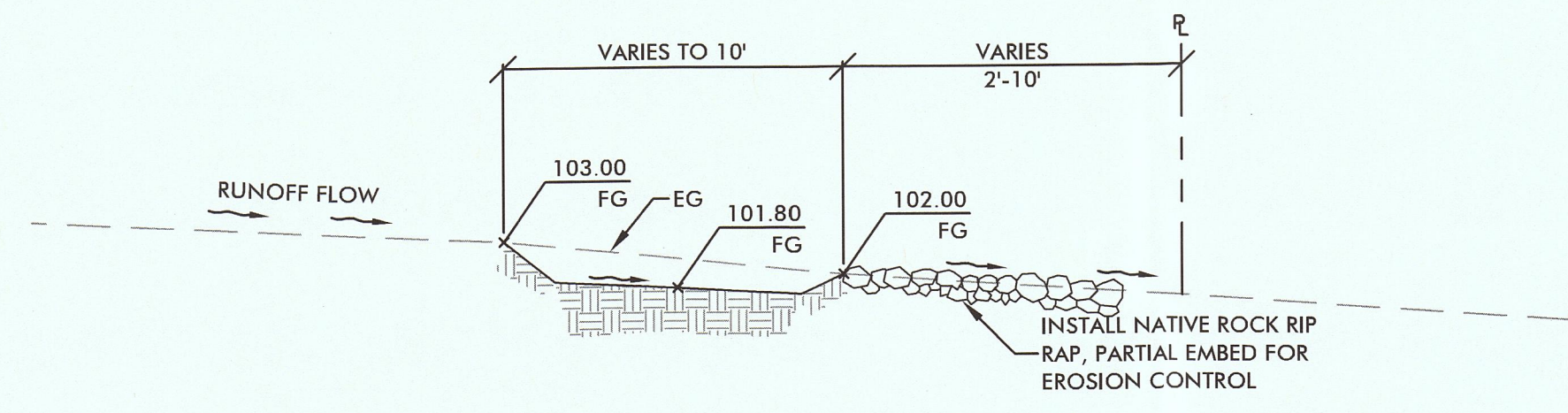
REVISIONS:  
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IMPROVEMENT PLANS FOR  
**SAN RAMON AVENUE**  
 CITY OF MOSS BEACH  
**PRELIMINARY EROSION CONTROL & TREE PRESERVATION PLAN**  
 COUNTY OF SAN MATEO, CALIFORNIA  
 2nd PLANNING SUBMITTAL - NOT FOR CONSTRUCTION

REGISTERED PROFESSIONAL ENGINEER  
**JOHN BITTERMANN**  
 No. 2058401  
 Exp. 12/31/18  
 CIVIL  
 STATE OF CALIFORNIA

DRAWN BY: STAFF  
 DESIGNED BY: R. BRANCIS  
 DATE: MAR 21, 2017  
 SCALE: 1"=10'  
 PROJECT NO. 16-006

**C4**  
 SHEET 4 OF 5



**DETAIL: E E**  
**TEMPORARY SEDIMENT BASIN**

**LEGEND**

- STABILIZED CONSTRUCTION ACCESS 6" CRUSHED ROCK
- FIBER ROLL
- GRAVEL BAGS AND FILTER
- PROPOSED GRADES
- FLOW DIRECTION ARROW FOR ROUGH GRADING
- PROTECTIVE TREE FENCING
- GRAVEL BAG SWALE PROTECTION
- CONCRETE WASHOUT LOCATION TO BE DETERMINED IN THE FIELD

NOTE: THIS PROJECT DOES NOT REQUIRE A STORM WATER POLLUTION PLAN.

**EROSION CONTROL NOTES**

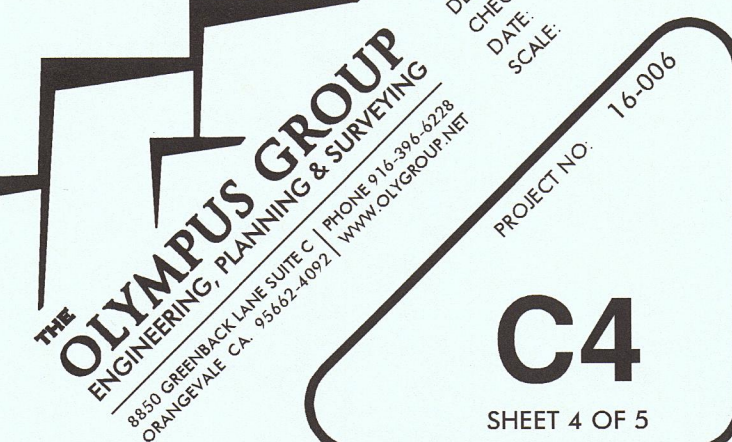
1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE EFFECTIVE FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
2. NO STORM RUNOFF WATER SHALL BE ALLOWED TO DRAIN DIRECTLY INTO THE EXISTING UNDERGROUND STORM SYSTEM BEFORE THE ONSITE DRAIN SYSTEM IS INSTALLED.
3. AS SOON AS IS PRACTICAL AFTER THE NEW ONSITE STORM SYSTEM IS INSTALLED, THE CATCH BASINS SHALL BE INSTALLED AND BMP'S SHALL BE INSTALLED.
4. SHOULD THE PROPOSED ONSITE STORM SYSTEM NOT BE INSTALLED BY OCTOBER 1ST, TEMPORARY SEDIMENT BASINS SHALL BE CONSTRUCTED AROUND THE OPENINGS OF ANY EXISTING STORM PIPES THAT DRAIN THE SITE, PER CASQA BMP'S AND STANDARDS OR PER A SPECIAL DETAIL SHOWN ON THE PLAN.
5. THE NAME, ADDRESS AND 24-HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR IMPLEMENTATION OF THE EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE PROVIDED.
6. PROVIDE TRACK OUT PLATES, IN LIEU OF CONSTRUCTION ENTRANCE PER APPROVAL BY INSPECTOR.
7. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS.
8. DURING THE RAINY SEASON AS SPECIFIED IN NOTE "1", ALL SIDEWALK AND PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF FROM ENTERING ANY STORM DRAINAGE SYSTEM.
9. THE EROSION AND SEDIMENT CONTROL PLAN COVERS ONLY THE FIRST WINTER DURING WHICH CONSTRUCTION IS TO TAKE PLACE. PLANS ARE TO BE RESUBMITTED PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL THE CITY ACCEPTS THE SITE IMPROVEMENTS.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH WORK DAY DURING THE RAINY SEASON.
11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN OUT SEDIMENT BASINS WHENEVER THE LEVEL OF SEDIMENT REACHES THE SEDIMENT CLEAN OUT LEVEL INDICATED ON THE PLANS.
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN TEMPORARY BORROW AREAS AND/OR STOCKPILES WITH APPROPRIATE EROSION CONTROL MEASURES.
13. THE CLEANING OF PAVED STREETS, DURING AND AT THE COMPLETION OF CONSTRUCTION, SHALL BE PERFORMED WITH MECHANICAL SWEEPERS. THE USE OF WATER TRUCKS TO "WASH DOWN" THE STREET IS PROHIBITED.
14. THE EROSION AND SEDIMENTATION CONTROL PLAN, DETAILS, NOTES AND CALCULATIONS IF REQUIRED, MUST BE A PART OF THE PLAN CHECK SUBMITTAL PACKAGE FOR EITHER GRADING PERMIT ONLY OR FINAL SITE APPROVAL. THE DESIGN ENGINEER PRIOR TO PLAN PREPARATION SHOULD CONSULT THE CITY ENGINEER IF THE NEED FOR A SEPARATE PLAN IS IN DOUBT.

EMERGENCY CONTACT	
JULIAN PLANTIS	510-432-6055
OWNER	PHONE NUMBER

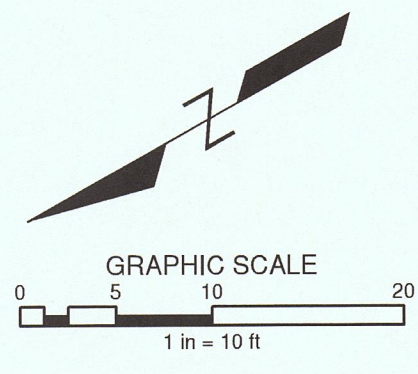
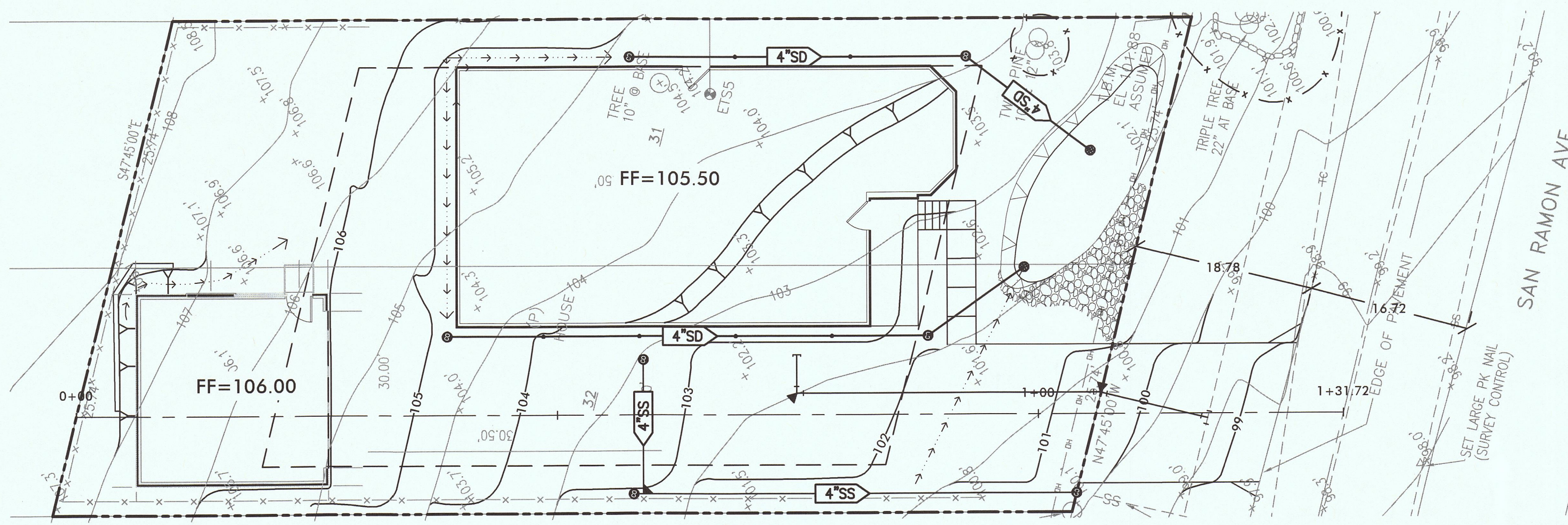


LA GRANDE AVENUE

SAN RAMON AVENUE



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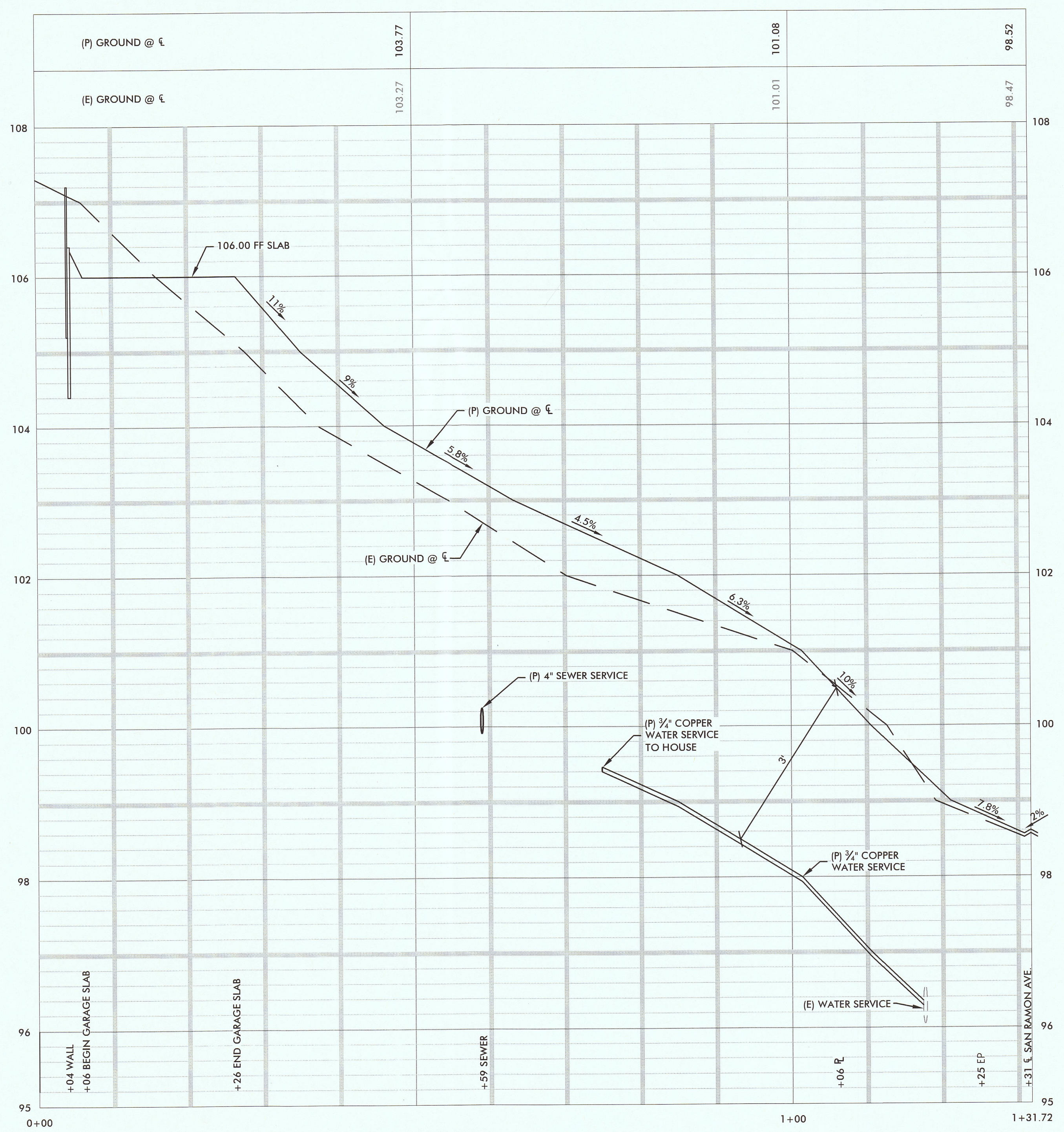


CONSTRUCTION NOTES

1 XX



REVISIONS:  
 1



IMPROVEMENT PLANS FOR  
**SAN RAMON AVENUE**  
 CITY OF MOSS BEACH  
 DRIVEWAY PLAN & PROFILE  
 COUNTY OF SAN MATEO, CALIFORNIA

2nd PLANNING SUBMITTAL - NOT FOR CONSTRUCTION



**THE OLYMPUS GROUP**  
 ENGINEERING, PLANNING & SURVEYING  
 2150 GREENWICH AVENUE, SUITE 100, FOLSOM, CA 95630-4921 | WWW.OLYMPUSGRP.COM

PROJECT NO. 16-006

DESIGNED BY: R. FRANCIS  
 CHECKED BY: J. BITTERMANN  
 DATE: MAR 21, 2017  
 SCALE: 1"=10'

**C5**  
 SHEET 5 OF 5