Addition & Pergola for Matthew & Moon Gemello
778 Upland Rd, Redwood City CA

OWNER:	Matthew & Moon Gemello	650.267.0476
ARCHITECT:	EASA Architecture	650.343.3452

DRAWING NOTES

1. Dimensions take precedence over scale. DO NOT SCALE DRAWINGS.
2. All dimensions are taken to face of stud, except where noted otherwise:

FOC	Face of concrete
FOF	Face of finish
FOM	Face of masonry
Centerline indicated with	[——— · ——— · ——— · ——— · ———]

3. Verify all dimensions in field and notify Architect of any discrepancies.
4. Center all doors, window, fireplaces, etc... on walls, unless shown otherwise.
5. Wall return at door jamb adjacent to perpendicular wall to be 4", unless shown otherwise.
6. ABBREVIATIONS

AC	Asphaltic concrete	(N)	New
A/C	Air conditioning	NIC	Not in contract
AD	Area drain	NP	New paving
ADJ	Adjustable	NTS	Not to scale
ADU	Accessory dwelling unit	OD	Outside diameter
AFF	Above finish floor	O/F	Overflow
AHJ	Authority having jurisdiction	O.H.	Overhead or Opposite Hand
B.O.	Bottom of	OPG	Opening
BOIC	Purchase by Owner, installation by Contractor	PA	Planted area
		PG	Proposed grade
BSL	Building setback line	℄	Property line
BUR	Built-up roofing	PLYWD	Plywood
CATV	Cable television	PT	Pressure treated
CB	Catch basin	PT.	Point
℄	Centerline	PUE	Public utility easement
CLR	Clear	(R)	Remove existing and replace with new
CO	Cleanout	RCP	Reflected Ceiling Plan
CONC	Concrete	RDWD	Redwood
C.OPG	Cased opening	RO	Rough opening
D.	Detail	ROW	Right of way
DIA / Ø	Diameter	RV	Roof vent
DLO	Daylight opening	SCD	See Civil drawing
DS	Downspout	SD	Storm drain
(E)	Existing	SL	Skylight
EA	Each	SQ	Square
E.A.	Exposed aggregate	SS	Sanitary sewer
EG	Existing grade	SSCO	Sanitary sewer cleanout
EM	Electric meter	SSD	See Structural drawing
EQ	Equal	SSE	Sanitary sewer easement
EP	Existing paving	S&P	Shelf and pole
FD	Floor drain	TB	Towel bar
FE	Fire extinguisher	TBD	To be determined
FEC	Fire extinguisher cabinet	TBS	To be selected
FF	Finish floor	TEL	Telephone
FFE	Finish floor elevation	T.O.	Top of
FL	Flow line	TOS	Top of slab
F.O.	Face of	TW	Top of wall
FOC	Face of concrete	TYP	Typical
FOF	Face of finish	T&B	Top and bottom
FOM	Face of masonry	T&G	Tongue and groove
FOS	Face of stud	UG	Underground
FP	Finish paving	UON	Unless otherwise noted
FS	Floor sink	V	Vent
FVA	Free ventilating area	VIF	Verify in field
GA	Gage	VWM	Verify dimension with product manufacturer's requirements
GM	Gas meter		
GS	Galvanized steel	VWO	Verify with Owner
HDWD	Hardwood	VWS	Verify dimension with design-build subcontractor's requirements
HIE	Home Improvement Exception		
HT	Height	WD	Wood
IB	Ironing board	W.I.	Wrought iron
ID	Inside diameter	WM	Water meter
INV	Invert	WP	Work point
IRR	Irrigation controls	WV	Water valve
JP	Joint pole		
LOC	Location		
MC	Medicine cabinet		
MEP	Mechanical, Electrical, and Plumbing Plan		
MFR	Manufacturer		
MH	Manhole		
MOL	More or less		

CODE COMPLIANCE

PLANNING DATA

ADDRESS:	778 Upland Road, Redwood City, CA 94062
ASSESSOR'S PARCEL NUMBER:	058-281-290
ZONE:	RH-DR
LOT AREA:	17,921 sf (0.41 acre)
FAR:	.30

BUILDING CODE DATA

BUILDING CODE:	2016 California Building Code
OCCUPANCY GROUP:	R3 with U accessory use
CONSTRUCTION TYPE:	V-B

FLOOR AREA:

(Per Planning Department Regulations)	EXISTING	CHANGE	TOTAL PROPOSED
Upper Floor: *(measured to outside face of stud) (excludes stairs to Lower Floor)*	3,286 sf	+60 sf	3,346 sf
Garage & Stair #1: *(measured to inside face of penmeter retaining wall)*	895 sf	0 sf	895 sf
Perimeter Retaining Wall at Garage & Stair #1:	70 sf	0 sf	70 sf
Lower Floor Living Area & Stair #2: *(measured to inside face of penmeter retaining wall)*	N/A	+944 sf	944 sf
Perimeter Retaining Wall at Lower Floor Living Area & Stair #2:	N/A	+121 sf	121 sf
Exterior Finish: *(beyond outside face of stud)*	57 sf	0 sf *(-4 sf removed; +4 sf added)*	57 sf
Family Room Chimney Projection:	9 sf	0 sf	9 sf
Bedroom #1 Covered Porch:	60 sf	0 sf	60 sf
Shed:	102 sf	0 sf	102 sf
Total Floor Area:	4,479 sf	+1,125 sf	5,604 sf *(31.3%)*
Allowable Floor Area: *(30%)*			5,376 sf
Allowable Floor Area with Home Improvement Exception (HIE): *(+250 sf)*			5,626 sf

LOT COVERAGE:

(Per Planning Department Regulations)	EXISTING	CHANGE	TOTAL PROPOSED
House Footprint:	3,419 sf	+172 sf	3,591 sf
Front Landing & Steps: *(>18" above grade)*	116 sf±	0 sf	116 sf±
Master Bedroom Landing & Steps: *(>18" above grade)*	52 sf±	0 sf	52 sf±
Rear Deck #1: *(>18" above grade)*	255 sf±	-154 sf	101 sf±
Rear Deck #2: *(>18" above grade)*	244 sf±	0 sf	244 sf±
Wood Steps to East Side Yard: *(>18" above grade)*	28 sf±	-12 sf± *(-28 sf removed; +16 sf added)*	16 sf
Shed:	102 sf	0 sf	102 sf
Pergola:	N/A	+118 sf	118 sf
Total Lot Coverage:	4,216 sf±	+124 sf	4,340 sf± *(24.2%)*
Allowable Lot Coverage: *(25%)*			4,480 sf

LANDSCAPED AREA:

No change to landscaped area proposed.

EXISTING EXTERIOR WALL LENGTH:

Existing exterior walls to remain:	291.25 lf	*(91.7%)*
Existing exterior walls to be removed:	26.25 lf	*(8.3%)*
Total existing exterior wall length:	317.50 lf	
Minimum existing exterior walls required to remain for HIE: *(50%)*	158.75 lf	

EXISTING ROOF AREA:

Existing roof to remain:	3,928 sf	*(98.9%)*
Existing roof to be removed: *(Cut back existing eave overhang at area of addition)*	42 sf	*(1.1%)*
Total existing roof area:	3,970 sf	
Minimum existing roof area required to remain for HIE: *(50%)*	1,985 sf	

LOT SLOPE AT EXISTING STRUCTURE:

Average lot slope at existing structure:	14%±
Average lot slope (entire lot): *(For reference only)*	19%±
Maximum allowable average slope at existing structure for HIE:	20%

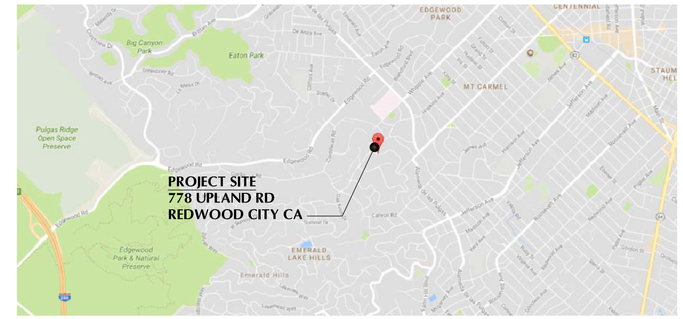
GRADING:

See Existing Lower Floor Plan/A2.1

VICINITY MAP

NORTH

NTS



GENERAL NOTES

1. All work shall comply with applicable codes and trade standards, including, but not limited to:

2016 California Building Code	(CBC)	[2015 IBC as amended]
2016 California Electrical Code	(CEC)	[2014 NEC as amended]
2016 California Mechanical Code	(CMC)	[2015 UMC as amended]
2016 California Plumbing Code	(CPC)	[2015 UPC as amended]
2016 California Fire Code	(CFC)	[2015 IFC as amended]
2016 California Energy Code	(TITLE 24)	
2016 California Residential Code	(CRC)	[2015 IRC as amended]
2016 California Green Building Standards Code	(CalGreen)	
San Mateo County Construction Ordinance	(SMCCO)	

2. If work is required in a manner that makes it impossible to produce first class work, or should discrepancies appear within these Contract Documents and/or conditions at the site; the Contractor shall request an interpretation from the Architect before proceeding with any directly or indirectly related work.
3. The Architect shall not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Work, nor shall the Architect be responsible for the Owner's or any Contractor's failure to employ proper safety precautions.
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PROJECT DESCRIPTION

1. Expand footprint at the rear corner of the existing house by 172 sf and excavate existing subarea to create a new recreation room, guest bedroom, and bathroom at the lower floor and new interior stair. 1,125 sf increase in floor area proposed.

   A Home Improvement Exception (HIE) is required due to the proposed floor area exceeding the allowable floor area by 228 sf.
2. Cut back existing rear deck at proposed addition and reconfigure exterior stair to east side yard.
3. New pergola over existing rear patio.

SHEET INDEX

ARCHITECTURAL

A0 Project Description; Vicinity Map; Code Compliance; Drawing Notes; General Notes
A1 Existing Site Plan / Roof Plan; Proposed Site Plan / Roof Plan; Site Plan Notes
A2.1 Existing Lower Floor Plan & Proposed Grading
A2.2 Existing Upper Floor Plan
A3 Proposed Lower Floor Plan
A4 Proposed Upper Floor Plan
A5 Proposed Elevations
1 A5.1 Existing Elevations
A6 Proposed Elevations
1 A6.1 Existing Elevations
A7 Proposed Sections

1 Survey

Ellis A. Schoichet AIA
EASA ARCHITECTURE

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307 South "B" Street #12 San Mateo CA 94401
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for
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	11/20/17	Design Review & HIE Review	DU

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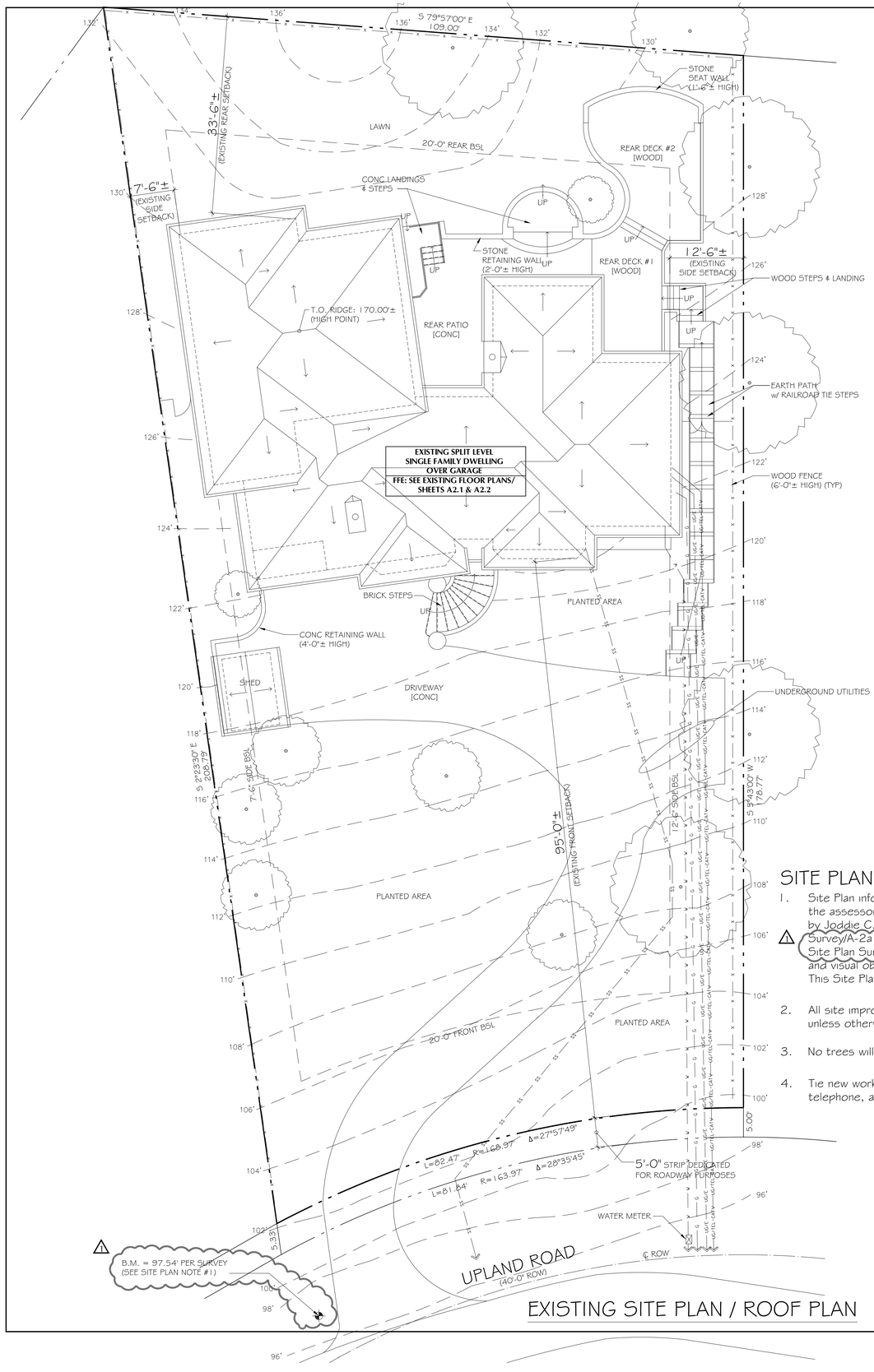
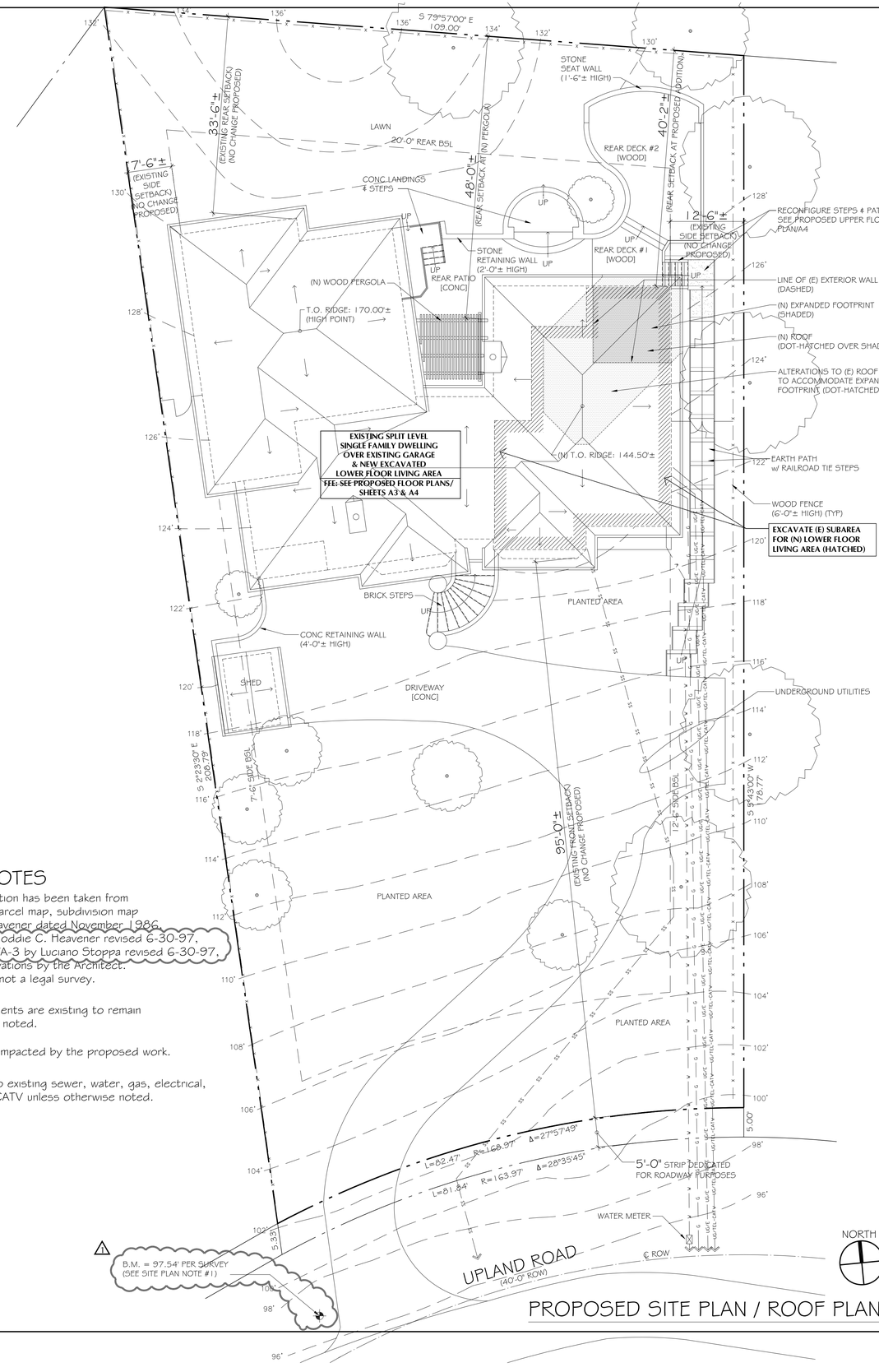


EXISTING SITE PLAN / ROOF PLAN



PROPOSED SITE PLAN / ROOF PLAN

SITE PLAN NOTES

1. Site Plan information has been taken from the assessor's parcel map, subdivision map by Joddie C. Heavener dated November 1986, Survey/A-2a by Joddie C. Heavener revised 6-30-97, Site Plan Survey/A-3 by Luciano Stoppa revised 6-30-97, and visual observations by the Architect. This Site Plan is not a legal survey.
2. All site improvements are existing to remain unless otherwise noted.
3. No trees will be impacted by the proposed work.
4. Tie new work into existing sewer, water, gas, electrical, telephone, and CATV unless otherwise noted.

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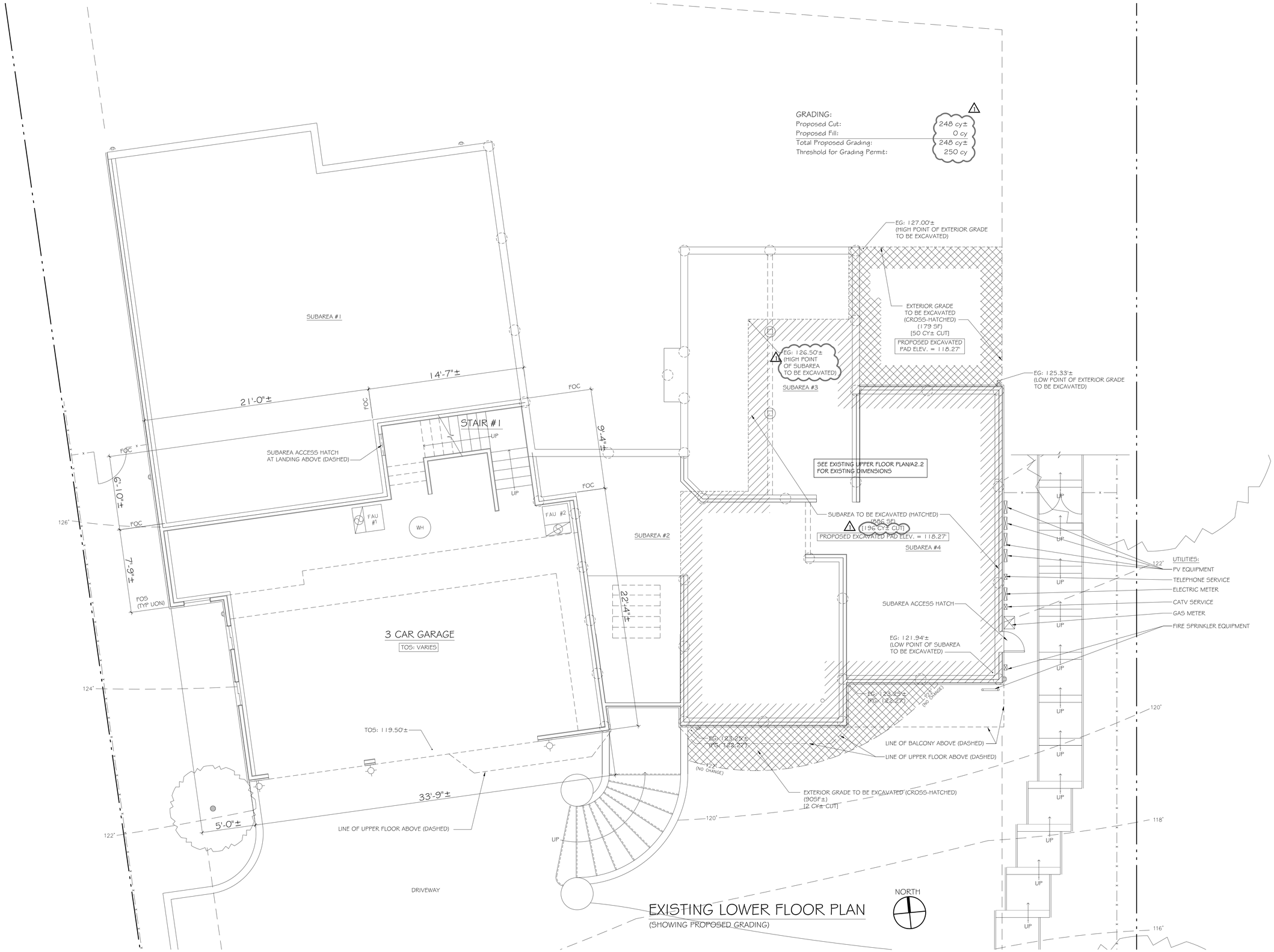

EXISTING LOWER FLOOR PLAN
(SHOWING PROPOSED GRADING)

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EASA
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EXISTING LOWER FLOOR PLAN & PROPOSED GRADING

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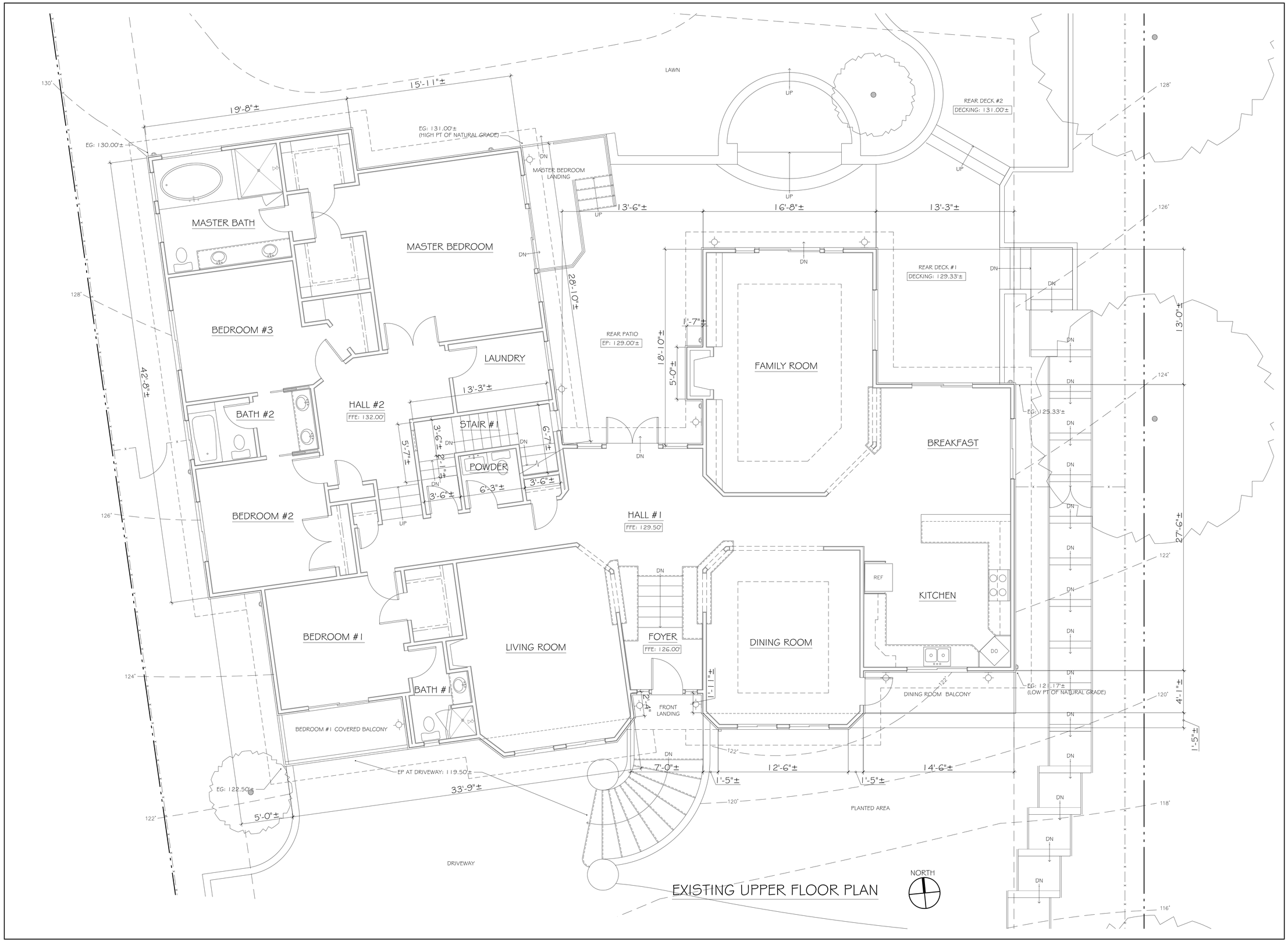

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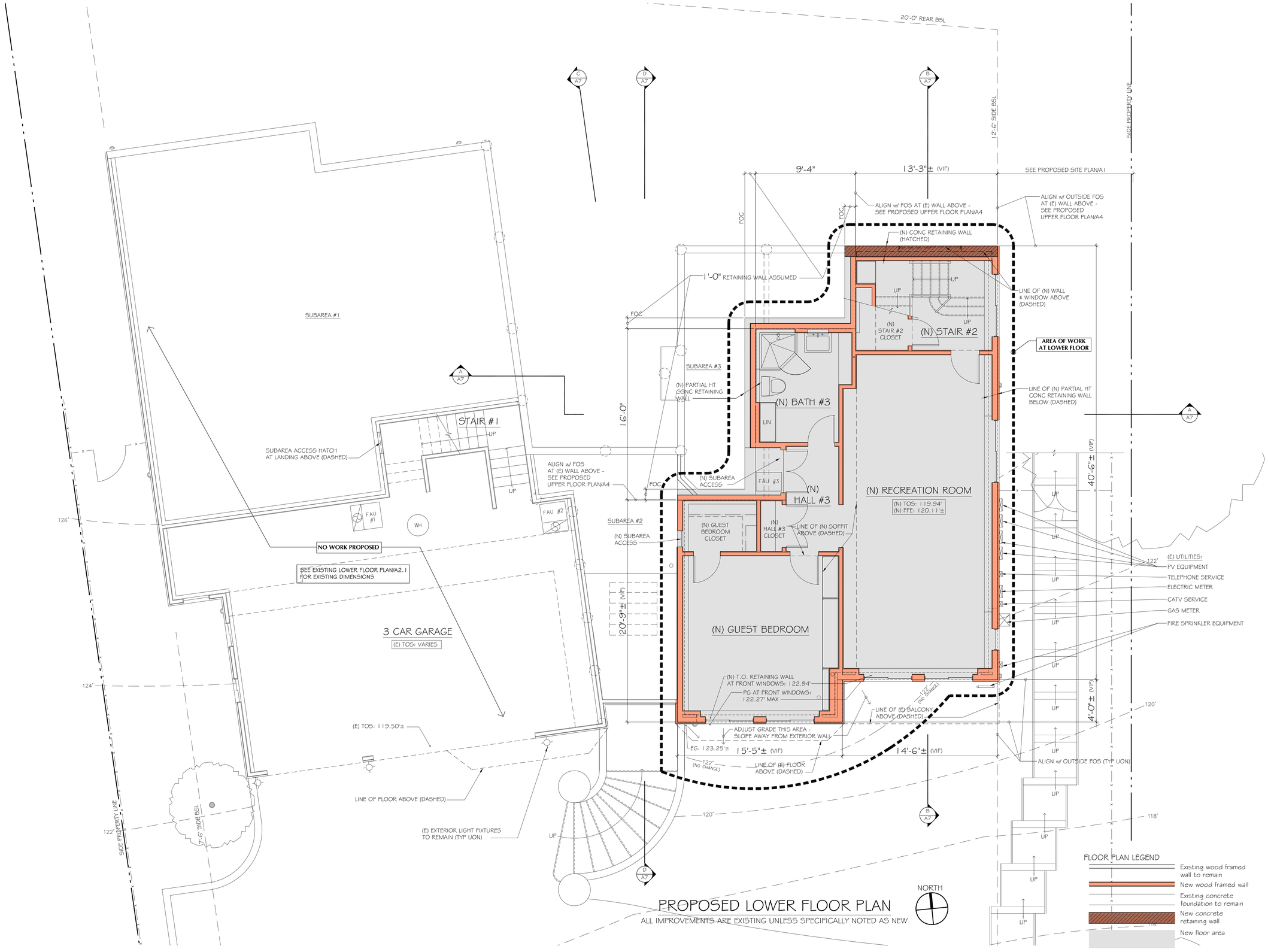

PROPOSED LOWER FLOOR PLAN

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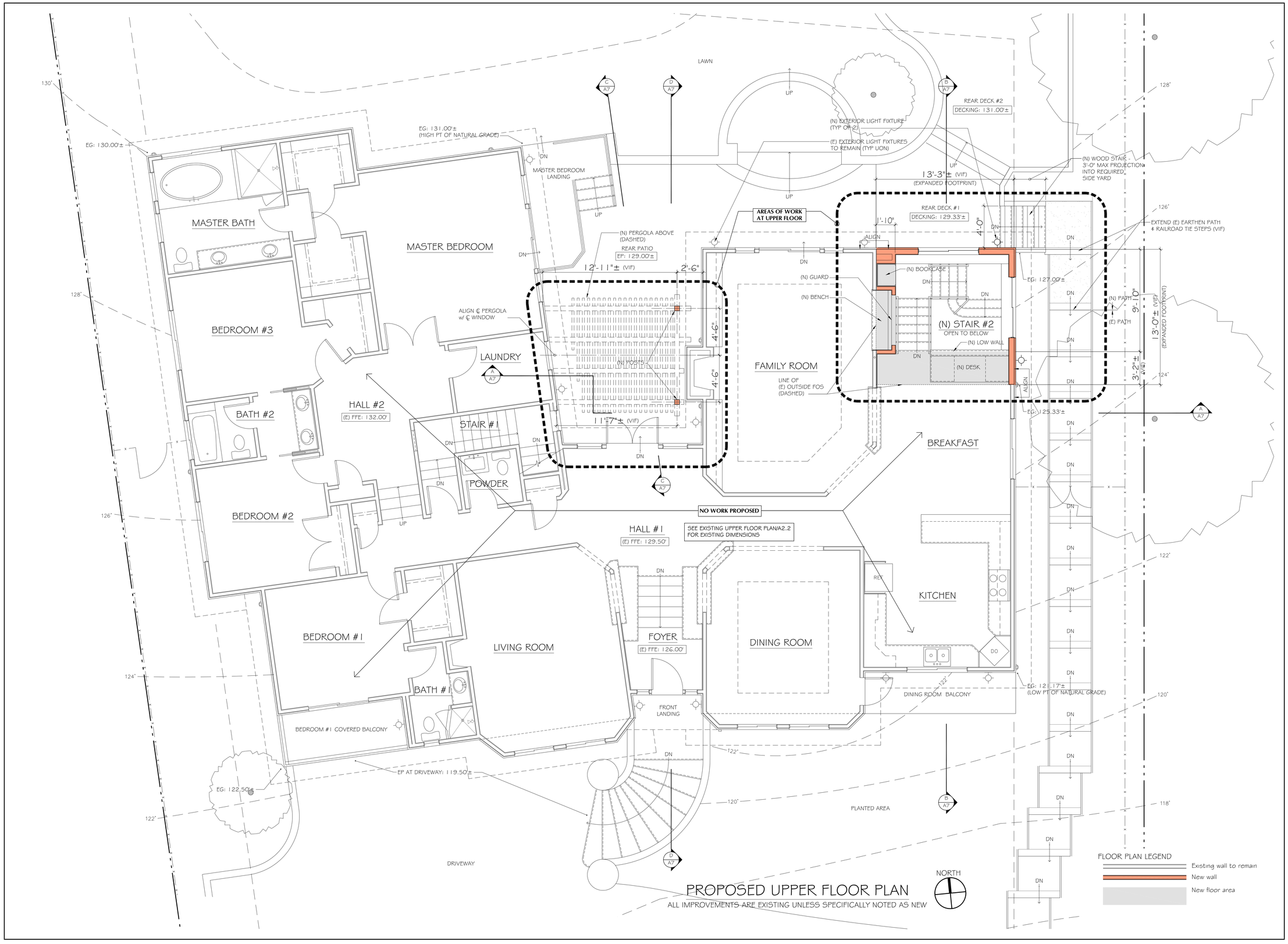

PROPOSED UPPER FLOOR PLAN

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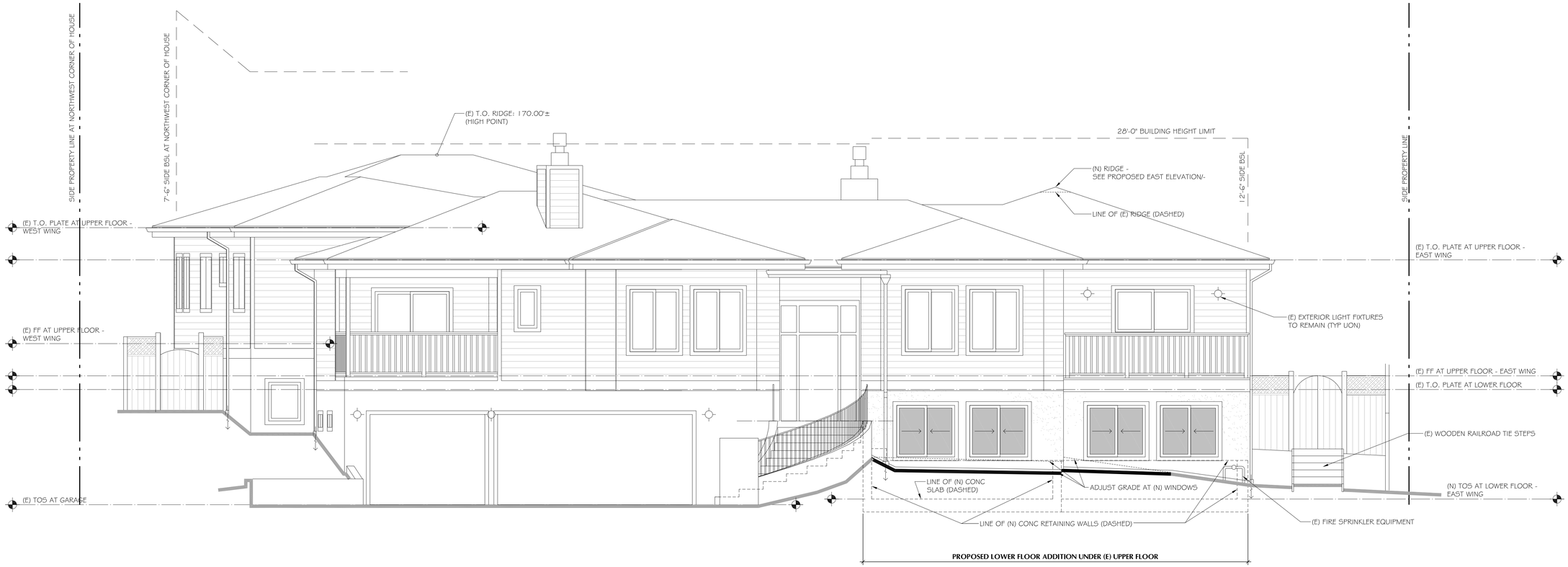

PROPOSED SOUTH ELEVATION

(FRONT)

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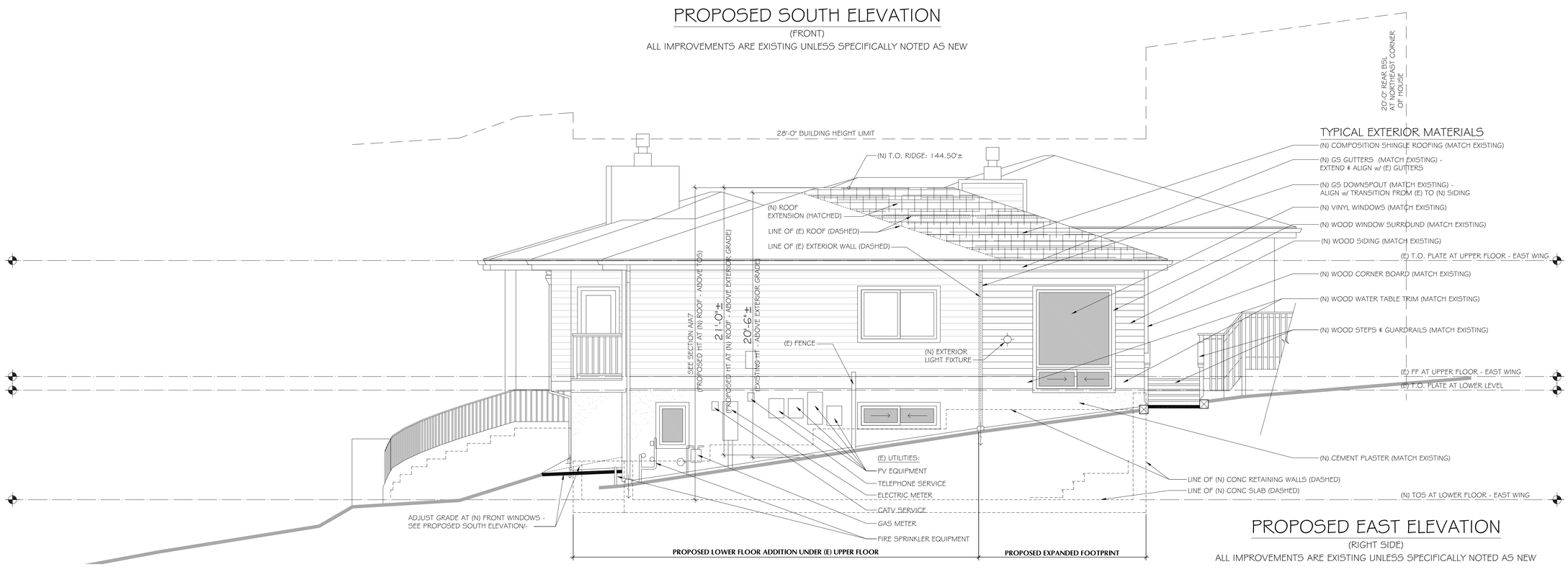

PROPOSED EAST ELEVATION

(RIGHT SIDE)

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PROPOSED ELEVATIONS

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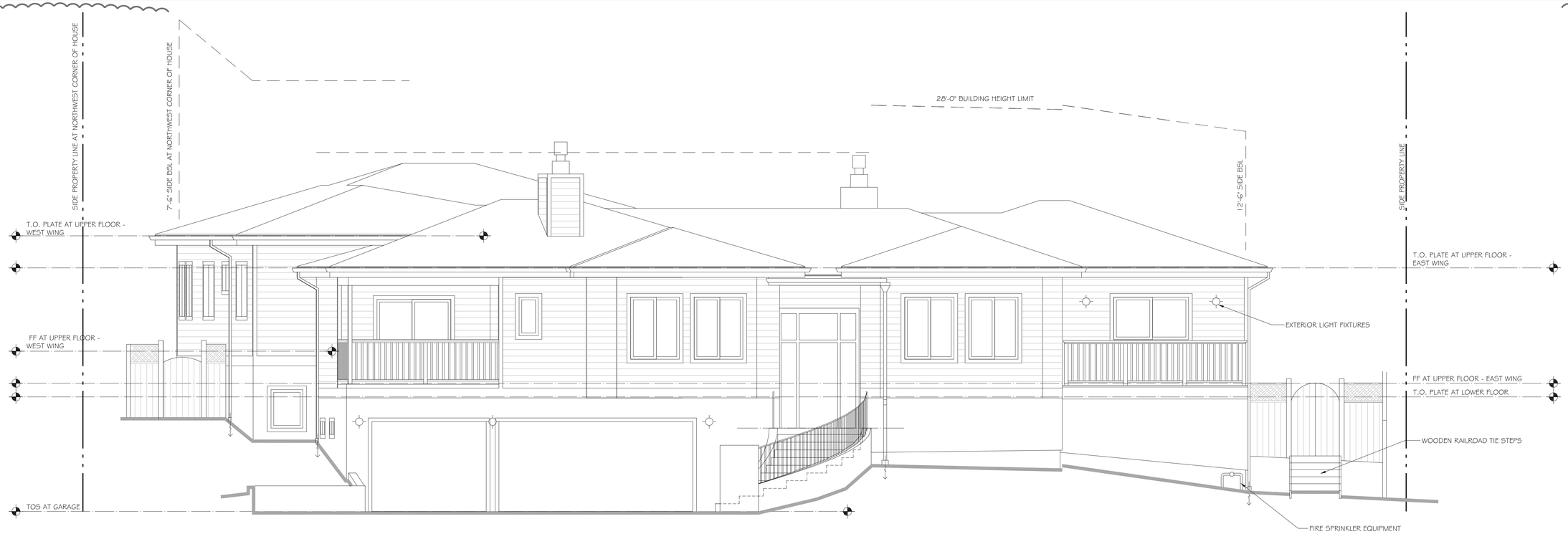
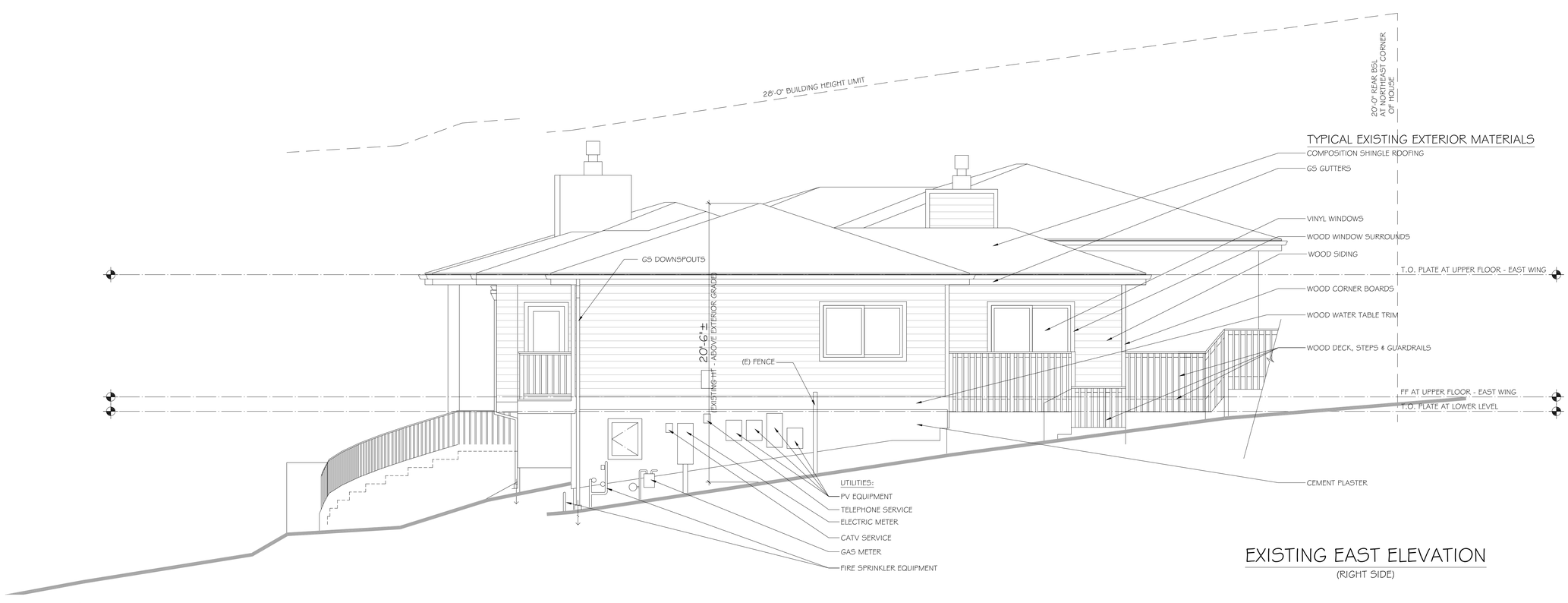


EXISTING SOUTH ELEVATION
(FRONT)



EXISTING EAST ELEVATION
(RIGHT SIDE)

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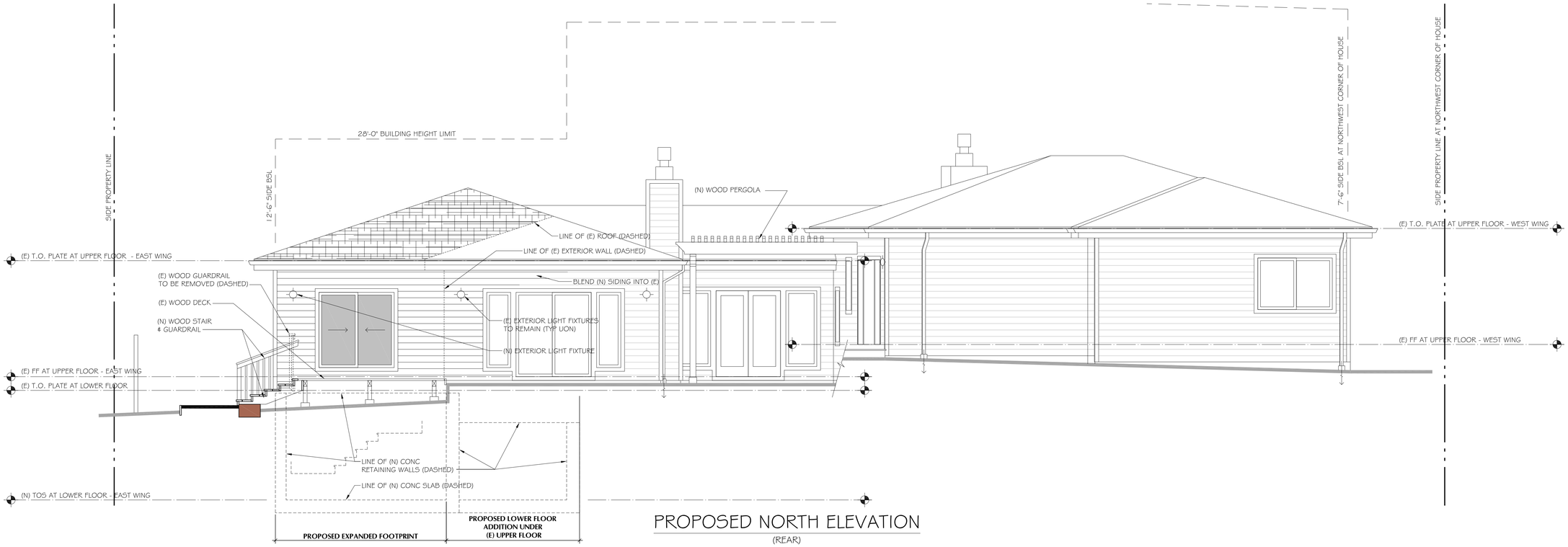

PROPOSED NORTH ELEVATION

(REAR)

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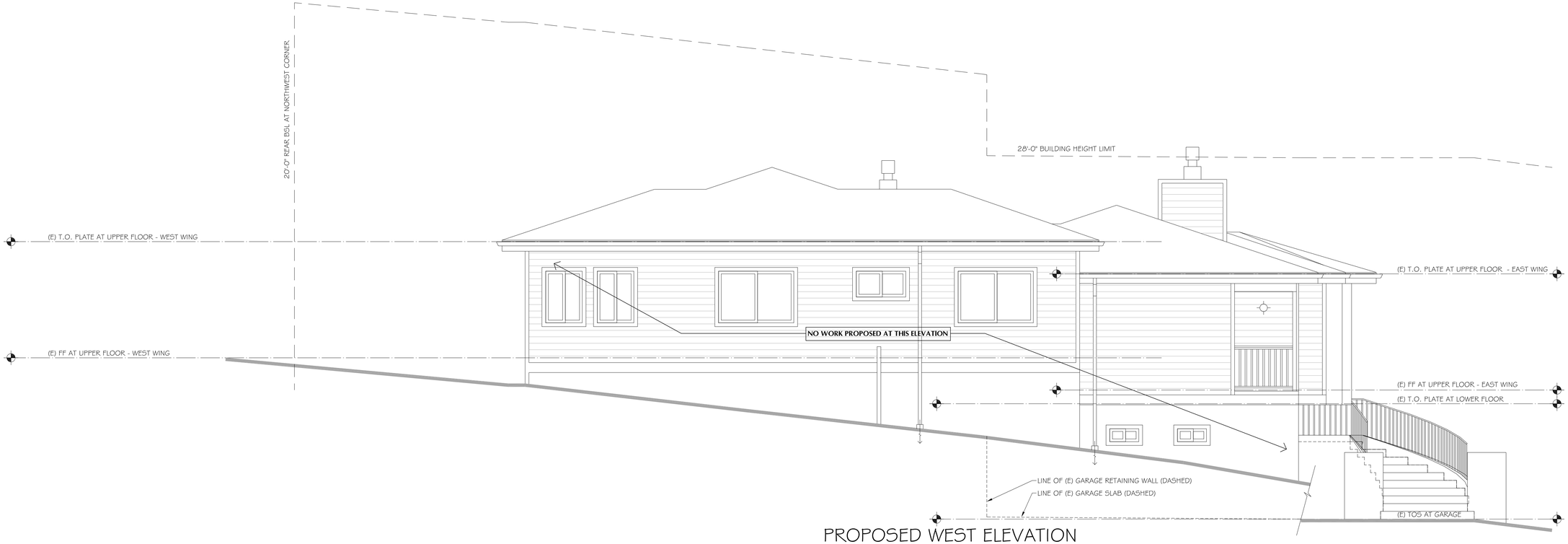

PROPOSED WEST ELEVATION

(LEFT SIDE)

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REVIEWED	OF SHEETS

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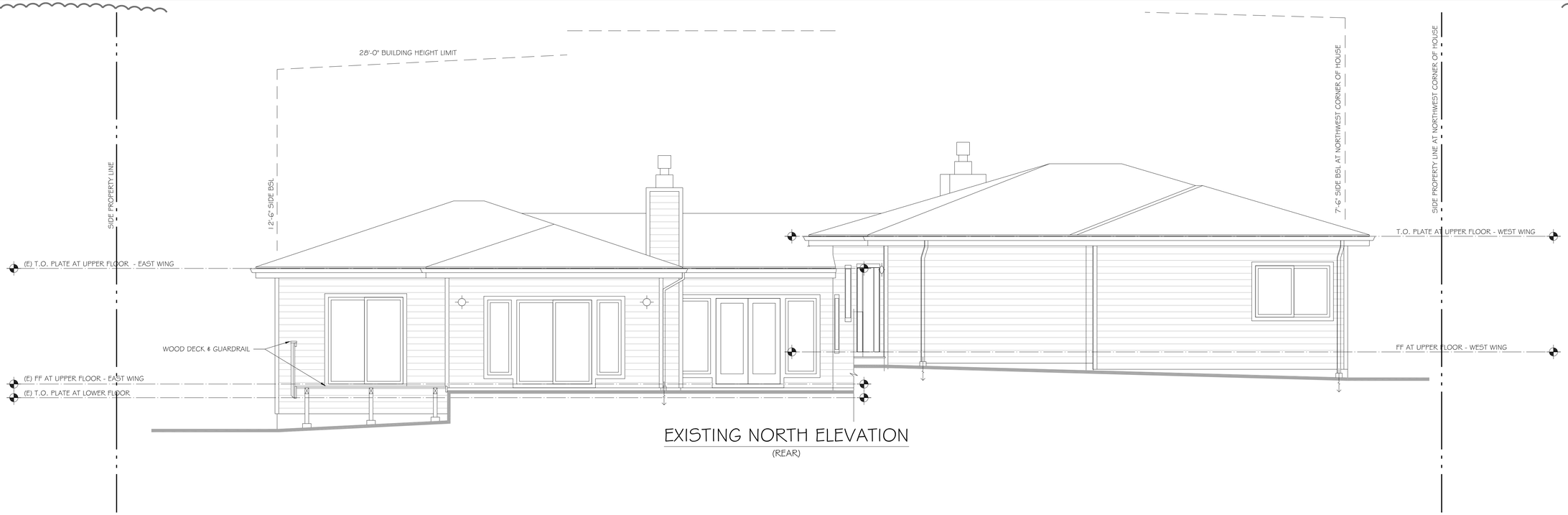
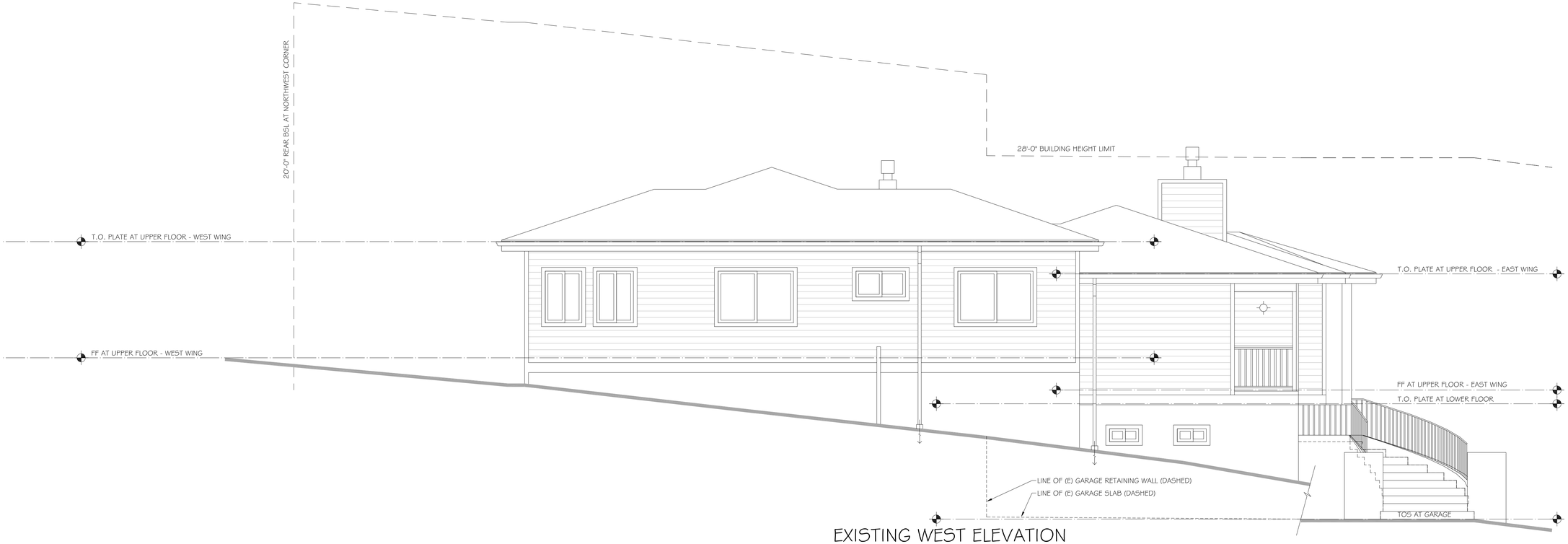


EXISTING NORTH ELEVATION
(REAR)



EXISTING WEST ELEVATION
(LEFT SIDE)

Ellis A. Schoichet AIA
EASA
ARCHITECTURE

Peninsula Building
307 South "B" Street #12 San Mateo CA 94401
650.343.3452

Addition & Pergola
for
Matthew & Moon Gemello
778 Upland Rd
Redwood City, CA 94062

Owner:
Matthew & Moon Gemello
650.267.0476

Architect:
EASA Architecture
650.343.3452

REV.NO	DATE	DESCRIPTION	BY
1	12/26/17	Planning Department Comments	DU

STAMP

PRELIMINARY
NOT FOR CONSTRUCTION

LICENSED ARCHITECT ELLIS A. SCHOICHET C-13488 RENEWAL DATE STATE OF CALIFORNIA

SHEET TITLE

EXISTING ELEVATIONS

JOB# 17695	SCALE 1/4"=1'-0"
DATE 20 NOV '17	SHEET A6.1
DRAWN DU	
CHECKED ES	
REVIEWED	OF SHEETS

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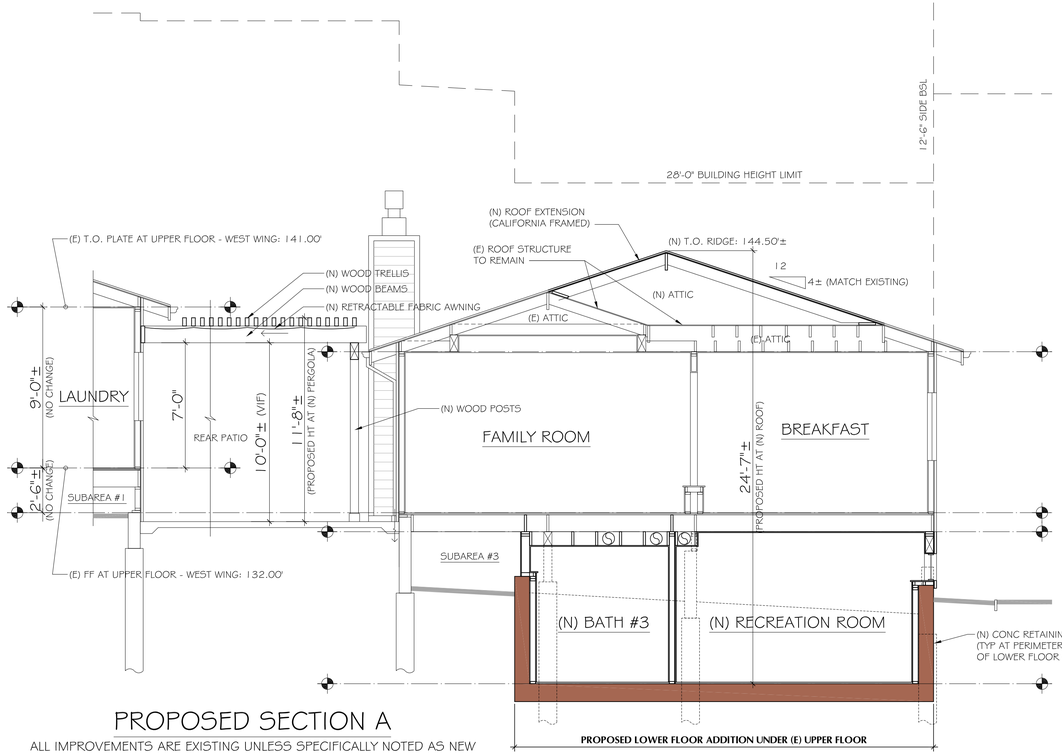
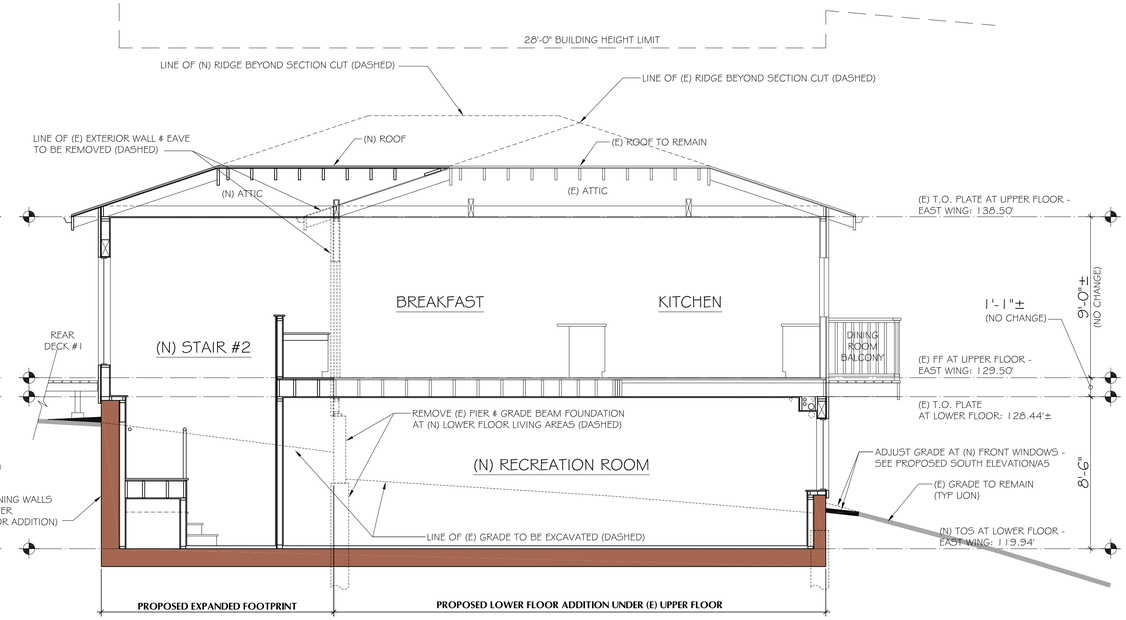


PROPOSED SECTION A

ALL IMPROVEMENTS ARE EXISTING UNLESS SPECIFICALLY NOTED AS NEW



PROPOSED SECTION B

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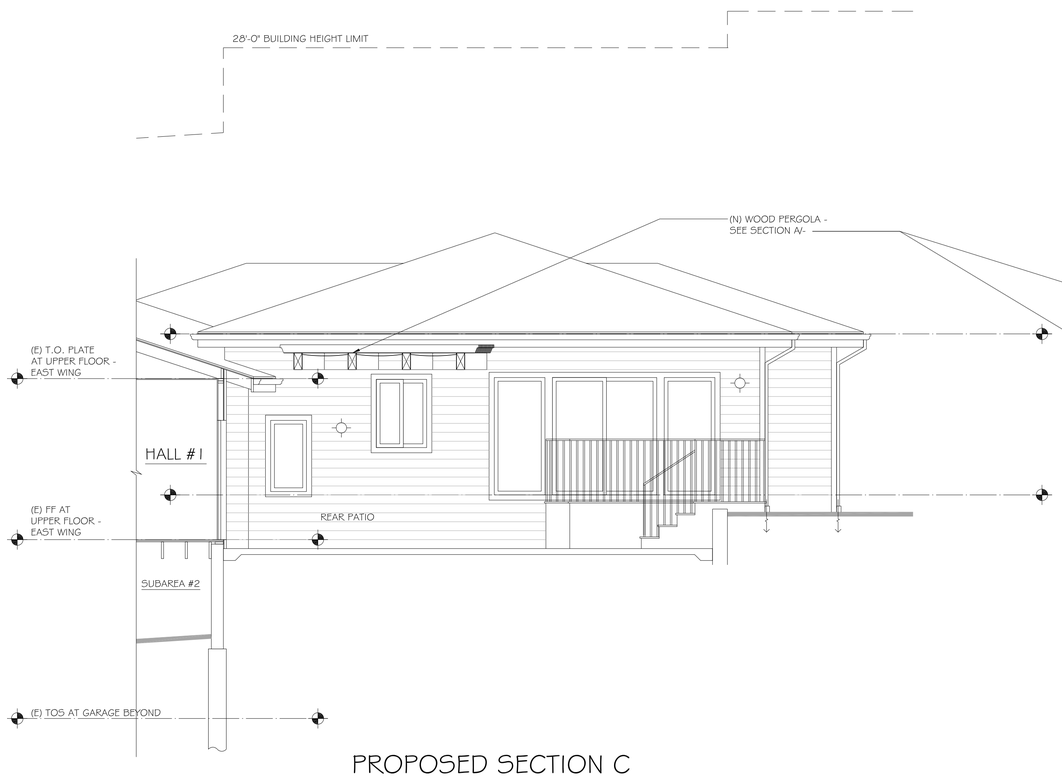
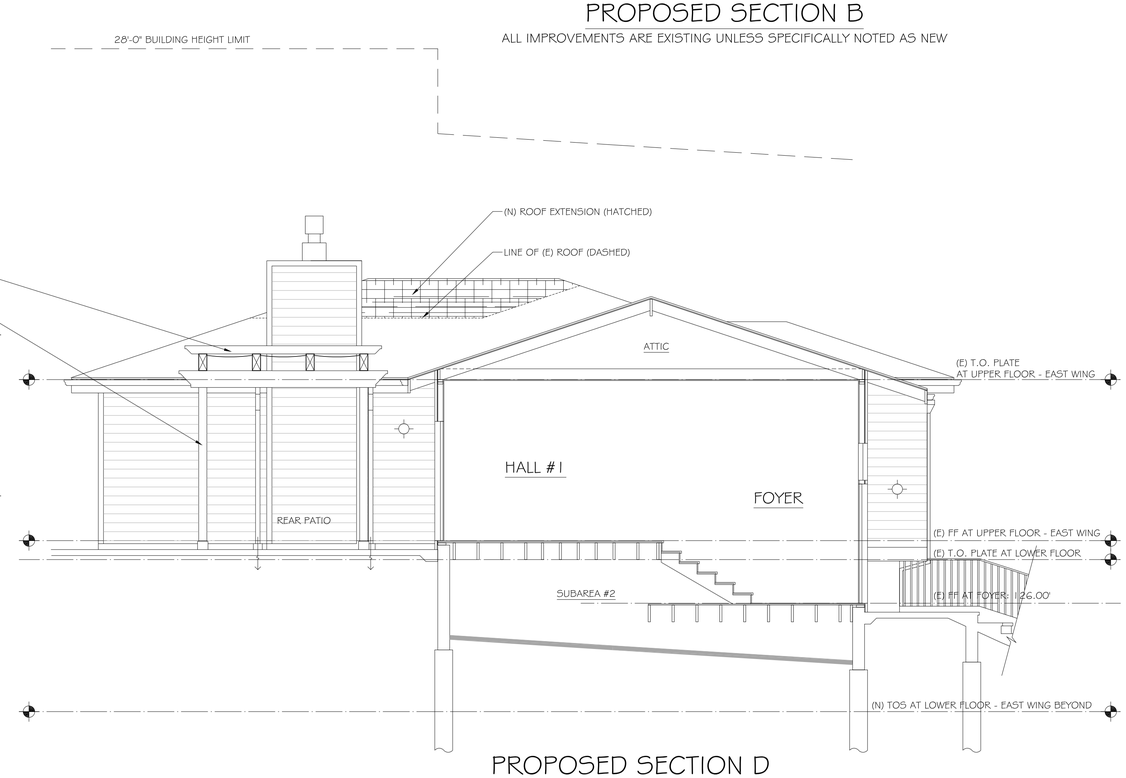


PROPOSED SECTION C

ALL IMPROVEMENTS ARE EXISTING UNLESS SPECIFICALLY NOTED AS NEW



PROPOSED SECTION D

ALL IMPROVEMENTS ARE EXISTING UNLESS SPECIFICALLY NOTED AS NEW

Ellis A. Schoichet AIA
EASA ARCHITECTURE

Peninsula Building
307 South "B" Street #12 San Mateo CA 94401
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REV.NO	DATE	DESCRIPTION	BY
	11/20/17	Design Review & HE Review	DU

STAMP

LICENSED ARCHITECT ELLIS A. SCHOICHET C-13968 RENEWAL DATE STATE OF CALIFORNIA

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET TITLE

PROPOSED SECTIONS

JOB# 17695	SCALE 1/4"=1'-0"
DATE 20 NOV '17	SHEET A7
DRAWN DU	
CHECKED ES	
REVIEWED	OF SHEETS

N:\2017\17695 Gemello\A\DWG\2.2.5ft-DD\17695.DD Sft-A7.Sections.dwg, 11/20/2017 4:20:23 PM, copyright EASA Architecture

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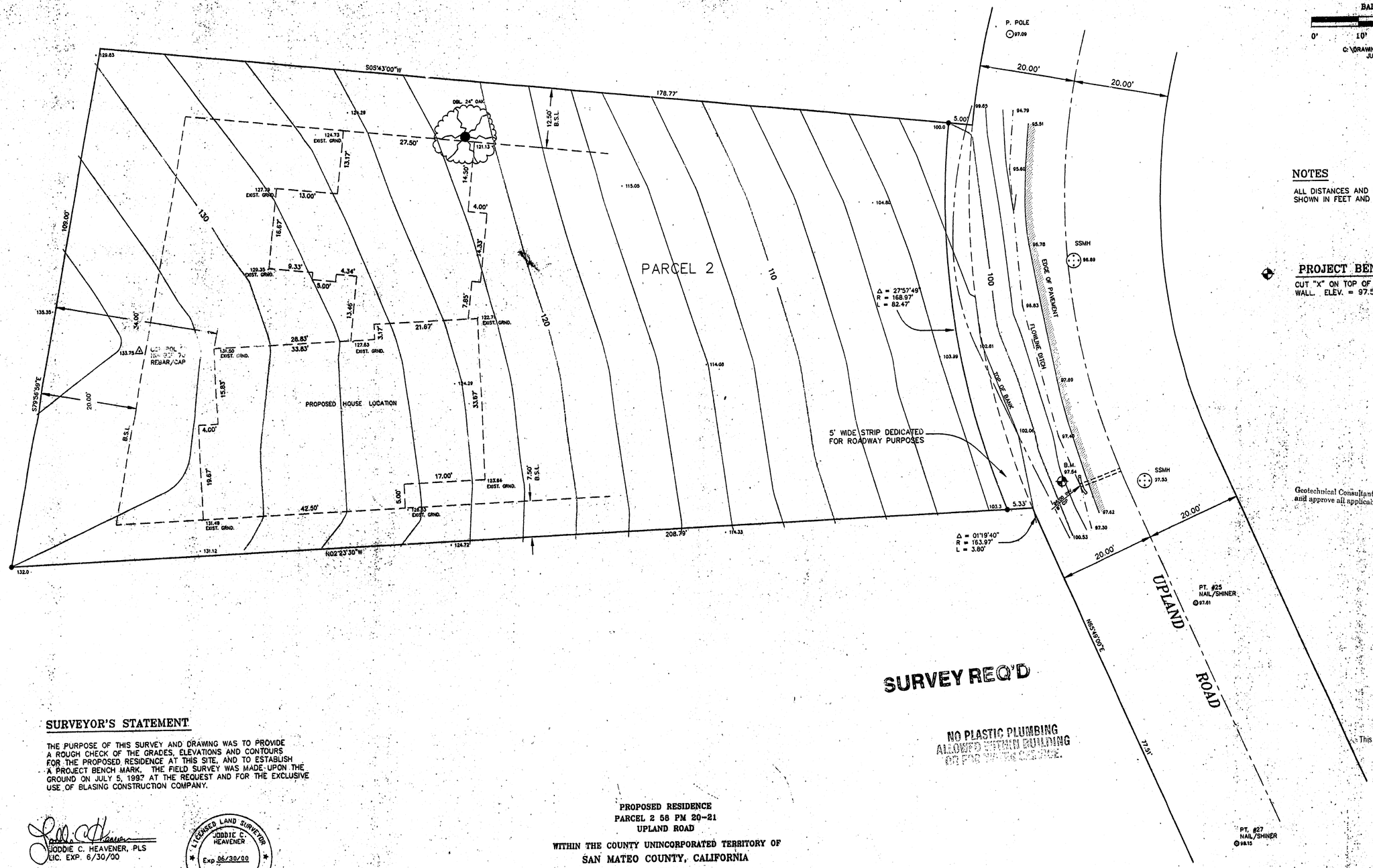

BAR SCALE

0' 10' 20' 30'

C:\DRAWINGS\UPLAND.DWG
JULY, 1997

NOTES

ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.

PROJECT BENCHMARK

CUT "X" ON TOP OF HEAD WALL. ELEV. = 97.54

RESUBMITTED
JUL 16 1997
BUILDING DIV.

Geotechnical Consultant to observe and approve all applicable work.

SURVEY REQ'D

NO PLASTIC PLUMBING ALLOWED WITHIN BUILDING OUTSIDE WATER SERVICE.

APPROVED PLAN
This approval does not authorize violations of State or County building laws.
JUL 25 1997
SAN MATEO COUNTY BUILDING INSPECTION DIVISION

SURVEYOR'S STATEMENT

THE PURPOSE OF THIS SURVEY AND DRAWING WAS TO PROVIDE A ROUGH CHECK OF THE GRADES, ELEVATIONS AND CONTOURS FOR THE PROPOSED RESIDENCE AT THIS SITE, AND TO ESTABLISH A PROJECT BENCH MARK. THE FIELD SURVEY WAS MADE UPON THE GROUND ON JULY 5, 1997 AT THE REQUEST AND FOR THE EXCLUSIVE USE OF BLASING CONSTRUCTION COMPANY.

JODDIE C. HEAVENER, PLS
LIC. EXP. 6/30/00

LICENSED LAND SURVEYOR
JODDIE C. HEAVENER
Exp. 06/30/00
L.S. #3778
STATE OF CALIFORNIA

PROPOSED RESIDENCE
PARCEL 2 58 PM 20-21
UPLAND ROAD
WITHIN THE COUNTY UNINCORPORATED TERRITORY OF
SAN MATEO COUNTY, CALIFORNIA

SCALE 1"=10' JULY, 1997

JODDIE C. HEAVENER
LICENSED LAND SURVEYOR
1709 RED MAPLE STREET
UNION CITY, CALIFORNIA
94587
(510) 489-8753

JOB NO. 9714 SHEET 1 OF 1

REV. 6-30-99

A-2 OF 15