

February 6, 2019

Brian Brinkman  
1690 Francisco Blvd.  
Pacifica, CA 94044

Dear Mr. Brinkman:

SUBJECT: Coastside Design Review Recommendation  
Wyvale Avenue, Moss Beach  
APN 037-094-280; County File No. PLN 2018-00290

At its meeting of January 10, 2019, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a Design Review Permit to allow construction of a new two-story 3,167 sq. ft. single-family residence plus a 464 sq. ft. attached two-car garage on a 8,701 sq. ft. undeveloped, legal parcel (legality confirmed via Lot Line Adjustment PLN81-5). No trees are proposed for removal. The CDRC was unable to make the findings for design review approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards For Design For One-Family and Two-Family Residential Development In The Midcoast" manual is required. As such, recommendations from the CDRC for further project redesign are as follows:

Recommendations:

1. Section 6565.20 (D) ELEMENTS OF DESIGN; 4. Exterior Materials and Colors. Entry door colors should contrast but complement the exterior façade colors. Color choice should be provided for review at subsequent hearing. Window sash and trim should be consistent in shade for consistency (both white or tan).
2. Copper is recommended for gutters and downspouts (not required).
3. Section 6565.20 (F) LANDSCAPING, PAVED AREAS, FENCES, LIGHTING AND NOISE; 4. Lighting. Section (6565.20(F) 4.) Provide dark-sky compliant cut sheet for all exterior lighting. Change the front entry lighting to a soffit with no more than one additional fixture. Show all exterior lighting placement on revised plans. The applicant acknowledged that no additional landscape lighting is planned.
4. Section 6565.20 (F) LANDSCAPING, PAVED AREAS, FENCES, LIGHTING AND NOISE; 1. Landscaping. The proposed Morning Light Maiden Grass (also called



Chinese Silver Grass) is non-native. Please replace with a native, non-invasive, preferably drought tolerant alternative. Landscape plan to be revised to delineate quantity and container sizes (not to exceed 5 gallons) of each plant. Drip irrigation plan should also be prepared and included in landscape plan for building permit stage.

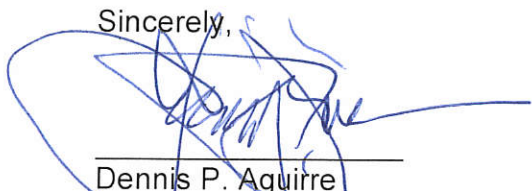
5. Section 6565.20 (F) LANDSCAPING, PAVED AREAS, FENCES, LIGHTING AND NOISE; 2. Paved areas. Change paver fill to be of permeable material rather than concrete. Consider permeable material for driveway rather than concrete.
6. To enhance visual interest in the rear and east building elevations, consider additional roof forms to provide articulation such as gables or dormers.
7. Section 6565.20 (D) ELEMENTS OF DESIGN; 2. Architectural Styles and Features; d. Garages. While garage doors are prominent in the front facade, the decorative example in the plans are acceptable. The use of wood or color complementing the front door is encouraged. Provision of actual samples for the follow up hearing is highly recommended.
8. Provide material samples for rock column bases on porches at the next meeting.

At the meeting, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Dennis P. Aguirre, Design Review Officer, at 650/363-1867, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link:  
<http://planning.smcgov.org/survey>.

Sincerely,



\_\_\_\_\_  
Dennis P. Aguirre  
Design Review Officer

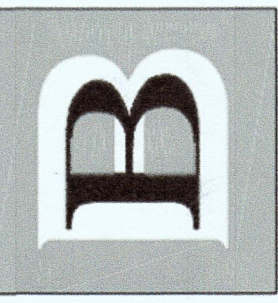
cc: Stuart Grunow, Member Architect  
Bruce Chan, Member Architect  
Beverly Garrity, Montara Community Representative  
Joe Guntren, Owner

DPA:ann – DPADD0060\_WNN.DOCX

# NEW SINGLE FAMILY HOME

## 61 WYLVALE AVE, MOSS BEACH,

BRIAN BRINKMAN  
DRAFTING & DESIGN  
B-B-D  
1690 Francisco Blvd.  
Pacifica, CA 94044  
(650) 922-7993



ABBREVIATIONS			
@	AT NUMBER	N	NORTH
#		(N)	NEW
AB	ANCHOR BOLT	N/A	NOT APPLICABLE
A/C	AIR CONDITIONER	NA	NOT AVAILABLE
AFF	ABOVE FINISHED FLOOR	NIC	NOT IN CONTRACT
APPROX	APPROXIMATE	NOM	NOMINAL
ASF	ABOVE SUBFLOOR	NR	NON-RATED
AS	ABOVE SLAB	NSF	NET SQUARE FEET
		NTS	NOT TO SCALE
BLDG	BUILDING	O	OVEN
BLK	BLOCK	OA	OVERALL
BLKG	BLOCKING	OC	ON CENTER
BM	BEAM	OD	OUTSIDE DIAMETER OR OVERFLOW DRAIN
BOT	BOTTOM		
CAB	CABINET	OFF	OFFICE
CB	CATCH BASIN	OPNG	OPENING
CL	CENTERLINE	OH	OVERHANG
CLG	CEILING	O/H	OVERHEAD
CLST	CLOSET	OPP	OPPOSITE
CMU	CONCRETE MASONRY UNIT		
CO	CLEAN OUT	PL	PLATE OR PROPERTY LINE
COL	COLUMN	PLYWD	PLYWOOD
CONC	CONCRETE	PR	PAIR
CONT	CONTINUOUS	PT	POINT OR PRESSURE TREATED
D	DRYER	R	RADIUS
DBL	DOUBLE	RAG	RETURN AIR GRILLE
DEPT	DEPARTMENT	RD	ROOF DRAIN
DEG	DEGREES	REF	REFRIGERATOR
DIA	DIAMETER	REINF	REINFORCED OR REINFORCEMENT
DIM	DIMENSION	REQ'D	REQUIRED
DN	DOWN	REV	REVISION
DR	DOOR	RHB	RADIANT HEATING BOILER
DS	DOWNSPOUT	RM	ROOM
DW	DISHWASHER	RO	ROUGH OPENING
DWG	DRAWING	ROW	RIGHT-OF-WAY
(E)	EXISTING	S	SOUTH
EA	EACH	SB	SETBACK
ELEC	ELECTRICAL	SCHED	SCHEDULE
ELEV	ELEVATION	SD	SMOKE DETECTOR/STORM DRAIN
ENG	ENGINEER	SF	SQUARE FEET OR SQUARE FOOT
EQPT	EQUIPMENT	SH	SHOWER HEAD
EXT	EXTERIOR	SHT	SHEET
		SHWR	SHOWER
FAU	FORCED AIR UNIT	SHTG	SHEATHING
FAR	FLOOR AREA RATIO	SIM	SIMILAR
FD	FLOOR DRAIN	SL	SLIDING
FF	FINISHED FLOOR	SPEC	SPECIFICATION
FIN	FINISH	SQ	SQUARE
FL	FLOOR	SS	SANITARY SEWER
FLUOR	FLUORESCENT	STL	STEEL
FOUND	FOUNDATION	STOR	STORAGE
FP	FIREPLACE	STRUCT	STRUCTURAL
FT	FOOT OR FEET	SUB	SUBCONTRACTOR
FTG	FOOTING	SUBFLR	SUBFLOOR
FURN	FURNACE	SW	SHEAR WALL
		SYM	SYMMETRICAL
G	GAS	T	TILE, TREAD, TOP, OR TRANSFORMER
GA	GAUGE		
GALV	GALVANIZED	T & G	TONGUE AND GROOVE
GC	GENERAL CONTRACTOR	TBD	TO BE DETERMINED
GD	GARBAGE DISPOSAL	TEL	TELEPHONE
GL	GLASS	THK	THICK
GR	GRADE	TO	TOP OF
GYP BD	GYPSONUM BOARD	TOC	TOP OF CURB
		TOP	TOP OF PLATE
HC	HANDICAP	TOS	TOP OF SUBFLOOR
HDR	HEADER	TOW	TOP OF WALL
HDWD	HARDWOOD	TP	TOP OF PAVEMENT
HT	HEIGHT	TV	TELEVISION
HORIZ	HORIZONTAL	TYP	TYPICAL
HR	HOUR		
INSUL	INSULATION	UNO	UNLESS NOTED OTHERWISE
INT	INTERIOR	VERT	VERTICAL
		W	WEST, WASHER, OR WATER
JT	JOINT OR JOINT TRENCH	WITH	WITH
LINEN	LINEN CLOSET	WC	WATER CLOSET
LAM	LAMINATE	WD	WOOD
LAV	LAVATORY	WH	WATER HEATER
LT	LIGHT	W x H	WIDTH BY HEIGHT
MAX	MAXIMUM	WNDW	WINDOW
MECH	MECHANICAL	W/O	WITHOUT
MFR	MANUFACTURER	WP	WATERPROOF
MH	MANHOLE	WR	WATER RESISTANT
MIN	MINIMUM	WT	WEIGHT
MISC	MISCELLANEOUS		
MLDG	MOULDING		
MTD	MOUNTED		
MTL	METAL		

**PROJECT SCOPE**

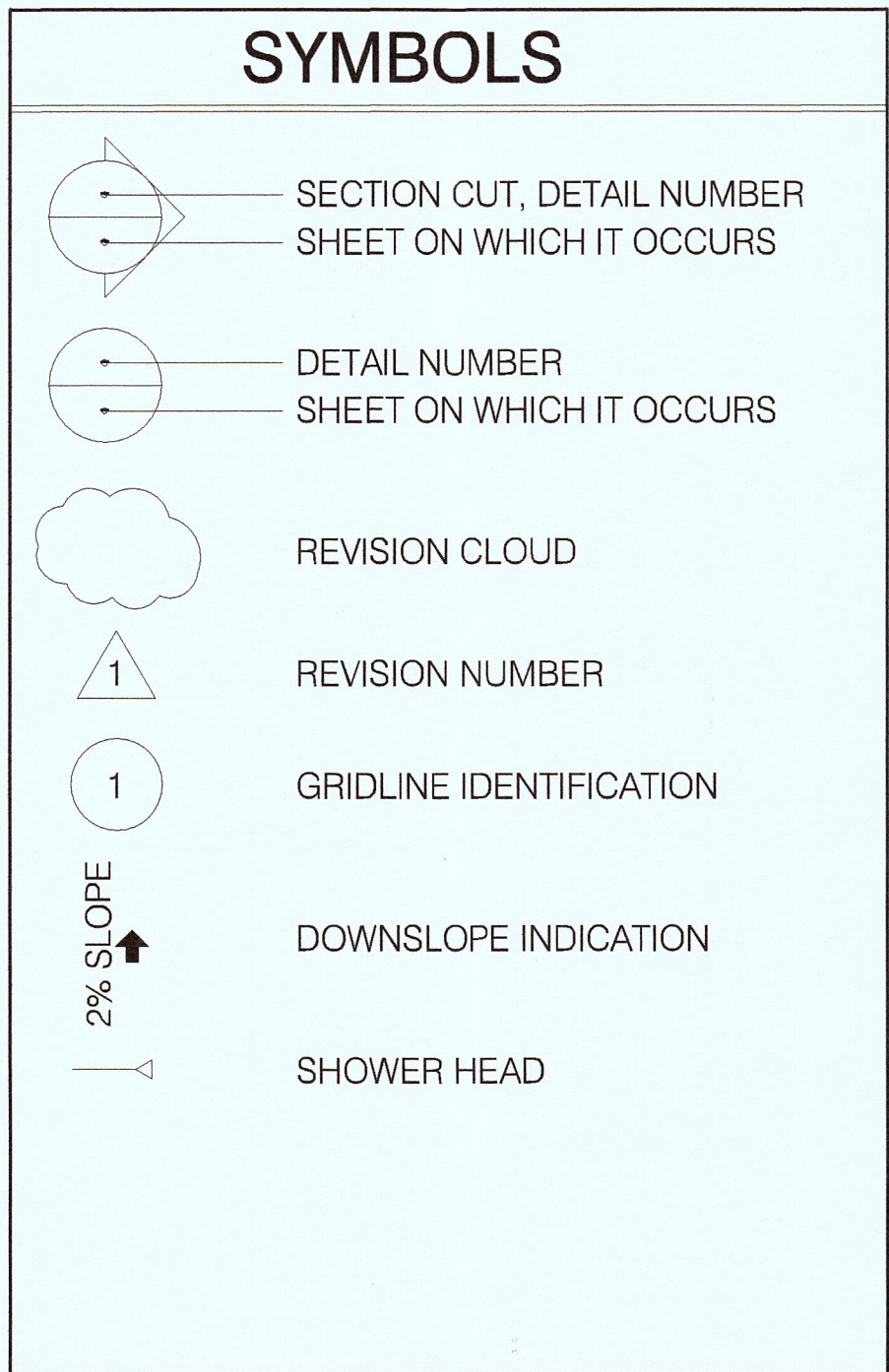
NEW 2-STORY SINGLE FAMILY HOME WITH ATTACHED 2-CAR GARAGE ON VACANT PARCEL.

**PLANNING DATA**

PROJECT COMMON ADDRESS:  
61 WYLVALE AVENUE  
MOSS BEACH, CA 94038  
ASSESSOR'S PARCEL NUMBER: 037-094-280  
ZONING: S-17 SINGLE FAMILY RESIDENTIAL  
COMBINING DISTRICT - COASTSIDE

**BUILDING CODE DATA**

TYPE OF OCCUPANCY: R3/U  
CONSTRUCTION TYPE: VB  
BEARING AND NON-BEARING WALLS (LESS THAN 5' FROM PROPERTY LINE): 1-HOUR  
OPENINGS NOT PERMITTED LESS THAN 3' FROM PROPERTY LINE  
NUMBER OF STORIES: 2  
ALL WORK TO CONFORM TO 2016 CRC, CBC, CFC, CPC, CMC, CEC, 2016 CALIFORNIA ENERGY CODE, AND 2016 CGBC



**PROJECT DIRECTORY**

SERVICE	COMPANY	CONTACT	TELEPHONE
APPLICANT / OWNER	-	JOE GUNTREN	(650) 245-4470
SURVEYOR	SAVIOR P MICALLEF LAND SURVEYING	SAVIOR MICALLEF	(805) 709-2423
DRAFTING / DESIGN	BRIAN BRINKMAN DRAFTING & DESIGN, INC	BRIAN BRINKMAN	(650) 922-7993
SOILS / CIVIL ENGINEER	SIGMA PRIME		

**PROJECT NOTES**

FIRE SPRINKLERS ARE REQUIRED, UNDER A SEPARATE PERMIT.

**CALGREEN CONSTRUCTION REQUIREMENTS**

- \* CONTRACTOR SHALL PROVIDE, AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL TO THE OWNER OR OCCUPANT, ADDRESSING ITEMS 1 THROUGH 10 IN CALGREEN SECTION 4.410.1.
- \* PER CALGREEN SECTION 4.408.2, CONTRACTOR SHALL PROVIDE AND SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN, DIVERTING A MINIMUM OF 50% OF WASTE GENERATED AT THE SITE TO RECYCLE OR SALVAGE, TO THE BUILDING DEPARTMENT. THE FOLLOWING INFORMATION SHALL BE PROVIDED IN THE PLAN:
  - IDENTIFY MATERIALS TO BE RECYCLED, REUSED, OR SALVAGED
  - SPECIFY IF MATERIALS WILL BE SORTED ON SITE OR MIXED FOR TRANSPORTATION
  - IDENTIFY THE DIVERSION FACILITY(IES) TO BE USED
  - IDENTIFY CONSTRUCTION METHODS TO BE USED TO LIMIT WASTE GENERATION
  - SPECIFY THAT THE AMOUNT OF MATERIALS DIVERTED ARE TO BE CALCULATED BY WEIGHT OR VOLUME
- \* AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED.
- \* PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, AND CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS.
- \* COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION.
- \* ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
- \* PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
- \* AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
- \* CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
- \* MINIMUM OF 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4.
- \* PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD, AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
- \* INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS.
- \* CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE.
- \* EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND FAN MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- \* DUCT SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPMENT SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.

**PROJECT INFORMATION**

LOT SIZE	9,858 SF
NET LOT SIZE (MINUS ROAD)	9,858 SF - 1,157 SF = 8,701 SF
NEW LOT COVERAGE	1,274 + 464 + 212 + 100 = 2,050 2,050 SF / 8,701 SF = 23.56%
EXISTING TOTAL PAVED SURFACES	1,157 SF (OF GROSS LOT)
NEW TOTAL PAVED SURFACES (OF NET LOT)	451 SF
NEW TOTAL IMPERVIOUS SURFACES	2,501 SF / 8,701 SF = 28.74%
NEW LANDSCAPED AREA	2,904 SF
NEW LANDSCAPED / NATURALLY VEGETATED AREA	5,990 SF
NEW PAVER WALKWAY	210 SF
NEW 1ST FLOOR LIVING AREA	1,274 SF (CONDITIONED)
NEW 2ND FLOOR LIVING AREA	1,581 SF (CONDITIONED)
NEW TOTAL LIVING AREA	1,274 + 1,581 = 2,855 2,855 SF (CONDITIONED)
NEW ATTACHED GARAGE AREA	464 SF (UN-CONDITIONED)
NEW COVERED FRONT PORCH	212 SF (UN-CONDITIONED)
NEW COVERED REAR PORCH	100 SF (UN-CONDITIONED)
NEW FLOOR AREA RATIO	1,274 + 1,581 + 464 + 212 + 100 = 3,631 SF / 8,701 SF = 41.73%

**DRAWING INDEX**

ARCHITECTURAL / CIVIL	DESCRIPTION	DATE	REV
A0.0	TITLE SHEET / PROJECT INFO	03/08/2018	2
A0.1	3D VIEWS	04/10/2018	3
1 OF 1	TOPOGRAPHIC SURVEY	07/20/2018	4
C1	DRAINAGE PLAN	10/29/2018	5
C2	EROSION CONTROL PLAN	01/17/2019	6
BMP	SMC BMP PLAN SHEET		
A1.1	SITE PLAN		
A1.2	LANDSCAPE PLAN		
A2.1	FIRST FLOOR PLAN		
A2.2	SECOND FLOOR PLAN		
A2.3	ROOF PLAN		
A3.1	NORTH AND WEST ELEVATIONS		
A3.2	SOUTH AND EAST ELEVATIONS		
A3.3	SECTIONS		

DESCRIPTION	DATE	REV
COMPLETED DESIGN SET	03/08/2018	2
PRE-APPLICATION MEETING	04/10/2018	3
PLANNING SUBMITTAL	07/20/2018	4
PLANNING RESUBMITTAL	10/29/2018	5
DESIGN REVIEW HEARING CHANGES	01/17/2019	6

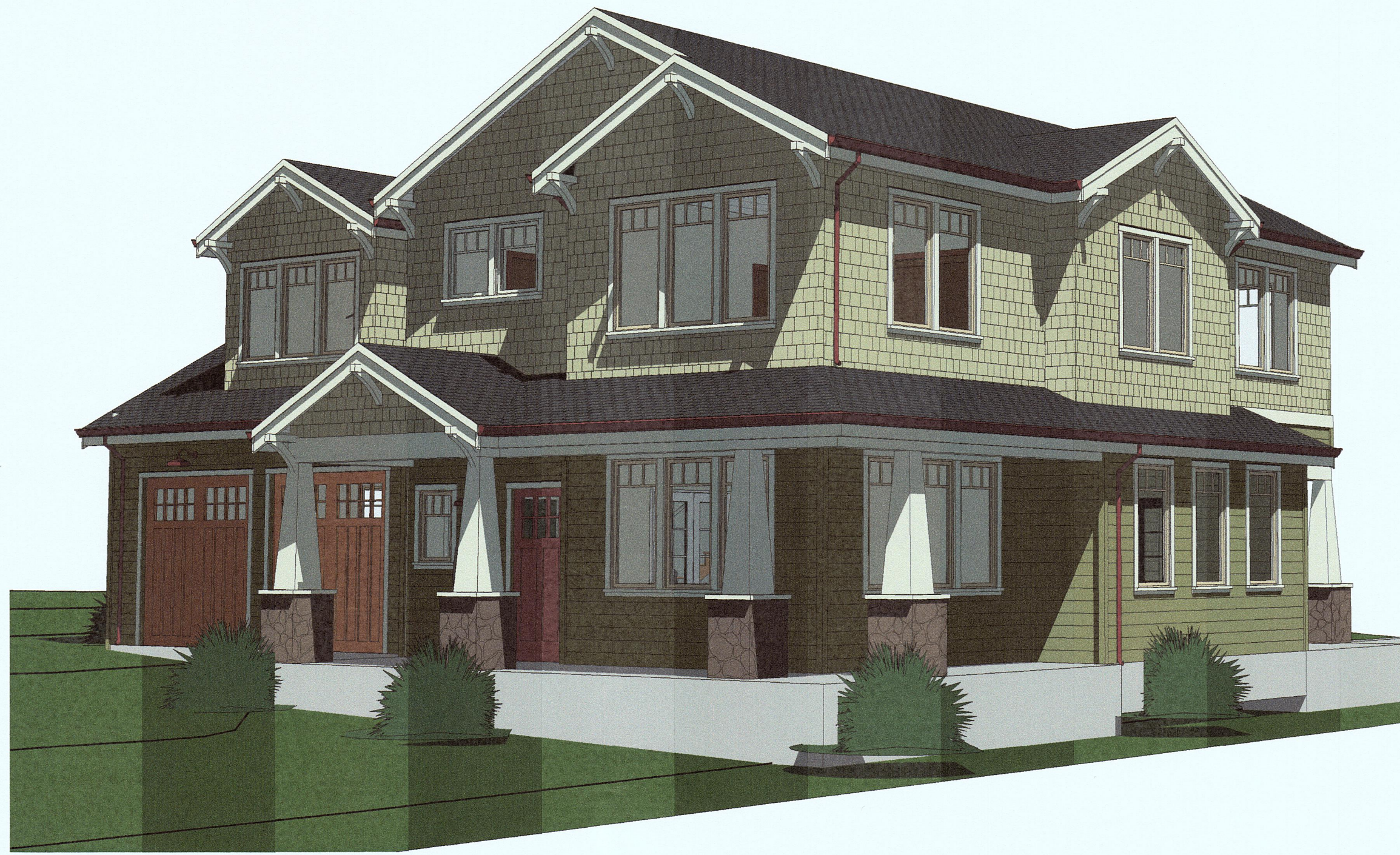
PROJECT SCOPE:  
(N) S-STORY SINGLE FAMILY HOME  
W/ ATTACHED 2-CAR GARAGE ON  
VACANT PARCEL

PROJECT NAME:  
**NEW SINGLE FAMILY HOME:**  
**APN 023-015-030 037-094-280**  
PROJECT ADDRESS:  
**61 WYLVALE AVE**  
**MOSS BEACH, CA 94038**

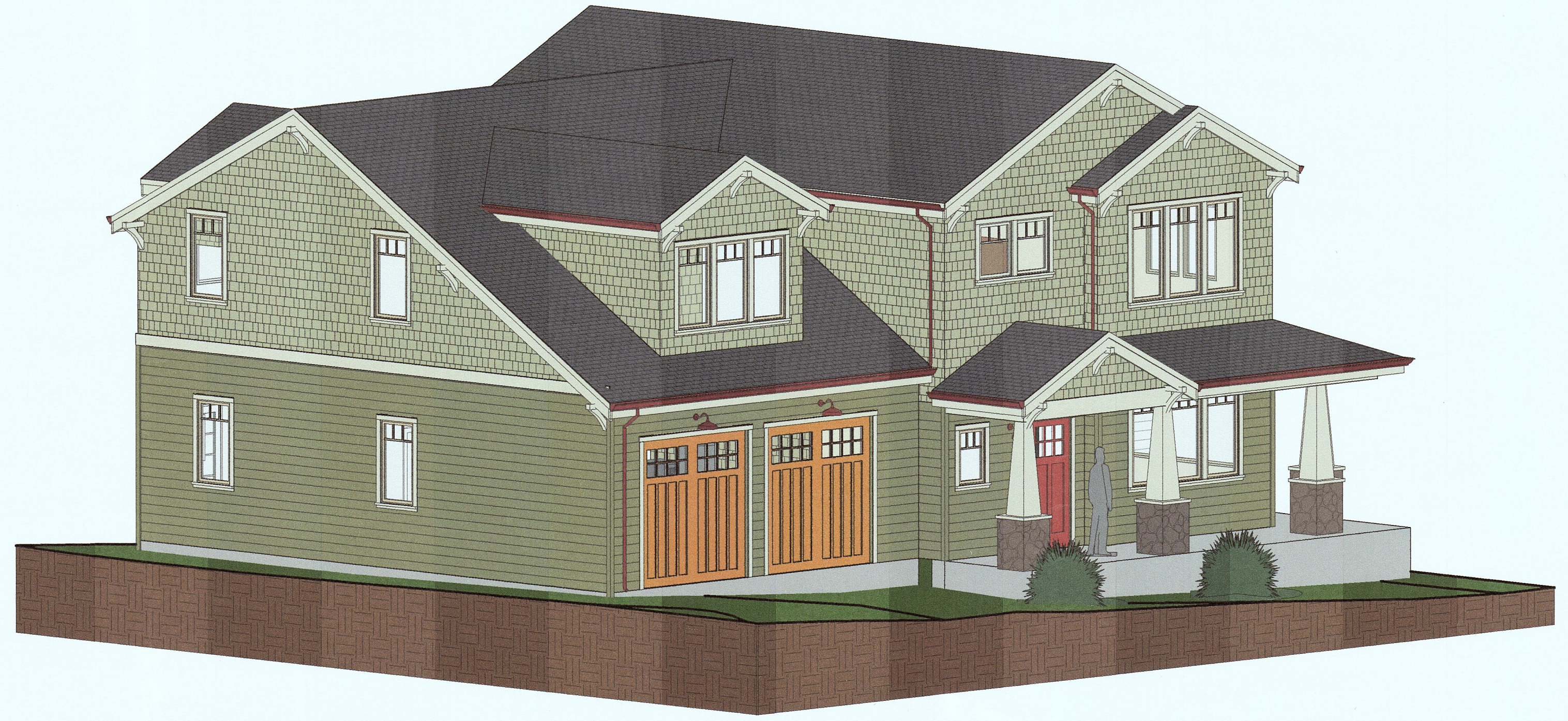
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**TITLE SHEET / PROJECT INFO**

**RECEIVED**  
JAN 17 2019  
San Mateo County  
Planning and Building Department  
PLW 2018-00290

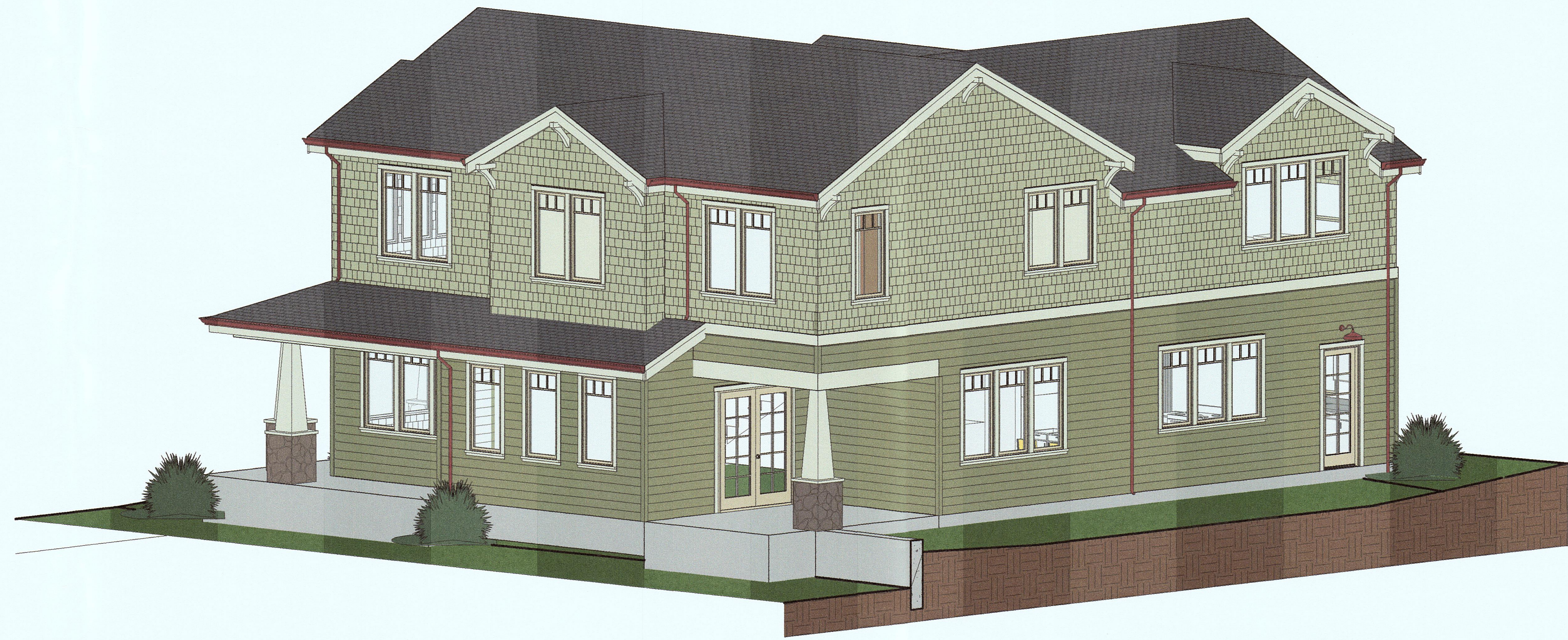
SHEET  
**A0.0**



1 STREET VIEW 1

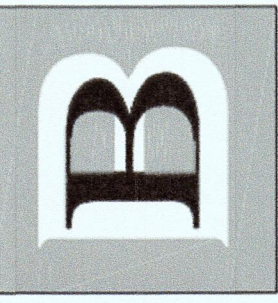


3 NE 3D VIEW



2 SW 3D VIEW

BRIAN BRINKMAN  
DRAFTING & DESIGN  
B-B-D  
1690 Francisco Blvd.  
Pacifica, CA 94044  
(650) 922-7993



REV	DATE	DESCRIPTION
2	03/08/2018	COMPLETED DESIGN SET
3	04/10/2018	PRE-APPLICATION MEETING
4	07/20/2018	PLANNING SUBMITTAL
5	10/29/2018	PLANNING RESUBMITTAL
6	01/17/2019	DESIGN REVIEW HEARING CHANGES

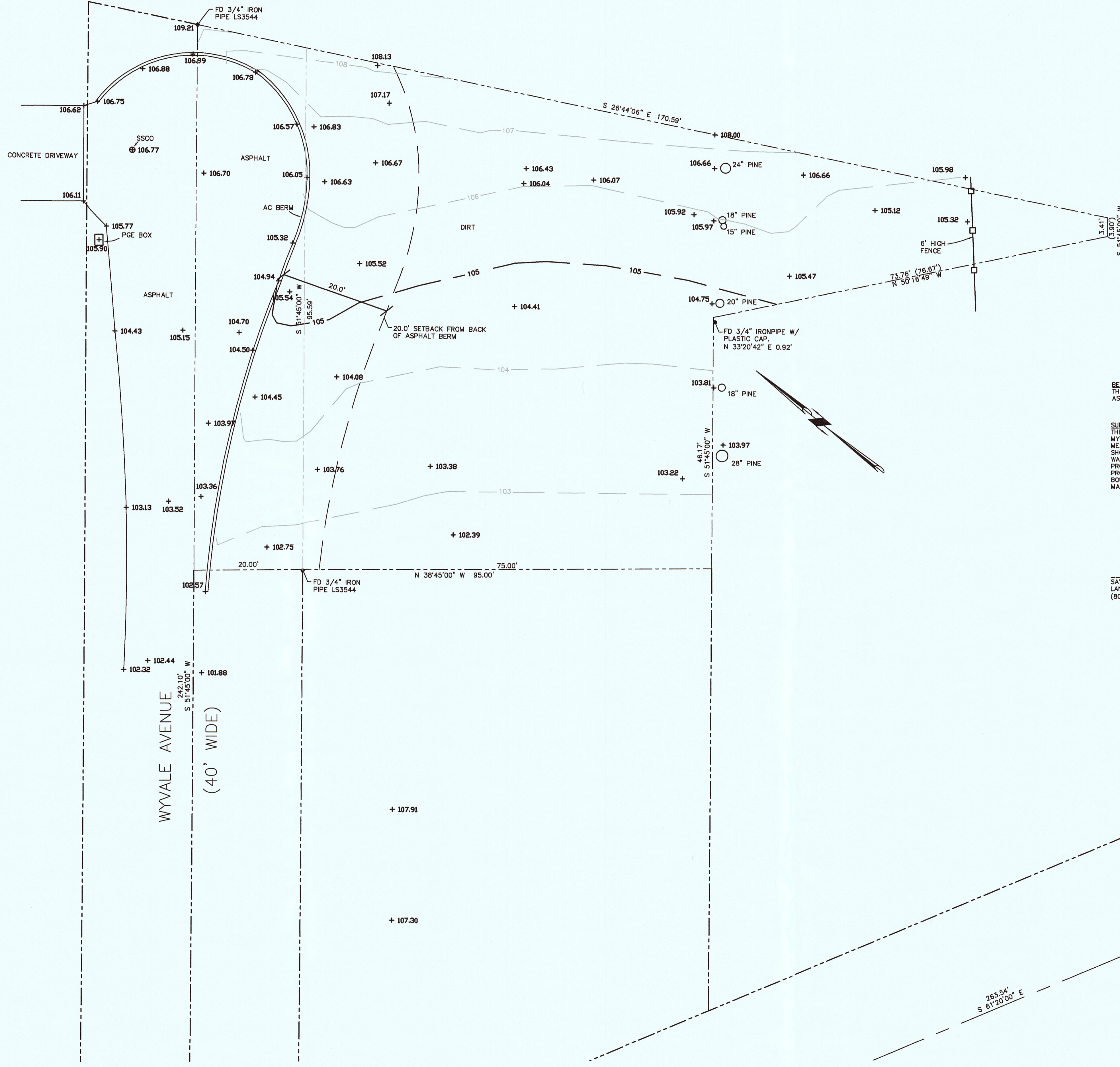
PROJECT NAME:  
**NEW SINGLE FAMILY HOME:**  
APN 023-015-030

PROJECT ADDRESS:  
**61 WYLVALE AVE  
MOSS BEACH, CA 94038**

PROJECT SCOPE:  
(N) S-STORY SINGLE FAMILY HOME  
W/ ATTACHED 2-CAR GARAGE ON  
VACANT PARCEL

SHEET TITLE  
**3D VIEWS**

SHEET  
**A0.1**



**BENCHMARK STATEMENT:**  
 THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

**SURVEYOR'S STATEMENT:**  
 THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE SEPTEMBER 2016. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN. EASEMENTS MAY EXIST IN THE TITLE REPORT.



SAVOR P. MICALLEF  
 LAND SURVEYOR, LS 8289  
 (805) 709-2423

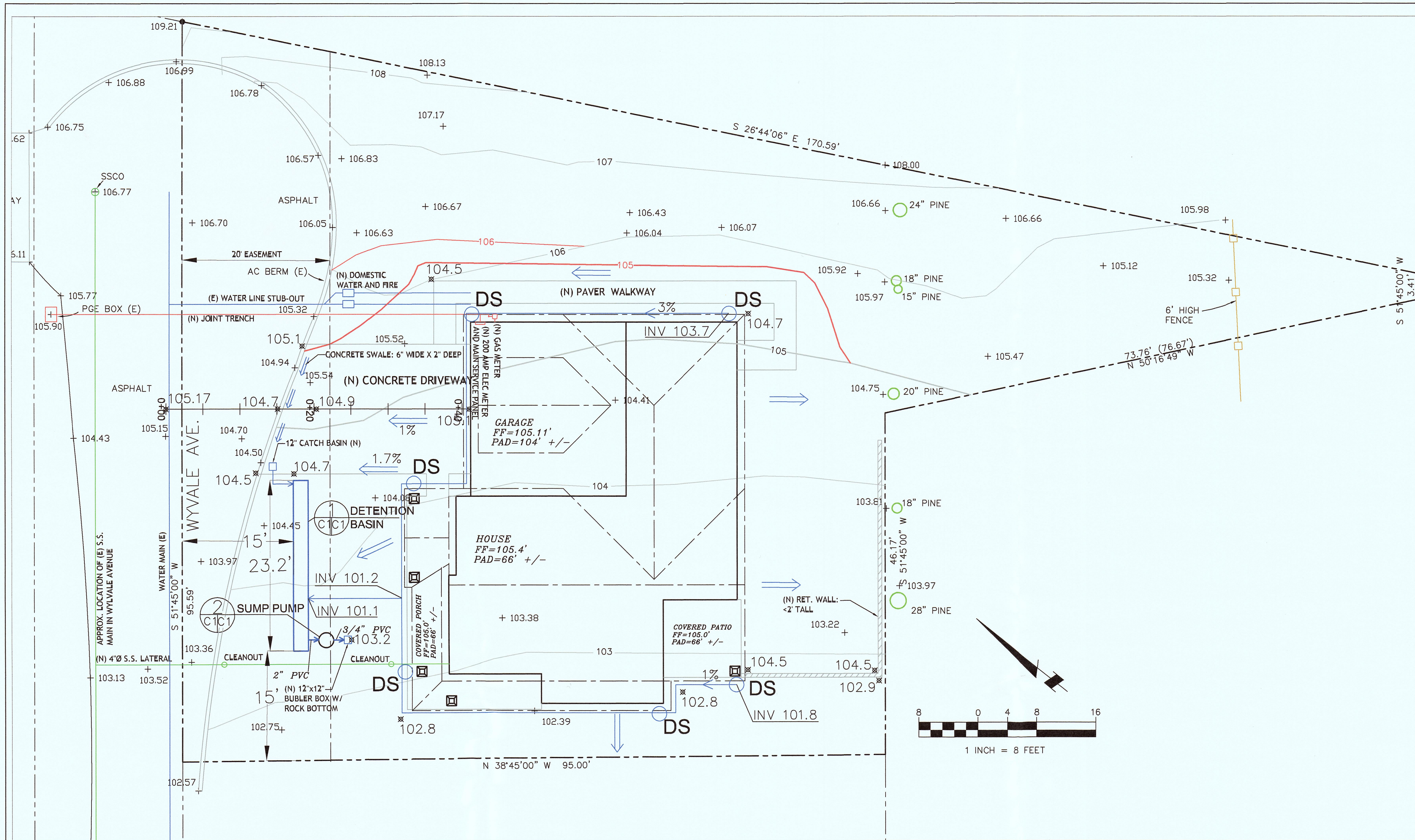
DATE

SAVOR P. MICALLEF LAND SURVEYING  
 421 WILDWOOD DRIVE  
 SOUTH SAN FRANCISCO, CA 94080  
 805/709-2423

TOPOGRAPHIC SURVEY OF  
 LANDS OF GUNTREN

CALIFORNIA  
 UNINCORPORATED SAN MATEO COUNTY

Date	09-17-16
Scale	1"=10'
Design	SPM
Drawn	SPM
Approved	SPM
Job No.	
Revisions	
No.	
Drawing Number:	



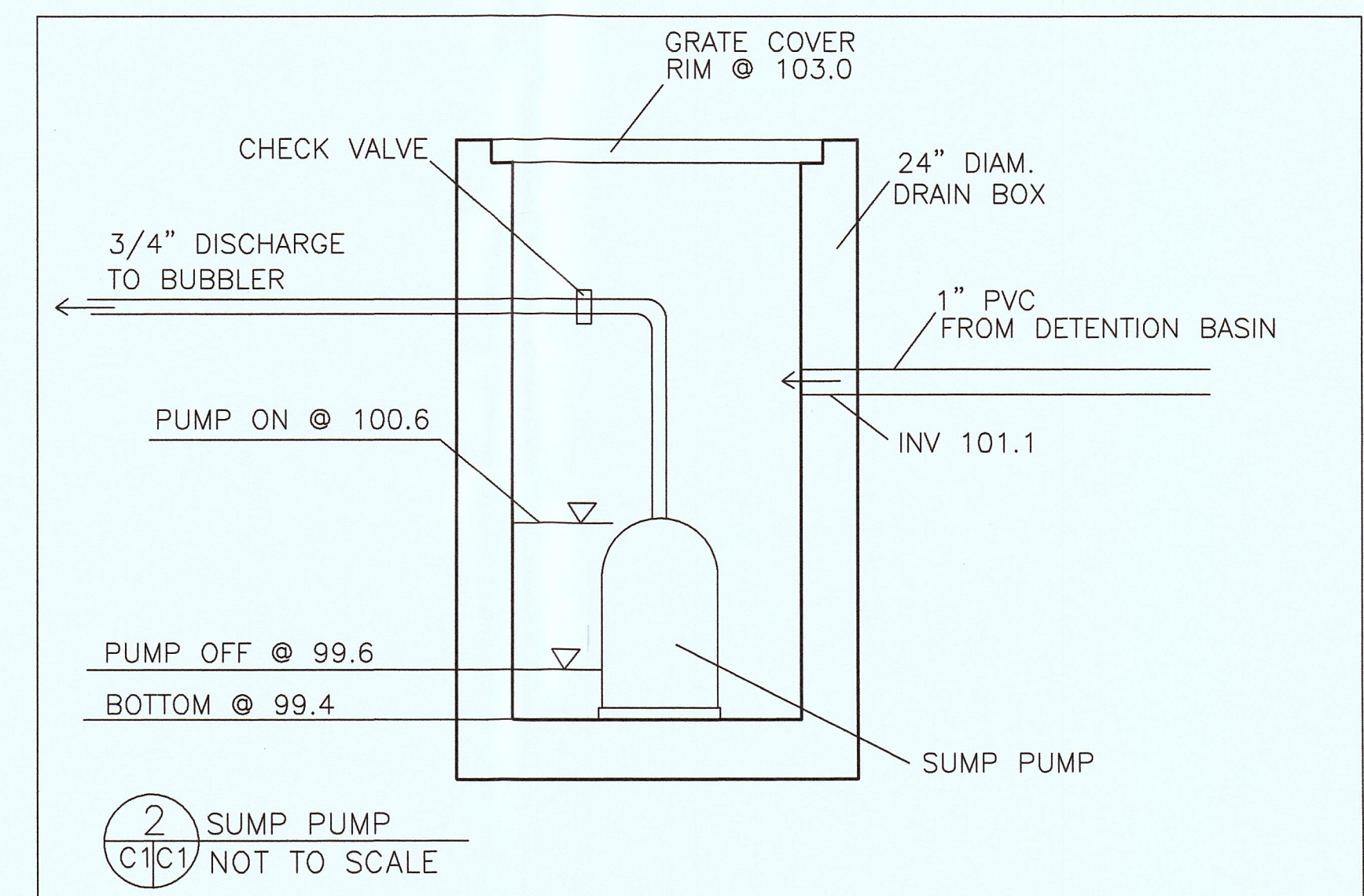
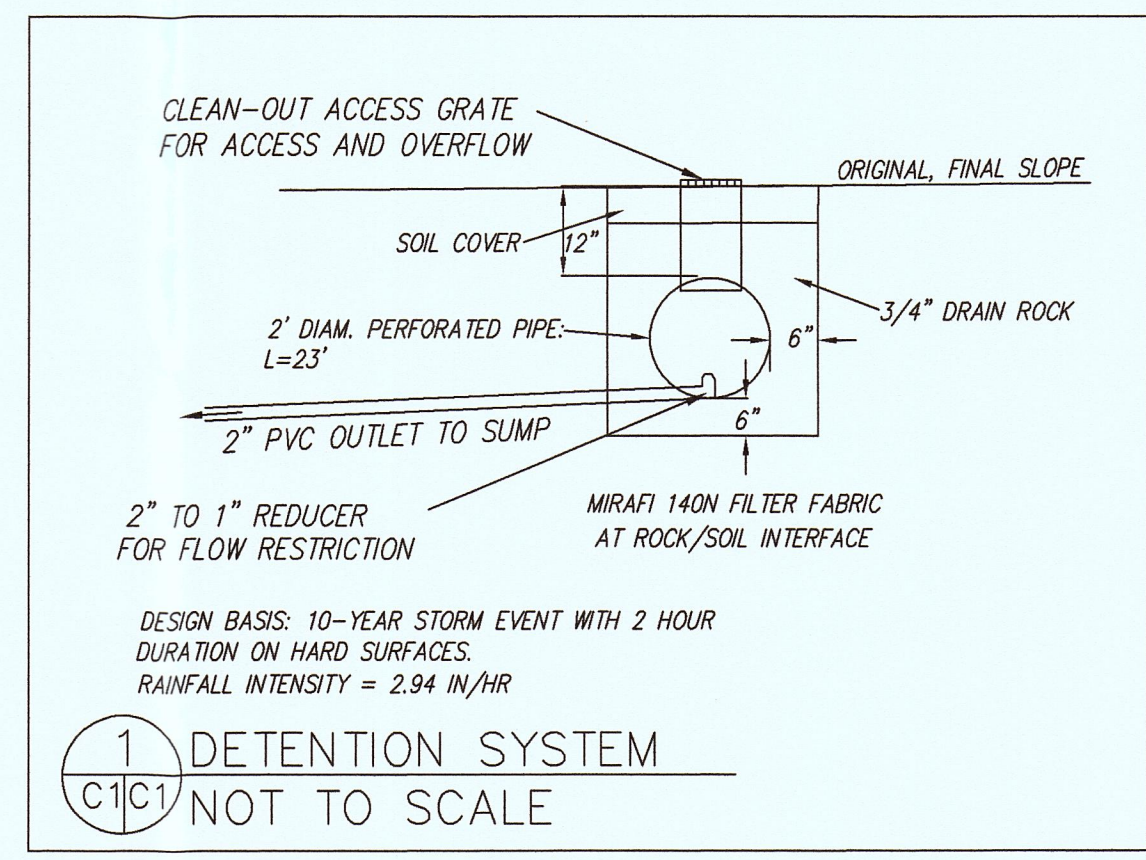
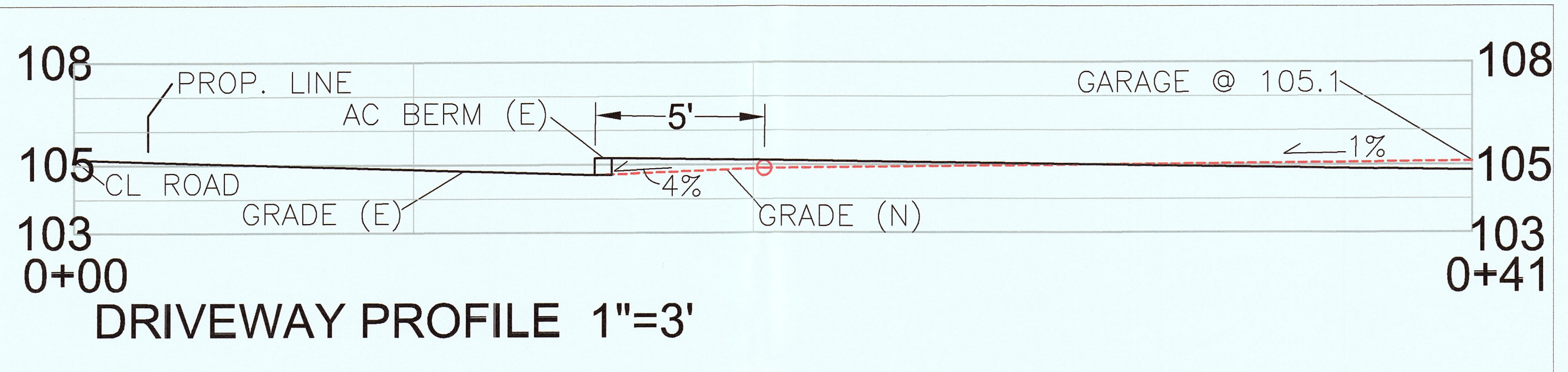
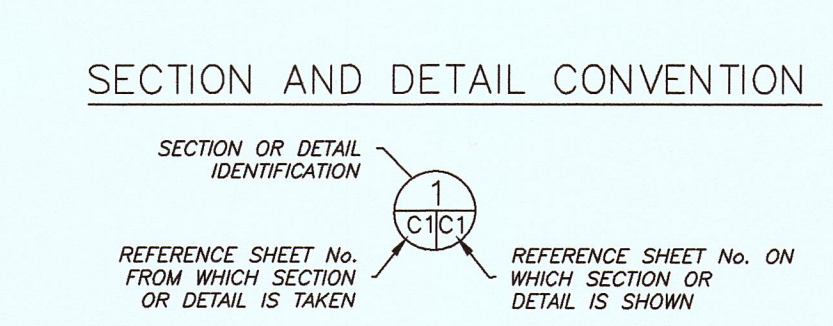
- LEGEND**
- 1' CONTOUR (E)
  - 5' CONTOUR (E)
  - PROPOSED CONTOUR
  - DS
  - 3" MIN SOLID DRAIN PIPE
- +105.32 EXISTING SPOT ELEVATION  
 x104.7 PROPOSED SPOT ELEVATION

- GENERAL NOTES**
- PLANS PREPARED AT THE REQUEST OF: JOE GUNTREN, OWNER
  - TOPOGRAPHY BY OTHERS.
  - THIS IS NOT A BOUNDARY SURVEY.
  - ELEVATION DATUM ASSUMED.

- GRADING NOTES**
- CUT VOLUME: 30 CY (FOR FOUNDATION, MINOR GRADING)  
 FILL VOLUME: 10 CY
- ABOVE VOLUMES ARE APPROXIMATE.
  - ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
  - ALL TRENCHES IN PROPOSED LANDSCAPE AREAS SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

- DRAINAGE NOTES**
- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
  - ALL ROOF DRAIN LINES SHALL LEAD TO DETENTION BASIN SHOWN.
  - ALL DRAINAGE PIPES SHALL BE MINIMUM 3" DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
  - AREAS OF PERVIOUS GROUND SHALL SLOPE AWAY FROM BUILDING A 5% WITHIN 10 FEET OF BUILDING, WHERE SPACE PERMITS.

- TRAFFIC CONTROL NOTES**
- CONTRACTOR AND WORKERS SHALL PARK ALONG WYLVALE STREET.
  - WHEN TRUCKS PARK IN STREET FOR DELIVERY OF SUPPLIES AND CONCRETE, EVERY EFFORT SHALL BE MADE TO PROVIDE ROOM FOR VEHICLES TO PASS.



**GRADING AND DRAINAGE PLAN**

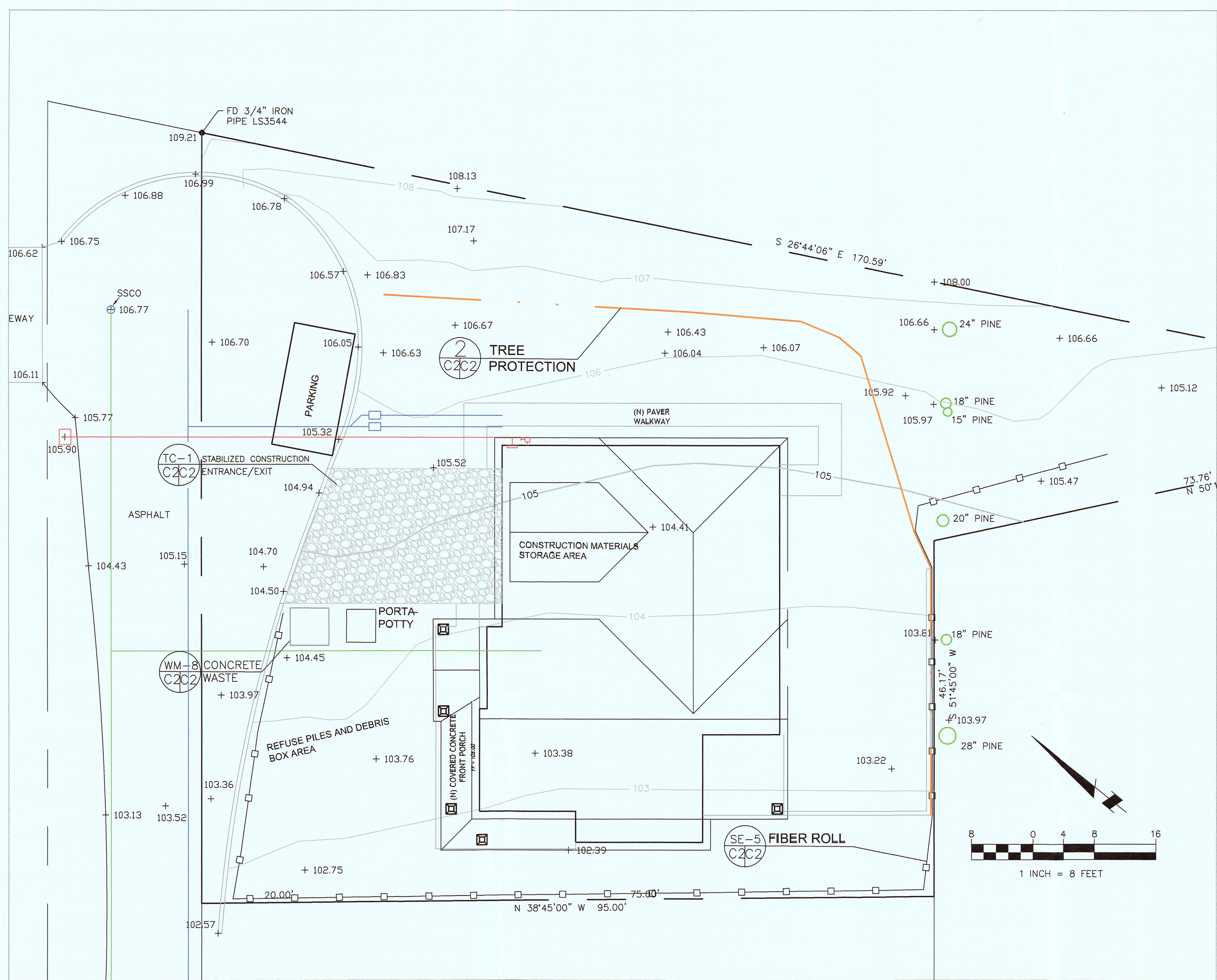
**SHEET C-1**

**GRADING AND DRAINAGE PLAN**

GUNTREN PROPERTY  
 61 WYLVALE STREET  
 MOSS BEACH  
 APN 023-015-030

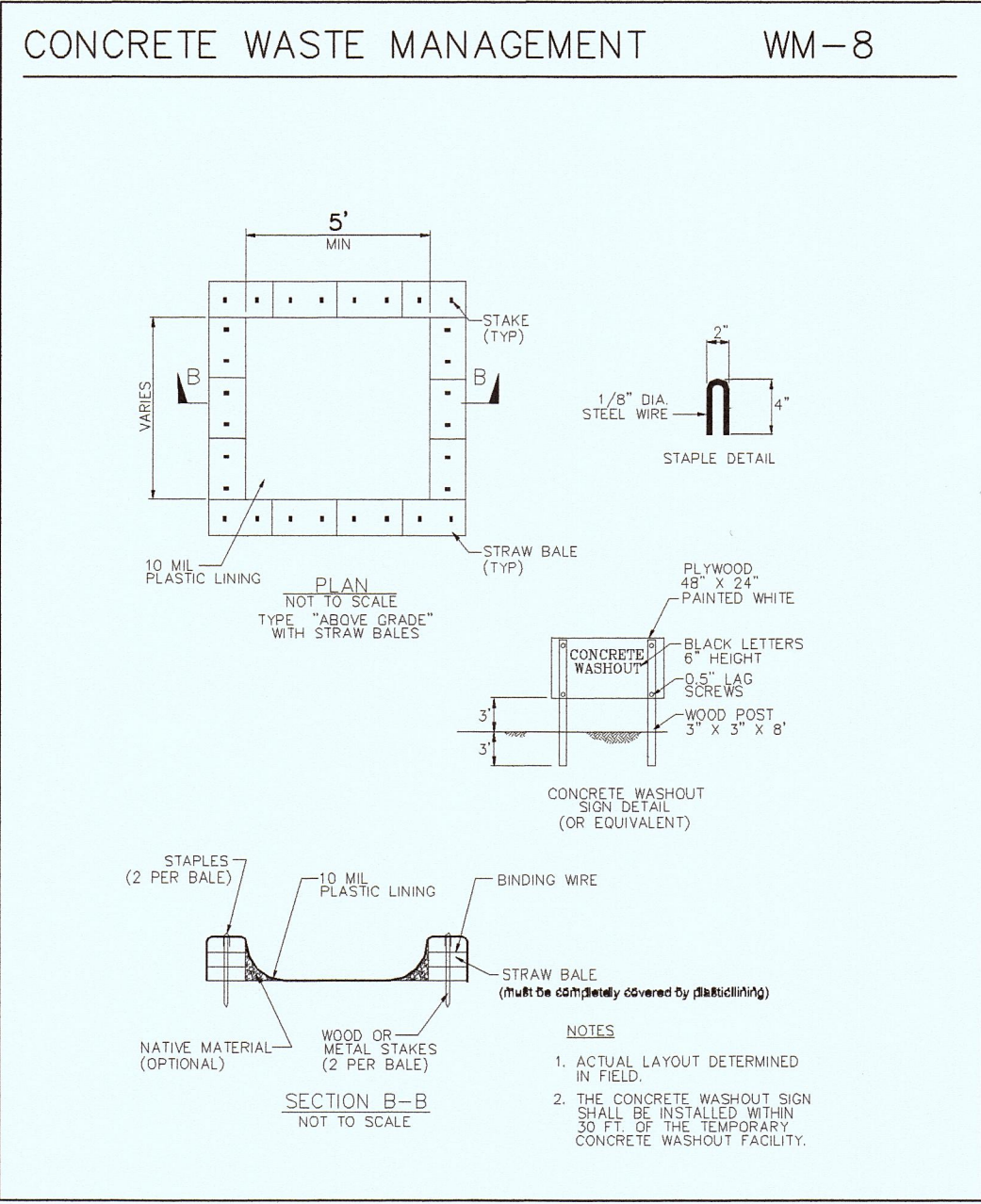
DATE: 7-9-18  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE:  
 REV. DATE:  
 REV. DATE:

**Sigma Prime Geosciences, Inc.**  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 FAX 728-3593

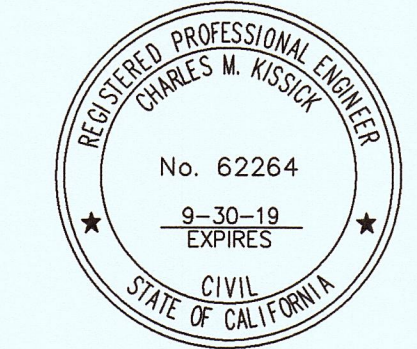


GENERAL EROSION AND SEDIMENT CONTROL NOTES

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- The tree protection shall be in place before any grading, excavating or grubbing is started.

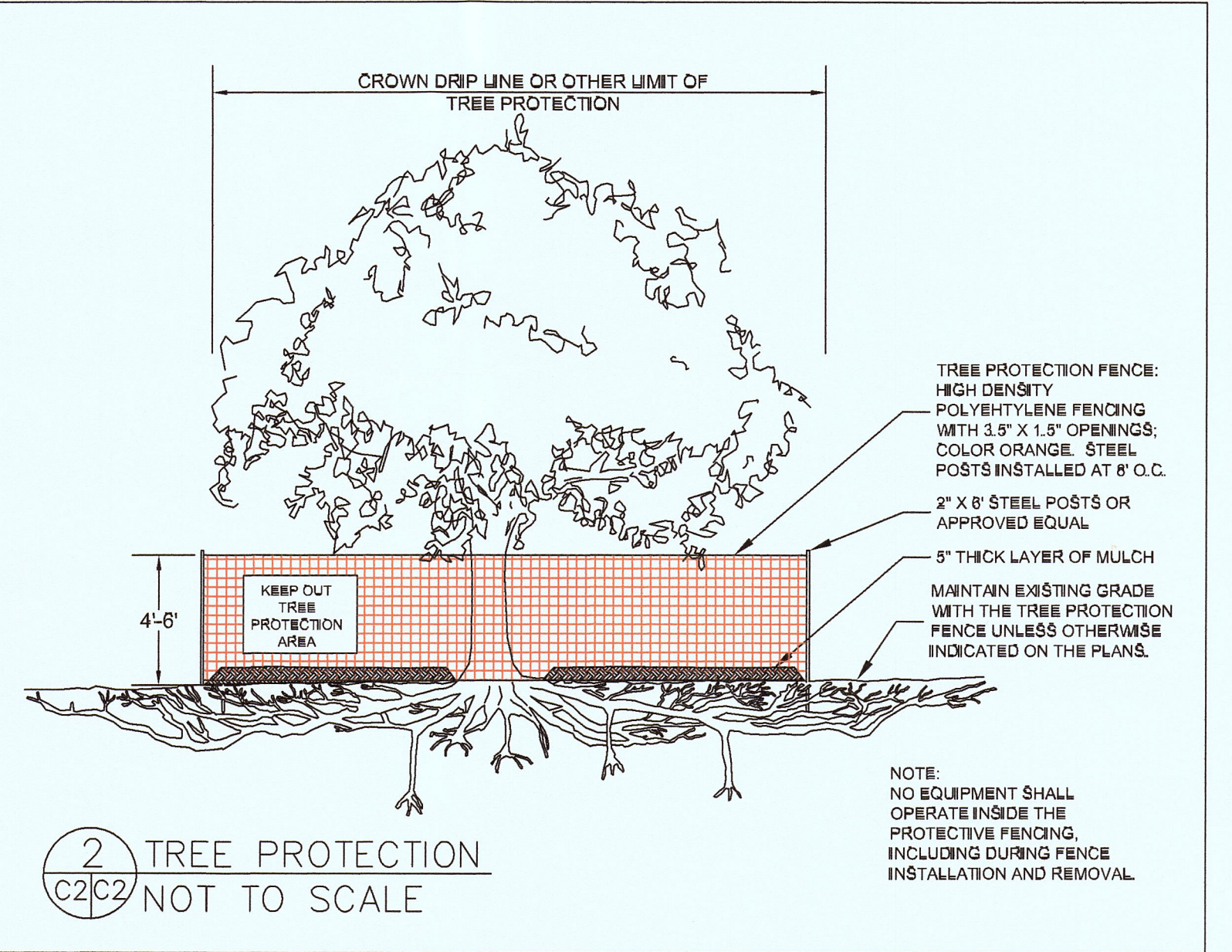


EROSION CONTROL POINT OF CONTACT  
 THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.  
 NAME: JOE GUNTREN  
 TITLE/QUALIFICATION: OWNER  
 PHONE: 650-728-9659  
 E-MAIL: GUNTR@ATT.NET

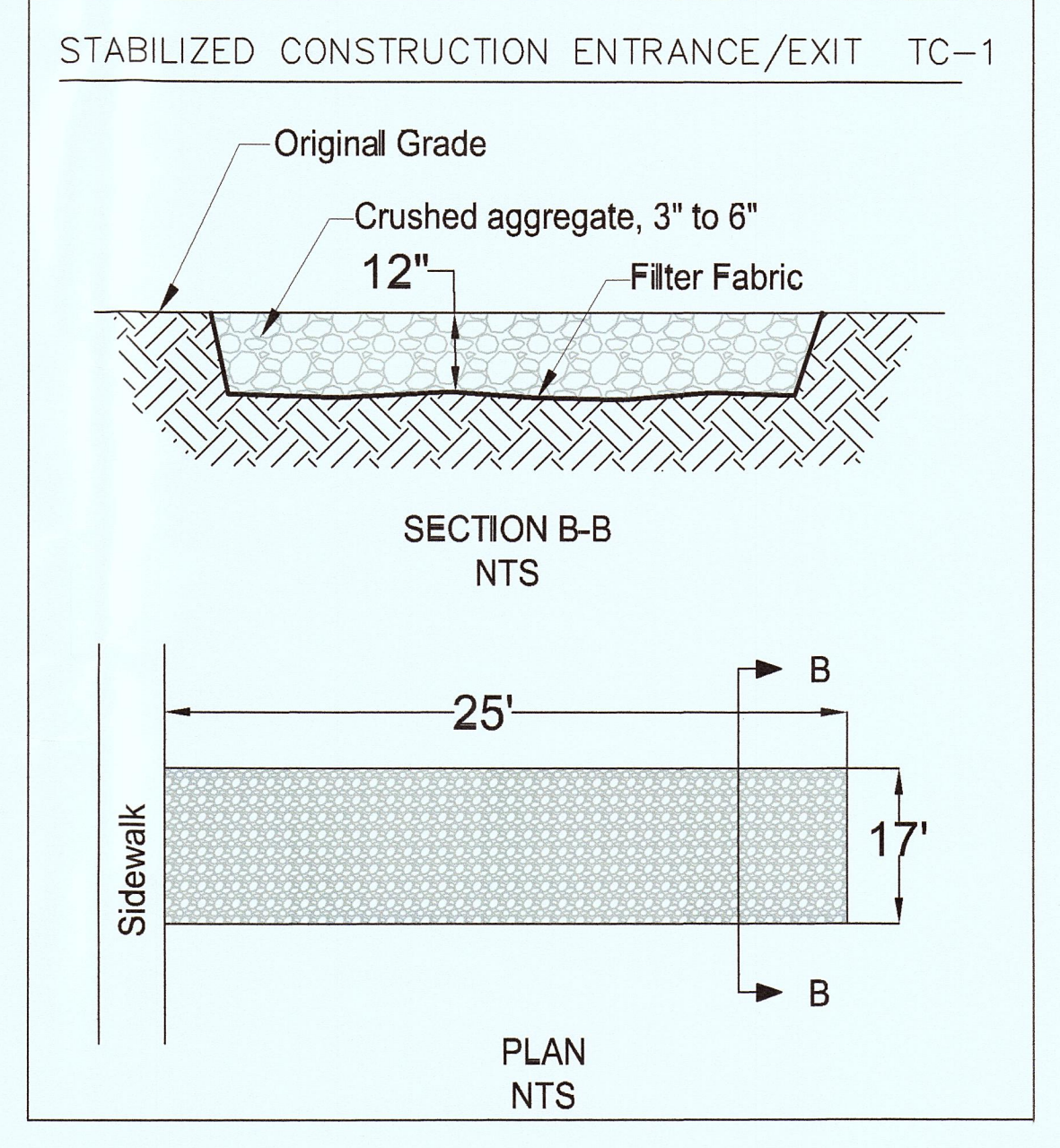
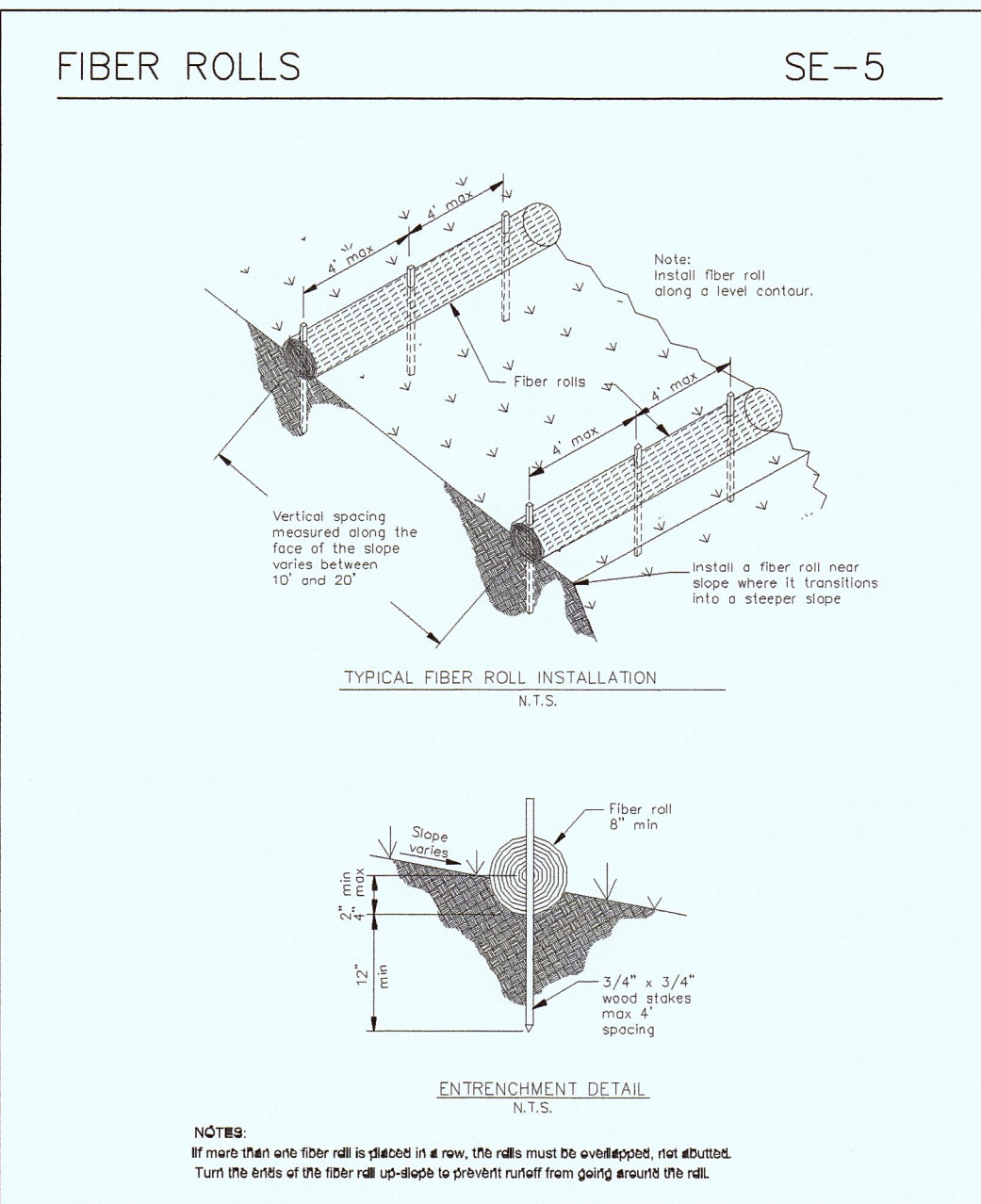


Sigma Prime Geosciences, Inc.  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 FAX 728-3593

- TREE PROTECTION NOTES
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
  2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
  3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
  4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
  5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
  6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



- EROSION CONTROL NOTES
- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFFIX AS SHOWN IN DETAIL SE-5
1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
  2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
  3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
  4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
  5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
  6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 25 FEET LONG BY 17 FEET WIDE AND CONFORM TO THE FOLLOWING:
    - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
    - B. PAD SHALL BE NOT LESS THAN 12" THICK.
    - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
    - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
  7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE).



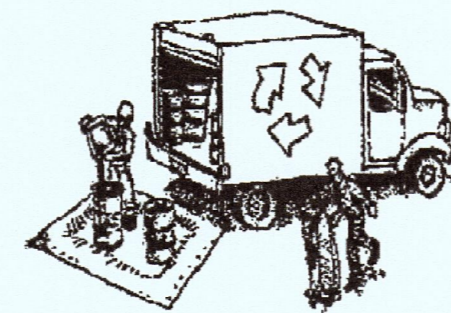
DATE: 7-9-18  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE:  
 REV. DATE:  
 REV. DATE:

EROSION AND SEDIMENT CONTROL AND TREE PROTECTION PLAN  
 GUNTREN PROPERTY  
 61 WYVALE STREET  
 MOSS BEACH  
 APN 023-015-030

## Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

### Materials & Waste Management



- Non-Hazardous Materials**
- ❑ Bern and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
  - ❑ Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
  - ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
  - ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
  - ❑ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

### Equipment Management & Spill Control

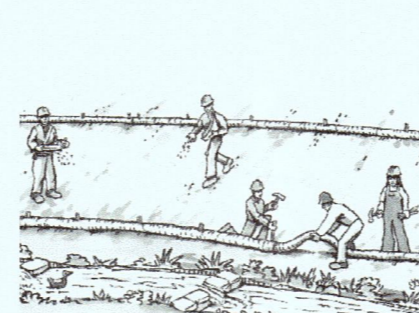


- Maintenance and Parking**
- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
  - ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
  - ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
  - ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
  - ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills or dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

### Earthmoving

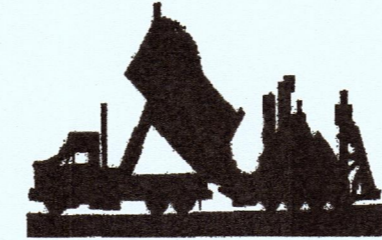


- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber mats) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells.
  - Buried barrels, debris, or trash.

### Paving/Asphalt Work

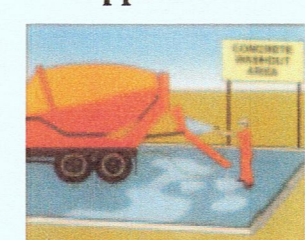


- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

### Concrete, Grout & Mortar Application



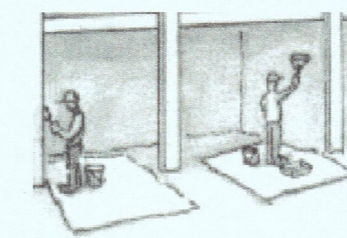
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

### Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

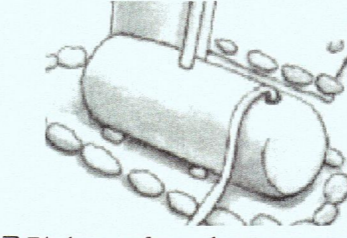
### Painting & Paint Removal



#### Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

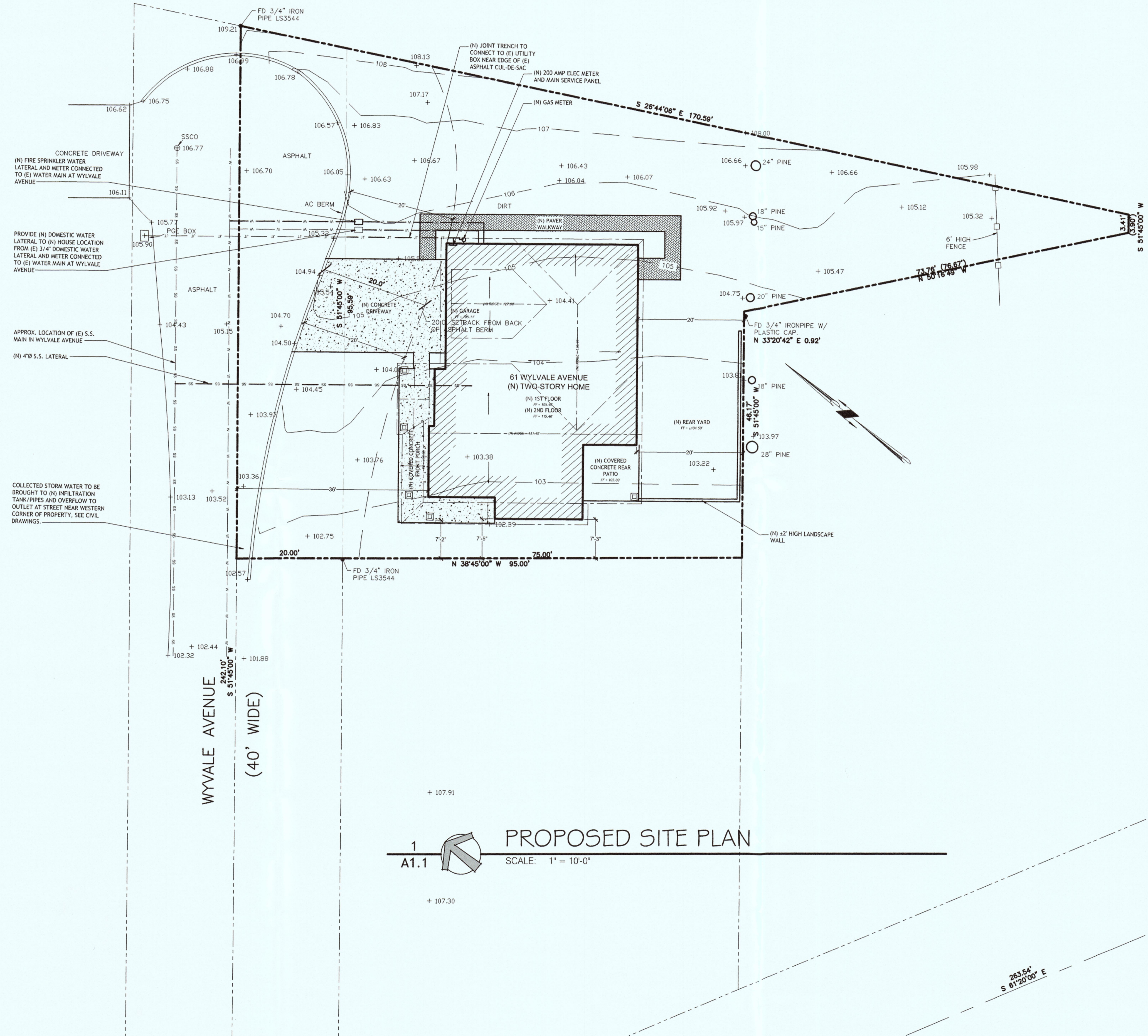
### Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**





1  
A1.1

PROPOSED SITE PLAN

SCALE: 1" = 10'-0"

REV	DATE	DESCRIPTION
2	03/08/2018	COMPLETED DESIGN SET
3	04/10/2018	PRE-APPLICATION MEETING
4	07/20/2018	PLANNING SUBMITTAL
5	10/29/2018	PLANNING RESUBMITTAL
6	01/17/2019	DESIGN REVIEW HEARING CHANGES

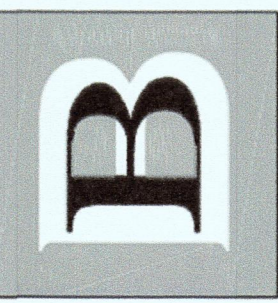
PROJECT SCOPE:  
(N) S-STORY SINGLE FAMILY HOME  
W/ ATTACHED 2-CAR GARAGE ON  
VACANT PARCEL

PROJECT NAME:  
NEW SINGLE FAMILY HOME:  
APN 023-015-030

PROJECT ADDRESS:  
61 WYLVALE AVE  
MOSS BEACH, CA 94038

SHEET TITLE  
SITE PLAN

SHEET  
A1.1



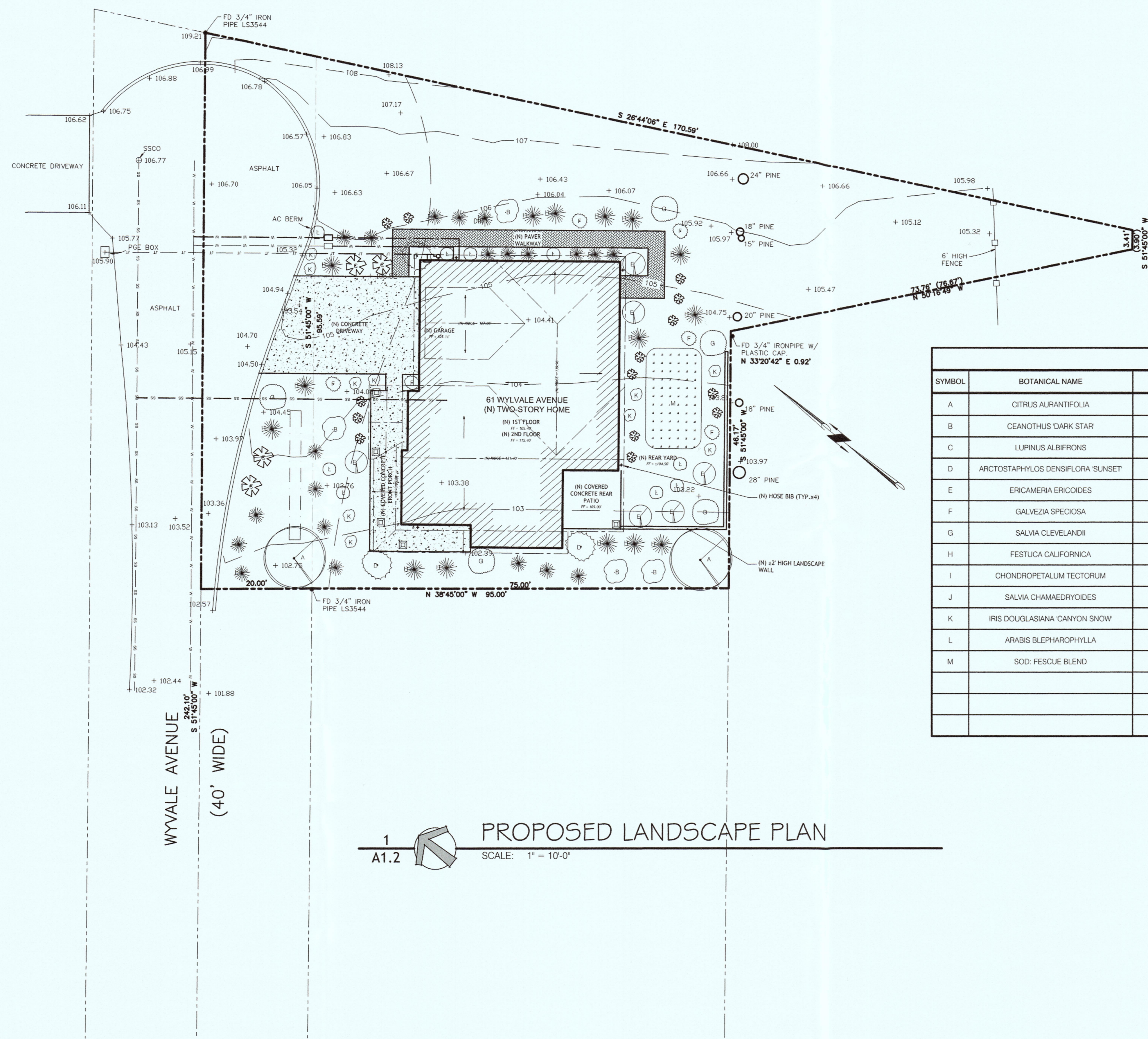
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(N) S-STORY SINGLE FAMILY HOME  
W/ ATTACHED 2-CAR GARAGE ON  
VACANT PARCEL

PROJECT NAME:  
**NEW SINGLE FAMILY HOME:**  
APN 023-015-030  
PROJECT ADDRESS:  
**61 WYLVALE AVE  
MOSS BEACH, CA 94038**

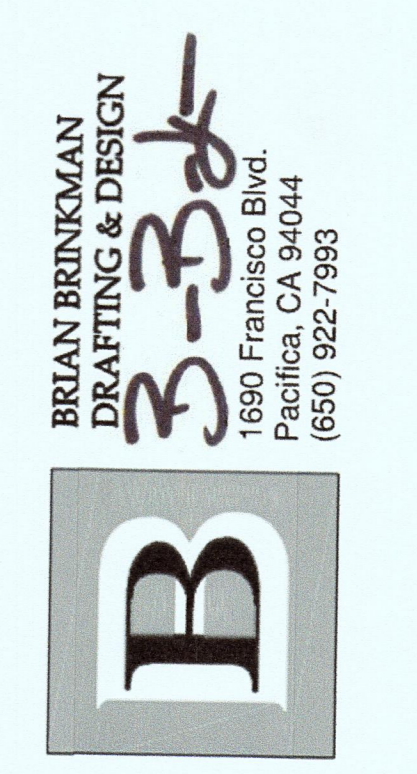
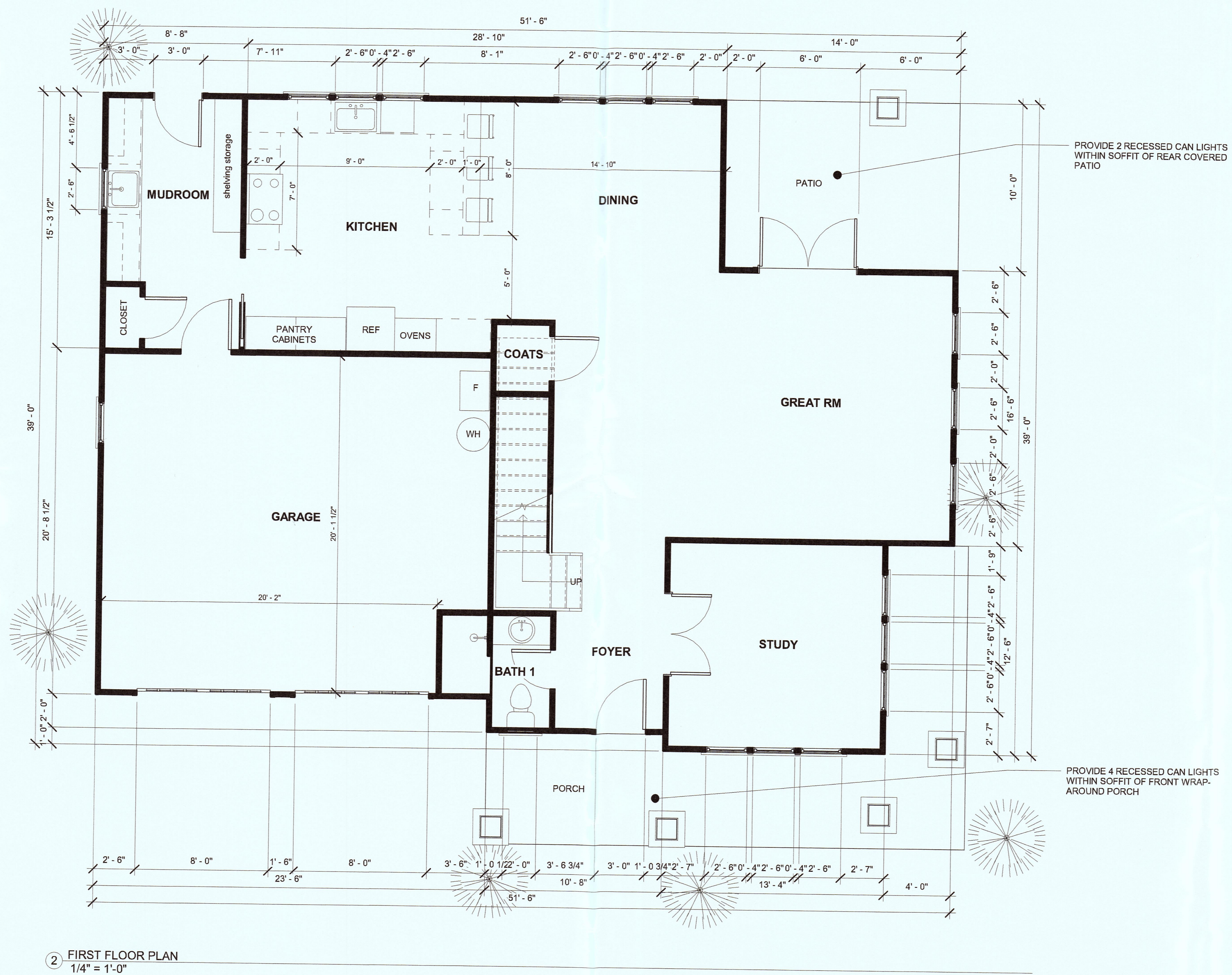
SHEET TITLE  
**PROPOSED  
LANDSCAPE  
PLAN**

SHEET  
**A1.2**



PLANT LIST								
SYMBOL	BOTANICAL NAME	COMMON NAME	PLANT TYPE	QUANTITY	DROUGHT TOLERANT?	SOURCE??	IRRIGATION METHOD	PLANT SIZE
A	CITRUS AURANTIFOLIA	KEY LIME	TREE	2	X	CPSLO U.F.E.I.	HAND WATER	24 INCH BOX
B	CEANOTHUS 'DARK STAR'	CALIFORNIA LILAC	SHRUB	4	X	BAY NATIVES	HAND WATER	3 GAL
C	LUPINUS ALBIFRONS	SILVER BUSH LUPINE	SHRUB	4	X	SUNSET	HAND WATER	3 GAL
D	ARCTOSTAPHYLOS DENSIFLORA 'SUNSET'	SUNSET MANZANITA	SHRUB	3	X	BAY NATIVES	HAND WATER	3 GAL
E	ERICAMERIA ERICOIDES	CALIFORNIA GOLDENBUSH	SHRUB	6	X	SUNSET	HAND WATER	3 GAL
F	GALVEZIA SPECIOSA	ISLAND BUSH SNAPDRAGON	SHRUB	6	X	SUNSET	HAND WATER	1 GAL
G	SALVIA CLEVELANDII	CLEVELAND'S SAGE	SHRUB	5	X	BAY NATIVES	HAND WATER	1 GAL
H	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	GRASS	14	X	SAN MARCOS GROWERS	HAND WATER	1 GAL
I	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	GRASS	21	X	SAN MARCOS GROWERS	HAND WATER	1 GAL
J	SALVIA CHAMAEDRYOIDES	'BEE'S BLISS' SAGE	PERENNIAL	13	X	SUNSET	HAND WATER	1 GAL
K	IRIS DOUGLASSIANA 'CANYON SNOW'	CANYON SNOW IRIS	PERENNIAL	8	X	SUNSET	HAND WATER	1 GAL
L	ARABIS BLEPHAROPHYLLA	COAST ROCK CRESS	PERENNIAL	9	X	SUNSET	HAND WATER	1 GAL
M	SOD: FESCUE BLEND	FESCUE BLEND SOD	SOD	1	X	BAY NATIVES	SPRAY	

**1**  
A1.2 **PROPOSED LANDSCAPE PLAN**  
SCALE: 1" = 10'-0"



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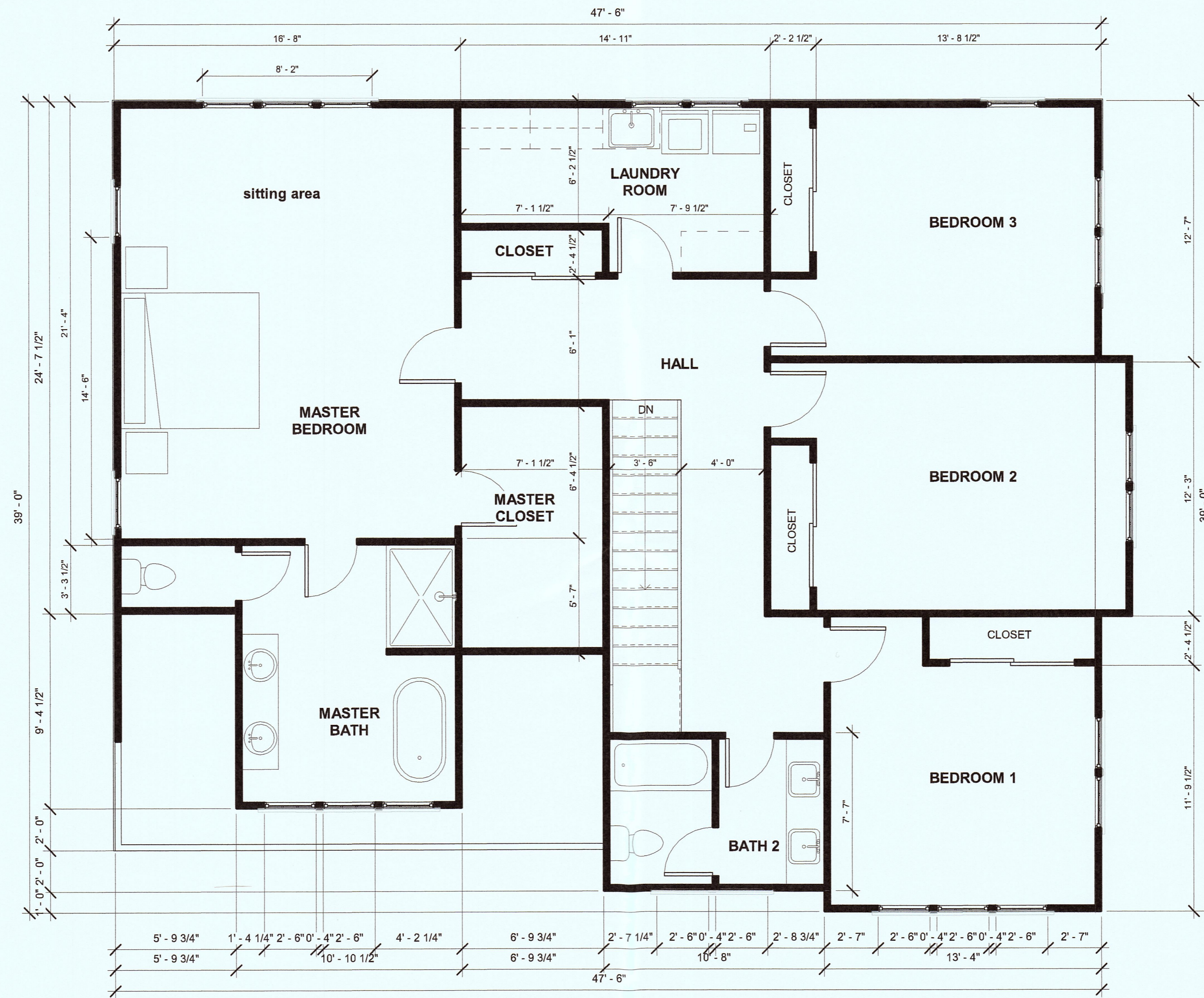
PROJECT NAME:  
**NEW SINGLE FAMILY HOME:**  
**APN 023-015-030**

PROJECT ADDRESS:  
**61 WYLVALE AVE**  
**MOSS BEACH, CA 94038**

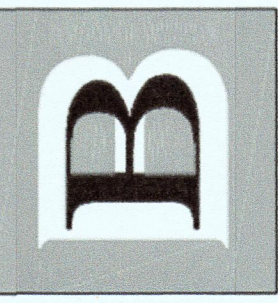
PROJECT SCOPE:  
 (N) S-STORY SINGLE FAMILY HOME  
 W/ ATTACHED 2-CAR GARAGE ON  
 VACANT PARCEL

SHEET TITLE  
**FIRST FLOOR PLAN**

SHEET  
**A2.1**



1 SECOND FLOOR PLAN  
1/4" = 1'-0"



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2	03/08/2018	COMPLETED DESIGN SET
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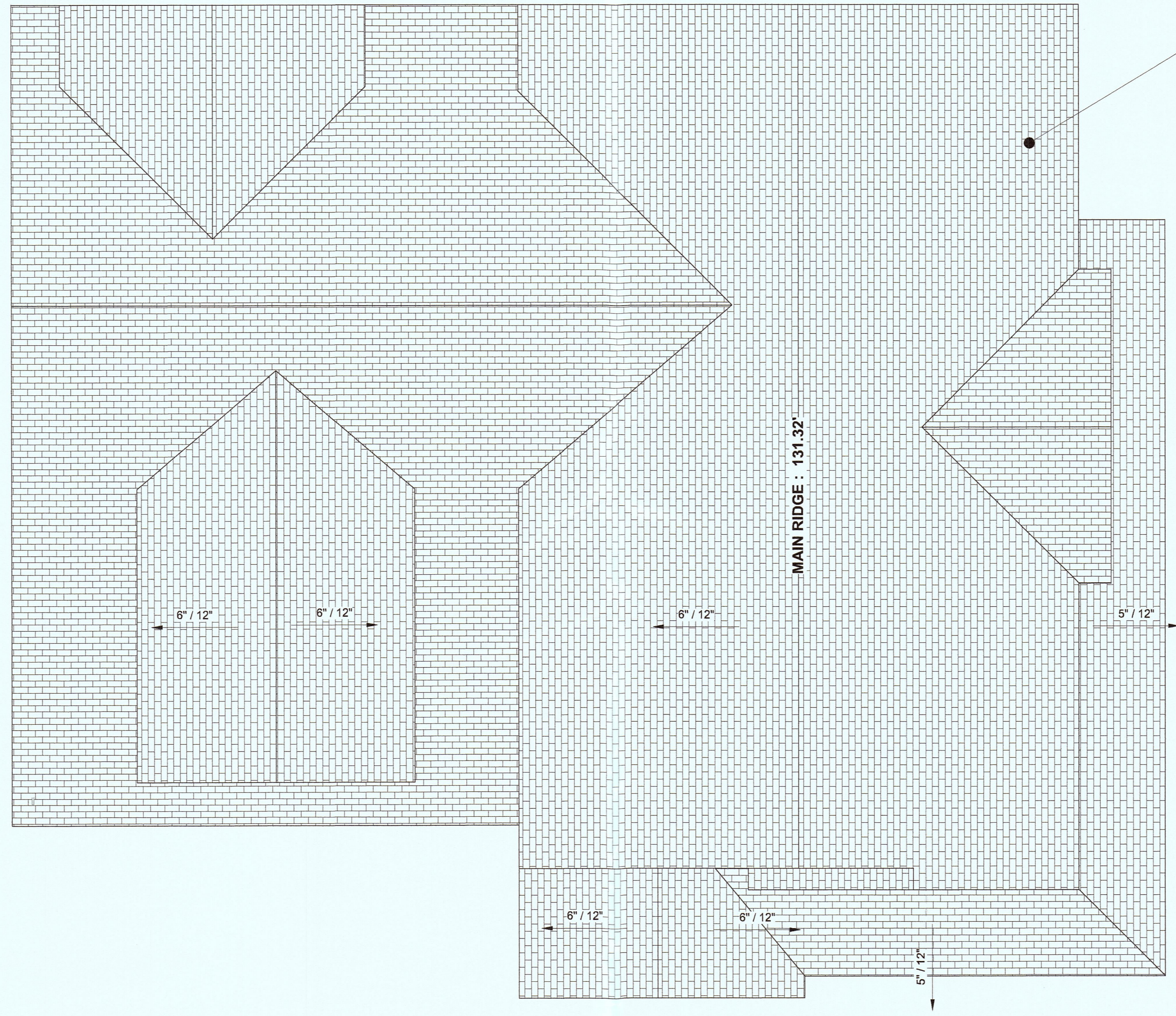
PROJECT NAME:  
**NEW SINGLE FAMILY HOME:**  
APN 023-015-030

PROJECT SCOPE:  
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W/ ATTACHED 2-CAR GARAGE ON  
VACANT PARCEL

PROJECT ADDRESS:  
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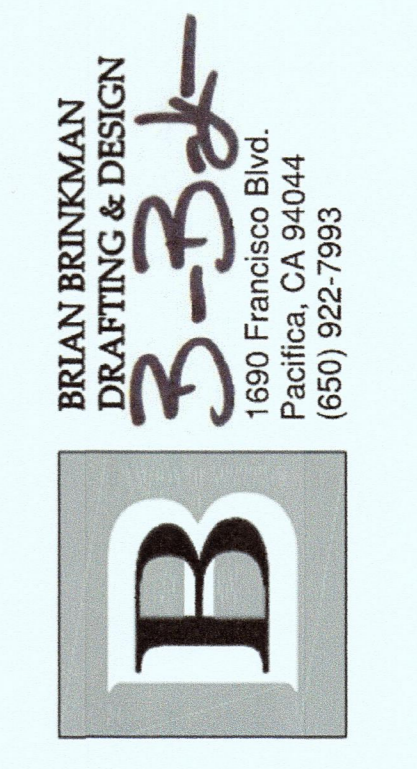
SHEET TITLE  
**SECOND FLOOR PLAN**

SHEET  
**A2.2**



COMPOSITION ASPHALT ROOFING SHINGLES  
OVER 2 LAYERS 15# FELT UNDERLAYMENT  
(TYP.)

① ROOF PLAN  
1/4" = 1'-0"



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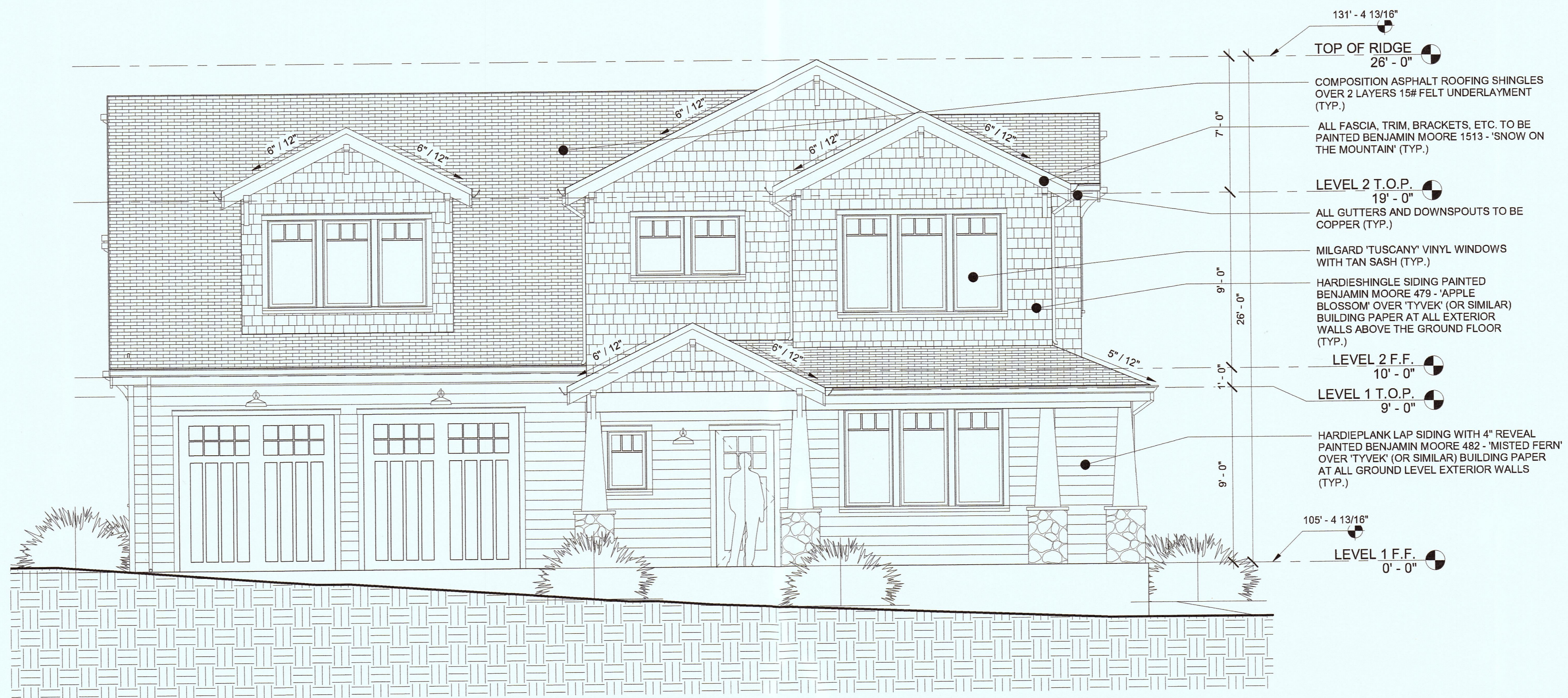
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PROJECT ADDRESS:  
**61 WYLVALE AVE  
MOSS BEACH, CA 94038**

PROJECT SCOPE:  
**(N) 5-STORY SINGLE FAMILY HOME  
W/ ATTACHED 2-CAR GARAGE ON  
VACANT PARCEL**

SHEET TITLE  
**ROOF PLAN**

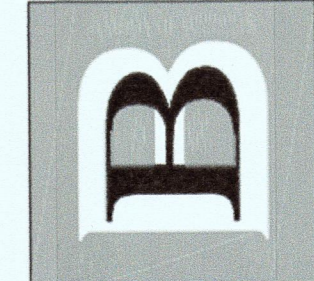
SHEET  
**A2.3**



① NORTH ELEVATION  
1/4" = 1'-0"



② WEST ELEVATION  
1/4" = 1'-0"



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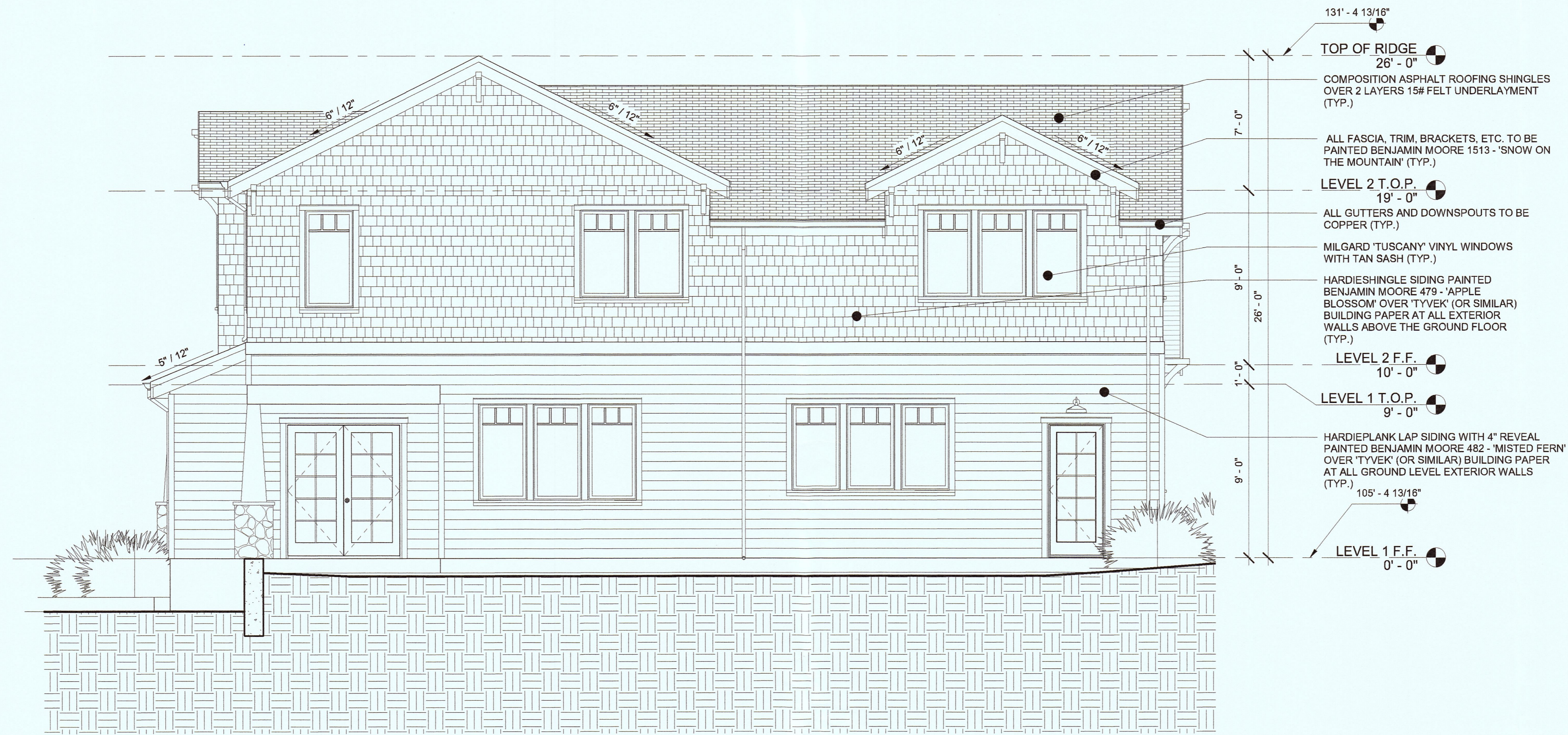
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**NEW SINGLE FAMILY HOME:**  
**APN 023-015-030**

PROJECT ADDRESS:  
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**MOSS BEACH, CA 94038**

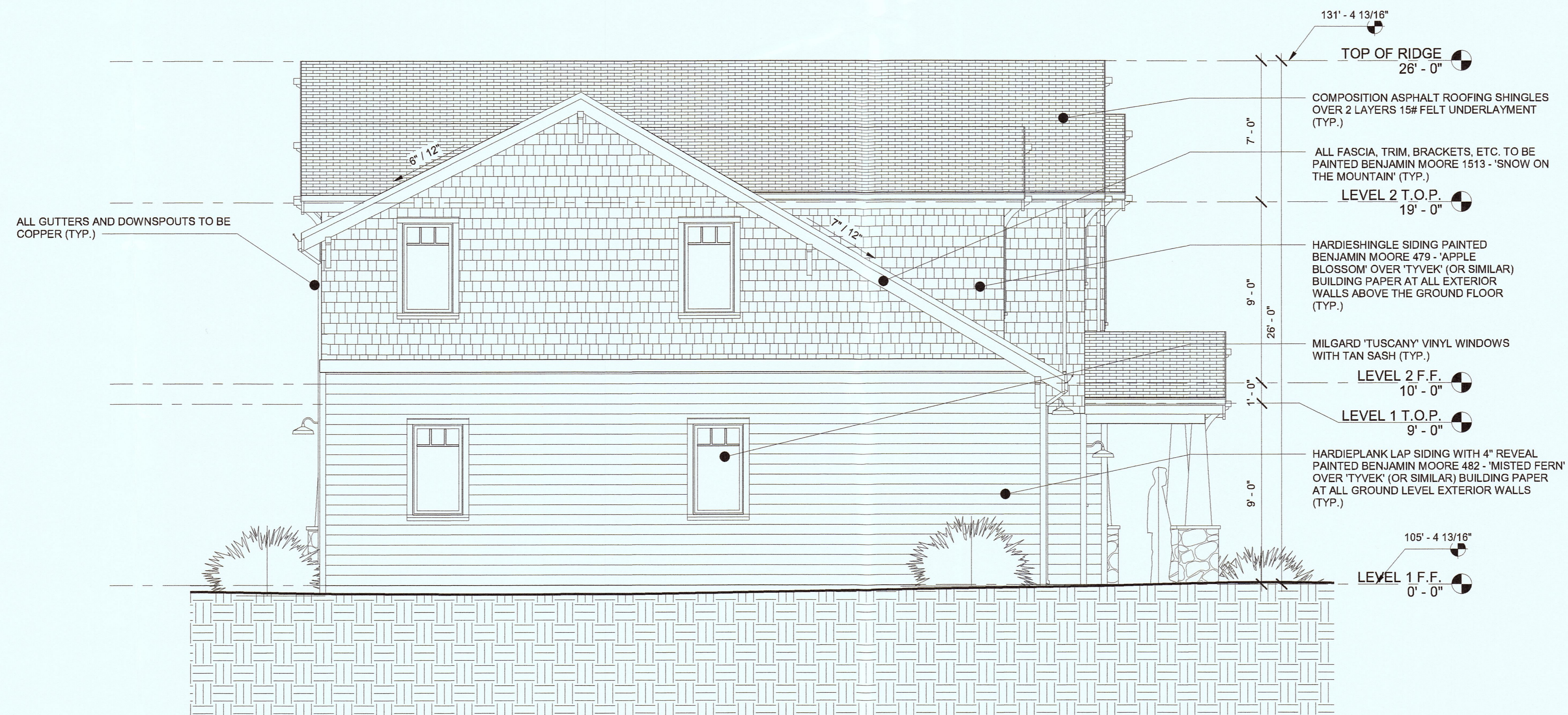
PROJECT SCOPE:  
**(N) S-STORY SINGLE FAMILY HOME**  
**W/ ATTACHED 2-CAR GARAGE ON**  
**VACANT PARCEL**

SHEET TITLE  
**NORTH AND WEST ELEVATIONS**

SHEET  
**A3.1**



① SOUTH ELEVATION  
1/4" = 1'-0"



② EAST ELEVATION  
1/4" = 1'-0"

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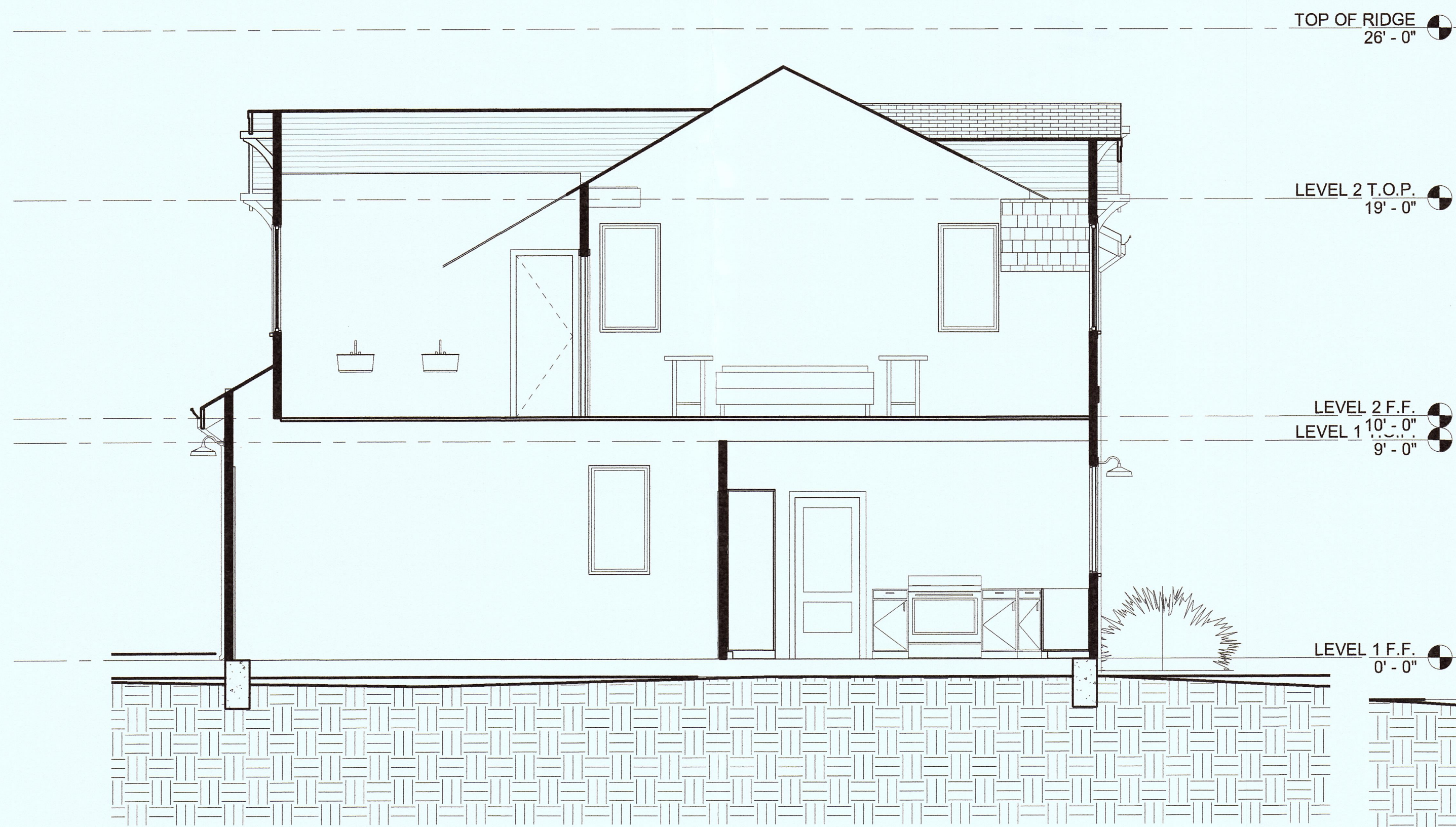
PROJECT SCOPE:  
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VACANT PARCEL

SHEET TITLE  
SOUTH AND  
EAST  
ELEVATIONS

SHEET  
A3.2



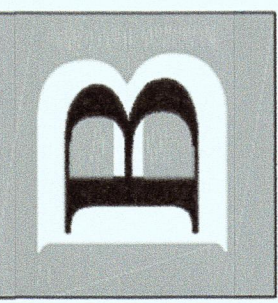
1 Section 1  
1/4" = 1'-0"



2 Section 2  
1/4" = 1'-0"



3 Section 3  
1/4" = 1'-0"



REV	DATE	DESCRIPTION
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MOSS BEACH, CA 94038**

SHEET TITLE  
**SECTIONS**

SHEET  
**A3.3**