

November 6, 2018

Jane Hillhouse
207 Palma Street
El Granada, CA 94018

Dear Ms. Hillhouse:

SUBJECT: Coastside Design Review Recommendation
207 Palma Street, El Granada
APN 047-126-250/290; County File No. PLN 2018-00060

At its meeting of October 11, 2018, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a Design Review Permit to allow construction of a new two-story 2,247 sq. ft. (formerly 2,279 sq. ft.) single-family residence with a 429 sq. ft. attached 2-car garage and a 764 sq. ft. (formerly 802 sq. ft.) second unit (currently the main house) with a 300 sq. ft. (formerly 272 sq. ft.) attached 1-car garage on a 8,044 sq. ft. legal parcel (per Merger: PLN2017-00235). No tree removal and only minor grading is proposed. The second dwelling unit is a ministerial project that does not require review by the CDRC.

The CDRC was unable to make the findings for design review approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required. As such, recommendations from the CDRC for further project redesign are as follows:

Recommendations:

1. Move the second floor volume to the middle of the first floor by two (2) to four (4) feet.
2. Redesign the front entryway so that it does not extend into the 20-foot front setback; provide more articulation.
3. The volume of the bay should match the volume of the front entryway.
4. Update the landscape plan with improvements to the front of the house to soften blank walls.
5. Provide for strategic placement of plant material in the back of the property to address privacy concerns.



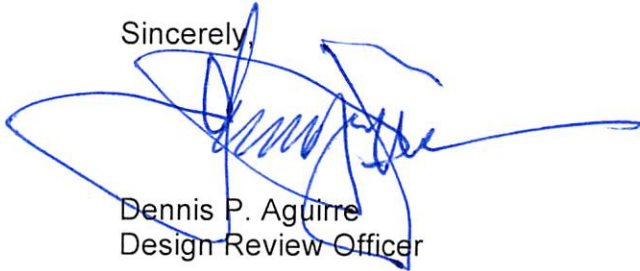
6. Revise the landscape plan to show the paver path connecting to the driveway close to Valencia Avenue.

At the meeting, you were presented with the following available options at the end of the CDRC's deliberation of the project: 1) request for a decision from the CDRC on the plans presented or 2) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Ruemel Panglao, Project Planner, at 650/363-9582, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link: <http://planning.smcgov.org/survey>.

Sincerely,



Dennis P. Aguirre
Design Review Officer

DPA:ann – DPACC0537_WNN.DOCX

cc: Stuart Grunow, Member Architect
Bruce Chan, Member Architect
Christopher Johnson, El Granada Community Representative
Khalid Usman, Interested Member of the Public
Katherine Kelly, Interested Member of the Public
Beverly Williams, Interested Member of the Public
Brian P. Connolly, Interested Member of the Public

Envelopes:

Khalid Usman, Interested Member of the Public
3670 Ralston Avenue, Hillsborough CA 94010

Katherine Kelly, Interested Member of the Public
P.O. Box 182, Half Moon Bay CA 94019

Beverly Williams, Interested Member of the Public
230 Valencia Avenue, Half Moon Bay CA 94019

Brian P. Connolly, Interested Member of the Public
P.O. Box 2858, El Granada CA 94018

AS OF JANUARY 1, 2016

CALIFORNIA BUILDING CODE 2016 EDITION
 CALIFORNIA PLUMBING CODE 2016 EDITION (CPC)
 CALIFORNIA ELECTRICAL CODE 2016 EDITION (CEC)
 CALIFORNIA MECHANICAL CODE 2016 EDITION (CMC)
 CALIFORNIA ENERGY CODE 2016 EDITION (CEnergyC)
 CALIFORNIA RESIDENTIAL CODE 2016 EDITION (CRC)
 CALGREEN CODE

ALONG WITH ANY OTHER LOCAL AND STATE LAWS AND REGULATIONS

GENERAL NOTES

- ALL CONSTRUCTION WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE (CBC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA ELECTRICAL CODE (CEC), 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS (BEEES).
- STORM WATER RUN OFF SHALL NOT DRAIN ONTO THE ADJACENT PROPERTY, AND SHALL DRAIN AWAY FROM BUILDING FOUNDATION TO AN UNPAVED AREA.
- BEDROOM WINDOWS FOR EMERGENCY ESCAPE AND RESCUE SHALL HAVE A FINISHED SILL HEIGHT OF NOT BE MORE THAN 44" ABOVE THE FLOOR.
- ANY WINDOW AT THE STAIRWAY LANDINGS OR WITHIN 5 FEET OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE SHALL BE SAFETY GLASS.
- THE HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION. HANDRAIL SHALL HAVE A SMOOTH SURFACE WITH NO SHARP EDGES. ENDS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.
- SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING TYPE.
- INTERIOR FINISH MATERIAL OF THE SHOWER STALL WALL EXTENDS TO A HT. OF NOT LESS THAN 12" ABOVE THE DRAIN INLET.
- ALL RECEPTACLES, LIGHTING CIRCUITS, SWITCHES, AND HARD-WIRED SMOKE DETECTORS INSTALLED IN BEDROOMS SHALL BE PROTECTED WITH AN ARC FAULT CIRCUIT INTERRUPTER.
- NFRC TEMPORARY LABELING ON NEW WINDOWS AND EXTERIOR DOORS SHALL NOT BE REMOVED UNTIL INSPECTED BY ENFORCEMENT AGENCY.
- PROVIDE MINIMUM 26 GAUGE, GALVANIZED SHEET METAL HEATING SUPPLY DUCTS BETWEEN THE GARAGE AND RESIDENCE OR PROVIDE FIRE DAMPERS.
- PROVIDE A MINIMUM OF 6'-8" HEADROOM CLEARANCE FOR THE INTERIOR STAIRWAY.
- ALL RECESSED LIGHTING FIXTURES INSTALLED IN INSULATED CEILING SHALL BE INSULATION COVER AND AIR TIGHT RATED.
- ALL EXTERIOR LIGHTING FIXTURES SHALL BE HIGH-EFFICACY (FLUORESCENT).
- WATER HEATER SHALL BE WRAPPED WITH R-12 INSULATION, UNLESS EFFICIENCY RATED AT 58% OR BETTER.
- PROVIDE 1" INSULATION ON FIRST 5' LENGTH OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK.
- INSULATE ALL HOT WATER PIPES 3/4" OR GREATER IN DIAMETER, FROM THE WATER HEATER TO THE KITCHEN FIXTURES.
- PROVIDE A SETBACK THERMOSTAT FOR THE NEW FURNACE.
- INSULATE NEW HEATING DUCTS TO R-8 IF MORE THAN 40' OF NEW DUCTS ARE INSTALLED IN UNCONDITIONED SPACE.
- MAIN SERVICE DISCONNECTING MEANS AND METER SHALL BE READILY ACCESSIBLE FROM OUTSIDE OF THE BUILDING.
- METER AND PANEL SHALL BE SCREENED FROM PUBLIC VIEW BY AN ENCLOSURE.
- PROVIDE TWO 20-AMP BRANCH CIRCUITS FOR KITCHEN WHICH SHALL HAVE NO OTHER RECEPTACLES OR LIGHTS CONNECTED TO THAT BRANCH CIRCUIT.
- PROVIDE A DEDICATED 20-AMP CIRCUIT FOR THE BATHROOM RECEPTACLES.
- A FULLY AUTOMATED IRRIGATION SYSTEM SHALL BE INSTALLED. SEE LI
- WATER METERS SHALL BE LOCATED IN LANDSCAPED AREAS ONLY. NO WATER METERS SHALL BE LOCATED IN SIDEWALKS OR DRIVEWAYS.
- CLEANOUT SHALL BE LOCATED 18 TO 24 INCHES FROM THE BUILDING FOUNDATION.
- FLASHING SHALL BE INSTALLED AS PER CBC 1405.3 AT ALL EXTERIOR WALLS, OPENINGS FOR DOORS AND WINDOWS AND AT INTERSECTIONS WITH OTHER BUILDING COMPONENTS.
- CLOTHES WASHERS AND DISHWASHERS SHOULD BE "HE" CERTIFIED.
- ALL CONDITIONS OF APPROVAL FOR THIS PROJECT MUST BE MET WHETHER SHOWN ON THE PLANS OR NOT. THESE CONDITIONS OF APPROVAL ARE A PART OF THESE PLANS AND ARE AVAILABLE UPON REQUEST FROM THE BUILDING OWNER, THE DESIGNER OR THE COUNTY OF SAN FRANCISCO.

DRAWING INDEX

- ARCHITECTURAL**
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 - A5 ELEVATIONS
 - A6 ELEVATIONS
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 - C1 EXISTING TOPOGRAPHY MAP
 - C2 DRAINAGE PLAN
 - C3 EROSION PLAN
 - LI LANDSCAPING PLAN

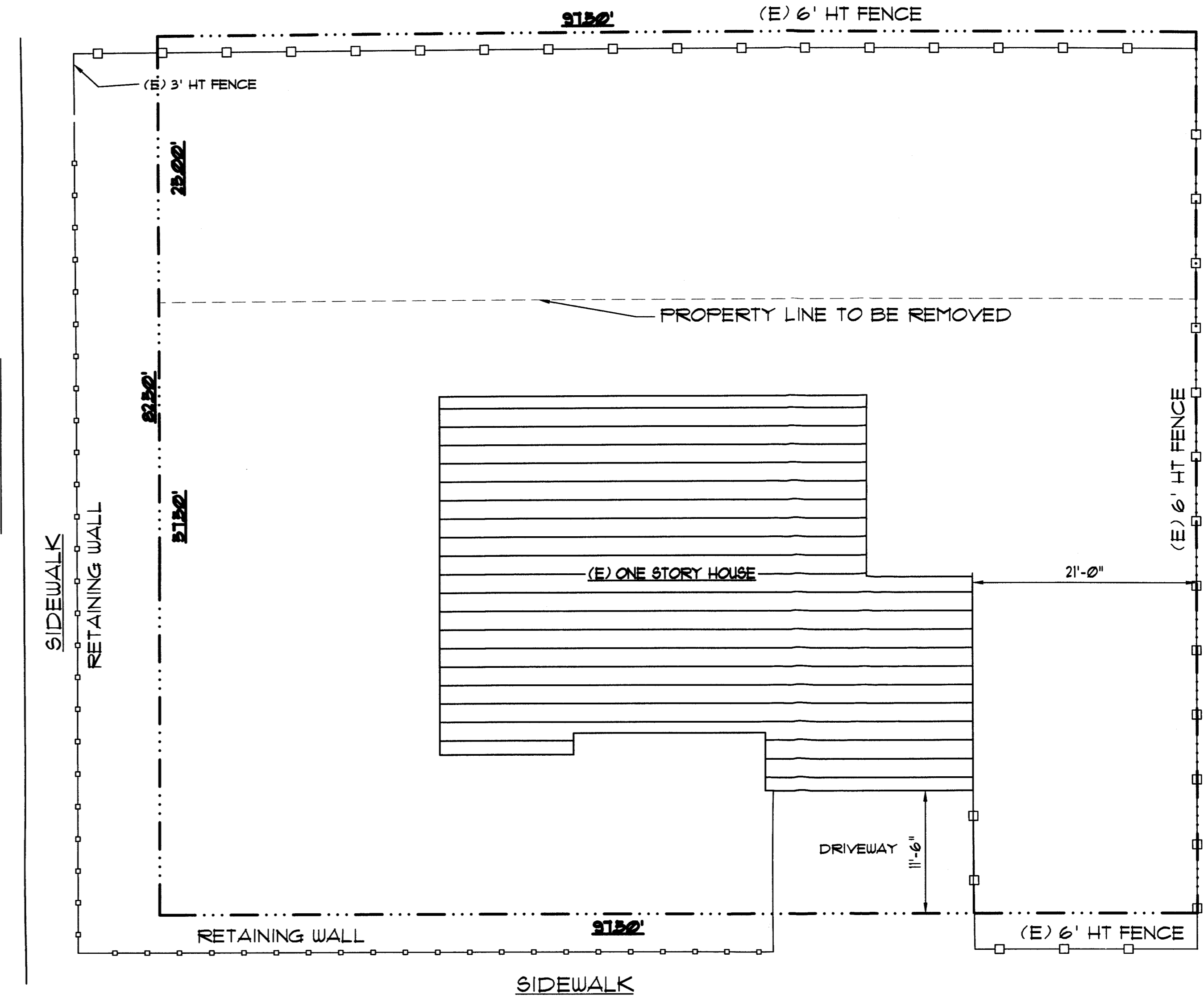
SITE DATA

LOT AREA	8044 SQFT		
	ADU	MAIN UNIT	TOTAL PROPOSED
HABITABLE LIVING AREA	800 SQFT	2279.01 SQFT	3079.01 SQFT
NON-HABITABLE LIVING AREA (GARAGE)	272.22 SQFT	429 SQFT	701.22 SQFT
NUMBER OF BEDROOMS	1	3	4
NUMBER OF PARKING SPACES (COVERED)	1	2	3
	ADU	MAIN UNIT	TOTAL PROPOSED
FLOOR AREA	1072.22 SQFT	2708.01 SQFT	3780.23 SQFT
MAX FLOOR AREA RATION (FAR)			4263 SQFT 53%
TOTAL LOT COVERAGE			2736.4636 SQFT 34%
ZONING			R-1, S-17, DR, CD
APN #:			047126290 + 047126250
IMPERVIOUS SURFACE UNDER 18" EXISTING DRIVEWAY			282 SQFT
IMPERVIOUS SURFACE UNDER 18" NEW DRIVEWAY			360 SQFT

CALGREEN NOTES

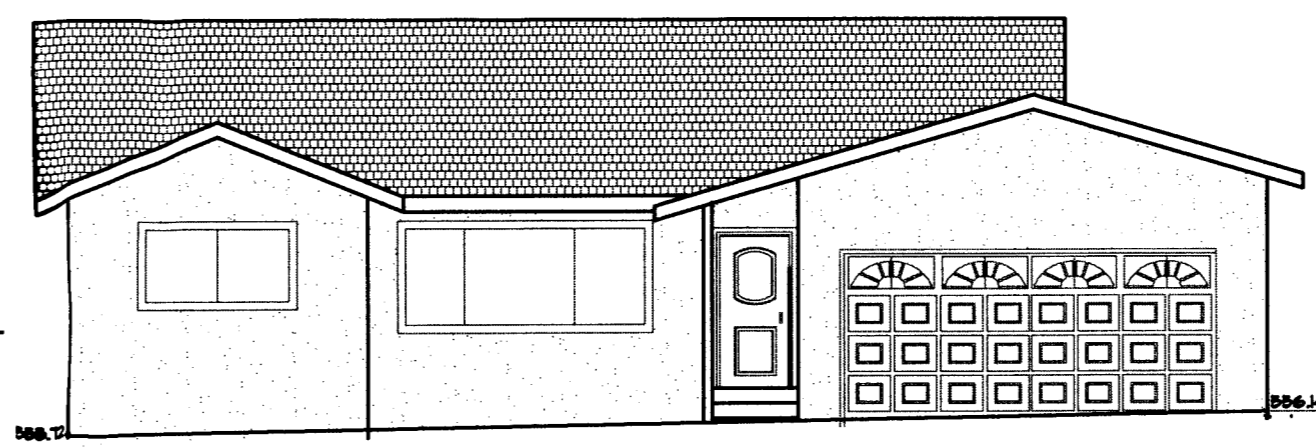
- DIVERT AT LEAST 65% OF ALL CONSTRUCTION DEBRIS AND WASTE TO A RECYCLING OR SALVAGE FACILITY AS PER CALGREEN SEC. A4.408.1
- KEEP SURFACE RUNOFF AWAY FROM BUILDINGS AS PER SHEET C1.
- PROVIDE A FILTER FABRIC AT ALL CATCH BASINS ON SHEET C1 FOR DURATION OF THE CONSTRUCTION.
- PROVIDE A COPY OF ALL OPERATIONAL AND MAINTENANCE MANUALS TO THE BUILDING OCCUPANT.
- THE AUTOMATIC IRRIGATION SPRINKLER SYSTEM MUST BE WEATHER BASED.
- PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS.
- COVER ALL DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION SYSTEMS DURING CONSTRUCTION.
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
- PAINT STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS. VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
- MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH CALGREEN SEC 4504.4
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
- CAPILLARY BREAK SHALL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER CGC 4505.2 AND CRC R506.2.3. SEE SOILS REPORT
- CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE.
- PROVIDE INSULATED LOUVERS/COVER (MIN 42) WHICH CLOSE WHEN THE FAN IS 1/2 OFF FOR THE WHOLE HOUSE EXHAUST FANS.
- INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% BY USING WATER SAVING FIXTURES. THE MAXIMUM FLOWRATE AT A KITCHEN SINK FAUCET SHALL NOT BE GREATER THAN 1.5 GALLONS PER MINUTE AT 60 PSI. IN ADDITION TO THE KITCHEN FAUCET REQ'S FOR TIER 1, DISHWASHERS IN TIER 2 BUILDINGS SHALL BE ENERGY STAR QUALIFIED AND NOT USE MORE THAN 5.8 GALLONS OF WATER PER CYCLE SEE TABLE 4.303.1 ON 03.
- ALL WOOD PRODUCTS & CARBOARD PRODUCTS WILL BE RECYCLED, ALL OTHER WASTE WILL BE TRASHED.
- ALL RECYCLED MATERIALS WILL BE SORTED ON SITE.
- ALL RECYCLED MATERIALS WILL BE SENT TO BFI.
- TO REDUCED THE AMOUNT OF DEBRIS WORKERS SHALL FOLLOW THE CAL-GREEN GUIDLINES AND GOOD CONSTRUCTION PRACTICES.
- MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT.
- PROVIDE DOCUMENTATIONS & RECEIPTS SHOWING COMPLIANCE WITH RECYCLED MATERIALS AND DEBRIS.
- VERIFICATION OF COMPLIANCE FOR POLLUTANT CONTROL WILL BE PROVIDED BY INCLUDING MANUFACTURER'S PRODUCT SPECS OR FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS.
- DIRECT ROOF RUNOFF INTO FOUR WATER ROCK FORMED BARRELS LOCATED AT FRONT OF HOUSE AND REAR USE RAINWATER FOR IRRIGATION OR OTHER NON-POTABLE USE.

VALENCIA AVE

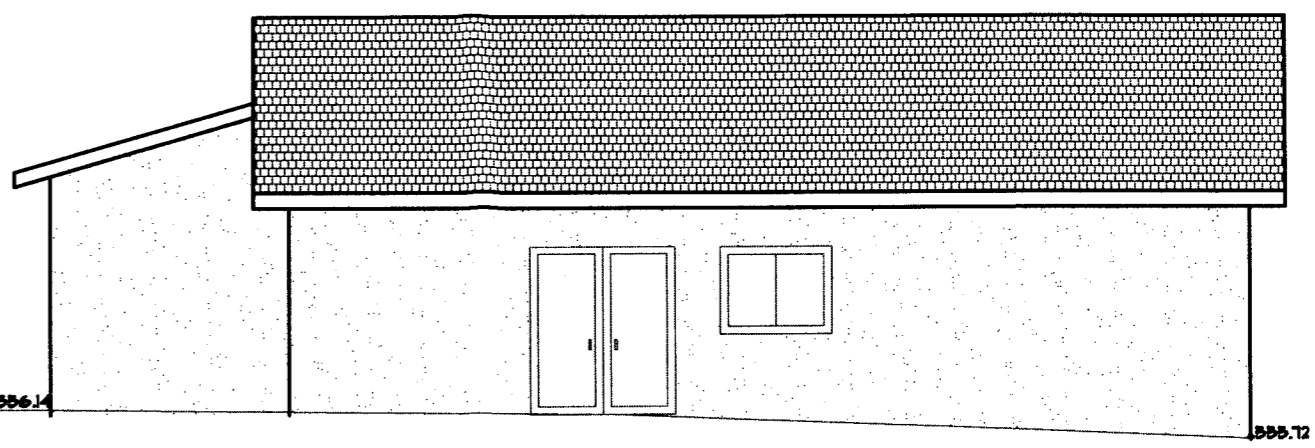


PALMA STREET

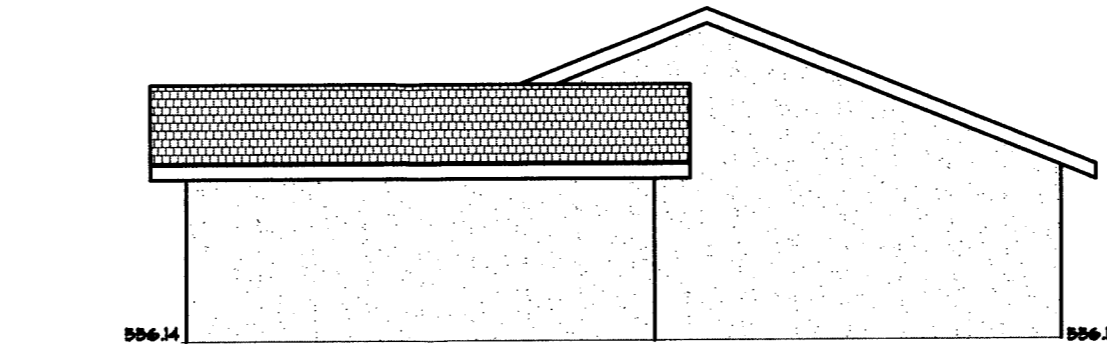
EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



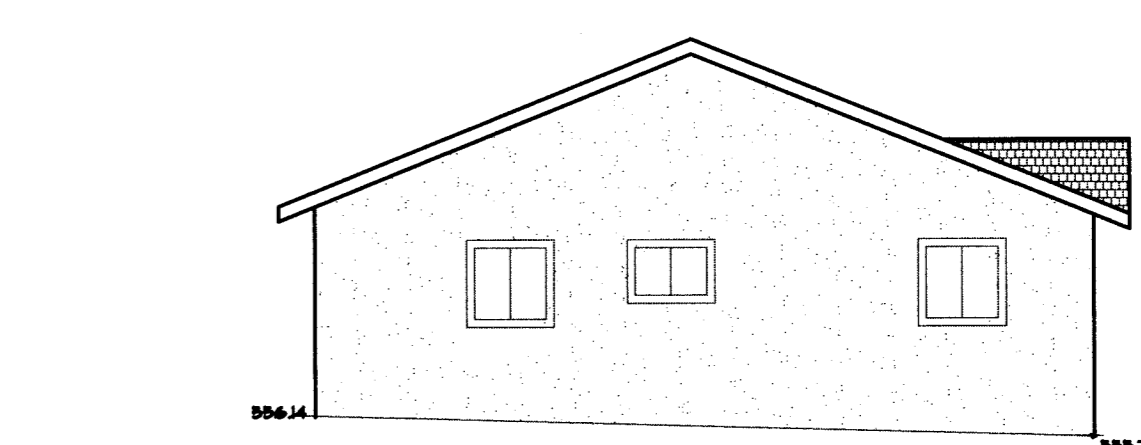
(E) PALMA STREET SIDE ELEVATION
1/8" = 1'-0"



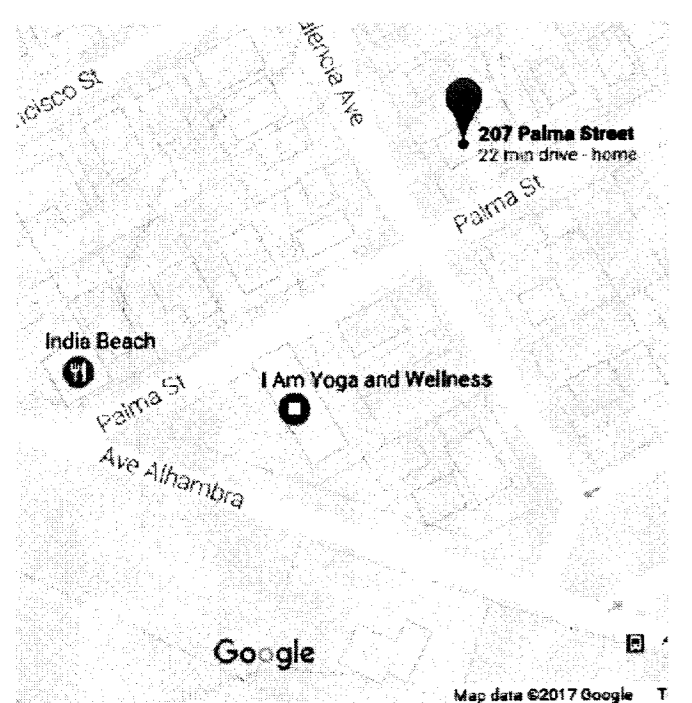
(E) REAR ELEVATION
1/8" = 1'-0"



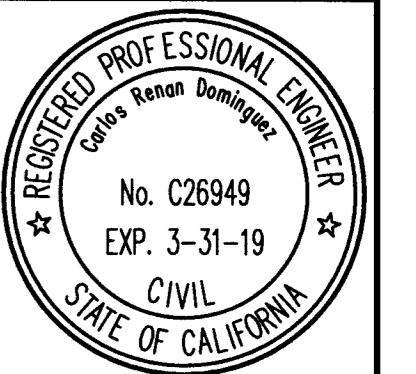
(E) LEFT ELEVATION
1/8" = 1'-0"



(E) VALENCIA STREET ELEVATION
1/8" = 1'-0"



VICINITY MAP
SCALE: N.T.S.



NEW ADDITION FOR HILLHOUSE RESIDENCE
207 PALMA AVENUE, EL GRANADA CA

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT
 PACIFICA, CA. 94044
 (650) 359-0947 EMAIL: carlos@dominguezassociates.com

REVISION	
NO.	DATE
1	8-29-18

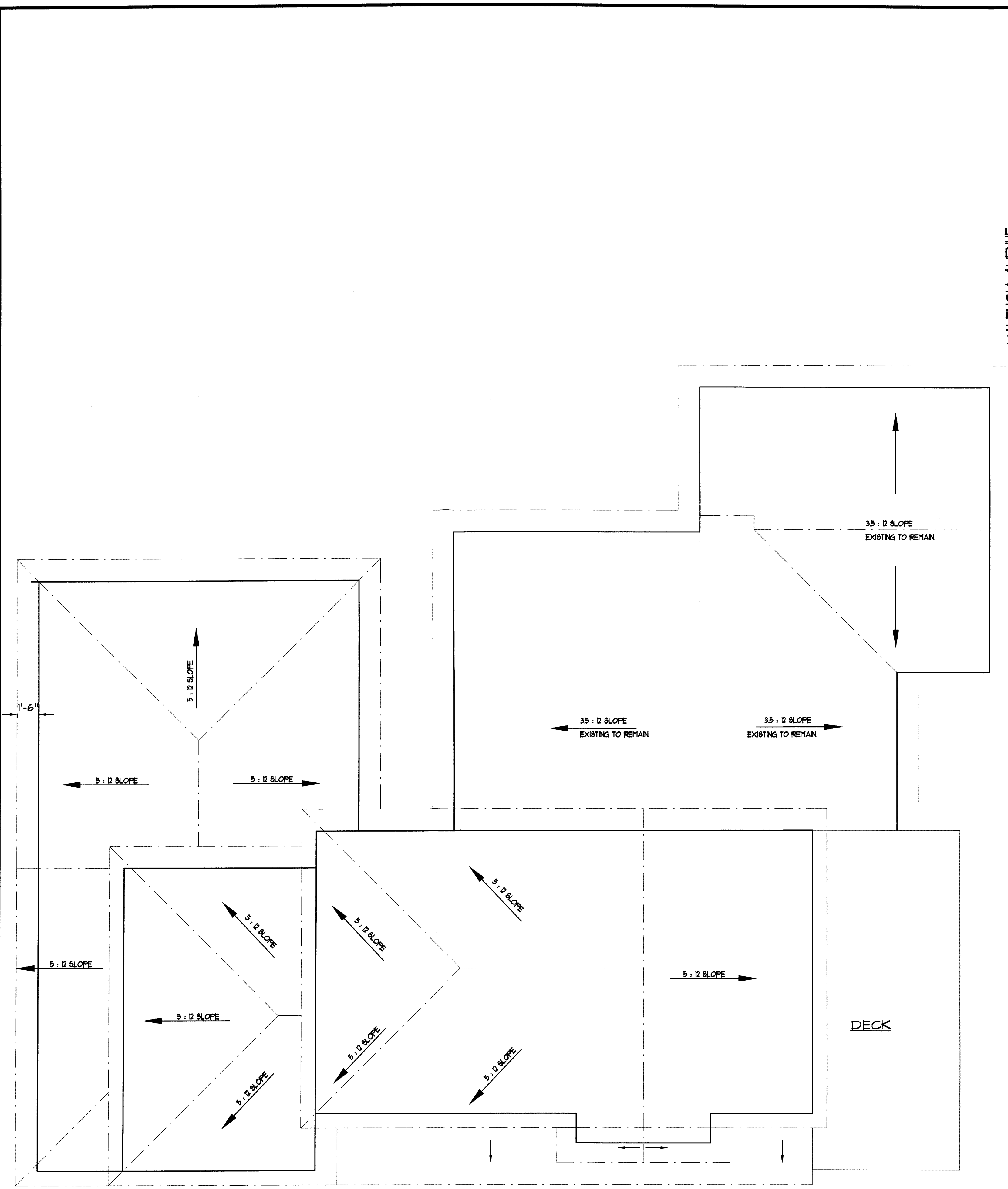
SCALE SHEET NUMBER

A1

OF SHEETS
DATE 3-14-18

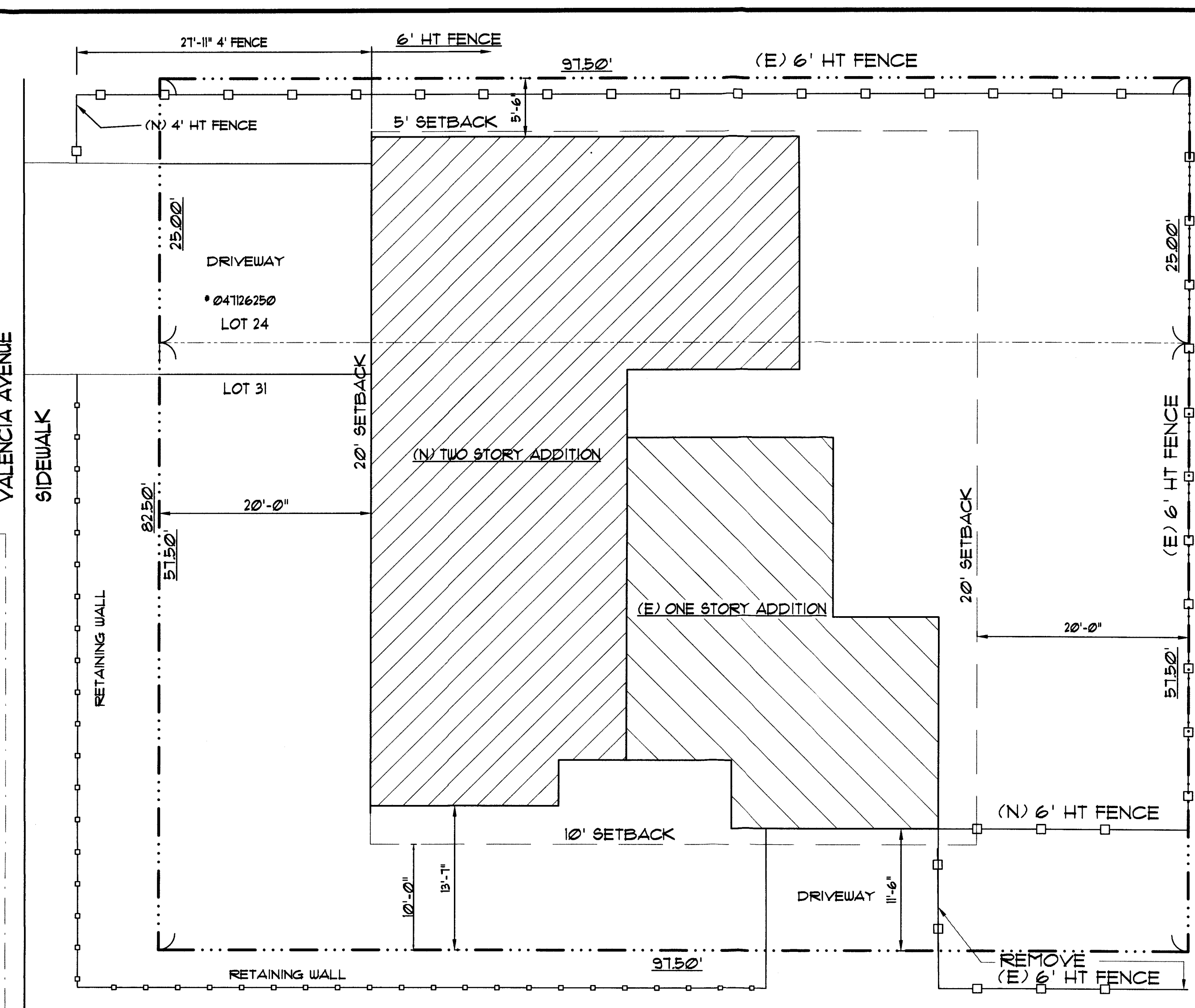
FILE HIL 1645

RECEIVED
NOV 20 2018
San Mateo County
Planning Division



NOTE
MINIMUM CLASS B ROOFING PER
THE CITY MUNICIPAL CODE.

ROOF PLAN
SCALE: 1/4" = 1' - 0"



(N) SITE PLAN
SCALE: 1/8" = 1'-0"



**NEW ADDITION FOR HILLHOUSE RESIDENCE
207 PALMA AVENUE, EL GRANADA CA**

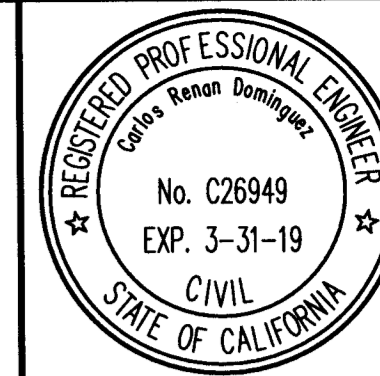
DOMINGUEZ ASSOCIATES LLC
40 HUMBOLDT COURT
PACIFICA, CA. 94044
(650) 359-0947 EMAIL: carlos@dominguezassociates.com

REVISION	
NO.	DATE
1	8-23-18

SCALE
SHEET NUMBER

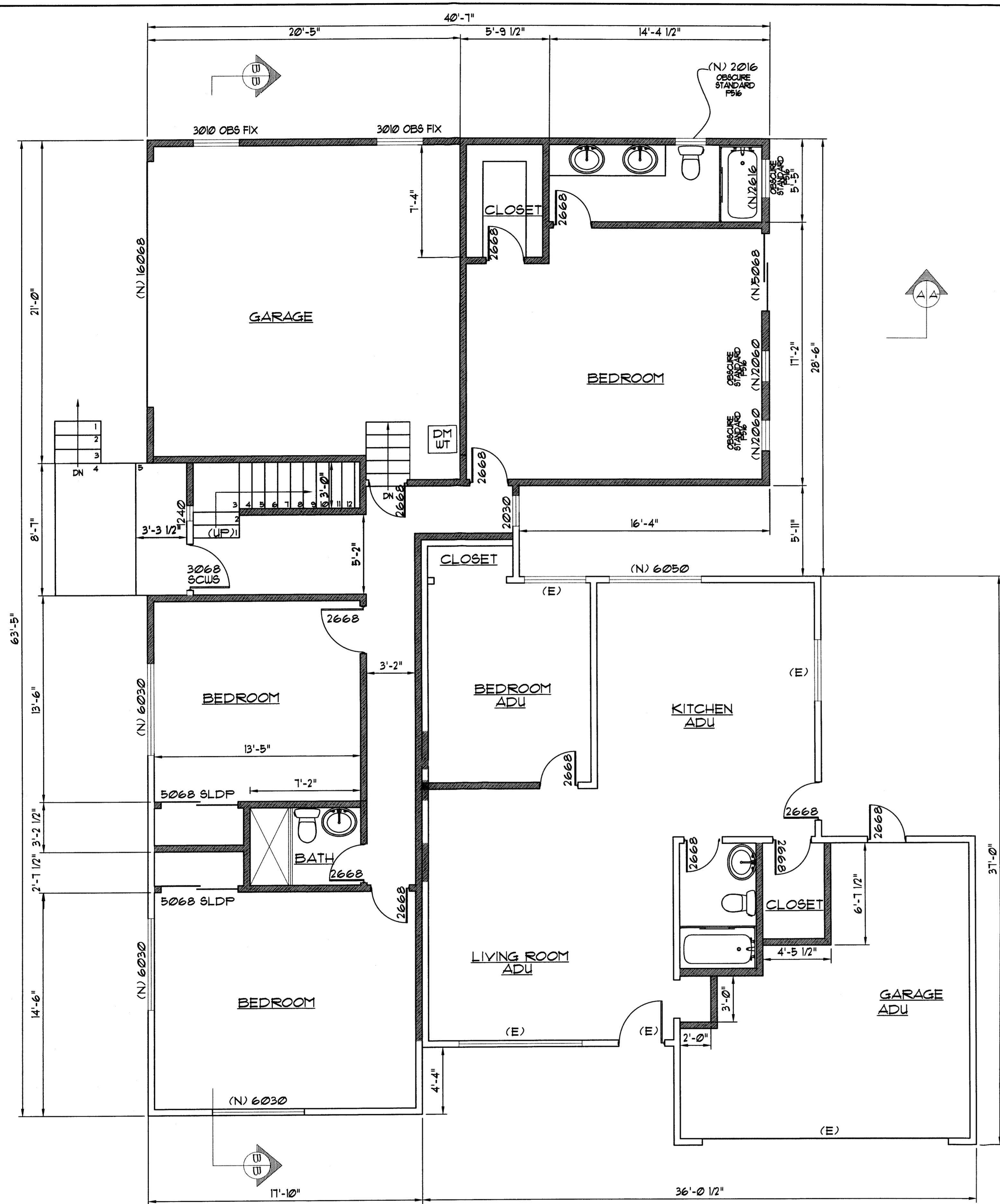
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OF SHEETS
DATE 3-14-18
FILE HIL 1645



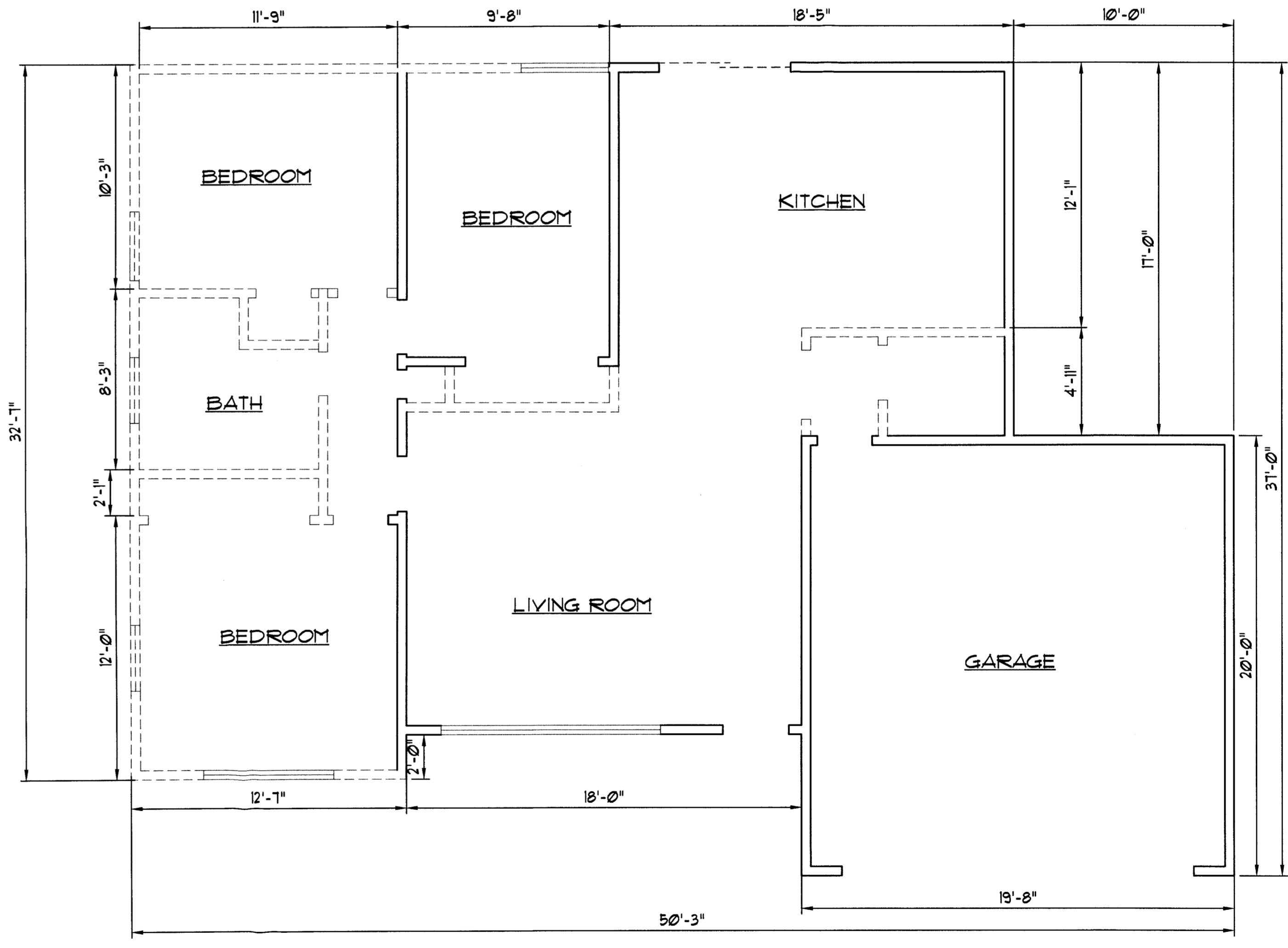
GENERAL LEGEND

- INDICATES EXISTING WALL
- NEW WALL
- INDICATES EXISTING
- INDICATES NEW
- INDICATES REMOVAL WALL
- EXISTING FENCE
- PROPERTY LINE



HAMPTON BAY MODEL # HB480TMP-231 FOR ALL OUTDOOR LIGHTING
 - 180-DEGREE OIL RUBBED BRONZE MOTION-SENSING OUTDOOR WALL LANTERN
 - APPROVED BY THE INTERNATIONAL DARK SKY ASSOCIATION

NEW FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"



(E) DEMOLITION FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"

NEW ADDITION FOR HILLHOUSE RESIDENCE
207 PALMA AVENUE, EL GRANADA CA

PACIFICA, CA. 94044
 (650) 359-0947 EMAIL carlos@dominguezassociates.com

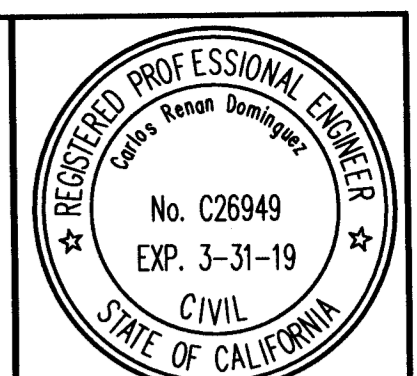
DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT

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SCALE
 SHEET NUMBER

A3

OF SHEETS
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 FILE HIL 1645



FIRST FLOOR AREA CALCULATIONS

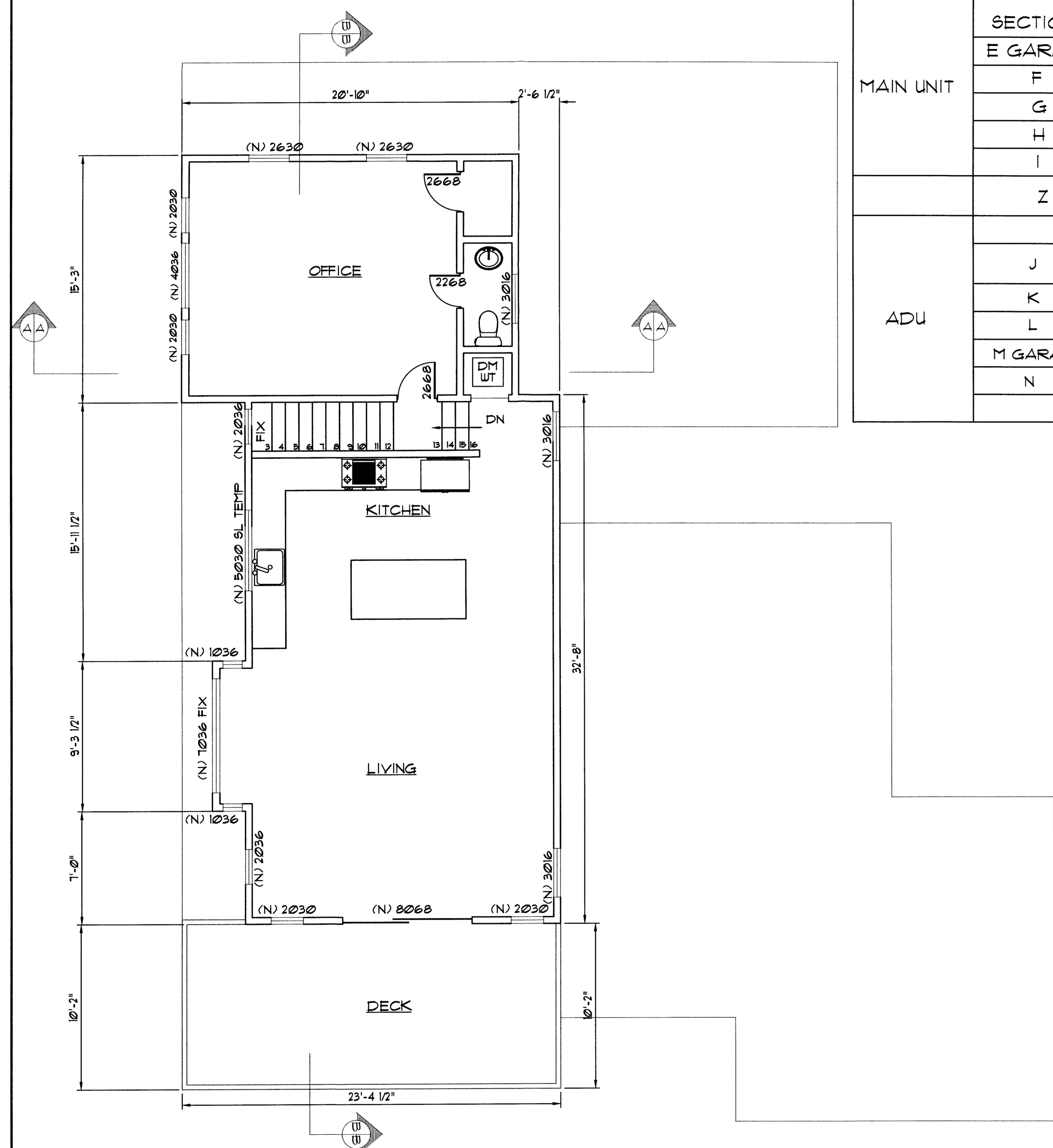
	SECTION	DIMENSIONS	AREA
MAIN UNIT	E GARAGE	21'-0" X 20'-5"	428.75 SQFT
	F	20'-2" X 22'-7"	455.43 SQFT
	G	22'-1" X 17'-10"	392.33 SQFT
	H	6' X 7'	22.46 SQFT
	I	20'-4" X 17'-10"	361.19 SQFT
	Z	2'-7" X 1'-7"	4.09 SQFT
	TOTAL		1664.25 SQFT
ADU	J	16'-11" X 11'-5"	193.13 SQFT
	K	16'-1 1/2" X 14'-7"	247.31 SQFT
	L	16'-4 1/2" X 13'-7 3/8"	222.94 SQFT
	M GARAGE	20' X 19'-8"	393.33 SQFT
	N	6'-5" X 2'-5"	15.51 SQFT
	TOTAL		1072.22 SQFT

SECOND FLOOR AREA CALCULATIONS

MAIN UNIT	SECTION	DIMENSIONS	AREA
	A	30'X21'-4"	639.56 SQFT
	B	4'-8"X21'-4"	92.57 SQFT
	C	12'-10" X 20'-10"	276.04 SQFT
	D	2'-1" X 9'-3"	18.96 SQFT
	TOTAL		1027.13 SQFT

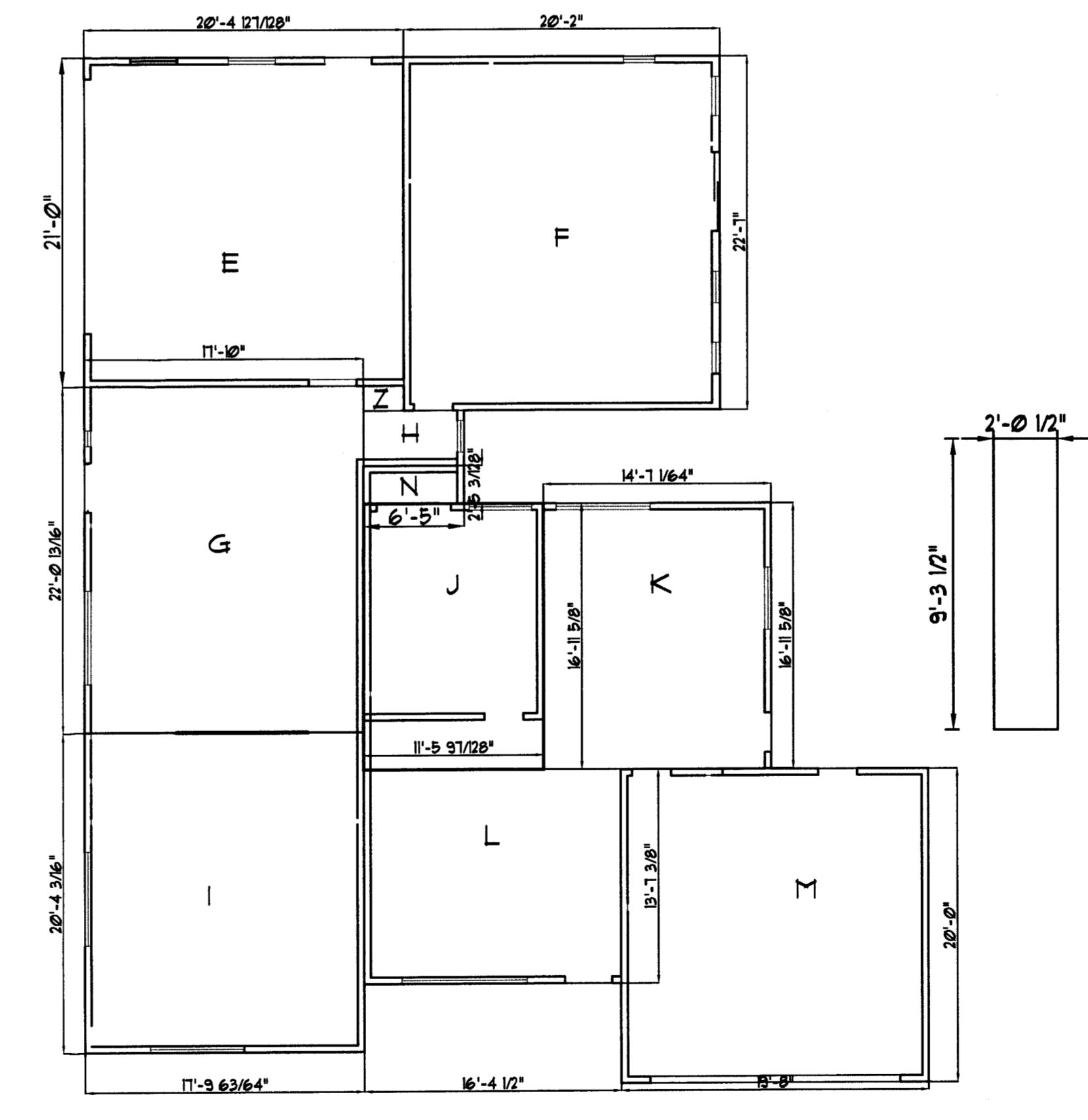
TOTAL FLOOR AREA

	ADU	MAIN UNIT	TOTAL
FIRST FLOOR	1072.22 SQFT	1664.25 SQFT	2736.47 SQFT
SECOND FLOOR	-	1043.82 SQFT	1043.82 SQFT
TOTAL	1072.217 SQFT	2708.07 SQFT	3780.29 SQFT



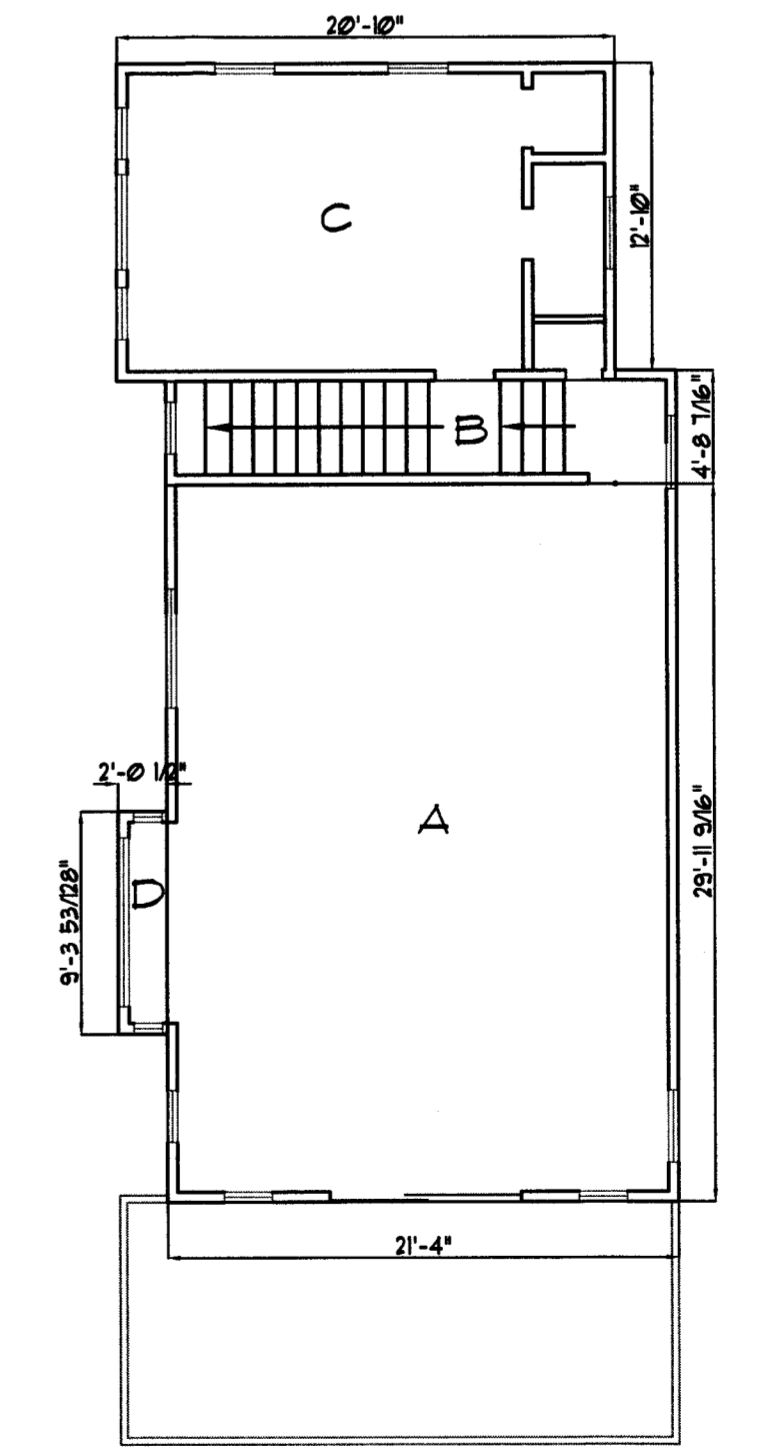
SECOND FLOOR PLAN

1/4" = 1'-0"
HAMPTON BAY MODEL # HB400TAMP-231 FOR ALL OUTDOOR LIGHTING
- 100-DEGREE OIL RUBBED BRONZE MOTION-SENSING OUTDOOR WALL LANTERN
- APPROVED BY THE INTERNATIONAL DARK SKY ASSOCIATION



FIRST FLOOR AREA

1/8" = 1'-0"



SECOND FLOOR AREA

1/8" = 1'-0"

**NEW ADDITION FOR HILLHOUSE RESIDENCE
207 PALMA AVENUE, EL GRANADA CA**

DOMINGUEZ ASSOCIATES LLC
40 HUMBOLDT COURT

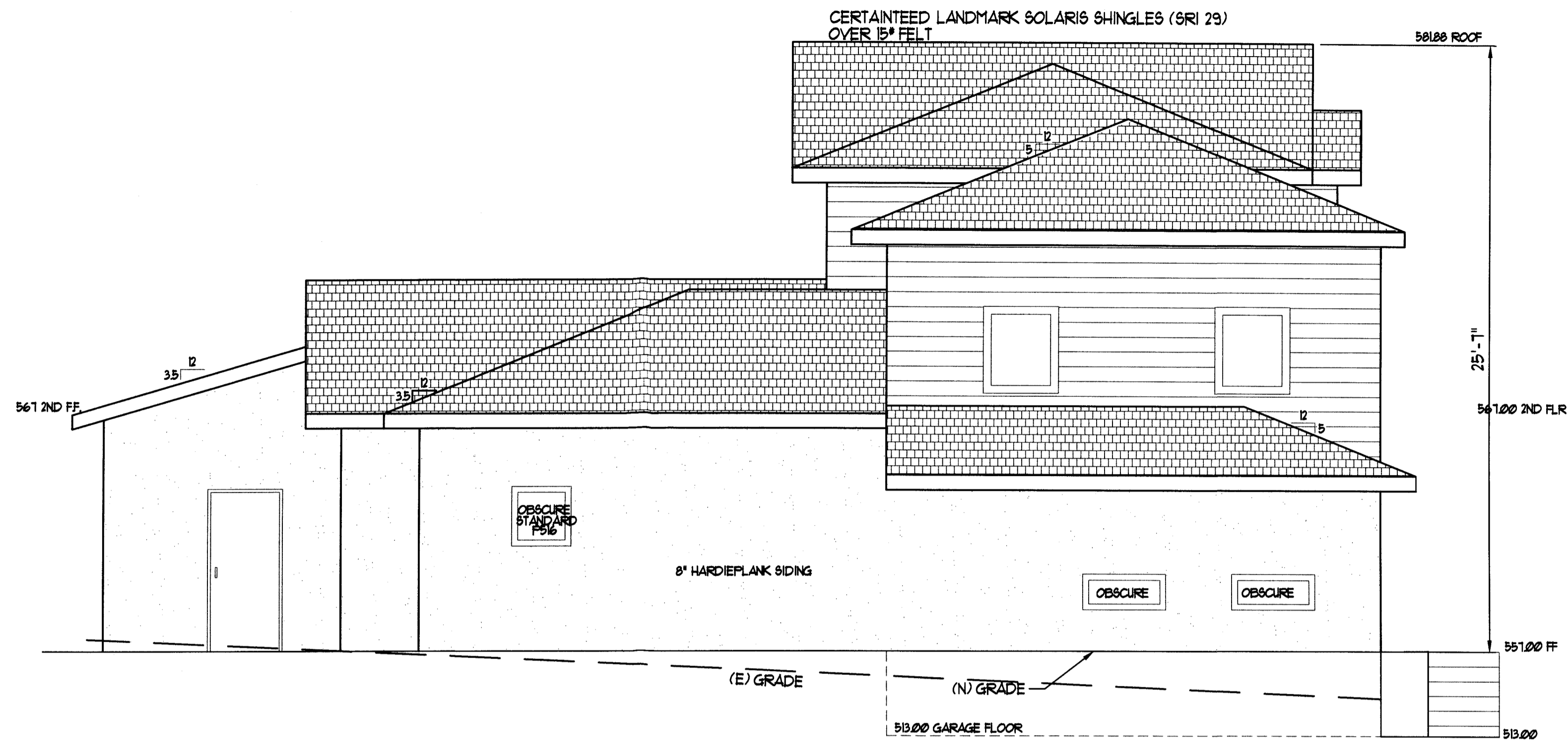
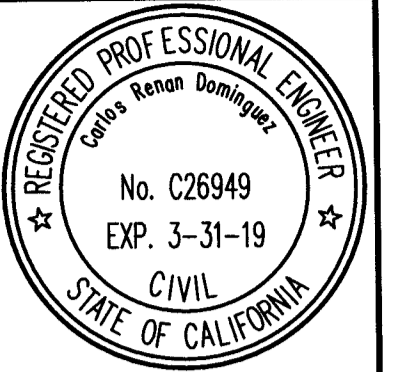
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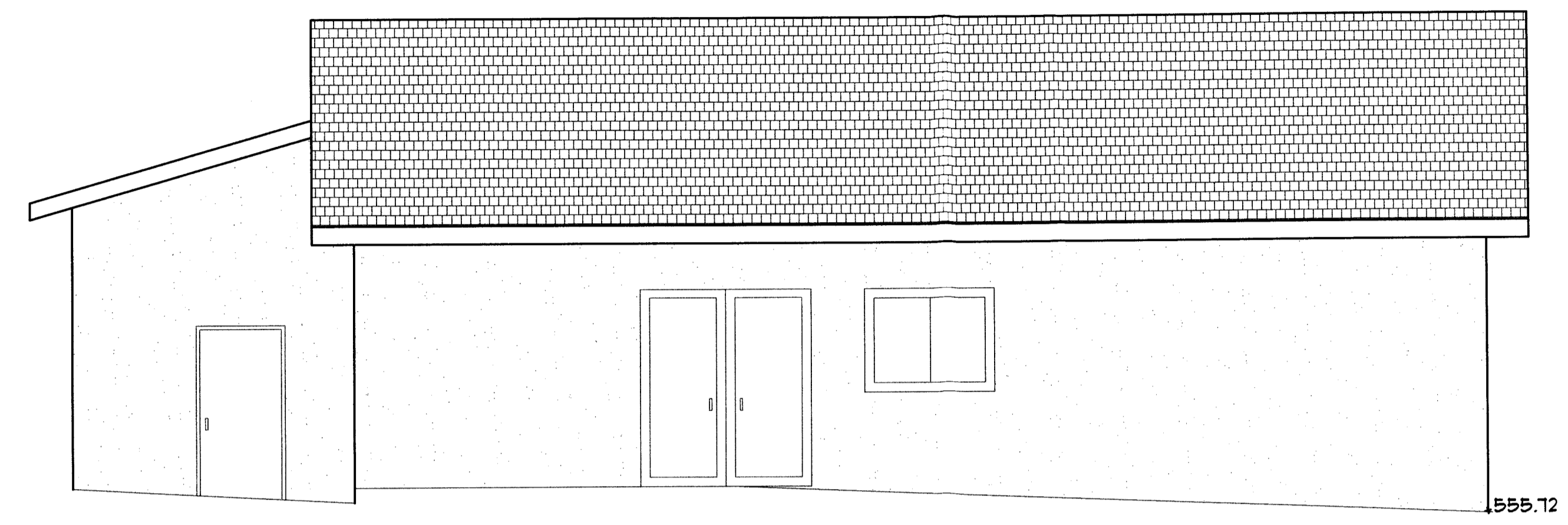
SCALE SHEET NUMBER

A4

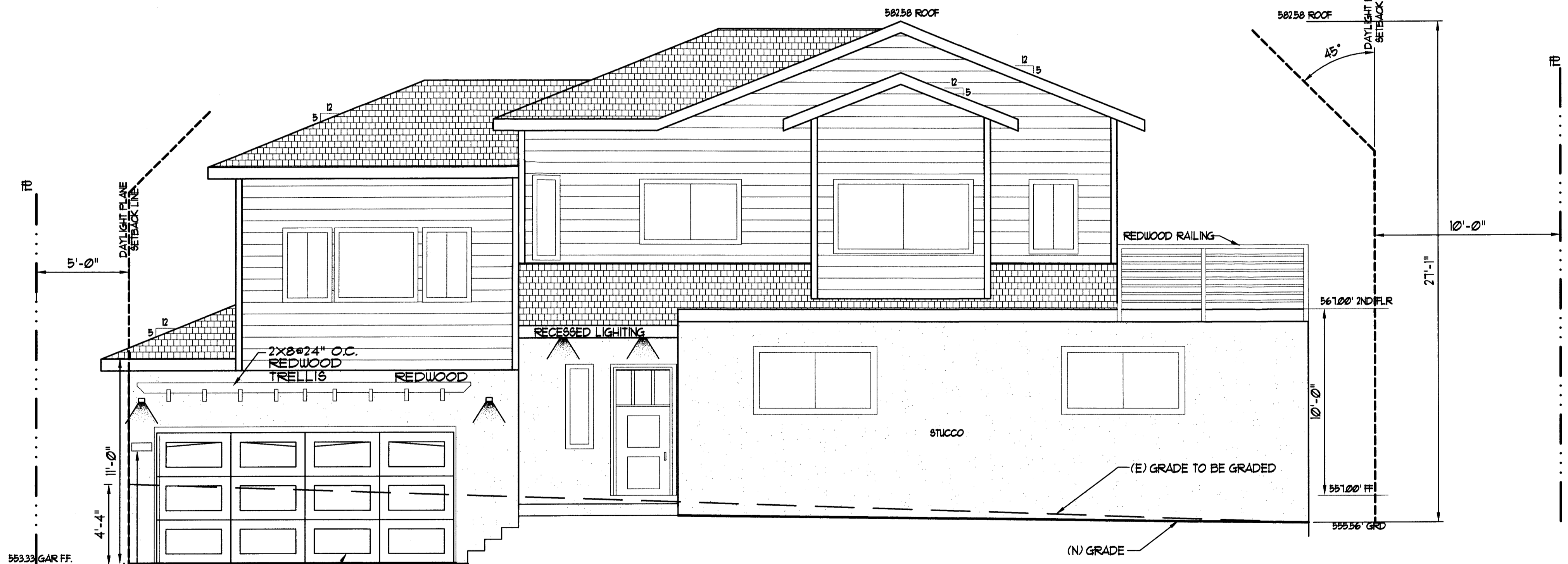
OF SHEETS
DATE 3-14-18
FILE HIL 1645



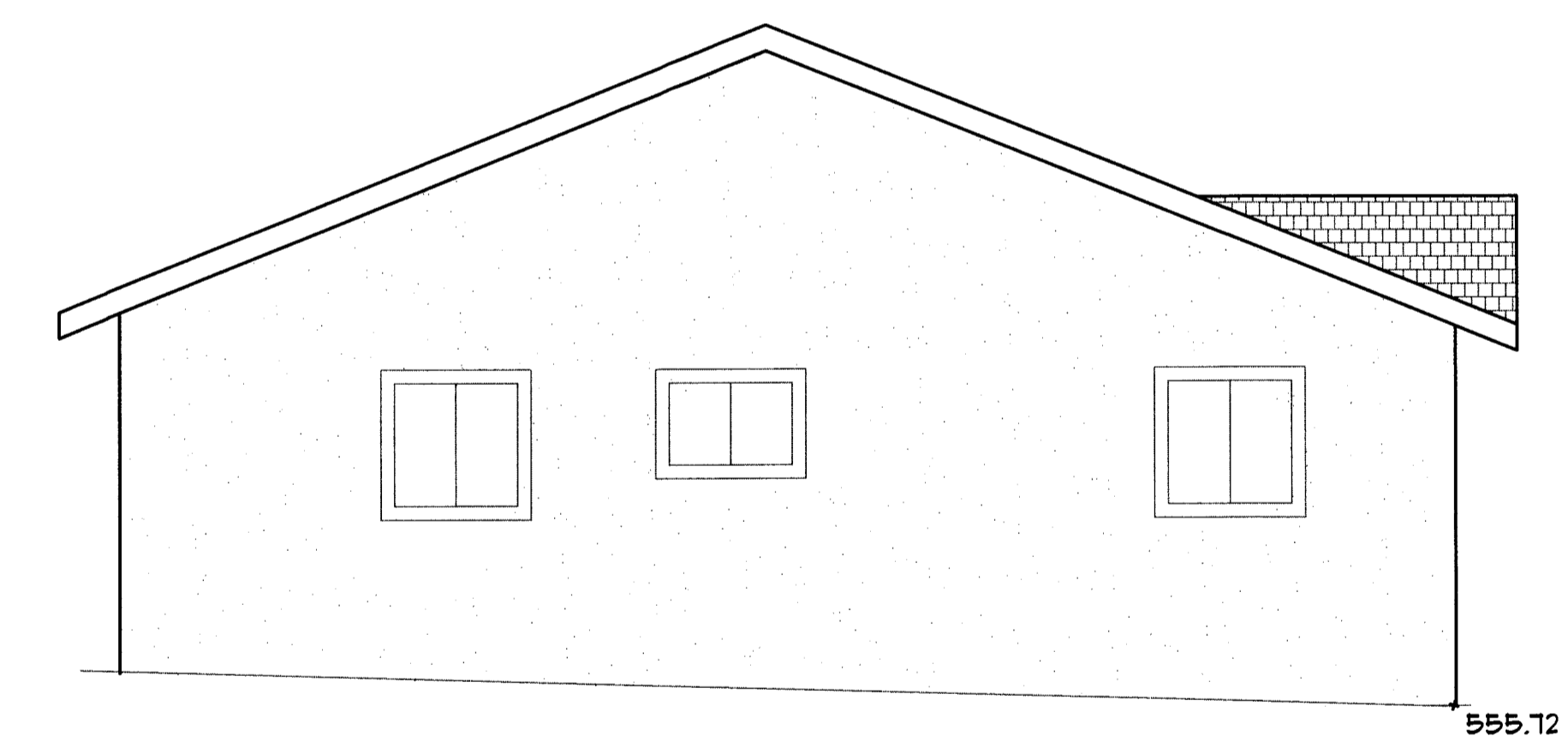
NEW LEFT ELEVATION
SCALE: 1/4"=1'-0"



(E) LEFT ELEVATION
SCALE: 1/4"=1'-0"



NEW VALENCIA STREET ELEVATION
SCALE: 1/4"=1'-0"



(E) VALENCIA STREET ELEVATION
SCALE: 1/4"=1'-0"

HOUSE COLORS:
2x4 PAINTED KELLY MOORE 5878 KETTLEMAN
TRIM TYP ALL WINDOWS & DOORS

HOUSE COLOR YELLOW KELLY MOORE
KM1 5291-1 BEACH TOWEL

ALL NEW EXTERIOR LIGHTS WILL BE:
HAMPTON BAY MODEL # HB4201MP-237
- 180-DEGREE OIL RUBBED BRONZE MOTION-SENSING OUTDOOR WALL LANTERN
- APPROVED BY THE INTERNATIONAL DARK SKY ASSOCIATION

NEW ADDITION FOR HILLHOUSE RESIDENCE
201 PALMA AVENUE, EL GRANADA CA

PACIFICA, CA. 94044
(650) 359-0947 EMAIL carlos@dominguezassociates.com

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT

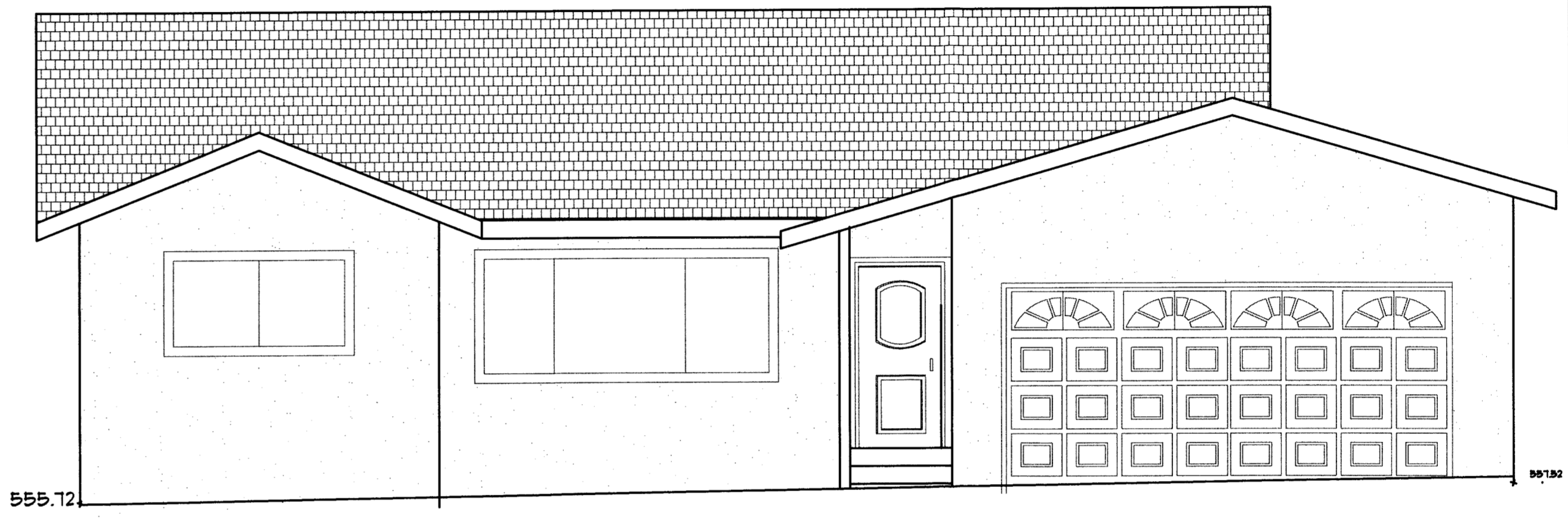
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A5
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FILE HIL 1645



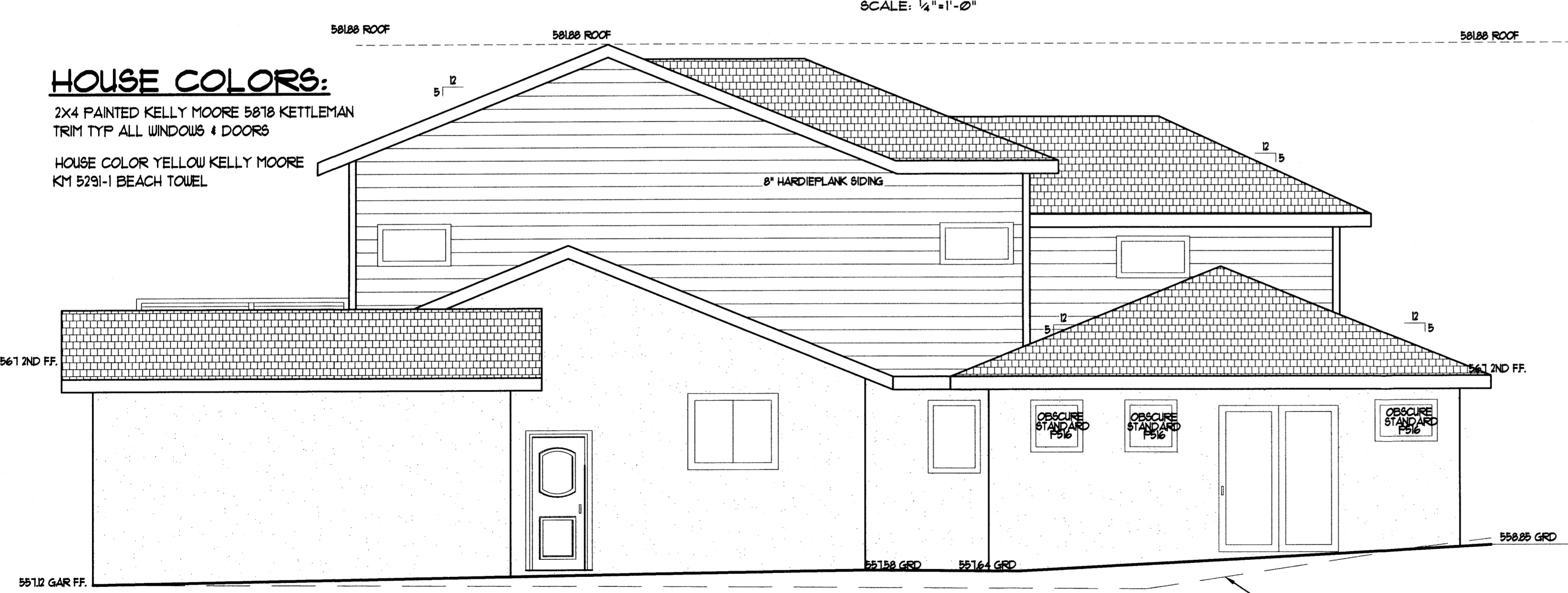
PALMA STREET ELEVATION
SCALE: 1/4"=1'-0"



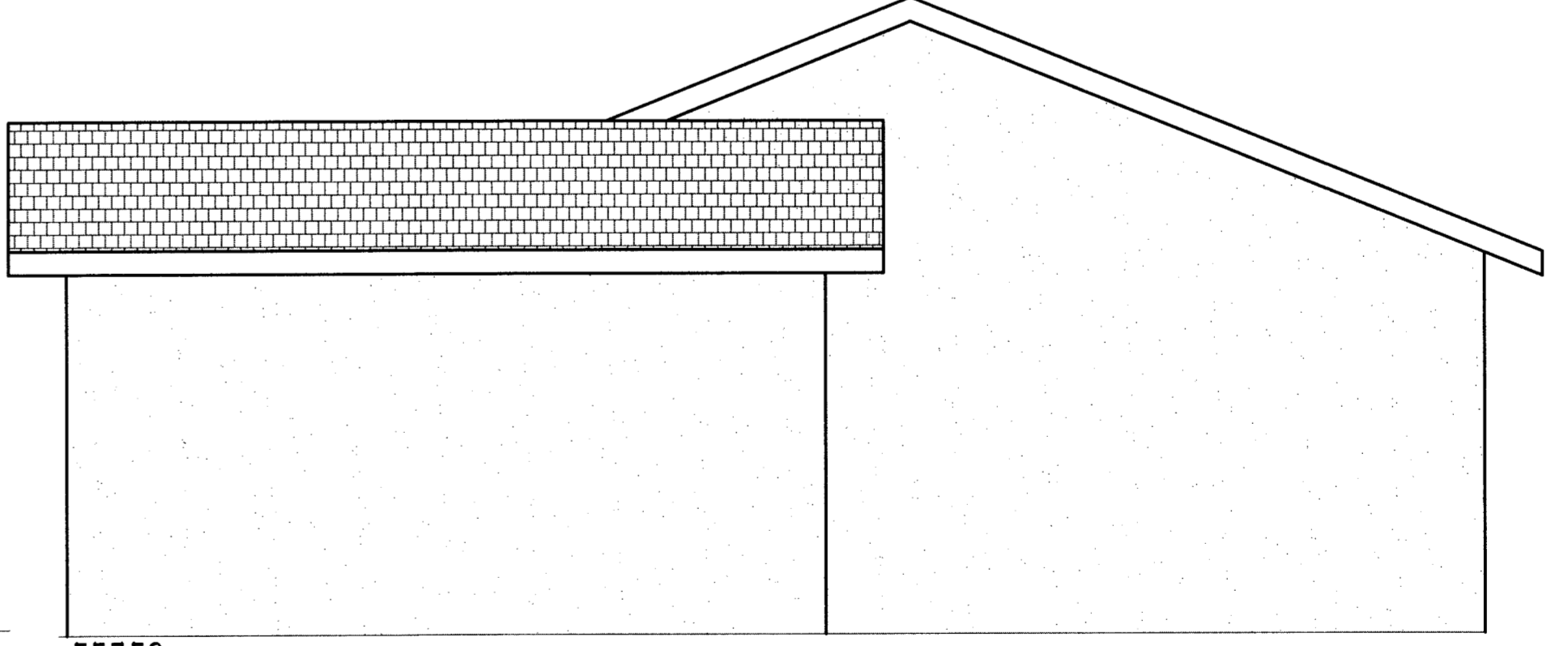
(E) PALMA STREET SIDE ELEVATION
SCALE: 1/4"=1'-0"

HOUSE COLORS:

2x4 PAINTED KELLY MOORE 5818 KITTLEMAN
TRIM TYP ALL WINDOWS + DOORS
HOUSE COLOR YELLOW KELLY MOORE
KM 5231-1 BEACH TOWEL



REAR ELEVATION
SCALE: 1/4"=1'-0"



(E) REAR ELEVATION
SCALE: 1/4"=1'-0"

ALL NEW EXTERIOR LIGHTS WILL BE:
HAMPTON BAY MODEL *HB4801MP-231
- 180-DEGREE OIL RUBBED BRONZE MOTION-SENSING OUTDOOR WALL LANTERN
- APPROVED BY THE INTERNATIONAL DARK SKY ASSOCIATION

NEW ADDITION FOR HILLHOUSE RESIDENCE
207 PALMA AVENUE, EL GRANADA CA

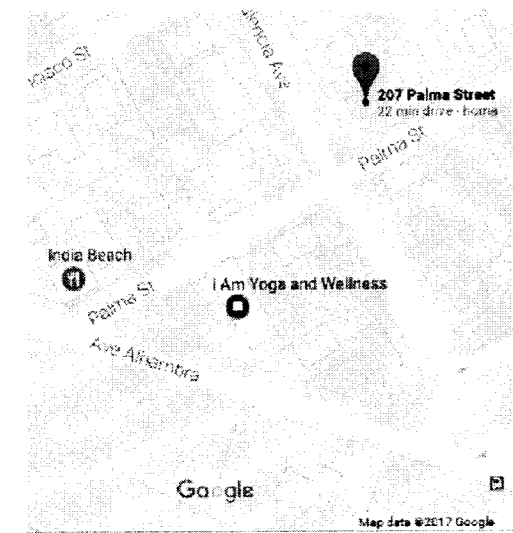
DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT
PACIFICA, CA. 94044
(650) 359-0947 EMAIL: carlos@dominguezassociates.com

REVISION	
NO.	DATE
1	8-23-18

SCALE
SHEET NUMBER

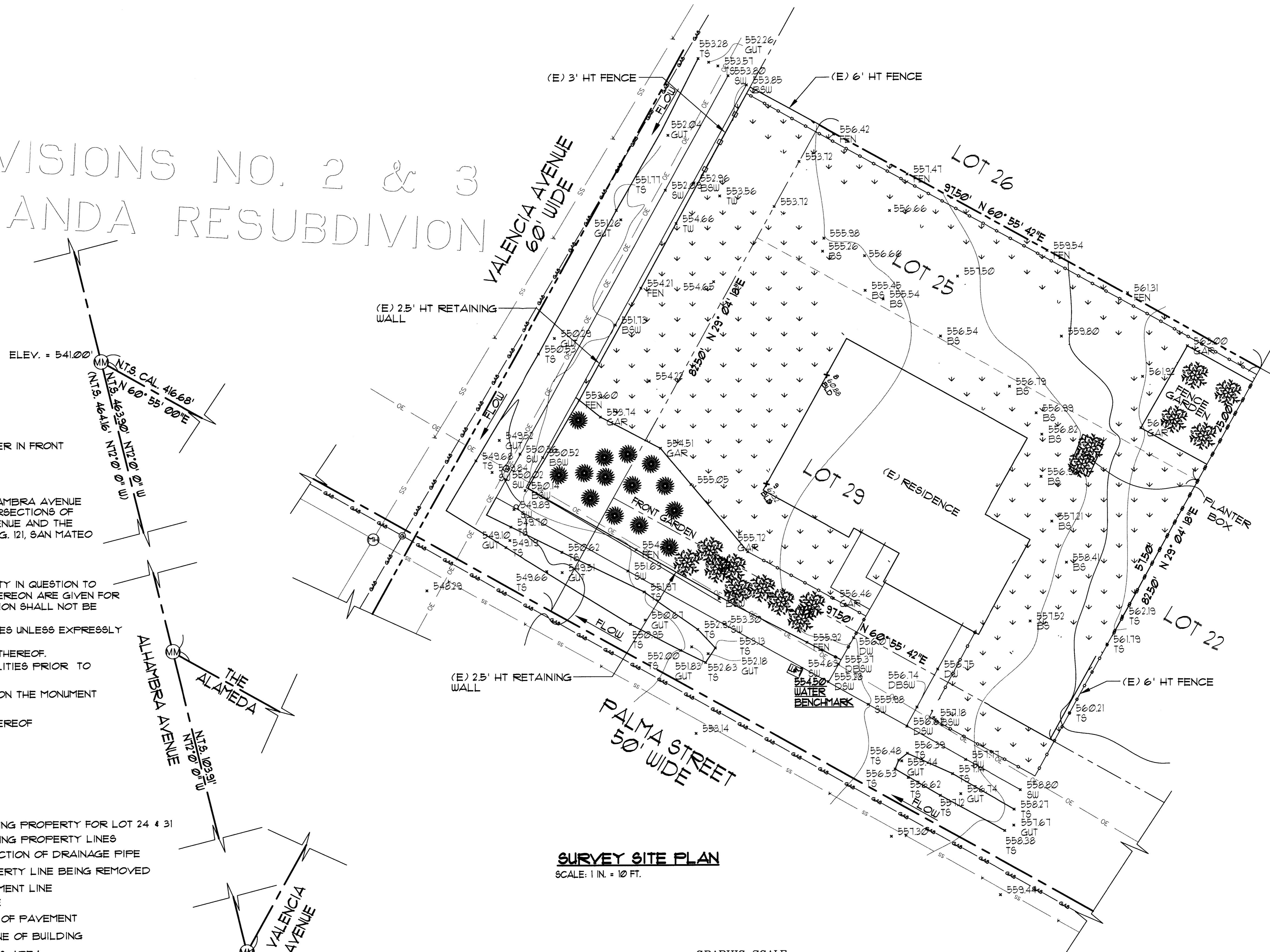
A6

OF SHEETS
DATE 3-14-18
FILE HIL 1645



VICINITY MAP
N.T.S.

SUBDIVISIONS NO. 2 & 3 OF GRANADA RESUBDIVISION



BENCHMARK

ELEVATION 554.50 WAS MEASURED ON TOP OF WATER METER IN FRONT OF EXISTING BUILDING ON PALMA STREET.

BASIS OF BEARINGS

THE BEARING, N 12° 0' 0" E ON THE MONUMENT LINE ON ALHAMBRA AVENUE BETWEEN FOUND STANDARD CITY MONUMENTS AT THE INTERSECTIONS OF PALMA STREET AND ALHAMBRA AVE AND ALHAMBRA AVENUE AND THE ALAMEDA AS SHOWN ON RECORD OF SURVEY VOLUME 14 PG. 121, SAN MATEO COUNTY RECORDS.

SPECIAL NOTES

1. ALL DIMENSIONS FROM THE BOUNDARIES OF THE PROPERTY IN QUESTION TO MONUMENT LINES OF THE MONUMENT MAP REFERRED TO HEREON ARE GIVEN FOR THE SOLE PURPOSE OF ITS RETRACEMENT. SUCH INFORMATION SHALL NOT BE USED FOR ANY OTHER PURPOSE.
2. ALL DEFLECTION ANGLES HEREON ARE 30 OR 45 DEGREES UNLESS EXPRESSLY OTHERWISE INDICATED.
3. ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.
4. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
5. ALL GRADES ARE BASED UPON ELEVATION OF 541.00' ON THE MONUMENT ON ALHAMBRA AVENUE AND PALMA STREET.
6. DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

ABBREVIATIONS

- P/L PROPERTY LINE
- EX. EXISTING
- FND. FOUND
- MEAS. MEASURED
- N.T.S. NOT TO SCALE

LEGEND:

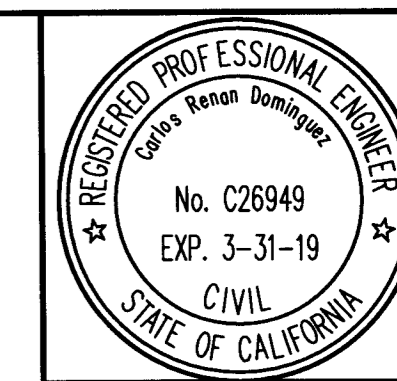
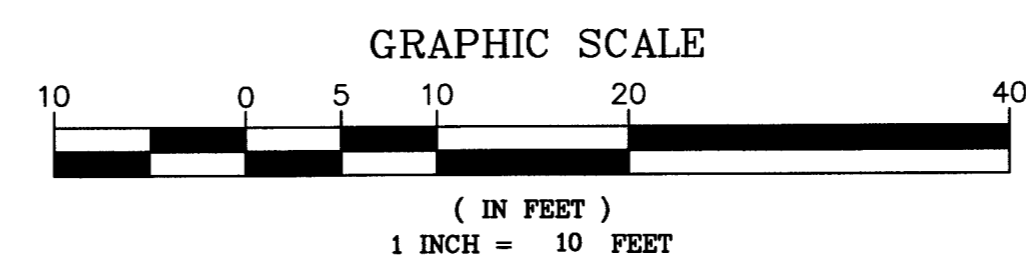
- EXISTING PROPERTY FOR LOT 24 & 31
- EXISTING PROPERTY LINES
- DIRECTION OF DRAINAGE PIPE
- PROPERTY LINE BEING REMOVED
- MONUMENT LINE
- FENCE
- EDGE OF PAVEMENT
- OUTLINE OF BUILDING
- GRASS AREA
- PLANTS
- CATCH BASIN

SYMBOLS

- ⊕ FND MONUMENT
- ⊙ WATER
- ⊠ UTILITY BOX
- ⊡ WATER METER

SURVEY SITE PLAN

SCALE: 1 IN. = 10 FT.



EXISTING TOPOGRAPHIC MAP FOR HILLHOUSE RESIDENCE
207 PALMA STREET, EL GRANADA

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT
PACIFICA, CA 94044
(650) 359-0947 E-MAIL: CARLOS@SANFRANMAIL.COM

REVISION

NO.	DATE
1	8-29-18

SCALE

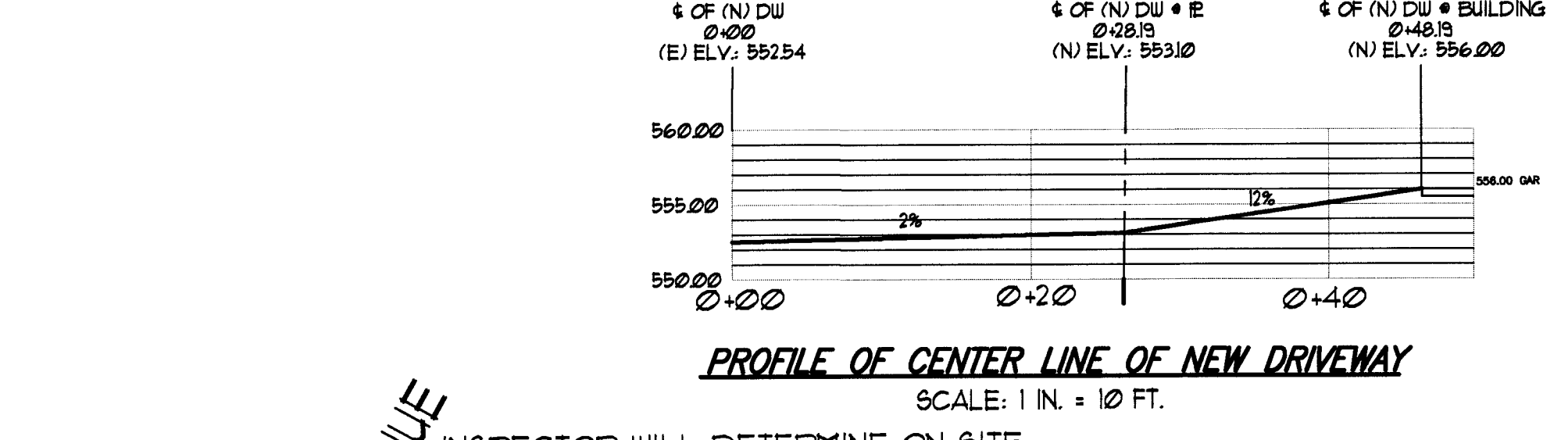
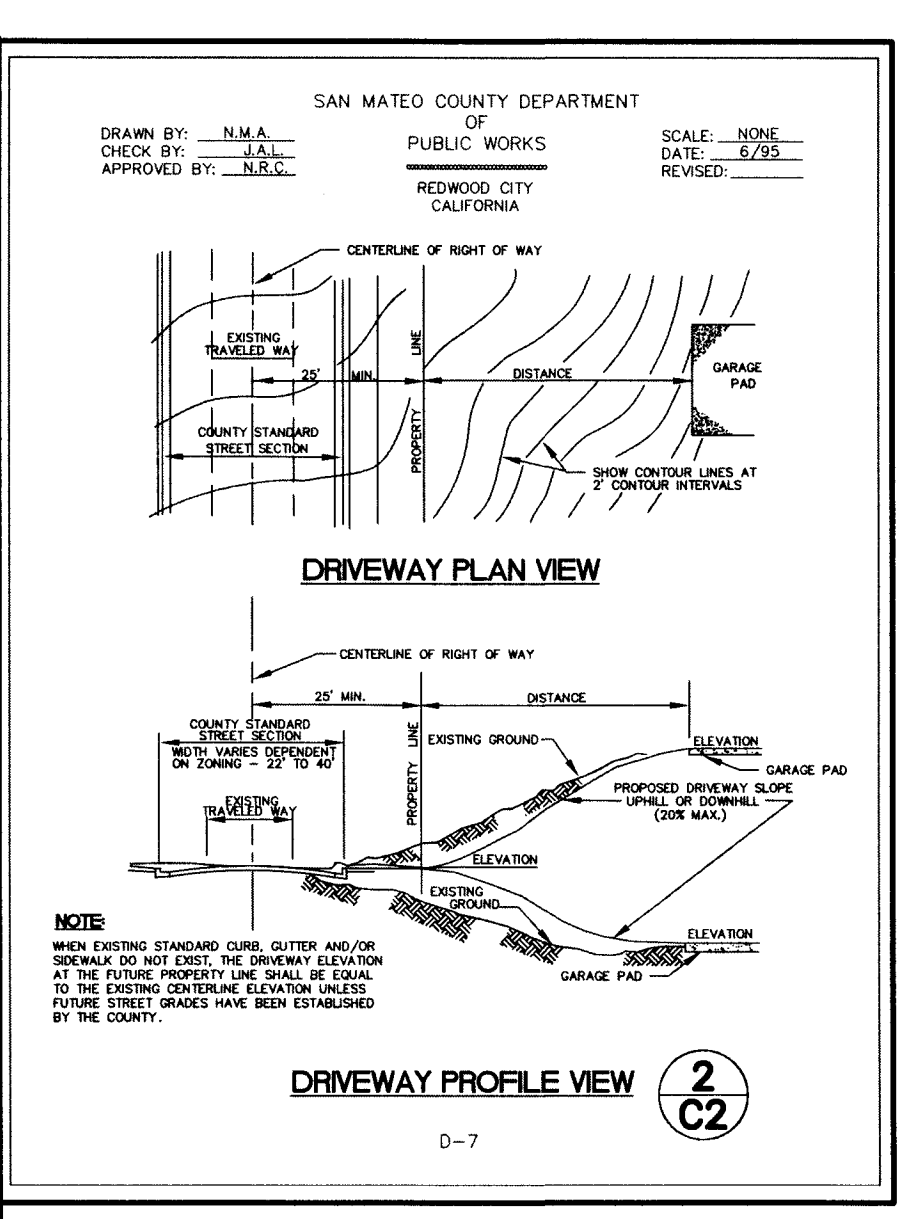
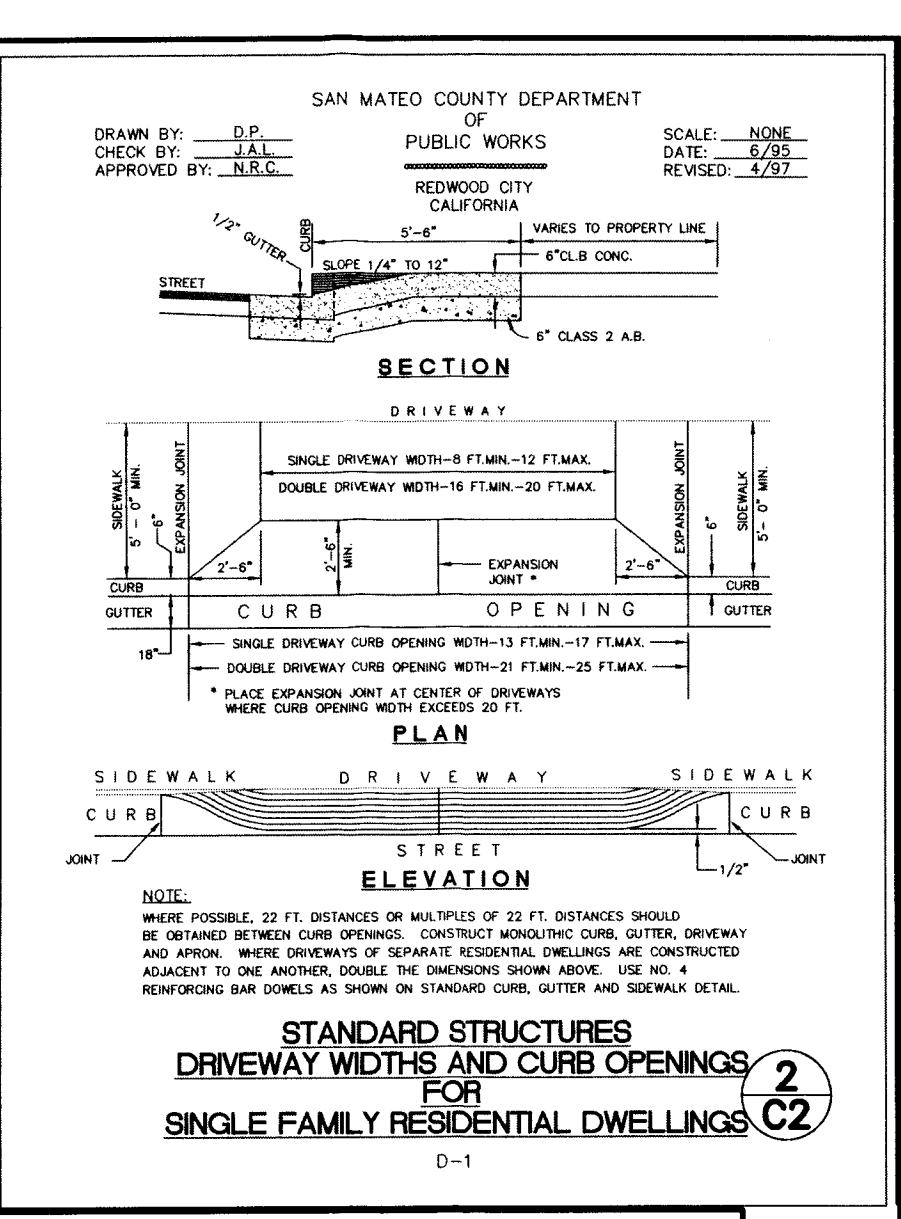
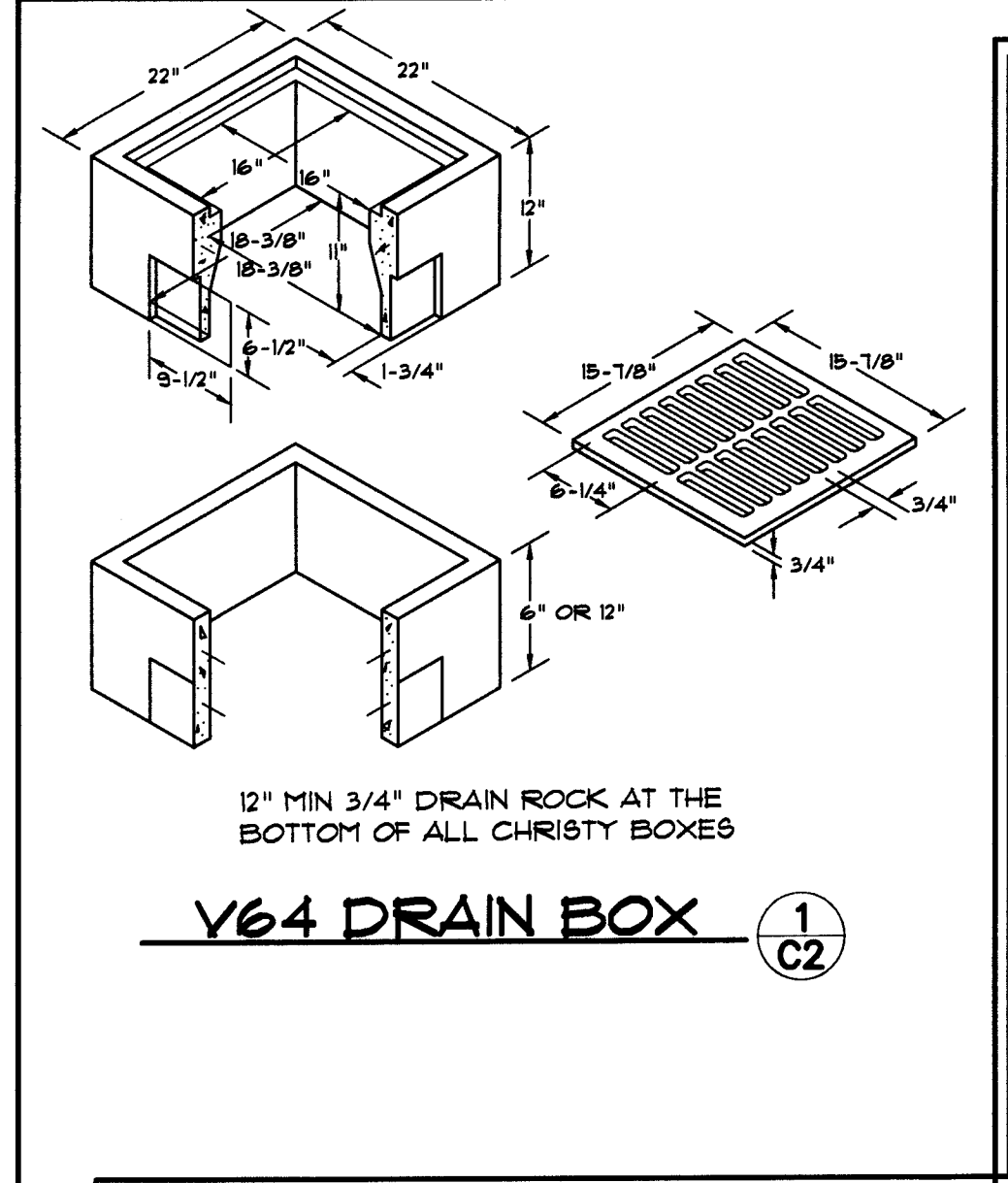
SHEET NUMBER

C1

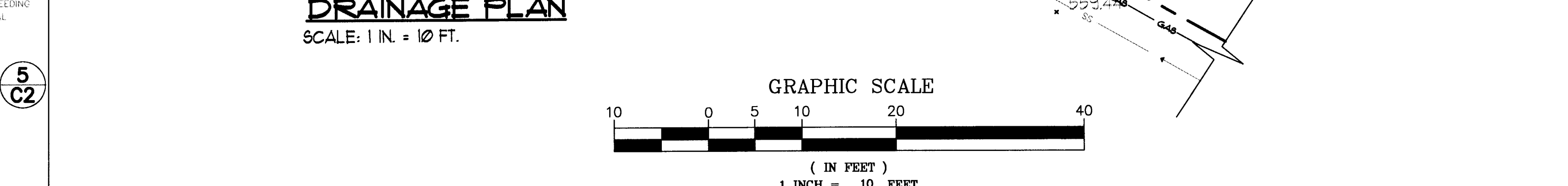
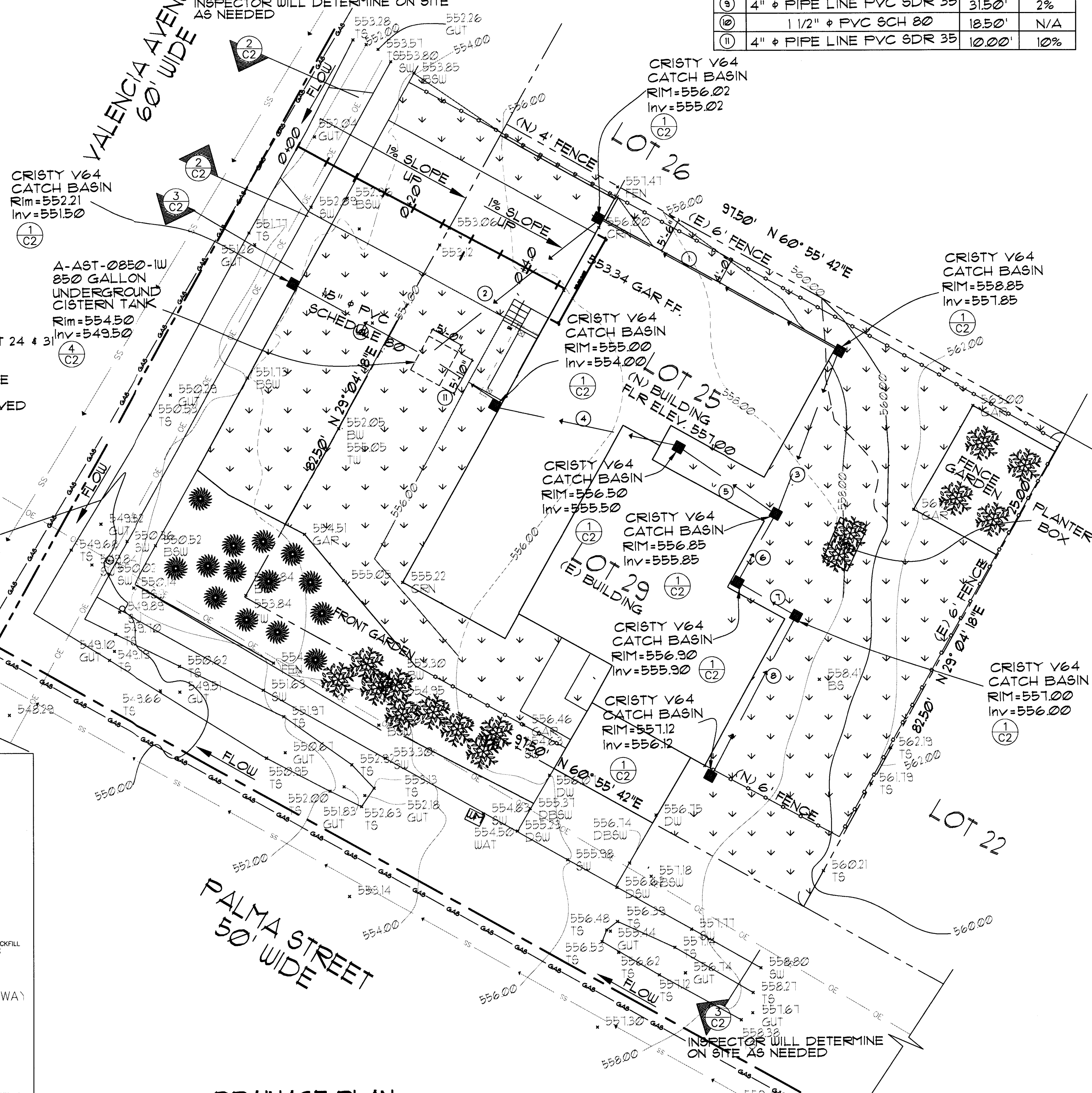
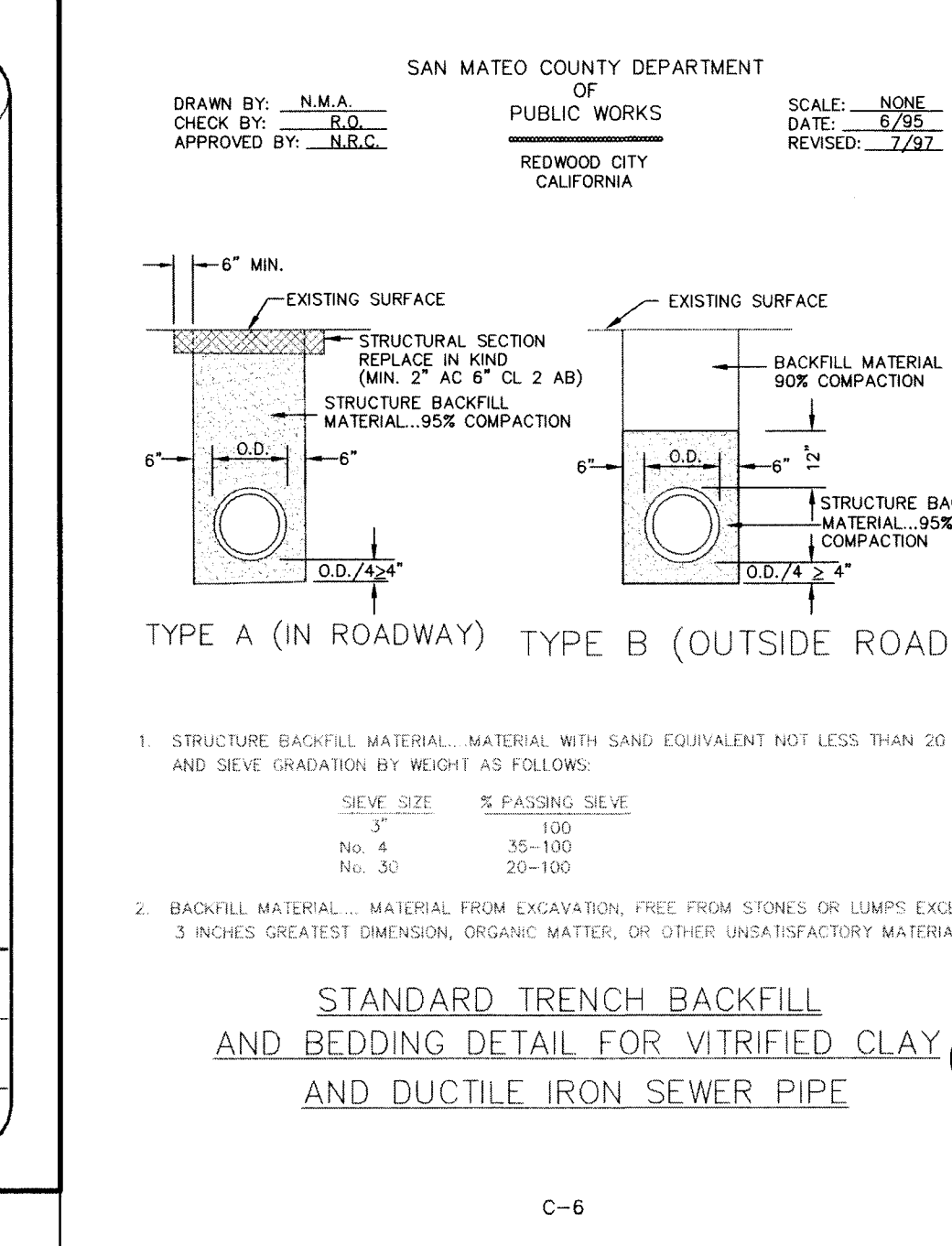
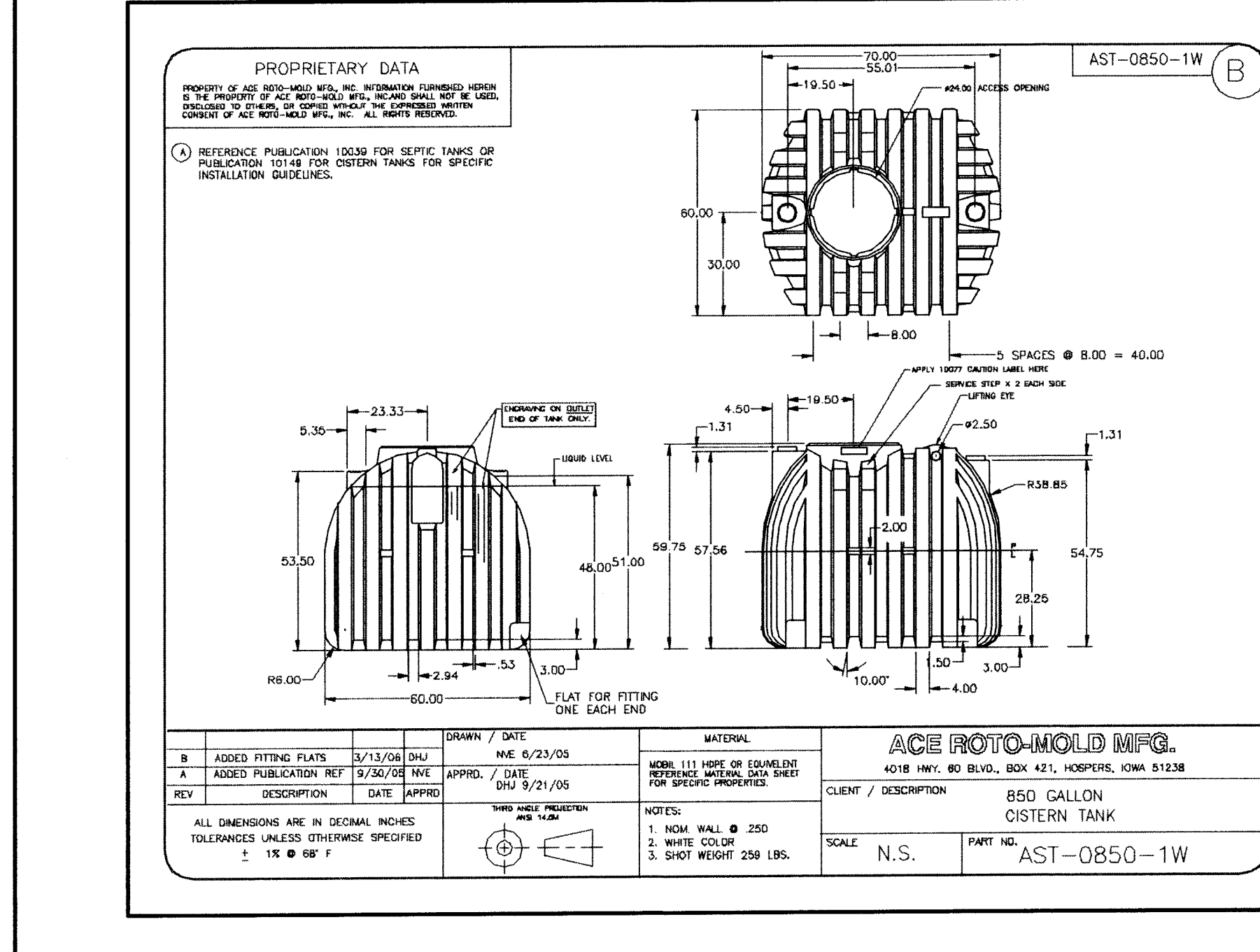
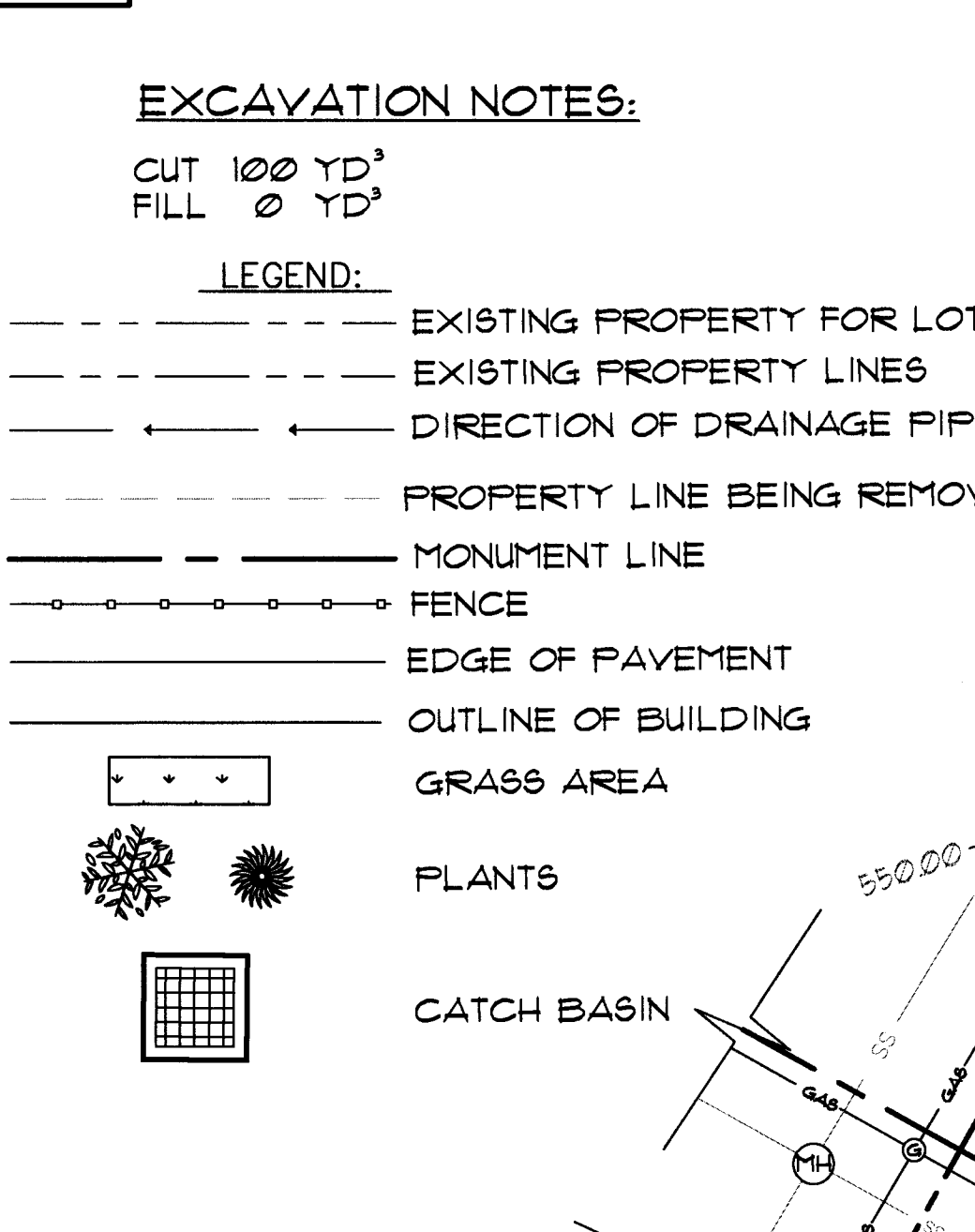
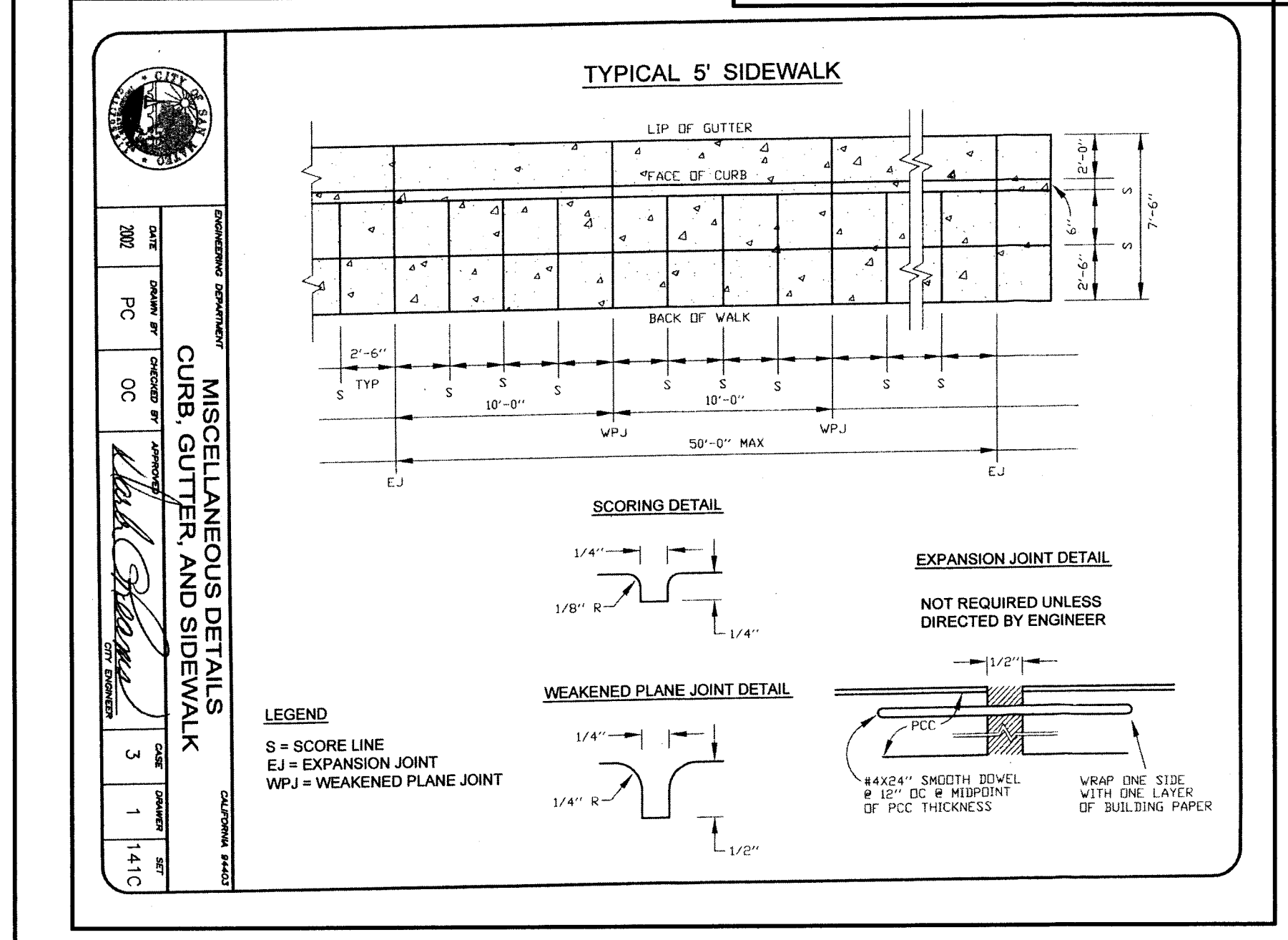
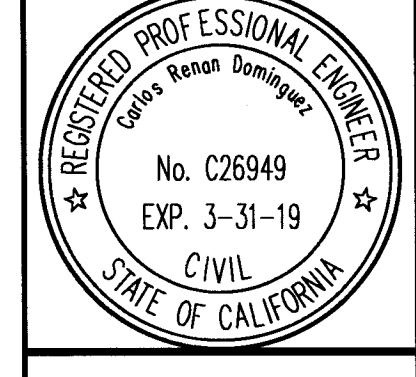
OF SHEETS

DATE 3-14-18

FILE HIL 1645



PIPE KEY			
KEY	TYPE	LENGTH	SLOPE
1	4" ϕ PIPE LINE PVC SDR 35	40.50'	7%
2	4" ϕ PIPE LINE PVC SDR 35	31.50'	10%
3	4" ϕ PIPE LINE PVC SDR 35	25.00'	7%
4	4" ϕ PIPE LINE PVC SDR 35	27.00'	2%
5	4" ϕ PIPE LINE PVC SDR 35	16.50'	4%
6	4" ϕ PIPE LINE PVC SDR 35	11.00'	2%
7	4" ϕ PIPE LINE PVC SDR 35	9.00'	5%
8	4" ϕ PIPE LINE PVC SDR 35	26.00'	7%
9	4" ϕ PIPE LINE PVC SDR 35	31.50'	2%
10	1 1/2" ϕ PVC SCH 80	18.50'	N/A
11	4" ϕ PIPE LINE PVC SDR 35	10.00'	10%



NEW EROSION AND DRAINAGE PLAN FOR HILLHOUSE RESIDENCE
201 PALMA STREET, EL GRANADA

DOMINGUEZ ASSOCIATES LLC
40 HUMBOLDT COURT
PACIFICA, CA. 94044
(650) 359-0947 E-MAIL: CARLOS@SANFRANMAIL.COM

REVISION	
NO.	DATE
1	5-3-18
2	8-29-18

SCALE

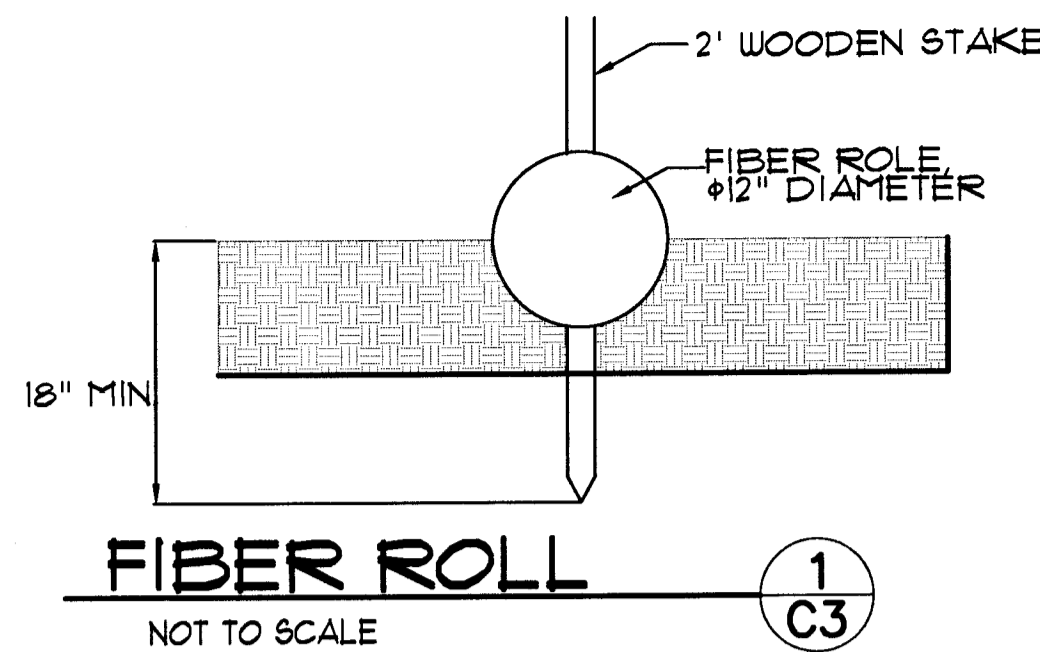
SHEET NUMBER

C2

OF SHEETS

DATE 3-14-18

FILE HIL 1645



EROSION CONTROL NOTES

FIBER ROLL
 INSTALL AT LOCATIONS SHOWN.
 AFFIX AS SHOWN IN DETAIL 2/C2

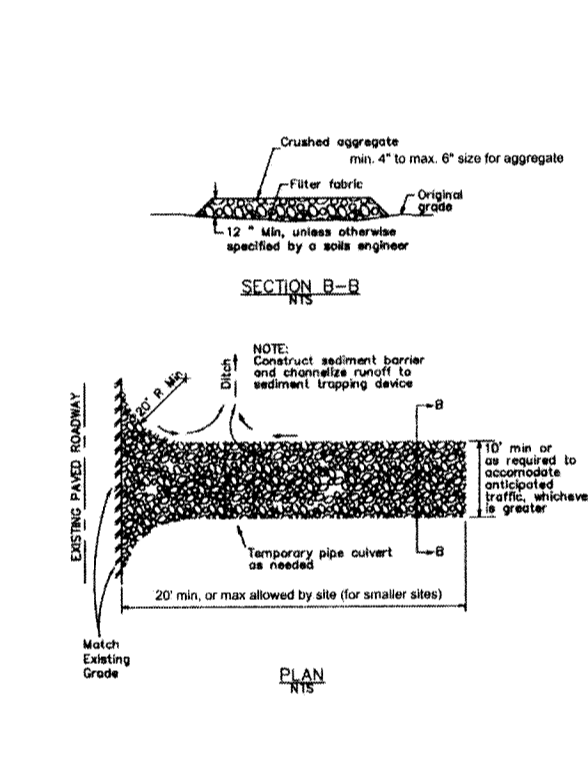
FOR CONSTRUCTION DURING DRY SEASON, ALL EXPOSED SURFACES SHALL BE WETTED PERIODICALLY TO PREVENT SIGNIFICANT DUST.

BETWEEN OCT 15 AND APRIL 15 ALL EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. SUCH PROTECTION SHALL CONSIST OF COIR LOGS, AS SHOWN.

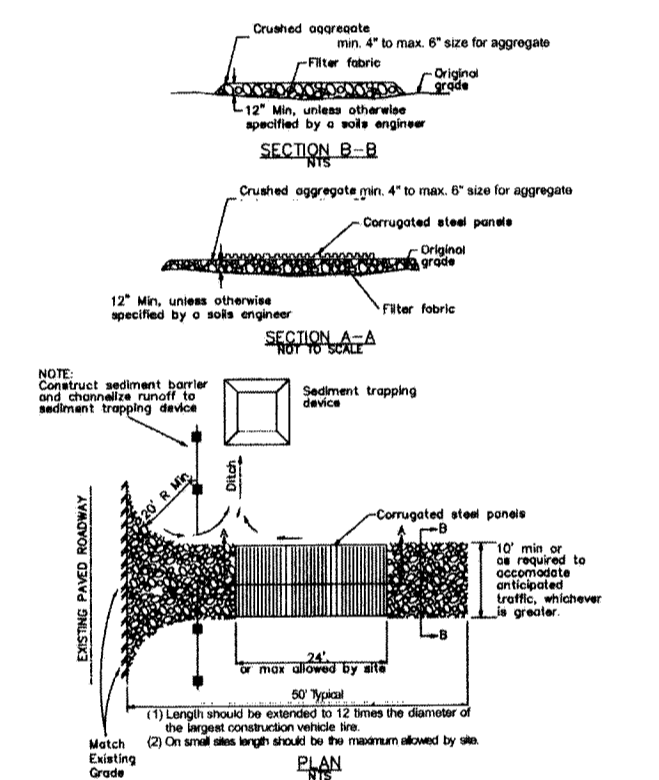
ALL STOCKPILED SOIL SHALL BE COVERED DURING PERIODS OF RAIN.

BEFORE COMPLETION OF PROJECT ALL EXPOSED OR DISTURBED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION, USING JUTE NETTING AND/OR SEED.

Stabilized Construction Entrance/Exit TC-1

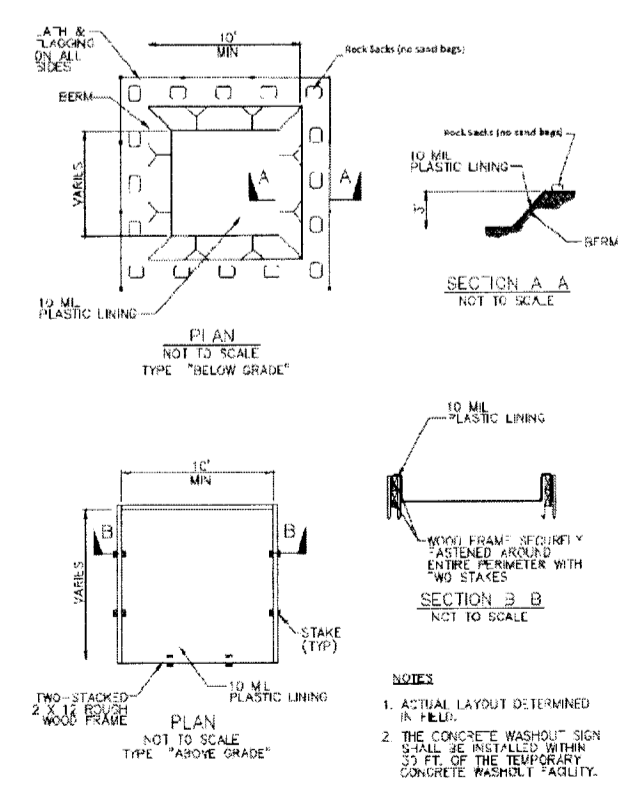


Stabilized Construction Entrance/Exit TC-2

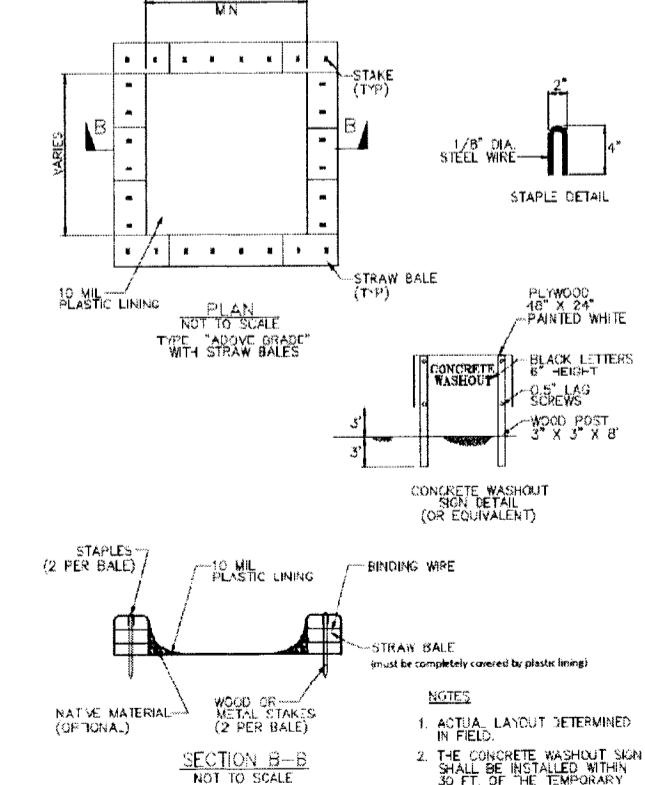


2 STABILIZED CONSTRUCTION ENTRANCE

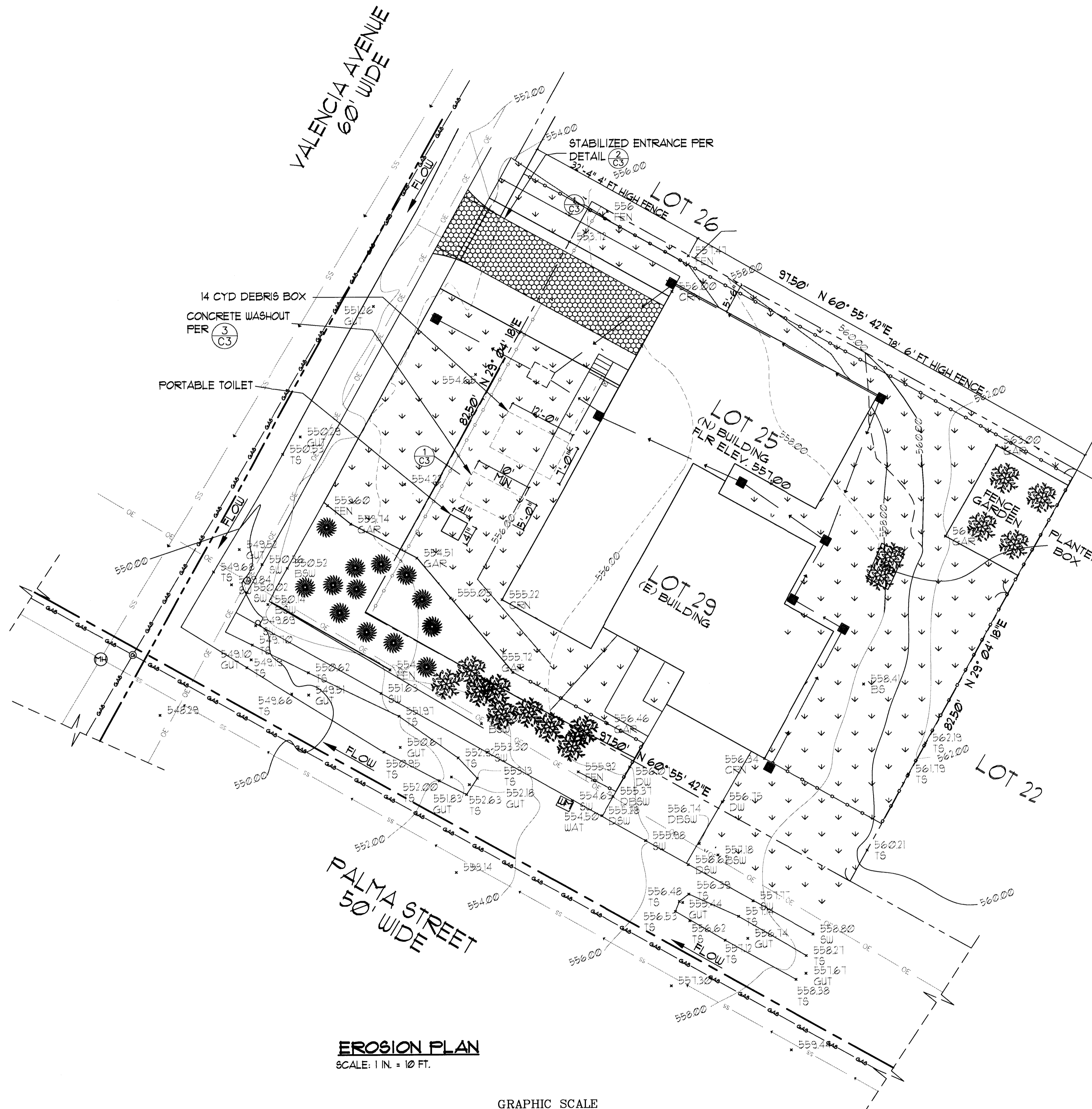
Concrete Waste Management WM-8



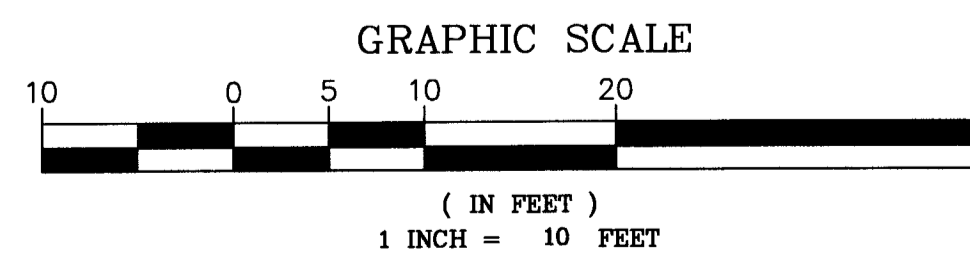
Concrete Waste Management WM-8



3 CONCRETE WASTE MANAGEMENT



EROSION PLAN
 SCALE: 1 IN. = 10 FT.



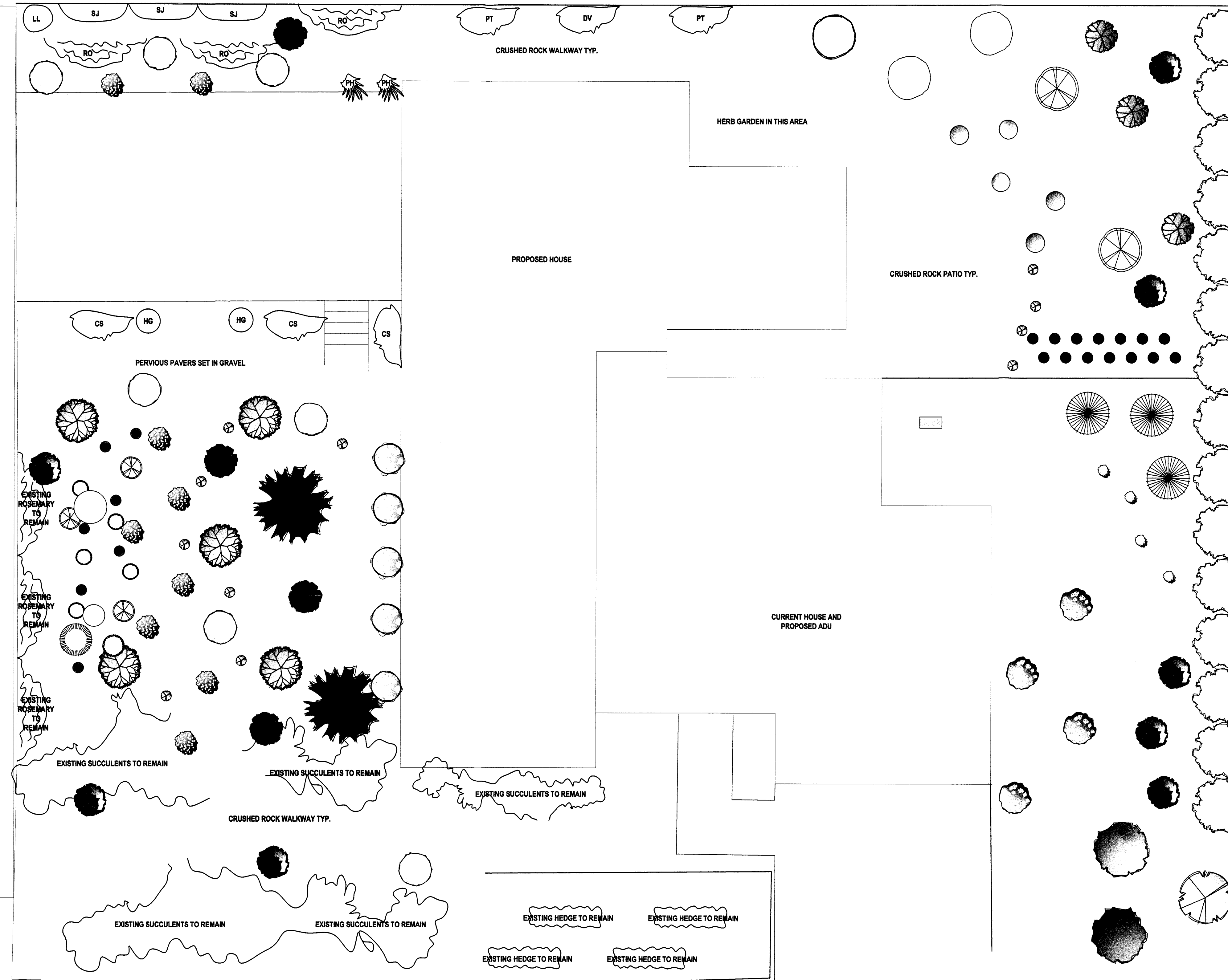
REVISION	
NO.	DATE
1	5-3-18
2	8-29-18

SCALE
 SHEET NUMBER

C3

OF SHEETS
 DATE 3-14-18
 FILE HIL 1645

Plant List - Simple with Images						
Image	ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
	BET 01-1	2	<i>Launus rostris</i>	weasel bay		
	BET 02	7	<i>Echeveria rostrata</i>	Painted schavers		
	BET 02-1	3	<i>Muhlenbergia capillaris</i>	pink muhly		
	BOC 01	5	<i>Eupatorium carum</i>	California fuda		
	BOC 02	1	<i>Agave desertiana</i>	Dwarf agave		
	BLS 01	1	<i>Citrus aurantiifolia</i>	Key lime		
	BLS 02	6	<i>Kalanchoe thyrsiflora</i>	paddle plant		
	BLST 01	3	<i>Hydrangea macrophylla</i>	hydrangea		
	BLST 02	2	<i>Leucadendron</i>	Leucadendron		
	BMS 01-1	4	<i>Plumbago auriculata</i>	blue plumbago		
	BMS 02	3	<i>Citrus mayeri</i>	Mayer lemon		
	BMS 02-1	8	<i>Argemone bicolor</i>	Kangaroo paw		
	BOT 01	4	<i>Pinus douglasiana</i>	Douglas pine		
	BOT 01-1	8	<i>Lantana x 'Mouset'</i>	lantana		
	BOT 02	4	<i>Berberis thunbergii</i>	Berberis		
	BOT 02-1	3	<i>Chondropetalum latifolium</i>	Elephant rush		
	BP 01	4	<i>Abelia x grandiflora</i>	Abeloscocoe		
	BP 02	7	<i>Salvia mellifera</i>	black sage		
	BP 02-1	14	<i>Verbena</i>	Verbena de la mina		
	BSSST 01	8	<i>Rhaphidolepis umbellata</i>	Rhaphidolepis		
	BSSST 02	8	<i>Agave attenuata</i>	Play of light fox tail agave		
	BTS 01-1	1	<i>Citrus reticulata 'Clementine'</i>	Clementine orange		
	BTS 01-2	11	<i>Argemone</i>	Day lily		
	BTS 02	15	<i>Dodonaea</i>	Dodonaea		



LANDSCAPE PLAN
SCALE: 3/16" = 1'-0"

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San Mateo County
Planning Division

REVISIONS	DATE	BY

MIDCOAST CONSULTING

DOUG MACHADO
PO BOX 2902
EL GRANADA, CA
650-726-1408
midcoastconsult@gmail.com

HILLHOUSE RESIDENCE
207 PALMA STREET, EL GRANADA, CA.
APN: 047-287-260

SHEET TITLE:
LANDSCAPE PLAN

SCALE: AS SHOWN
DATE: 11-17-2018

SHEET NO.
L-1