

February 6, 2019

Chezare Santini
1359 Hermosa Avenue
Pacifica, CA 94044

Dear Mr. Santini:

SUBJECT: Coastside Design Review Recommendation
350 9th Street, Montara
APN 036-025-330; County File No. PLN 2018-00269

At its meeting of December 13, 2018, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for Design Review Permit to allow construction of a new 2,179 sq. ft. two-story single-family residence, plus a 935 sq. ft. attached garage, located on a 6,014 sq. ft. legal parcel (legality confirmed via PLN2014 - 00066), as part of a staff-level Grading Permit, comprising of 310 cubic yards of cut and ten (10) cubic yards of fill. The CDRC was unable to determine the findings for design review approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required, with emphasis on Section 6565.20(C)1.d, Section 6565.20(C)2.a and b, Section 6565.20(D)1.a, c and d, and Section 6565.20(D)3. As such, recommendations from the CDRC for further project redesign are as follows:

Recommendations:

1. Revisit the massing, minimize the fenestration and improve the choice of materials for the proposed building.
2. The Landscape Plan is adequate. Saving the Cypress Tree is recommended, although they will eventually obscure the view to the north.

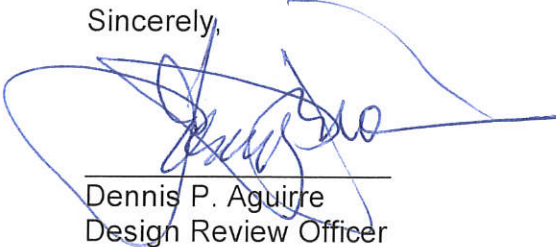
At the meeting, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Dennis P. Aguirre, Design Review Officer, at 650/363-1867, if you have any questions.



To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

Sincerely,



Dennis P. Aguirre
Design Review Officer

cc: Stuart Grunow, Member Architect
Bruce Chan, Member Architect
Beverly Garrity, Montara Community Representative
Sarah Copeland, Owner
Susan Lee, Interested Member of the Public
Geoff Long, Interested Member of the Public
Andrea Higdon, Interested Member of the Public

DPA:ann – DPADD0059_WNN.DOC

**0 9TH STREET, APN# 036-025-330. NEW DWELLING
MONTARA, CALIFORNIA**

DESIGN REVIEW

GENERAL NOTES

Before submitting a proposal for this work, the bidder shall visit the site and learn the existing conditions. The bidder shall examine the plans and specifications and base their bid on them. During construction, no changes from plans and specifications shall be made without written consent of the Designer and Owner. Structural changes must be approved by the Designer and the Structural Engineer. Information contained within these documents shall not be construed to permit work not conforming to the applicable codes.

The General Contractor (G.C.) shall obtain and pay for all permits (except those paid for by the Owner) and licenses and shall give all notices. G.C. shall review all documents to coordinate with the existing site conditions. The G.C. is required to comply with all current Codes, Ordinances, & Regulations related to this project. Any conflict between drawings, specifications, and ordinances shall be immediately referred to the Designer in writing. The G.C. for this work shall be currently licensed by the State of California. The employees and subcontractors used by the G.C. to construct and finish the work shown on the plans must all be skilled workmen under the directions of a competent foreman. The G.C. shall continuously maintain adequate protection of all work from damage and shall protect the Owner's property and adjacent property from injury, damage, or loss arising from this contract.

The G.C. shall, at all times, keep the premises and streets free of waste caused by the work, and at completion, shall remove all waste, surplus materials and equipment and leave the work 'broom clean'. Roadways shall be maintained clear of construction debris at all times. Daily road cleanup will be enforced. The G.C. shall verify the location of all existing underground utilities prior to excavation and shall maintain, keep in service, and protect against damage, all existing utilities and city services during construction. Any existing utilities to be abandoned shall be properly disconnected, plugged, or capped as required by code and/or sound construction practices. G.C. to provide an operation and maintenance manual to occupant or owner per section 4.410.1.

The Owner may order extra work or make changes by altering, adding to, or deducting from the work. The Contract sum shall be adjusted accordingly and adequate records shall be kept by the G.C. to substantiate any additional charges. All work shall be executed under the conditions of the original Contract Documents.

The Owner shall not be liable or responsible for any accident, loss, injury, or damages happening or accruing during the term of the performance of the work and in connection therewith, to persons and/or property. The G.C. shall have in full force and effect during the life of this Contract, full coverage Liability and Workmen's Compensation Insurance, which shall comply with California laws and will not be canceled or changed during the term of this Contract without notice being given to the Owner, and shall require all intermediate and Subcontractors to take out and maintain similar policies of Insurance.

In addition to guarantees called for elsewhere in these specifications, the G.C. shall guarantee all work for a period of one (1) year after notice of completion is filed, against defective materials or faulty workmanship, that is discovered and reported within that period.

The site plan is based on plot plans transferred by the Owner or the local City or County Governments. The Designer takes no responsibility for the accuracy of property lines and their relationship to existing and proposed structures. Measurements are approximate and will need to be verified in the field by the G.C. When layout or detail questions arise, the Designer shall be contacted.

In general the drawings will indicate dimensions, position, type of construction, specifications, qualities and methods. Any work indicated on the drawings, and not mentioned in the specifications, or vice versa shall be furnished as though fully set forth in both. Work not particularly detailed, marked, or specified shall be the same as similar parts that are detailed marked or specified. Where no specific detail is shown, the framing or construction shall be identical or similar to that indicated for like cases of construction on the project. The larger the scale of the drawing, the more precedent, i.e.: 3 inches per foot scale governs 1/4 inch per foot scale. Written dimensions on these drawings shall have precedence over scaled dimensions. Written dimensions are approximate and must be verified by G.C. The G.C. shall verify, and be responsible for all existing conditions and dimensions prior to and during all phases of work.

All recorded survey points, whether within private property or public right-of-way shall be protected and preserved. If survey point/s are altered, removed, or destroyed, the G.C. and/or Owner shall be responsible for obtaining the services of a Licensed Surveyor or qualified Civil Engineer to restore or replace the survey points and record the required map prior to completion of the Building Permit.

If any Subcontractor finds any lack of information, discrepancy, and/or omissions in these drawings, or if the Subcontractor is unclear as to the drawings' meaning and/or intent, the Subcontractor shall contact the G.C., who shall then contact the Designer at once for interpretation and/or clarification before proceeding with that portion of work.

The G.C. shall provide adequate concealed blocking and anchoring for all ceiling and wall mounted equipment, hardware, fixtures, and accessories.

Exterior open-able windows and doors shall be weatherstripped. All open joints, penetrations, and other openings in the building envelope shall be sealed, caulked, gasketed, and/or weatherstripped to limit, or eliminate air leakage.

See attached Title 24 forms and/or calculations for project energy efficiency requirements.

All inspections require 24 hour notice.

Construction working hours shall not exceed beyond 7am to 6pm Monday through Friday without written permission from the City of Montara.

Construction work within the street or sidewalk right-of-way shall only be done between 9am and 4pm, Monday through Friday, except City holidays, without written permission from the County Engineer.

Building will be protected by an automatic fire sprinkler system.

PROPERTY INFO:

- 0 9TH STREET, MONTARA, CA. 94037
- PARCEL NUMBER: 036-025-330
- R-1 SINGLE FAMILY RESIDENTIAL
- OCCUPANCY GROUP: R-3/U
- CONSTRUCTION TYPE: VB
- SINGLE FAMILY RESIDENCE: 4 BEDROOMS, 3 BATHROOMS
- TWO STORY HOUSE
- FIRST FLOOR: CONCRETE & WOOD FRAMED WITH STUCCO AND ----- SIDING
- 2ND FLOOR: MODULAR (M3) MANUFACTURED BY HONOMOBO

APPLICABLE CODES:

ALL WORK SHALL MEET OR EXCEED THE MINIMUM STANDARDS OF THE FOLLOWING CODES;

- 2016 CALIFORNIA ENERGY CODE
- CRC 2016
- CBC 2016
- CMC 2016
- CPC 2016
- CEC 2016
- CFC 2016
- CGB 2016

SCOPE OF WORK:

- EXCAVATE SITE AS NEEDED
- BUILD NEW 2 STORY HOME

SEPARATE SUBMITTALS:

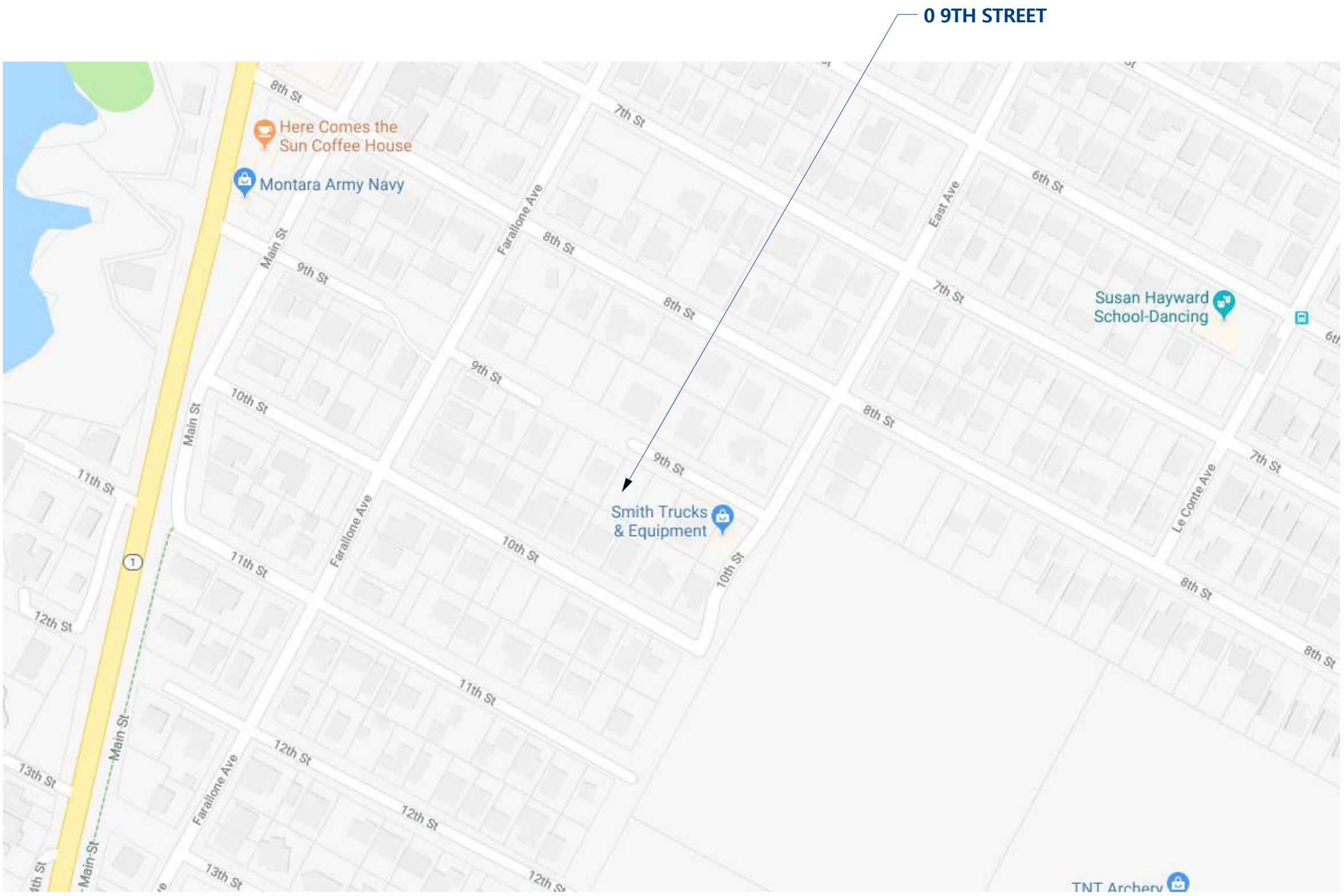
- DESIGN OF THE FIRE SPRINKLER SYSTEM(S) FOR RESIDENCE IS TO BE SUBMITTED FOR REVIEW UNDER A SEPARATE SUBMITTAL AND APPLICATION TO THE COASTSIDE FIRE PROTECTION DISTRICT.

SYMBOLS

- 1 A-0 ← DETAIL DESIGNATION SHEET NUMBER
- 1 A-0 ← DIRECTION OF VIEW DETAIL DESIGNATION SHEET NUMBER
- 1 ← KEYNOTES
- 1 ← REVISION NUMBER
- ← NORTH ARROW

DRAWING INDEX:

- CS COVER SHEET
- SU.1 TOPOGRAPHIC SURVEY
- SU.2 FLOOR PLAN OVER TOPOGRAPHIC SURVEY
- SP SITE PLAN
- A1 FIRST FLOOR PLAN
- A2 SECOND FLOOR PLAN
- A3 NORTH & WEST ELEVATIONS
- A4 SOUTH & EAST ELEVATIONS
- A5 CROSS SECTIONS
- A6 ROOF PLAN
- A7 COLOR PLAN
- A1.1 FLOOR PLAN (HONOMOBO - G4 M3)
- A1.2 COLOUR PLAN (HONOMOBO - G4 M3)
- A1.5 WINDOW DOOR PLAN (HONOMOBO - G4 M3)
- A1.7 BUILDING SECTION (HONOMOBO - G4 M3)
- A1.8A ROOF SLOPE PLAN (HONOMOBO - G4 M3)
- A1.11 EXTERIOR ELEVATION 1 (HONOMOBO - G4 M3)
- A1.11A EXTERIOR ELEVATION 2 (HONOMOBO - G4 M3)
- C1 GRADING AND DRAINAGE PLAN
- C2 EROSION, SEDIMENT CONTROL AND TREE PROTECTION PLAN
- L1 LANDSCAPING PLAN



2 VICINITY MAP



1 PARCEL MAP

SITE DATA	EXISTING		PROPOSED		ALLOWED	
	AREA (SQ. FT.)	%	AREA (SQ. FT.)	%	AREA (SQ. FT.)	%
LOT AREA	6,014					
PARCEL COVERAGE	-	-	1,769	29.4	2,104	35.0
FLOOR AREA	FIRST FLR.	-	STORAGE 824		FIRST FLR.	-
	SECOND FLR.	-	SECOND FLR. 1,212		SECOND FLR.	-
	GARAGE	-	GARAGE 813		GARAGE	-
			STAIRWELL 132			
			(LANDSCAPE) 4,245			
TOTAL:	-	-	TOTAL: 2,981	49.5	TOTAL: 3,187	53.0

REVISIONS

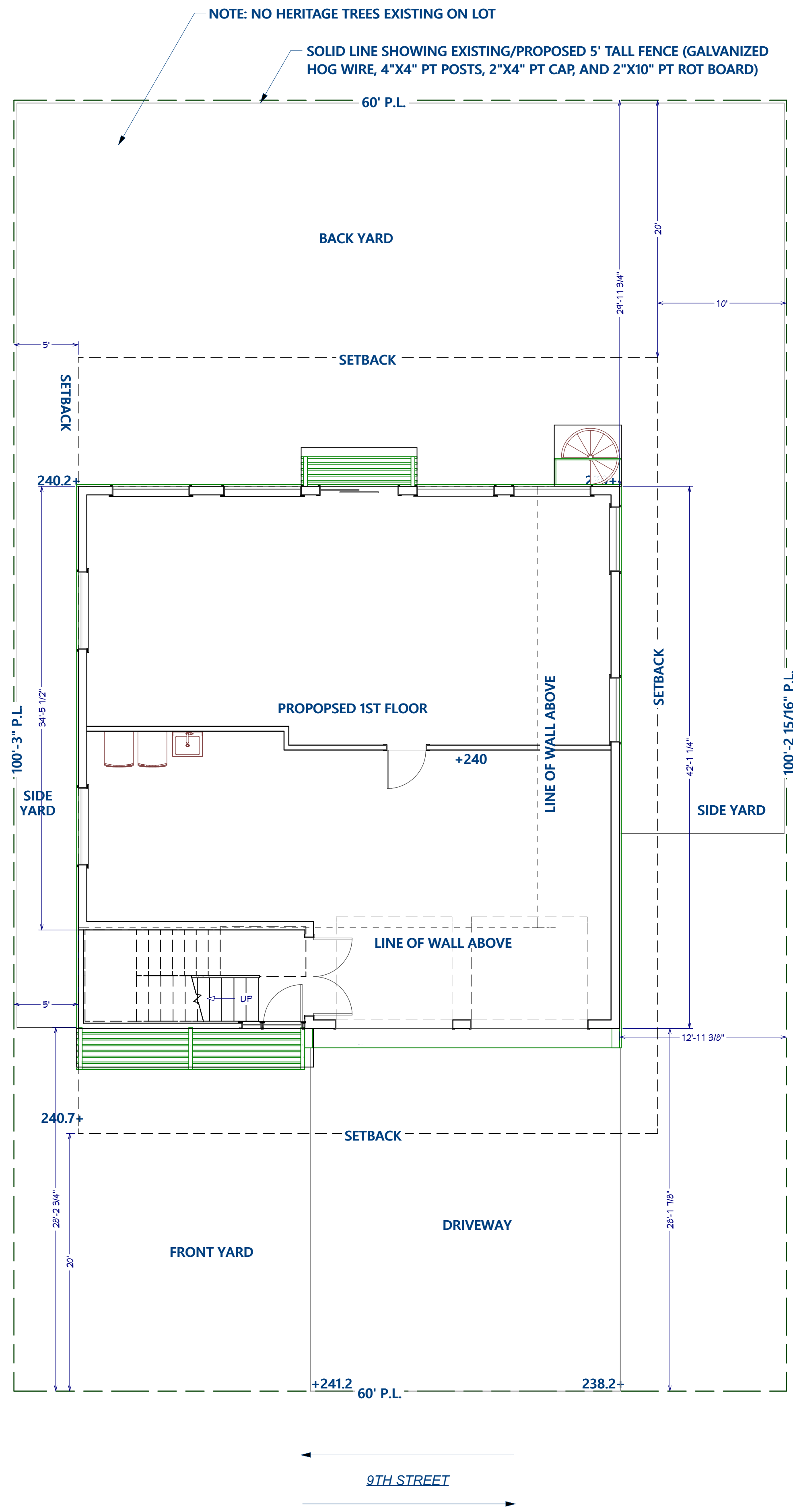
ANTINI CREATIONS

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*New Single Family Dwelling
Copeland Residence
0 9th Street
Montara, Ca. 94044*

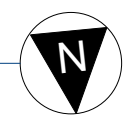
COVER SHEET

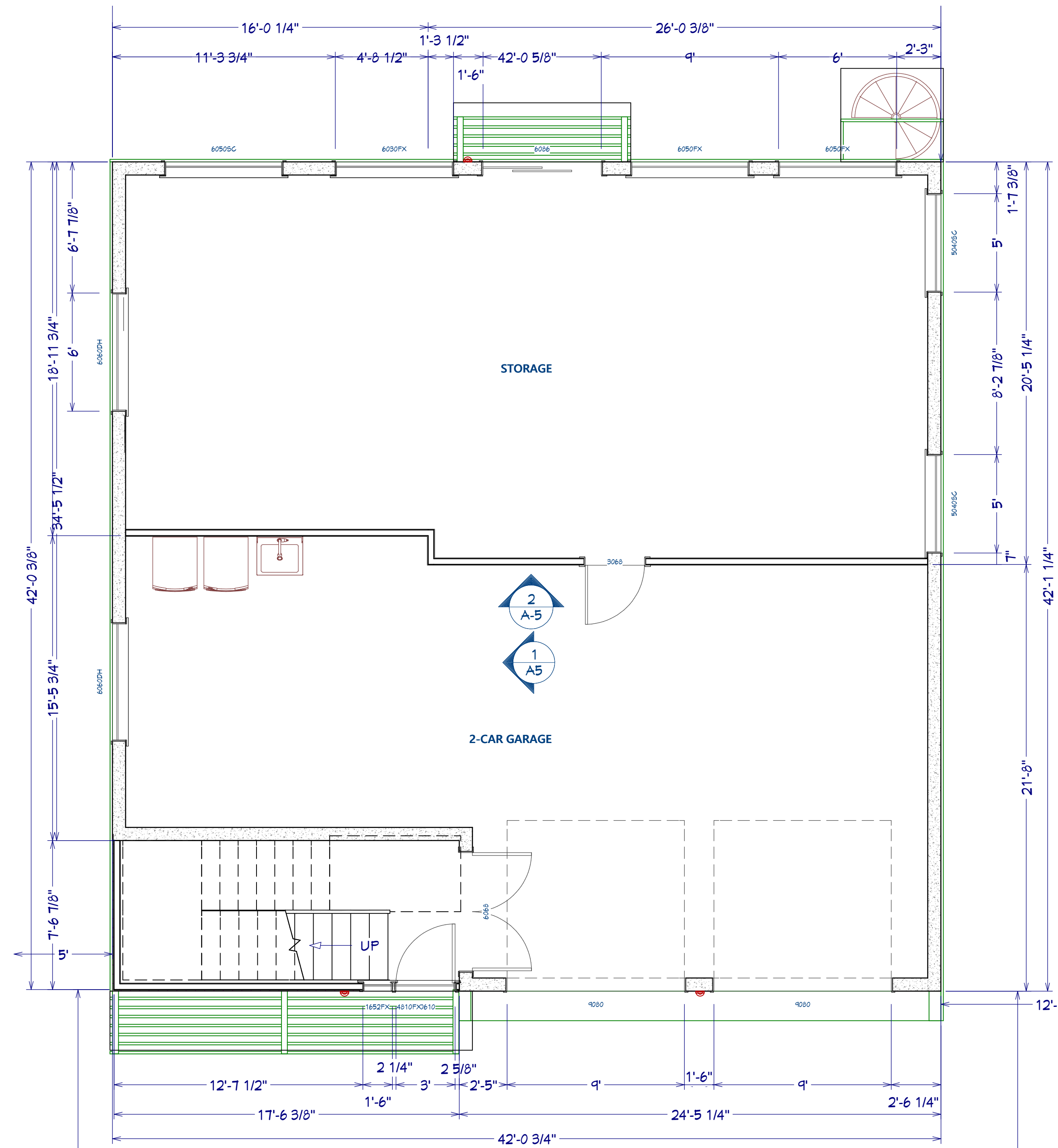
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SHEET: CS



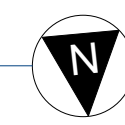
- COASTSIDE FIRE PROTECTION NOTES:**
- SMOKE ALARM/DETECTOR ARE TO BE HARDWIRED, INTERCONNECTED AND WITH BATTERY BACK-UP. SMOKE ALARMS TO BE INSTALLED PER MANUFACTURES INSTRUCTION AND NFPA 72
 - SMOKE DETECTOR TO BE INSTALLED IN EACH BEDROOM
 - AT LEAST ONE SMOKE DETECTOR INSTALLED ON EACH FLOOR
 - SMOKE DETECTOR TO BE INSTALLED AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA
 - ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPEN ABLE AREA OF 5.7 SQUARE FEET, 5.0 SQ. FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPEN ABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPEN ABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR
 - A ONE HOUR OCCUPANCY SEPARATION WALL SHALL BE INSTALLED WITH A SOLID CORE, 20 MINUTE FIRE RATED, SELF CLOSING DOOR ASSEMBLY W/ SMOKE GASKET BETWEEN THE GARAGE AND THE RESIDENCE. ALL ELECTRICAL BOXES INSTALLED IN RATED WALLS SHALL BE METAL OR PROTECTED
 - NEW ATTACHED GARAGE TO MEET OCCUPANCY SEPARATION REQUIREMENTS
 - NEW RESIDENTIAL BUILDINGS SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. WHERE BUILDINGS ARE LOCATED REMOTELY TO THE PUBLIC ROADWAY, ADDITIONAL SIGNAGE AT THE DRIVEWAY/ROADWAY ENTRANCE LEADING TO THE BUILDING AND/OR O EACH INDIVIDUAL BUILDING SHALL BE REQUIRED BY THE COASTSIDE FIRE DISTRICT. THE REMOTE SIGNAGE SHALL CONSIST OF A 6 INCH BY 18 INCH GREEN REFLECTIVE METAL SIGN WITH 3 INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT
 - THE ROOF COVERING SHALL HAVE A MINIMUM FIRE RATING OF CLASS "B" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE
 - THE INSTALLATION OF AN APPROVED SPARK ARRESTER IS REQUIRED ON ALL CHIMNEYS, EXISTING AND NEW. SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12-GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2"
 - A FUEL BREAK OR DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES
 - TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY
 - REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD
 - NO HERITAGE TREE CANOPIES ON THIS LOT WITH DRIP LINES WITHIN THE FOOTPRINT OF THE PROPOSED PROJECT
 - EXTERIOR BELL AND INTERIOR HORN/STROBE ARE REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM. THE BELL, HORN/STROBE AND FLOW SWITCH, ALONG WITH THE GARAGE DOOR OPENER ARE TO BE WIRED INTO A SEPARATE CIRCUIT BREAKER AT THE MAIN ELECTRIC PANEL AND LABELED
 - THE BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM
 - ALL UNDERGROUND SPRINKLER PIPE SHALL BE FLUSHED AND VISUALLY INSPECTED BY FIRE DISTRICT PRIOR TO HOOK-UP TO RISER. ANY SOLDERED FITTINGS MUST BE PRESSURE TESTED WITH TRENCH OPEN

1
 S-P
SITE PLAN
 1/6" = 1'





1
A-1
1ST FLOOR PLAN
1/4"=1'



REVISIONS



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New Single Family Dwelling
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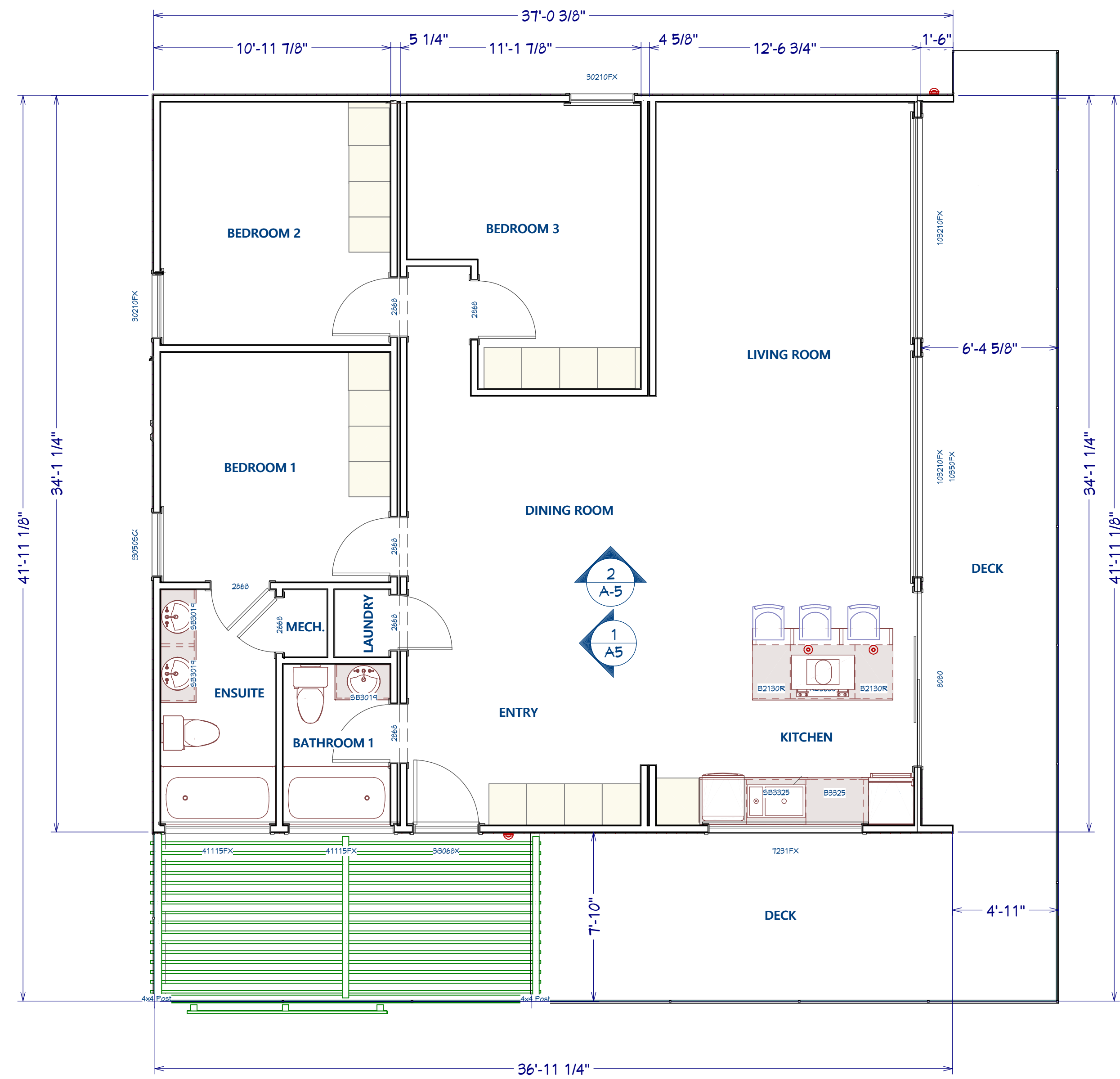
1ST FLOOR PLAN

DATE: 01/17/2019

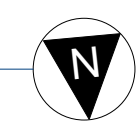
JOB: COPELAND

SHEET:

A 1



1
A-2
2ND FLOOR PLAN
1/4"=1'



REVISIONS



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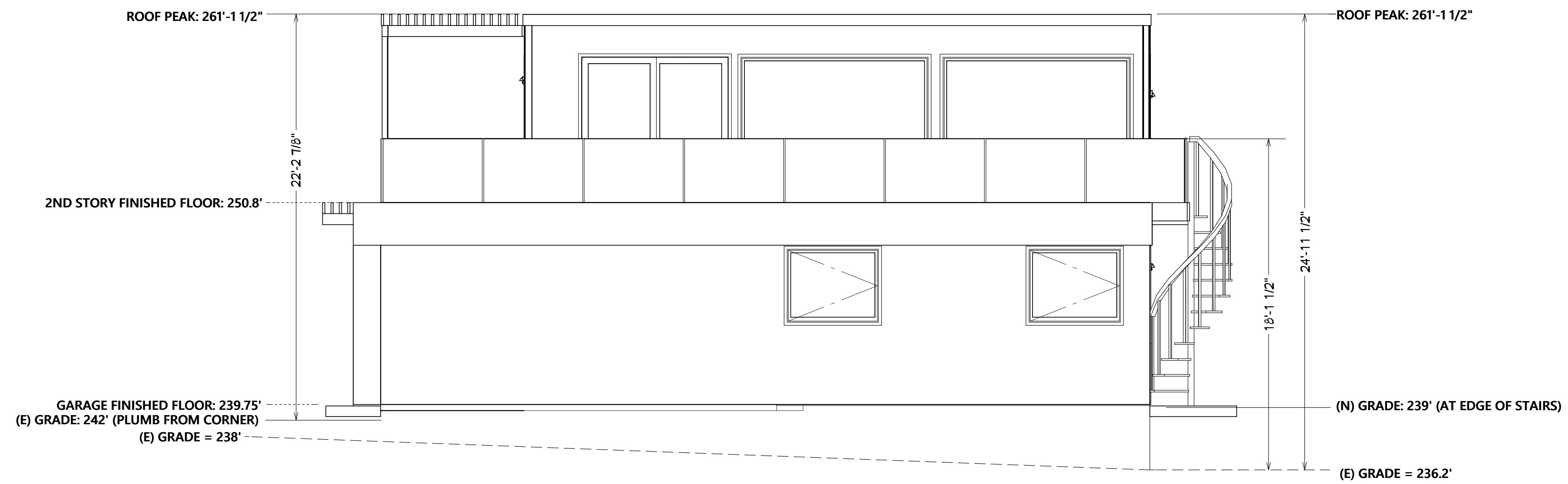
2ND FLOOR PLAN

DATE: 01/17/2019
 JOB: COPELAND
 SHEET:

A 2



2
A-3
PROPOSED NORTH ELEVATION
1/4"=1'



1
A-3
PROPOSED WEST ELEVATION
1/4"=1'



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NORTH & WEST ELEVATIONS

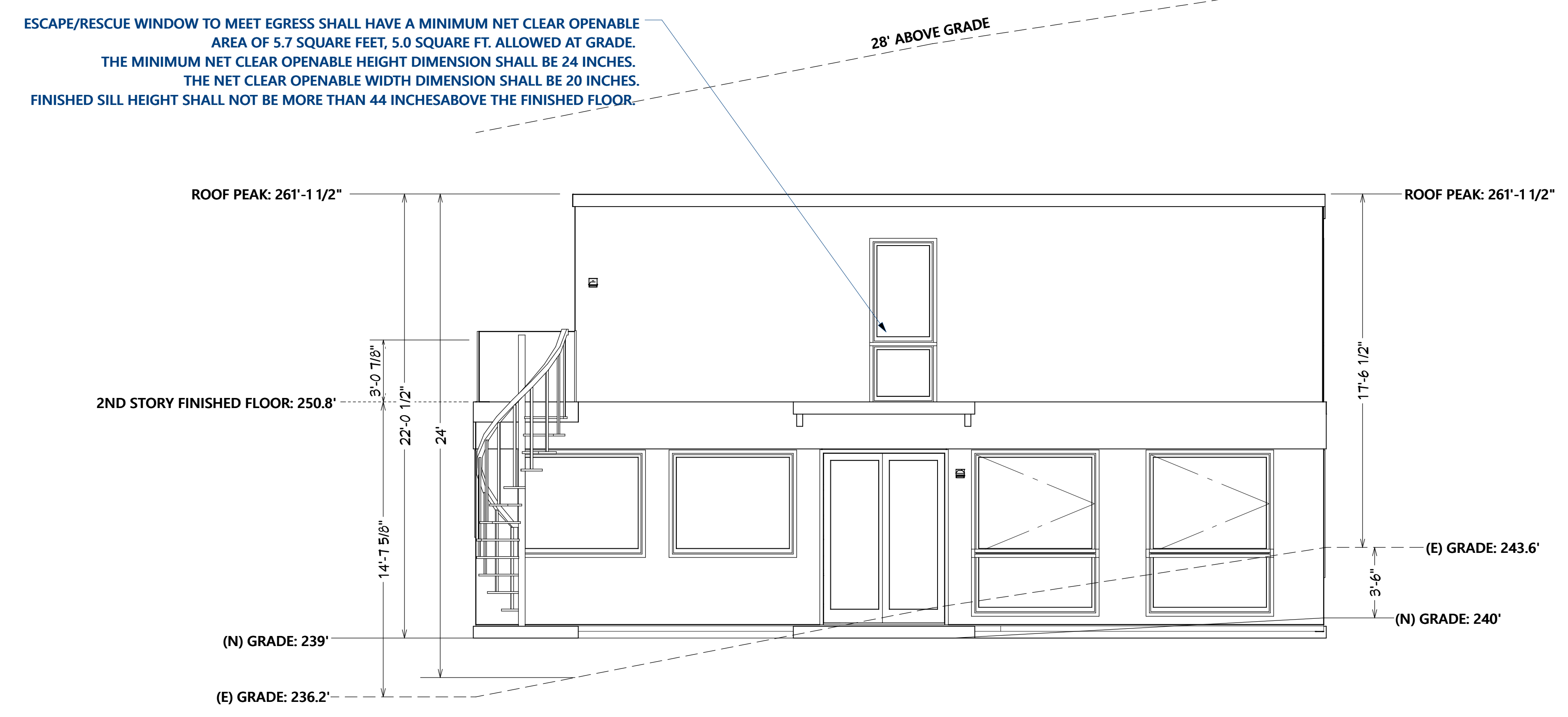
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JOB: COPELAND

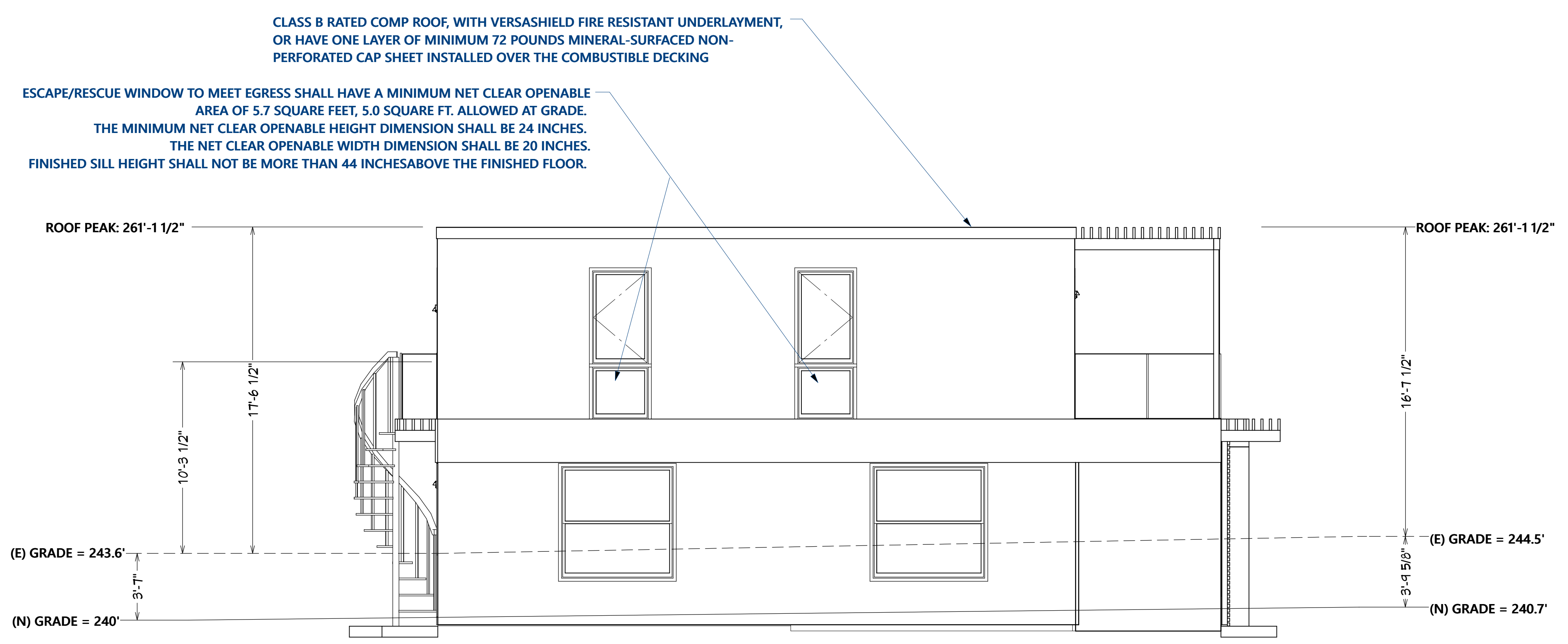
SHEET:

A3

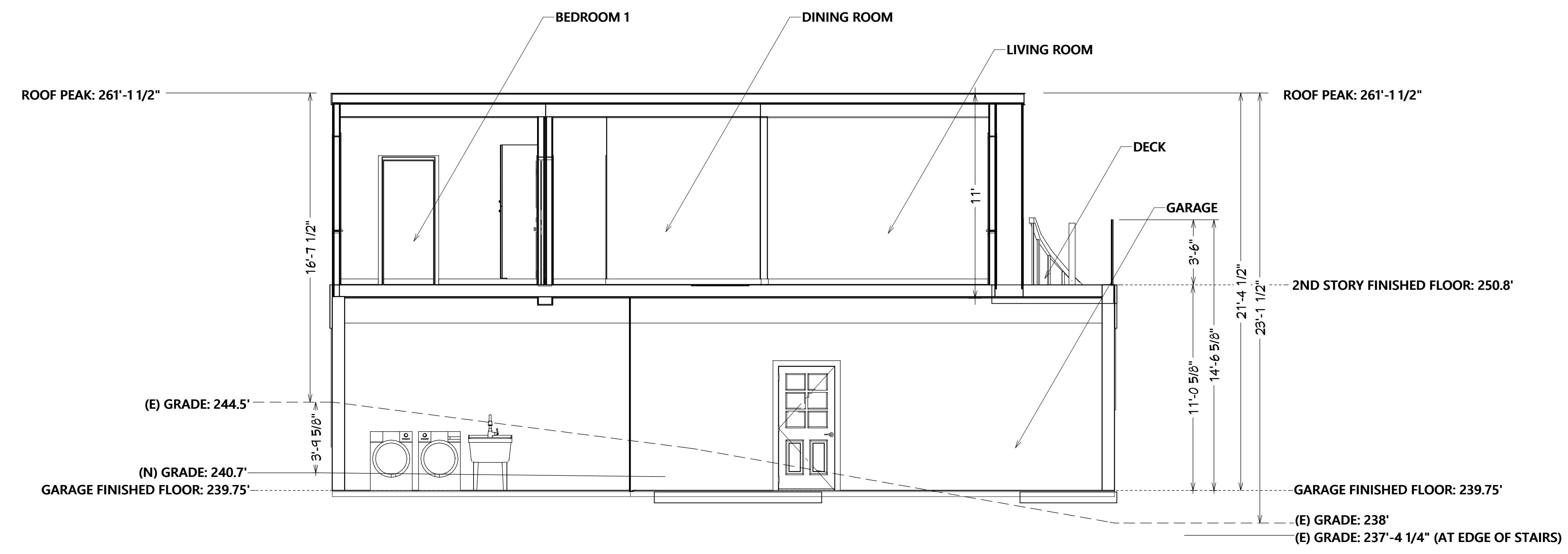
NOTE: SEE SHEETS A1.11 & A1.11A FOR ACCURATE 2ND FLOOR ELEVATION DETAILS, WINDOWS, DOORS, ETC.



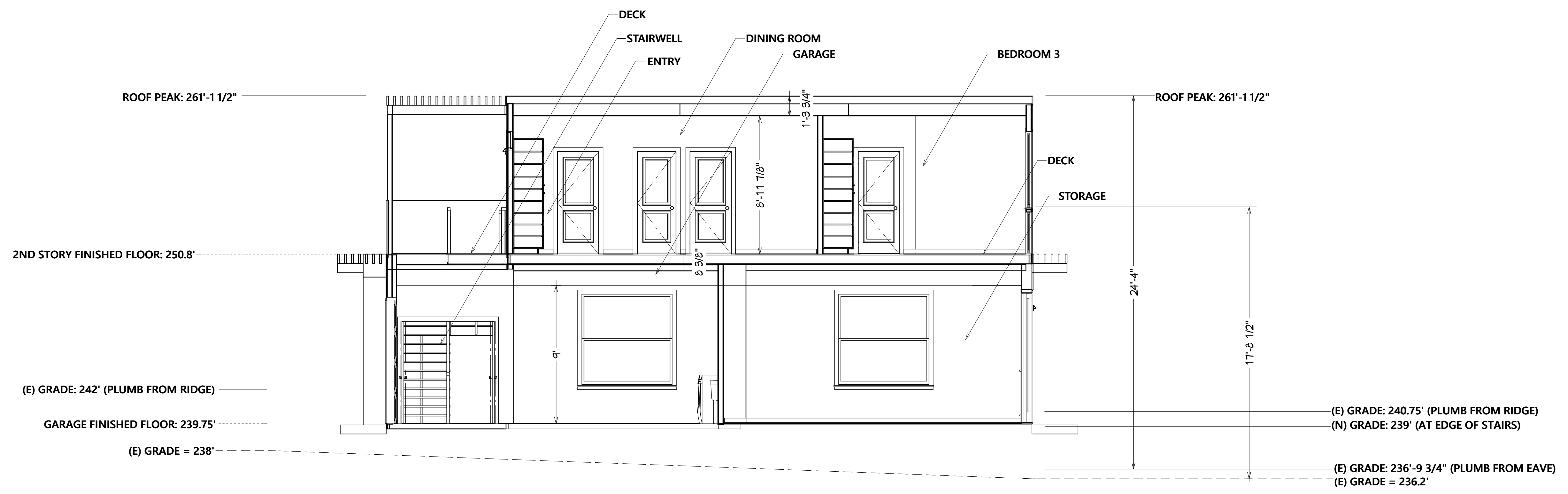
PROPOSED SOUTH ELEVATION
 2
 A-4
 1/4"=1'



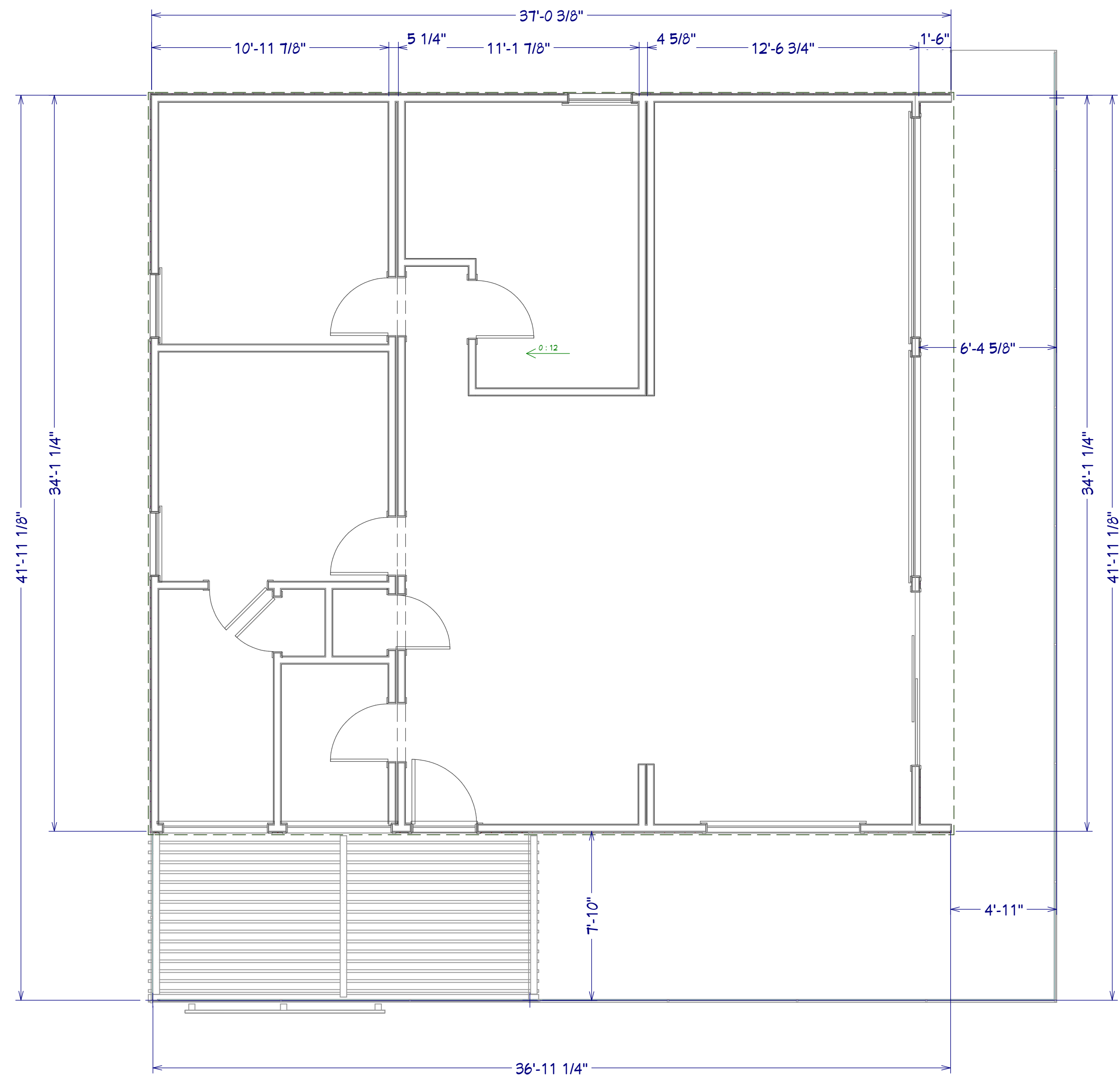
PROPOSED EAST ELEVATION
 1
 A-4
 1/4"=1'



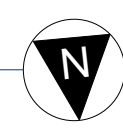
2
 A-5
CROSS SECTION DETAIL
 1/4"=1'



1
 A-5
CROSS SECTION DETAIL
 1/4"=1'



1
A-6
ROOF PLAN
1/4"=1'



REVISIONS



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 Copeland Residence
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ROOF PLAN

DATE: 01/17/2019

JOB: COPELAND

SHEET:

A 6



1
A-7
COLOR PLAN
1/3"=1'

REVISIONS



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New Single Family Dwelling
Copeland Residence
0 9th Street
Montara, Ca. 94044

COLOR PLAN

DATE: 01/17/2019
JOB: COPELAND
SHEET:

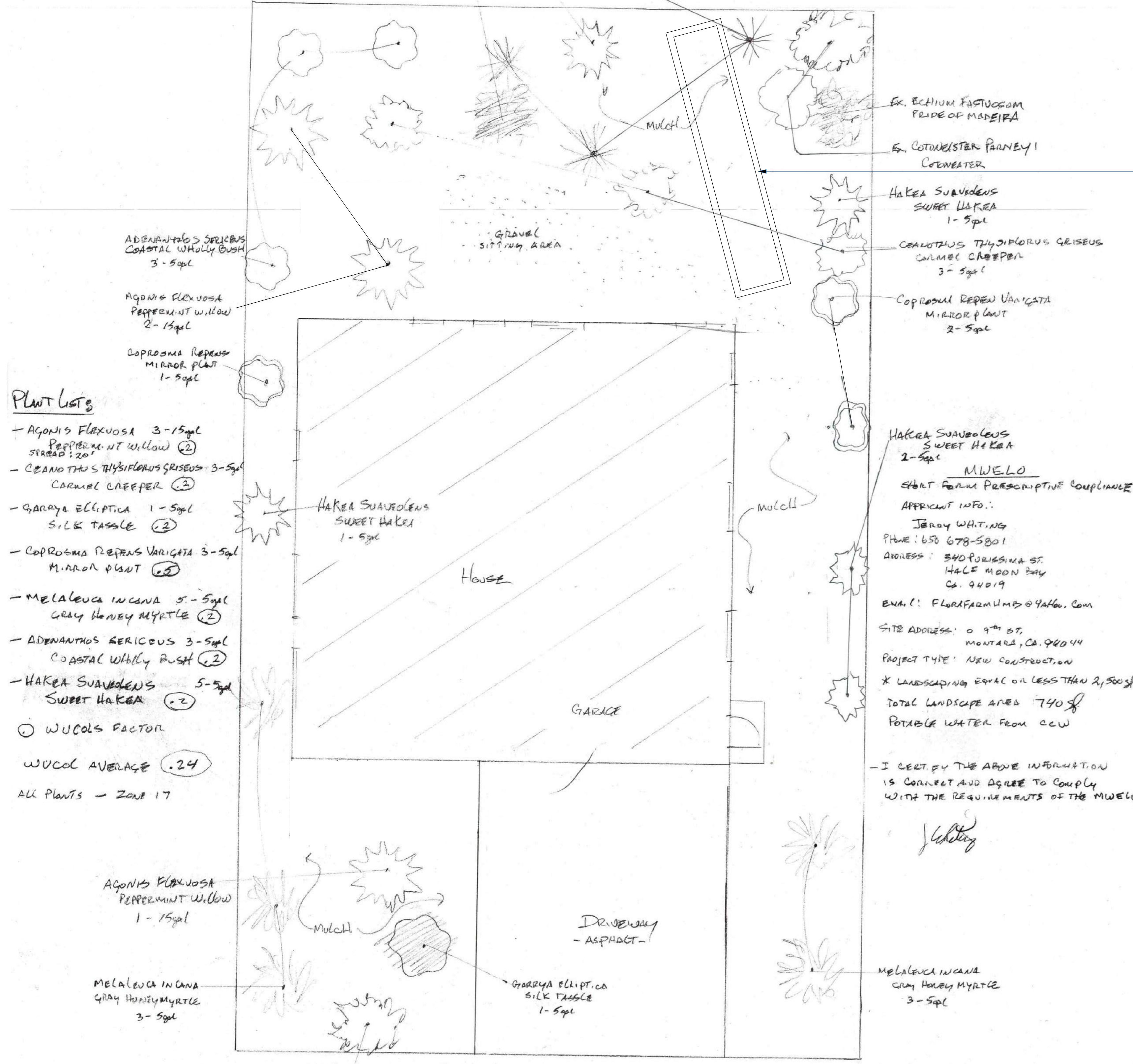
A 7

COPELAND RESIDENCE
 0 9th STREET
 MONTARA, CA. 94044
 1/8" = 1'

LANDSCAPE PLAN

FLORA FARM
 340 PURISSIMA ST.
 HALF MOON BAY
 CA 94019
 Lic. # 549103

DATE: 6/25/18



PLANT LIST

- AGONIS FLEXUOSA 3-15gal
 PEPPERMINT WILLOW (2)
- CEANOTHUS THYRSIFLORUS GRISSEUS 3-5gal
 CARMEL CREEPER (2)
- GARDYIA ELLIPTICA 1-5gal
 SILK TASSEL (2)
- COPROSMA REPENS VARIGATA 3-5gal
 MIRROR PLANT (2)
- MELALEUCA INCANA 5-5gal
 GRAY HONEY MYRTLE (2)
- ADENANTHOS SERICEUS 3-5gal
 COASTAL WHOLLY BUSH (2)
- HAKEA SUAVEOLENS 5-5gal
 SWEET HAKEA (2)
- WUCOLS FACTOR
- WUCOLS AVERAGE (2.4)
- ALL PLANTS - ZONE 17

- EX. ECHINUM FASTUOSUM
 PRIDE OF MADIRA
- EX. COTONEASTER FARNLEYI
 COTONEASTER
- HAKEA SUAVEOLENS
 SWEET HAKEA
 1-5gal
- CEANOTHUS THYRSIFLORUS GRISSEUS
 CARMEL CREEPER
 3-5gal
- COPROSMA REPENS VARIGATA
 MIRROR PLANT
 2-5gal

HAKEA SUAVEOLENS
 SWEET HAKEA
 2-5gal

MWELD
 SHORT FORM PRESCRIPTIVE COMPLIANCE

APPLICANT INFO:
 JERRY WHITE
 PHONE: 650 678-5801
 ADDRESS: 340 PURISSIMA ST.
 HALF MOON BAY
 CA. 94019

EMAIL: FLORAFARM1111@Yahoo.com

SITE ADDRESS: 0 9th ST.
 MONTARA, CA. 94044

PROJECT TYPE: NEW CONSTRUCTION

* LANDSCAPING EQUAL OR LESS THAN 2,500 SF
 TOTAL LANDSCAPE AREA 740 SF
 POTABLE WATER FROM CCW

I CERTIFY THE ABOVE INFORMATION IS CORRECT AND AGREE TO COMPLY WITH THE REQUIREMENTS OF THE MWELD

Signature

* A MINIMUM OF 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

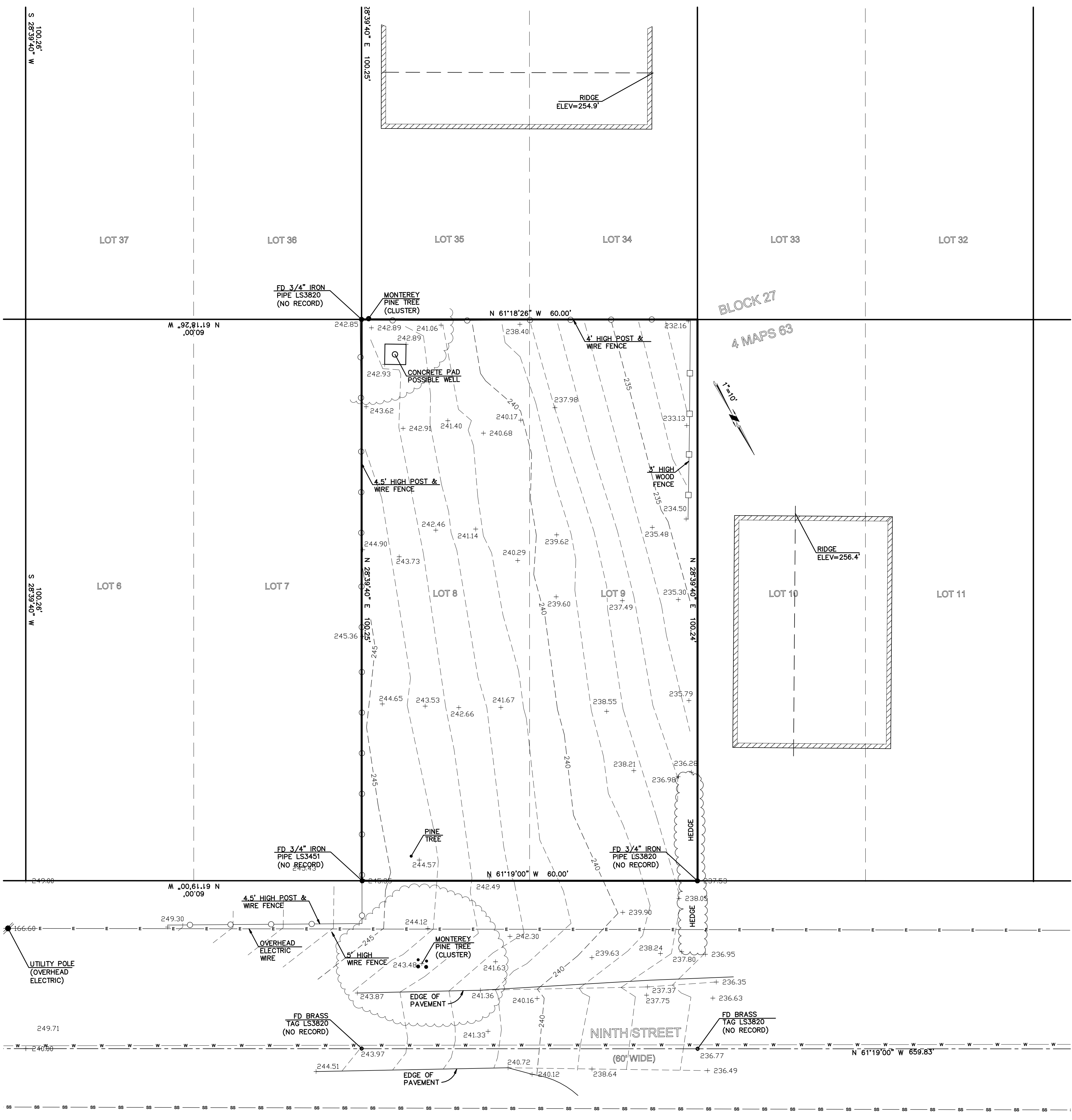
* ALL PLANTINGS ARE DROUGHT TOLERANT

* PLANTING WILL BE HAND WATERED

* UNLESS CONTRADICTED BY SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1000 SF OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6 INCHES INTO THE SOIL.


FLOW THROUGH FILTER (PLANTER).
 PLANTER TO CONTAIN MUHLY GRASS (Muhlenbergia capillaris).

REVISIONS
DESIGNED BY: Chesare G. Santini Santini Creations 1881 HERVOSA AVENUE PACIFICA, CA 94044 (650) 433-6945 chesaregs@gmail.com
NEW SINGLE FAMILY DWELLING Copeland Residence 0 9th Street Montara, Ca. 94044
LANDSCAPE PLAN
DATE: 01/17/2019
JOB: COPELAND
SHEET: 1



BENCHMARK STATEMENT:
THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

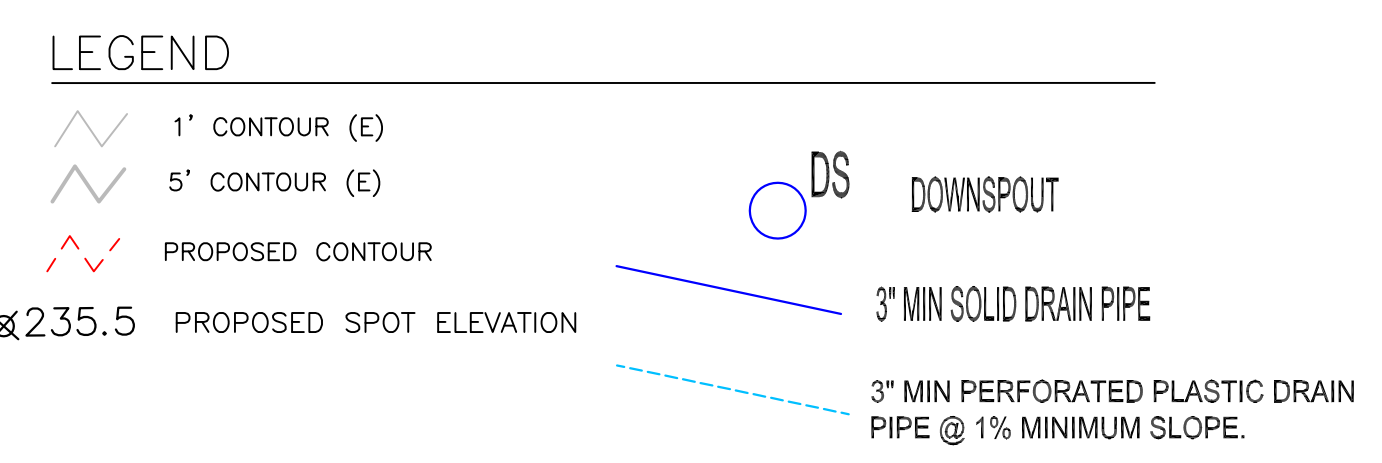
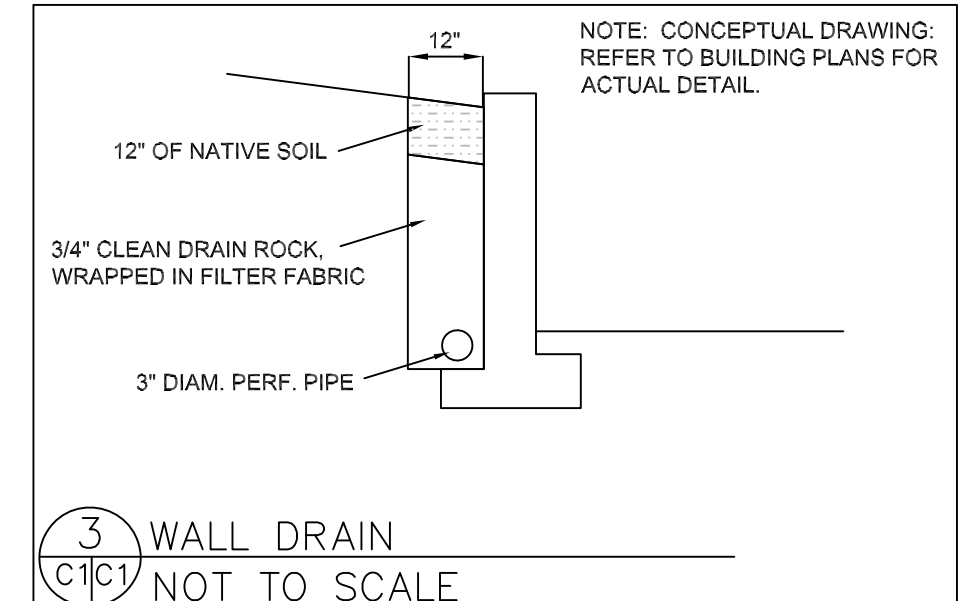
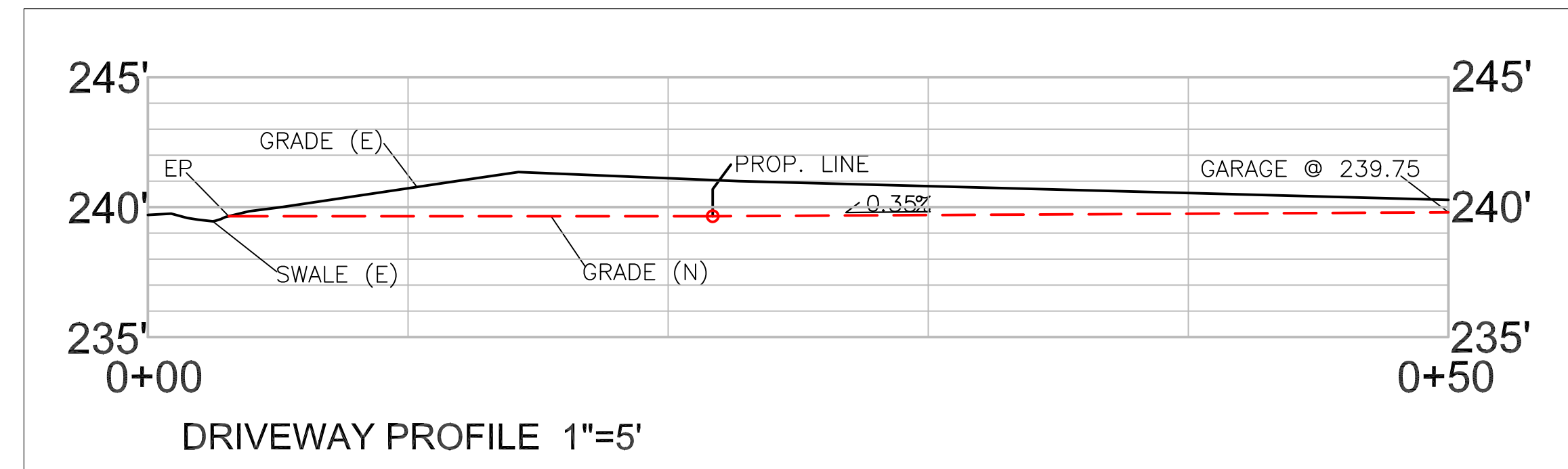
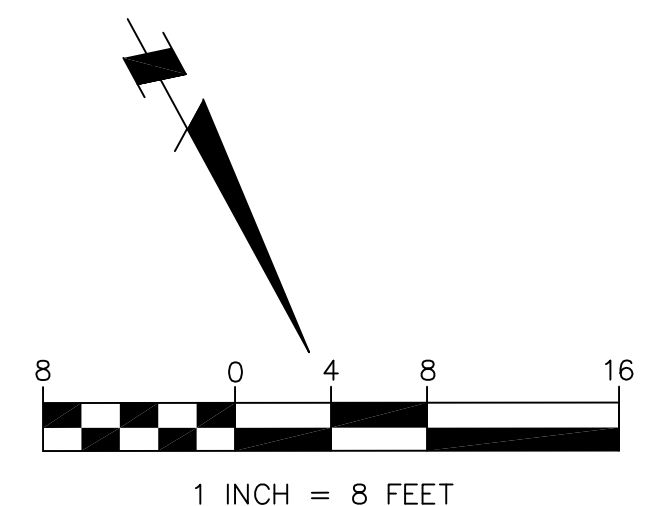
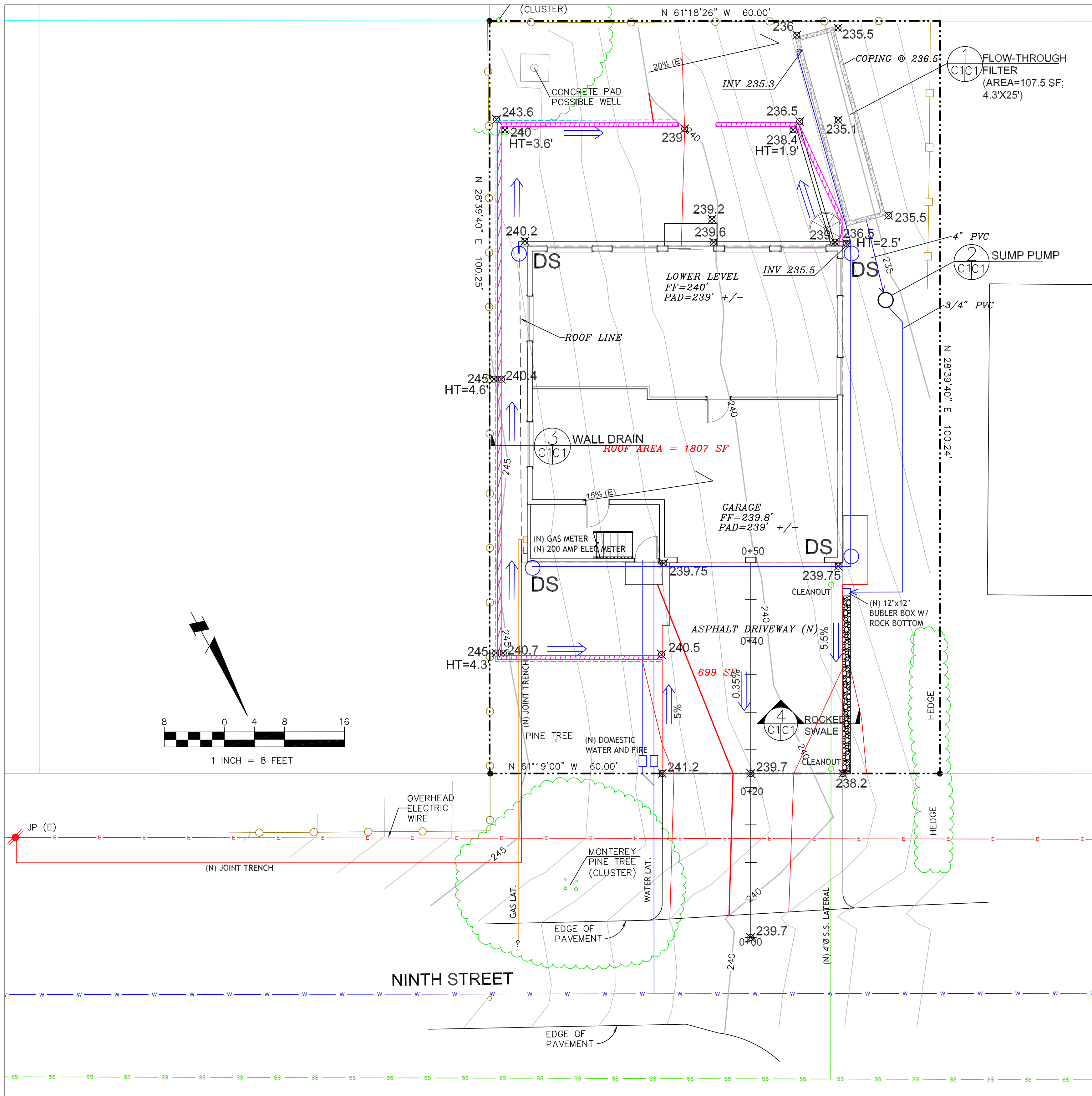
SURVEYOR'S STATEMENT:
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE MARCH 2018. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. SOME PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY. NO EASEMENTS ARE SHOWN. TITLE REPORT MAY LIST EASEMENTS FOR SUBJECT PROPERTY.


 SAVIDIR P. MICALLEF
 LAND SURVEYOR, LS 8289
 (805) 709-2423
 10-05-18
 DATE

SAVIDIR P. MICALLEF LAND SURVEYING
 421 WILDWOOD DRIVE
 SOUTH SAN FRANCISCO, CA 94080
 805/709-2423

TOPOGRAPHIC SURVEY OF
 APN 036-025-330
 (VACANT PROPERTY ON NINTH STREET, MONTARA, CA)
 UNINCORPORATED SAN MATEO COUNTY
 CALIFORNIA

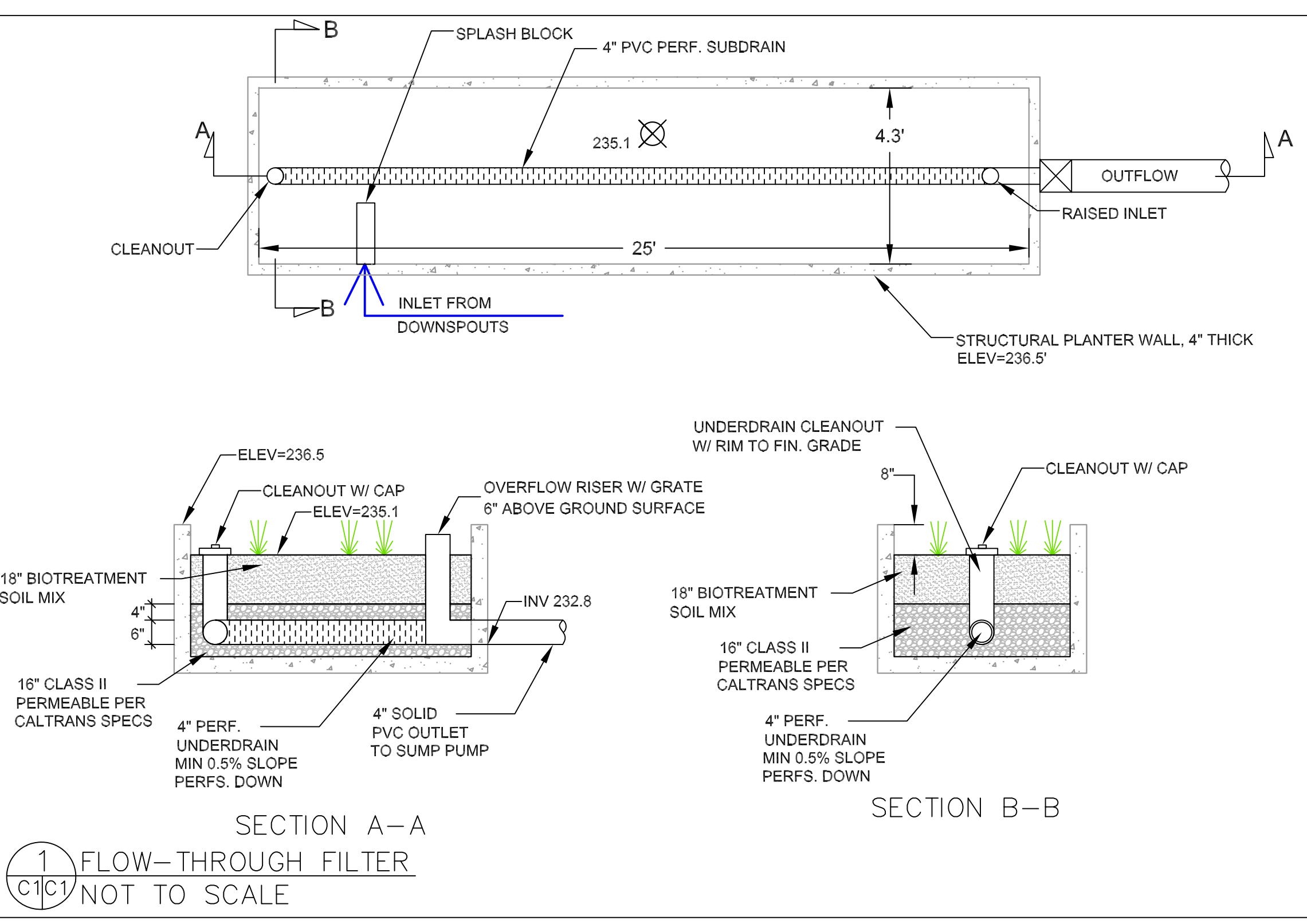
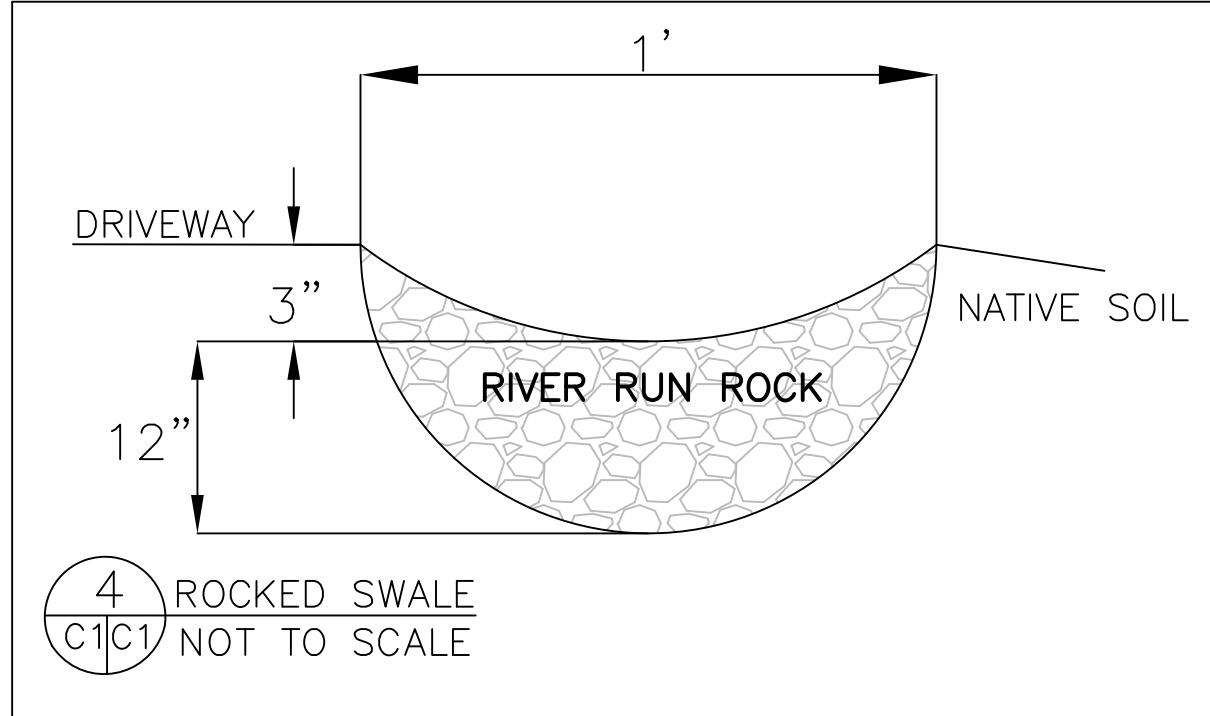
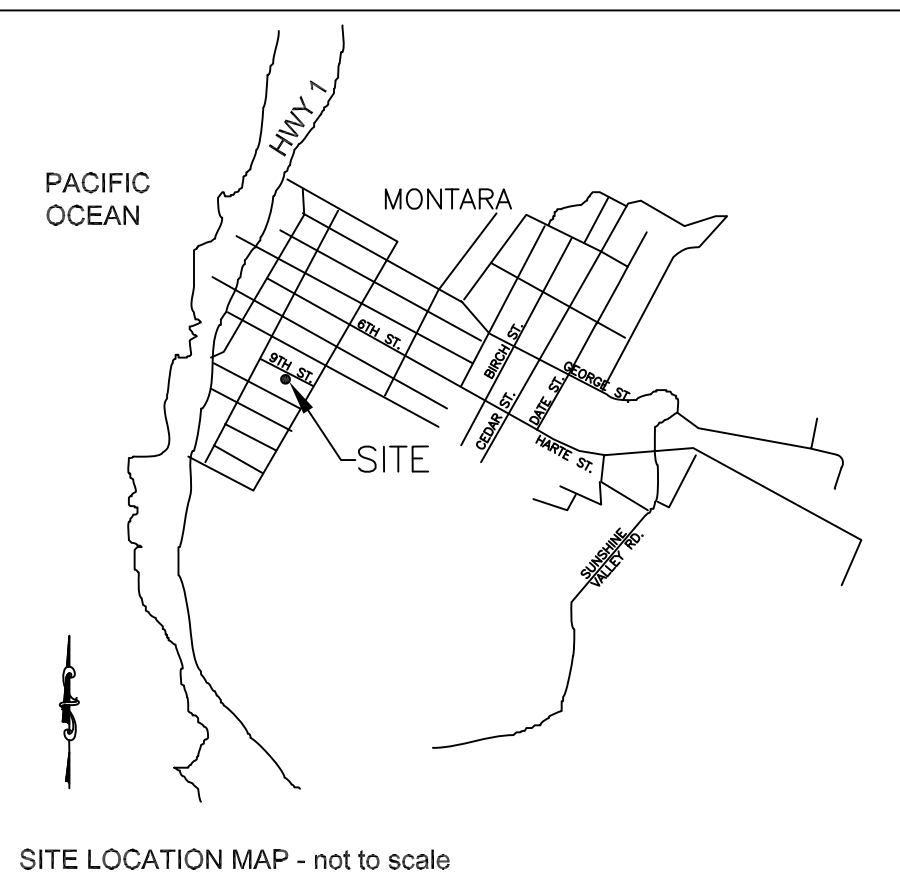
Date	10-05-18
Scale	1"=10'
Design	SPM
Drawn	SPM
Approved	SPM
Job No.	
Drawing Number:	



- GENERAL NOTES**
- PLANS PREPARED AT THE REQUEST OF: SARA COPELAND, OWNER
 - TOPOGRAPHY BY S. MICALLEF, 3-20-18.
 - THIS IS NOT A BOUNDARY SURVEY.
 - ELEVATION DATUM ASSUMED.

- GRADING NOTES**
- CUT VOLUME : 310 CY
FILL VOLUME : 10 CY
- ABOVE VOLUMES ARE APPROXIMATE.
 - ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
 - ALL TRENCHES IN PROPOSED LANDSCAPE AREAS SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

- DRAINAGE NOTES**
- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
 - ALL ROOF DRAIN LINES SHALL LEAD TO DETENTION BASIN SHOWN.
 - ALL DRAINAGE PIPES SHALL BE MINIMUM 3" DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
 - AREAS OF PERVIOUS GROUND SHALL SLOPE AWAY FROM BUILDING A 5% WITHIN 10 FEET OF BUILDING, WHERE SPACE PERMITS.

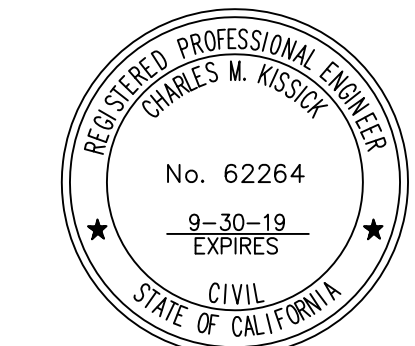


SECTION AND DETAIL CONVENTION

SECTION OR DETAIL IDENTIFICATION

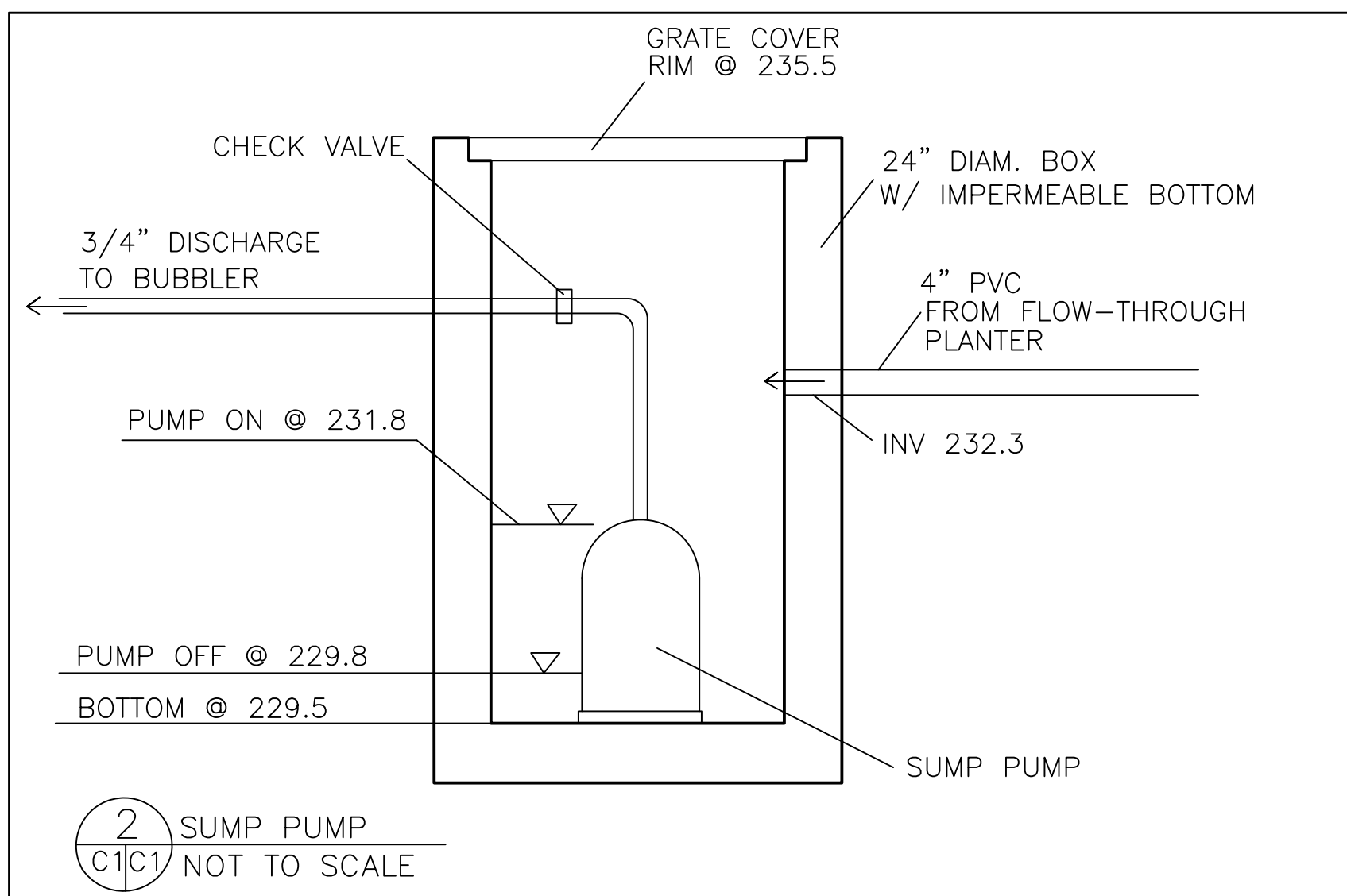
REFERENCE SHEET No. FROM WHICH SECTION OR DETAIL IS TAKEN

REFERENCE SHEET No. ON WHICH SECTION OR DETAIL IS SHOWN



TRAFFIC CONTROL NOTES

- CONTRACTOR AND WORKERS SHALL PARK ALONG 9TH STREET.
- WHEN TRUCKS PARK IN STREET FOR DELIVERY OF SUPPLIES AND CONCRETE, EVERY EFFORT SHALL BE MADE TO PROVIDE ROOM FOR VEHICLES TO PASS.



DATE: 7-12-18
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE: 10-16-18
REV. DATE:
REV. DATE:

GRADING AND DRAINAGE PLAN

COPELAND PROPERTY
9TH STREET
MONTARA
APN 036-025-330

SHEET
C-1