

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** April 18, 2019

**TO:** Zoning Hearing Officer

**FROM:** Planning Staff

**SUBJECT:** Consideration of an Amendment to a Resource Management Permit and Grading Permit, pursuant to Sections 6313 and 9294, of the County Zoning and Building Regulations, respectively, and adoption of a Subsequent Mitigated Negative Declaration, pursuant to the California Environmental Quality Act, for modifications to the Community Development Director's June 23, 2017 approval for a new single-family residence and ancillary improvements on a legal, undeveloped 18.4-acre parcel at 489 Kebet Ridge Road in the unincorporated area of Woodside.

County File Number: PLN 2016-00150 (Atkins-Concra)

**PROPOSAL**

The applicant is seeking an amendment to the Resource Management Permit (RM) Permit and Grading Permit for modifications to the Community Development Director's June 23, 2017 approval for a new two-story single-family residence with a detached two-car carport and ancillary improvements on a legal, undeveloped 18.4-acre parcel in the unincorporated area of Woodside.

The proposed modifications include an increase in square footage of the two-story residence to 3,040 sq. ft. by extending the second floor over the previously proposed vaulted living room to create more interior usable space on the second floor (no exterior footprint change), and increasing the size of the exterior deck to 988 square feet. Additionally, the project amendment involves an increase in grading from a total of 985 cubic yards (c.y.) to a total of 4,140 c.y., including 3,705 c.y. of cut and 435 c.y. of fill. The additional grading will occur east of the proposed residence and is necessary to achieve a less than 35% slope gradient for the proposed leachfield area by removing previously imported fill (placed by previous property owners) to allow for a gravity septic system design. The increased grading will increase the number of trees proposed for removal to 50 trees including Douglas fir, canyon live oak, coast redwood, tan oak, Pacific madrone, and coast live oak trees ranging in size from 11 inches diameter at breast height (dbh) to 46 inches dbh, of which 28 require a permit to remove due to their size.

The project amendment requires approval by the Zoning Hearing Officer due to the increase in grading to over 1,000 cubic yards.

### *Original Approval*

On June 23, 2017, the Community Development Director certified the Mitigated Negative Declaration, and approved an RM Permit, Fence Height Exception, and Grading Permit for the construction of a new 2,574 sq. ft. two-story single-family residence with a detached 462 sq. ft. two-car carport on a legal, undeveloped 18.4-acre parcel in the unincorporated area of Woodside. The project also included an in-ground pool, 614 sq. ft. of decking, a new driveway, and supportive retaining walls up to 8 feet in height on the downhill side of the rear yard setback along Kebet Ridge Road, where 6 feet is the maximum allowed. A total of 985 c.y. of grading, including 545 c.y. of cut and 440 c.y. of fill were approved for the building pad, hardscape/driveway, pool, and septic system; and the removal of 37 trees including Douglas fir, canyon live oak, coast redwood, tan oak, Pacific madrone, and coast live oak trees ranging in size from 12 inches dbh to 48 inches dbh, of which 18 require a permit to remove due to their size. The project amendment proposes no changes to the Fence Height Exception approval.

### **RECOMMENDATION**

That the Zoning Hearing Officer adopt the Subsequent Mitigated Negative Declaration and approve the Amendment to the Resource Management Permit and Grading Permit, County File Number PLN 2016-00150, by making the required findings and adopting the conditions of approval in Attachment A.

### **BACKGROUND**

Report Prepared By: Summer Burlison, Project Planner; 650/363-1815

Owner/Applicant: Ryan Atkins, Meghan Concra

Location: 489 Kebet Ridge Road, unincorporated Woodside

APN: 075-321-220

Size: 18.4 acres

Parcel Legality: Legal parcel, identified as Parcel B, pursuant to the recordation of a Parcel Map recorded on August 31, 1992.

Existing Zoning: Resource Management (RM)

General Plan Designation: Open Space

Sphere-of-Influence: N/A

Existing Land Use: Undeveloped

Water Supply: Existing private well

Sewage Disposal: New private septic disposal system

Flood Zone: The project parcel is in Flood Zone X (area of minimal flooding), pursuant to Federal Emergency Management Agency, Flood Insurance Rate Map, Community Panel 06081C0294E, effective October 16, 2012.

Environmental Evaluation: A Subsequent Initial Study and Mitigated Negative Declaration were prepared and circulated from February 26, 2019 to March 18, 2019 for the subject Amendment. As of the writing of this report, no comments have been received. Any comments that are received after the completion of this report will be addressed at the Zoning Hearing Officer hearing.

Setting: The 18.4-acre parcel is located approximately 0.4 miles west of the Skyline Boulevard (State Route 35) and La Honda Road (State Route 84) intersection. The surrounding area consists of individual privately-owned 5- to 25-acre parcels, including the subject parcel, located along a southeast-facing ridge of the central Santa Cruz Mountains. The parcel and surrounding area consist of moderate to steep slopes and is densely vegetated. The project parcel is served by Kebet Ridge Road, accessible from Woodside Road (State Route 84). The project parcel is bounded to the north, east, south, and west by similar sized, or larger, single-family residential development.

Chronology:

| <u>Date</u>                         | <u>Action</u>   |
|-------------------------------------|---|
| April 13, 2016                      | - Original application submitted, PLN 2016-00150.   |
| April 21, 2017                      | - Original application deemed complete.   |
| May 22, 2017 to June 12, 2017       | - Initial Study and Mitigated Negative Declaration issued for a 20-day public review period.            |
| June 23, 2017                       | - Community Development Director's approval issued.   |
| November 21, 2018                   | - Subject amendment application submitted.  |
| December 20, 2018                   | - Amendment application deemed complete.  |
| February 26, 2019 to March 18, 2019 | - Subsequent Initial Study and Mitigated Negative Declaration issued for a 20-day public review period. |

April 18, 2019 - Zoning Hearing Officer hearing for project amendment.

## **DISCUSSION**

### **A. KEY ISSUES**

The discussions below are based on the project amendment and supplement staff's previous analyses from the original project scope's decision letter dated June 23, 2017, which has been included as Attachment E for reference.

#### **1. Conformance with the County General Plan**

Staff has reviewed and determined that the project amendment is in conformance with all applicable General Plan Policies, including the following:

##### **a. Vegetative, Water, Fish and Wildlife Resources**

Policy 1.23 (*Regulate Development to Protect Vegetative, Water, Fish and Wildlife Resources*), Policy 1.24 (*Regulate Location, Density and Design of Development to Protect Vegetative, Water, Fish and Wildlife Resources*), and Policy 1.25 (*Protect Vegetative Resource*) seek to regulate land uses and development activities, including through location, density and design, to protect vegetative, water, fish and wildlife resources.

The 18.4-acre project parcel is located in a rural residential subdivision that consists of moderate to steep slopes and dense tree coverage. According to review of the California Natural Diversity Database (CNDDB), there are no special-status plant or animal species identified on the project site or within the immediate vicinity of the project site. Furthermore, the project site is located in an area of the parcel that is believed to have undergone past disturbance given its observed topography relative to the area. The nearest mapped sensitive habitat identified on the County's General Plan Sensitive Habitats Map is riparian habitat along La Honda Creek which runs through the eastern portion of the parcel abutting La Honda Road, approximately 0.24 miles east and downhill of the project site. Therefore, the project will not impact any special-status species.

The proposed amendment includes the removal of 50 trees consisting of 20 Douglas fir (ranging in size from 12 inches to 26 inches dbh), 7 canyon live oaks (ranging in size from 11 inches to 46 inches dbh), 2 coast redwoods (16 inches and 36 inches dbh), 7 tan oaks (ranging in size from 14 inches to 34 inches dbh),

12 Pacific madrone (ranging in size from 12 inches to 34 inches dbh), and 2 coast live oaks (18 inches and 25 inches dbh). Of the 50 trees proposed for removal, 28 are of a size (i.e., 17.5-inch dbh, or 55-inch circumference) requiring a Resource Management (RM) Permit, which the applicant is seeking under the subject project. Specifically, the amendment includes the removal of 13 more trees than originally approved, of which 10 are of the size to require a permit to remove. The additional tree removal is within the septic disposal system area east of the residence that will incur additional grading to achieve less than 35% slope gradient to allow a gravity-fed septic disposal system below natural grade in compliance with the County's standards.

The Development Review Criteria of the Resource Management (RM) District Regulations prohibits the removal of trees with a trunk circumference of more than 55 inches (measured at 4.5 feet above the ground), except as may be required for development permitted under the Zoning Regulations, among other reasons. The RM District allows single-family residences subject to the issuance of an RM Permit.

One of the trees proposed for removal, a canyon live oak (46 inches dbh) is considered a heritage tree by definition (Section 11,050(g)) under the County's Heritage Tree Ordinance. The tree is assessed as being in good condition with a slight lean and basal wound on the east side of the trunk. The tree is proposed for removal due to its proximity to the proposed pool, retaining walls, and utilities associated with the project. The County's Heritage Tree Ordinance considers the proximity to existing or proposed structures and interference with utility services; the necessity of removal to construct improvements or otherwise allow economic or other enjoyment of property; and the number, species, size and location of existing trees in the area as factors for removal of a heritage tree. In order to mitigate the proposed tree removal, replacement tree plantings at a 1:1 ratio, including replacement of all regulated oak trees with the same species, as recommended in the Subsequent Mitigated Negative Declaration (MND) is included as a condition of approval in Attachment A of this staff report.

b. Soil Resources

Policy 2.17 (*Regulate Development to Minimize Soil Erosion and Sedimentation*) and Policy 2.23 (*Regulate Excavation, Grading, Filling, and Land Clearing Activities Against Accelerated Soil Erosion*) seek to regulate development to minimize soil erosion and sedimentation.

The proposed amendment includes a total of 4,140 cubic yards (c.y.) of grading, including 3,705 c.y. of cut and 435 c.y. of fill to construct

the building pad, hardscape/driveway, in-ground pool, and septic system. Specifically, the project amendment includes an additional 3,160 c.y. of excavation and 5 c.y. less of fill that will primarily be focused in the sloped area east of the residence where the septic system is proposed. The additional excavation work is necessary to remove previously imported fill in order to reach native soil conditions for the (septic) system. The additional grading work will also allow re-contouring in portions of this sloped area to 35% to accommodate a gravity-fed septic system. The proposed grading is the minimum necessary to implement the project and would not significantly alter the topography or ground surface relief features.

The applicant has submitted an erosion and sediment control plan prepared by KPROX Engineering that includes construction management measures proposed to minimize soil erosion and sedimentation from the project site such as fiber rolls on the downhill perimeter of construction and a stabilized construction entrance from Kebet Ridge Road, as well as other Best Management erosion control practices. The mitigation measures originally approved and included as conditions in Attachment A of this staff report, including wet season grading limitations and an erosion control and tree protection pre-site inspection, are adequate to ensure soil erosion and sedimentation from the project site are minimized.

c. Visual Quality

Policy 4.15 (*Appearance of New Development*), Policy 4.24 (*Rural Development Design Concept*), and the Rural Site Planning Policies, including Policy 4.25 (*Location of Structures*), Policy 4.26 (*Earthwork Operations*), Policy 4.29 (*Trees and Vegetation*), Policy 4.30 (*Landscaping and Screening*), and Policy 4.31 (*Public Utilities*) seek to protect the natural visual character and quality of scenic areas by regulating the appearance of new development to promote good design, site relationship, and other aesthetic considerations, such as tree preservation except where removal is required for approved development or safety; minimizing grading operations, and the appearance of new utilities in the area.

The parcel is configured in a flag shape with the eastern “pole” portion fronting La Honda Road (State Route 84) and the western “flag” portion fronting Kebet Ridge Road. A majority of the parcel consists of slope gradients over 35% and contains dense vegetation and tree coverage. The project proposes a new two-story residence in the western portion of the parcel. Although the project site is relatively higher in elevation than most of the surrounding parcels in the area, the project site will not be visible from surrounding residential

properties, or Kebet Ridge Road, due to the area's topography and dense tree coverage.

Although a number of trees are proposed for removal along the Kebet Ridge Road roadway frontage, this roadway frontage has a significant change in grade elevation from the roadway such that the house ridge will not significantly protrude above the roadway elevation. The east side of the relatively flat building site area (which is relatively absent of trees) provides a private overlook to the lower immediate and distant region toward La Honda Road. However, due to the significant drop in elevation and dense tree coverage in the area, the project site is not visible from La Honda Road or any public viewpoints. The project proposes to use cement board siding in subtle blue-gray and brown-gray colors with a standing seam metal roof in dark brown to help minimize any visual impacts to the rural character and quality of the area. The house and carport will be of modern design with extended roof lines. The buildings are situated so as to fit into the existing terraced topography of the project area, to the extent feasible. As mentioned, proposed tree removal will be limited to the immediate project area and to that necessary to construct the project (including the driveway, drainage, and utilities). Given the extent of mature trees on the 18.4-acre parcel and surrounding area, the proposed removals will not cause significant damage to scenic resources, as tree removal will be spread out over the approximate 1-acre area of proposed disturbance to accommodate the building pad and downhill septic system.

As mentioned in Section A.1.b above, a total of 4,140 c.y. of grading is proposed to implement the project, including slope modifications to accommodate a gravity-fed septic disposal system. Grading is confined to the immediate project area of the 18.4-acre parcel and limited to that necessary to construct the proposed development. Due to the rural nature of the area, overhead electrical service will be established to serve the new residence; however, due to tree canopy coverage and topography in the area, the overhead utility lines will not pose a significant visual impact to the rural area.

d. Historical and Archaeological Resources

Policy 5.20 (*Site Survey*) and Policy 5.21 (*Site Treatment*) require that the applicant take appropriate precautions to avoid damage to historical and archaeological resources.

According to a cultural resources survey report prepared by Archaeological/Historical Consultants, dated October 2016, the project site does not contain any historical resources. Furthermore,

while unlikely, there is a possibility that buried or obscured archaeological resources may be encountered during construction. Therefore, staff is recommending Mitigation Measure 5 from the Subsequent MND to provide instruction on minimizing any impacts to any potentially unknown archaeological resources that may be unearthed during construction activities.

e. Rural Land Use

Policy 9.23 (*Land Use Compatibility in Rural Lands*), Policy 9.24 (*Determining Appropriate Development Densities for the Rural Lands*), and Policy 9.42 (*Development Standards for Land Use Compatibility in General Open Space Lands*) seek to encourage land use compatibility to maintain the scenic and harmonious nature of the rural lands; allocate appropriate densities for parcels through the analysis of resources, hazards, availability of services, and land use patterns; locate development in areas of the parcel which cause the least disturbance to scenic resources and best retain the open space character of the parcel; and where possible, locate development in areas that are free from hazardous conditions, including steep slopes and unstable soils.

The surrounding rural area consists of individual privately-owned 5 – 25-acre parcels, including the subject 18.4-acre parcel. The area consists of moderate to steep slopes and is densely vegetated. Most of the parcels along Kebet Ridge Road are developed with single-family residences utilizing the same utilities as proposed with the subject project (i.e., private well, private septic system). Therefore, the proposed residence is compatible with the surrounding type and density of development in the area. Additionally, the building, grading, and tree removal modifications proposed under the subject amendment, as proposed and conditioned, will not have a significant impact on rural resources as concluded by the Subsequent Initial Study and Mitigated Negative Declaration, included as Attachment D.

f. Water Supply

Policy 10.15 (*Water Suppliers in Rural Areas*) and Policy 10.25 (*Efficient Water Use*) considers water systems and wells as appropriate water supply in rural areas, and encourages efficient use of water supplies through effective conservation methods such as water conservation devices.

The proposed residential development will be served by an existing private on-site well. Environmental Health Services has reviewed and conditionally approved the proposed project, including the

proposed amendment. Pump tests for the well resulted in a flow rate of 50 gallons per minute (gpm), which meets the minimum standard of 2.5 gpm for domestic use by Environmental Health Services. Furthermore, the residence will be required to comply with the State CalGreen Residential Mandatory (Minimum) Measures that include requirements for water conserving plumbing fixtures and fittings.

g. Wastewater

Policy 11.10 (*Wastewater Management in Rural Areas*) and Policy 11.12 (*Adequate Lot Sizes for Septic Tanks*) considers sewage disposal systems as an appropriate method of wastewater management in rural areas, and requires septic systems to meet the requirements of the Environmental Health Services for parcel size and other standards.

The project includes the installation of a new private septic system to serve the proposed development. The County Environmental Health Services has reviewed the proposed project and provided conditional approval for the new septic system with regard to location, sizing, and percolation rates. The project amendment includes additional excavation work in the area east of the residence for the proposed septic system to, in part, remove previously imported fill in order to reach native soil conditions for the (septic) system in compliance with the County Environmental Health Services standards. The additional grading work will also allow re-contouring in portions of this sloped area to 35% to accommodate a gravity septic system.

h. Natural Hazards

(1) Geotechnical Hazards

Policy 15.21 (*Requirement for Detailed Geotechnical Investigations*) seeks to require geotechnical investigation for development projects that may be located in an area of geotechnical hazard.

The U.S. Geological Survey's Landslide Susceptibility Map of 1972 characterizes the parcel as having moderate susceptibility to landslides. A geotechnical study of the project site prepared by Earth Investigations Consultants concludes that there are no mapped landslides affecting the project site and no evidence of active or dormant landslides in the project area based on site reconnaissance. Furthermore, the amended project plans and

geotechnical report have been reviewed and conditionally approved by the County's Geotechnical Section.

(2) Fire Hazards

Policy 15.27 (*Appropriate Land Uses and Densities in Fire Hazard Areas*), Policy 15.28 (*Review Criteria for Locating Development in Fire Hazard Areas*), Policy 15.30 (*Standards for Water Supply and Fire Flow for New Development*), Policy 15.31 (*Standards for Road Access for Fire Protection Vehicles to Serve New Development*), and Policy 15.34 (*Vegetative Clearance Around Structures*) require development in hazardous fire areas to be reviewed for adequate building materials, access, brush clearance from structures, fire flows, and water supplies.

According to the Fire Hazard Severity Zone Maps from the California Department of Forestry, the project site is located within a Very High Fire Hazard Severity Zone, State Responsibility Area. The project plans were reviewed by the San Mateo County Fire Department and received conditional approval subject to compliance with Chapter 7A of the California Building Code for ignition resistant construction and materials, acceptable slope and material for the driveway, adequate fire flow, and water supplies.

2. Conformance with the Energy Efficiency Climate Action Plan

The County of San Mateo's adopted Energy Efficiency Climate Action Plan (EECAP) provides strategies for reducing greenhouse gas (GHG) emissions, including in the following applicable areas: Residential Energy Efficiency, Green Building Ordinance, Waste Diversion, and Sequestration.

As new construction, the project will be required to comply with the mandatory California Green Building Standards and California Energy Codes, among other regulating standards. As part of the building permit process, the applicant will be required to submit a Construction Waste Management Plan that requires recycling or re-use of 100% of inert solids and 50% of all other construction debris. Furthermore, the removal of trees, as proposed, is not expected to significantly reduce GHG sequestering in the area, given the project site's context to the surrounding densely forested environment.

3. Conformance with the County Zoning Regulations

The project amendment will comply with the Resource Management (RM) Development Standards, as summarized below:

a. RM Development Standards

The following table summarizes the amended project's conformance with Section 6139(A)(B) of the RM Zoning District Regulations:

| RM Development Standards |          |          |
|--------------------------|----------|----------|
| Standard                 | Required | Proposed |
| Minimum Setbacks         |          |          |
| Front                    | 50'      | >100'    |
| Rear                     | 20'      | 35'      |
| Right Side               | 20'      | >100'    |
| Left Side                | 20'      | >100'    |
| Maximum Height           | 36'      | 28'-6"   |

b. RM Development Criteria

- (1) Section 6324.1 (*Environmental Quality Criteria*), and Section 6324.4 (*Water Resources Criteria*), seek to conserve energy resources; comply with air pollution emission standards; minimize grading, landscape alterations, changes in vegetative cover; avoid the use or creation of noxious odors, and/or long-term noise levels; and minimize the impact on hydrological processes (e.g., surface water runoff, erosion control).

The proposed project amendment will increase grading activity and tree removal necessary for slope modifications to accommodate a gravity-fed septic disposal system to serve the proposed residential development. A Subsequent Mitigated Negative Declaration has been completed for the project amendment that ensures any potential significant impacts from the amended project scope are minimized to a less than significant level, including air emissions, odors, and noise. Additionally, erosion control measures are proposed and included as conditions of approval to ensure the increased grading activity will not have an adverse impact on the surrounding area.

- (2) Section 6324.2 (*Site Design Criteria*) seeks to ensure development fits into the existing environment by minimizing

light and glare, grading and tree removal; using colors and materials that blend with the existing landscape; ensuring development does not substantially detract from the scenic or visual quality of the County; and demonstrating that development will not contribute to the instability of the parcel or adjoining lands.

The proposed amendment includes additional grading and tree removal necessary to accommodate a gravity-fed septic disposal system in compliance with the slope requirements regulated by the County Environmental Health Services, including re-contouring the sloped septic disposal area to 35% or less. No new light sources or glare are expected from the proposed amendment and the previously approved building materials and colors (including cement board siding in subtle blue-gray and brown-gray colors with a standing seam metal roof in dark brown) will continue to be used. Additionally, see staff's discussion in Section A.1.c and A.1.h(1) regarding the project's conformance with the County's visual resource and hazard policies.

- (3) Section 6324.6 (*Hazards to Public Safety Criteria*) and Section 6326.4 (*Slope Instability Area Criteria*) prohibit development in areas of hazard, including landslide, unless determined it will not be harmful to the health, safety, or welfare of residents, property owners, or the community at large.

See staff's discussion in Section A.1.h(1) of this report regarding slope stability/landslide relative to the proposed amendment.

c. Fence Height Exception

The project's original approval by the Community Development Director included the approval of a Fence Height Exception for the construction of up to 8-foot tall retaining walls in the (rear) 20-foot setback on the downhill side of the new downslope driveway off of Kebet Ridge Road, where 6 feet is the maximum allowed height. The project amendment proposes no changes to this Fence Height Exception approval.

4. Conformance with the County Grading Ordinance

The proposed project amendment involves increasing the grading work for the project by 3,155 cubic yards (c.y.), including 3,160 c.y. of additional excavation and 5 c.y. less of fill, from what was previously approved, for a new total of 4,140 c.y. (including 3,705 c.y. of cut and 435 c.y. of fill). The

additional grading will occur east of the proposed residence and is necessary to achieve less than 35% slope gradient for the proposed leachfield area to allow for a gravity-fed septic system design in compliance with the County Environmental Health Services regulations. The Zoning Hearing Officer must make the following findings pursuant to Section 9290 of the San Mateo County Building Regulations:

- a. The granting of the permit amendment will not have a significant adverse effect on the environment.

The proposed grading amendment is necessary to accommodate a gravity-fed septic system in conformance with the County Environmental Health Services requirements. A Subsequent Initial Study and Mitigated Negative Declaration have been prepared and circulated for public review based on the proposed project amendment. Staff has concluded that the project amendment, with the recommended mitigation measures, will not have a significant adverse impact on the environment. All mitigation measures from the (Subsequent) Mitigated Negative Declaration have been included as recommended conditions of approval. In addition, the County's Geotechnical Section has reviewed and approved the project amendment with conditions.

- b. The project amendment conforms to the criteria of Chapter 8, Division VII, of the San Mateo County Ordinance Code, including the standards referenced in Section 9296.

The project amendment, as proposed and conditioned, conforms to standards in the Grading Ordinance, including those relative to an erosion and sediment control plan, dust control plan, fire safety, and the timing of grading activity. The amended project plans have been reviewed and recommended for approval by the Geotechnical Section. Conditions of approval have been included in Attachment A to ensure compliance with the County's Grading Ordinance.

- c. The project amendment is consistent with the General Plan.

The project amendment has been reviewed against the applicable policies of the San Mateo County General Plan and found to be consistent with its goals and objectives. See Section A.1 of this report for a detailed discussion regarding the project amendment's compliance with applicable General Plan Policies.

B. ENVIRONMENTAL REVIEW

An Initial Study and Mitigated Negative Declaration were certified on June 23, 2017 for the original project. A Subsequent Initial Study (IS) and Mitigated Negative Declaration (MND) were prepared and circulated to address project scope changes since adoption of the previous 2017 IS/MND. The public comment period commenced on February 26, 2019 and ended on March 18, 2019. No comments were received during the public comment period. Mitigation measures have been included as conditions of approval in Attachment A.

C. REVIEWING AGENCIES

Building Inspection Section  
Geotechnical Section  
Environmental Health Services  
San Mateo County Fire District

**ATTACHMENTS**

- A. Recommended Findings and Conditions of Approval
- B. Location/Vicinity Map
- C. Amended Project Plans
- D. Subsequent Initial Study and Mitigated Negative Declaration, dated February 22, 2019 (without attachments)
- E. Original Community Development Director Decision Letter, dated June 23, 2017

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County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN 2016-00150

Hearing Date: April 18, 2019

Prepared By: Summer Burlison  
Project Planner

For Adoption By: Zoning Hearing Officer

**RECOMMENDED FINDINGS**

For the Environmental Review, Find:

1. That the Subsequent Initial Study and Mitigated Negative Declaration are complete, correct and adequate, and prepared in accordance with the California Environmental Quality Act (CEQA) and the applicable State and County Guidelines. A Subsequent Initial Study and a Mitigated Negative Declaration were prepared and issued for the project amendment, with a public review period from February 26, 2019 to March 18, 2019.
2. That, on the basis of the Subsequent Initial Study, comments received hereto, and testimony presented and considered at the public hearing, there is no substantial evidence that the project, if subject to the mitigation measures contained in the Subsequent Mitigated Negative Declaration, will have a significant effect on the environment. The Subsequent Initial Study and Mitigated Negative Declaration identify potentially significant impacts to aesthetics, air quality, biological resources, cultural resources, geology and soils, hydrology/water quality, transportation/traffic, and tribal cultural resources. The mitigation measures contained in the Subsequent Mitigated Negative Declaration have been included as conditions of approval in this attachment. As proposed and mitigated, the project will not result in any significant environmental impacts.
3. That the mitigation measures identified in the Subsequent Mitigated Negative Declaration, agreed to by the applicant, and identified as part of this public hearing, have been incorporated as conditions of project approval.
4. That the Subsequent Initial Study and Mitigated Negative Declaration reflect the independent judgment of the County.

For the Resource Management Permit Amendment, Find:

5. That the project amendment conforms to the Development Standards and Development Review Criteria contained in Chapter 20A and Chapter 20A.2 of the San Mateo County Zoning Regulations. The project amendment conforms to the minimum setbacks and maximum height limit allowed in the RM Zoning District. Additionally, the project conforms to Section 6324.1 (*Environmental Quality Criteria*), Section 6324.4 (*Water Resources Criteria*), Section 6324.2 (*Site Design Criteria*), Section 6324.6 (*Hazards to Public Safety Criteria*) and Section 6326.4 (*Slope Instability Area Criteria*) of the RM Development Review Criteria. The project amendment, as proposed and conditioned, will not introduce long-term noise levels, or significant levels of air pollution emissions. Additionally, the project will minimize adverse impacts on the rural character of the area by implementing erosion control measures and tree replanting to minimize grading and tree removal impacts that are necessary to implement the project, and utilize building materials and colors that blend into the natural surrounding rural area. Furthermore, the project will not compromise the stability of the project parcel or surrounding lands as a site-specific geotechnical report prepared for the project concluded that landslide susceptibility is low at the project site based on site reconnaissance and geologic map review.

For the Grading Permit Amendment, Find:

6. That the granting of the grading permit amendment will not have a significant adverse effect on the environment. Based on the Subsequent Initial Study and Mitigated Negative Declaration, it is determined that the implementation of all mitigation measures would reduce the project's potential environmental impacts to less than significant levels. All recommended mitigation measures in the (Subsequent) Mitigated Negative Declaration have been incorporated as conditions of approval below.
7. That the project amendment conforms to the criteria of Chapter 8, Division VII, San Mateo County Ordinance Code, including the standards referenced in Section 9296. The project, as proposed and conditioned, conforms to the standards in the Grading Regulations, including those relative to erosion and sediment control, dust control, fire safety, and timing of grading activity. The project has been reviewed and conditionally approved by the Planning and Building Department's Geotechnical Section.
8. That the project amendment is consistent with the General Plan. The project, as proposed and conditioned, conforms to all applicable General Plan policies, including applicable Vegetative, Water, Fish and Wildlife Resources; Soil Resources; Visual Quality; Historical and Archaeological Resources; Rural Land Use; Water Supply; Wastewater; and Natural Hazards policies as discussed in detail in the staff report dated April 18, 2019.

## **RECOMMENDED CONDITIONS OF APPROVAL**

### **Current Planning Section**

1. The approval applies only to the proposal as described in this report and materials submitted for review and approval by the Zoning Hearing Officer on April 18, 2019. The Community Development Director may approve minor revisions or modifications to the project if they are found to be consistent with the intent of, and in substantial conformance with, this approval.
2. The Resource Management Permit and Grading Permit Amendments shall be valid for one (1) year from the date of final approval in which time a valid building permit shall be issued and a completed inspection (to the satisfaction of the Building Inspection Section) shall have occurred within 180 days of its issuance. Any extension of these permits shall require submittal of a written request for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. Within four (4) business days of the final approval date for this project, the applicant shall submit an environmental filing fee of \$2,354.75, as required under Fish and Game Code Section 711.4, plus a \$50.00 recording fee. Thus, the applicant shall submit a check in the total amount of \$2,404.75, made payable to "San Mateo County Clerk," to the project planner to file with the Notice of Determination. Please be aware that the Department of Fish and Game environmental filing fee increases starting the 1st day of each new calendar year (i.e., January 1, 2019). The fee amount due is based on the date of payment of the fees.
4. The applicant shall submit the approved exterior color and material specifications as part of the building permit submittal. Color and materials verification by the Current Planning Section shall occur prior to the final building inspection.
5. A total of 50 trees are approved for removal as shown on the Tree Protection Plan, dated November 13, 2018, of which 28 are regulated under the RM District Regulations. See Condition of Approval No. 19 for tree replacement requirements.
6. A Tree Protection Plan, in compliance with Sections 12,020.4 and 12,020.5 of the County's Significant Tree Ordinance, shall be submitted with the building permit plans for review and approval by the Current Planning Section.
7. No grading activities shall commence until the applicant has been issued a grading permit "Hard Card," which will only be issued concurrently with the associated building permit.
8. The provision of the San Mateo County Grading Ordinance shall govern all grading on and adjacent to this site. Per San Mateo County Ordinance Section 9296.5, all

equipment used in grading operations shall meet spark arrester and firefighting tool requirements, as specified in the California Public Resources Code.

9. The engineer who prepared the approved grading plan shall be responsible for the inspection and certification of the grading as required by Section 9297.2 of the Grading Ordinance. The engineer's responsibilities shall include those relating to non-compliance detailed in Section 9297.4 of the Grading Ordinance.
10. Erosion and sediment control during the course of grading work shall be installed and maintained according to a plan prepared and signed by the engineer of record, and approved by the Planning and Building Department. Revisions to the approved erosion and sediment control plan shall be prepared and signed by the engineer, and must be reviewed and approved by the Planning and Building Department.
11. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.
12. The site is considered a Construction Stormwater Regulated Site (SWRS). Any grading activities conducted during the wet weather season (October 1 to April 30) will require monthly erosion and sediment control inspections by the Building Inspection Section, as well as prior authorization from the Community Development Director to conduct grading during the wet weather season.
13. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).
14. Prior to the issuance of a building permit, the applicant shall pay all applicable Affordable Housing Impact Fees, pursuant to San Mateo County Ordinance No. 4758. The impact fees shall be assessed at \$5.00 per sq. ft. over 2,500 sq. ft. of residential floor area.
15. Prior to the issuance of a building permit, the applicant shall obtain an official street address for the property and shall post the street number at the construction entrance to the property such that it is clear and legible for construction workers and County inspectors visiting the project site. Verification of compliance with this condition is required by the Current Planning Section prior to issuance of a building permit. The posted street number shall remain in place until a final building inspection is obtained.

Mitigation Measures from the Mitigated Negative Declaration (changes made to the mitigation measures are shown in strike-through and underline format):

16. **Mitigation Measure 1:** All proposed lighting shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area. Manufacturer cut sheets for any exterior light fixtures shall be submitted for review and approval prior to the issuance of a building permit. All exterior fixtures shall be rated dark-sky compliant and designed to minimize light pollution beyond the confines of the subject premises.
17. **Mitigation Measure 2:** Final finishes of all exterior materials and/or colors shall be non-reflective.
18. **Mitigation Measure 3:** The applicant shall submit a plan to the Planning and Building Department prior to the issuance of any grading “hard card” that, at a minimum, includes the “Basic Construction Mitigation Measures” as listed in Table 8-2 of the BAAQMD CEQA Guidelines (May 2017). These measures shall be implemented prior to beginning any ground disturbance and shall be maintained for the duration of the project activities:
  - a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access road) shall be watered two times per day.
  - b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
  - c. All visible mud or dirt track-out onto adjacent paved roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
  - d. All vehicle speeds on unpaved roads shall be limited to 15 miles per hour.
  - e. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
  - f. All construction equipment shall be maintained and properly tuned in accordance with manufacturer’s specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
  - g. Post a publicly visible sign with the telephone number and person to contact at the County regarding dust complaints. This person shall respond and take

corrective action within 48 hours. The Bay Area Air Quality Management District's phone number shall also be visible to ensure compliance with applicable regulations.

19. **Mitigation Measure 4:** All regulated trees proposed for removal shall be replaced at a 1:1 ratio, minimum 15-gallon size stock. All proposed replacement trees shall be shown on a Tree Replanting Plan or Landscape Plan and shall include species, size, and location. Any significant or heritage oak tree species removed shall be replaced with the same species. The Plan shall be submitted to the County Planning and Building Department for review and approval as part of the building permit plan sets.
20. **Mitigation Measure 5:** In the event that archaeological resources are inadvertently discovered during construction, work in the immediate vicinity (within 25 feet) of the find must stop until a qualified archaeologist can evaluate the significance of the find. Construction activities may continue in other areas beyond the 25-foot stop work area. A qualified archaeologist is defined as someone who meets the Secretary of the Interior's Professional Qualifications Standards in archaeology. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the archaeologist has recommended appropriate measures, and those measures have been approved by the Current Planning Section and implemented.
21. **Mitigation Measure 6:** In the event that paleontological resources are inadvertently discovered during construction, work in the immediate vicinity (within 25 feet) of the find must stop until a qualified paleontologist can evaluate the significant of the find. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the paleontologist has recommended appropriate measures, and those measures have been approved by the Current Planning Section and implemented.
22. **Mitigation Measure 7:** Should any human remains be discovered during construction, all ground disturbing work shall cease and the County Coroner shall be immediately notified, pursuant to Section 7050.5 of the State of California Health and Safety Code. Work must stop until the County Coroner can make a determination of origin and disposition of the remains pursuant to California Public Resources Code Section 5097.98 for the naming of a Most Likely Descendant and the recommendations for disposition.
23. **Mitigation Measure 8:** The applicant shall submit an erosion control plan in compliance with the County's General Erosion and Sediment Control Plan Guidelines Checklist for review and approval as part of the building permit plans submittal.
24. **Mitigation Measure 9:** No grading shall be allowed during the wet weather season (October 1 through April 30) to avoid increased potential soil erosion,

unless the applicant applies for an Exception to the Winter Grading Moratorium and the Community Development Director grants the exception. Exceptions will only be granted if dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other determining factors).

25. **Mitigation Measure 10:** An Erosion Control and Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit “hard card” and building permit to ensure the approved erosion control and tree protection measures are installed adequately prior to the start of ground disturbing activities.
26. **Mitigation Measure 11:** Off-site hauling of excavated soil shall be limited to the weekday hours of 9:00 a.m. to 3:00 p.m. Trucks or vehicles associated with the project shall not be parked on the roadway.
27. **Mitigation Measure 12:** To reduce the impact of construction activities on the private roadway and neighboring properties, comply with the following:
  - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to contain debris. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
  - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
  - c. The applicant shall ensure that no construction related vehicles impede through traffic along Kebet Ridge Road. All construction vehicles shall be parked on-site and outside of the Kebet Ridge Road easement, or in locations which do not impede safe access along Kebet Ridge Road. There shall be no overnight storage of construction vehicles or equipment on Kebet Ridge Road.
28. **Mitigation Measure 13:** In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.
29. **Mitigation Measure 14:** Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

### Civil (Drainage) Section

30. At the building permit stage, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and include it with the building permit submittal for review and approval by the Building Inspection Section. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted as part of the project building permit application for review and approval by the Building Inspection Section.
31. The applicant shall include with the building permit submittal for review and approval a driveway "Plan and Profile" showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.

### Department of Public Works

32. The applicant shall submit as part of the building permit submittal, for review and approval by the Department of Public Works, documentation of ingress/egress and Public Utility easements required for this project.
33. No proposed construction work within a County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
34. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.

### San Mateo County Fire Department

35. Fire Department access shall be to within 150 feet of all exterior portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or

facility. Access shall be a minimum of 20 feet wide, all weather capability, and able to support a fire apparatus weighing 75,000 lbs. Where a fire hydrant is located in the access, a minimum of 26 feet is required for a minimum of 20 feet on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Grades over 15% shall be paved and no grade shall be over 20%. When gravel roads are used, it shall be Class 2 base or equivalent compacted to 95%. Gravel road access shall be certified by an engineer as to the material thickness, compaction, all weather capability, and weight it will support.

36. All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least 6 feet above the finished surface of the driveway. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in color to their background and shall be no less than 4 inches in height, and have a minimum 1/2-inch stroke. Remote signage shall be a 6 inches x 18 inches green reflective metal sign.
37. Any chimney or woodstove outlet shall have installed onto the opening thereof an approved (galvanized) spark arrester of a mesh with an opening no larger than 1/2-inch in size or an approved spark arresting device. Maintain around and adjacent to such buildings or structures a fuelbreak/firebreak made by removing and cleaning away flammable vegetation for a distance of not less than 30 feet and up to 100 feet around the perimeter of all structures or to the property line, if the property line is less than 30 feet from any structure. This is not a requirement nor an authorization for the removal of live trees. Remove that flammable portion of any tree which extends within 10 feet of the outlet of any chimney or stovepipe, or within 5 feet of any portion of any building or structures. Remove that dead or dying portion of any tree which extends over the roof line of any structure.
38. A Wet Draft Hydrant with a 4-1/2-inch National Hose Thread outlet with a valve shall be mounted 30 to 36 inches above ground level and within 5 feet of the main access road or driveway, and not less than 50 feet from any portion of any building nor more than 150 feet from the main residence or building.
39. All roof assemblies in Very High Fire Hazard Severity Zones shall have a minimum CLASS-A fire resistive rating and be installed in accordance with the manufacturer's specifications and the current California Building and Residential Codes.
40. Smoke alarms and carbon monoxide detectors shall be installed in accordance with the California Building and Residential Codes. This includes the requirement for hardwired, interconnected detectors equipped with battery backup, and

placement in each sleeping room in addition to the corridors and on each level of the residence.

41. A statement that the building will be equipped and protected by automatic fire sprinklers must appear on the title page of the building plans.
42. An approved Automatic Fire Sprinkler System meeting the requirements of NFPA-13D shall be required to be installed for your project. Plans shall be submitted to the San Mateo County Building Department for review and approval by the authority having jurisdiction.
43. A site plan showing all required components of the water system is required to be submitted with the building plans to the San Mateo County Building Inspection Section for review and approval by the authority having jurisdiction for verification and approval. Plans shall show the location, elevation and size of required water storage tanks, the associated piping layout from the tank(s) to the structures, the size of and type of pipe, the depth of cover for the pipe, technical data sheets for all pipe/joints/valves/valve indicators, thrust block calculations/joint restraint, the location of the standpipe/hydrant, and the location of any required pumps and their size and specifications.
44. This project is located in a wildland urban interface area. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors, and underfloor protection to meet CRC R327 or CBC Chapter 7A requirements.
45. Contact the Fire Marshal's Office to schedule a Final Inspection prior to occupancy and Final Inspection by a building inspector. Allow for a minimum of 72-hour notice to the Fire Department at 650/573-3846.

#### Geotechnical Section

46. For the final approval of the grading permit, the applicant shall ensure the performance of the following activities within thirty (30) days of the completion of grading at the project site:
  - a. The engineer shall submit written certification that all grading has been completed in conformance with the approved plans, conditions of approval, and the Grading Regulations, to the Department of Public Works and the Planning and Building Department's Geotechnical Engineer.
  - b. The geotechnical consultant shall observe and approve all applicable work during construction and sign Section II of the Geotechnical Consultant Approval form, for submittal to the Planning and Building Department's Geotechnical Engineer and Current Planning Section.

Please include the Geotechnical File Number, 16G-62, in all correspondence with the Geotechnical Section of the Planning and Building Inspection Section.

Environmental Health Services

47. At building permit stage, the applicant will need to provide more details to the proposed septic plans to include, percolation test and deep hole test pit locations. Septic plans should also specify tank manufacture specifications meeting the requirements of the OWTS Ordinance and Onsite Systems Manual.

Building Inspection Section

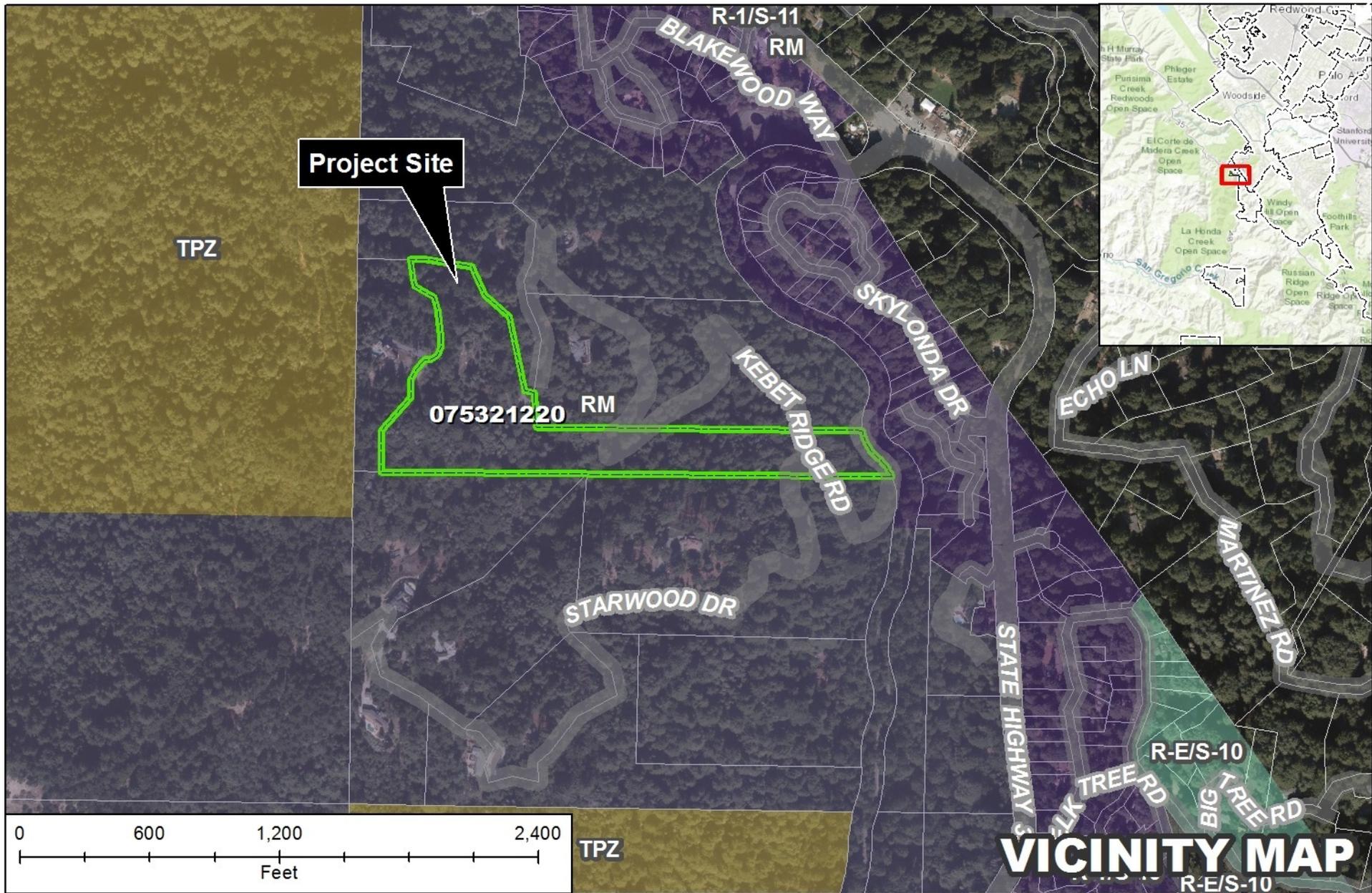
48. The property is located within the State Responsibility Area Very High Fire Hazard Severity Zone and as such, the entire project shall meet the requirements of the appropriate sections of CRC Section 327 and/or CBC Chapter 7A.
49. The project shall include preparations for an Electric Vehicle Charging Station installation.

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**County of San Mateo - Planning and Building Department**

# **ATTACHMENT B**





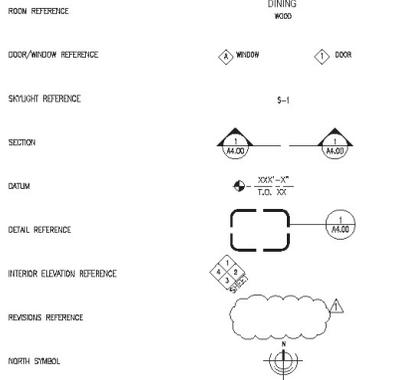
**County of San Mateo - Planning and Building Department**

# **ATTACHMENT C**

### ABBREVIATIONS

|        |   |      |  |        |                        |
|--------|---|------|--|--------|------------------------|
| Ø      | AT  | HW   | HOLLOW METAL                               | TS     | TEMPERED GLASS         |
| C      | CENTERLINE                                  | HOR  | HORIZONTAL                                 | T.O.   | TOP OF ...             |
| P      | PROPERTY LINE                               | H.P. | HIGH POINT                                 | T.O.   | TOP OF SLAB            |
| #      | DIAMETER                                    | HR   | HOUR                                       | TPH    | TOILET PAPER HOLDER    |
| #      | NUMBER OR PAIR                              | HT   | HEIGHT                                     | TP     | TYPICAL                |
| (V)    | EXISTING                                    | HVA  | HEATING, VENTILATION, AND AIR CONDITIONING | U.N.   | UNLESS NOTED OTHERWISE |
| (N)    | NEW   | HW   | HOT WATER                                  | VCT    | VINYL COMPOSITE TILE   |
| ABN    | ABOVE                                       | I.D. | INSIDE DIAMETER                            | V.J.F. | VERIFY IN FIELD        |
| AD     | AREA DRAIN                                  | INU  | INCH                                       | WC     | WATER CLOSET           |
| ADI    | ADJACENT                                    | INSU | INSULATION                                 | WD     | WOOD                   |
| AFT    | ABOVE FINISH FLOOR                          | INT  | INTERIOR                                   | WH     | WATER HEATER           |
| ALT    | ALTERNATE                                   | JB   | JUNCTION BOX                               | WL     | WATER LINE             |
| ALI    | ALUMINUM                                    | JT   | JOINT                                      | W/O    | WITH OUT               |
| APP    | APPROXIMATE                                 | LAM  | LAMINATE                                   | WH     | WINDOW                 |
| ARC    | ARCHITECTURAL                               | LAV  | LAVATORY                                   | WP     | WATERPROOF             |
| BLK    | BLOCKING                                    | LOC  | LOCATION                                   | WR     | WATER RESISTANT        |
| BM     | BEAM  | L.P. | LOW POINT                                  |        |                        |
| B.O.   | BOTTOM OF ...                               | LT   | LIGHT                                      |        |                        |
| C.B.   | CATCH BASIN                                 | MAX  | MAXIMUM                                    |        |                        |
| C.I.P. | CAST IN PLACE                               | M.C. | MEDICINE CABINET                           |        |                        |
| C.J.   | CONTROL JOINT                               | MOD  | MEDIUM DENSITY FIBERGLASS                  |        |                        |
| CLS    | CEILING                                     | MED  | MEDICAL                                    |        |                        |
| CSK    | CALLING                                     | MEM  | MEMBER                                     |        |                        |
| CLS    | CLOSET                                      | MFL  | METAL                                      |        |                        |
| CLR    | CLEAR                                       | MFR  | MANUFACTURER                               |        |                        |
| CMU    | CONCRETE MASONRY UNIT                       | MW   | MIRUM                                      |        |                        |
| CON    | CONTINUOUS                                  | WR   | WARROR                                     |        |                        |
| COL    | COLUMN                                      | MSC  | MISCELLANEOUS                              |        |                        |
| CON    | CONCRETE                                    | N/A  | NOT APPLICABLE                             |        |                        |
| COR    | CORRIDOR                                    | H.C. | NOT IN CONTRACT                            |        |                        |
| CT     | CERAMIC TILE                                | NO   | NUMBER                                     |        |                        |
| CPT    | CABINET                                     | NON  | NONMETAL                                   |        |                        |
| DBL    | DOUBLE                                      | N.S. | NOT TO SCALE                               |        |                        |
| DEM    | DEMOLITION                                  | OC   | ON CENTER                                  |        |                        |
| DET    | DETAIL                                      | O.D. | OVERFLOW DRAIN                             |        |                        |
| DIA    | DIAMETER                                    | OFF  | OFFICE                                     |        |                        |
| DM     | DIMENSION                                   | OH   | OVERHEAD                                   |        |                        |
| DN     | DOWN  | OPN  | OPENING                                    |        |                        |
| D.O.   | DOOR OPENING                                | OPP  | OPPOSITE                                   |        |                        |
| DN     | DOWN  | PL   | PLATE                                      |        |                        |
| DWG    | DRAWING                                     | PLA  | PLASTIC LAMINATE                           |        |                        |
| E.A.   | EACH  | PLY  | PLYWOOD                                    |        |                        |
| ELE    | ELEVATION                                   | PHL  | PANEL                                      |        |                        |
| EF     | EXHAUST FAN                                 | R    | ROOF                                       |        |                        |
| ELEC   | ELECTRICAL                                  | R.A. | RETURN AIR                                 |        |                        |
| ELEV   | ELEVATOR                                    | RD   | RADIUS                                     |        |                        |
| EQ     | EQUAL                                       | RD   | ROOF DRAIN                                 |        |                        |
| EQV    | EQUIPMENT                                   | REN  | REINFORCED                                 |        |                        |
| EXP    | EXISTING                                    | REQ  | REQUIRED                                   |        |                        |
| EXT    | EXTERIOR                                    | REV  | REVISION                                   |        |                        |
| F.D.   | FLOOR DRAIN                                 | R.H. | RIGHT HAND                                 |        |                        |
| F.E.   | FIRE EXTINGUISHER                           | RM   | ROOM                                       |        |                        |
| F.F.   | FRESH FLOOR                                 | R.O. | ROUND OPENING                              |        |                        |
| FR     | FRESH                                       | SD   | SMOKE DETECTOR                             |        |                        |
| FLR    | FLOOR FLOORING                              | SG   | SAFETY GLAZING                             |        |                        |
| FLU    | FLUORESCENT                                 | S.G. | SLAB ON GRADE                              |        |                        |
| DR     | DRAWING                                     | S.D. | STANDARD OUTLINE RECOMMENDATIONS           |        |                        |
| F.O.   | FACE OF CONCRETE                            | SFC  | SPECIFICATION                              |        |                        |
| F.F.   | FACE OF FINISH                              | SQ   | SQUARE FEET                                |        |                        |
| F.F.C. | FURNISHED BY OWNER, INSTALLED BY CONTRACTOR | FT   | FOOT OR FEET                               |        |                        |
| FT     | FOOT OR FEET                                | IN   | INCH                                       |        |                        |
| FLR    | FLOOR                                       | SS   | STAINLESS STEEL                            |        |                        |
| FLR    | FLOORING                                    | STO  | STORAGE                                    |        |                        |
| GA     | GAUGE                                       | SYM  | SYMMETRICAL                                |        |                        |
| ONLY   | GALVANIZED                                  | T    | TREAD                                      |        |                        |
| OC     | ORIGINAL CONTRACTOR                         | TB   | TOWEL BAR                                  |        |                        |
| GL     | GLASS                                       | T.B. | TO BE DETERMINED                           |        |                        |
| GR     | GRADE                                       | T.O. | TOP OF CURB                                |        |                        |
| CB     | GYPSPUM WHITE BOARD                         | C.   | CORNER                                     |        |                        |
| HB     | HOSE BIB                                    | T&G  | TONGUE & GROOVE                            |        |                        |

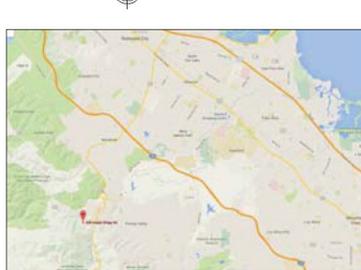
### SYMBOLS LEGEND



### GENERAL PROJECT NOTES

- WRITTEN DIMENSIONS:**
- WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK BEFORE PROCEEDING. THE OWNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE OWNER PRIOR TO PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY SAME.
  - DIMENSIONS ARE FROM FACE OF FRAMING TO FACE OF FRAMING OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.
  - VERIFY HARD DIMENSIONS FOR BUILT-IN ONE PIECE TUBS AND SHOWERS.
- BIDDER DESIGN NOTES:**
- ALL FOUNDATION DAMP PROOFING AND WATERPROOFING IS BIDDER DESIGNED. REFER TO STILLWATER OUTLINE DETAILS, DRAWINGS, AND S.O.R. FOR INSTALLATION AND PRODUCT RECOMMENDATIONS.
  - ALL WATER PROOFING SYSTEMS ARE BIDDER DESIGNED. REFER TO STILLWATER OUTLINE WATER PROOFING DETAILS, DRAWINGS, AND S.O.R. FOR INSTALLATION AND PRODUCT RECOMMENDATIONS.
  - MECHANICAL SYSTEMS ARE BIDDER DESIGNED. BIDDER DESIGN TO INCLUDE SIZING AND SELECTION OF SYSTEM COMPONENTS. REFER TO S.O.R. FOR STILLWATER RECOMMENDATIONS.
  - PLUMBING SYSTEMS AND FIRE SPRINKLER SYSTEMS ARE BIDDER DESIGNED. BIDDER DESIGN TO INCLUDE SIZING AND SELECTION OF SYSTEM COMPONENTS AND SWITCHING. REFER TO S.O.R. FOR STILLWATER RECOMMENDATIONS.
  - ELECTRICAL SYSTEMS ARE BIDDER DESIGNED. BIDDER DESIGN TO INCLUDE SIZING AND SELECTION OF SYSTEM COMPONENTS AND SWITCHING. REFER TO S.O.R. FOR STILLWATER RECOMMENDATIONS.
  - SITE WORK, INCLUDING UTILITY CONNECTIONS AND PLUMBING, IS BIDDER DESIGN. REFER TO STILLWATER DRAWINGS AND S.O.R. FOR STILLWATER RECOMMENDATIONS.
  - KITCHEN, BATHROOM, AND UTILITY ROOM CABINETS IS BIDDER DESIGN. REFER TO STILLWATER DRAWINGS AND S.O.R. FOR STILLWATER RECOMMENDATIONS.

### VICINITY MAP



### PROJECT INFORMATION

**PROJECT TEAM:**

|                      |   |                      |  |
|----------------------|---|----------------------|--|
| OWNER:               | MESIAN CONGRA & RYAN ATKINS<br>101 W HILLSIDE BLVD<br>SAN MATEO, CA 94403   | CIVIL ENGINEER:      | KPROX CIVIL ENGINEERING<br>555 BRYANT STREET, SUITE 308<br>PALO ALTO, CA 94301<br>CONTACT: MILAVSH KONTOROSKY<br>MK@KPROX.COM                                    |
| SURVEYOR:            | LEA & BRUCE ENGINEERING, INC.<br>2485 INDUSTRIAL PARK WEST<br>HAYWARD, CA 94544, WA 98121<br>(916) 510-881-8086                       | LANDSCAPE ARCHITECT: | SMIMCHOS & ASSOCIATES LANDSCAPE ARCHITECTURE<br>330 SIR FRANCIS DRAKE BLVD S<br>SAN JOSE, CA 95128<br>CONTACT: WALTER SMIMCHOS<br>WALTER@SMIMCHOS-ASSOCIATES.COM |
| GEOTECHNICAL:        | EARTH INVESTIGATIONS CONSULTANTS INC.<br>PO BOX 755<br>PACIFICA, CA 94044<br>CONTACT: JOEL BALDWIN<br>EARTHINVESTIGATIONS@COMCAST.NET | POOL DESIGNER:       | SWAN POOLS<br>5808 SILVER CREEK VALLEY RD #65<br>SAN JOSE, CA 95138<br>CONTACT: TONY SCHWEE<br>(415) 406-224-7926<br>TCS@SWANPOOLS.COM                           |
| DESIGNER:            | STILLWATER DWELLINGS<br>211 3RD AVE<br>SEATTLE, WA 98121<br>CONTACT: GLENN THOMAS<br>GLENN@STILLWATERDWELLINGS.COM                    | FIRE PROTECTION:     | VICTORY FIRE PROTECTION<br>6085 LOWE TREE WAY<br>ATWOOD, CA<br>CONTACT: RYAN FEENEY<br>(916) 229-2417<br>INFO@COMFIREPRO.COM                                     |
| STRUCTURAL ENGINEER: | SMERSON S&Y FACET<br>2124 THIRD AVE, SUITE 100<br>SEATTLE, WA 98121<br>CONTACT: DREW DUTTNER<br>DOUTTNER@SMERSONS.COM                 |                      |  |

**GENERAL INFORMATION:**

PROPERTY ADDRESS: 800 KESTER RIDGE RD WOODSIDE, CA 94062

ASSESSORS PARCEL NO: 075-321-220

JURISDICTION: SAN MATEO COUNTY

PARCEL ID: PARCEL 8 68 PM E RECORD OF SURVEY 18 LLS 52 PARCEL ID 221159

APPLICABLE CODES:  
2018 CALIFORNIA RESIDENTIAL CODE  
2018 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen)  
2018 CALIFORNIA MECHANICAL CODE (CMC)  
2018 CALIFORNIA ELECTRICAL CODE (CEC)  
2018 CALIFORNIA PLUMBING CODE (CPC)  
2018 CALIFORNIA ENERGY CODE  
2018 CALIFORNIA FIRE CODE

LOT SIZE: 1.6 ACRES (601,208 SQ FT)

USE GROUP: R3 (SINGLE FAMILY)

CONSTRUCTION TYPE: RESIDENTIAL - WB

FIRE SPRINKLER SYSTEM: NFPA 13D REQUIRED; FIRE SPRINKLER PLANS TO BE SUBMITTED UNDER A SEPARATE FIRE SPRINKLER PERMIT WHICH MUST BE ISSUED WITH, OR PRIOR TO ISSUANCE OF BUILDING PERMIT. PLANS MUST BE DESIGNED BY A MECHANICAL ENGINEER OR LICENSED (C-16) CONTRACTOR. PLANS SHALL MEET SPECIFICATIONS OF FIRE DEPARTMENT (LURSION@SFPD.CA.GOV)

FIRE HAZARD ZONE: SRA WHITE (VERY HIGH FIRE HAZARD ZONE)/WU (WILDLIFE URBAN INTERSPACE ZONE)

FIRE PROTECTED CONSTRUCTION: REQUIRED, IN CONFORMANCE WITH CBC R327

VEGETATION MANAGEMENT: REQUIRED PER CA FIRE CODE SECT 4906, INCLUDING CA PUBLIC RESOURCES CODE 4291 OR CA 6001 CODE SECTION 61182 PER CBC R327.15

FIRE SPRINKLER PLANS UNDER SEPARATE PERMIT  
POOL AND POOL EQUIPMENT PLANS UNDER SEPARATE PERMIT  
SPECIAL INFECTIONS SUMMARY 616 51-3 SOLDER PILE INSTALLATION TO BE INSPECTED PERIODICALLY

**ZONING CODE INFORMATION:**

ZONE: RM

HEIGHT LIMIT: 3 STOREYS OR 38 FEET

BUILDING FLOOR AREA: NO MAX

PARCEL COVERAGE: NO MAX

IMPERVIOUS SURFACE AREA: NO MAX

YARD REQUIREMENTS: MINIMUM FRONT YARD SETBACK: 50'  
MINIMUM SIDE YARD SETBACK: 20'  
MINIMUM REAR YARD SETBACK: 20'

PARKING REQUIREMENT: 2 COVERED SPACES

**ENERGY CODE INFORMATION:**

PRESCRIPTIVE: (SEE TYPICAL WALL SECTIONS A.D.S., A.D.S. & A.D.07 FOR ACTUAL WALL, ROOF, FLOOR ASSEMBLY R-VALUES)

PER 2016 BUILDING ENERGY EFFICIENCY STANDARDS TABLE 150.1-A CLIMATE ZONE 3

| COMPONENT                    | MINIMUM VALUES | ACTUAL VALUES |
|------------------------------|----------------|---------------|
| VENTILATION U-FACTOR         | U = 0.32 MAX   | U = 0.28      |
| SKYLIGHT U-FACTOR            | U = 0.32 MAX   | N/A           |
| FEEDBACK MAX SHGC            | U = 0.32 MAX   | N/A           |
| CEILING R-VALUE              | R = 30         | R = 49.5      |
| WALLS ABOVE GRADE            | R = 15         | R = 28        |
| WALLS BELOW GRADE (INTERIOR) | R = 15         | N/A           |
| WALLS BELOW GRADE (EXTERIOR) | R = 5          | N/A           |
| FLOORS, RAISED               | R = 19         | R = 30        |
| FLOORS, CONCRETE, RAISED     | R = 0          | N/A           |
| RADIANT BARRIER (ROOF)       | U = 0.32 MAX   | N/A           |

**PROPOSED RESIDENCE AREAS:**

| FIRST FLOOR (CONDITIONED)  | 1,320 sqft | DECK:                                | 896 sf   |
|----------------------------|------------|--------------------------------------|----------|
| SECOND FLOOR (CONDITIONED) | 1,320 sqft | BUILDING FOOTPRINT (HOUSE & CARPORT) | 1,982 sf |
| TOTAL LIVING               | 3,040 sqft | ROOF AREA (HOUSE & CARPORT)          | 3,381 sf |
| CARPORT AREA:              | 462 sqft   |                                      |          |

HERS VERIFICATION SUMMARY FROM TITLE 24 ENERGY REPORT

THE FOLLOWING FEATURES MUST BE FIELD-VERIFIED BY A CERTIFIED HERS RATER:

BUILDING LEVEL VERIFICATION: IAQ MECHANICAL VENTILATION

COOLING SYSTEM VERIFICATION: MINIMUM ARIFLOW, FAN EFFICIENCY WATTS/CFM

HVAC DISTRIBUTION SYSTEM VERIFICATION: DUCT SEALING

DOMESTIC HOT WATER SYSTEM VERIFICATION: NON

### DRAWING LIST - PLANNING PERMIT ADDENDUM

|      |                             |
|------|-----------------------------|
| A.00 | GENERAL INFORMATION         |
| A.05 | TYPICAL ASSEMBLIES          |
| A.06 | TYPICAL ASSEMBLIES          |
| A.07 | TYPICAL ASSEMBLIES          |
|      | SURVEY SU1 (NOT NUMBERED)   |
|      | SURVEY SU2 (NOT NUMBERED)   |
| A.10 | ARCHITECTURAL SITE PLAN     |
| A.20 | FOUNDATION PLAN             |
| A.21 | ENTRY LEVEL FLOOR PLAN      |
| A.22 | UPPER LEVEL FLOOR PLAN      |
| A.23 | ROOF PLAN                   |
| A.24 | CARPART PLAN                |
| A.30 | EXTERIOR ELEVATIONS         |
| A.31 | EXTERIOR ELEVATIONS         |
| A.32 | CARPART EXTERIOR ELEVATIONS |
| A.40 | BUILDING SECTIONS           |
| A.41 | CARPART BUILDING SECTIONS   |



2111 3RD AVE  
SEATTLE, WA 98121  
TEL: (206) 517-0546  
FAX: (206) 547-0533

1) REPRODUCE DRAWINGS ONLY WITH WRITTEN PERMISSION FROM STILLWATER DWELLINGS

2) INTELLECTUAL PROPERTY OF STILLWATER DWELLINGS. THESE DRAWINGS MAY NOT BE USED FOR THE CONSTRUCTION OF THE HOUSE TO BE DESCRIBED BY THE PROJECT ADDRESS LISTED ON THESE DRAWINGS.

3) CONSTRUCTION OF THE PROJECT HOUSE SHOWN HEREON IS NOT ONLY PROHIBITED BY THE EXPRESS WRITTEN AGREEMENT, BUT ALSO BY STILLWATER DWELLINGS LLC.

600 Kester Ridge Rd  
Woodside, CA 94062  
TAX PARCEL # 075-321-220

ATKINS-CONGRA RESIDENCE  
PROJECT # 15-CONC-221  
PHASE 2 - PLANNING ADDENDUM  
PLN2016-00150

| DATE     | DESCRIPTION        |
|----------|--------------------|
| 8/26/16  | PLANNING SUBMITTAL |
| 11/21/18 | PLANNING ADDENDUM  |

DRAWN: gtt

SHEET

GENERAL INFORMATION

A0.00

**GENERAL PROJECT NOTES:**

1. SEE COVER SHEET A010.

**BIDDER DESIGN PROJECT NOTES:**

1. SEE COVER SHEET A010.

**GENERAL SITE PLAN NOTES:**

1. SITE LAYOUT SHOWN IS CONCEPTUAL. FINAL GRADING, UTILITIES, PAVING, LANDSCAPING, HARDSCAPING, ETC TO BE COORDINATED BY OWNER WITH LANDSCAPE ARCHITECT AND CONTRACTOR UNLESS NOTED OTHERWISE.
2. REFER ALSO TO OWNER-CONSULTANT SURVEY IF ATTACHED.

**EROSION CONTROL NOTES:**

1. AT LEAST PER THE LOCAL JURISDICTIONS MOST STRINGENT REQUIREMENTS.

**SOILS NOTES:**

1. SOILS REPORT GUIDELINES TAKE PRECEDENCE.
2. SOIL SUBROCKS SHALL BE PREPARED AS NEEDED TO ACHIEVE A FIRM UNWEIGHING STATE BEFORE ANY CONCRETE, PAVEMENT, OR FILL SOIL IS PLACED, SEE SOILS REPORT.
3. LOOSE GRANULAR SOILS SHALL BE COMPACT TO A DENSITY COMENSURATE WITH THE SURROUNDING SOILS. SEE SOILS REPORT.
4. ORGANIC OR SOFT COHESIVE SOILS SHALL BE OVER EXCAVATED AND REPLACED WITH A GRANULAR STRUCTURAL FILL MATERIAL, SEE SOILS REPORT.
5. FILL MATERIAL SHALL BE PLACED IN HORIZONTAL LIFTS AND COMPACTED TO A UNIFORM DENSITY OF AT LEAST 95% OF THE STANDARD PROCTOR OR AT LEAST 90% OF THE MODIFIED PROCTOR.
6. TEMPORARY CUT SLOPES ARE LIMITED PER LOCAL BUILDING CODE.
7. TEMPORARY DRAINAGE MEASURES TO MANAGE WATER DURING CONSTRUCTION SHALL BE PER LOCAL JURISDICTION REQUIREMENTS.

**LEGEND:**

- PROPOSED BUILDING FOOTPRINT
- ROOF OVERHANG
- PROPERTY LINE
- SETBACK LINE
- GRADE ELEVATION
- EXISTING GRADE CONTOUR - TO REMAIN
- EXISTING GRADE CONTOUR - REVISED
- NEW GRADE CONTOUR
- TREE
- ELECTRIC LINE
- CABLE LINE
- TELEPHONE LINE
- STORMWATER LINE
- SANITARY SEWER LINE
- WATER LINE
- GAS LINE
- FIRE SPRINKLER LINE
- GAS METER
- WATER METER
- ELECTRICAL METER - MAIN
- ELECTRICAL METER
- FENCE LINE
- SELF FENCE
- ITEMS TO BE REMOVED/EXTENT OF DEMOLITION

**NOTE:**

PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 9008, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4891 OR CALIFORNIA GOVERNMENT CODE SECTION 51182 PER CRC #527.15.

**UTILITIES CHECKLIST:**

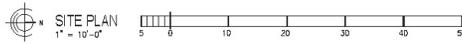
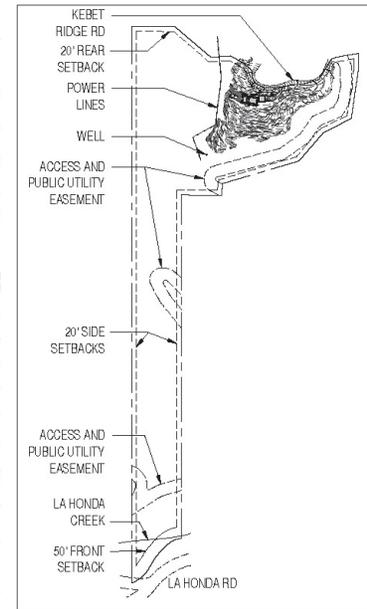
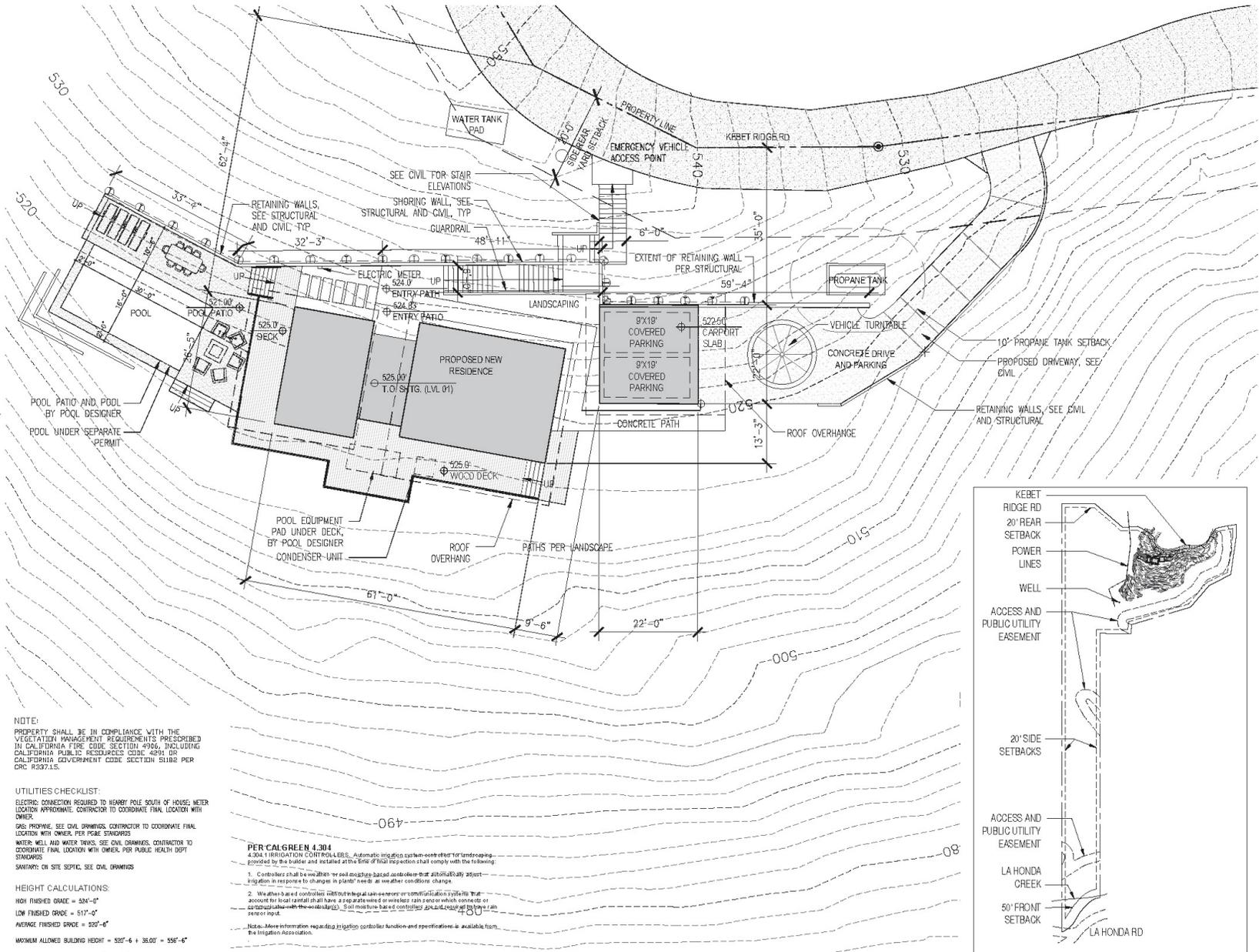
ELECTRIC: CONNECTION REQUIRED TO NEARBY POLE SOUTH OF HOUSE. METER LOCATION APPROPRIATE. CONTRACTOR TO COORDINATE FINAL LOCATION WITH OWNER.  
 GAS: PROPRIETOR, SEE CIVIL DRAWINGS. CONTRACTOR TO COORDINATE FINAL LOCATION WITH OWNER. PER PUBLIC HEALTH DEPT STANDARDS.  
 WATER, WELL AND WATER TRUNKS, SEE CIVIL DRAWINGS. CONTRACTOR TO COORDINATE FINAL LOCATION WITH OWNER. PER PUBLIC HEALTH DEPT STANDARDS.  
 SANITARY: ON SITE SEPTIC. SEE CIVIL DRAWINGS.

**HEIGHT CALCULATIONS:**

HIGH FINISHED GRADE = 524'-0"  
 LOW FINISHED GRADE = 517'-0"  
 AVERAGE FINISHED GRADE = 520'-6"  
 MAXIMUM ALLOWED BUILDING HEIGHT = 530'-4" + 36.00" = 566'-4"  
 PROPOSED BUILDING HEIGHT = 546'-3 1/4"

**PER CALGREEN 4.304**

4.304.1 IRRIGATION CONTROLLER(S). Automatic irrigation system controller for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:  
 1. Controller shall be weather- or seal-enclosed based controller that automatically adjust-irrigation in response to changes in plant needs or weather conditions change.  
 2. Weather-based controller shall not be set to allow watering or over-irrigation during rainfall. Controller shall have a separate wired or wireless rain zone or which connects or communicates with the weather-based controller and shall not receive any sensor input.  
 Note: More information regarding irrigation controller function and specifications is available from the Irrigation Association.



| DATE     | DESCRIPTION        |
|----------|--------------------|
| 07/26/16 | PLANNING SUBMITTAL |
| 11/21/18 | PLANNING ADDENDUM  |

DRAWN BY: gtt

SHEET

SITE PLAN

NOTES: FOUNDATION PLAN

GENERAL PROJECT NOTES:

1. SEE COVER SHEET A2.00.

BIDDER DESIGN PROJECT NOTES:

1. SEE COVER SHEET A2.00.

FOUNDATION NOTES:

1. CONCRETE TOLERANCES SHALL BE PER ACI 117-10.
2. SLOPE ALL CONCRETE STAIRS AND/OR PADDS 1" PER FOOT AWAY FROM DOORWAYS.
3. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED OR COAR.
4. PROVIDE SOLID BLOCCING UNDER BEARING WALLS.
5. PROVIDE 6 MIL VISQUEE VAPOR BARRIER WITH 12" OVERLAP AT JOINTS.
6. FROTHERS WOOD OR IN CONTACT WITH PRESSURE-TREATED OR FIRE-RETARDANT WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER. EXCEPTION: 2" DIAMETER OR GREATER STEEL BOLTS.
7. FILTER FABRIC TO BE 6 OUNCE PER SQUARE YARD MINIMUM WEIGHT, NON-WOVEN, GEO-TEXTILE FABRIC SPECIFICALLY DESIGNED FOR THE PURPOSES OF ALLOWING WATER PASSES WHILE RETAINING SOILS. SHOULD HAVE AN APERTURE OPENING SIZE EQUAL TO A #10 (OR FINER) IS SIZE.
8. PERFORATED FOOTING DRAIN TO BE PVC SCHEDULE 40 OR SDR 35.
9. MIN. FOOTING DEPTH TO BE 14" BELOW LOWEST ADJACENT SOIL GRADE.

CRAWL SPACE VENTILATION NOTES:

1. CRAWL SPACES ARE POWER VENTED; DESIGN BUILD BY CONTRACTOR.
2. INSTALLATION MUST MEET THE REQUIREMENTS OF IRC R408.3. EXPOSED EARTH MUST BE COVERED WITH A CONTINUOUS CLASS 1 VAPOR RETARDER.
3. CRAWL SPACES ARE TO BE POWER VENTED AND SHALL MEET CODE REQUIREMENTS.

LEGEND FOUNDATION PLAN:

- CONCRETE WALL
- CONCRETE FOOTING
- WALL
- PONY WALL
- WALL/CEILING ABOVE
- WALL HIDDEN BELOW
- BEAM ABOVE
- FLOOR DRAIN
- ELECTRICAL METER MAIN
- ELECTRICAL METER
- CRAWL SPACE VENT
- CRAWL SPACE ACCESS DOOR
- WATER STUB OUT
- PHONE/DATA/CABLE STUB OUT
- SANITARY SEWER STUB OUT
- ELECTRICAL STUB OUT
- GAS STUB OUT
- FIRE SPRINKLER STUB OUT
- STORM WATER STUB OUT
- GAS METER
- WATER CASING CONNECTED TO FOUNDATION BEAM
- CABLE INTERFACE, PHONE INTERFACE

PER CRC R408.3 UNVENTED CRAWL SPACE:

VENTILATION OPENINGS IN UNDER-FLOOR SPACES SHALL NOT BE REQUIRED WHERE:

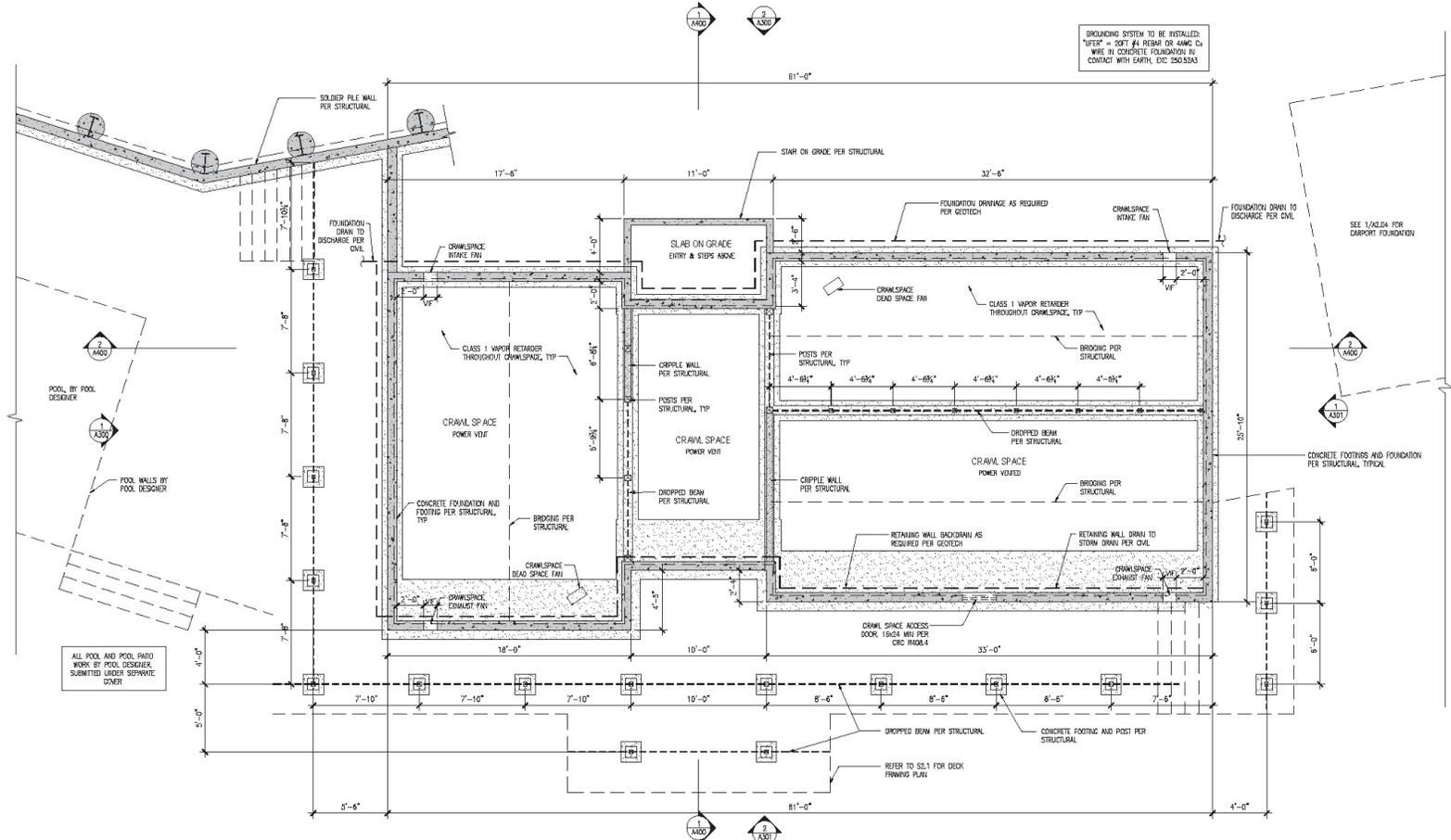
1. EXPOSED EARTH IS COVERED WITH A CONTINUOUS CLASS 1 VAPOR RETARDER PER CRC R408.3-1 (ALSO REFER TO TYPICAL ASSEMBLY SHEETS A2.05 & A2.06).
2. PROVIDE CONTINUOUSLY OPERATED MECHANICAL EXHAUST VENTILATION AT A RATE EQUAL TO 1 CUBIC FOOT PER MINUTE FOR EACH 50 SQUARE FEET OF CRAWLSPACE FLOOR AREA. CRAWL SPACE PERIMETER WALLS SHALL BE INSULATED IN ACCORDANCE WITH THE MINIMUM INSULATION REQUIREMENTS PER CALIFORNIA ENERGY CODE (ALSO REFER TO TYPICAL ASSEMBLY SHEETS A2.05 & A2.06).

BASIS OF DESIGN: ATMOS "CLOSED" CRAWLSPACE SYSTEM

CRAWLSPACE "POWER VENTILATION SYSTEM" IS DESIGN BUILD BY MECHANICAL SUB-CONTRACTOR. SYSTEM DESIGNATED HEREBY IS A BASIS OF DESIGN RECOMMENDATION TO DEMONSTRATE CODE CONFORMANCE.

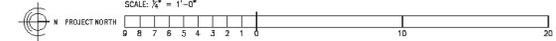
CUBIC FEET OF CRAWLSPACE: 5320 CUBIC FEET x 0.07 = 372 TOTAL CFM OF EXHAUST FANS NEEDED.

(1) 220 CFM EXHAUST FAN REQUIRED, (2) 220 CFM INTAKE FAN REQUIRED. DEAD SPACE FAN LOCATIONS ARE RECOMMENDED AS INDICATED ON PLAN ABOVE.



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



- 1) REPRODUCTION ONLY WITH WRITTEN PERMISSION FROM STILLWATER DWELLINGS
- 2) INTELLECTUAL PROPERTY OF STILLWATER DWELLINGS. THESE DRAWINGS MAY NOT BE USED FOR THE CONSTRUCTION OF THE HOUSE TO BE BUILT AT THE PROJECT ADDRESS LISTED ON THESE DRAWINGS.
- 3) CONSTRUCTION OF THE PROJECT UNDER DRAWING NUMBER MAY ONLY PROCEED WITH THE EXPRESS WRITTEN CONSENT OF STILLWATER DWELLINGS LLC.

600 Keeler Ridge Rd  
Woodside CA 94082  
TAX PARCEL # 075-075-321-220

ATKINS-CONCRA RESIDENCE  
PROJECT # 15-CONC-221  
PHASE 2 - PLANNING ADDENDUM  
PLN2016-00150

| DATE     | DESCRIPTION        |
|----------|--------------------|
| 07/25/16 | PLANNING SUBMITTAL |
| 11/21/18 | PLANNING ADDENDUM  |

DRAWN: gtt

SHEET

FOUNDATION AND UTILITY PLAN

NOTES: FLOOR PLAN

GENERAL PROJECT NOTES:

1. SEE COVER SHEET A2.00.

WRITTEN DIMENSIONS:

1. SEE COVER SHEET A2.00.

BIDDER DESIGN PROJECT NOTES:

1. SEE COVER SHEET A2.00.

ENERGY CODE NOTES:

1. SEE COVER SHEET A2.00.

HVAC NOTES:

1. INSTALLATION FOR ASHRAE 90A-2010 SYSTEM IS DESIGN-BUILD BY MECHANICAL SUBCONTRACTOR. SUPPLY, RETURN DUCTING AND GRILLES SHALL BE RECOMMENDED. CONTRACTOR AND MECHANICAL SUB-CRONTOR TO CONFIRM FINAL DESIGN WITH OWNER.
2. ALL DUCTING TO BE INSULATED AS REQUIRED BY ENERGY CODE AND SHEET METAL U.A.G.
3. ALL FILTERS, BURNERS, AND SWITCHES TO BE MINIMUM #10' ARENE SIZE.
4. PROVIDE #10" PLATFORM OF 2 LAYERS 4" PLUMWOOD.
5. WATER HEATER SHALL BE AWAY FROM STAIRWELL TO AVOID HORIZONTAL DISPARITY DUE TO DRYING/WATER STRIPPING SHALL BE AT POINTS WITHIN THE UPPER 2/3 AND LOWER 2/3 OF THE WATER HEATER.
6. PROVIDE PRESSURE RELIEF VALVE IN/ON TO OUTSIDE.
7. MINIMUM HOT WATER TEMPERATURE INTO A SHOWER OR WHIRLPOOL BATH SHALL BE LIMITED TO 120°F. THE WATER HEATER SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION.
8. PROVIDE OUTSIDE COMBUSTION AIR FOR NON-DIRECT VENT APPLIANCES.

PLUMBING NOTES:

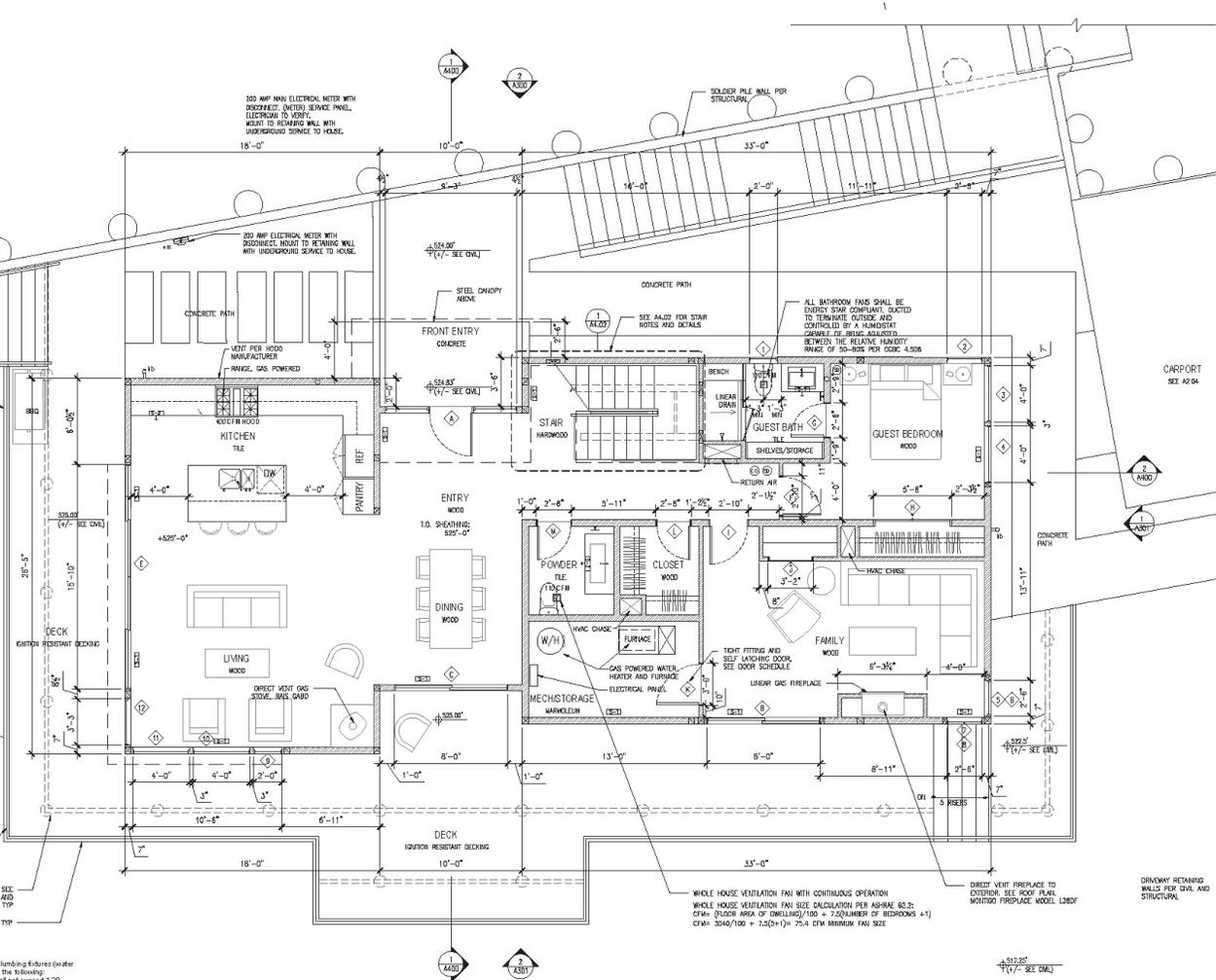
1. ALL POTABLE WATER PIPING AND FITTINGS SHALL BE BRASS, COPPER, CUPRIL OR GALVANIZED STEEL. ALL GALVANIZED STEEL SHALL BE UNPAINTED. ALL FITTINGS USED IN THE WATER SUPPLY SYSTEM, EXCEPT WELDS AND SOLDER JOINTS SHALL BE OF LIKE MATERIAL. PER SAN MATEO COUNTY BUILDING REGULATIONS SECTION 8.01.04 UNIFORM PLUMBING CODE - MATERIALS SECTION #604.1

LEGEND FLOOR PLAN:

- CONCRETE WALL
- WALL
- WALL/CEILING ABOVE
- WALL HIDDEN BELOW
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- FAN
- FLOOR DRAIN
- SHOWER HEAD
- TOILET PAPER HOLDER
- TOWEL RING
- TOWEL BAR
- HANGING ROD & SHELF
- WINDOW/DOOR DESIGNATION
- ELECTRICAL PANEL
- ELECTRICAL SUB PANEL
- ELECTRICAL METER MAIN
- ELECTRICAL METER
- STRUCTURED DATA BOX/W/OUTLET
- RECESSED WASHNER BOX
- RECESSED DRYER BOX
- WATER SHUT OFF VALVE
- FROST FREE WOE BB
- GAS BB
- GAS METER
- SUPPLY REGISTER, FLOOR
- SUPPLY REGISTER, UNDER CAB

**PER CALGREEN 4.303.1**  
 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following:  
 4.303.1.1 Water Closet. The effective flush volume of all water closets shall not exceed 4.200 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type Toilets.  
 Note: The effective flush volume of dual flush toilets as defined as the composite, average flush volume of two reduced flushes and one full flush.  
 4.303.1.2 Urinals. The effective flush volume of all non-residential urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.  
 4.303.1.3 Showerheads.  
 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.  
 4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.  
 Note: A hand-held shower shall be considered a showerhead.  
 4.303.1.4 Faucets.  
 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 80 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.  
 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas Outside of Dwellings or Sleeping Units in Residential Buildings shall not exceed 0.5 gallons per minute at 80 psi.  
 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.25 gallons per cycle.  
 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.0 gallon per minute at 80 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 80 psi, and must default to a maximum flow rate of 1.0 gallons per minute at 80 psi.  
 Note: Where competing faucets are unavailable, aerators or other means may be used to achieve reduction.

**PER CALGREEN 4.503**  
 4.503.1 GENERAL. Any installed gas fireplace shall be a direct vent sealed combustion type. Any installed wood-burning or pellet stove shall comply with U.S. EPA New Clean Fireplace Performance Standards (NGPS) emission limits as applicable, and shall have a permanent label indicating flow air certified to meet the emission limits. Woodstoves, pellet stoves and appliances shall also comply with applicable local ordinances.



FLOOR PLAN - ENTRY LEVEL  
 SCALE: 1/8" = 1'-0"

1) REPRODUCTION PERMITTED ONLY WITH WRITTEN PERMISSION FROM STILLWATER DWELLINGS  
 2) INTELLECTUAL PROPERTY OF STILLWATER DWELLINGS. THESE DRAWINGS ARE NOT TO BE USED FOR THE CONSTRUCTION OF THE HOUSE OR BE REPRODUCED OR THE PROJECT ADDRESS LISTED ON THESE DRAWINGS.  
 3) CONSTRUCTION OF THE PROJECT SHALL BE DONE BY A LICENSED ARCHITECT. PROJECT MANAGED BY STILLWATER DWELLINGS LLC.

600 Hebert Ridge Rd  
 Woodside, CA 94082  
 TAX PARCEL # 075-331-1220

ATKINS-CONCRA RESIDENCE  
 PROJECT # 15-CONC-221  
 PHASE 2 - PLANNING ADDENDUM  
 PLN2016-00150

| DATE     | DESCRIPTION        |
|----------|--------------------|
| 07/26/16 | PLANNING SUBMITTAL |
| 11/21/18 | PLANNING ADDENDUM  |

DRAWN: gtt

SHEET

FLOOR PLAN - ENTRY LEVEL

A2.01

NOTES: FLOOR PLAN

GENERAL PROJECT NOTES:

1. SEE COVER SHEET A2.00.

WRITTEN DIMENSIONS:

1. SEE COVER SHEET A2.00.

BIDDER DESIGN PROJECT NOTES:

1. SEE COVER SHEET A2.00.

ENERGY CODE NOTES:

1. SEE COVER SHEET A2.00.

HVAC NOTES:

1. INSULATION FOR ASHRAE 90A-2010 SYSTEM IS DESIGN-BUILD BY MECHANICAL SUBCONTRACTOR. SUPPLY, RETURN DUCTING AND GRILLES SHALL BE RECOMMENDED. CONTRACTOR AND MECHANICAL SUB-CONTRACTOR TO CONFIRM FINAL DESIGN WITH OWNER.
2. ALL DUCTING TO BE INSULATED AS REQUIRED BY ENERGY CODE AND SHEET METAL U.A.C.
3. ALL FILTERS, BURNERS, AND SWITCHES TO BE MINIMUM +1" ABOVE SLAB.
4. PROVIDE +1" PLATFORM OF 2 LAYERS #4 PLUMBOID.
5. WATER HEATER SHALL BE AWAY FROM OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO SEISMIC MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 1/3 AND LOWER 2/3 OF THE WATER HEATER.
6. PROVIDE PRESSURE RELIEF VALVE IN ACCORD WITH ENERGY CODE.
7. MINIMUM HOT WATER TEMP DISCHARGING INTO A SWIMMING POOL OR WHIRLPOOL SHALL BE LIMITED TO 120°F. THE WATER HEATER SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION.
8. PROVIDE OUTSIDE COMBUSTION AIR FOR NON-DIRECT VENT APPLIANCES.

PLUMBING NOTES:

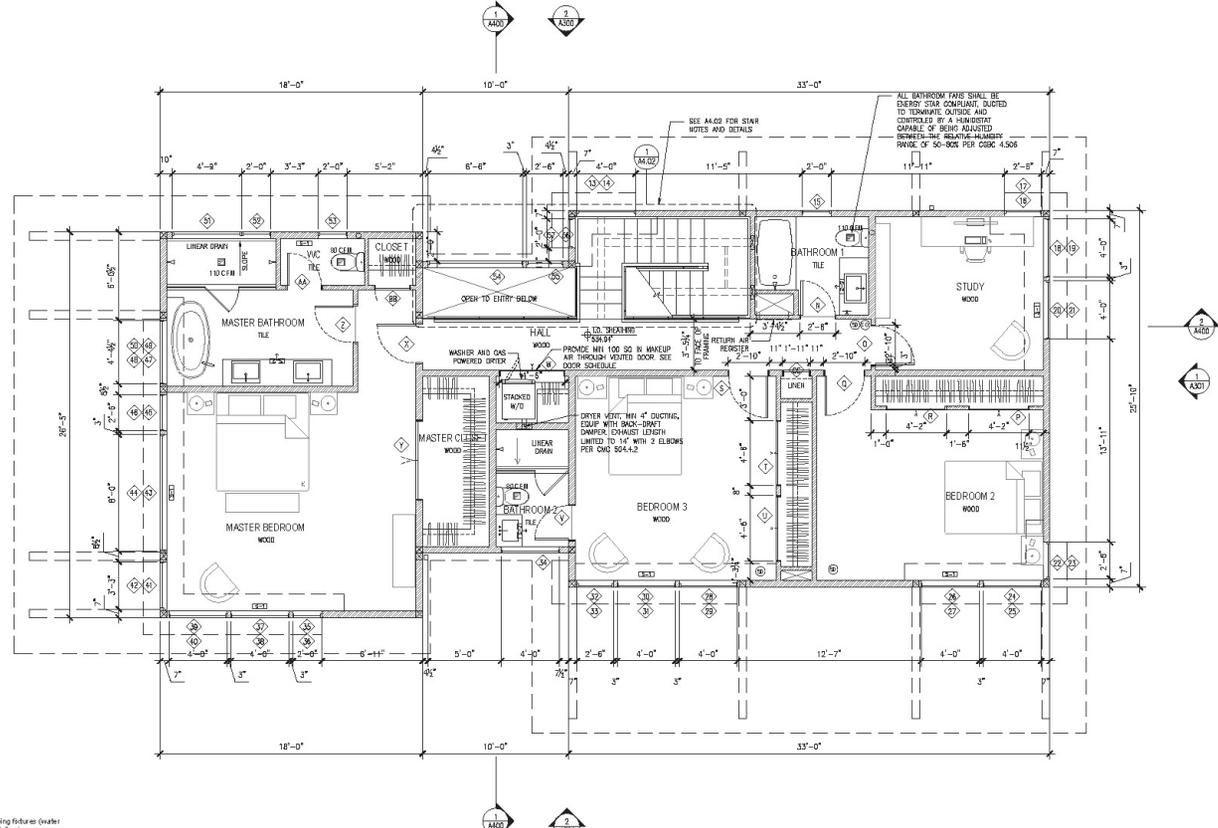
1. ALL POTABLE WATER PIPING AND FITTINGS SHALL BE BRASS, COPPER, CAST IRON, GALVANIZED STEEL, GALVANIZED WROUGHT IRON, OR GALVANIZED STEEL. ALL FITTINGS USED IN THE WATER SUPPLY SYSTEM, EXCEPT WELDS AND SWEAT JOINTS SHALL BE OF LIKE MATERIAL. PER SAN MATEO COUNTY BUILDING REGULATIONS SECTION 16100 UNDER PLUMBING CODE - MATERIALS SECTION #604.1

LEGEND FLOOR PLAN:

- CONCRETE WALL
- WALL
- WALL/CEILING ABOVE
- WALL HIDDEN BELOW
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- FAN
- FLOOR DRAIN
- SHOWER HEAD
- TOILET PAPER HOLDER
- TOWEL RING
- TOWEL BAR
- HANGING ROD & SHELF
- WINDOW/DOOR DESIGNATION
- ELECTRICAL PANEL
- ELECTRICAL SUB PANEL
- ELECTRICAL METER MAIN
- ELECTRICAL METER
- STRUCTURED DATA BOX W/OUTLET
- RECESSED WASHKER BOX
- RECESSED DRYER BOX
- WATER SHUT OFF VALVE
- FROST FREE WOE BB
- GAS BB
- GAS METER
- SUPPLY REGISTER, FLOOR
- SUPPLY REGISTER, UNDER CAB

PER CALGREEN 4.303.1

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following: 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.20 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. 4.303.1.3 Showerheads. 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. 4.303.1.3.2 Multiple Showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead. 4.303.1.4 Faucets. 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 80 psi. The maximum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi. 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.8 gallons per minute at 80 psi. 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.25 gallons per cycle. 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 80 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 80 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 80 psi. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.



FLOOR PLAN - UPPER LEVEL



2111 350 AVE.  
SEATTLE WA 98121  
TEL: (206) 517-0546  
FAX: (206) 547-2533

1) REPRODUCE DRAWINGS ONLY WITH WRITTEN PERMISSION FROM STILLWATER DWELLINGS  
2) INTENTIONAL VIOLATION OF THESE DRAWINGS MAY BE PENALIZED BY THE CITY OF SEATTLE. THE CONTRACTOR OF THE PROJECT ADDRESS LISTED ON THESE DRAWINGS.  
3) CONSTRUCTION OF THE PROJECT SHALL BE DONE IN ACCORDANCE WITH THE CITY OF SEATTLE'S BUILDING DEPARTMENT. CONTACT US AT STILLWATER DWELLINGS LLC.

600 Webster Ridge Rd  
Woodside CA 94062  
TAX PARCEL # 075-075-31-120

ATKINS-CONCRA RESIDENCE  
PROJECT # 15-CONC-221  
PHASE 2 - PLANNING ADDENDUM  
PLN2016-00150

| DATE     | DESCRIPTION        |
|----------|--------------------|
| 07/25/16 | PLANNING SUBMITTAL |
| 11/21/18 | PLANNING ADDENDUM  |

07/07/18 PERMIT REVIEW

DRAWN: gtt

SHEET

FLOOR PLAN - UPPER LEVEL

A2.02

NOTES:

GENERAL PROJECT NOTES:

1. SEE COVER SHEET A0.00.

BIDDER DESIGN PROJECT NOTES:

1. SEE COVER SHEET A0.00.

WUI REQUIREMENTS PER CBC CHAPTER 7A SECTION R337.5 ROOFING:

1. ROOFING MATERIALS ARE CLASS 'A' FIRE RATED
2. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER

ROOF VENTILATION:

1. AN UN-VENTED ROOF ASSEMBLY IS PROPOSED.
2. REFER TO A0.05 THRU A0.08 FOR ASSEMBLY DESCRIPTIONS.

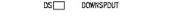
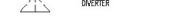
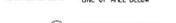
ROOF PENETRATIONS:

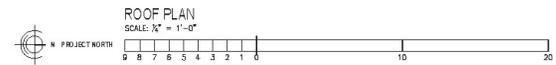
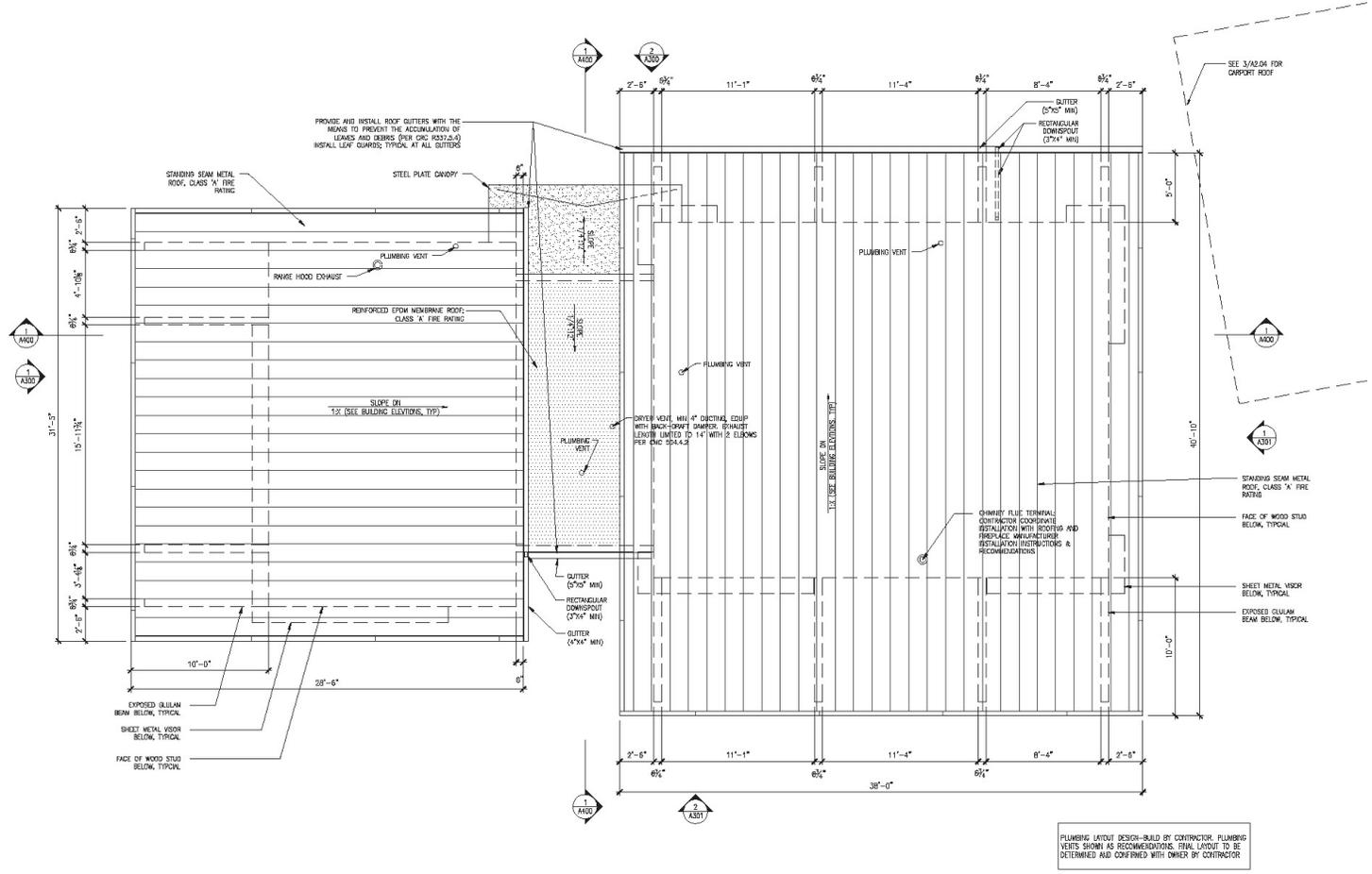
1. ALL ROOF PENETRATIONS TO BE GROUPED TOGETHER AND LOCATED AS FAR AWAY FROM THE ROOF EDGE AS POSSIBLE

GUTTER AND DOWNSPOUT SIZING:

1. CONTRACTOR TO VERIFY GUTTER & DOWNSPOUT SIZES TO COMPLY WITH THE APPROPRIATENESS FOR LOCAL PROJECT CONDITIONS. SIZES INDICATED HEREIN ARE APPROXIMATE RECOMMENDATIONS.
2. REFER TO STILLWATER S.O.R. FOR GUTTER AND DOWNSPOUT RECOMMENDED PRODUCTS.

LEGEND:

-  STANDING SEAM METAL ROOF
-  SINGLE PLY MEMBRANE ROOFING
-  STEEL CANOPY
-  GUTTER
-  DOWNSPOUT
-  DIVERTER
-  AREA DRAW
-  SLOPE X:12
-  ROOF PITCH
-  LINE OF WALL BELOW
-  CHIMNEY FLUE TERMINAL



1) REPRODUCE DRAWINGS ONLY WITH WRITTEN PERMISSION FROM STILLWATER DWELLINGS  
 2) INTENTIONAL VIOLATION OF THESE DRAWINGS MAY BE PENALIZED BY THE CONTRACTOR OF THE PROJECT ADDRESS LISTED ON THESE DRAWINGS.  
 3) CONSTRUCTION OF THE PROJECT SHALL PROCEED WITH THE EXPRESS WRITTEN CONSENT, SIGNED BY STILLWATER DWELLINGS LLC.

600 Keeler Ridge Rd  
Woodsdale, CA 94062  
TAX PARCEL # 075-31-31-220

**ATKINS-CONCRA RESIDENCE**  
PROJECT # 15-CONC-221  
PHASE 2 - PLANNING ADDENDUM  
PLN2016-00150

| DATE     | DESCRIPTION        |
|----------|--------------------|
| 07/26/16 | PLANNING SUBMITTAL |
| 11/21/18 | PLANNING ADDENDUM  |

DRAWN: gtt

SHEET

ROOF PLAN

NOTES: FOUNDATION PLAN

GENERAL PROJECT NOTES:

1. SEE COVER SHEET ADDD.

BIDDER DESIGN PROJECT NOTES:

1. SEE COVER SHEET ADDD.

FOUNDATION NOTES:

1. CONCRETE TOLERANCES SHALL BE PER ACI 117-10.
2. SLOPE ALL CONCRETE STAIRS AND/OR PATIOS 1/4" PER FOOT AWAY FROM FOOTINGS.
3. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED OR CEDAR.
4. PROVIDE SOLID BLOCKING UNDER BEARING WALLS.
5. PROVIDE 5 MIL. VULCANIZED RUBBER SHEET WITH 12" OVERLAP AT SEAMS.
6. FASTENERS INTO OR IN CONTACT WITH PRESURE-TREATED OR FIRE-RETARDANT WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SUDOL, BRONZE, OR COPPER. EXCEPTION 1/2" DIAMETER OR GREATER STEEL BOLTS.
7. FILTER FABRIC TO BE 8 OUNCES PER SQUARE (TWO MINIMUM WEIGHT, NON-WOVEN, GEO-TEXTILE FABRIC SPECIFICALLY DESIGNED FOR THE PURPOSE OF ALLOWING WATER PASSAGE WHILE RETAINING SOIL. SHOULD HAVE AN APPLICABLE OPENING SIZE EQUAL TO A #20 (OR FINER) US SIEVE.
8. PERFORATED FOOTING DRAIN TO BE PVC SCHEDULE 40 OR SPP 30.
9. WALK FOOTING DEPTH TO BE 10" BELOW LOWEST ADJACENT SOIL GRADE.

LEGEND FOUNDATION PLAN:

- CONCRETE WALL
- CONCRETE FOOTING
- WALL
- POINT WALL
- WALL/CEILING ABOVE
- WALL HIDDEN BELOW
- BEAM ABOVE
- FLOOR DRAIN
- ELECTRICAL METER MAN
- ELECTRICAL METER
- CRAWL SPACE VENT
- CRAWL SPACE ACCESS DOOR
- WATER STUB OUT
- PHONE/DATA/CABLE STUB OUT
- SANITARY SEWER STUB OUT
- ELECTRICAL STUB OUT
- GAS STUB OUT
- FIRE SPRINKLER STUB OUT
- STORM WATER STUB OUT
- GAS METER
- UTILITY GROUND CONNECTED TO FOUNDATION REBAR
- CABLE INTERFACE, PHONE INTERFACE

NOTES: FLOOR PLAN

GENERAL PROJECT NOTES:

1. SEE COVER SHEET ADDD.

WRITTEN DIMENSIONS:

1. SEE COVER SHEET ADDD.

BIDDER DESIGN PROJECT NOTES:

1. SEE COVER SHEET ADDD.

ENERGY CODE NOTES:

1. SEE COVER SHEET ADDD.

HVAC NOTES:

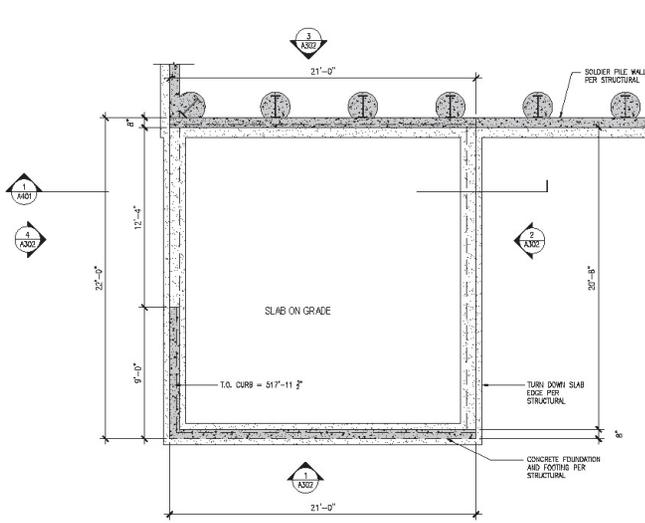
1. INSTALLATION PER ASHRAE 90.1-2010. SYSTEM IS DESIGN-BUILD BY MECHANICAL SUBCONTRACTOR. SUPPLY AND EXHAUST AND GRILLES SHOWN AS RECOMMENDATIONS. CONTRACTOR AND MECHANICAL SUB-CONTRACTOR TO CONFIRM FINAL DESIGN WITH OWNER.
2. ALL DUCTING TO BE INSULATED AS REQUIRED BY ENERGY CODE AND SHEET METAL CODE.
3. ALL PLANTS, BURNERS, AND SWITCHES TO BE MAXIMUM +18" ABOVE SLAB.
4. PROVIDE +18" PLATFORM OF 2 LAYERS 1/2" FURFLOOR.
5. WATER HEATERS SHALL BE ANCHORED OR STAMPED TO RESIST SEISMIC DISPLACEMENT DUE TO EARTHQUAKE MOTION. STAMPING SHALL BE AT POINTS WITHIN THE UPPER 1/3 AND LOWER 2/3 OF THE WATER HEATER.
6. PROVIDE PRESSURE RELIEF VALVE DRAIN TO EXTERIOR.
7. MAXIMUM HOT WATER TEMP DISCHARGING INTO A BATHROOM OR WAPERSHOWER BATH SHALL BE LIMITED TO 120°F. THE WATER HEATER SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION.
8. PROVIDE OUTSIDE COMBUSTION AIR FOR NON-DIRECT VENT APPLIANCES.

PLUMBING NOTES:

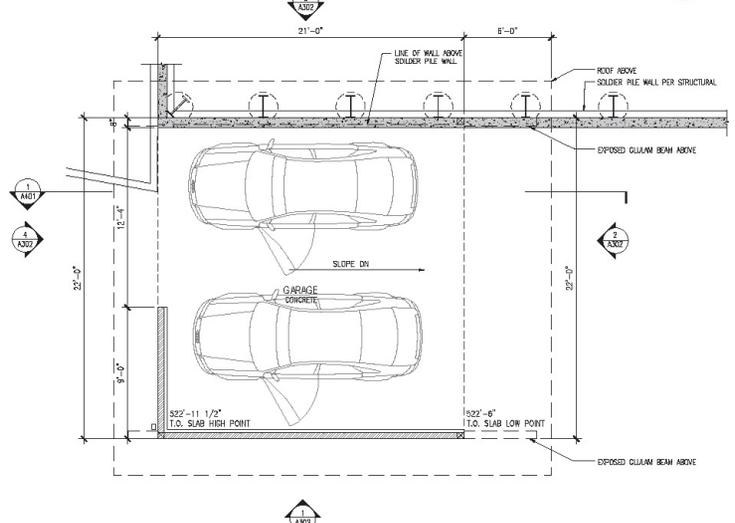
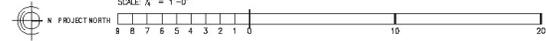
1. ALL POTABLE WATER PIPING AND FITTINGS SHALL BE BRASS, COPPER, CAST IRON, GALVANIZED WALKABLE IRON, GALVANIZED MERCHANT IRON, OR GALVANIZED STEEL. ALL MATERIALS USED IN THE WATER SUPPLY SYSTEM, EXCEPT VALVES AND SIMILAR DEVICES SHALL BE OF "LEAD-FREE" COPPER. FOR SANITARY COUNTY BUILDING REGULATIONS, SECTION #1514 UNIFORM PLUMBING CODE - MATERIALS, SECTION #164.1

LEGEND FLOOR PLAN:

- CONCRETE WALL
- WALL
- WALL/CEILING ABOVE
- WALL HIDDEN BELOW
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- FAN
- FLOOR DRAIN
- SHOWER HEAD
- TOILET PAPER HOLDER
- TOWEL RING
- TOWEL BAR
- HANGING ROD & SHELF
- WINDOW/DOOR DESIGNATION
- ELECTRICAL PANEL
- ELECTRICAL SUB PANEL
- ELECTRICAL METER MAN
- ELECTRICAL METER
- STRUCTURED DATA BOX w/OUTLET
- RECESSED WASHER BOX
- RECESSED GREASE BOX
- WATER SHUT OFF VALVE
- FROST FREE HOSE BIB
- GAS BIB
- GAS METER
- SUPPLY REGISTER, FLOOR
- SUPPLY REGISTER, UNDER CAB



1-FOUNDATION PLAN - CARPORT  
SCALE: 1/4" = 1'-0"



2-FLOOR PLAN - CARPORT  
SCALE: 1/4" = 1'-0"



NOTES: ROOF PLAN

GENERAL PROJECT NOTES:

1. SEE COVER SHEET ADDD.

BIDDER DESIGN PROJECT NOTES:

1. SEE COVER SHEET ADDD.

VUJ-7A-R327 SECTION R337.5

ROOFING:

1. ROOFING MATERIALS ARE CLASS "X" FIRE RATED
2. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER

ROOF VENTILATION:

1. AN UN-VENTED ROOF ASSEMBLY IS PROPOSED.
2. REFER TO ADDD THRU ADDD FOR ASSEMBLY DESCRIPTIONS.

ROOF PENETRATIONS:

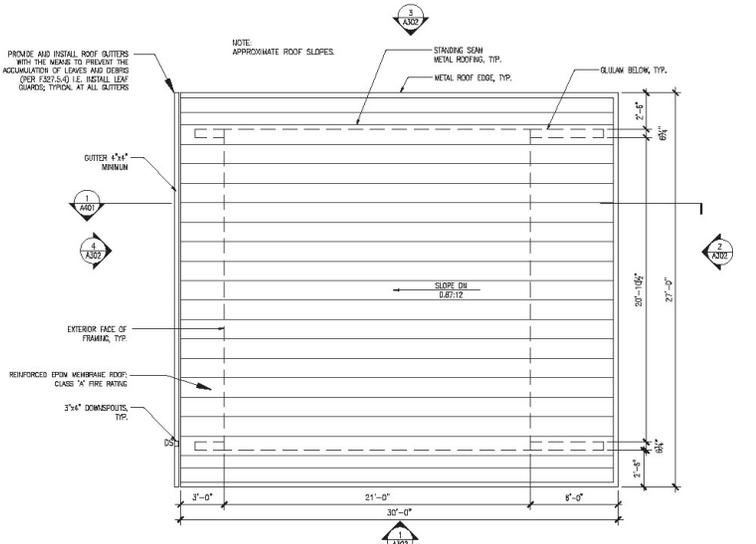
1. ALL ROOF PENETRATIONS TO BE CROPPED TOGETHER AND LOCKED AS FAR AWAY FROM THE ROOF EDGE AS POSSIBLE.

GUTTER AND DOWNSPOUT SIZING:

1. CONTRACTOR TO VERIFY GUTTER & DOWNSPOUT SIZES TO CONFIRM THE APPROPRIATENESS FOR LOCAL PROJECT CONDITIONS. SIZES INDICATED HEREIN ARE APPROXIMATE RECOMMENDATIONS.
2. REFER TO STILLWATER S.O.B. FOR GUTTER AND DOWNSPOUT RECOMMENDED PRODUCTS.

LEGEND: ROOF PLAN

- STANDING SEAM METAL ROOF
- SINGLE PLY MEMBRANE ROOFING
- STEEL CANOPY
- GUTTER
- DOWNSPOUT
- DIVERTER
- AREA DRAIN
- SLOPE 1/12
- ROOF PITCH
- LINE OF WALL BELOW
- CHIMNEY FLUE TERMINAL



3-ROOF PLAN - CARPORT  
SCALE: 1/4" = 1'-0"



NOTES:

GENERAL PROJECT NOTES:

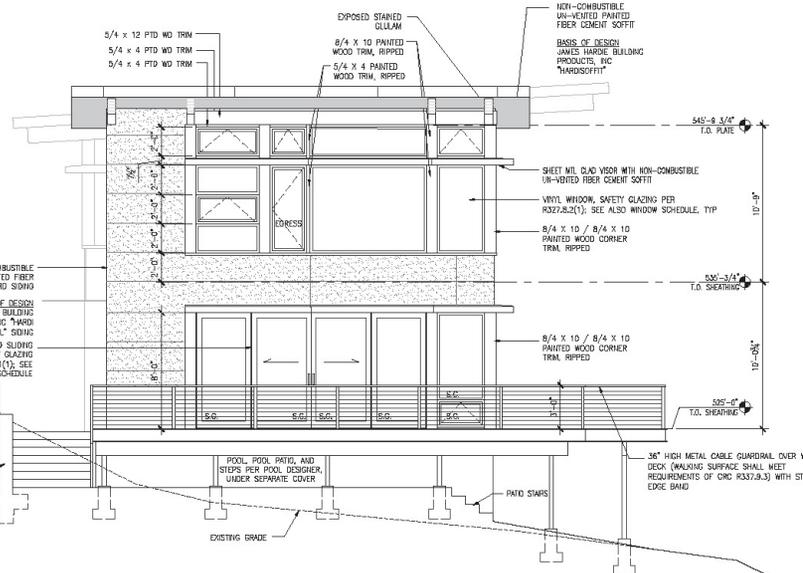
1. SEE COVER SHEET A3.00.

BIDDER DESIGN PROJECT NOTES:

1. SEE COVER SHEET A3.00.

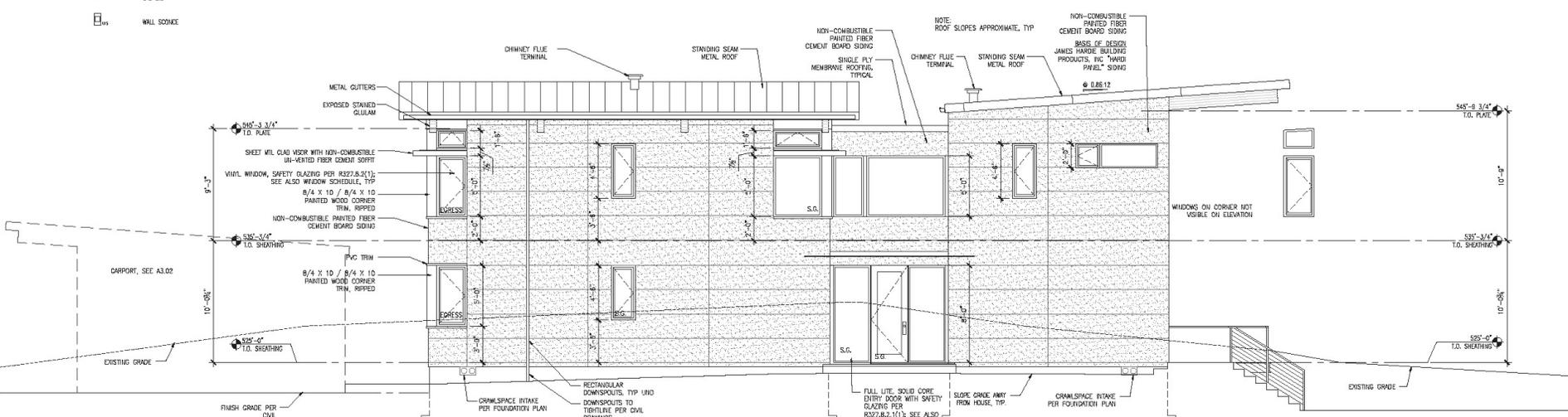
LEGEND:

-  CEMENT BOARD & BRITEN SIDING
-  CEMENT BOARD PANEL SIDING
-  EXISTING GRADE
-  NEW GRADE AND EXISTING GRADE UNCHANGED
-  FLOOR LINE (T.O. SHEATHING)
-  BUILDING HEIGHT LIMIT LINE
-  CONCRETE
-  ELECTRIC METER
-  GAS METER
-  PHONE INTERFACE
-  CABLE INTERFACE
-  EXTERIOR OUTLET
-  HOSE BIB
-  GAS BIB
-  WALL SOUNE



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



FIRE PROTECTION:

FIRE HAZARD ZONES: SRA VAPORZ (VERY HIGH FIRE HAZARD ZONE)/MUI (WILDLIFE URBAN INTERFACE ZONE)  
 FOR FIRE PROTECTION REQUIREMENTS, SEE CALIFORNIA FIRE CODE CHAPTER 49 AND 2013 CALIFORNIA RESIDENTIAL CODE SECTION R327. CAUTION RESISTANT MATERIAL REQUIREMENTS PRESCRIBED IN R327 APPLY TO ROOFING, METALS, EXTERIOR COVERING, EXTERIOR WINDOWS AND DOORS, DECKING, AND ACCESSORY STRUCTURES.  
 EXTERIOR WALL COVERINGS AND ROOF EDGES SHALL BE NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL PER R327.7 EXTERIOR WINDOWS AND GLAZED DOORS TO BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE PER R327.8  
 DECKING SURFACES TO BE CONSTRUCTED OF IGNITION RESISTANT OR NON-COMBUSTIBLE MATERIAL PER R327.9

EXTERIOR MATERIALS:

EXTERIOR COLORS AND MATERIALS TO COMPLY WITH ZONING REGULATIONS SECTION 8294.2 SITE DESIGN CRITERIA FOR RW DISTRICT. PROJECT IS LOCATED IN FORESTED AREA SO MATERIALS TO BLEND WITH THE VEGETATIVE COVER OF THE SITE. HIGHLY REFLECTIVE SURFACES TO BE AVOIDED.



2111 350 AVE.  
 SUITE 100  
 TEL: (209) 517-0566  
 FAX: (209) 517-0533

- 1) REPRODUCTION ONLY WITH WRITTEN PERMISSION FROM STILLWATER DWELLINGS
- 2) INTENTIONAL VIOLATION OF THESE CONDITIONS MAY BE PENALIZED BY THE COUNTY OF CALIFORNIA. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
- 3) CONSTRUCTION OF THE PROJECT SHALL BE IN ACCORDANCE WITH THE EXISTING UTILITY LOCATIONS SHOWN ON THESE DRAWINGS.

600 Hebert Ridge Rd  
 Woodside, CA 94082  
 TAX PARCEL # 015-351-1220

ATKINS-CONCRA RESIDENCE  
 PROJECT # 15-CONC-221  
 PHASE 2 - PLANNING ADDENDUM  
 PLN2016-00150

| DATE     | DESCRIPTION        |
|----------|--------------------|
| 07/25/16 | PLANNING SUBMITTAL |
| 11/21/18 | PLANNING ADDENDUM  |

DRAWN: gtt

SHEET  
 EXTERIOR ELEVATIONS

A3.00

NOTES

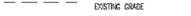
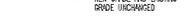
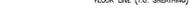
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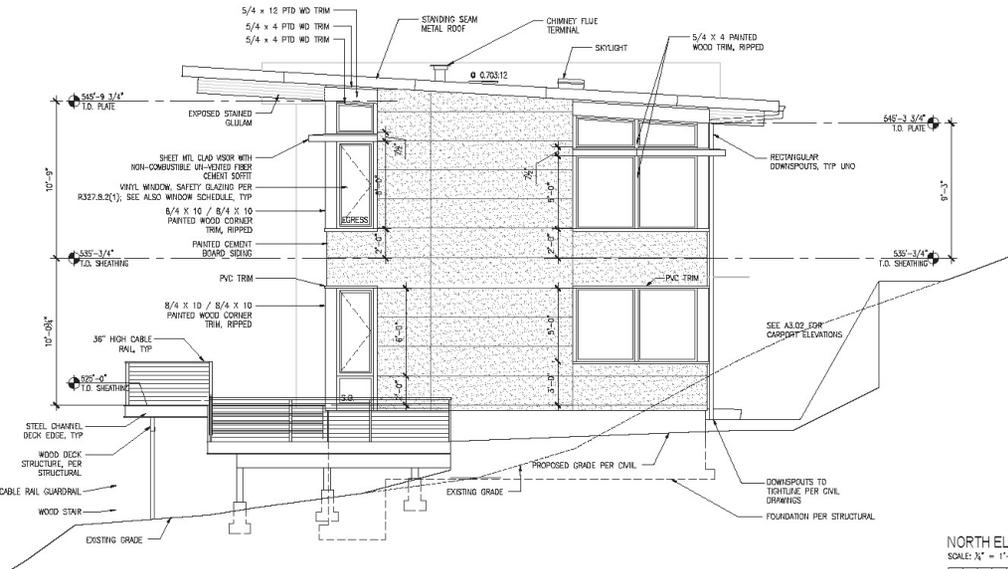
1. SEE COVER SHEET A0.00.

BIDDER DESIGN PROJECT NOTES:

1. SEE COVER SHEET A0.00.

LEGEND:

-  CEMENT BOARD & GYPSUM SIDING
-  CEMENT BOARD PANEL SIDING
-  EXISTING GRADE
-  NEW GRADE AND EXISTING GRADE UNCHANGED
-  FLOOR LINE (1.0. SHEATHING)
-  BUILDING HEIGHT LIMIT LINE
-  CONCRETE
-  ELECTRIC METER
-  GAS METER
-  PHONE INTERFACE
-  CABLE INTERFACE
-  EXTERIOR OUTLET
-  HOSE BIB
-  GAS BIB
-  WALL SOUNDING



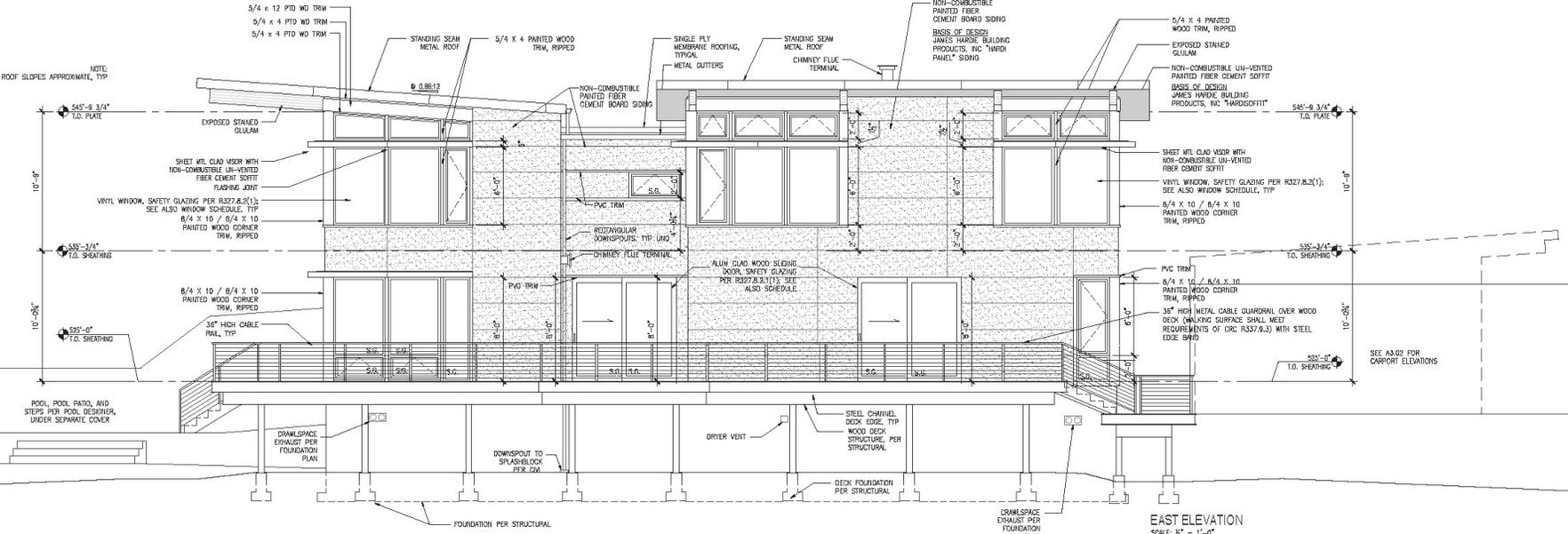
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



**FIRE PROTECTION:**  
 FIRE HAZARD ZONE: SBA UNIFIED (VERY HIGH FIRE HAZARD ZONE)(M/JULIQUATE URBAN INTERFACE ZONE)  
 FOR FIRE PROTECTION REQUIREMENTS, SEE CALIFORNIA FIRE CODE CHAPTER 49 AND 2013 CALIFORNIA RESIDENTIAL CODE SECTION R327. EXISTING RESISTANT MATERIAL REQUIREMENTS PRESERVED IN R327 APPLY TO ROOFING, VENTS, EXTERIOR COVERING, EXTERIOR WINDOWS AND DOORS, DECKING, AND ACCESSORY STRUCTURES.  
 EXTERIOR WALL COVERINGS AND ROOF EDGES SHALL BE NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL PER R327.7  
 EXTERIOR WINDOWS AND GLAZED DOORS TO BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE THINNEST PANE PER R327.8  
 DECKING SURFACES TO BE CONSTRUCTED OF IGNITION RESISTANT OR NONCOMBUSTIBLE MATERIAL PER R327.9

**EXTERIOR MATERIALS:**  
 EXTERIOR COLORS AND MATERIALS TO COMPLY WITH ZONING REGULATIONS SECTION A324.2 SITE DESIGN CRITERIA FOR RM DISTRICT. PROJECT IS LOCATED IN FORESTED AREA. MATERIALS TO BLEND WITH THE VEGETATIVE COVER OF THE SITE. HIGHLY REFLECTIVE SURFACES TO BE AVOIDED.



EAST ELEVATION

SCALE: 1/4" = 1'-0"



2111 3RD AVE.  
 SUITE 100 #8521  
 WOODSIDE, CA 94062  
 TEL: (206) 547-6546  
 FAX: (206) 547-2533

- 1) REPRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF STILLWATER DWELLINGS
- 2) INTELLECTUAL PROPERTY OF STILLWATER DWELLINGS. THESE DRAWINGS ARE NOT TO BE USED FOR THE CONSTRUCTION OF THE PROJECT UNLESS LISTED ON THESE DRAWINGS.
- 3) CONSTRUCTION OF THE PROJECT SHALL BE DONE IN ACCORDANCE WITH THE EXISTING WITHIN EXISTING CODES OF STILLWATER DWELLINGS LLC.

600 Hebert Ridge Rd  
 Woodside, CA 94062  
 TAX PARCEL # 075-075-31-1220

**ATKINS-CONCRA RESIDENCE**  
 PROJECT # 15-CONC-221  
 PHASE 2 - PLANNING ADDENDUM  
 PLN2016-00150

| DATE     | DESCRIPTION        |
|----------|--------------------|
| 07/26/16 | PLANNING SUBMITTAL |
| 11/21/18 | PLANNING ADDENDUM  |

DRAWN BY: [Blank]

SHEET: [Blank]

EXTERIOR ELEVATIONS

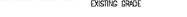
A3.01

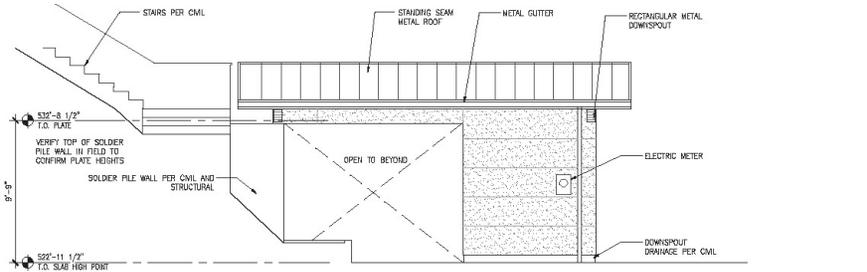
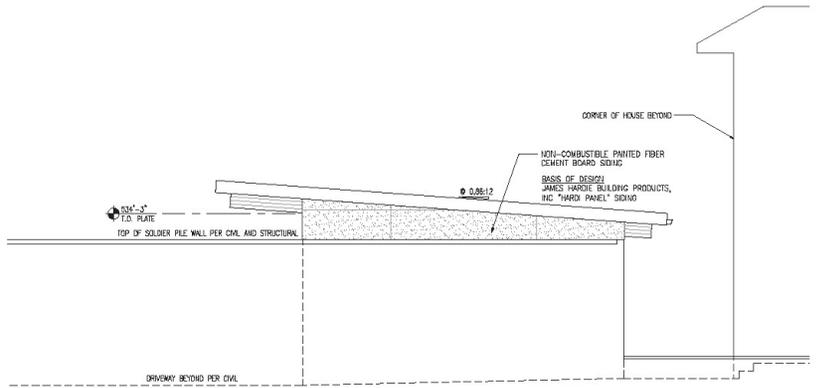
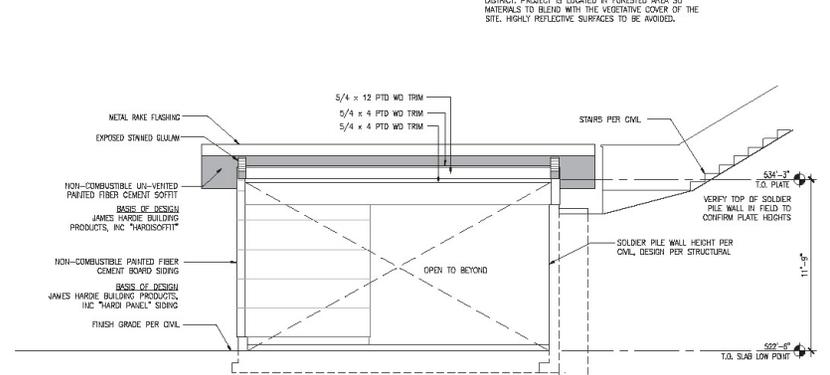
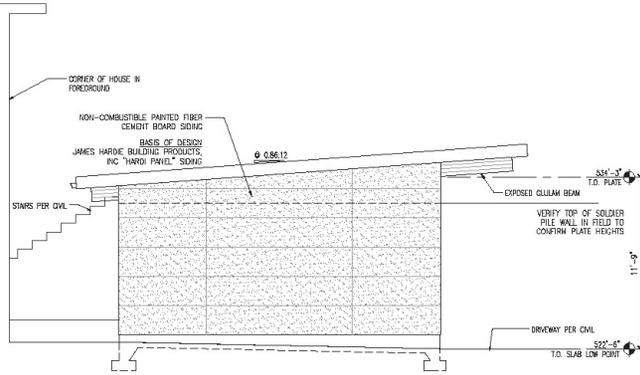
NOTES:

GENERAL PROJECT NOTES:  
1. SEE COVER SHEET ADDD.

BIDDER DESIGN PROJECT NOTES:  
1. SEE COVER SHEET ADDD.

LEGEND:

-  CEMENT BOARD & BATTER SIDING
-  CEMENT BOARD PANEL SIDING
-  EXISTING GRADE
-  NEW GRADE AND EXISTING GRADE UNCHANGED
-  FLOOR LINE (T.O. SHEATHING)
-  BUILDING HEIGHT LIMIT LINE
-  CONCRETE
-  ELECTRIC METER
-  GAS METER
-  PHONE INTERFACE
-  CABLE INTERFACE
-  EXTERIOR OUTLET
-  HOSE BIB
-  GAS BIB
-  WALL SCONCE



FIRE PROTECTION:

FIRE HAZARD ZONE: SRA WPHS2 (VERY HIGH FIRE HAZARD ZONE)/MUI (MULTI-USE URBAN INTERFACE ZONE)  
FOR FIRE PROTECTION REQUIREMENTS, SEE CALIFORNIA FIRE CODE CHAPTER 49 AND 2013 CALIFORNIA RESIDENTIAL CODE SECTION R327. IGNITION RESISTANT MATERIAL REQUIREMENTS PRESCRIBED IN R327 APPLY TO ROOFING, WALLS, EXTERIOR COVERINGS, EXTERIOR WINDOWS AND DOORS, DECKINGS, AND ACCESSORY STRUCTURES.  
EXTERIOR WALL COVERINGS AND ROOF GAVES SHALL BE NONCOMBUSTIBLE OR SUBSTITUTED WITH PER R327.7  
EXTERIOR WINDOWS AND GLAZED DOORS TO BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE PER R327.8  
CEILING SURFACES TO BE CONSTRUCTED OF IGNITION RESISTANT OR NONCOMBUSTIBLE MATERIAL PER R327.9

EXTERIOR MATERIALS:

EXTERIOR COLORS AND MATERIALS TO COMPLY WITH ZONING REGULATIONS SECTION 8304.2 SITE DESIGN CRITERIA FOR RM DISTRICT. PROJECT IS LOCATED IN FORESTED AREA SO MATERIALS TO BLEND WITH THE VEGETATIVE COVER OF THE SITE. HIGHLY REFLECTIVE SURFACES TO BE AVOIDED.

1) REPRODUCE DRAWINGS ONLY WITH WRITTEN PERMISSION FROM STILLWATER DWELLINGS  
2) INTELLECTUAL PROPERTY OF STILLWATER DWELLINGS. THESE DRAWINGS ARE NOT TO BE USED FOR THE CONSTRUCTION OF THE HOUSE TO BE BUILT AT THE PROJECT ADDRESS LISTED ON THESE DRAWINGS.  
3) CONSTRUCTION OF THE PROJECT HOUSE SHOWN HEREON ARE ONLY PERMITTED WITH THE EXPRESS WRITTEN CONSENT OF STILLWATER DWELLINGS LLC

600 Keeler Ridge Rd  
Woodside CA 94082  
TAX PARCEL # 075-075-321-220

ATKINS-CONGRA RESIDENCE  
PROJECT # 15-CONC-221  
PHASE 2 - PLANNING ADDENDUM  
PLN2016-00150

| DATE     | DESCRIPTION        |
|----------|--------------------|
| 3/26/16  | PLANNING SUBMITTAL |
| 11/21/18 | PLANNING ADDENDUM  |

DRAWN: gtt  
SHEET:

CARPORT  
EXTERIOR  
ELEVATIONS

NOTES:

GENERAL PROJECT NOTES:

1. SEE COVER SHEET A4.00.

BIDDER DESIGN DESIGN NOTES:

1. SEE COVER SHEET A4.00.

FOUNDATION NOTES:

1. SEE FOUNDATION PLANS.

SOILS NOTES:

1. SEE SITE PLAN.

LEGEND:

- EXISTING GRADE
- NEW GRADE AND EXISTING GRADE UNCHANGED
- FLOOR LINE (T.O. SHEATHING)
- BUILDING HEIGHT LIMIT LINE
- [Pattern] EARTH
- [Pattern] FREE DRAINING FILL
- [Pattern] GRAVEL
- [Pattern] CONCRETE
- [Pattern] BATT INSULATION
- [Pattern] RIGID INSULATION
- [Pattern] SPRAY FOAM INSULATION
- ⬡ ASSEMBLY TYPE INDICATION. REFER TO SHEETS A4.05 THRU A4.08

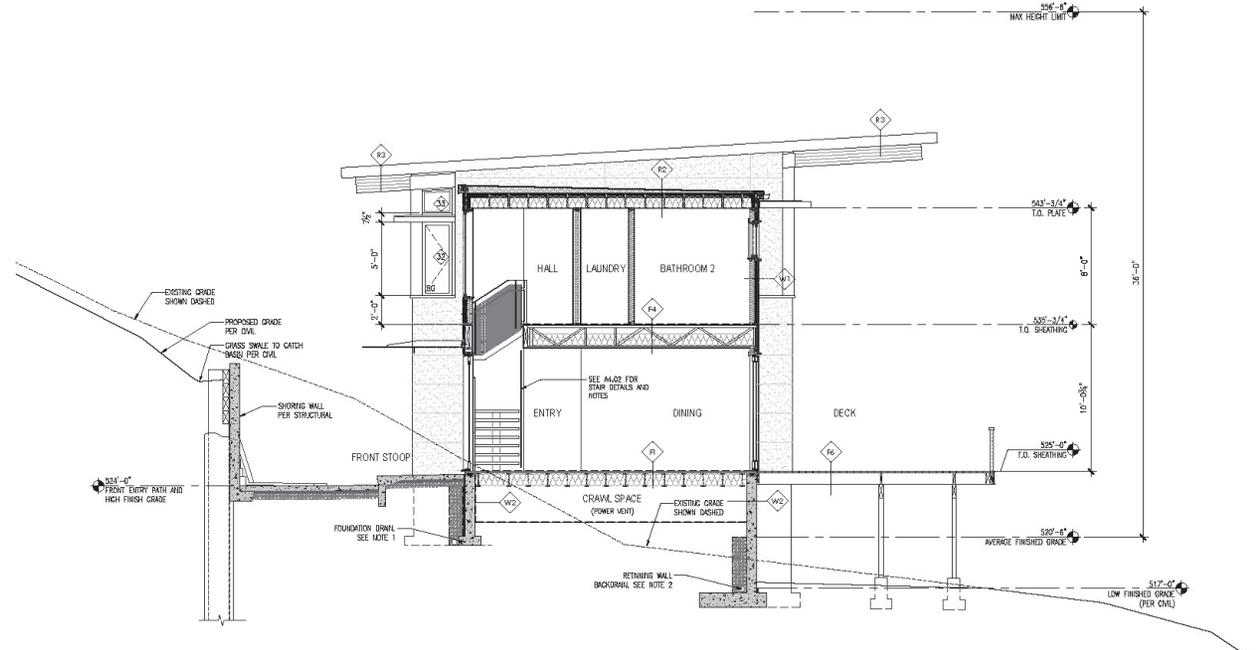
**NOTE 1 - FOUNDATION DRAIN (ALSO SEE GEOTECH REPORT):**

- DRAW TO EXTEND AT LEAST 12" BELOW DRAIN SPACE ELEVATION AND SLOPE A MINIMUM OF 2 PERCENT FOR GRAVITY DRAINAGE TO APPROVED DISCHARGE LOCATION
- TRENCH TO BE LINED WITH FILTER FABRIC
- MIN 4" DIA PERFORATED PIPE, LAD HOLES DOWN, OVER NO MORE THAN 2" OF 1/2" - 1/4" CLEAN CRUSHED ROCK
- FULL TRENCH TO WITHIN 4" OF SURFACE WITH 2 - 1/4" DRAIN ROCK
- FILL FILTER FABRIC OVER TOP OF DRAINROCK AND FILL BALANCE OF TRENCH WITH DRAINROCK OR EQUIVALENT PEBBLES.
- CONNECT PERFORATED PIPE TO AN APPROVED DISCHARGE POINT
- PROVIDE CLEARCUTS AT ALL BENDS GREATER THAN 45 DEGREES AND DISTANCES NOT EXCEEDING 50'

**NOTE 2 - RETAINING WALL BACKDRAIN (ALSO SEE GEOTECH REPORT):**

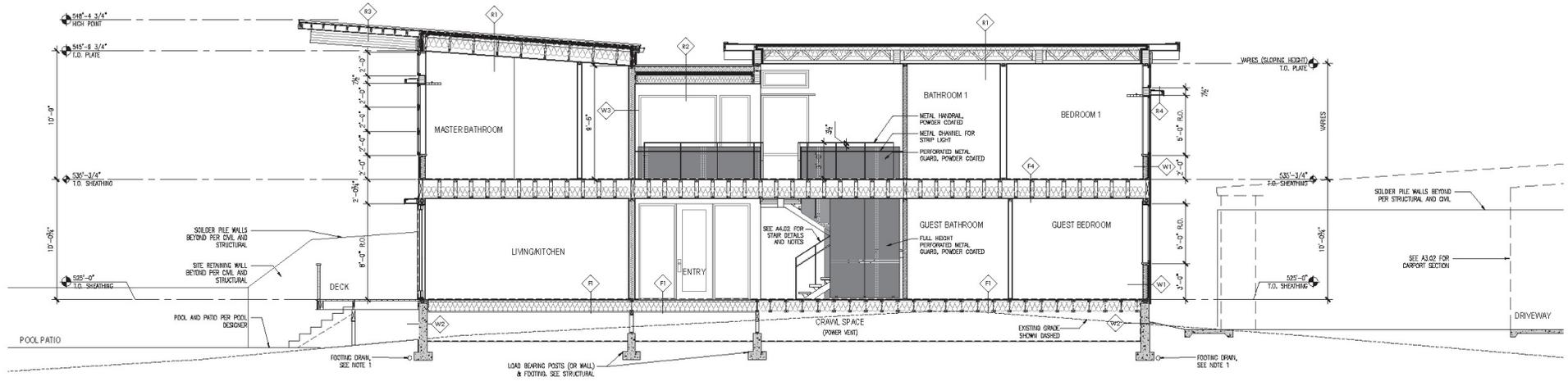
- GEOSYNTHETIC DRAINAGE MAT (MINIMUM 5000 GR EQUIVALENT) INSTALLED PER MANUFACTURER'S SPEC'S
- OR
- 4" DIA SCHEDULE 40 PERFORATED PIPE SLOPED TO DRAIN TO OUTLET
- FREE DRAINING CRUSHED ROCK AT LEAST 12" WIDE AND TO WITHIN 12" OF SURFACE
- UPPER FOOT TO BE BACKFILLED WITH COMPACTED SOIL TO EXCLUDE SURFACE WATER
- DRAINROCK SEPARATED FROM SOIL BY FILTER FABRIC

RETAINING WALL BACKDRAINAGE SHOULD BE DIRECTED TO PROJECT STORM DRAIN



1-BUILDING SECTION

SCALE: 1/4" = 1'-0"



2-BUILDING SECTION

SCALE: 1/4" = 1'-0"



| DATE     | DESCRIPTION        |
|----------|--------------------|
| 07/25/16 | PLANNING SUBMITTAL |
| 11/21/18 | PLANNING ADDENDUM  |

DRAWN: gtt

SHEET

BUILDING SECTIONS

NOTES

GENERAL PROJECT NOTES:

1. SEE COVER SHEET NO.00.

BIDDER DESIGN DESIGN NOTES:

1. SEE COVER SHEET NO.00.

FOUNDATION NOTES:

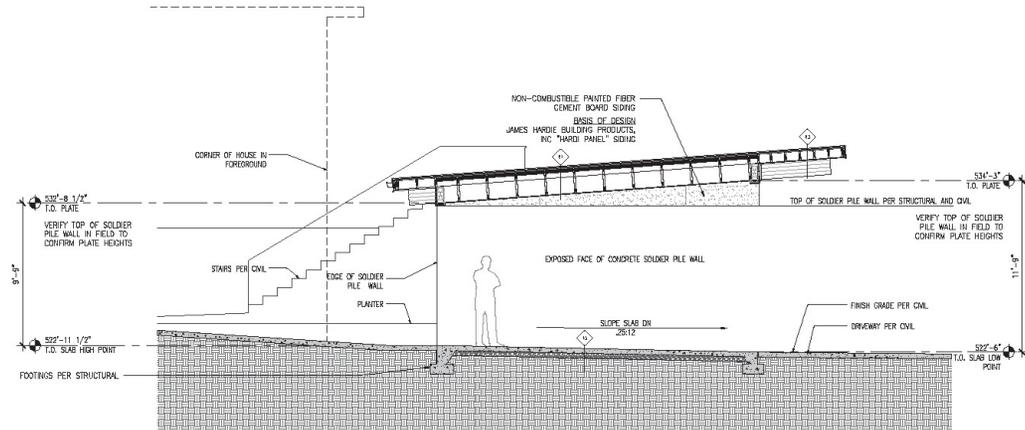
1. SEE FOUNDATION PLANS.

SOILS NOTES:

1. SEE SITE PLAN.

LEGEND:

- EXISTING GRADE
- NEW GRADE AND EXISTING GRADE UNCHANGED
- - - FLOOR LINE (T.O. SHEATHING)
- - - BUILDING HEIGHT LIMIT LINE
- [Pattern] EARTH
- [Pattern] FREE DRAINING FILL
- [Pattern] GRAVEL
- [Pattern] CONCRETE
- [Pattern] BATT INSULATION
- [Pattern] RIGID INSULATION
- [Pattern] SPRAY FOAM INSULATION
- ◇ ASSEMBLY TYPE DISCREPANCY, REFER TO SHEETS A005 THRU A008



1-CARPORT BUILDING SECTION  
SCALE: 1/4" = 1'-0"



1) RETROGRADE DRAINAGE ONLY WITH WRITER PERMISSION FROM STILLWATER DWELLINGS  
2) INTELLECTUAL PROPERTY OF STILLWATER DWELLINGS. THESE DRAWINGS ARE NOT TO BE USED FOR THE CONSTRUCTION OF THE HOUSE TO BE BUILT AT THE PROJECT ADDRESS LISTED ON THESE DRAWINGS.  
3) CONSTRUCTION OF THE PROJECT SHALL BE DONE IN ACCORDANCE WITH THE EXISTING WATER RIGHTS GRANTED BY STILLWATER DWELLINGS LLC

600 Webster Ridge Rd  
Woodside, CA 94082  
TAX PARCEL # 015-331-220

**ATKINS-CONGRA RESIDENCE**  
PROJECT # 15-CONC-221  
PHASE 2 - PLANNING ADDENDUM  
PLN2016-00150

| DATE     | DESCRIPTION        |
|----------|--------------------|
| 8/26/16  | PLANNING SUBMITTAL |
| 11/21/18 | PLANNING ADDENDUM  |

DRAWN: *dm*

SHEET  
CARPORT  
SECTIONS

# ATKINS-CONCRA RESIDENCE

## KEBET RIDGE ROAD

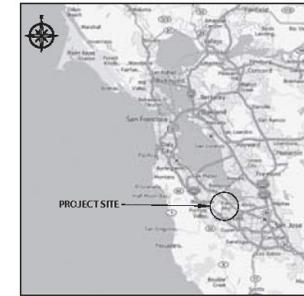
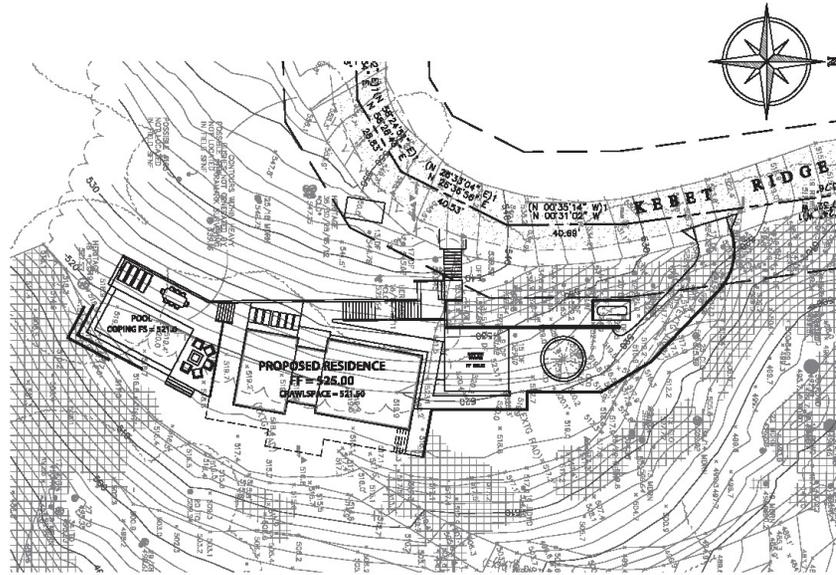
### WOODSIDE, CA94062

#### ABBREVIATIONS:

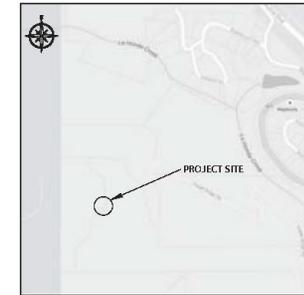
|      |                             |
|------|-----------------------------|
| AB   | AGGREGATE BASE              |
| AC   | ASPHALT CONCRETE            |
| AD   | AREA DRAIN                  |
| ATD  | ATRIUM DRAIN                |
| BIFD | BACKFLOW PREVENTION DEVICE  |
| BSTD | BACKSLOPE TRENCH DRAIN      |
| BF   | BOTTOM OF WALL ELEVATION    |
| CB   | CATCH BASIN                 |
| CL   | CENTER LINE                 |
| CS   | CHANGING SURFACE ELEVATION  |
| CIP  | CAST IRON PIPE              |
| CONC | CONCRETE                    |
| DD   | DOUBLE DETECTOR CHECK VALVE |
| DDCV | DUCTILE IRON PIPE           |
| DIP  | ROOF DOWN SPOUT             |
| DS   | DOMESTIC WATER LINE         |
| DWFL | DRYWELL CATCH BASIN         |
| DWY  | DRIVEWAY                    |
| EG   | EXISTING                    |
| EG   | EXISTING GRADE              |
| ELEC | ELECTRICAL                  |
| EM   | ELECTRICAL METER            |
| EP   | EDGE OF PAVEMENT            |
| FC   | FACED CURB ELEVATION        |
| FDC  | FIRE DEPARTMENT CONNECTION  |
| FF   | FINISHED FLOOR ELEVATION    |
| FG   | FINISHED GROUND ELEVATION   |
| FL   | FLOW LINE ELEVATION         |
| FM   | FORCIBLE MAIN LINE          |
| FS   | FINISHED SURFACE ELEVATION  |
| FP   | FINISHED PAVEMENT ELEVATION |
| FW   | FIRE WATER LINE             |
| GB   | GRADE BREAK                 |
| GM   | GAS METER                   |
| GV   | GATE VALVE                  |
| HP   | HIGH POINT                  |
| INV  | INVERT ELEVATION            |
| JT   | JOINT TRENCH                |
| JP   | JOINT POLE                  |
| LD   | LANDSCAPE DRAIN             |
| LF   | LIQUID FEET                 |
| LP   | LOW POINT                   |
| NI   | NEW                         |
| PIV  | POST INDICATOR VALVE        |
| PKG  | PARKING                     |
| POC  | POINT OF CONNECTION         |
| RET  | RETAINING WALL              |
| RM   | RIM ELEVATION               |
| S    | SLOPE                       |
| SAP  | SEE ARCHITECTURAL PLANS     |
| SBCD | STORM SUB DRAIN             |
| SDCO | STORM SUB DRAIN CLEANOUT    |
| SD   | STORM DRAIN                 |
| SDCO | STORM DRAIN CLEANOUT        |
| SGR  | SEE GEOTECHNICAL REPORT     |
| SICB | SIDE INLET CATCH BASIN      |
| SLP  | SEE LANDSCAPE PLANS         |
| SPP  | SEE PLUMBING PLANS          |
| SS   | SANITARY SEWER              |
| SSCO | SANITARY SEWER CLEANOUT     |
| SST  | SEE STRUCTURAL PLANS        |
| TW   | TOP OF WALL ELEVATION       |
| TYP  | TYPICAL                     |
| UD   | UNDERLAP DRAIN              |
| VD   | PIPE VERTICAL DRAIN         |
| WF   | DOMESTIC WATER LINE         |
| WM   | WATERMETER                  |

#### LEGEND:

|        |                 |                             |
|--------|-----------------|-----------------------------|
| 4" SS  | PROPOSED 4" SS  | SANITARY SEWER              |
| 10" SD | PROPOSED 10" SD | SOLID PIPE STORM DRAIN      |
| 4" SD  | PROPOSED 4" SD  | PERFORATED PIPE SUB DRAIN   |
| FM     | PROPOSED FM     | FORCE MAIN                  |
| 10" FW | PROPOSED 10" FW | FIRE SERVICE                |
| HW     | PROPOSED HW     | DOMESTIC WATER SERVICE      |
| IG     | PROPOSED IG     | IRRIGATION SERVICE          |
| G      | PROPOSED G      | NATURAL GAS                 |
| T      | PROPOSED T      | TELEPHONE                   |
| TV     | PROPOSED TV     | TV/CABLE TV                 |
| E      | PROPOSED E      | ELECTRICAL LINES/CONDUITS   |
| JT     | PROPOSED JT     | JOINT TRENCH                |
| O/H    | PROPOSED O/H    | OVERHEAD WIRES              |
| X      | PROPOSED X      | FENCE                       |
| o      | PROPOSED o      | CLEAN OUT TO GRADE          |
| o      | PROPOSED o      | FOUND MONUMENT              |
| DDCV   | PROPOSED DDCV   | DOUBLE DETECTOR CHECK VALVE |
| PIV    | PROPOSED PIV    | POST INDICATOR VALVE        |
| M      | PROPOSED M      | METER                       |
| SL     | PROPOSED SL     | METER BOX                   |
| SL     | PROPOSED SL     | STREET LIGHT                |
| D      | PROPOSED D      | DRAIN                       |
| CB     | PROPOSED CB     | CATCH BASIN                 |
| FDC    | PROPOSED FDC    | FIRE HYDRANT                |
| FDC    | PROPOSED FDC    | FIRE DEPARTMENT CONNECTION  |
| BM     | PROPOSED BM     | BENCHMARK                   |
| M      | PROPOSED M      | MANHOLE                     |
| S      | PROPOSED S      | SEWER                       |
| SB     | PROPOSED SB     | SPLASH BLOCK                |
| 1-2    | PROPOSED 1-2    | DETAIL NUMBER               |
| 1-2    | PROPOSED 1-2    | SHEET LOCATION              |



VICINITY MAP  
N.T.S.



LOCATION MAP  
N.T.S.

#### SHEET INDEX

| SHEET # | DESCRIPTION               |
|---------|---------------------------|
| CO.0    | TITLE SHEET               |
| CO.1    | PROJECT NOTES             |
| CO.1    | EXISTING CONDITIONS       |
| CO.1    | GRADING PLAN              |
| CO.2    | GRADING PLAN              |
| CO.1    | DRAINAGE AND UTILITY PLAN |
| CO.1    | EROSION CONTROL PLAN      |
| CO.2    | BEST MANAGEMENT PRACTICES |
| CO.1    | DETAIL SHEET              |
| CO.2    | DETAIL SHEET              |
| SS.1    | SEPTIC SYSTEM PLAN        |
| SS.2    | SEPTIC SYSTEM DETAILS     |
| SS.3    | SEPTIC SYSTEM SECTIONS    |



PROJECT CONTRACT:  
KELANBY BENTONBYWAY | kb@kpro.com

|              |                           |
|--------------|---------------------------|
| DATE:        | 08/20/2016                |
| DESCRIPTION: | EXISTING PERMIT SUBMITTAL |
| REVISIONS:   | 1/27/2017                 |
| REVISIONS:   | 06/29/2018                |
| REVISIONS:   | 08/24/2018                |

**ATKINS-CONCRA**  
**RESIDENCE**  
KEBET RIDGE ROAD  
WOODSIDE, CA 94062

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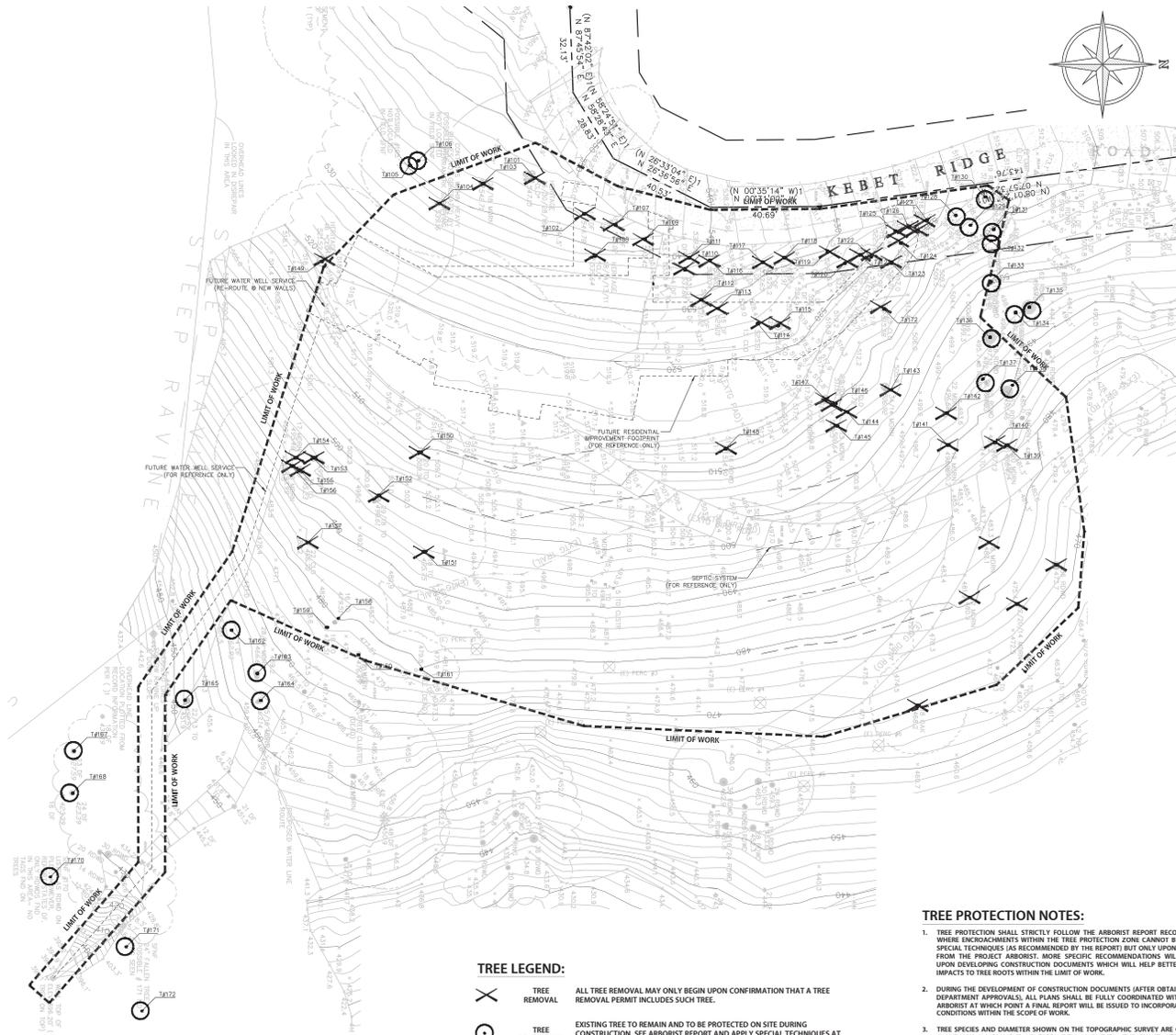
|               |            |
|---------------|------------|
| PROJECT No:   | 16-6101    |
| DATE:         | 07/08/2016 |
| SCALE:        | AS SHOWN   |
| DESIGN/DRAWN: | MK         |
| CHECKED:      | IK         |

SHEET TITLE

TITLE & SHEET INDEX

C0.0





**EXISTING CONDITIONS:**

- BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED BY ROBERT C. SHELLMAN, LS 8054.
- GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE. AREAS BEYOND THE ORIGINAL SCOPE OF WORK AREA HAVE BEEN EXTRAPOLATED FOR PLAN REVIEW PURPOSES. A NEW DETAILED TOPOGRAPHIC SURVEY SHALL TAKE PLACE UPON CLEARING AND GRUBBING THE SITE, PRIOR TO CONSTRUCTION.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, LOCATION, CAPACITY, OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED.
- CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND REPORT BACK TO CIVIL ENGINEER ANY DISCREPANCIES WITH PLAN PRIOR TO COMMENCEMENT OF WORK VIA FORMAL RFI. CONTRACTOR SHALL PROVIDE EXHIBITS REPRESENTING THE FOUND CONDITIONS.

**TREE INVENTORY:**

- THE BELOW INVENTORY FROM THE PROJECT ARBORIST SHALL BE USED TO REFERENCE THE EXACT TAG NUMBER, SPECIES AND DIAMETER. TREES NOT TAGGED BY THE ARBORIST WITHIN THE SCOPE OF WORK AREA ARE ASSUMED TO BE SMALL IN DIAMETER AND THEREFORE NOT PART OF THE INVENTORY AND/OR NOT SIGNIFICANT TREES.
- THE LIMIT OF WORK AREA IS HEAVILY VEGETATED AND THE TERRAIN PRESENTS A STEEP SLOPE. DUE TO THE DIFFICULT TERRAIN CONDITIONS, SOME AREAS HAVE BEEN INTERPOLATED. ANY LARGE DIAMETER TREES FOUND AND NOT PART OF THE INVENTORY SHALL BE REPORTED TO THE CIVIL ENGINEER PRIOR TO EITHER PROTECTION AND/OR DEMOLITION. ALL TREE REMOVAL MUST BE APPROVED WITH A PERMIT ISSUED BY THE COUNTY OF SAN MATEO.

| Tag # | Species         | Diameter       |
|-------|-----------------|----------------|
| 101   | Canyon live oak | 36,30,28,16,12 |
| 102   | Doug fir        | 13             |
| 103   | Madrone         | 25,18          |
| 104   | Doug fir        | 26             |
| 105   | Canyon live oak | 22             |
| 106   | Canyon live oak | 14             |
| 107   | Doug fir        | 17             |
| 108   | Canyon live oak | 18,14,13,11    |
| 109   | Doug fir        | 22             |
| 110   | Doug fir        | 14             |
| 111   | Doug fir        | 14             |
| 112   | Doug fir        | 12             |
| 113   | Doug fir        | 15             |
| 114   | Canyon live oak | 13             |
| 115   | Canyon live oak | 37             |
| 116   | Doug fir        | 12             |
| 117   | Doug fir        | 15             |
| 118   | Doug fir        | 16             |
| 119   | Doug fir        | 20             |
| 120   | Doug fir        | 16             |
| 121   | Doug fir        | 17             |
| 122   | Doug fir        | 15             |
| 123   | Doug fir        | 15             |
| 124   | Doug fir        | 12             |
| 125   | Doug fir        | 17             |
| 126   | Doug fir        | 18             |
| 127   | Doug fir        | 21             |
| 128   | Doug fir        | 19             |
| 129   | Doug fir        | 14             |
| 130   | Coast redwood   | 19             |
| 131   | Doug fir        | 20             |
| 132   | Doug fir        | 13             |
| 133   | Coast redwood   | 20             |
| 134   | Coast redwood   | 21             |
| 135   | Coast redwood   | 62             |
| 136   | Coast redwood   | 16             |
| 137   | Coast redwood   | 15             |
| 138   | Coast redwood   | 52             |
| 139   | Madrone         | 20             |
| 140   | Tan oak         | 14             |
| 141   | Madrone         | 19             |
| 142   | Madrone         | 22             |
| 143   | Madrone         | 34,14          |
| 144   | Canyon live oak | 12             |
| 145   | Madrone         | 13             |
| 146   | Tan oak         | 25             |
| 147   | Madrone         | 26,22          |
| 148   | Coast redwood   | 16             |
| 149   | Canyon live oak | 46             |
| 150   | Tan oak         | 20             |
| 151   | Tan oak         | 18             |
| 152   | Tan oak         | 29,18          |
| 153   | Tan oak         | 27             |
| 154   | Madrone         | 17             |
| 155   | Tan oak         | 34             |
| 156   | Madrone         | 18             |
| 157   | Canyon live oak | 22             |
| 158   | Tan oak         | 16             |
| 159   | Tan oak         | 18             |
| 160   | Madrone         | 18             |
| 161   | Tan oak         | 28             |
| 162   | Doug fir        | 14             |
| 163   | Madrone         | 28,19          |
| 164   | Madrone         | 25,16          |
| 165   | Tan oak         | 23             |
| 166   | Doug fir        | 22,13          |
| 167   | Doug fir        | 25             |
| 168   | Doug fir        | 24             |
| 169   | Doug fir        | 16             |
| 170   | Doug fir        | 28             |
| 171   | Doug fir        | 25             |
| 172   | Coast live oak  | 25             |

**TREE PROTECTION NOTES:**

- TREE PROTECTION SHALL STRICTLY FOLLOW THE ARBORIST REPORT RECOMMENDATIONS. WHERE ENCROACHMENTS WITHIN THE TREE PROTECTION ZONE CANNOT BE AVOIDED, USE SPECIAL TECHNIQUES AS RECOMMENDED BY THE REPORT BUT ONLY UPON CONFIRMATION FROM THE PROJECT ARBORIST. MORE SPECIFIC RECOMMENDATIONS WILL BE PROVIDED UPON DEVELOPING CONSTRUCTION DOCUMENTS WHICH WILL HELP BETTER UNDERSTAND IMPACTS TO TREE ROOTS WITHIN THE LIMIT OF WORK.
- DURING THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS (AFTER OBTAINING PLANNING DEPARTMENT APPROVALS), ALL PLANS SHALL BE FULLY COORDINATED WITH THE PROJECT ARBORIST AT WHICH POINT A FINAL REPORT WILL BE ISSUED TO INCORPORATE ALL SPECIAL CONDITIONS WITHIN THE SCOPE OF WORK.
- TREE SPECIES AND DIAMETER SHOWN ON THE TOPOGRAPHIC SURVEY ARE ONLY THE FIELD SURVEYOR'S ASSESSMENT OF TREES FIELD SURVEYED. THE EXACT SIZE, SPECIES AND DIAMETER ARE SHOWN ON THE ARBORIST REPORT. USE REPORT BY HORTISCIENCE AND SEE TABLE TO THE RIGHT.

**TREE LEGEND:**

- TREE REMOVAL ALL TREE REMOVAL MAY ONLY BEGIN UPON CONFIRMATION THAT A TREE REMOVAL PERMIT INCLUDES SUCH TREE.
- TREE PROTECTION EXISTING TREE TO REMAIN AND TO BE PROTECTED ON SITE DURING CONSTRUCTION. SEE ARBORIST REPORT AND APPLY SPECIAL TECHNIQUES AT AREAS OF ENCROACHMENT.
- TREE TO REMAIN EXISTING TREE TO REMAIN, OUT OF SCOPE OF WORK AREA OR UNDER 1" DBH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE THE INTEGRITY OF TREES TO REMAIN, WHICH SHALL NOT BE AFFECTED BY CONSTRUCTION ACTIVITIES. USE CAUTION WITHIN THE TREE DRIPLINE AND CONSULT THE PROJECTS ARBORIST IF IN DOUBT.



SEE SHEETS CO.0 AND CO.1 FOR ADDITIONAL NOTES AND LEGENDS



PROJECT CONTACT: MIHAJIB KONTOSKY 1 kpk@kprox.com

|            |            |
|------------|------------|
| DATE:      | 06/22/2017 |
| REVISIONS: | 1/22/2017  |
| REVISIONS: | 09/29/2018 |
| REVISIONS: | 06/22/2018 |
| REVISIONS: | 11/13/2018 |

**ATKINS-CONCRA RESIDENCE**  
**KEBET RIDGE ROAD**  
**WOODSIDE, CA 94062**

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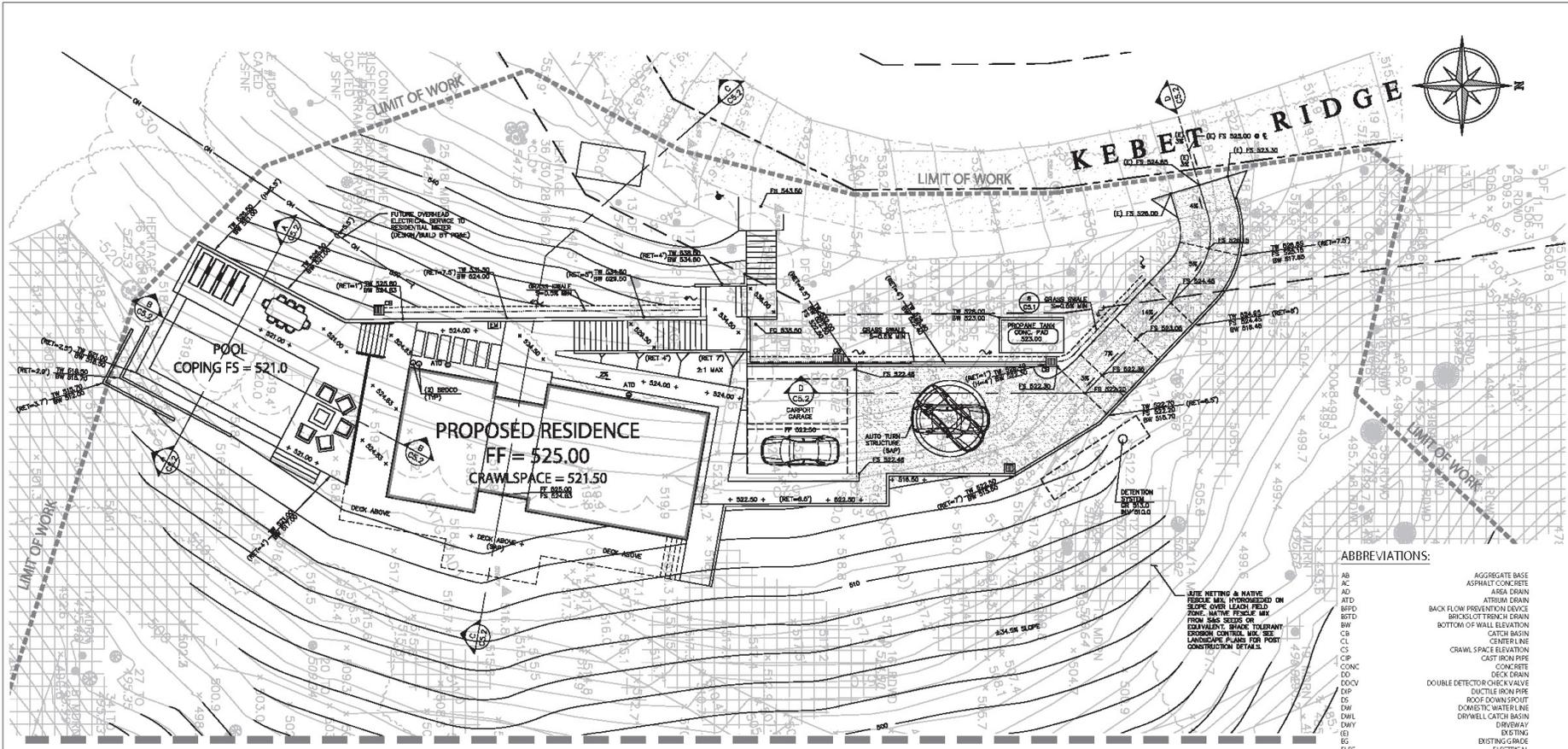
|               |            |
|---------------|------------|
| PROJECT No:   | 16-6101    |
| DATE:         | 07/08/2016 |
| SCALE:        | 1" = 20'   |
| DESIGN/DRAWN: | MK         |
| CHECKED:      | IK         |

FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION

EXISTING CONDITIONS AND TREE DISPOSITION

**C1.1**

|              |            |
|--------------|------------|
| DATE:        | 07/20/2016 |
| ISSUED FOR:  | 11/27/2015 |
| DESCRIPTION: | REVISION   |
| REVISIONS:   | 02/25/2016 |
| REVISIONS:   | 02/26/2016 |
| REVISIONS:   | 11/27/2015 |



**ABBREVIATIONS:**

|        |                               |
|--------|-------------------------------|
| AB     | AGGREGATE BASE                |
| AC     | ASPHALT CONCRETE              |
| AD     | AREA DRAIN                    |
| ATD    | ATRIUM DRAIN                  |
| BFPD   | BACK FLOW PREVENTION DEVICE   |
| BSTD   | BROOKS OFF-TRENCH DRAIN       |
| BW     | BOTTOM OF WALL ELEVATION      |
| CB     | CATCH BASIN                   |
| CL     | CENTERLINE                    |
| CC     | CRAWL SPACE ELEVATION         |
| CC     | CAST IRON PIPE                |
| CONC   | CONCRETE                      |
| DD     | DECK DRAIN                    |
| DMV    | DOUBLE DETECTOR CHECK VALVE   |
| DP     | DUCTILE IRON PIPE             |
| DS     | ROOF DOWNSPOUT                |
| DM     | DOMESTIC WATERLINE            |
| DWL    | DRYWELL CATCH BASIN           |
| DMV    | DRIVEWAY                      |
| EX     | EXISTING                      |
| EG     | EXISTING GRADE                |
| ELEC   | ELECTRICAL                    |
| EM     | ELECTRICAL METER              |
| EP     | EDGE OF PAVEMENT              |
| FC     | FACE OF CURB ELEVATION        |
| FDC    | FIRE DEPARTMENT CONNECTION    |
| FF     | FINISHED FLOOR ELEVATION      |
| FG     | FINISHED GROUND ELEVATION     |
| FL     | FLOW LINE ELEVATION           |
| RM     | FORCE MAIN LINE               |
| FS     | FINISHED SURFACE ELEVATION    |
| FR     | FINISHED PAVEMENT ELEVATION   |
| FW     | FIRE WATER LINE               |
| GB     | GRADE BREAK                   |
| GM     | GAS METER                     |
| GR     | GRATE ELEVATION               |
| GV     | GATE VALVE                    |
| HP     | HIGH POINT                    |
| INV    | INVERT ELEVATION              |
| JT     | JOINT TRENCH                  |
| JP     | JOINT POLE                    |
| LD     | LANDSCAPE DRAIN               |
| LF     | LINEAR FEET                   |
| LP     | LOW POINT                     |
| NEW    | NEW                           |
| PIC    | POST INDICATOR VALVE          |
| PVC    | PIPE                          |
| POV    | POINT OF CONNECTION           |
| RET RM | RETAINING WALL                |
| RF     | RAILING                       |
| S      | SLOPE                         |
| SBD    | SEE ARCHITECTURAL PLANS       |
| SBCO   | STORM SUB DRAIN               |
| SD     | STORM SUB DRAIN CLEANOUT      |
| SICO   | STORM DRAIN                   |
| SGR    | STORM DRAIN CLEANOUT          |
| SCB    | SEE GEOTECHNICAL REPORT       |
| SI     | SEE INLET CATCH BASIN         |
| SPP    | SEE LANDSCAPE PLANS           |
| SLP    | SEE PLUMBING PLANS            |
| SSCO   | SANITARY SEWER                |
| SSP/TW | SANITARY SEWER CLEANOUT       |
| STR    | SEE STRUCTURAL PLANS          |
| TD     | TOP OF WALL ELEVATION         |
| TV     | TYPICAL                       |
| U      | UNDERSLAB DRAIN               |
| V      | PIPE VERTICAL DROP            |
| WM     | DOMESTIC WATERLINE WATERMETER |

MATCHLINE - SEE SHEET C2.2

**SLOPE STABILIZATION NOTES:**

1. LOST VEGETAL COVER WITHIN GRADED AREAS FOR LEACH FIELDS SHALL BE REPLACED WITH SUITABLE, DEEP-ROOTED, DROUGHT TOLERANT VEGETATION INCLUDING A TREE CANOPY, PROTECTED THOROUGHLY BY SUITABLE BROOKS CONTROL MATERIAL UNTIL THE PLANTINGS ARE ESTABLISHED. SEE LANDSCAPE PLANS (L-1) FOR ADDITIONAL INFORMATION AND APPLICABLE NOTES. THE GEOTECHNICAL ENGINEER MAY PROVIDE ADDITIONAL RECOMMENDATIONS BASED ON FIELD OBSERVATIONS.
2. IT IS THE PROPERTY OWNERS RESPONSIBILITY TO ENSURE THAT POST-CONSTRUCTION EROSION CONTROL MEASURES ARE MAINTAINED PERIODICALLY, PARTICULARLY PRIOR TO THE RAINY SEASON EVERY YEAR.
3. THE CIVIL ENGINEER AND THE GEOTECHNICAL ENGINEER MAY REQUIRE ENHANCED DRAINAGE OR STABILIZATION MEASURES BASED ON FIELD CONDITIONS DURING CONSTRUCTION.

**NOTES:**

1. CONTRACTOR SHALL VERTICALLY LOCATE ANY EXISTING UTILITY LINES WITHIN THE SCOPE OF WORK. BRING DISCREPANCIES TO THE CIVIL ENGINEER VIA FORMAL RFI PRIOR TO COMMENCING ACTIVITIES (PARTICULARLY GRADING OPERATIONS) WITHIN THE AREAS WHERE THE DESIGN COULD BE IMPACTED.
2. AREAS LACKING TOPOGRAPHIC INFORMATION (ELEVATIONS) HAVE BEEN INTERPOLATED USING STANDARD ENGINEERING METHODS. CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS AT CONFORMS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND REPORT BACK ANY DISCREPANCIES TO THE CIVIL ENGINEER.
3. ALL TREE REMOVAL SHALL BE PERFORMED AS SHOWN ON ARCHITECTURAL SHEETS AND FOLLOWING THE ARBORIST REPORT FOR THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO GRADING OPERATIONS ADJACENT TO EXISTING TREES. IT IS THE CONTRACTORS RESPONSIBILITY TO PRESERVE THE INTEGRITY OF TREES TO REMAIN WHICH SHALL NOT BE AFFECTED BY CONSTRUCTION ACTIVITIES.
4. CONCRETE V-CATCH UPHILL SHALL BE LOCATED AND CONFORM WITH THE GEOTECHNICAL ENGINEER AND THE CIVIL ENGINEER BASED ON FOUND FIELD CONDITIONS.
5. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ALL IMPROVEMENTS DAMAGED DURING CONSTRUCTION.
6. SEE SHEET C-1 FOR GRADING REQUIREMENTS. HILLSIDE GRADING INCLUDING SLOPED GRADING OVER 60% OF VERTICAL DISTANCE MAY PROCEED ONLY UPON COUNTY APPROVAL AND APPROVAL FROM THE PROJECTS GEOTECHNICAL ENGINEER.
7. GRADED AREAS ARE ANTICIPATED TO BE HYDROSEEDED AND/OR COVERED WITH EROSION CONTROL BLANKETS TO ADDRESS EROSION AND PROMOTE GROWTH OF NATIVE PLANTS. SEE LANDSCAPE PLANS FOR PLANTING REQUIREMENTS AND PERMANENT SOIL STABILIZATION MEASURES.

SEE SHEETS C0.0 AND C0.1 FOR ADDITIONAL NOTES AND LEGENDS



**PRELIMINARY EARTHWORK BREAKDOWN**

|               |                             |
|---------------|-----------------------------|
| BLDG ENVELOPE | 65 CY. CUT / 10 CY. FILL    |
| STEWORW       | 2483 CY. CUT / 415 CY. FILL |
| SWIMMING POOL | 0 CY. CUT / 10 CY. FILL     |
| SEPTIC SYSTEM | 1153 CY. CUT / 0 CY. FILL   |
|               | 3765 CY. CUT / 435 CY. FILL |

**PRELIMINARY EARTHWORK QUANTITIES (GROSS NUMBERS)**

|  |                         |
|--|-------------------------|
|  | 3765 CY. CUT            |
|  | 435 CY. FILL            |
|  | BALANCE 3270 CY. EXFORT |

CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES. EXPANSION AND CONTRACTION COEFFICIENTS, SOIL PREPARATION, ROUGH GRADING, CONSTRUCTION MEANS AND METHODS, AND OTHER FACTORS ARE NOT TAKEN INTO CONSIDERATION.

**HATCH LEGEND:**

|  |                             |  |
|--|-----------------------------|--|
|  | ASPHALTIC CONCRETE PAVEMENT | PER GEOTECHNICAL REPORT RECOMMENDATIONS. |
|  | SITE CONCRETE               | PER GEOTECHNICAL REPORT RECOMMENDATIONS. |
|  | GRAVEL PATH                 | PER LANDSCAPE PLANS                      |
|  | NEW LANDSCAPE               | PER LANDSCAPE PLANS                      |

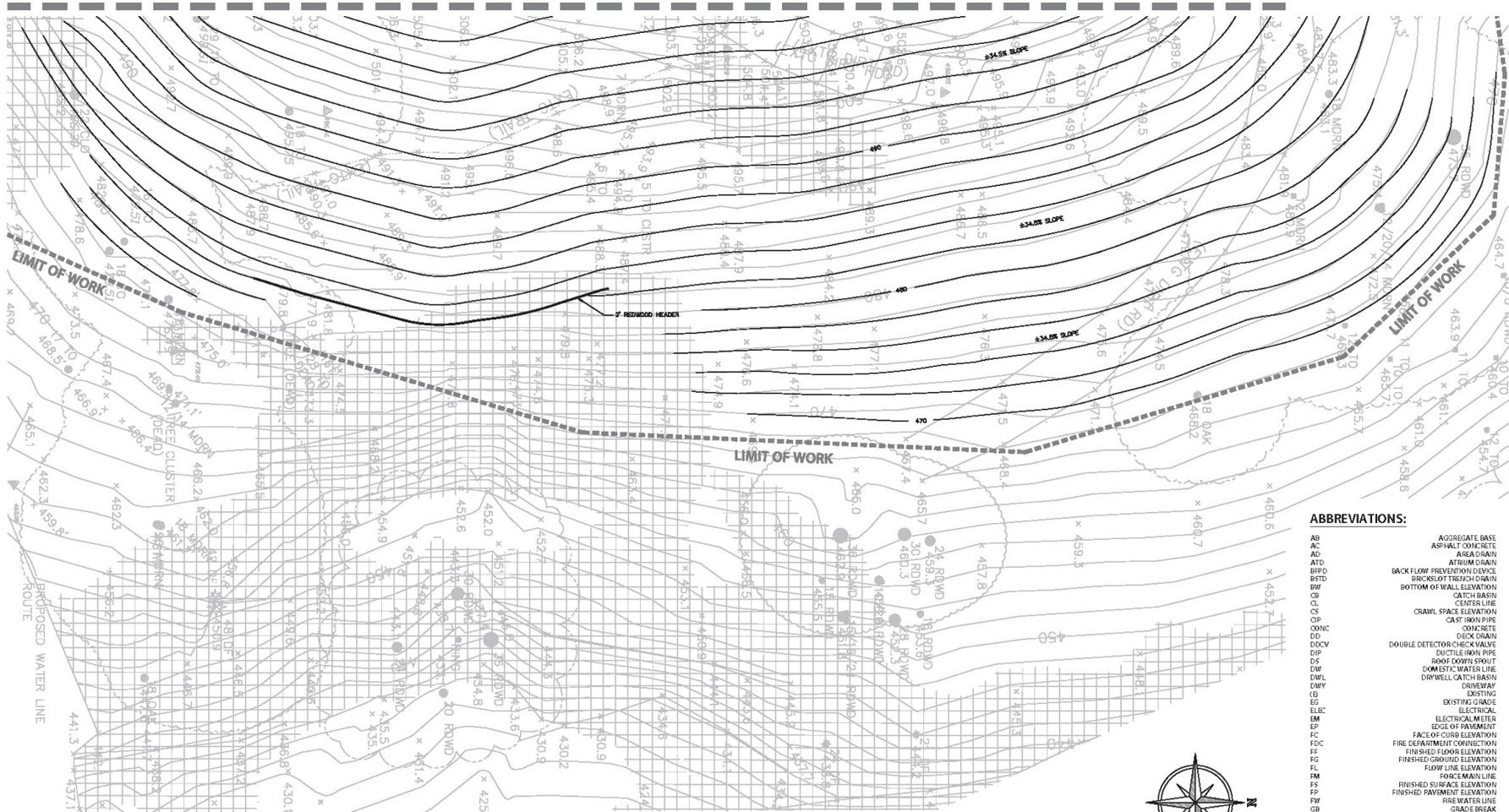
**ATKINS-CONCRA**  
**RESIDENCE**  
 KEBET RIDGE ROAD  
 WOODSIDE, CA 94062

**FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION**

PROJECT No: 16-6101  
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 CHECKED: IK

SHEET TITLE  
**GRADING PLAN**  
**C2.1**

MATCHLINE - SEE SHEET C2.1



SEE SHEETS C0.0 AND C0.1 FOR ADDITIONAL NOTES AND LEGENDS

Understand  
What You  
Call  
before you  
Dig.  
1-800-297-2800



**ABBREVIATIONS:**

|      |                             |
|------|-----------------------------|
| AB   | AGGREGATE BASE              |
| AC   | ASPHALT CONCRETE            |
| AD   | AREA DRAIN                  |
| ADT  | ATRIUM DRAIN                |
| BFPD | BACK FLOW PREVENTION DEVICE |
| BSTD | BRICKSLOT TRENCH DRAIN      |
| BW   | BOTTOM OF WALL ELEVATION    |
| CB   | CATCH BASIN                 |
| CL   | CENTER LINE                 |
| CE   | CRAWL SPACE ELEVATION       |
| CI   | CAST IRON PIPE              |
| CONC | CONCRETE                    |
| DD   | DECK DRAIN                  |
| DDV  | DOUBLE DETECTOR CHECK VALVE |
| DIP  | DUCTILE IRON PIPE           |
| DS   | ROOF DOWN SPOUT             |
| DWF  | DOMESTIC WATER LINE         |
| DWB  | DRYWELL CATCH BASIN         |
| EX   | EXISTING                    |
| EG   | EXISTING GRADE              |
| ELEC | ELECTRICAL                  |
| EM   | ELECTRICAL METER            |
| EP   | EDGE OF PAVEMENT            |
| FC   | FACE OF CURB ELEVATION      |
| FDC  | FIRE DEPARTMENT CONNECTION  |
| FE   | FACE OF FINISH              |
| FG   | FINISHED GROUND ELEVATION   |
| FL   | FLOW LINE ELEVATION         |
| FM   | FORCE MAIN LINE             |
| FS   | FINISHED SURFACE ELEVATION  |
| FP   | FINISHED PAVEMENT ELEVATION |
| FW   | FIRE WATER LINE             |
| GB   | GRADE BREAK                 |
| GM   | GAS METER                   |
| GR   | GATE ELEVATION              |
| GV   | GATE VALVE                  |
| HP   | HIGH POINT                  |
| INV  | INVERT ELEVATION            |
| IT   | IRROT TRENCH                |
| JP   | JOINT POLE                  |
| LD   | LANDSCAPE DRAIN             |
| LF   | LINEAR FEET                 |
| LP   | LOW POINT                   |
| NEW  | NEW                         |
| PIV  | POST INDICATOR VALVE        |
| PRK  | PROBING                     |
| POC  | POINT OF CONNECTION         |
| RET  | RETAINING WALL              |
| RM   | RM ELEVATION                |
| S    | SLOPE                       |
| SA   | SEE ARCHITECTURAL PLANS     |
| SD   | STORM DRAIN                 |
| SDCO | STORM SUB DRAIN CLEANOUT    |
| SDO  | STORM DRAIN CLEANOUT        |
| SIR  | SEE GEOTECHNICAL REPORT     |
| SIC  | SIDE INLET CATCH BASIN      |
| SLP  | SEE LANDSCAPE PLANS         |
| SFP  | SEE FLOORING PLANS          |
| SS   | SANITARY SEWER              |
| SSCO | SANITARY SEWER CLEANOUT     |
| STR  | SEE STRUCTURAL PLANS        |
| TWF  | TOP OF WALL ELEVATION       |
| US   | UNDERSLAB DRAIN             |
| VD   | PIPE VERTICAL DROP          |
| W    | DOMESTIC WATER LINE         |
| WM   | WATER METER                 |



PROJECT CONTRACT: RESIDENCE NORTHWOODLEY | 10/20/2016

|           |            |
|-----------|------------|
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**ATKINS-CONCRA  
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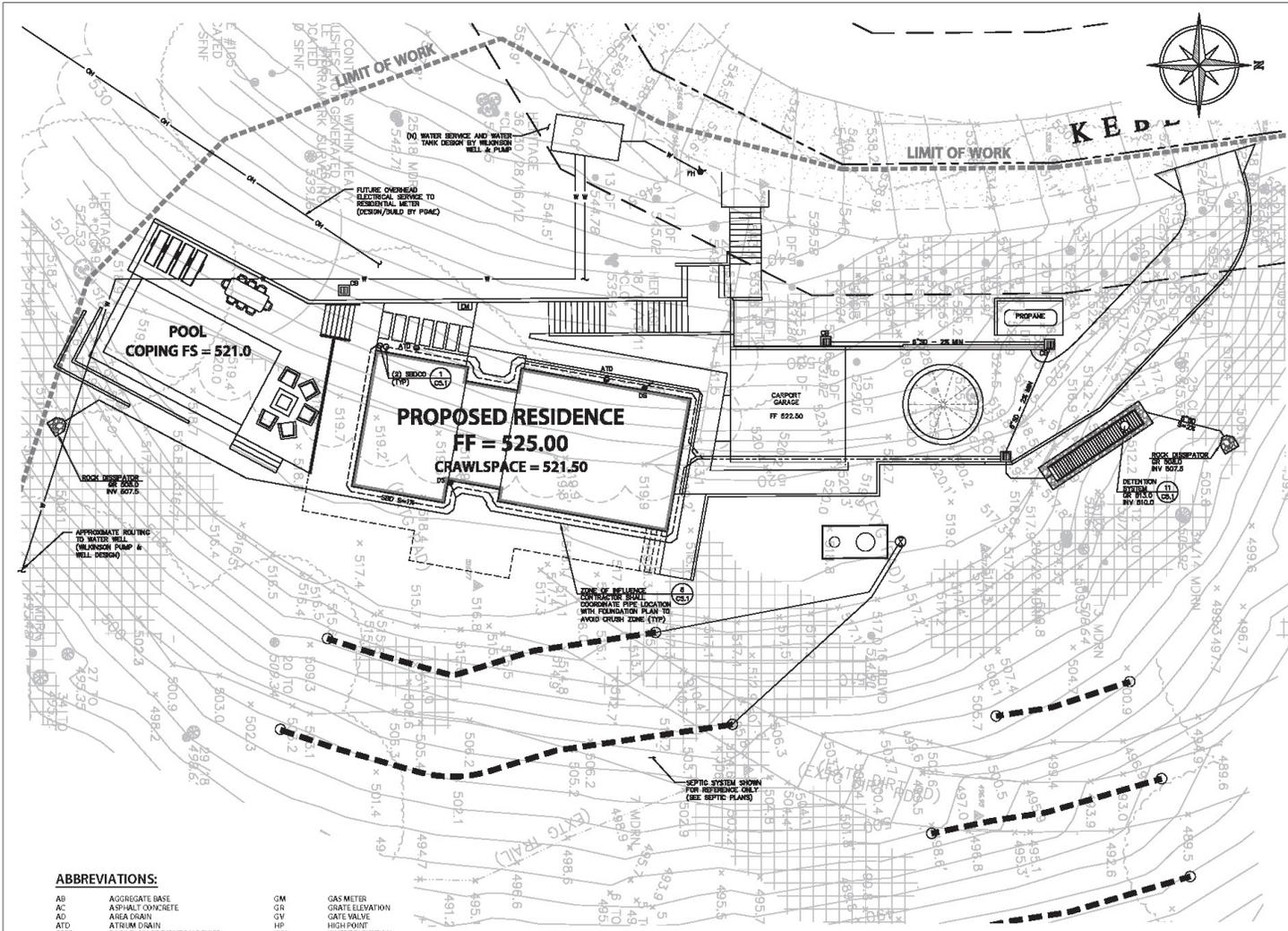
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| PROJECT No:   | 16-6101    |
| DATE:         | 07/08/2016 |
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SHEET TITLE

**GRADING PLAN**

**C2.2**



**ABBREVIATIONS:**

|      |                             |     |                          |
|------|-----------------------------|-----|--------------------------|
| AB   | AGGREGATE BASE              | GM  | GAS METER                |
| AC   | ASPHALT CONCRETE            | GR  | GRATE ELEVATION          |
| AD   | AREA DRAIN                  | GW  | HIGH POINT               |
| ATD  | ATRIUM DRAIN                | HP  | INVERT ELEVATION         |
| BFD  | BACK FLOW PREVENTION DEVICE | INV | JOINT TRENCH             |
| BTD  | BRICKS OUT TRENCH DRAIN     | JF  | JOINT POLE               |
| BM   | BOTTOM OF WALL ELEVATION    | JV  | LANDSCAPE DRAIN          |
| CB   | CATCH BASIN                 | LF  | LINEAR FEET              |
| CL   | CENTER LINE                 | LP  | LOW POINT                |
| CSP  | CRAWL SPACE ELEVATION       | MB  | MEET                     |
| CIP  | CAST IRON PIPE              | OE  | OVERFLOW                 |
| COVC | CONCRETE                    | PI  | POST INDICATOR VALVE     |
| DD   | DICK DRAIN                  | PK  | POINT OF CONNECTION      |
| DDCV | DOUBLE DETECTOR CHECK VALVE | POC | RETAINING WALL           |
| DIP  | DUCTILE IRON PIPE           | RM  | ROOM ELEVATION           |
| DS   | DOWN DOWNS SPOUT            | ROC | SLOPE                    |
| DWF  | DOMESTIC WATER LINE         | SA  | SEE ARCHITECTURAL PLANS  |
| DWB  | DRYWELL CATCH BASIN         | SAP | STORM SUB DRAIN          |
| DWY  | DRAINAGE                    | SBD | STORM SUB DRAIN CLEANOUT |
| ED   | EXISTING                    | SBO | STORM SUB DRAIN CLEANOUT |
| EG   | EXISTING GRADE              | SD  | STORM DRAIN CLEANOUT     |
| ELEC | ELECTRICAL                  | SDR | SEE GEOTECHNICAL REPORT  |
| EM   | ELECTRICAL METER            | SEL | SEE LANDSCAPE PLANS      |
| EP   | EXPOSED PAVEMENT            | SEP | SEE PLUMBING PLANS       |
| FC   | FACE OF CURB ELEVATION      | SP  | SANITARY SEWER           |
| FDC  | FIRE DEPARTMENT CONNECTION  | SSP | SANITARY SEWER CLEANOUT  |
| FF   | FINISHED FLOOR ELEVATION    | SSD | SEE STRUCTURAL PLANS     |
| FG   | FINISHED GROUND ELEVATION   | SSP | TOP OF WALL ELEVATION    |
| FL   | FLOOR FINISH ELEVATION      | TW  | TYPICAL                  |
| FM   | FOREMAN LINE                | UD  | UNDERSLAB DRAIN          |
| FS   | FINISHED SURFACE ELEVATION  | USD | PIPE VERTICAL DROP       |
| FP   | FINISHED PAVEMENT ELEVATION | VO  | DOMESTIC WATER LINE      |
| FW   | FIRE WATER LINE             | WM  | WATER METER              |
| GB   | GRADE BREAK                 |     |                          |

**SANITARY SEWER & SEPTIC REQUIREMENTS:**

- CONTACT THE SEPTIC DESIGNER FOR ANY WORK IMPACTING THE EXISTING SEWER AND SEPTIC LINES.
- ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT STANDARDS.
- PRIVATE SANITARY SEWER SERVICE LINE 4-INCH THROUGH 18-INCH SHALL BE POLYVINYL CHLORIDE (PVC) 50% OR GREENER SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D2009-22 WITH GLEDED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH NYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS, 90° ELBOWS AND TEES ARE PROHIBITED.
- ALL LATERALS SHALL HAVE A CLEANOUT AT FACE OF BUILDING AND AS SHOWN ON PLANS PER TOWN'S STANDARDS OR APPROPRIATE SANITARY SEWER DISTRICT.

**NOTES:**

- IT SHALL BE THE HOMEOWNER'S RESPONSIBILITY TO ENSURE THAT ALL DRAINAGE IMPROVEMENTS SHOWN HEREON ARE MAINTAINED IN GOOD WORKING ORDER. THIS INCLUDES PERIODICALLY INSPECTING THE STORM DRAIN PIPES FOR SEDIMENT AS WELL AS THE DRAIN INLETS FOR SEDIMENT. ANY BUILD UP OR SEDIMENT SHOULD BE PERIODICALLY CLEANED TO ENSURE THE DRAINAGE FEATURES FUNCTION AS INTENDED. ALL ON-GOING CHANGES SHALL BE MAINTAINED AS SHOWN BY THE PLAN.

**GENERAL UTILITY SYSTEM REQUIREMENTS:**

- ALL TRENCHES SHALL BE BACK FILLED PER CITY STANDARDS.
- CLEAN OUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, PLUMBING, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPES EXPOSED IN THE DRAWINGS WHICH IS APPROXIMATE.
- CONTRACTOR SHALL STAKE LOCATION OF ABOVE GROUND UTILITY EQUIPMENT (BACKFLOW PREVENTER, SATELLITE OSHA TRANSFORMER, GAS METER ETC) AND MEET WITH CLIENT TO REVIEW LOCATION PRIOR TO BEING ALLOWED TO BEGIN WORK. CONTRACTOR MUST SPECIFICALLY AGREE WITH LOCATION PRIOR TO PROCEEDING WITH THE INSTALLATION.
- CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES AS DETERMINED DURING THE DEMOLITION WORK. THE UTILITIES SHOWN ON THE CIVIL DRAWINGS AND THE UTILITY POWER, CO MOUNTS AND LIGHTS SHOWN ON THE ELECTRICAL PLANS, THE FIRE SPRINKLER SYSTEM SHALL BE INCLUDED AS DESIGNED BY THE DESIGNATED UNDERGROUND PIPES PRINCIPAL CONTRACTOR.
- CATHODIC PROTECTION MAY BE REQUIRED ON ALL METALLIC FITTINGS AND ASSEMBLIES THAT ARE IN CONTACT WITH THE SOIL. IF REQUIRED BY A GEOTECHNICAL REPORT, CONTRACTOR IS RESPONSIBLE TO FULLY ENGINEER AND INSTALL THIS SYSTEM AND COORDINATE ANODE AND TEST STAT LOCATIONS WITH OWNER'S PROJECT MANAGER.
- COMPLETE SYSTEMS: ALL UTILITY SYSTEMS ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSES INTENDED.
- UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND EXTENT BASED ON UNRECORDED INFORMATION. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CLIENT, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS, PURCHASES, AGREES TO ASSUME LIABILITY AND TO HOLD UNDERGROUND OWNERS FOR ANY DAMAGES OR CLAIMS FROM THE EXISTING LOCATIONS OF UNDERGROUND UTILITIES NOT REPORTED TO THE UNDERGROUND, NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, LOCATED AT A DISTANCE WITH THESE RECORDS EXAMINED.
- CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND MISC. UP STREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY. CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SEWER LATERAL WITH OWNER PRIOR TO CONSTRUCTION.
- EXISTING UTILITY CROSSINGS OF NEW PIPES ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. GAS, WATER AND SEWER SERVICE LATERALS ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL THE UTILITY CROSSINGS BOTH MAINS AND LATERALS ARE CORRECT AS SHOWN. THE CONTRACTOR SHALL GUARANTEE THAT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION REGARDING MAINS AND SHALL PROTECT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) FROM DAMAGE DUE TO HIS OPERATION.
- VERTICAL SEPARATION REQUIREMENTS:  
A MINIMUM OF 50(6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITIES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE OVER EXISTING SANITARY SEWER PIPES.  
WHERE NEW WATER PIPES ARE REQUIRED TO CROSS UNDER EXISTING HORIZONTAL WATER AND SANITARY SEWER PIPES, THE MINIMUM VERTICAL SEPARATION SHALL BE 12 INCHES. WATER LINE PIPE ENDS SHALL BE INSTALLED NO CLOSER THAN 10 MINIMUM HORIZONTAL DISTANCE FROM CENTERLINE OF UTILITY CROSSINGS, WHERE FEASIBLE.
- HORIZONTAL SEPARATION REQUIREMENTS:  
A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPES AND ANY EXISTING UTILITIES SHALL BE 3 FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPES SHALL BE 10 MINIMUM, UNLESS OTHERWISE NOTED.  
A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPES AND JOINT TRENCH SHALL BE 5 FEET.  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
- ANY EXISTING UNDERGROUND UTILITY LINES TO BE AVOIDED OR SHOULD BE REMOVED FROM WITHIN THE PROPOSED BUILDING ENVELOPE AND THEIR ENDS CAPTURED OUTSIDE OF THE BUILDING ENVELOPE.

**STORM DRAIN REQUIREMENTS:**

- PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) 50% RATED FOR 150 PSI CLASS 3 AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D2009-22 WITH GLEDED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH NYE CONNECTIONS, 22.5° ELBOWS, 45° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEES ARE PROHIBITED.
- PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) 8000 RATED FOR 150 PSI CLASS 3. PROVIDE AND INSTALL STORM DRAIN MANHOLE TAPE FOR THE ENTIRE LENGTH OF FIVE FEET IN ACCORDANCE WITH CITY STANDARDS. ALL DIRECTION CHANGES SHALL BE MADE WITH NYE CONNECTIONS, 22.5° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEES ARE PROHIBITED.
- ALL AREA DRAINS AND CATCH BASINS WITHIN THE DESIGNATED ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
- ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY IF (FOOTHOLES) ARE NECESSARY SIZE, MATERIAL LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSS OVER PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEMS.
- DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER. PLEASE CONTACT ARCHITECT FOR DRAINAGE. ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- INSTALL SEPARATE SUB-DRAIN SYSTEM BEHIND RETAINING WALLS PER GEOTECHNICAL REPORT AND CONNECT TO STORM DRAIN SYSTEM AS SHOWN ON PLANS.
- ALL DOWN SPOUTS SHALL DISCHARGE DIRECTLY ON TO ADJACENT PERVIOUS SURFACES OR SPLASH BLOCKS UNLESS OTHERWISE NOTED. PREPARE ARCHITECTURE PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

**WATER SYSTEM REQUIREMENTS:**

- MAINTAIN WATER LINES BY AWAY FROM SANITARY SEWER LINES.
- WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.
- ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OR APPLICABLE WATER DISTRICT STANDARDS.
- WATER CONNECTIONS WILL BE ADJUSTED FROM THE CURRENT LOCATION ADJACENT TO AND SERVING THE EXISTING RESIDENCE CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE APPROVED BY THE TOWN. THE CONTRACTOR SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, PREPARE THE SITE, FINISH ALL MATERIALS, INSTALL TAPPING THE VALVE AND ALL THURST BLOCKS, BACKFILL, RESTORE THE SURFACE AND CLEAN UP. THE CITY WILL PROVIDE THE CLIENT WITH A LIST OF APPROVED CONTRACTORS FOR HAVING MET PAPS. NON-METALLIC WATER LINES SHALL HAVE THURST WINGS INSTALLED.
- ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER.
- CONTRACTOR SHALL SIZE AND INSTALL ALL NEW DESIGN BUILD DOMESTIC IRRIGATION AND PEE WATER LINES IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM PLUMBING AND FIRE CODES. ALL FUTURE UNIT QUOTIS SHALL BE REVIEWED AND APPROVED BY THE TOWN'S BUILDING AND/OR WATER DEPARTMENT PRIOR TO CONSTRUCTION.
- CONCRETE THURST BLOCKS SHALL BE INSTALLED AT ALL TEES, CROSSES, BENDS (HORIZONTAL AND VERTICAL), AT SIZE CHANGES AND AT FEE HYDRANTS PER CITY STANDARDS. AN 8" MIN. GROUND SECTION IS UNLESS NOTED OTHERWISE.
- ALL ON AND OFF-SITE LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING AND/OR NEW WATER SYSTEM AND BE TIERED ACCORDINGLY.

SEE SHEETS CO.0 AND CO.1 FOR ADDITIONAL NOTES AND LEGENDS



PROJECT CONTACT: [sk@kprox.com](mailto:sk@kprox.com)

| DATE:      | DESCRIPTION:               | BY: | FOR: |
|------------|----------------------------|-----|------|
| 07/08/2016 | ISSUE FOR PERMIT SUBMITTAL | SK  | SK   |
| 07/08/2016 | REVISIONS                  | SK  | SK   |
| 07/08/2016 | REVISIONS                  | SK  | SK   |

**ATKINS-CONCRA**  
**RESIDENCE**  
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WOODSIDE, CA 94062

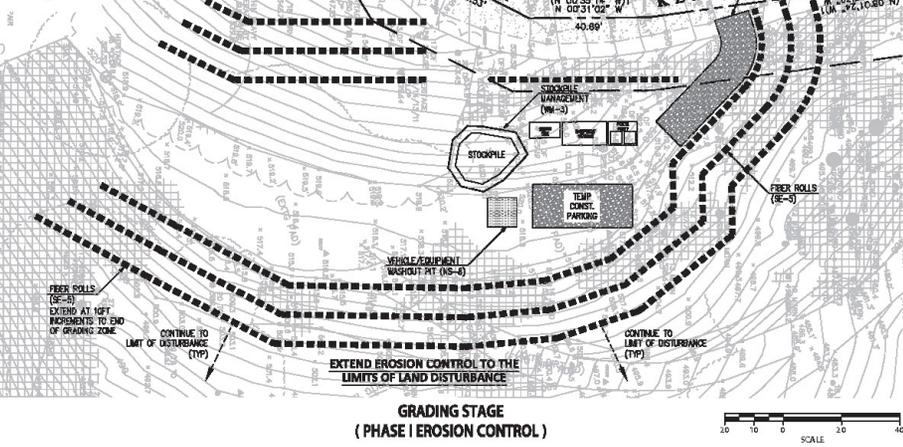
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SHEET TITLE

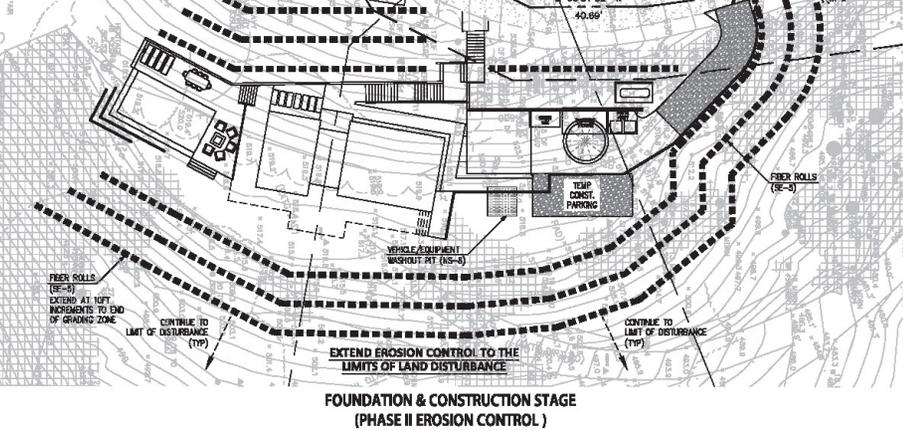
**DRAINAGE AND UTILITY PLAN**

**C3.1**

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**GRADING STAGE  
(PHASE I EROSION CONTROL)**

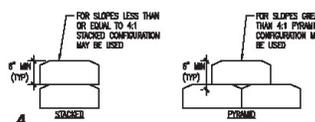


**FOUNDATION & CONSTRUCTION STAGE  
(PHASE II EROSION CONTROL)**

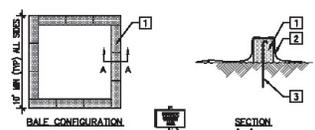
**NOTE:** CONSIDERING THE STEEPNESS OF THE SLOPE, THE CONTRACTOR SHALL ENSURE THAT AT THE END OF EVERY WORKING DAY ALL EROSION CONTROL MEASURES ARE OPERATING CORRECTLY. STRAW/FIBER ROLLS SHOWN ABOVE SHALL BE PLACED WITHIN THE ENTIRE AREA OF LAND DISTURBANCE UNLESS OTHERWISE DIRECTED BY THE CIVIL ENGINEER, LANDSCAPE ARCHITECT, OR GEOTECHNICAL ENGINEER. ALL DISTURBED AREAS SHALL BE STABILIZED (OR WELL PROTECTED) PRIOR TO ANY STORM EVENT. THE CONTRACTOR SHALL IMPLEMENT EROSION CONTROL MEASURES FOLLOWING CASQA GUIDELINES.

**SEQUENCING:** ALL EROSION CONTROL MEASURES SHALL BE IN PLACE IMMEDIATELY UPON STARTING LAND DISTURBANCE ACTIVITIES. POST-CONSTRUCTION MEASURES SHALL TAKE PLACE IMMEDIATELY UPON FINALIZING TRENCHING ACTIVITIES FOR THE SEPTIC LEACH FIELDS. SEE LANDSCAPE PLAN L5.1 FOR "LEACH FIELD PLANTING PLAN" AND ADDITIONAL NOTES.

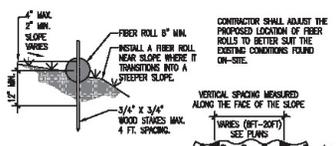
**NOTE:** INSTALL AT LOCATIONS AS SHOWN ON EROSION CONTROL PLAN, AND IN ADDITION PROTECT ALL EXISTING AND PROPOSED STORM DRAIN STRUCTURES WITH GRAVEL BAGS



**4** NTS → GRAVEL BAGS

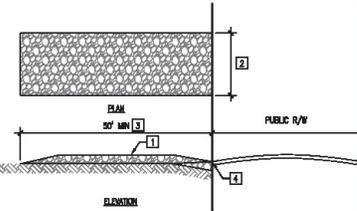


- STRAW BALES, FIBER ROLLS OR EQUAL.
  - 60 MIL POLYETHYLENE OR EQUAL WATERPROOF PLASTIC MEMBRANE.
  - 2" X 2" SIKES OR #4 J-BARS (TWO PER BALE TYPICAL).
  - SDS TO BE 24" X 24" MIN PAVING NEAREST STREET OR ACCESS POINT.
  - DEPTH TO BE 24" MINIMUM.
- 3** NTS → CONCRETE WASHOUT



- CONTRACTOR SHALL ADJUST THE PROPOSED LOCATION OF FIBER ROLLS TO BETTER SUIT THE EXISTING CONDITIONS FOUND ON-SITE.**
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**2** NTS → FIBER ROLLS



- THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12".
- THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50' UNLESS OTHERWISE APPROVED BY THE REVENUE AGENCY.
- PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC R/W.

**1** NTS → STABILIZED CONSTRUCTION ENTRANCE

**EROSION AND SEDIMENTATION CONTROL NOTES:**

- CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN, IF PROVIDED, ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF THE EROSION CONTROL SYSTEM SO THAT IT WORKS WITH THE CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED. AT THE CONCLUSION OF EACH WORKING DAY, THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS PRIOR TO ANTICIPATED STORMS AND AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
- AS SOON AS PRACTICAL FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL, SEDIMENT BASINS AND SHALL CLEAN THE OUTLET PIPES OF ANY BLOCKAGE.
- STOCKPILED MATERIAL SHALL BE COVERED WITH VEGETATION OR A TAFFALIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BAGS THAT EXIST AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEED OR PLANTED TO PROVIDE GROUND COVER.
- PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRADING, OR EXCAVATION, THE CONTRACTOR SHALL VERIFY THAT THE SLOPE HAS SUBMITTED TO THE STATE WATER RESOURCES CONTROL BOARD A NOTICE OF INTENT AND COVERED UNDER THE STATE CONSTRUCTION STORM WATER GENERAL PERMIT, IF REQUIRED BY THE STATE. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE NOTICE OF CONSTRUCTION AT THE SITE.
- NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY SERVICES WHEN NEARBY BRANCHED.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DICES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
- CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE CITY INSPECTOR. THE ADJACENT STREET SHALL BE KEPT CLEAR OF DRIBBLES, DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. DEVELOPER SHALL BE RESPONSIBLE FOR ANY CLEAR UP ON ADJACENT STREETS AFFECTED BY THE CONSTRUCTION. METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE CITY'S RIGHT-OF-WAY IS PERMITTED.
- ALL EROSION CONTROL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED.
- PROTECT DOWN-SLOPE DRAINAGE COURSES, STREAMS, AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SALT FENCES, EARTH BERRIERS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SALT FENCES.

**SAN MATEO COUNTY EROSION AND SEDIMENTATION CONTROL NOTES:**

- PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
- MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAWMENT CUTTINGS, WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINAGE AND WATER COURSES.
- AVOID CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
- LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
- AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
- TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSED PROTECTION MEASURES STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- THE AREAS DELINEATED ON THE PLANS FOR PARKING, GROUNDINGS STORAGE ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
- CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON"
- DUST CONTROL IS REQUIRED YEAR-ROUND.
- EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILES ARE ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING OR GRUBBING IS STARTED.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AS NECESSARY THROUGHOUT THE DURATION OF THE PERMIT TO BE EFFECTIVE. IF SIGNIFICANT FIELD CHANGES ARE MADE, REVISED PLANS MUST BE SUBMITTED FOR APPROVAL. THE BUILDING INSPECTOR HAS THE AUTHORITY TO REQUIRE ADDITIONAL MEASURES AT ANY TIME, AND MAY CANCEL ANY REQUESTED INSPECTION IF ANY MEASURES ARE FOUND TO BE DEFICIENT. A STOP WORK NOTICE MAY BE ISSUED PURSUANT TO THE COUNTY'S STORMWATER ENFORCEMENT RESPONSE PLAN UNTIL CORRECTIONS HAVE BEEN MADE AND APPLICABLE FEES PAID FOR 27AF ENFORCEMENT TIME. THE PROPERTY OWNER SHALL DEMONSTRATE TO THE BUILDING INSPECTOR THAT THE SITE IS STABILIZED WITH ADEQUATE EROSION CONTROL OR LANDSCAPING, PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- FILTER FABRIC OR FILTER BASKETS SHALL BE INSTALLED IN THE SITES STORM DRAIN INLETS AND CLEANED OUT AFTER EACH RAIN EVENT, OR AS NEEDED TO FUNCTION PROPERLY.

- NOTE:**
- THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 4" TO 6" STONE.
  - PROVIDE A FURNISHED STABILIZED ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET.
  - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAIN INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARD OR OTHER APPROVED METHODS.
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY RECESSES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
  - ADD FILTER FABRIC UNDER AGGREGATE.



|              |                                   |
|--------------|-----------------------------------|
| DATE:        | 07/08/2016                        |
| DESCRIPTION: | EROSION AND SEDIMENTATION CONTROL |
| DESIGNED BY: | MARK                              |
| CHECKED BY:  | IK                                |
| DATE:        | 07/08/2016                        |
| DESCRIPTION: | EROSION AND SEDIMENTATION CONTROL |
| DESIGNED BY: | MARK                              |
| CHECKED BY:  | IK                                |

**ATKINS-CONCRA  
RESIDENCE  
KEBET RIDGE ROAD  
WOODSIDE, CA 94062**

**FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION**

PROJECT No: 16-6101  
DATE: 07/08/2016  
SCALE: AS SHOWN  
DESIGN/DRAWN: MK  
CHECKED: IK

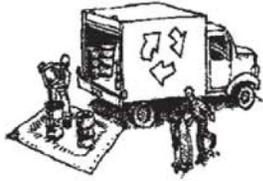
SHEET TITLE  
**EROSION CONTROL PLAN**

**C4.1**

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells.
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



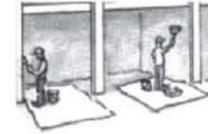
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

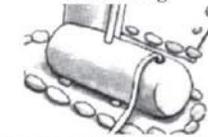
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

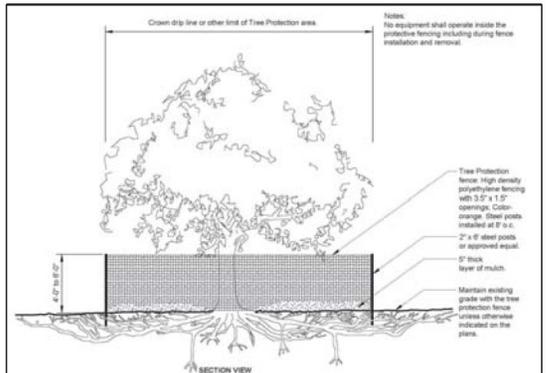
## Dewatering



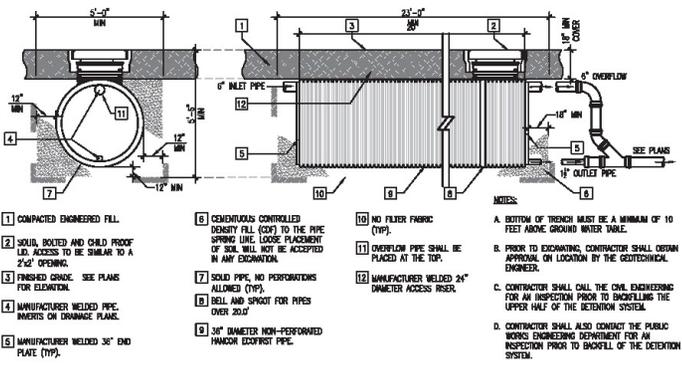
- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

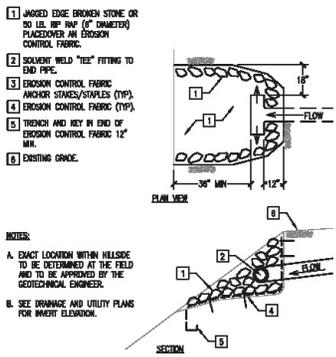
Call  
before you  
Dig.  
1-800-227-2200



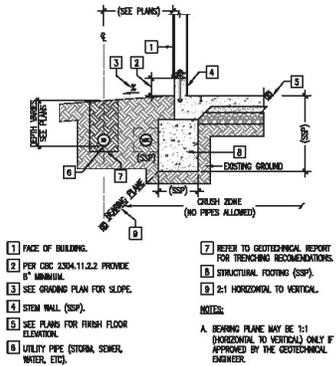
**10** N.T.S. TREE PROTECTION (FOR TREES NOT ADDRESSED ON ARBORIST REPORT)



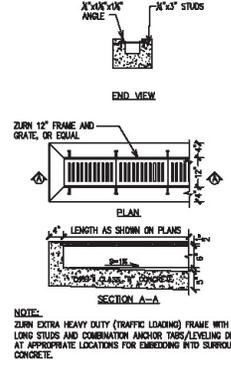
**11** N.T.S. DETENTION



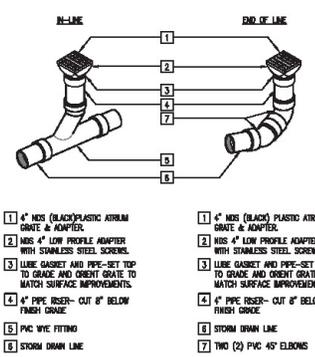
**7** N.T.S. ROCK DISSIPATOR



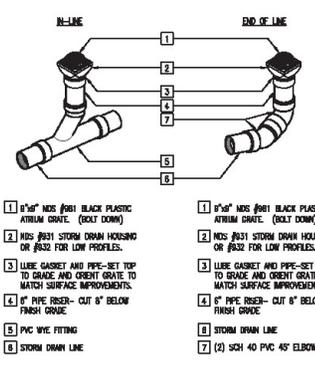
**8** N.T.S. ZONE OF INFLUENCE



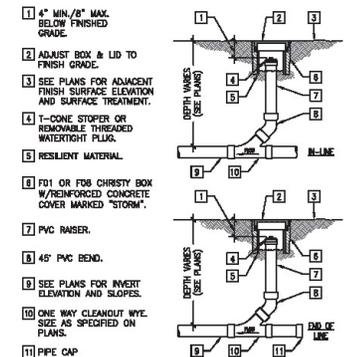
**9** N.T.S. 12\"/>



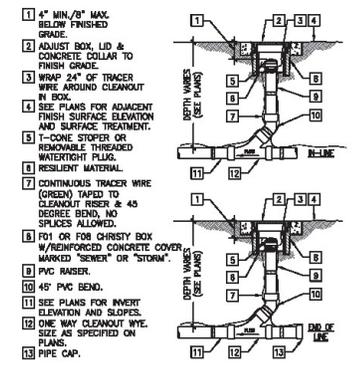
**4** N.T.S. 4\"/>



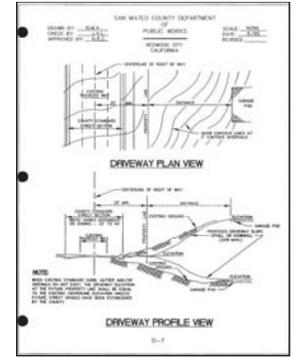
**5** N.T.S. 9\"/>



**1** N.T.S. SD & SS CLEANOUT



**2** N.T.S. SD & SS CLEANOUT (TRAFFIC LOADED)



**3** N.T.S. SAN MATEO COUNTY DRIVEWAY PROFILE



|           |                  |
|-----------|------------------|
| DATE:     | 07/08/2016       |
| DESIGNER: | ATKINS-CONCRA    |
| PROJECT:  | RESIDENCE        |
| LOCATION: | KEBET RIDGE ROAD |
| CITY:     | WOODSIDE, CA     |
| SCALE:    | AS SHOWN         |

**ATKINS-CONCRA**  
**RESIDENCE**  
 KEBET RIDGE ROAD  
 WOODSIDE, CA 94062

FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION

|               |            |
|---------------|------------|
| PROJECT No:   | 16-6101    |
| DATE:         | 07/08/2016 |
| SCALE:        | AS SHOWN   |
| DESIGN/DRAWN: | MX         |
| CHECKED:      | IK         |

SHEET TITLE  
**DETAILS**  
**C5.1**



**PROJECT DESCRIPTION:**

AN ONSITE WASTE WATER TREATMENT SYSTEM (OWTS) WITH GRAVITY DISTRIBUTION FOR FLOW DISPERSAL USING ROCK-FILLED TRENCHES TO SERVE THE DEVELOPMENT A PROPOSED DWELLING. SEE DESIGN CRITERIA NOTES FOR SITE-SPECIFIC TECHNICAL REQUIREMENTS.

**GENERAL DESIGN REQUIREMENTS:**

1. THE PROPOSED ONSITE WASTE WATER TREATMENT SYSTEM (OWTS) IS PROPOSED IN AREAS WITH SLOPES GREATER THAN 20%. AS SUCH, THE SEPTIC SYSTEM DESIGN SHALL COMPLY WITH THE COUNTY OF SAN MATEO'S CURRENT OWTS ORDINANCE AS WELL AS THE CURRENT ONSITE SYSTEMS MANUAL (OSM).
2. DUE TO THE EXISTING SITE SLOPES, THE GEOTECHNICAL ENGINEER SHALL REVIEW AND PROVIDE A LETTER OF SUBSTANTIAL CONFORMANCE INDICATING NO CONCERNS WITH SLOPE STABILITY (OWTS ORD. 84-120).
3. THE COUNTY OF SAN MATEO ENVIRONMENTAL HEALTH DEPARTMENT SHALL BE CONTACTED TO PERFORM A SITE VISIT RELATED TO THE INSTALLATION OF THE PROPOSED SYSTEM.  
LAND USE, SEPTIC & WELLS PROGRAM  
SAN MATEO COUNTY ENVIRONMENTAL HEALTH  
2000 ALAMEDA DE LAS PULGAS, SUITE 100  
SAN MATEO, CA 94443  
MAIN PHONE: (415) 372-4200.
4. CONSTRUCTION OF THE SEWAGE DISPOSAL SYSTEM REQUIRES WRITTEN APPROVAL FROM SAN MATEO COUNTY ENVIRONMENTAL HEALTH.
5. REVISIONS TO PLANS OR SPECIFICATIONS REQUIRE WRITTEN AUTHORIZATION FROM THE SEPTIC SYSTEM DESIGNER.
6. SEPTIC SYSTEM INSTALLATION SHALL FOLLOW THE CURRENT ONSITE WASTE WATER TREATMENT SYSTEM ORDINANCE.
7. THE LOCATION OF THE SEPTIC TANK AND DRAIN FIELD TRENCHES ARE SUBJECT TO FIELD ADJUSTMENTS BY THE DESIGNER WITH APPROVAL OF THE PERMITTING AGENCY. ALL DRAIN FIELD TRENCHES SHALL BE INSTALLED ALONG LEVEL CONTOURS TO ENSURE THAT THE TRENCH BOTTOM IS MAINTAINED LEVEL.
8. TRENCHING WITHIN DRILINES OF EXISTING TREES SHALL REQUIRE HAND DIGGING AND CAUTION TO ENSURE TREE PRESERVATION. COORDINATE WITH THE PROJECT'S ARBORIST AND WORK WITHIN THE CANOPY OF ANY SIGNIFICANT AND/OR HERITAGE TREE.

**SLOPE HATCH LEGEND:**

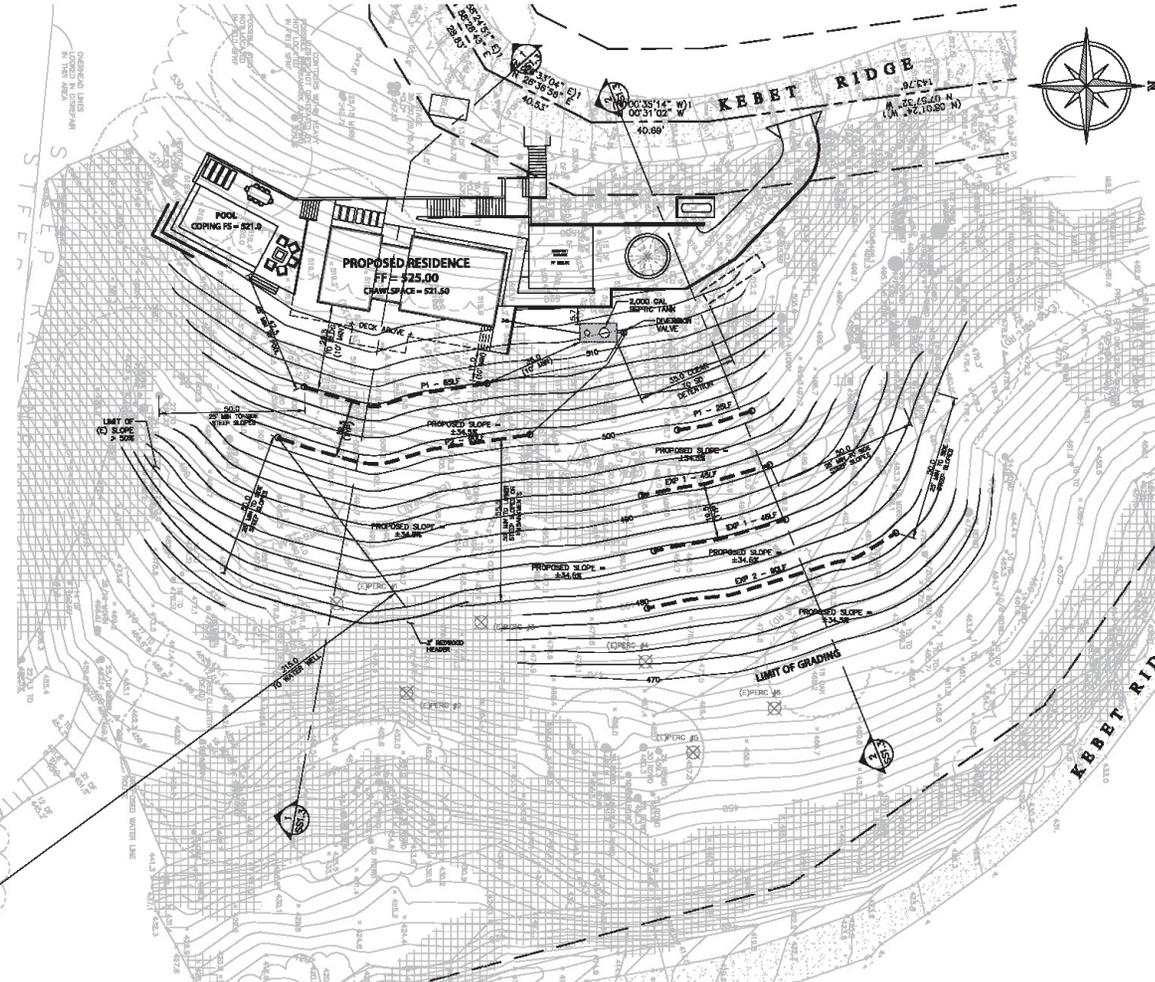
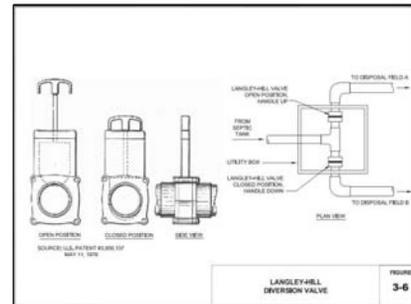
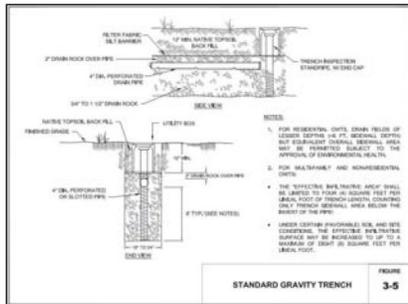
- SITE SLOPES WITHIN THE SCOPE OF WORK AREA
- AREAS OF 30% OR GREATER SLOPE AS DETERMINED BY THE PROJECT SURVEYOR

**DESIGN CRITERIA:**

1. PERCOLATION RATE:  
SOIL PERCOLATION RATE: "X" (2) (1/HR MIN)  
PERCOLATION TEST PERFORMED BY LANGLEY HILL QUARRY, OCT. 20, 1998.  
CONFIRMATION TEST EXPECTED: 2019
2. SEPTIC SYSTEM (OWTS):  
OWTS WITH GRAVITY DISTRIBUTION (SLOPES UNDER 3%).
3. PROJECT SPECIFIC HORIZONTAL SETBACKS (OWTS ORD. 484-120):  
(17) BUILDINGS TO SEPTIC TANK  
(18) BUILDINGS TO DISPERSAL FIELDS  
(10) SEPTIC TANK TO DISPERSAL FIELDS  
(30) PL TO SEPTIC TANK  
(25) POOL TO TANKS OR DISPERSAL FIELDS  
(100) WATER WELLS  
(25) STORMWATER STRUCTURES & CHANNELS  
(20) CUTS / IMPROVEMENTS / STEEP SLOPE OR 10' WITH GEOTECHNICAL APPROVAL
4. DUAL SYSTEM:  
TWO TRENCH DISPERSAL FIELDS, EACH ONE HUNDRED PERCENT OF THE TOTAL SIZE REQUIRED FOR THE DESIGN SEWAGE FLOW, INSTALLED AND INTERCONNECTED WITH AN APPROVED SLOW DRAINAGE DEVICE.
5. DWELLING UNITS FOR DESIGN BASIS:  
4-BEDROOM MAIN RESIDENCE.
6. SIZE OF TANK:  
ONE 1,500 GALLONS SEPTIC TANK REQUIRED  
ONE 2,000 GALLONS SEPTIC TANK PROVIDED
7. TRENCH LENGTH REQUIREMENTS:  
HOUSE = 180' (ONLY PER FIELD)  
EXPANSION LINES = 180' (F)

**NOTES:**

1. THE SEPTIC SYSTEM IS NOT PROPOSED ON A SLOPE STEEPER THAN 20%. SEE GRADING PLAN.
2. RELATIVE SETBACKS ARE MET AS DESCRIBED ABOVE AND SHOWN ON SHEETS C0.1, C0.2, C0.3 AND S5.1 PER OWTS 84-120 AND SECTION 3 OF THE ONSITE SYSTEMS MANUAL.
3. THE SEPTIC SYSTEM DESIGN SHALL COMPLY WITH THE DESIGN AND CONSTRUCTION REQUIREMENTS OF SECTION 4 OF THE OSM.



**ABBREVIATIONS:**

- AB AGGREGATE BASE
- AC ASPHALT CONCRETE
- AD AREA DRAIN
- ATD ALUMINUM TRENCH DRAIN
- BF20 BACK FLOW PREVENTION DEVICE
- BSTD BRICKSLOT TRENCH DRAIN
- BWF BOTTOM OF WALL ELEVATION
- CB CATCH BASIN
- CL CENTER LINE
- CNRF CRAWF SPACE LID
- CRP CAST IRON PIPE
- CONC CONCRETE
- COV COVER
- DOV DOUBLE DETECTOR CHECK VALVE
- DUO DUCTILE IRON PIPE
- DOF DROOF DOWN
- DS DOMESTIC WATER LINE
- DW DRYWELL
- DMV DRIVEWAY
- EX EXISTING
- EG EXISTING GRADE
- ELEC ELECTRICAL
- EM ELECTRICAL METER
- EP EDGE OF PAVEMENT
- FC FACE OF CURB ELEVATION
- FDC FIRE DEPARTMENT CONNECTION
- FF FINISHED FLOOR ELEVATION
- FG FINISHED GRADE ELEVATION
- FL FLOW LINE ELEVATION
- FM FORCE MAIN LINE
- FS FINISHED SURFACE ELEVATION
- FP FINISHED PAVEMENT ELEVATION
- FW FIRE WATER LINE
- GB GROUND BREAK
- GM GASMETER
- GR GRATE ELEVATION
- GV GATE VALVE
- HP HIGH POINT
- INW INVERT ELEVATION
- JT JOINT TRENCH
- JP JOINT POLE
- LD LANDSCAPE DRAIN
- LEF LINEARS FEET
- LP LOW POINT
- HSW POST INDICATING VALVE
- PK PARKING
- POC POINT OF CONNECTION
- RET RETAINED WALL
- RM RIM ELEVATION
- SL SLOPE
- SAP SEE ARCHITECTURAL PLANS
- SBO STORM SUB DRAIN
- SBOC STORM SUB DRAIN CLEANOUT
- SD STORM DRAIN CLEANOUT
- SCR SEE GEOTECHNICAL REPORT
- SIB SIDE INLET CATCH BASIN
- SLP SEE LANDSCAPE PLANS
- SPP SEE PLUMBING PLANS
- SS SANITARY SEWER
- SSP SANITARY SEWER CLEANOUT
- STR SEE STRUCTURAL PLANS
- TP TYPICAL
- UD UNDERSLAB DRAIN
- USD PIPE VERTICAL DRIP
- W DOMESTIC WATER LINE
- WM WATER METER

SEE SHEETS C0.0 AND C0.1 FOR ADDITIONAL NOTES AND LEGENDS



PROJECT CONTRACT: 16-1611

| DATE:      | DESCRIPTION:               |
|------------|----------------------------|
| 07/08/2016 | ISSUE FOR PERMIT SUBMITTAL |
| 06/28/2016 | REVISIONS                  |
| 06/28/2016 | REVISIONS                  |
| 06/28/2016 | REVISIONS                  |

**ATKINS-CONCRA**  
**RESIDENCE**  
KEBEB RIDGE ROAD  
WOODSIDE, CA 94062

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PROJECT No: 16-1611  
DATE: 07/08/2016  
SCALE: 1" = 20'  
DESIGN/DRAWN: MK  
CHECKED: IK

SHEET TITLE  
**SEPTIC SYSTEM PLAN**

**SS1.1**

|              |                     |
|--------------|---------------------|
| DATE:        | 05/22/2016          |
| DESCRIPTION: | PERMITS             |
| DESIGNED BY: | KEVIN VAUGHN        |
| CHECKED BY:  | NORMAN L. KORTHOVEN |
| DATE:        | 05/22/2016          |
| DESCRIPTION: | PERMITS             |
| DESIGNED BY: | KEVIN VAUGHN        |
| CHECKED BY:  | NORMAN L. KORTHOVEN |

**ATKINS-CONCRA**  
**RESIDENCE**  
 KEBET RIDGE ROAD  
 WOODSIDE, CA 94062

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PROJECT No: 16-6101  
 DATE: 07/08/2016  
 SCALE: AS SHOWN  
 DESIGN/DRAWN: MK  
 CHECKED: IK

SHEET TITLE

SEPTIC SYSTEM DETAILS

SS1.2

**Langley Hill Quarry**  
 Septic Systems Installed & Repaired  
 Lic. No. A702033  
 BMC Certified Installer No. 08-01  
 Ph: 650-851-0129

Tested By: KEVIN VAUGHN • Soil Permeability Tester 650-87  
 Observed in Field By: *Kevin Vaughn* Date: *05/22/2016*

Observed in Field By: *Kevin Vaughn* Date: *05/22/2016*

| 1/2 HOUR INTERVALS | READINGS | HOLE #1 | HOLE #2 | HOLE #3 | HOLE #4 | HOLE #5 | HOLE #6 |
|--------------------|----------|---------|---------|---------|---------|---------|---------|
| 8:30               | FINISH   | 5 3/4"  | 7 1/2"  | 2 3/4"  | 2 3/4"  | 2 3/4"  | 11 7/8" |
| 12:00              | START    | 4 1/2"  | 5"      | 3 3/4"  | 3 3/4"  | 3 3/4"  | 6"      |
|                    | = DIFF.  | 1 1/2"  | 2 3/4"  | 4 3/4"  | 5 3/4"  | 4 3/4"  | 5 7/8"  |
| 2:30               | FINISH   | 5 3/4"  | 7 1/2"  | 2 3/4"  | 2 3/4"  | 2 3/4"  | 11 7/8" |
| 2:30               | START    | 4 1/2"  | 5"      | 3 3/4"  | 3 3/4"  | 3 3/4"  | 6"      |
|                    | = DIFF.  | 1 1/2"  | 2 3/4"  | 4 3/4"  | 5 3/4"  | 4 3/4"  | 5 7/8"  |
| 4:30               | FINISH   | 5 3/4"  | 7 1/2"  | 2 3/4"  | 2 3/4"  | 2 3/4"  | 11 7/8" |
| 4:30               | START    | 4 1/2"  | 5"      | 3 3/4"  | 3 3/4"  | 3 3/4"  | 6"      |
|                    | = DIFF.  | 1 1/2"  | 2 3/4"  | 4 3/4"  | 5 3/4"  | 4 3/4"  | 5 7/8"  |
| 6:30               | FINISH   | 5 3/4"  | 7 1/2"  | 2 3/4"  | 2 3/4"  | 2 3/4"  | 11 7/8" |
| 6:30               | START    | 4 1/2"  | 5"      | 3 3/4"  | 3 3/4"  | 3 3/4"  | 6"      |
|                    | = DIFF.  | 1 1/2"  | 2 3/4"  | 4 3/4"  | 5 3/4"  | 4 3/4"  | 5 7/8"  |
| 8:30               | FINISH   | 5 3/4"  | 7 1/2"  | 2 3/4"  | 2 3/4"  | 2 3/4"  | 11 7/8" |
| 8:30               | START    | 4 1/2"  | 5"      | 3 3/4"  | 3 3/4"  | 3 3/4"  | 6"      |
|                    | = DIFF.  | 1 1/2"  | 2 3/4"  | 4 3/4"  | 5 3/4"  | 4 3/4"  | 5 7/8"  |
| 10:30              | FINISH   | 5 3/4"  | 7 1/2"  | 2 3/4"  | 2 3/4"  | 2 3/4"  | 11 7/8" |
| 10:30              | START    | 4 1/2"  | 5"      | 3 3/4"  | 3 3/4"  | 3 3/4"  | 6"      |
|                    | = DIFF.  | 1 1/2"  | 2 3/4"  | 4 3/4"  | 5 3/4"  | 4 3/4"  | 5 7/8"  |
| 12:30              | FINISH   | 5 3/4"  | 7 1/2"  | 2 3/4"  | 2 3/4"  | 2 3/4"  | 11 7/8" |
| 12:30              | START    | 4 1/2"  | 5"      | 3 3/4"  | 3 3/4"  | 3 3/4"  | 6"      |
|                    | = DIFF.  | 1 1/2"  | 2 3/4"  | 4 3/4"  | 5 3/4"  | 4 3/4"  | 5 7/8"  |
| 2:30               | FINISH   | 5 3/4"  | 7 1/2"  | 2 3/4"  | 2 3/4"  | 2 3/4"  | 11 7/8" |
| 2:30               | START    | 4 1/2"  | 5"      | 3 3/4"  | 3 3/4"  | 3 3/4"  | 6"      |
|                    | = DIFF.  | 1 1/2"  | 2 3/4"  | 4 3/4"  | 5 3/4"  | 4 3/4"  | 5 7/8"  |

APPLICANTS NAME: LANGLEY HILL QUARRY PHONE: 650-851-0129  
 OWNERS NAME: *Bill Kesteven* APN: *075-321-220*  
 ADDRESS: *600 Kebet Ridge Rd Woodside, CA*  
 SIZE OF PARCEL: \_\_\_\_\_ WATER SOURCE: *WELL*  
 WET WEATHER TESTING REQUIRED?  YES  NO DEPTH TO GROUND WATER: *11' ABOVE GROUND*  
 SOIL LOG: *Silty sandy clay overlayer w/ fractured sandstone bedrock*

SAN MATEO COUNTY-LAND USE  
 ENVIRONMENTAL HEALTH SERVICES  
 Field & Data Sheet  
 (415) 363-4325  
 FAX: (415) 363-7882

APN# *075-321-220* JOB# \_\_\_\_\_ Date *10/26/97*  
 SAN ADDRESS: *600 Kebet Ridge Rd* Applicant: *Pickering, W.*  
 CITY: *Woodside* ZONE: \_\_\_\_\_

On-site to observe (final) percolation test readings:

| (10) 0:30 am | #1     | #2 | #3     | #4 | #5 | #6     |
|--------------|--------|----|--------|----|----|--------|
| Start:       | 4 3/4" | 7" | 5 3/4" | 5" | 4" | 6"     |
| Finish:      | 4 3/4" | 7" | 7 1/2" | 6" | 6" | 5 3/4" |
|              | 1 1/4" | 2" | 1 3/4" | 1" | 2" | 1 3/4" |

on ruler, reading may be difficult at 1/4" intervals

Silty, sandy clayey overlayer, w/ extremely friable sandstone (bedrock) layer

See previous inspection report for drawing of percolation test hole locations (10/19/97)

→ material clearly "A" percolation rate

*Kevin Vaughn* REHS RECEIVED BY: \_\_\_\_\_

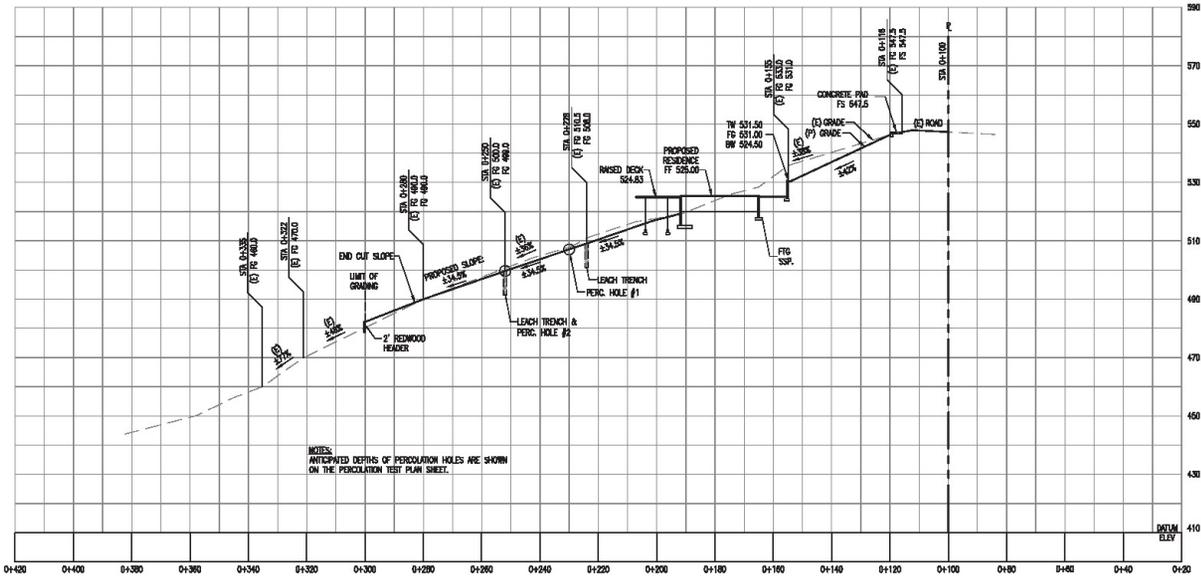
SAN MATEO COUNTY-LAND USE  
 ENVIRONMENTAL HEALTH SERVICES  
 Field & Data Sheet  
 (415) 363-4325  
 FAX: (415) 363-7882

APN# *075-321-220* JOB# \_\_\_\_\_ Date *10/19/98*  
 SAN ADDRESS: *600 Kebet Ridge Rd* Applicant: *Pickering*  
 CITY: *Woodside* ZONE: \_\_\_\_\_

On-site to sketch proposed percolation test hole locations, and to observe required (start of) pre-soaking of 12" test holes. Also to check presence or absence of water in "deep hole" excavation

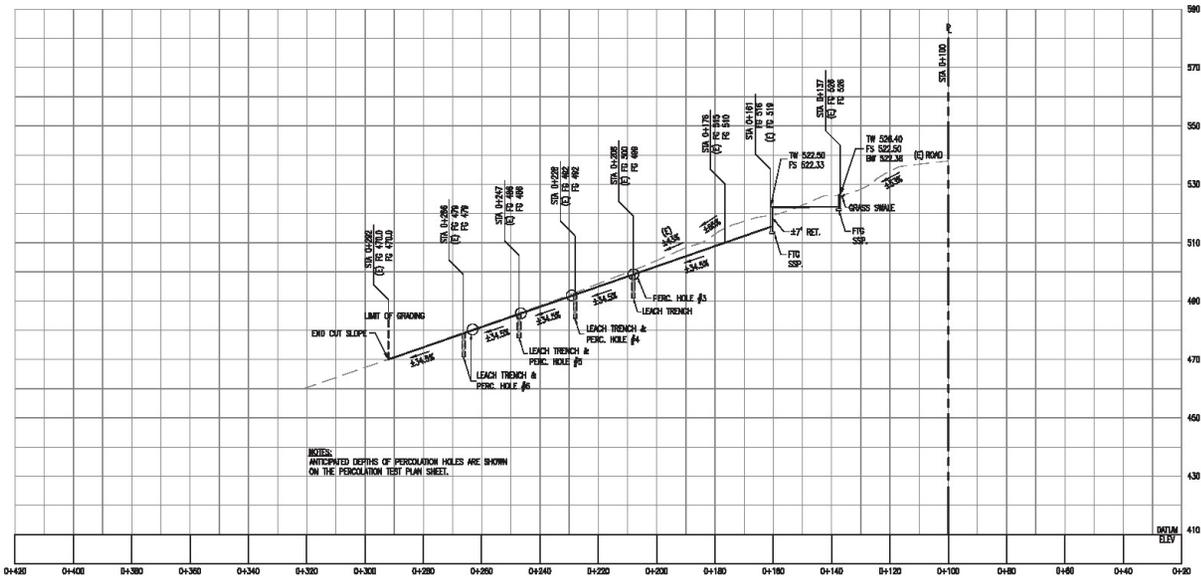
Observed no water signs in 11' deep hole.  indicators required pre-soaking (start) observed at time of inspection

*Kevin Vaughn* REHS RECEIVED BY: \_\_\_\_\_



1 SECTION → SITE CROSS SECTION

SCALE:  
H: 1"=20'  
V: 1"=20'



2 SECTION → SITE CROSS SECTION

SCALE:  
H: 1"=20'  
V: 1"=20'

**GEOTECHNICAL NOTES:**

1. PRIOR TO PLACEMENT OF ENGINEERED FILL, INCLUDING SLAB AND PAVEMENT SECTIONS, THE EXPOSED GROUND SURFACE SHOULD BE SCARIFIED TO A DEPTH OF APPROXIMATELY 6 INCHES, MOISTURE CONDITIONED TO NEAR OPTIMUM, AND COMPACTED TO A MINIMUM 90 PERCENT RELATIVE TO THE MAXIMUM DRY DENSITY (MDD) OF THE MATERIALS AS DESCRIBED BY THE ASTM D 1557 LABORATORY TEST PROCEDURE UNDER THE SUPERVISION AND TESTING OF OUR FIELD ENGINEER. ENGINEERED FILL SHOULD THEN BE SPREAD ONTO THE PREPARED SUBGRADE SOIL IN 6- TO 8-INCH THICK, LOOSE LIFTS, MOISTURE CONDITIONED TO NEAR OPTIMUM, AND COMPACTED TO AT LEAST 90 PERCENT OF MDD.
2. LEVEL BENCHES SHOULD BE GRADED ON SLOPES UP TO 3H:1V PRIOR TO SURFACE SCARIFICATION AND COMPACTION. EXPOSED NATIVE SOIL SHOULD BE PREPARED AS DESCRIBED ABOVE PRIOR TO FILL PLACEMENT. PLACEMENT OF FILL ON SLOPES GREATER THAN 3H:1V WILL REQUIRE A PROPERLY DRAINED KEY AT THE TOE. EXCAVATED A MINIMUM DEPTH OF 3 FEET IN THE BEDROCK MATERIALS. THE BASE OF THE KEY SHOULD BE GRADED TO A MINIMUM SLOPE OF 2 PERCENT INTO THE HILL SIDE TO FACILITATE A POSITIVE SLOPE TO THE SUBDRAIN. SUBDRAINAGE SHOULD CONSIST OF MINARI 142N FILTER FABRIC LINING THE WALLS AND BASE OF THE KEY, ONTO WHICH A MINIMUM 4-INCH DIAMETER SCHEDULE 40 PVC PIPE IS PLACED AT A 2 PERCENT SLOPE IN THE DIRECTION OF DISCHARGE. THE PIPE SHOULD THEN BE COVERED WITH AT LEAST 2 FEET OF CLEAN ¾- TO 1½-INCH CRUSHED ROCK AND COVERED WITH FILTER FABRIC TO SEPARATE THE PIPE DRAIN SYSTEM FROM THE ENGINEERED BACKFILL AS DESCRIBED ABOVE. THE UPSTREAM END OF THE PERFORATED PIPE SHOULD BE CONSTRUCTED WITH A SNEEP FITTING TO A MINIMUM 4-INCH DIAMETER, SOLID SCHEDULE 40 PVC CLEANOUT PIPE.
3. ONCE THE KEY IS FILLED WITH COMPACTED EARTH, LEVEL BENCHES SHALL BE CUT TO EXPOSE BEDROCK AS THE FILL RISES TO THE FINISHED SURFACE. BENCH SUBDRAINAGE REQUIREMENTS WILL BE ASSESSED DURING GRADING, HOWEVER, FOR PLANNING ASSUME INSTALLATION OF A SUBDRAIN AT THE REAR OF EVERY OTHER BENCH ELEVATION ABOVE THE KEY SUBDRAIN. AFTER THE EXPOSED, NATIVE SOIL SURFACE IS EXPOSED, IT SHOULD BE SCARIFIED AT LEAST 6 INCHES DEEP, MOISTURE CONDITIONED TO NEAR OPTIMUM AND COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY OF THE MATERIALS. ONCE THE BENCH SURFACE IS PREPARED, SOIL SUITABLE FOR ENGINEERED FILL SHALL BE PLACED IN LOOSE, MAXIMUM 8-INCH THICK LIFTS, MOISTURE CONDITIONED TO NEAR OPTIMUM AND COMPACTED TO AT LEAST 90 PERCENT MDD. THE MAXIMUM CUT AND FILL SLOPE FOR THIS PROJECT SHOULD BE NO STEEPER THAN 2H:1V.
4. A REINFORCED CONCRETE 4-INCH WALL TO BE CONSTRUCTED AT THE TOP OF THE FINISHED FILL SLOPE TO SUPPORT AND RETAIN EXCAVATION TO AN APPROVED FINISH ELEVATION.
5. THE CONTRACTOR SHALL REVIEW ALL RECOMMENDATIONS FROM THE GEOTECHNICAL REPORT PRIOR TO BEGINNING CONSTRUCTION OPERATIONS. EXACT FIELD CONDITIONS WILL DICTATE THE EXACT MEASURES REQUIRED IN A COORDINATED EFFORT WITH THE PROJECT'S GEOTECHNICAL ENGINEER.

**EXCAVATION NOTES:**

1. NO DISPERSAL SYSTEM SHALL BE ALLOWED WITHIN SOIL FILL MATERIAL AND THEREFORE ALL LEACH TRENCHES SHALL START AT THE PROPOSED CUT CONDITION TO BE FIELD VERIFIED BY THE PROJECT'S GEOTECHNICAL ENGINEER.
2. PERCOLATION HOLES SHALL BE DUG TO THE EFFECTIVE DEPTH OF THE PROPOSED LEACH FIELDS RELATIVE TO NEW GRADING OR AS OTHERWISE DIRECTED BY ENVIRONMENTAL HEALTH BASED ON FIELD CONDITIONS. HOLES SHALL BE APPROXIMATELY 4' DEEP.
3. ALL DISPERSAL SYSTEMS SHALL HAVE AT LEAST 12 INCHES OF SOIL COVER.
4. APPROPRIATE EROSION CONTROL MEASURES MUST BE EMPLOYED DURING ANY EXCAVATION OR EARTH MOVING ACTIVITIES.



PROJECT CONTACT:  
NORMAN L. UPTON

| DATE:      | DESCRIPTION:           |
|------------|------------------------|
| 07/08/2016 | ISSUE PERMIT SUBMITTAL |
| 07/08/2016 | REVISED                |
| 06/22/2016 | REVISED                |
| 06/22/2016 | REVISED                |

**ATKINS-CONCRA**  
**RESIDENCE**  
KEBET RIDGE ROAD  
WOODSIDE, CA 94062

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|               |            |
|---------------|------------|
| PROJECT No:   | 16-6101    |
| DATE:         | 07/08/2016 |
| SCALE:        | AS SHOWN   |
| DESIGN/DRAWN: | MX         |
| CHECKED:      | IK         |

SHEET TITLE

SEPTIC SYSTEM SECTIONS

SS1.3

FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION

**PROJECT DESCRIPTION:**

AN ONSITE WASTE WATER TREATMENT SYSTEM (OWTMS) WITH GRAVITY DISTRIBUTION FOR FLOW DISPERSAL USING ROCK-FILLED TRENCHES TO SERVE THE DEVELOPMENT A PROPOSED DWELLING. SEE DESIGN CRITERIA NOTES FOR SITE-SPECIFIC TECHNICAL REQUIREMENTS.

**GENERAL DESIGN REQUIREMENTS:**

1. THE PROPOSED ONSITE WASTE WATER TREATMENT SYSTEM (OWTMS) IS PROPOSED IN AREAS WITH SLOPES GREATER THAN 30%. AS SUCH, THE SEPTIC SYSTEM DESIGN SHALL COMPLY WITH THE COUNTY OF SAN MATEO'S CURRENT OWTMS ORDINANCE AS WELL AS THE CURRENT OWTMS SYSTEMS MANUAL (OSM).
2. DUE TO THE EXISTING SITE SLOPES, THE GEOTECHNICAL ENGINEER SHALL REVIEW AND PROVIDE A LETTER OF SUBSTANTIAL CONFORMANCE INDICATING NO CONCERNS WITH SLOPE STABILITY (OWTMS ORD. 84.120).
3. THE COUNTY OF SAN MATEO ENVIRONMENTAL HEALTH DEPARTMENT SHALL BE CONTACTED TO PERFORM A SITE VISIT RELATED TO THE INSTALLATION OF THE PROPOSED SYSTEM.  
LAND USE, SEPTIC & WELLS PROGRAM  
SAN MATEO COUNTY ENVIRONMENTAL HEALTH  
2000 ALAMEDA DE LAS PULGAS, SUITE 100  
SAN MATEO, CA 94443  
MAIN PHONE: (415) 372-4200.
4. CONSTRUCTION OF THE SEWAGE DISPOSAL SYSTEM REQUIRES WRITTEN APPROVAL FROM SAN MATEO COUNTY ENVIRONMENTAL HEALTH.
5. REVISIONS TO PLANS OR SPECIFICATIONS REQUIRE WRITTEN AUTHORIZATION FROM THE SEPTIC SYSTEM DESIGNER.
6. SEPTIC SYSTEM INSTALLATION SHALL FOLLOW THE CURRENT ONSITE WASTE WATER TREATMENT SYSTEM ORDINANCE.
7. THE LOCATION OF THE SEPTIC TANK AND DRAIN FIELD TRENCHES ARE SUBJECT TO FIELD ADJUSTMENTS BY THE DESIGNER WITH APPROVAL OF THE PERMITTING AGENCY. ALL DRAIN FIELD TRENCHES SHALL BE INSTALLED ALONG LEVEL CONTOURS TO ENSURE THAT THE TRENCH BOTTOM IS MAINTAINED LEVEL.
8. TRENCHING WITHIN DRILINES OF EXISTING TREES SHALL REQUIRE HAND DIGGING AND CAUTION TO ENSURE TREE PRESERVATION. COORDINATE WITH THE PROJECT'S ARBORIST AND WORK WITHIN THE CANOPY OF ANY SIGNIFICANT AND/OR HERITAGE TREE.

**SLOPE HATCH LEGEND:**

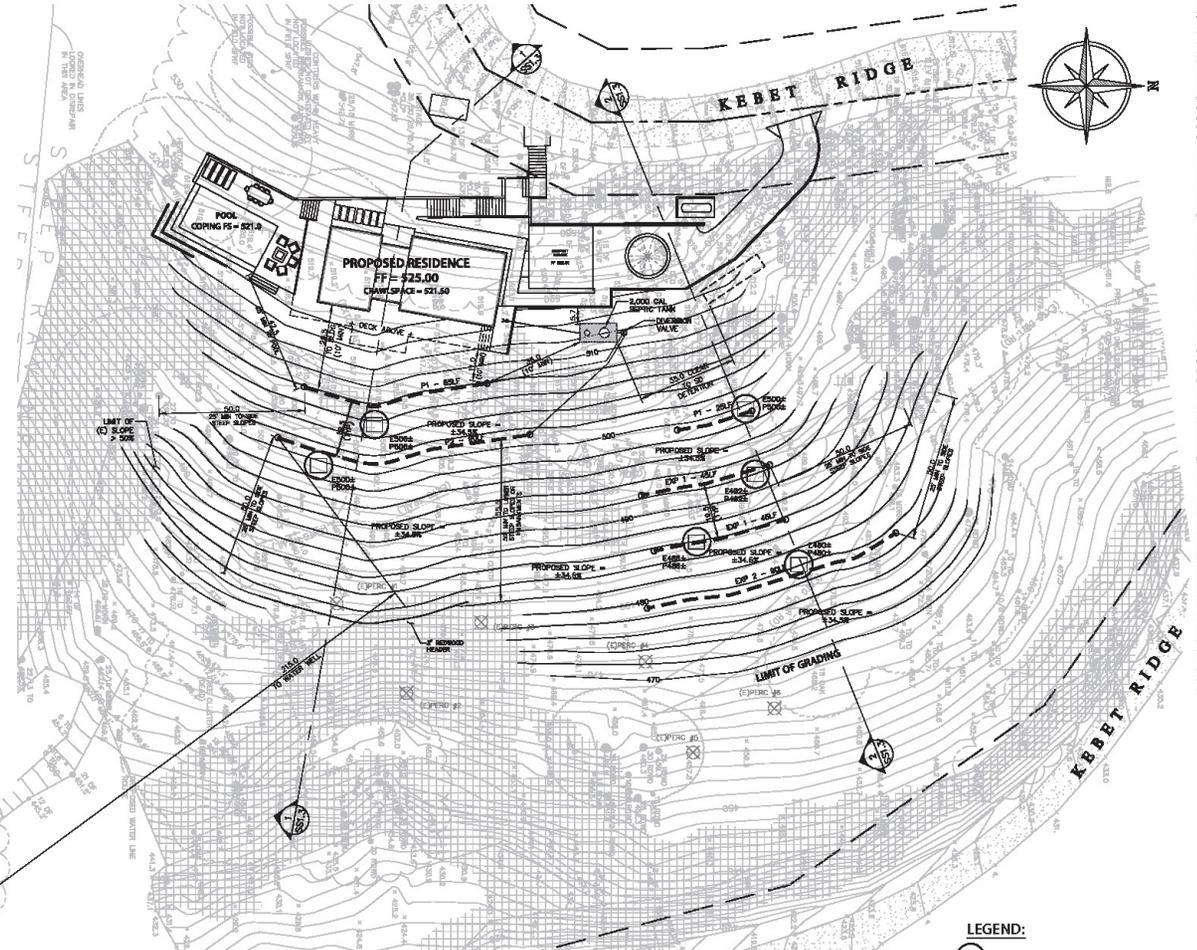
- SITE SLOPES WITHIN THE SCOPE OF WORK AREA
- AREAS OF 30% OR GREATER SLOPE AS DETERMINED BY THE PROJECT SURVEYOR

**DESIGN CRITERIA:**

1. PERCOLATION RATE:  
SOIL PERCOLATION RATED "X" (2) (1/HR MIN)  
PERCOLATION TEST PERFORMED BY LANGLEY HILL QUARRY, OCT. 20, 1998.  
CONFIRMATION TEST EXPECTED: 2019
2. SEPTIC SYSTEM (OWTMS):  
OWTMS WITH GRAVITY DISTRIBUTION (SLOPES UNDER 33%).
3. PROJECT SPECIFIC HORIZONTAL SETBACKS (OWTMS ORD. 484-120):  
(17) BUILDINGS TO SEPTIC TANK  
(107) BUILDINGS TO DISPERSAL FIELDS  
(10) SEPTIC TANK TO DISPERSAL FIELDS  
(30) PL TO SEPTIC TANK  
(27) POOL TO TANKS OR DISPERSAL FIELDS  
(100) WATER WELLS  
(27) STORMWATER STRUCTURES & SWALES  
(92) CUTS / PARABOLIC / STEEP SLOPE OR 10' WITH GEOTECHNICAL APPROVAL
4. DUAL SYSTEM:  
TWO TRENCH DISPERSAL FIELDS, EACH ONE HUNDRED PERCENT OF THE TOTAL SIZE REQUIRED FOR THE DESIGN SEWAGE FLOW, INSTALLED AND INTERCONNECTED WITH AN APPROVED SLOW DRAINAGE DEVICE.
5. DWELLING UNITS FOR DESIGN BASIS:  
4-BEDROOM MAIN RESIDENCE.
6. SIZE OF TANK:  
ONE 1,500 GALLONS SEPTIC TANK REQUIRED  
ONE 2,000 GALLONS SEPTIC TANK PROVIDED
7. TRENCH LENGTH REQUIREMENTS:  
HOUSE = 180' (180' PER FIELD)  
EXPANSION LINES = 180' (180' PER FIELD)

**NOTES:**

1. THE SEPTIC SYSTEM IS NOT PROPOSED ON A SLOPE STEEPER THAN 30% SEE GRADING PLAN.
2. RELATIVE SETBACKS ARE MET AS DESCRIBED ABOVE AND SHOWN ON SHEETS C0.1, C0.3, C0.4 AND S5.1 PER OWTMS 84.120 AND SECTION 3 OF THE OWTMS SYSTEMS MANUAL.
3. THE SEPTIC SYSTEM DESIGN SHALL COMPLY WITH THE DESIGN AND CONSTRUCTION REQUIREMENTS OF SECTION 4 OF THE OSM.



**ABBREVIATIONS:**

- AB AGGREGATE BASE
- AC ASPHALT CONCRETE
- AD AREA DRAIN
- ATD ATRIUM DRAIN
- BFSD BACK FLOW PREVENTION DEVICE
- BSTD BRICKSLOT TRENCH DRAIN
- BW BOTTOM OF WALL ELEVATION
- CB CATCH BASIN
- CL CENTER LINE
- CNWL CRAWL SPACE ELEVATION
- CRP CAST IRON PIPE
- CONC CONCRETE
- COV CHECK VALVE
- DOV DOUBLE DETECTOR CHECK VALVE
- DTF DUCT FILLING PIPE
- DS DROOF DOWN PIPE
- DW DOMESTIC WATER LINE
- DWFL DRYWELL CATCH BASIN
- DWY DRIVEWAY
- EX EXISTING
- EG EXISTING GRADE
- ELEC ELECTRICAL
- EM ELECTRICAL METER
- EP EDGE OF PAVEMENT
- FC FACE OF CURB ELEVATION
- FDC FIRE DEPARTMENT CONNECTION
- FF FINISHED FLOOR ELEVATION
- FG FINISHED GRADE ELEVATION
- FL FLOW LINE ELEVATION
- FM FORCE MAIN LINE
- FS FINISHED SURFACE ELEVATION
- FP FINISHED PAVEMENT ELEVATION
- FW FIRE WATER LINE
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- JP JOINT POLE
- LD LANDSCAPE DRAIN
- LF LINEARS FEET
- LP LOW POINT
- HSW POST INDICATOR VALVE
- PKG PARKING
- POC POINT OF CONNECTION
- RET RETAINED WALL
- RM RIM ELEVATION
- RS SLOPE
- SEE ARCHITECTURAL PLANS
- SDO STORM SUB DRAIN CLEANOUT
- SD STORM DRAIN
- SDCO STORM DRAIN CLEANOUT
- SEC SEE GEOTECHNICAL REPORT
- SCB SIDE INLET CATCH BASIN
- SLP SEE LANDSCAPE PLANS
- SPP SEE PLUMBING PLANS
- SS SANITARY SEWER
- SSP SANITARY SEWER CLEANOUT
- STR SEE STRUCTURAL PLANS
- THE TOP OF WALL ELEVATION
- TYP TYPICAL
- UDS UNDERSLAB DRAIN
- VD VERTICAL DRIP
- W DOMESTIC WATER LINE
- WM WATER METER

SEE SHEETS C0.0 AND C0.1 FOR ADDITIONAL NOTES AND LEGENDS



**LEGEND:**

- PROPOSED PERCOLATION TEST LOCATIONS



PROJECT CONTRACT: 16-6101

| DATE       | DESCRIPTION                | BY | CHKD |
|------------|----------------------------|----|------|
| 07/08/2016 | ISSUE FOR PERMIT SUBMITTAL | JK | JK   |
| 06/25/2016 | REVISIONS                  | JK | JK   |
| 06/25/2016 | REVISIONS                  | JK | JK   |

**ATKINS-CONCRA**  
**RESIDENCE**  
KEBET RIDGE ROAD  
WOODSIDE, CA 94062

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|               |            |
|---------------|------------|
| PROJECT No:   | 16-6101    |
| DATE:         | 07/08/2016 |
| SCALE:        | 1" = 20'   |
| DESIGN/DRAWN: | MK         |
| CHECKED:      | JK         |

SHEET TITLE  
**SEPTIC PERCOLATION TEST PLAN**

**SS-EX1**





0 20 40  
1" = 20'

**LEGEND**

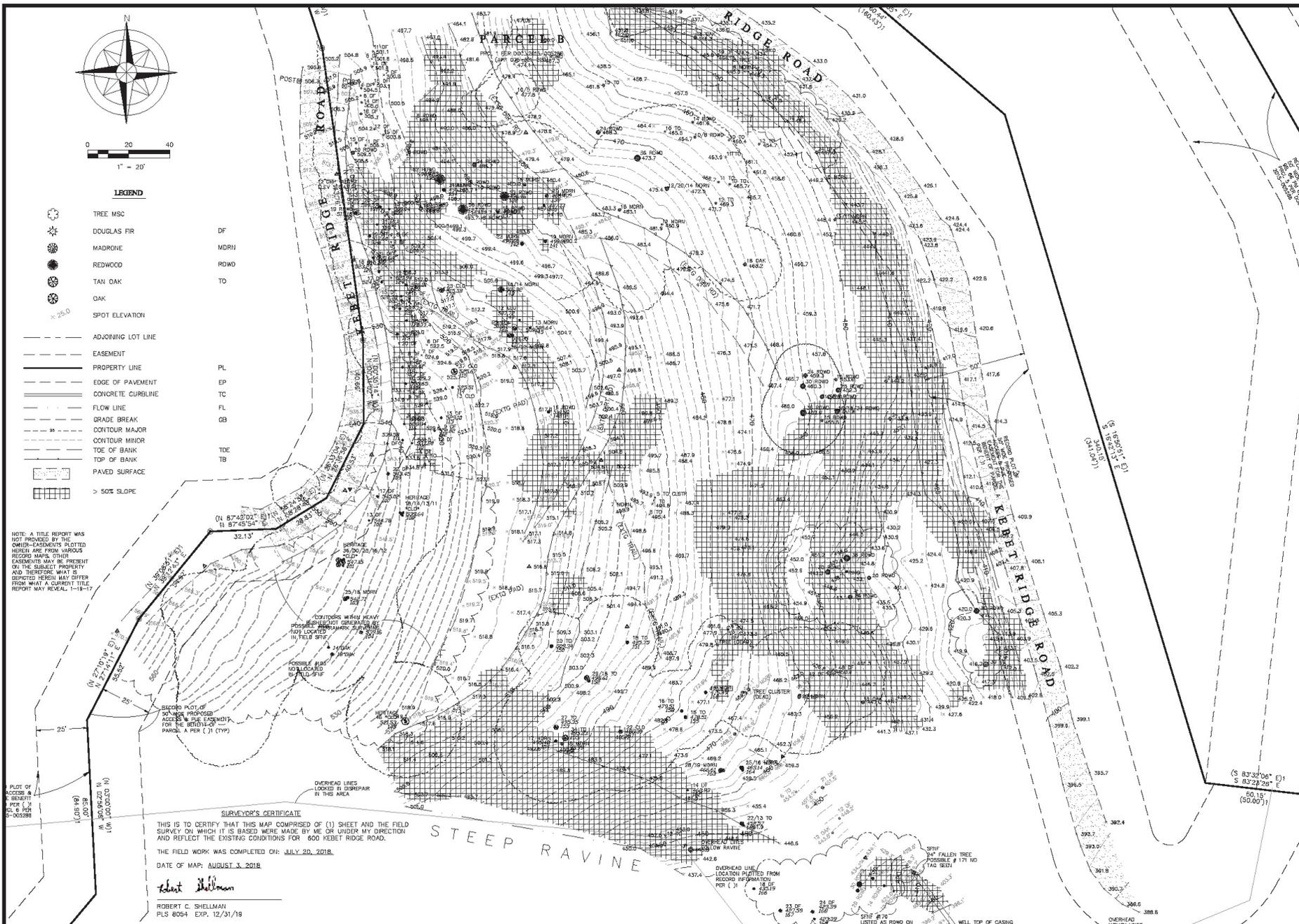
- TREE MSC
- DOUGLAS FIR
- MADRONE
- REDWOOD
- TAN OAK
- OAK
- SPOT ELEVATION
- ADJOINING LOT LINE
- EASEMENT
- PROPERTY LINE
- EDGE OF PAVEMENT
- CONCRETE CURBLINE
- FLOW LINE
- GRADE BREAK
- CONTOUR MAJOR
- CONTOUR MINOR
- TOE OF BANK
- TOP OF BANK
- PAVED SURFACE
- > 50% slope symbol"/> > 50% SLOPE

NOTE: A TITLE REPORT WAS NOT PROVIDED BY THE OWNER-EXAMINERS PLOTTED HEREIN ARE FROM VARIOUS RECORD MAPS. OTHER EXAMINATIONS MAY BE PRESENT ON THE SUBJECT PROPERTY AND THEREFORE WHAT IS REPORTED HEREIN MAY DIFFER FROM WHAT A CURRENT TITLE REPORT MAY REVEAL. 1-18-17

**SURVEYOR'S CERTIFICATE**  
THIS IS TO CERTIFY THAT THIS MAP COMPRISED OF (1) SHEET AND THE FIELD SURVEY ON WHICH IT IS BASED WERE MADE BY ME OR UNDER MY DIRECTION AND REFLECT THE EXISTING CONDITIONS FOR 600 KEBET RIDGE ROAD.

THE FIELD WORK WAS COMPLETED ON: JULY 20, 2018.  
DATE OF MAP: AUGUST 3, 2018.

*Robert C. Shellman*  
ROBERT C. SHELLMAN  
PLS 6054 EXP. 12/31/19



4275 37TH ST., SUITE 432  
SAN DIEGO, CA 92105  
PH: 619.260.0056  
terramark.surveying@gmail.com

**PARTIAL TOPOGRAPHIC SURVEY**  
FOR: KPFOX CIVIL ENGINEERING  
600 KEBET RIDGE ROAD  
WOODSIDE, CA 94062  
SAN MATEO COUNTY CALIFORNIA SHEET 1 OF 1 SHEETS

| NO. | REVISIONS | DATE |
|-----|-----------|------|
|     |           |      |
|     |           |      |
|     |           |      |

**SU-1**  
1 OF 1  
SCALE: 1" = 20'  
DWG: RS  
JOB NO. 18-029  
DATE: 8/03/18



**County of San Mateo - Planning and Building Department**

# **ATTACHMENT D**

COUNTY OF SAN MATEO, PLANNING AND BUILDING DEPARTMENT

**NOTICE OF INTENT TO ADOPT  
SUBSEQUENT MITIGATED NEGATIVE DECLARATION**

A notice, pursuant to the California Environmental Quality Act of 1970, as amended (Public Resources Code 21,000, et seq.), that the following project: Atkins-Concra Single-Family Residence (Amendment), when adopted and implemented, will not have a significant impact on the environment.

FILE NO.: PLN 2016-00150

OWNER: Ryan Atkins, Meghan Concra

APPLICANT: Ryan Akins, Meghan Concra

ASSESSOR'S PARCEL NO.: 075-321-220

LOCATION: Kebet Ridge Road, unincorporated Woodside

**PROJECT DESCRIPTION**

*Project Scope Changes:*

This subsequent Mitigated Negative Declaration has been prepared to address project scope changes since certification of the previous 2017 Initial Study (IS) and Mitigated Negative Declaration (MND). Building changes include creating more interior usable space on the 2nd floor of the proposed two-story residence (no exterior footprint changes) and increasing the decking around the residence by 374 sq. ft. for a new total of 988 sq. ft. of deck. Additionally, the amended project involves modifying the previously approved grading amount of 910 cubic yards (c.y), including 625 c.y. of cut and 285 c.y. of fill, to a new total of 4,140 c.y. of grading, including 3,705 c.y. of cut and 435 c.y. of fill. The additional grading will occur east of the proposed residence and is necessary to achieve less than 35% slope gradient for the proposed leachfield area to allow for a gravity septic system design. The increased grading will increase the number of trees necessary for removal from 37 trees to 50 trees including Douglas fir, canyon live oak, coast redwood, tan oak, Pacific madrone, and coast live oak trees ranging in size from 11 inches diameter at breast height (dbh) to 46 inches dbh, of which 28 require a permit to remove due to their size. A copy of the previously certified IS/MND are included as Attachment C of the Initial Study for reference.

Based on the proposed changes, an amendment to the previously approved Resource Management (RM) Permit and Grading Permit are required.

**FINDINGS AND BASIS FOR A NEGATIVE DECLARATION**

The Current Planning Section has reviewed the initial study for the project and, based upon substantial evidence in the record, finds that:

1. The project will not adversely affect water or air quality or increase noise levels substantially.

2. The project will not have adverse impacts on the flora or fauna of the area.
3. The project will not degrade the aesthetic quality of the area.
4. The project will not have adverse impacts on traffic or land use.
5. In addition, the project will not:
  - a. Create impacts which have the potential to degrade the quality of the environment.
  - b. Create impacts which achieve short-term to the disadvantage of long-term environmental goals.
  - c. Create impacts for a project which are individually limited, but cumulatively considerable.
  - d. Create environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly.

The County of San Mateo has, therefore, determined that the environmental impact of the project is insignificant.

MITIGATION MEASURES included in the project to avoid potentially significant effects:

**Mitigation Measure 1:** All proposed lighting shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area. Manufacturer cut sheets for any exterior light fixtures shall be submitted for review and approval prior to the issuance of a building permit. All exterior fixtures shall be rated dark-sky compliant and designed to minimize light pollution beyond the confines of the subject premises.

**Mitigation Measure 2:** Final finishes of all exterior materials and/or colors shall be non-reflective.

**Mitigation Measure 3:** The applicant shall submit a plan to the Planning and Building Department prior to the issuance of any grading "hard card" that, at a minimum, includes the "Basic Construction Mitigation Measures" as listed in Table 8-2 of the BAAQMD CEQA Guidelines (May 2017). These measures shall be implemented prior to beginning any ground disturbance and shall be maintained for the duration of the project activities:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access road) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent paved roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. All vehicle speeds on unpaved roads shall be limited to 15 miles per hour.

- e. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- f. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- g. Post a publicly visible sign with the telephone number and person to contact at the County regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Bay Area Air Quality Management District's phone number shall also be visible to ensure compliance with applicable regulations.

**Mitigation Measure 4:** All regulated trees proposed for removal shall be replaced at a 1:1 ratio, minimum 15-gallon size stock. All proposed replacement trees shall be shown on a Tree Replanting Plan or Landscape Plan and shall include species, size, and location. Any regulated oak tree species removed shall be replaced with the same species. The Plan shall be submitted to the County Planning and Building Department for review and approval as part of the building permit plan sets.

**Mitigation Measure 5:** In the event that archaeological resources are inadvertently discovered during construction, work in the immediate vicinity (within 25 feet) of the find must stop until a qualified archaeologist can evaluate the significance of the find. Construction activities may continue in other areas beyond the 25-foot stop work area. A qualified archaeologist is defined as someone who meets the Secretary of the Interior's Professional Qualifications Standards in archaeology. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the archaeologist has recommended appropriate measures, and those measures have been approved by the Current Planning Section and implemented.

**Mitigation Measure 6:** In the event that paleontological resources are inadvertently discovered during construction, work in the immediate vicinity (within 25 feet) of the find must stop until a qualified paleontologist can evaluate the significant of the find. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the paleontologist has recommended appropriate measures, and those measures have been approved by the Current Planning Section and implemented.

**Mitigation Measure 7:** Should any human remains be discovered during construction, all ground disturbing work shall cease and the County Coroner shall be immediately notified, pursuant to Section 7050.5 of the State of California Health and Safety Code. Work must stop until the County Coroner can make a determination of origin and disposition of the remains pursuant to California Public Resources Code Section 5097.98 for the naming of a Most Likely Descendant and the recommendations for disposition.

**Mitigation Measure 8:** The applicant shall submit an erosion control plan in compliance with the County's General Erosion and Sediment Control Plan Guidelines Checklist for review and approval as part of the building permit plans submittal.

**Mitigation Measure 9:** No grading shall be allowed during the wet weather season (October 1 through April 30) to avoid increased potential soil erosion, unless the applicant applies for an Exception to the Winter Grading Moratorium and the Community Development Director grants the exception. Exceptions will only be granted if dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other determining factors).

**Mitigation Measure 10:** An Erosion Control and Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit "hard card" and building permit to ensure the approved erosion control and tree protection measures are installed adequately prior to the start of ground disturbing activities.

**Mitigation Measure 11:** Off-site hauling of excavated soil shall be limited to the weekday hours of 9:00 a.m. to 3:00 p.m. Trucks or vehicles associated with the project shall not be parked on the roadway.

**Mitigation Measure 12:** To reduce the impact of construction activities on the private roadway and neighboring properties, comply with the following:

- a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to contain debris. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
- b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
- c. The applicant shall ensure that no construction related vehicles impede through traffic along Kebet Ridge Road. All construction vehicles shall be parked on-site and outside of the Kebet Ridge Road easement, or in locations which do not impede safe access along Kebet Ridge Road. There shall be no overnight storage of construction vehicles or equipment on Kebet Ridge Road.

**Mitigation Measure 13:** In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.

**Mitigation Measure 14:** Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

RESPONSIBLE AGENCY CONSULTATION

None

INITIAL STUDY

The San Mateo County Current Planning Section has reviewed the Environmental Evaluation of this project and has found that the probable environmental impacts are insignificant. A copy of the initial study is attached.

REVIEW PERIOD: February 26, 2019 to March 18, 2019

All comments regarding the correctness, completeness, or adequacy of this Negative Declaration must be received by the County Planning and Building Department, 455 County Center, Second Floor, Redwood City, no later than **5:00 p.m., March 18, 2019.**

CONTACT PERSON

Summer Burlison  
Project Planner, 650/363-1815  
[sburlison@smcgov.org](mailto:sburlison@smcgov.org)

  
\_\_\_\_\_  
Summer Burlison, Planner III

SSB:cmc – SSBDD0081\_WCH.DOCXS

County of San Mateo  
Planning and Building Department

**INITIAL STUDY  
ENVIRONMENTAL EVALUATION CHECKLIST**  
(To Be Completed by Planning Department)

1. **Project Title:** Atkins-Concra Single-Family Residence (Amendment)
2. **County File Number:** PLN 2016-00150
3. **Lead Agency Name and Address:** County of San Mateo Planning and Building Department, 455 County Center, 2nd Floor, Redwood City, CA 94063
4. **Contact Person and Phone Number:** Summer Burlison, Project Planner; 650/363-1815 or [sburlison@smcgov.org](mailto:sburlison@smcgov.org)
5. **Project Location:** Kebet Ridge Road, unincorporated Woodside
6. **Assessor's Parcel Number and Size of Parcel:** 075-321-220; 18.4 acres
7. **Project Sponsor's Name and Address:** Ryan Atkins, Meghan Concra, 3044 Hacienda Street, San Mateo, CA 94403
8. **General Plan Designation:** Open Space
9. **Zoning:** Resource Management (RM)
10. **Description of the Project:**

*Background:*

An Initial Study (IS) and Mitigated Negative Declaration (MND) were previously prepared for the project and certified by the County of San Mateo in 2017. A copy of these previous documents are included as Attachment C for reference. California Environmental Quality Act (CEQA) Guidelines Section 15162(b) states that if changes to a project or its circumstances occur or new information becomes available after adoption of a negative declaration, the lead agency shall prepare a subsequent negative declaration if required under subdivision (a); otherwise the lead agency shall determine whether to prepare a subsequent negative declaration, an addendum, or no further documentation. This subsequent IS and attached MND have been prepared to address project scope changes since certification of the previous 2017 IS/MND.

*Project Scope Changes:*

Project scope changes since the previous 2017 IS/MND are included in the amended plans, see Attachment B. Building changes include creating more interior usable space on the 2<sup>nd</sup> floor of the proposed two-story residence (no exterior footprint changes) and increasing the decking around the residence by 374 sq. ft. for a new total of 988 sq. ft. of deck. Additionally, the amended project involves modifying the previously approved grading amount of 910 cubic

yards (c.y), including 625 c.y. of cut and 285 c.y. of fill, to a new total of 4,140 c.y. of grading, including 3,705 c.y. of cut and 435 c.y. of fill. The additional grading will occur east of the proposed residence and is necessary to achieve less than 35% slope gradient for the proposed leachfield area to allow for a gravity septic system design. The increased grading will increase the number of trees necessary for removal from 37 trees to 50 trees including Douglas fir, canyon live oak, coast redwood, tan oak, Pacific madrone, and coast live oak trees ranging in size from 11 inches diameter at breast height (dbh) to 46 inches dbh, of which 28 require a permit to remove due to their size (being over 55 inches in circumference pursuant to the Development Review Criteria of the RM District Regulations).

Based on the proposed changes, an amendment to the previously approved Resource Management (RM) Permit and Grading Permit are required.

11. **Surrounding Land Uses and Setting:** See 2017 Initial Study, Attachment C.
12. **Other Public Agencies Whose Approval is Required:** None
13. **Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code Section 21080.3.1? If so, has consultation begun?:** No, there are no California Native American Tribes affiliated with the project area that have requested consultation pursuant to Public Resources Code Section 21080.3.1.

**ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED**

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a “Potentially Significant Impact” or “Significant Unless Mitigated” as indicated by the checklist on the following pages.

|   |                                   |   |                                 |   |                                    |
|---|-----------------------------------|---|---------------------------------|---|------------------------------------|
| X | Aesthetics                        |   | Hazards and Hazardous Materials |   | Recreation                         |
|   | Agricultural and Forest Resources | X | Hydrology/Water Quality         | X | Transportation/Traffic             |
| X | Air Quality                       |   | Land Use/Planning               | X | Tribal Cultural Resources          |
| X | Biological Resources              |   | Mineral Resources               |   | Utilities/Service Systems          |
| X | Cultural Resources                |   | Noise                           |   | Mandatory Findings of Significance |
| X | Geology/Soils                     |   | Population/Housing              |   |                                    |
|   | Climate Change                    |   | Public Services                 |   |                                    |

**EVALUATION OF ENVIRONMENTAL IMPACTS**

1. A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to

projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).

2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an Environmental Impact Report (EIR) is required.
4. “Negative Declaration: Less Than Significant with Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analyses,” as described in 5. below, may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration (Section 15063(c)(3)(D)). In this case, a brief discussion should identify the following:
  - a. Earlier Analysis Used. Identify and state where they are available for review.
  - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - c. Mitigation Measures. For effects that are “Less Than Significant with Mitigation Measures Incorporated,” describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
7. Supporting Information Sources. Sources used or individuals contacted should be cited in the discussion.

| 1. <b>AESTHETICS.</b> Would the project:   |  |                                     |                                     |                  |
|--|--|-------------------------------------|-------------------------------------|------------------|
|  | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 1.a. Have a significant adverse effect on a scenic vista, views from existing residential areas, public lands, water bodies, or roads?   |  |                                     | X                                   |                  |
| <p><b>Discussion:</b> The project parcel is located on a southeast-facing ridge of the central Santa Cruz Mountains, west of Skyline Boulevard. The parcel is configured in a flag shape with the eastern “pole” portion fronting La Honda Road (State Route 84) and the western “flag” portion fronting Kebet Ridge Road. A majority of the parcel consists of slope gradients over 35% and contains dense vegetation and tree coverage. The project proposes a new two-story residence in the western portion of the parcel. The residence will have a maximum height of 28’-6”. A new driveway from Kebet Ridge Road down to the project site will be constructed along with a retaining wall of up to 8 ft. in height in some portions that abut 30% or greater downslopes. Development is proposed in the only relatively flat, open area of the parcel that sits approximately 20 ft. below Kebet Ridge Road. The parcel continues in a downward slope east of the project site area all the way to La Honda Road, approximately 0.25 miles east. Although the project site is relatively higher in elevation than most of the surrounding parcels in the area, the project site will not be visible from surrounding residential properties, or Kebet Ridge Road, due to the area’s topography and dense tree coverage. The nearest water body is La Honda Creek which runs through the eastern portion of the parcel abutting La Honda Road, approximately 0.24 miles east of the project site. Therefore, the project will not have a significant adverse effect on any scenic vista, views from residential areas, public lands (none), water bodies, or roads.</p> <p><b>Source:</b> Project Location; Amended Project Plans.</p> |  |                                     |                                     |                  |
| 1.b. Significantly damage or destroy scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?  |  |                                     | X                                   |                  |
| <p><b>Discussion:</b> The project proposes to remove 50 trees in and around the immediate project area in order to accommodate the proposed development. Tree removal consists of Douglas fir, canyon live oak, coast redwood, tan oak, Pacific madrone, and coast live oak trees ranging in size from 12 inches dbh to 46 inches dbh. As mentioned, proposed tree removal will be limited to the immediate project area and to that necessary to construct the project (including the driveway, drainage, and utilities). Given the extent of mature trees on the 18.4-acre parcel and surrounding area, the proposed removals will not cause significant damage to scenic resources, as tree removal will be spread out over the approximate 1-acre area of proposed disturbance to accommodate the building pad and downhill septic system. See staff’s discussion in Section 4.e. below.</p> <p><b>Source:</b> Amended Project Plans; Project Location.</p>  |  |                                     |                                     |                  |

|  |  |  |   |  |
|--|--|--|---|--|
| 1.c. Significantly degrade the existing visual character or quality of the site and its surroundings, including significant change in topography or ground surface relief features, and/or development on a ridgeline? |  |  | X |  |
|--|--|--|---|--|

**Discussion:** The project site is not visible from surrounding residential properties due to existing topography and dense tree coverage in the area. Although a number of trees are proposed for removal along the Kebet Ridge Road roadway frontage, the frontage has a significant change in grade elevation from the roadway such that the house ridge will not significantly protrude above the roadway elevation. The east side of the relatively flat building site area (which is relatively absent of trees) provides a private overlook to the lower immediate and distant region toward La Honda Road. However, due to the significant drop in elevation and dense tree coverage in the area, the project site is not visible from La Honda Road or any public viewpoints. The project proposes to use cement board siding in subtle blue-gray and brown-gray colors with a standing seam metal roof in dark brown to help minimize any visual impacts to the rural character and quality of the area. The house and carport will be of modern design with extended roof lines. The buildings are situated so as to fit into the existing terraced topography of the project area, to the extent feasible.

While the project site is relatively flat, a total of 4,140 cubic yards (c.y.) of grading is proposed, including 3,705 c.y. of cut and 435 c.y. of fill to construct the building pad, hardscape/driveway, in-ground pool, and septic system. The amended project includes an additional 3,080 c.y. of excavation and 150 c.y. of fill that will be focused in the sloped area east of the residence where the septic system is proposed. Additional grading (from that already approved) is necessary in this area to accommodate a gravity septic system below natural grade that is in compliance with the County's standards. The proposed grading is the minimum necessary to implement the project and would not significantly alter the topography or ground surface relief features.

**Source:** Amended Project Plans; Project Location.

|  |  |   |  |  |
|--|--|---|--|--|
| 1.d. Create a new source of significant light or glare that would adversely affect day or nighttime views in the area? |  | X |  |  |
|--|--|---|--|--|

**Discussion:** The majority of the project will be screened from surrounding views by topography, tree coverage, and distance of the development to neighboring properties. However, new light sources and glare from the proposed development have the potential to generate adverse impacts on daytime and nighttime views in the area along the exposed east side of the development as it is situated above the lower distant region to the east. The following mitigation measures are recommended to minimize any adverse daytime or nighttime view impacts from light or glare that the project may introduce to the area:

**Mitigation Measure 1:** All proposed lighting shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area. Manufacturer cut sheets for any exterior light fixtures shall be submitted for review and approval prior to the issuance of a building permit. All exterior fixtures shall be rated dark-sky compliant and designed to minimize light pollution beyond the confines of the subject premises.

**Mitigation Measure 2:** Final finishes of all exterior materials and/or colors shall be non-reflective.

**Source:** Project Location; Amended Project Plans.

|  |  |   |  |   |
|--|--|---|--|---|
| 1.e. Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?   |  | X |  |   |
| <p><b>Discussion:</b> The eastern portion of the 18.4-acre parcel is located in the La Honda Road County Scenic Corridor. However, the western portion of the parcel, including the proposed project site, is located approximately 300 ft. west of the county scenic corridor. See staff's discussion and recommended mitigation measures in Section 1.a. - 1.d. above. No further mitigation is necessary.</p> <p><b>Source:</b> San Mateo County General Plan, Scenic Corridors Map; Project Location; Amended Project Plans.</p> |  |   |  |   |
| 1.f. If within a Design Review District, conflict with applicable General Plan or Zoning Ordinance provisions?   |  |   |  | X |
| <p><b>Discussion:</b> The parcel is not located within a Design Review District.</p> <p><b>Source:</b> San Mateo County Zoning Map.</p>  |  |   |  |   |
| 1.g. Visually intrude into an area having natural scenic qualities?  |  | X |  |   |
| <p><b>Discussion:</b> See staff's discussion in Section 1.a. - 1.d. above.</p> <p><b>Source:</b> Project Location; Amended Project Plans.</p>  |  |   |  |   |

|   |  |                                     |                                     |                  |
|---|--|-------------------------------------|-------------------------------------|------------------|
| <p><b>2. AGRICULTURAL AND FOREST RESOURCES.</b> In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the State's inventory of forestland, including the Forest and Range Assessment Project and the Forest Legacy Assessment Project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:</p> |  |                                     |                                     |                  |
|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 2.a. For lands outside the Coastal Zone, convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?   |  |                                     |                                     | X                |

|  |   |  |  |   |   |
|--|---|--|--|---|---|
| <p><b>Discussion:</b> According to the California Department of Conservation Farmland Mapping and Monitoring Program, the project site is designated “Other Land” and therefore is not Prime Farmland, Unique Farmland, or Farmland of Statewide Importance.</p> <p><b>Source:</b> California Department of Conservation, Farmland Mapping and Monitoring Program Map (2017).</p>  |   |  |  |   |   |
| 2.b.   | Conflict with existing zoning for agricultural use, an existing Open Space Easement, or a Williamson Act contract?  |  |  |   | X |
| <p><b>Discussion:</b> The project parcel is zoned Resource Management (RM), which permits agricultural and residential uses. Furthermore, the parcel is not protected by an existing Open Space Easement or Williamson Act contract.</p> <p><b>Source:</b> San Mateo County Zoning Regulations; San Mateo County Agricultural Preserves Map; Amended Project Plans.</p>  |   |  |  |   |   |
| 2.c.   | Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forestland to non-forest use? |  |  |   | X |
| <p><b>Discussion:</b> The project parcel is not located in an area identified as Farmland or suitable for agricultural activities. Furthermore, the project is not considered forestland pursuant to Public Resources Code Section 12220(g) which defines forestland as land that can support 10% native tree cover of any species and that allows for management of one or more forest resources. The project site is an undeveloped, privately-owned 18.4-acre parcel surrounded by similarly sized residentially developed rural properties. The project area has been previously disturbed by historical access road grading and does not support forestland.</p> <p><b>Source:</b> California Department of Conservation, Farmland Mapping and Monitoring Program Map (2017); Public Resources Code Section 12220(g); Project Location.</p> |   |  |  |   |   |
| 2.d.   | For lands within the Coastal Zone, convert or divide lands identified as Class I or Class II Agriculture Soils and Class III Soils rated good or very good for artichokes or Brussels sprouts?          |  |  |   | X |
| <p><b>Discussion:</b> The project parcel is not located within the Coastal Zone.</p> <p><b>Source:</b> Project Location.</p>   |   |  |  |   |   |
| 2.e.   | Result in damage to soil capability or loss of agricultural land?   |  |  | X |   |
| <p><b>Discussion:</b> The project parcel is located in an area of productive soil resources with timber capabilities, based on the San Mateo County General Plan Productive Soil Resources Map. No timber-growing activities are being conducted on-site. However, the project area is an open area on the parcel confined to approximately 1 acre with proposed development clustered near Kebet Ridge</p>  |   |  |  |   |   |

Road, leaving the majority of the 18.4-acre parcel undisturbed and available for timber production opportunities.

**Source:** San Mateo County General Plan, Productive Soil Resources Map.

|  |  |  |  |   |
|--|--|--|--|---|
| <p>2.f. Conflict with existing zoning for, or cause rezoning of, forestland (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?</p> <p><i>Note to reader: This question seeks to address the economic impact of converting forestland to a non-timber harvesting use.</i></p> |  |  |  | X |
|--|--|--|--|---|

**Discussion:** The property is zoned Resource Management (RM). Residential uses are allowed in the RM Zoning District subject to an RM permit, which the applicant is seeking as part of the subject project. No proposed zoning changes are included as part of this project.

**Source:** San Mateo County Zoning Regulations; Project Plans.

**3. AIR QUALITY.** Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
|---|--|-------------------------------------|-------------------------------------|------------------|
| 3.a. Conflict with or obstruct implementation of the applicable air quality plan? |  |                                     | X                                   |                  |

**Discussion:** The Bay Area 2017 Clean Air Plan (CAP), developed by the Bay Area Air Quality Management District (BAAQMD), is the current regulating air quality plan for San Mateo County. The CAP was created to improve Bay Area air quality and to protect public health and the climate.

The project will not conflict with or obstruct the implementation of the BAAQMD's 2017 CAP. During project implementation, air emissions would be generated from site grading, equipment, and work vehicles; however, any such grading-related emissions would be temporary and localized. Once constructed, use of the development as a single-family residence would have minimal impacts to the air quality standards set forth for the region by the BAAQMD.

**Source:** BAAQMD 2017 Clean Air Plan; Amended Project Plans.

|  |  |   |  |  |
|--|--|---|--|--|
| 3.b. Violate any air quality standard or contribute significantly to an existing or projected air quality violation? |  | X |  |  |
|--|--|---|--|--|

**Discussion:** During project construction, air emissions in the form of fugitive dust and exhaust will be generated from site grading, construction equipment, and construction vehicles. However, any such construction-related emissions will be temporary and localized.

The BAAQMD provides preliminary screening criteria in their 2017 BAAQMD CEQA Guidelines to indicate whether a project would result in the generation of construction-related criteria air-pollutants and/or precursors that exceed defined thresholds of significance. The proposed project, with the basic construction mitigation control measures below, meets the screening criteria indicating a less than significant impact for construction-related activities. Furthermore, Section 2-1-113 (*Exemption, Sources and Operations*) of the BAAQMD General Requirements exempts sources of air pollution associated with the construction of a single-family residence used solely for residential purposes, as well as road construction, from obtaining an Authority to Construct or Permit to Operate.

**Mitigation Measure 3:** The applicant shall submit a plan to the Planning and Building Department prior to the issuance of any grading “hard card” that, at a minimum, includes the “Basic Construction Mitigation Measures” as listed in Table 8-2 of the BAAQMD CEQA Guidelines (May 2017). These measures shall be implemented prior to beginning any ground disturbance and shall be maintained for the duration of the project activities:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access road) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent paved roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. All vehicle speeds on unpaved roads shall be limited to 15 miles per hour.
- e. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- f. All construction equipment shall be maintained and properly tuned in accordance with manufacturer’s specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- g. Post a publicly visible sign with the telephone number and person to contact at the County regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Bay Area Air Quality Management District’s phone number shall also be visible to ensure compliance with applicable regulations.

**Source:** BAAQMD CEQA Guidelines, May 2017; BAAQMD 2017 Clean Air Plan; Amended Project Plans.

|   |  |   |  |  |
|---|--|---|--|--|
| 3.c. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable Federal or State ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? |  | X |  |  |
|---|--|---|--|--|

|   |  |  |   |  |   |
|---|--|--|---|--|---|
| <p><b>Discussion:</b> The San Francisco Bay Area is in non-attainment for ozone and particulate matter (PM), including PM 10 (state status) and PM 2.5 (state status), including the 24-hour PM 2.5 national standard. Therefore, any increase in these criteria pollutants is significant. Implementation of the project will generate temporary increases in these criteria pollutants due to construction vehicle emissions and dust generated from earthwork activities. Mitigation Measure 3 will minimize increases in non-attainment criteria pollutants generated from project construction to a less than significant level. Furthermore, the California Air Resources Board (CARB) provides regulation over vehicles of residents in the State of California, including the operation of any vehicles that would be associated with the proposed single-family residence, to ensure vehicle operating emissions are minimized in the effort towards reaching attainment for Ozone, among other goals. The current project amendment is not expected to generate a significant change to this conclusion.</p> <p><b>Source:</b> BAAQMD Air Quality Standards and Attainment Status, URL (2019); Amended Project Plans.</p> |  |  |   |  |   |
| 3.d.  | Expose sensitive receptors to significant pollutant concentrations, as defined by BAAQMD?  |  | X |  |   |
| <p><b>Discussion:</b> Any pollutant emissions generated from the project will primarily be temporary in nature. The project site is in a rural area with few sensitive receptors (i.e., single-family residences) located within the nearby project vicinity. Additionally, the surrounding tree canopy and vegetation will help to insulate the project area from nearby sensitive receptors. Furthermore, Mitigation Measure 3 will minimize any potential significant exposure to nearby sensitive receptors to a less than significant level.</p> <p><b>Source:</b> Amended Project Plans; Project Location.</p>  |  |  |   |  |   |
| 3.e.  | Create objectionable odors affecting a significant number of people?   |  |   |  | X |
| <p><b>Discussion:</b> The project proposes development of a single-family residence on an 18.4-acre parcel in a rural area of the unincorporated County and therefore, will not generate objectionable odors that could affect a significant number of people.</p> <p><b>Source:</b> Amended Project Plans.</p>   |  |  |   |  |   |
| 3.f.  | Generate pollutants (hydrocarbon, thermal odor, dust or smoke particulates, radiation, etc.) that will violate existing standards of air quality on-site or in the surrounding area? |  | X |  |   |
| <p><b>Discussion:</b> See staff's discussions, and recommended Mitigation Measure 3, in Sections 3.b. and 3.c. above.</p> <p><b>Source:</b> See sources in Section 3.b. and 3.c. above.</p>   |  |  |   |  |   |

| 4. <b>BIOLOGICAL RESOURCES.</b> Would the project:  |  |                                     |                                     |                  |
|---|--|-------------------------------------|-------------------------------------|------------------|
|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 4.a. Have a significant adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?  |  |                                     |                                     | X                |
| <p><b>Discussion:</b> According to review of the California Natural Diversity Database (CNDDDB), there are no special-status plant or animal species identified on the project site or within the immediate vicinity of the project site. Furthermore, the project site is located in an area of the parcel that is believed to have undergone past disturbance given its observed topography relative to the area. The nearest mapped sensitive habitat identified on the County's General Plan Sensitive Habitats Map is riparian habitat along La Honda Creek which runs through the eastern portion of the parcel abutting La Honda Road, approximately 0.24 miles east of the project site. Therefore, the project will not impact any special-status species.</p> <p><b>Source:</b> California Natural Diversity Database; San Mateo County General Plan, Sensitive Habitats Map.</p> |  |                                     |                                     |                  |
| 4.b. Have a significant adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?  |  |                                     |                                     | X                |
| <p><b>Discussion:</b> There are no riparian habitats or other sensitive natural communities located on the project site. See staff's discussion in Section 4.a. above.</p> <p><b>Source:</b> San Mateo County General Plan, Sensitive Habitats Map; Amended Project Plans; Site Visit, 2017.</p>  |  |                                     |                                     |                  |
| 4.c. Have a significant adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?  |  |                                     |                                     | X                |
| <p><b>Discussion:</b> There are no wetlands located within the project area.</p> <p><b>Source:</b> U.S. Fish and Wildlife Service, Wetland Mapper V2 (2017).</p>  |  |                                     |                                     |                  |

|   |  |  |  |   |
|---|--|--|--|---|
| 4.d. Interfere significantly with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites? |  |  |  | X |
|---|--|--|--|---|

**Discussion:** See staff’s discussion in Section 4.a. above.  
**Source:** See Sources referenced in Section 4.a. above.

|   |  |   |  |  |
|---|--|---|--|--|
| 4.e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance (including the County Heritage and Significant Tree Ordinances)? |  | X |  |  |
|---|--|---|--|--|

**Discussion:** The project proposes to remove 50 trees consisting of 20 Douglas fir (ranging in size from 12 inches to 26 inches dbh), 7 canyon live oaks (ranging in size from 11 inches to 46 inches dbh), 2 coast redwoods (16 inches and 36 inches dbh), 7 tan oaks (ranging in size from 14 inches to 34 inches dbh), 12 Pacific madrone (ranging in size from 12 inches to 34 inches dbh), and 2 coast live oaks (18 inches and 25 inches dbh). The trees proposed for removal are the minimum necessary to accommodate the proposed development as these trees are within the footprint of the proposed development (including building, driveway, and utilities). The Development Review Criteria of the Resource Management (RM) District Regulations prohibits the removal of trees with a trunk circumference of more than 55 inches measured at 4.5 feet above the average surface of the ground (or more than 17.5 inches dbh), except as may be required for development permitted under the Zoning Regulations, among other reasons. The RM District allows single-family residences subject to the issuance of an RM Permit. Of the 50 trees proposed for removal, 28 are of a size falling under regulation by the RM District Development Review Criteria and, therefore, require an RM Permit for which the applicant is seeking. As mentioned, removal of these trees are necessary to accommodate the proposed single-family residential development.

One of the trees proposed for removal, a canyon live oak (46 inches dbh) is considered a heritage tree by definition (Section 11,050(g)) under the County’s Heritage Tree Ordinance. The tree is assessed as being in good condition with a slight lean and basal wound on the east side of the trunk. The tree is proposed for removal due to its proximity to the proposed pool, retaining walls, and utilities associated with the project. The County’s Heritage Tree Ordinance considers the proximity to existing or proposed structures and interference with utility services; the necessity of removal to construct improvements or otherwise allow economic or other enjoyment of property; and the number, species, size and location of existing trees in the area as factors for removal of a heritage tree.

In order to mitigate the proposed tree removal, replacement tree plantings are recommended at a 1:1 ratio of 15-gallon (minimum) sized trees of native species for the regulated trees proposed for removal. Furthermore, any regulated oak tree species removed shall be replaced with the same species.

**Mitigation Measure 4:** All regulated trees proposed for removal shall be replaced at a 1:1 ratio, minimum 15-gallon size stock. All proposed replacement trees shall be shown on a Tree Replanting Plan or Landscape Plan and shall include species, size, and location. Any regulated oak tree species removed shall be replaced with the same species. The Plan shall be submitted to the

|  |  |  |   |  |   |
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| <p>County Planning and Building Department for review and approval as part of the building permit plan sets.</p> <p><b>Source:</b> Amended Project Plans; San Mateo County Zoning Regulations; San Mateo County Significant Tree Ordinance; San Mateo County Heritage Tree Ordinance.</p>  |  |  |   |  |   |
| 4.f.   | Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, other approved local, regional, or State habitat conservation plan? |  |   |  | X |
| <p><b>Discussion:</b> There are no adopted Habitat Conservation Plans, Natural Conservation Community Plans, or other approved local, regional, or State habitat conservation plans for the project site.</p> <p><b>Source:</b> California Department of Fish and Wildlife, Habitat Conservation Planning, California Regional Conservation Plans Map.</p>   |  |  |   |  |   |
| 4.g.   | Be located inside or within 200 feet of a marine or wildlife reserve?  |  |   |  | X |
| <p><b>Discussion:</b> The project site is not located inside or within 200 feet of a marine or wildlife reserve.</p> <p><b>Source:</b> U.S. Fish and Wildlife Services, National Wildlife Refuge System Locator.</p>   |  |  |   |  |   |
| 4.h.   | Result in loss of oak woodlands or other non-timber woodlands?   |  | X |  |   |
| <p><b>Discussion:</b> State Senate Concurrent Resolution No. 17 requires state agencies to preserve and protect native oak woodlands to the maximum extent feasible or provide replacement plantings when oak woodlands are removed. For the purposes of the measure, "oak woodlands" means a five-acre circular area containing five or more oak trees per acre. The project site is smaller than the defined five-acre circular area under the State Senate Resolution. Nonetheless, the project does propose to remove non-timber woodlands consisting of a total of 50 trees of various species (i.e., Douglas fir, canyon live oak, coast redwood, tan oak, Pacific madrone, and coast live oak), of which 28 require a permit to remove due to their size (17.5 inches dbh or greater). Replacement plantings are required for the regulated trees proposed for removal. See staff's discussion in Section 4.e. above.</p> <p><b>Source:</b> State Senate Concurrent Resolution No. 17; Project Plans.</p> |  |  |   |  |   |

|  |   |                                     |                                     |                  |
|--|---|-------------------------------------|-------------------------------------|------------------|
| <b>5. CULTURAL RESOURCES.</b> Would the project: |   |                                     |                                     |                  |
|  | <i>Potentially Significant Impacts</i>  | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 5.a.   | Cause a significant adverse change in the significance of a historical resource as defined in CEQA Section 15064.5? |                                     |                                     | X                |

|  |  |  |   |  |  |
|--|--|--|---|--|--|
| <p><b>Discussion:</b> According to a cultural resources survey report prepared by Archaeological/Historical Consultants, the project site does not contain any historical resources.</p> <p><b>Source:</b> Cultural Resources Survey Report, prepared by Archaeological/Historical Consultants, dated October 2016.</p>  |  |  |   |  |  |
| 5.b.   | Cause a significant adverse change in the significance of an archaeological resource pursuant to CEQA Section 15064.5? |  | X |  |  |
| <p><b>Discussion:</b> According to a cultural resources survey report prepared by Archaeological/Historical Consultants, no archaeological resources were discovered in the project area during site reconnaissance work. While the report identifies that archaeological sensitivity in the project area is low due to the steep topography, the discovery of subsurface archaeological materials during grading or construction work is always a possibility. Therefore, the following mitigation measure is recommended:</p> <p><b>Mitigation Measure 5:</b> In the event that archaeological resources are inadvertently discovered during construction, work in the immediate vicinity (within 25 feet) of the find must stop until a qualified archaeologist can evaluate the significance of the find. Construction activities may continue in other areas beyond the 25-foot stop work area. A qualified archaeologist is defined as someone who meets the Secretary of the Interior's Professional Qualifications Standards in archaeology. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the archaeologist has recommended appropriate measures, and those measures have been approved by the Current Planning Section and implemented.</p> <p><b>Source:</b> Cultural Resources Survey Report, prepared by Archaeological/Historical Consultants, dated October 2016.</p> |  |  |   |  |  |
| 5.c.   | Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?                   |  | X |  |  |
| <p><b>Discussion:</b> The project site does not consist of any known or identified unique paleontological resources or geological features. Due to earthwork associated with the project, the project may have the potential to impact any unknown paleontological resources. Therefore, the following mitigation measure is recommended to minimize any potential unearthing and impact to any unknown paleontological resources within the project area.</p> <p><b>Mitigation Measure 6:</b> In the event that paleontological resources are inadvertently discovered during construction, work in the immediate vicinity (within 25 feet) of the find must stop until a qualified paleontologist can evaluate the significant of the find. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the paleontologist has recommended appropriate measures, and those measures have been approved by the Current Planning Section and implemented.</p> <p><b>Source:</b> Cultural Resources Survey Report, prepared by Archaeological/Historical Consultants, dated October 2016.</p>   |  |  |   |  |  |
| 5.d.   | Disturb any human remains, including those interred outside of formal cemeteries?                                      |  | X |  |  |

**Discussion:** In the inadvertent event that human remains are discovered during ground disturbance and/or construction related activities, the following mitigation measure is recommended:

**Mitigation Measure 7:** Should any human remains be discovered during construction, all ground disturbing work shall cease and the County Coroner shall be immediately notified, pursuant to Section 7050.5 of the State of California Health and Safety Code. Work must stop until the County Coroner can make a determination of origin and disposition of the remains pursuant to California Public Resources Code Section 5097.98 for the naming of a Most Likely Descendant and the recommendations for disposition.

**Source:** Cultural Resources Survey Report, prepared by Archaeological/Historical Consultants, dated October 2016.

| 6. GEOLOGY AND SOILS. Would the project:  |                                 |                              |                              |           |
|---|---------------------------------|------------------------------|------------------------------|-----------|
|   | Potentially Significant Impacts | Significant Unless Mitigated | Less Than Significant Impact | No Impact |
| 6.a. Expose people or structures to potential significant adverse effects, including the risk of loss, injury, or death involving the following, or create a situation that results in:   |                                 |                              |                              |           |
| i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other significant evidence of a known fault?<br><br><i>Note: Refer to Division of Mines and Geology Special Publication 42 and the County Geotechnical Hazards Synthesis Map.</i>  |                                 |                              |                              | X         |
| <p><b>Discussion:</b> The project site is not located in an Alquist-Priolo Earthquake Fault Zone or special study area where fault rupture is likely to occur.</p> <p><b>Source:</b> State of California, Division of Mines and Geology, Special Studies Zones Map, Woodside Quadrangle, July 1, 1974.</p>  |                                 |                              |                              |           |
| ii. Strong seismic ground shaking?  |                                 |                              | X                            |           |
| <p><b>Discussion:</b> According to a geotechnical study prepared for the project by Earth Investigations Consultants, the project site is located within a tectonic block between the Pilarcitos and Woodhaven faults (mapped within a mile of the project site). These two faults are considered inactive, but are recognized as significant tectonic features in the San Andreas fault system. The active San Andreas fault is mapped approximately 3 1/2 miles northeast of the project site. Earth Investigations Consultants concludes that the risk of fault ground rupture on the project site is considered remote given the distance to the nearest active fault. Additionally, the project is required to comply with all seismic design criteria of the current California Building Code which sets forth the minimum load</p> |                                 |                              |                              |           |

requirements for the seismic design of structures. Therefore, no additional mitigation is necessary beyond current Building Code compliance.

**Source:** Geotechnical Investigation Report prepared by Earth Investigations Consultants, dated January 19, 2016; Supplemental Geotechnical Plan Review prepared by Geosphere Consultants, Inc., dated September 5, 2018.

|  |  |  |   |  |
|--|--|--|---|--|
| iii. Seismic-related ground failure, including liquefaction and differential settling? |  |  | X |  |
|--|--|--|---|--|

**Discussion:** According to a Geotechnical Investigation Report prepared for the project site by Earth Investigations Consultants, the occurrence of significant liquefaction from strong to violent ground shaking at the project site is low given the shallow depth to competent bedrock.

**Source:** Geotechnical Investigation Report prepared by Earth Investigations Consultants, dated January 19, 2016; Supplemental Geotechnical Plan Review prepared by Geosphere Consultants, Inc., dated September 5, 2018.

|                 |  |  |   |  |
|-----------------|--|--|---|--|
| iv. Landslides? |  |  | X |  |
|-----------------|--|--|---|--|

**Discussion:** The U.S. Geological Survey's Landslide Susceptibility Map of 1972 characterizes the parcel as having moderate susceptibility to landslides. A geotechnical study of the project site prepared by Earth Investigations Consultants concludes that there are no mapped landslides affecting the project site and no evidence of active or dormant landslides in the project area based on site reconnaissance.

**Source:** Geotechnical Investigation Report prepared by Earth Investigations Consultants, dated January 19, 2016; Supplemental Geotechnical Plan Review prepared by Geosphere Consultants, Inc., dated September 5, 2018.

|  |  |  |  |   |
|--|--|--|--|---|
| v. Coastal cliff/bluff instability or erosion?<br><br><i>Note to reader: This question is looking at instability under current conditions. Future, potential instability is looked at in Section 7 (Climate Change).</i> |  |  |  | X |
|--|--|--|--|---|

**Discussion:** The project site is not located on a coastal cliff or bluff.

**Source:** Project Location.

|   |  |   |  |  |
|---|--|---|--|--|
| 6.b. Result in significant soil erosion or the loss of topsoil? |  | X |  |  |
|---|--|---|--|--|

**Discussion:** The project proposes 4,140 cubic yards (c.y.) of grading, including 3,705 c.y. of cut and 435 c.y. of fill. Given the topography of the project site, there is a potential for erosion to occur if proper erosion control measures are not implemented. The applicant has developed an erosion control plan that includes fiber rolls around the downhill perimeter of construction and a stabilized construction entrance from Kebet Ridge Road, as well as other Best Management erosion control practices. Furthermore, staff is recommending the following mitigation measures to further minimize erosion and runoff from the project area and to ensure that grading and erosion control measures are implemented appropriately:

**Mitigation Measure 8:** The applicant shall submit an erosion control plan in compliance with the County's General Erosion and Sediment Control Plan Guidelines Checklist for review and approval as part of the building permit plans submittal.

**Mitigation Measure 9:** No grading shall be allowed during the wet weather season (October 1 through April 30) to avoid increased potential soil erosion, unless the applicant applies for an Exception to the Winter Grading Moratorium and the Community Development Director grants the exception. Exceptions will only be granted if dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other determining factors).

**Mitigation Measure 10:** An Erosion Control and Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit "hard card" and building permit to ensure the approved erosion control and tree protection measures are installed adequately prior to the start of ground disturbing activities.

**Source:** Amended Project Plans; County of San Mateo Erosion Control and Tree Protection Requirements.

|      |   |  |  |   |  |
|------|---|--|--|---|--|
| 6.c. | Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, severe erosion, liquefaction or collapse? |  |  | X |  |
|------|---|--|--|---|--|

**Discussion:** While Earth Investigations Consultants concludes that there is no evidence of any geological hazards that would constrain the project site, there is a potential for significant erosion from project construction. The increased grading will provide a Mitigation Measures 8 - 10 will ensure that erosion from construction activities is minimized.

**Source:** Geotechnical Investigation Report prepared by Earth Investigations Consultants, dated January 19, 2016; Supplemental Geotechnical Plan Review prepared by Geosphere Consultants, Inc., dated September 5, 2018; Amended Project Plans.

|      |  |  |  |  |   |
|------|--|--|--|--|---|
| 6.d. | Be located on expansive soil, as noted in the 2010 California Building Code, creating significant risks to life or property? |  |  |  | X |
|------|--|--|--|--|---|

**Discussion:** The project site is not identified as consisting of expansive soils per the geotechnical study completed by Earth Investigations Consultants.

**Source:** Geotechnical Investigation Report prepared by Earth Investigations Consultants, dated January 19, 2016; Supplemental Geotechnical Plan Review prepared by Geosphere Consultants, Inc., dated September 5, 2018; Amended Project Plans.

|      |   |  |  |   |  |
|------|---|--|--|---|--|
| 6.e. | Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater? |  |  | X |  |
|------|---|--|--|---|--|

**Discussion:** The project amendment includes additional excavation work in the area east of the residence for the proposed septic system to, in part, remove previously imported fill in order to reach native soil conditions for (septic) system. The additional grading work will also allow recontouring in portions of this sloped area to 35% to accommodate a gravity septic system. The project has been preliminarily reviewed by the County of San Mateo Environmental Health Division and has received conditional approval for the location of a septic system capable to serve the proposed residential development.

**Source:** Amended Project Plans; County of San Mateo Environmental Health Division.

| 7. CLIMATE CHANGE. Would the project:  |  |                                     |                                     |                  |
|--|--|-------------------------------------|-------------------------------------|------------------|
|  | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 7.a. Generate greenhouse gas (GHG) emissions (including methane), either directly or indirectly, that may have a significant impact on the environment?  |  |                                     | X                                   |                  |
| <p><b>Discussion:</b> The project includes the removal of 50 trees of various species (Douglas fir, canyon live oak, coast redwood, tan oak, Pacific madrone, and coast live oak) and sizes (ranging in size from 11 inches dbh to 46 inches dbh) to accommodate the proposed development. In context to the surrounding forested area, the removal of trees will not release significant amounts of GHG emissions or significantly reduce GHG sequestering in the area. Furthermore, new trees will be planted to replace the regulated trees proposed for removal.</p> <p>Grading and construction activities associated with the project will result in the temporary generation of GHG emissions primarily from construction-related vehicles and equipment. Any such potential increase in GHG emission levels will be minimal and temporary. Mitigation Measure 3 in Section 3.b. will help ensure that any such temporary emissions are minimized.</p> <p>The project introduces a new single-family residential use to the area. Any increase in GHG emissions associated with a new single-family residential use are not expected to be significant as residential use does not generate a high demand for traffic. Furthermore, the project is required to comply with all current California Codes, including the California Energy Code and all mandatory requirements under the California Green Building Standards Code.</p> <p><b>Source:</b> San Mateo County Energy Efficiency Climate Action Plan (EECAP); Amended Project Plans.</p> |  |                                     |                                     |                  |
| 7.b. Conflict with an applicable plan (including a local climate action plan), policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?   |  |                                     | X                                   |                  |
| <p><b>Discussion:</b> The project does not conflict with the San Mateo County Energy Efficient Climate Action Plan. See staff's discussion in Section 7.a. above.</p> <p><b>Source:</b> San Mateo County Energy Efficiency Climate Action Plan (EECAP).</p>  |  |                                     |                                     |                  |

|  |  |  |   |   |
|--|--|--|---|---|
| 7.c. Result in the loss of forestland or conversion of forestland to non-forest use, such that it would release significant amounts of GHG emissions, or significantly reduce GHG sequestering?  |  |  | X |   |
| <p><b>Discussion:</b> As defined by Public Resources Code Section 12220(g), forestland is land that can support 10% native tree cover of any species, including hardwoods, under natural conditions, and that allows for management of one or more forest resources, including timber, aesthetics, fish and wildlife, biodiversity, water quality, recreation, and other public benefits. While the 18.4-acre project parcel contains more than 10% native tree cover in its current natural condition, the project site is located in an area that is relatively absent of trees. While a total of 50 trees are proposed for removal, the tree loss is relatively insignificant when compared to the dense tree coverage of the parcel and surrounding vicinity. Thus, the proposed tree removals will not release significant amounts of GHG emissions or significantly reduce GHG sequestering in the area. Furthermore, new trees will be planted to replace the regulated trees proposed for removal.</p> <p><b>Source:</b> Public Resources Code, Section 12220(g); San Mateo County Energy Efficiency Climate Action Plan (EECAP); Amended Project Plans.</p> |  |  |   |   |
| 7.d. Expose new or existing structures and/or infrastructure (e.g., leach fields) to accelerated coastal cliff/bluff erosion due to rising sea levels?   |  |  |   | X |
| <p><b>Discussion:</b> The project site is located over 7 miles from the ocean and therefore is not located within the coastal zone.</p> <p><b>Source:</b> Project Location.</p>  |  |  |   |   |
| 7.e. Expose people or structures to a significant risk of loss, injury or death involving sea level rise?  |  |  |   | X |
| <p><b>Discussion:</b> The project site is located over 7 miles from the ocean. Given the distance from the ocean and terrain between the project site and the ocean, the project will not generate any potential risk to life or structures due to sea level rise.</p> <p><b>Source:</b> Project Location.</p>   |  |  |   |   |
| 7.f. Place structures within an anticipated 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?   |  |  |   | X |
| <p><b>Discussion:</b> The project site is not located within a 100-year flood hazard area.</p> <p><b>Source:</b> Federal Emergency Management Agency, Flood Insurance Rate Map, Community Panel 06081C0294E, effective October 16, 2012.</p>   |  |  |   |   |

|  |  |  |  |   |
|--|--|--|--|---|
| 7.g. Place within an anticipated 100-year flood hazard area structures that would impede or redirect flood flows?  |  |  |  | X |
| <p><b>Discussion:</b> The project site is not located within a 100-year flood hazard area.</p> <p><b>Source:</b> Federal Emergency Management Agency, Flood Insurance Rate Map, Community Panel 06081C0294E, effective October 16, 2012.</p> |  |  |  |   |

| 8. HAZARDS AND HAZARDOUS MATERIALS. Would the project:  |  |                                     |                                     |                  |
|---|--|-------------------------------------|-------------------------------------|------------------|
|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 8.a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials (e.g., pesticides, herbicides, other toxic substances, or radioactive material)? |  |                                     |                                     | X                |
| <p><b>Discussion:</b> The project does not involve the use, transport, or disposal of hazardous materials.</p> <p><b>Source:</b> Amended Project Plans.</p>   |  |                                     |                                     |                  |
| 8.b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?                         |  |                                     |                                     | X                |
| <p><b>Discussion:</b> See staff's discussion in Section 8.a. above.</p> <p><b>Source:</b> Amended Project Plans.</p>  |  |                                     |                                     |                  |
| 8.c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?   |  |                                     |                                     | X                |
| <p><b>Discussion:</b> The project does not involve the emittance or handling of hazardous emissions.</p> <p><b>Source:</b> Amended Project Plans.</p>   |  |                                     |                                     |                  |

|  |  |  |   |   |
|--|--|--|---|---|
| 8.d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?   |  |  |   | X |
| <p><b>Discussion:</b> The project site is not listed on a hazardous materials site list.</p> <p><b>Source:</b> California Department of Toxic Substances Control, Hazardous Waste and Substances Site List, URL (2019).</p>  |  |  |   |   |
| 8.e. For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, result in a safety hazard for people residing or working in the project area?   |  |  |   | X |
| <p><b>Discussion:</b> The project is not located within an airport land use plan or within 2 miles of a public airport.</p> <p><b>Source:</b> Project Location.</p>  |  |  |   |   |
| 8.f. For a project within the vicinity of a private airstrip, result in a safety hazard for people residing or working in the project area?  |  |  |   | X |
| <p><b>Discussion:</b> The project is not located within the vicinity of any known private airstrip.</p> <p><b>Source:</b> Project Location.</p>  |  |  |   |   |
| 8.g. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?  |  |  |   | X |
| <p><b>Discussion:</b> The project will be located on a privately-owned parcel where all improvements will be located within the parcel boundaries. A new driveway off of Kebet Ridge Road will be constructed to serve the project; however, the driveway will be required to comply with any applicable driveway standards set forth by the County of San Mateo to ensure that it will not interfere with emergency response services in the area. Additionally, see staff's discussion in Section 16.e.</p> <p><b>Source:</b> Amended Project Plans.</p> |  |  |   |   |
| 8.h. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?   |  |  | X |   |

|   |   |  |  |  |   |
|---|---|--|--|--|---|
| <p><b>Discussion:</b> The project site is located within a Very High Fire Hazard Severity Zone, State Responsibility Area. The project was reviewed by the San Mateo County Fire Department and received conditional approval subject to compliance with Chapter 7A of the California Building Code for ignition resistant construction and materials and acceptable slope and material for the driveway, among other fire prevention requirements. No further mitigation, beyond compliance with the standards and requirements of the San Mateo County Fire Department, is necessary.</p> <p><b>Source:</b> CalFire, Fire Hazard Severity Zones Maps; San Mateo County Fire Department.</p> |   |  |  |  |   |
| 8.i.  | Place housing within an existing 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? |  |  |  | X |
| <p><b>Discussion:</b> The project parcel is not located within a 100-year flood hazard area.</p> <p><b>Source:</b> Federal Emergency Management Agency, Flood Insurance Rate Map, Community Panel 06081C0294E, effective October 16, 2012.</p>  |   |  |  |  |   |
| 8.j.  | Place within an existing 100-year flood hazard area structures that would impede or redirect flood flows?   |  |  |  | X |
| <p><b>Discussion:</b> See staff's discussion in Section 8.i. above.</p> <p><b>Source:</b> See Source Reference in Section 8.i. above.</p>   |   |  |  |  |   |
| 8.k.  | Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?             |  |  |  | X |
| <p><b>Discussion:</b> The project parcel is not located in an area that would be impacted by the failure of a dam or levee as the project site is located in the upper hills on the west side of Skyline Boulevard (State Route 35) and Woodside Road (State Route 84), at a higher elevation than any levee or dam in San Mateo County. Furthermore, the project parcel is not within a dam failure inundation area per the San Mateo County General Plan Hazards Map.</p> <p><b>Source:</b> Project Location; San Mateo County General Plan, Hazards Map.</p>   |   |  |  |  |   |
| 8.l.  | Inundation by seiche, tsunami, or mudflow?  |  |  |  | X |
| <p><b>Discussion:</b> According to the San Mateo County General Plan Hazards Map, the project parcel is not located in a tsunami or seiche inundation area. Furthermore, the project parcel is not located in an area of high landslide susceptibility.</p> <p><b>Source:</b> San Mateo County General Plan, Hazards Map.</p>   |   |  |  |  |   |

| 9. HYDROLOGY AND WATER QUALITY. Would the project:   |  |                                     |                                     |                  |
|--|--|-------------------------------------|-------------------------------------|------------------|
|  | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 9.a. Violate any water quality standards or waste discharge requirements (consider water quality parameters such as temperature, dissolved oxygen, turbidity and other typical stormwater pollutants (e.g., heavy metals, pathogens, petroleum derivatives, synthetic organics, sediment, nutrients, oxygen-demanding substances, and trash))?   |  | X                                   |                                     |                  |
| <p><b>Discussion:</b> The project has the potential to generate polluted stormwater runoff during site grading and construction-related activities. However, these impacts would be reduced to a less than significant level with the implementation of Mitigation Measures 8 - 10.</p> <p>The permanent project will be required to comply with the County's Drainage Policy requiring post-construction stormwater flows to be at, or below, pre-construction flow rates. Additionally, the project must include Low Impact Development (LID) site design measures in compliance with Provision C.3.i. of the County's Municipal Regional Stormwater Permit as the project is a standalone residence that would introduce 8,783 sq. ft. of new impervious surface. These guiding standards will ensure that post-construction water runoff does not violate any water quality standard as the project proposes to direct roof, driveway, and patio runoff to vegetated areas. Furthermore, the proposed septic system has been preliminarily reviewed and conditionally approved by the County Environmental Health Division.</p> <p><b>Source:</b> Amended Project Plans; Amended C.3/C.6 Development Review Checklist; County of San Mateo Drainage Policy; County of San Mateo Environmental Health Division.</p> |  |                                     |                                     |                  |
| 9.b. Significantly deplete groundwater supplies or interfere significantly with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?  |  |                                     | X                                   |                  |
| <p><b>Discussion:</b> The project is not expected to deplete any groundwater supplies or interfere with groundwater recharge. The project proposes to utilize an existing on-site well for domestic water use. Pump tests for the well resulted in a flow rate of 50 gallons per minute (gpm), which meets the minimum standard of 2.5 gpm for domestic use by the Environmental Health Division. There is no evidence that the use of the well would interfere with groundwater supplies of other wells in the area.</p> <p><b>Source:</b> Wilkinson Well &amp; Pump, Well Flow Test, dated December 16, 2014.</p>  |  |                                     |                                     |                  |

|   |  |   |   |  |
|---|--|---|---|--|
| 9.c. Significantly alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner that would result in significant erosion or siltation on- or off-site?   |  |   | X |  |
| <p><b>Discussion:</b> The project does not involve the alteration of the course of a stream or river. Existing drainage patterns, consisting of sheet flow, will be altered by proposed grading and development of the property. An erosion and sediment control plan has been prepared by KPROX Civil Engineering to reduce stormwater-related erosion and sediment from the project site during construction. Additionally, the project has been preliminarily reviewed by the Department of Public Works for drainage compliance and conditionally approved. Furthermore, see staff's discussion in Section 9.a. above.</p> <p><b>Source:</b> Amended Project Plans; County of San Mateo Department of Public Works.</p> |  |   |   |  |
| 9.d. Significantly alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or significantly increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?  |  |   | X |  |
| <p><b>Discussion:</b> The project will introduce a significant amount of new impervious surfaces to the site, however, required compliance with the County's Drainage Policy and Provision C.3.i. of the County's Municipal Regional Stormwater Permit will ensure that any increased runoff is captured and released on-site through appropriate measures (i.e., detention system). Furthermore, see staff's discussion in Section 9.a. and 9.c. above.</p> <p><b>Source:</b> Amended Project Plans.</p>   |  |   |   |  |
| 9.e. Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide significant additional sources of polluted runoff?  |  |   | X |  |
| <p><b>Discussion:</b> There are no existing or planned public stormwater drainage systems in the rural area surrounding Kebet Ridge Road. The project will result in new impervious surfaces and associated runoff. However, the project is required to comply with the County's Drainage Policy to balance pre-and-post-construction flows and Provision C.3.i. of the County's Municipal Regional Stormwater Permit for LID site design measures. Compliance with these standards will prevent impacts to drainage systems and will minimize additional sources of polluted runoff.</p> <p><b>Source:</b> Amended Project Plans.</p>  |  |   |   |  |
| 9.f. Significantly degrade surface or ground-water water quality?   |  | X |   |  |

|  |  |  |   |  |  |
|--|--|--|---|--|--|
| <p><b>Discussion:</b> The project is required to comply with the County's Drainage Policy and Provision C.3.i. of the County's Municipal Regional Stormwater Permit which will prevent significant degradation of surface water quality after construction. Mitigation Measures 8 - 10 will reduce construction-related stormwater impacts to a less than significant level. The project proposes to utilize an existing water well on the property, for which the Environmental Health Division has reviewed and conditionally approved. Furthermore, the well will be required to meet quality and quantity standards set forth by the Environmental Health Division.</p> <p><b>Source:</b> Amended Project Plans.</p> |  |  |   |  |  |
| 9.g.   | Result in increased impervious surfaces and associated increased runoff? |  | X |  |  |
| <p><b>Discussion:</b> The project will result in increased impervious surfaces and associated increased runoff. The implementation of Mitigation Measures 8 - 10 will reduce project-related impacts to a less than significant level. No further mitigation measures are necessary.</p> <p><b>Source:</b> Amended Project Plans.</p>  |  |  |   |  |  |

|  |  |  |                                     |                                     |                  |
|--|--|--|-------------------------------------|-------------------------------------|------------------|
| <p><b>10. LAND USE AND PLANNING.</b> Would the project:</p>  |  |  |                                     |                                     |                  |
|  |  | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 10.a.  | Physically divide an established community?  |  |                                     |                                     | X                |
| <p><b>Discussion:</b> The project does not involve a land division or development that would result in the division of an established community. The project proposes a new single-family residence on an 18.4-acre parcel located in a rural area of the County that will be among other single-family developments on similarly sized rural parcels.</p> <p><b>Source:</b> Amended Project Plans; Project Location.</p>  |  |  |                                     |                                     |                  |
| 10.b.  | Conflict with any applicable land use plan, policy or regulation of an agency with jurisdiction over the project (including, but not limited to, the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect? |  |                                     | X                                   |                  |
| <p><b>Discussion:</b> The project includes the construction of up to an 8-ft. tall retaining wall in the rear 20-ft. setback on the downhill side of the new downslope driveway, where 6 ft. is the maximum allowed height. However, the applicant received approval of a fence height exception, pursuant to Section 6412.2 of the County Zoning Regulations, under the original project permit approval in 2017. There are no changes under the project amendment that will conflict with any land use plan, policy, or regulations. <b>Source:</b> Amended Project Plans.</p> |  |  |                                     |                                     |                  |

|  |  |  |  |   |
|--|--|--|--|---|
| 10.c. Conflict with any applicable habitat conservation plan or natural community conservation plan?   |  |  |  | X |
| <p><b>Discussion:</b> See staff's discussion in Section 4.f. above.<br/> <b>Source:</b> See Referenced Sources in Section 4.f. above.</p>  |  |  |  |   |
| 10.d. Result in the congregating of more than 50 people on a regular basis?  |  |  |  | X |
| <p><b>Discussion:</b> The project does not propose a use that would result in the congregation of more than 50 people on a regular basis.<br/> <b>Source:</b> Amended Project Plans.</p>   |  |  |  |   |
| 10.e. Result in the introduction of activities not currently found within the community?   |  |  |  | X |
| <p><b>Discussion:</b> The project will not introduce a use that is not currently found in the area. The project proposes a single-family residential use, which is found throughout the immediate rural area.<br/> <b>Source:</b> Amended Project Plans; Site Visit 2017.</p>  |  |  |  |   |
| 10.f. Serve to encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas (examples include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)?   |  |  |  | X |
| <p><b>Discussion:</b> The project consists of developing a single-family residence where improvements will be completely within the parcel boundaries of the privately-owned parcel. The adjacent parcels are already developed with single-family residences. Therefore, the project will not serve to encourage off-site development of undeveloped areas or increase the development intensity of surrounding developed areas.<br/> <b>Source:</b> Amended Project Plans.</p> |  |  |  |   |
| 10.g. Create a significant new demand for housing?   |  |  |  | X |
| <p><b>Discussion:</b> The project does not involve a land use that will create a significant new demand for housing as the project consists of the development of a new single-family residence on a privately-owned parcel.<br/> <b>Source:</b> Amended Project Plans.</p>  |  |  |  |   |

| <b>11. MINERAL RESOURCES.</b> Would the project:  |  |                                     |                                     |                  |
|---|--|-------------------------------------|-------------------------------------|------------------|
|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 11.a. Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?  |  |                                     |                                     | X                |
| <p><b>Discussion:</b> The project parcel does not contain any known mineral resources, according to the Mineral Resources Map of the County's General Plan.</p> <p><b>Source:</b> San Mateo County General Plan, Mineral Resources Map.</p> |  |                                     |                                     |                  |
| 11.b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?  |  |                                     |                                     | X                |
| <p><b>Discussion:</b> See staff's discussion in Section 11.a. above.</p> <p><b>Source:</b> San Mateo County General Plan, Mineral Resources Map.</p>  |  |                                     |                                     |                  |

| <b>12. NOISE.</b> Would the project result in:   |  |                                     |                                     |                  |
|--|--|-------------------------------------|-------------------------------------|------------------|
|  | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 12.a. Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?   |  |                                     | X                                   |                  |
| <p><b>Discussion:</b> The project will generate short-term noise associated with grading and construction activities. However, such noises will be temporary, where volume and hours are regulated by Section 4.88.360 (Exemptions) of the County Ordinance Code for Noise Control. Otherwise, any increased long-term project-related noise impacts will be minimal as it would be limited to noise associated with a single-family use. Furthermore, the topography of the area, existing tree coverage, and location of the proposed development on the parcel will ensure that any noise associated with the single-family residential use will not generate a significant impact to the area.</p> <p><b>Source:</b> Amended Project Plans; County Ordinance Code, Section 4.88.360 for Noise Control.</p> |  |                                     |                                     |                  |
| 12.b. Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?   |  |                                     | X                                   |                  |

|  |  |  |   |   |
|--|--|--|---|---|
| <p><b>Discussion:</b> See staff's discussion in Section 12.a. above.</p> <p><b>Source:</b> Amended Project Plans; County Ordinance Code, Section 4.88.360 for Noise Control.</p>   |  |  |   |   |
| 12.c. A significant permanent increase in ambient noise levels in the project vicinity above levels existing without the project?  |  |  | X |   |
| <p><b>Discussion:</b> The project does not involve a significant permanent increase in ambient noise levels in the project vicinity, as the project will only result in noise associated with a single-family residential use. See staff's discussion in Section 12.a. above.</p> <p><b>Source:</b> Amended Project Plans.</p> |  |  |   |   |
| 12.d. A significant temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?  |  |  | X |   |
| <p><b>Discussion:</b> See staff's discussion in Section 12.a. above.</p> <p><b>Source:</b> Amended Project Plans; County Ordinance Code, Section 4.88.360 for Noise Control.</p>   |  |  |   |   |
| 12.e. For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, exposure to people residing or working in the project area to excessive noise levels?  |  |  |   | X |
| <p><b>Discussion:</b> The project is not located within an area regulated by an airport land use plan or within 2 miles of a public airport.</p> <p><b>Source:</b> Project Location.</p>   |  |  |   |   |
| 12.f. For a project within the vicinity of a private airstrip, exposure to people residing or working in the project area to excessive noise levels?   |  |  |   | X |
| <p><b>Discussion:</b> The project is not located within the vicinity of any known private airstrip.</p> <p><b>Source:</b> Project Location.</p>  |  |  |   |   |

| <b>13. POPULATION AND HOUSING.</b> Would the project:   |  |                                     |                                     |                  |
|---|--|-------------------------------------|-------------------------------------|------------------|
|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 13.a. Induce significant population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?  |  |                                     |                                     | X                |
| <p><b>Discussion:</b> All improvements associated with the proposed project are completely within the subject parcel's boundaries and are only sufficient to serve the proposed single-family residence.</p> <p><b>Source:</b> Amended Project Plans.</p> |  |                                     |                                     |                  |
| 13.b. Displace existing housing ( <b>including low- or moderate-income housing</b> ), in an area that is substantially deficient in housing, necessitating the construction of replacement housing elsewhere?   |  |                                     |                                     | X                |
| <p><b>Discussion:</b> The project does not propose to displace existing housing as the project consists of a new single-family residence on an undeveloped parcel.</p> <p><b>Source:</b> Amended Project Plans.</p>                                       |  |                                     |                                     |                  |

| <b>14. PUBLIC SERVICES.</b> Would the project result in significant adverse physical impacts associated with the provision of new or physically altered government facilities, the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services: |  |                                     |                                     |                  |
|--|--|-------------------------------------|-------------------------------------|------------------|
|  | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 14.a. Fire protection?   |  |                                     |                                     | X                |
| 14.b. Police protection?   |  |                                     |                                     | X                |
| 14.c. Schools?   |  |                                     |                                     | X                |
| 14.d. Parks?   |  |                                     |                                     | X                |
| 14.e. Other public facilities or utilities (e.g., hospitals, or electrical/natural gas supply systems)?  |  |                                     |                                     | X                |

**Discussion:** The project is limited to a new single-family residential use and, therefore, will not involve new or physically altered government facilities or increase the need for new or physically altered government facilities. Additionally, the project will not affect service ratios, response times, or other performance objectives for any of the public services in the area.

**Source:** Amended Project Plans.

**15. RECREATION.** Would the project:

|  | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
|--|--|-------------------------------------|-------------------------------------|------------------|
| 15.a. Increase the use of existing neighborhood or regional parks or other recreational facilities such that significant physical deterioration of the facility would occur or be accelerated? |  |                                     |                                     | X                |

**Discussion:** The project will not increase the use of existing neighborhood or regional parks or other recreational facilities such that significant physical deterioration of the facility will occur or be accelerated.

**Source:** Amended Project Plans.

|   |  |  |  |   |
|---|--|--|--|---|
| 15.b. Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? |  |  |  | X |
|---|--|--|--|---|

**Discussion:** The project does not include any recreational facilities as proposed development is limited to a single-family residential use.

**Source:** Amended Project Plans.

**16. TRANSPORTATION/TRAFFIC.** Would the project:

|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
|---|--|-------------------------------------|-------------------------------------|------------------|
| 16.a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including, but not limited to, |  |                                     |                                     | X                |

|   |  |  |  |   |
|---|--|--|--|---|
| intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?  |  |  |  |   |
| <p><b>Discussion:</b> Proposed project improvements include the construction of a new private driveway off of Kebet Ridge Road to serve the proposed single-family residence. The project has been reviewed and conditionally approved by the San Mateo County Fire Department and the County Department of Public Works for emergency access and traffic safety. Additionally, traffic generated from a single-family residence is minimal. Therefore, the project is not expected to conflict with any plan, ordinance, or policy establishing measures of effectiveness for the performance of the circulation system.</p> <p><b>Source:</b> Project Location.</p> |  |  |  |   |
| 16.b. Conflict with an applicable congestion management program, including, but not limited to, level of service standards and travel demand measures, or other standards established by the County congestion management agency for designated roads or highways?  |  |  |  | X |
| <p><b>Discussion:</b> See staff's discussion in Section 16.a. above.</p> <p><b>Source:</b> Project Location.</p>  |  |  |  |   |
| 16.c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in significant safety risks?  |  |  |  | X |
| <p><b>Discussion:</b> The project does not propose to increase air traffic levels or generate any change in air traffic patterns.</p> <p><b>Source:</b> Amended Project Plans; Project Location.</p>  |  |  |  |   |
| 16.d. Significantly increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?   |  |  |  | X |
| <p><b>Discussion:</b> The project proposes to construct a new driveway off of Kebet Ridge Road for single-family residential use. The project has been reviewed and conditionally approved by the County Department of Public Works for traffic safety of the proposed driveway onto Kebet Ridge Road.</p> <p><b>Source:</b> Amended Project Plans; County Department of Public Works.</p>  |  |  |  |   |
| 16.e. Result in inadequate emergency access?  |  |  |  | X |
| <p><b>Discussion:</b> The project has been reviewed and conditionally approved by the San Mateo County Fire Department for adequate emergency access in compliance with all applicable codes and regulations. Kebet Ridge Road is a narrowly improved private road that winds from Highway 84 (La Honda Road) approximately 1.2 miles to a dead end near the project area. A majority of the 3,705</p>  |  |  |  |   |

c.y. of excavated soil will be off-hauled from the project site. In order to ensure that the increased construction truck and construction vehicle traffic will not impact primary emergency access or nearby properties who utilize the roadway as primary access to the Highway (84), the following mitigation measures are recommended:

**Mitigation Measure 11:** Off-site hauling of excavated soil shall be limited to the weekday hours of 9:00 a.m. to 3:00 p.m. Trucks or vehicles associated with the project shall not be parked on the roadway.

**Mitigation Measure 12:** To reduce the impact of construction activities on the private roadway and neighboring properties, comply with the following:

- a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to contain debris. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
- b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
- c. The applicant shall ensure that no construction related vehicles impede through traffic along Kebet Ridge Road. All construction vehicles shall be parked on-site and outside of the Kebet Ridge Road easement, or in locations which do not impede safe access along Kebet Ridge Road. There shall be no overnight storage of construction vehicles or equipment on Kebet Ridge Road.

**Source:** Amended Project Plans; San Mateo County Fire Department.

|   |  |  |  |   |
|---|--|--|--|---|
| 16.f. Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities? |  |  |  | X |
|---|--|--|--|---|

**Discussion:** The project involves the development of a single-family residence on private property and does not require any new, or impact any existing, public transit, bicycle, or pedestrian facilities.

**Source:** Amended Project Plans.

|   |  |  |  |   |
|---|--|--|--|---|
| 16.g. Cause noticeable increase in pedestrian traffic or a change in pedestrian patterns? |  |  |  | X |
|---|--|--|--|---|

**Discussion:** The development of a private property for single-family residential use in a rural residential area is not expected to generate a noticeable increase in pedestrian traffic or a change in pedestrian patterns.

**Source:** Amended Project Plans.

|  |  |  |  |   |
|--|--|--|--|---|
| 16.h. Result in inadequate parking capacity? |  |  |  | X |
|--|--|--|--|---|

**Discussion:** The project involves the construction of a two-car carport, where two covered parking spaces are required pursuant to Section 6119 of the County's Zoning Regulations.

**Source:** Amended Project Plans; County of San Mateo Zoning Regulations.

| 17. TRIBAL CULTURAL RESOURCES. Would the project:  |                                 |                              |                              |           |
|--|---------------------------------|------------------------------|------------------------------|-----------|
|  | Potentially Significant Impacts | Significant Unless Mitigated | Less Than Significant Impact | No Impact |
| 17.a. Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place or cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:  |                                 |                              |                              |           |
| i. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k)   |                                 |                              |                              | X         |
| <p><b>Discussion:</b> The project site is not listed or eligible for listing in the California Register of Historical Resources. Furthermore, the project is not listed in a local register of historical resources, pursuant to any local ordinance or resolution as defined in Public Resources Code Section 5020.1(k).</p> <p><b>Source:</b> Project Location; State Parks, Office of Historical Preservation, Listed California Historical Resources; County General Plan, Background, Historical and Archaeological Resources Appendices.</p> |                                 |                              |                              |           |
| ii. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in Subdivision (c) of Public Resources Code Section 5024.1. (In applying the criteria set forth in Subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)   |                                 | X                            |                              |           |
| <p><b>Discussion:</b> The project is not subject to Assembly Bill 52 for California Native American tribal consultation requirements, as no traditionally or culturally affiliated tribe has requested, in writing, to the County to be informed of proposed projects in the geographic project area. However, in following the Native American Heritage Commission's (NAHC) recommended best practices, Archaeological/Historical Consultants requested a search of the Sacred Lands Files from the NAHC, which resulted in no found records.</p> |                                 |                              |                              |           |

Additionally, Archaeological/Historical Consultants sent tribal consultation requests to five (5) Native American groups and individuals who may have knowledge of cultural resources in the Project area, as obtained from the NAHC. While a representative from the Ohlone Indian Tribe requested additional information on the results of the survey and record search conducted by Archaeological/Historical Consultants, the representative concluded that he had no further comments upon hearing that no cultural resources were found from either search. Nonetheless, the following mitigation measures are recommended based on the NAHC's best practices:

**Mitigation Measure 13:** In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.

**Mitigation Measure 14:** Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

**Source:** Cultural Resources Survey Report, prepared by Archaeological/Historical Consultants, dated October 2016.

| 18. UTILITIES AND SERVICE SYSTEMS. Would the project:   |  |                                     |                                     |                  |
|---|--|-------------------------------------|-------------------------------------|------------------|
|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 18.a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?  |  |                                     |                                     | X                |
| <p><b>Discussion:</b> The project includes the installation of a private, on-site septic system to serve the proposed residential development.</p> <p><b>Source:</b> Amended Project Plans.</p>   |  |                                     |                                     |                  |
| 18.b. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?   |  |                                     |                                     | X                |
| <p><b>Discussion:</b> The project involves the use of an existing private water well located on the property and the installation of a new private septic system. No new or expanded water or wastewater treatment facilities are necessary to serve the proposed project.</p> <p><b>Source:</b> Amended Project Plans.</p> |  |                                     |                                     |                  |

|  |  |  |   |   |
|--|--|--|---|---|
| 18.c. Require or result in the construction of new stormwater drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?  |  |  | X |   |
| <p><b>Discussion:</b> There are no public stormwater drainage facilities along Kebet Ridge Road. The project includes the installation of a detention system on private property to comply with the County's Drainage Policy, none of which are expected to cause a significant adverse environmental impact to the area.</p> <p><b>Source:</b> Amended Project Plans.</p>   |  |  |   |   |
| 18.d. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?  |  |  |   | X |
| <p><b>Discussion:</b> The project proposes to utilize an existing on-site well for domestic water use. According to pump tests preliminarily approved by the Environmental Health Division, the well flow rate was documented at 50 gallons per minute (gpm), which exceeds the County's minimum requirement of 2.5 gpm for domestic well water sources.</p> <p><b>Source:</b> San Mateo County Environmental Health Division; Wilkinson Well &amp; Pump, Well Flow Test, dated December 16, 2014.</p> |  |  |   |   |
| 18.e. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?   |  |  |   | X |
| <p><b>Discussion:</b> The project involves the installation of a private septic system to serve the proposed development. The County Environmental Health Division has reviewed and conditionally approved the preliminary septic design plans.</p> <p><b>Source:</b> Amended Project Plans; San Mateo County Environmental Health Division.</p>   |  |  |   |   |
| 18.f. Be served by a landfill with insufficient permitted capacity to accommodate the project's solid waste disposal needs?  |  |  |   | X |
| <p><b>Discussion:</b> Similar to neighboring properties, the proposed development will receive municipal trash pick-up service by Greenwaste. The single-family residence is expected to generate a minimal increase in waste. Furthermore, there is no indication that the landfill utilized has insufficient capacity.</p> <p><b>Source:</b> Confirmation from Greenwaste (2017).</p>  |  |  |   |   |
| 18.g. Comply with Federal, State, and local statutes and regulations related to solid waste?   |  |  |   | X |

**Discussion:** Waste generated by single-family residential use is expected to be minimal. The project site will receive solid waste service by Greenwaste. Therefore, it is not expected that the use will result in waste production that would result in compliance issues with any Federal, State, or local statutes or regulations.

**Source:** Amended Project Plans.

|  |  |  |  |   |
|--|--|--|--|---|
| 18.h. Be sited, oriented, and/or designed to minimize energy consumption, including transportation energy; incorporate water conservation and solid waste reduction measures; and incorporate solar or other alternative energy sources? |  |  |  | X |
|--|--|--|--|---|

**Discussion:** The proposed residential development will be required to comply with all currently adopted building, electrical, plumbing, and mechanical codes.

**Source:** Amended Project Plans.

|  |  |  |  |   |
|--|--|--|--|---|
| 18.i. Generate any demands that will cause a public facility or utility to reach or exceed its capacity? |  |  |  | X |
|--|--|--|--|---|

**Discussion:** The project will not generate any demands that would exceed the capacity of any public facility or utility. See staff's discussion in Section 17.a. through 17.h. above.

**Source:** Amended Project Plans.

**19. MANDATORY FINDINGS OF SIGNIFICANCE.**

|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
|---|--|-------------------------------------|-------------------------------------|------------------|
| 19.a. Does the project have the potential to degrade the quality of the environment, significantly reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? |  |                                     |                                     | X                |

**Discussion:** According to the review of the California Natural Diversity Database (CNDDDB), there are no special-status plant or animal species identified on the project site or within the immediate vicinity of the project site. Furthermore, the project site is located in an area of the parcel that is believed to have undergone past disturbance given its observed topography relative to the area. The nearest mapped sensitive habitat identified on the County's General Plan Sensitive Habitats

Map is riparian habitat along La Honda Creek which runs through the eastern portion of the parcel abutting La Honda Road, approximately 0.24 miles east of the project site. No other water bodies are located in the near vicinity of the project site, therefore, the project would not cause any adverse impacts to a fish habitat.

**Source:** California Natural Diversity Database; San Mateo County General Plan, Sensitive Habitats Map; Amended Project Plans; Project Location.

|  |  |  |  |          |
|--|--|--|--|----------|
| <p>19.b. Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)</p> |  |  |  | <p>X</p> |
|--|--|--|--|----------|

**Discussion:** All of the parcels along Kebet Ridge Road are developed with single-family residences, except for the project parcel. It is not likely that the incremental effects of this project are considerable when viewed in conjunction with the effects of past, current, and probably future private or public projects in this area. The project site is located in a rural area where the rate and intensity of development is low. While the project will potentially result in site specific impacts as discussed in this document, incorporation of the recommended mitigation measures will reduce these impacts to a less than significant level. No other new residential development is proposed in the area. Furthermore, any future development in the area will be subject to review under the California Environmental Quality Act.

**Source:** Subject Document; Amended Project Plans.

|   |  |          |  |  |
|---|--|----------|--|--|
| <p>19.c. Does the project have environmental effects which will cause significant adverse effects on human beings, either directly or indirectly?</p> |  | <p>X</p> |  |  |
|---|--|----------|--|--|

**Discussion:** The project could result in environmental impacts that could both directly and indirectly cause impacts on human beings, including the introduction of new sources of light and glare, temporary air quality impacts from construction-related emissions, and temporary greenhouse gas emissions from construction-related activities, as discussed within this document. However, the implementation of the recommended mitigation measures included in this document, and mitigation measures proposed in the project plans, will adequately reduce any potential impacts to a less than significant level.

**Source:** Subject Document; Amended Project Plans.

**RESPONSIBLE AGENCIES.** Check what agency has permit authority or other approval for the project.

| AGENCY   | YES | NO | TYPE OF APPROVAL |
|--|-----|----|------------------|
| U.S. Army Corps of Engineers (CE)                                |     | X  |                  |
| State Water Resources Control Board                              |     | X  |                  |
| Regional Water Quality Control Board                             |     | X  |                  |
| State Department of Public Health                                |     | X  |                  |
| San Francisco Bay Conservation and Development Commission (BCDC) |     | X  |                  |
| U.S. Environmental Protection Agency (EPA)                       |     | X  |                  |
| County Airport Land Use Commission (ALUC)                        |     | X  |                  |
| Caltrans   |     | X  |                  |
| Bay Area Air Quality Management District                         |     | X  |                  |
| U.S. Fish and Wildlife Service                                   |     | X  |                  |
| Coastal Commission   |     | X  |                  |
| City   |     | X  |                  |
| Sewer/Water District:  |     | X  |                  |
| Other:   |     | X  |                  |

| <b><u>MITIGATION MEASURES</u></b>  |            |           |
|--|------------|-----------|
|  | <u>Yes</u> | <u>No</u> |
| Mitigation measures have been proposed in project application.   | X          |           |
| Other mitigation measures are needed.  | X          |           |
| <p>The following measures are included in the project plans or proposals pursuant to Section 15070(b)(1) of the State CEQA Guidelines:</p> <p><b><u>Mitigation Measure 1:</u></b> All proposed lighting shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area. Manufacturer cut sheets for any exterior light fixtures shall be submitted for review and approval prior to the issuance of a building permit. All exterior fixtures shall be rated dark-sky compliant and designed to minimize light pollution beyond the confines of the subject premises.</p> <p><b><u>Mitigation Measure 2:</u></b> Final finishes of all exterior materials and/or colors shall be non-reflective.</p> <p><b><u>Mitigation Measure 3:</u></b> The applicant shall submit a plan to the Planning and Building Department prior to the issuance of any grading “hard card” that, at a minimum, includes the “Basic Construction Mitigation Measures” as listed in Table 8-2 of the BAAQMD CEQA Guidelines</p> |            |           |

(May 2017). These measures shall be implemented prior to beginning any ground disturbance and shall be maintained for the duration of the project activities:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access road) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent paved roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. All vehicle speeds on unpaved roads shall be limited to 15 miles per hour.
- e. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- f. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- g. Post a publicly visible sign with the telephone number and person to contact at the County regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Bay Area Air Quality Management District's phone number shall also be visible to ensure compliance with applicable regulations.

**Mitigation Measure 4:** All regulated trees proposed for removal shall be replaced at a 1:1 ratio, minimum 15-gallon size stock. All proposed replacement trees shall be shown on a Tree Replanting Plan or Landscape Plan and shall include species, size, and location. Any regulated oak tree species removed shall be replaced with the same species. The Plan shall be submitted to the County Planning and Building Department for review and approval as part of the building permit plan sets.

**Mitigation Measure 5:** In the event that archaeological resources are inadvertently discovered during construction, work in the immediate vicinity (within 25 feet) of the find must stop until a qualified archaeologist can evaluate the significance of the find. Construction activities may continue in other areas beyond the 25-foot stop work area. A qualified archaeologist is defined as someone who meets the Secretary of the Interior's Professional Qualifications Standards in archaeology. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the archaeologist has recommended appropriate measures, and those measures have been approved by the Current Planning Section and implemented.

**Mitigation Measure 6:** In the event that paleontological resources are inadvertently discovered during construction, work in the immediate vicinity (within 25 feet) of the find must stop until a qualified paleontologist can evaluate the significance of the find. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the paleontologist has recommended appropriate measures, and those measures have been approved by the Current Planning Section and implemented.

**Mitigation Measure 7:** Should any human remains be discovered during construction, all ground disturbing work shall cease and the County Coroner shall be immediately notified, pursuant to Section 7050.5 of the State of California Health and Safety Code. Work must stop until the County Coroner can make a determination of origin and disposition of the remains pursuant to California

Public Resources Code Section 5097.98 for the naming of a Most Likely Descendant and the recommendations for disposition.

**Mitigation Measure 8:** The applicant shall submit an erosion control plan in compliance with the County's General Erosion and Sediment Control Plan Guidelines Checklist for review and approval as part of the building permit plans submittal.

**Mitigation Measure 9:** No grading shall be allowed during the wet weather season (October 1 through April 30) to avoid increased potential soil erosion, unless the applicant applies for an Exception to the Winter Grading Moratorium and the Community Development Director grants the exception. Exceptions will only be granted if dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other determining factors).

**Mitigation Measure 10:** An Erosion Control and Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit "hard card" and building permit to ensure the approved erosion control and tree protection measures are installed adequately prior to the start of ground disturbing activities.

**Mitigation Measure 11:** Off-site hauling of excavated soil shall be limited to the weekday hours of 9:00 a.m. to 3:00 p.m. Trucks or vehicles associated with the project shall not be parked on the roadway.

**Mitigation Measure 12:** To reduce the impact of construction activities on the private roadway and neighboring properties, comply with the following:

- a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to contain debris. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
- b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
- c. The applicant shall ensure that no construction related vehicles impede through traffic along Kebet Ridge Road. All construction vehicles shall be parked on-site and outside of the Kebet Ridge Road easement, or in locations which do not impede safe access along Kebet Ridge Road. There shall be no overnight storage of construction vehicles or equipment on Kebet Ridge Road.

**Mitigation Measure 13:** In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.

**Mitigation Measure 14:** Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

**DETERMINATION** (to be completed by the Lead Agency).

On the basis of this initial evaluation:

I find the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared by the Planning Department.

I find that although the proposed project could have a significant effect on the environment, there WILL NOT be a significant effect in this case because of the mitigation measures in the discussion have been included as part of the proposed project. A MITIGATED NEGATIVE DECLARATION will be prepared.

X

I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.



(Signature)

Planner III

(Title)

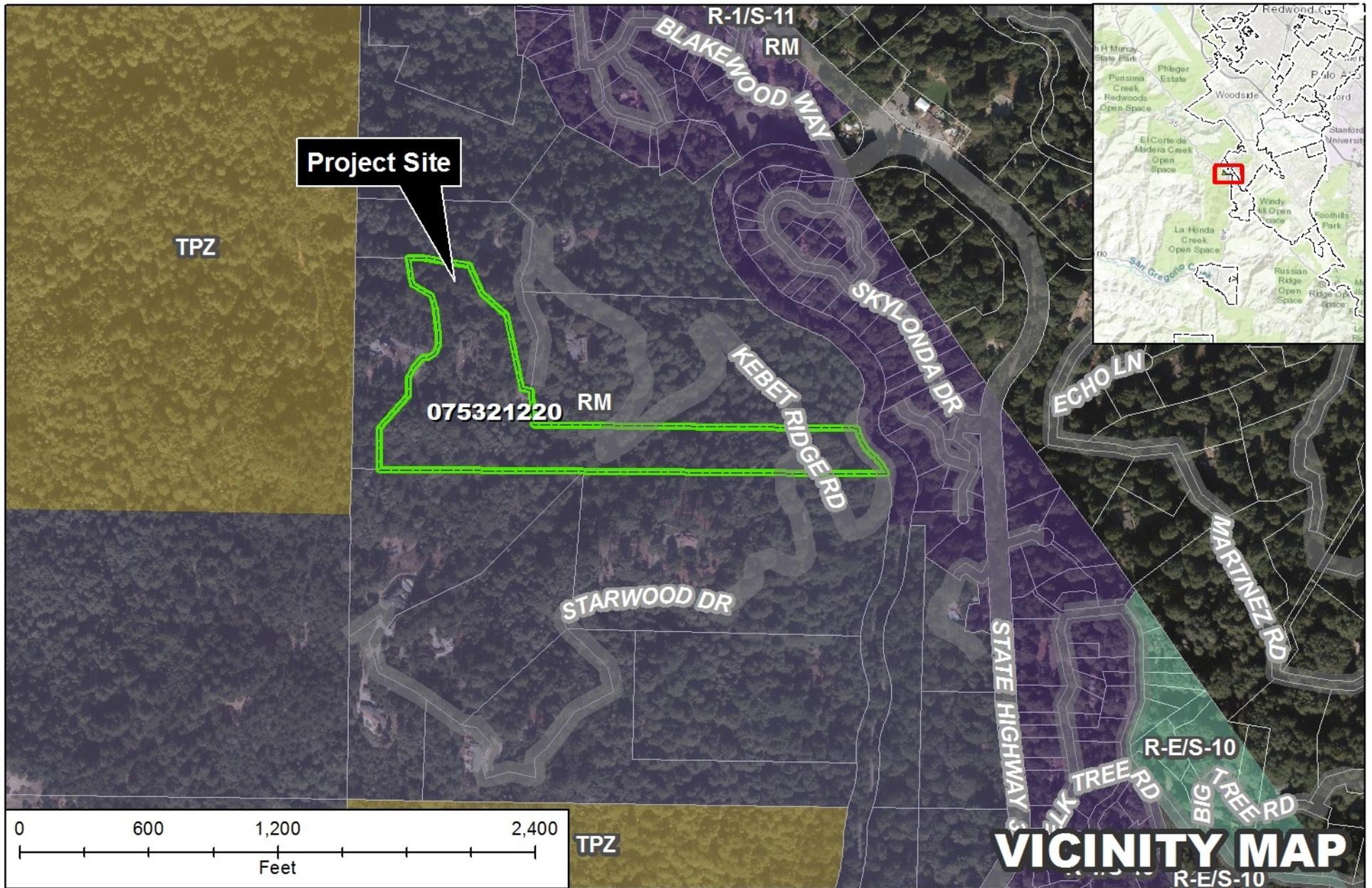
2/22/19

Date

ATTACHMENTS:

- A. Vicinity Map
- B. Amended Project Plans, received November 21, 2018
- C. Certified Initial Study and Mitigated Negative Declaration, 2017

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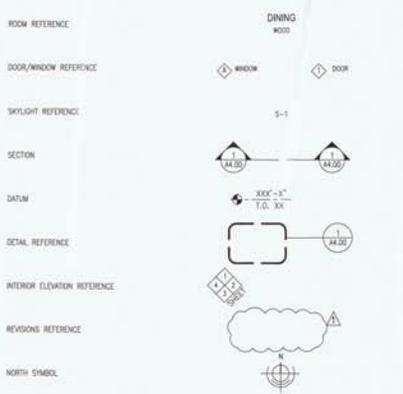


**ATTACHMENT A**

**ABBREVIATIONS**

|        |   |      |  |        |                        |
|--------|---|------|--|--------|------------------------|
| B      | AT  | HW   | HOLLOW METAL                               | TG     | TEMPERED GLASS         |
| C      | CENTERLINE                                  | HOR  | HORIZONTAL                                 | T.O.   | TOP OF ...             |
| P      | PROPERTY LINE                               | H.P. | HIGH POINT                                 | T.O. S | TOP OF SLAB            |
| F      | DIAMETER                                    | HR   | HOUR                                       | TPH    | TOilet PAPER HOLDER    |
| #      | NUMBER OR ROUND                             | HT   | HEIGHT                                     | TP     | TYPICAL                |
| (1)    | EXISTING                                    | HVA  | HEATING, VENTILATION, AND AIR CONDITIONING | UN     | UNLESS NOTED OTHERWISE |
| (N)    | NEW   | HW   | HOT WATER                                  | VCT    | VINYL COMPOSITE TILE   |
| ABV    | ABOVE                                       | LD   | LEDGE DRAINER                              | V.I.F. | VERIFY IN FIELD        |
| AD     | AREA DRAIN                                  | LN   | LNCH                                       | WC     | WATER CLOSET           |
| ADU    | ADJACENT                                    | INSU | INSULATION                                 | WD     | WOOD                   |
| AF     | ABOVE FINISH FLOOR                          | INT  | INTERIOR                                   | WH     | WATER HEATER           |
| ALT    | ALTERNATE                                   | JB   | JUNCTION BOX                               | WL     | WATER LINE             |
| M      | ALUMINUM                                    | JT   | JOINT                                      | W/O    | WITH OUT               |
| APP    | APPROXIMATE                                 | LAM  | LAMINATE                                   | WN     | WINDOW                 |
| ARC    | ARCHITECTURAL                               | LAV  | LAVATORY                                   | WR     | WATERPROOF             |
| H      | BLOCKING                                    | LOC  | LOCATION                                   | WR     | WATER RESISTANT        |
| BLK    | BLOCKING                                    | LOC  | LOCATION                                   |        |                        |
| BN     | BEAM  | L.P. | LOW POINT                                  |        |                        |
| B.O.   | BOTTOM OF ...                               | LT   | LIGHT                                      |        |                        |
| C.B.   | CATCH BASIN                                 | MAX  | MAXIMUM                                    |        |                        |
| C.I.P. | CAST IN PLACE                               | M.C. | MEDICINE CABINET                           |        |                        |
| C.J.   | CONTROL JOINT                               | MD   | MEDIUM DENSITY CHESTNUT                    |        |                        |
| CL     | CEILING                                     | M.C. | MECHANICAL                                 |        |                        |
| C.L.   | CALLING                                     | M.M. | MEMBRANE                                   |        |                        |
| C.L.O. | CLOSET                                      | M.L. | METAL                                      |        |                        |
| CLD    | CLEAR                                       | MFR  | MANUFACTURER                               |        |                        |
| CMU    | CONCRETE MASONRY UNIT                       | MIN  | MINIMUM                                    |        |                        |
| CON    | CONTINUOUS                                  | MIR  | MIRROR                                     |        |                        |
| T      |   | MISC | MISCELLANEOUS                              |        |                        |
| COL    | COLUMN                                      | N/A  | NOT APPLICABLE                             |        |                        |
| CON    | CONCRETE                                    | N/C  | NOT IN CONTRACT                            |        |                        |
| COR    | CORRIDOR                                    | NO   | NUMBER                                     |        |                        |
| C.T.   | CERAMIC TILE                                | NOM  | NOMINAL                                    |        |                        |
| CPT    | CARPET                                      | N.T. | NOT TO SCALE                               |        |                        |
| DBL    | DOUBLE                                      | S.   | ON CENTER                                  |        |                        |
| DEM    | DEMOLITION                                  | O.C. | ON CENTER                                  |        |                        |
| DET.   | DETAIL                                      | O.S. | OVERFLOW DRAIN                             |        |                        |
| D      | DIAMETER                                    | OFF  | OFFICE                                     |        |                        |
| DN     | DIMENSION                                   | OH   | OVERHEAD                                   |        |                        |
| DN     | DOWN  | OPN  | OPENING                                    |        |                        |
| D.O.   | DOOR OPENING                                | OPP  | OPPOSITE                                   |        |                        |
| DW     | DISHWASHER                                  | PL   | PLATE                                      |        |                        |
| DWG    | DRAWING                                     | PLA  | PLASTIC LAMINATE                           |        |                        |
| EA     | EACH  | PLY  | PLYWOOD                                    |        |                        |
| ELE    | ELEVATION                                   | PNL  | PANEL                                      |        |                        |
| EF     | EXHAUST FAN                                 | R    | RISER                                      |        |                        |
| ELEC   | ELECTRICAL                                  | R.A. | RETURN AIR                                 |        |                        |
| ELEV   | ELEVATOR                                    | RAD  | RADIUS                                     |        |                        |
| EQ     | EQUAL                                       | RD   | ROOF DRAIN                                 |        |                        |
| EQM    | EQUIPMENT                                   | REN  | REINFORCED                                 |        |                        |
| EXIS   | EXISTING                                    | REQ  | REQUIRED                                   |        |                        |
| EXT    | EXTENSION                                   | REV  | REVISION                                   |        |                        |
| F.D.   | FLOOR DRAIN                                 | R.H. | RIGHT HAND                                 |        |                        |
| F.F.   | FINISH FLOOR                                | RM   | ROOM                                       |        |                        |
| FR     | FINISH                                      | R.O. | ROUGH OPENING                              |        |                        |
| FLR    | FLOOR, FLOORING                             | SD   | SMOKE DETECTOR                             |        |                        |
| FLU    | FLUORESCENT                                 | S.O. | SAFETY GLAZING                             |        |                        |
| GL     | GLASS                                       | S.O. | SLAB ON GRADE                              |        |                        |
| F.O.   | FACE OF CONCRETE                            | S.O. | STANDARD OUTLINE                           |        |                        |
| F.O.F. | FACE OF FINISH                              | R.   | RECOMMENDATIONS                            |        |                        |
| F.     | FURNISHED BY OWNER, INSTALLED BY CONTRACTOR | SPE  | SPECIFICATION                              |        |                        |
| FT     | FOOT OR FEET                                | SQ   | SQUARE FEET                                |        |                        |
| FUR    | FURRING                                     | SQ   | SQUARE INCH                                |        |                        |
| B.     |   | SSL  | STAINLESS STEEL                            |        |                        |
| GA     | GAUGE                                       | STO  | STORAGE                                    |        |                        |
| GAU    | GALVANIZED                                  | R.   | RADIANT                                    |        |                        |
| GC     | GENERAL CONTRACTOR                          | SYM  | SYMMETRICAL                                |        |                        |
| GL     | GLASS                                       | T    | TREAD                                      |        |                        |
| GR     | GRADE                                       | TB   | TONE/ BAR                                  |        |                        |
| O      | TO BE DETERMINED                            | T.O. | TOP OF CURB                                |        |                        |
| OP     | OPPOSITE                                    | T.O. | TOP OF CURB                                |        |                        |
| OSB    | ORIENTED STRAND BOARD                       | T.O. | TOP OF CURB                                |        |                        |
| HS     | HOSE BIB                                    | T&G  | TONGUE & GROOVE                            |        |                        |

**SYMBOLS LEGEND**



**GENERAL PROJECT NOTES**

**WRITTEN DIMENSIONS:**

- WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK BEFORE PROCEEDING. THE OWNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE OWNER PRIOR TO PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY SAME.
- DIMENSIONS ARE FROM FACE OF FRAMING TO FACE OF FRAMING OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.
- VERIFY HARD DIMENSIONS FOR BUILT-IN ONE PEECE TUBS AND SHOWERS.

**BIDDER DESIGN NOTES:**

- ALL FOUNDATION DAMP PROOFING AND WATERPROOFING IS BIDDER DESIGNED. REFER TO STILLWATER OUTLINE DETAILS, DRAWINGS, AND S.O.R. FOR INSTALLATION AND PRODUCT RECOMMENDATIONS.
- ALL WATER PROOFING SYSTEMS ARE BIDDER DESIGNED. REFER TO STILLWATER OUTLINE WATER PROOFING DETAILS, DRAWINGS, AND S.O.R. FOR INSTALLATION AND PRODUCT RECOMMENDATIONS.
- MECHANICAL SYSTEMS ARE BIDDER DESIGNED. BIDDER DESIGN TO INCLUDE SIZING AND SELECTION OF SYSTEM COMPONENTS. REFER TO S.O.R. FOR STILLWATER RECOMMENDATIONS.
- PLUMBING SYSTEMS AND FIRE SPRINKLER SYSTEMS ARE BIDDER DESIGNED. BIDDER DESIGN TO INCLUDE SIZING AND SELECTION OF SYSTEM COMPONENTS AND SWITCHING. REFER TO S.O.R. FOR STILLWATER RECOMMENDATIONS.
- ELECTRICAL SYSTEMS ARE BIDDER DESIGNED. BIDDER DESIGN TO INCLUDE SIZING AND SELECTION OF SYSTEM COMPONENTS AND SWITCHING. REFER TO S.O.R. FOR STILLWATER RECOMMENDATIONS.
- SITE WORK, INCLUDING UTILITY CONNECTIONS AND FLATWORK, IS BIDDER DESIGN. REFER TO STILLWATER DRAWINGS AND S.O.R. FOR STILLWATER RECOMMENDATIONS.
- KITCHEN, BATHROOM, AND UTILITY ROOM CABINETRY IS BIDDER DESIGN. REFER TO STILLWATER DRAWINGS AND S.O.R. FOR STILLWATER RECOMMENDATIONS.

**VICINITY MAP**



**PROJECT INFORMATION**

**PROJECT TEAM:**

**OWNER:** MEGHAN CONGRA & RYAN ATKINS  
161 W HILLSIDE BLVD  
SAN MATEO, CA 94403

**ARCHITECT:** KPROX CIVIL ENGINEERING  
565 BRADY STREET, SUITE 368  
FREMONT, CA 94531  
CONTACT: MALARST KONTOROVSKY  
MK@KPROX.COM

**SURVEYOR:** L&A BRACE ENGINEERING, INC  
2495 INDUSTRIAL PARK WEST  
HAYWARD, CA 94545, WA 98121  
(97) 510-881-4086

**LANDSCAPE ARCHITECT:** SIMMONS & ASSOCIATES LANDSCAPE ARCHITECTURE  
330 3RD FRENCH CREEK BLVD S  
SAN ANGELES, CA 76909  
CONTACT: WARREN SIMMONS  
WARREN@SIMMONS-ASSOCIATES.COM

**POOL DESIGNER:** SWAN POOLS  
5888 SILVER CREEK VALLEY RD #16  
SAN JOSE, CA 95138  
CONTACT: TONY SCHWEE  
(97) 409-224-7926  
TSCHWEE@SWANPOOLS.COM

**DESIGNER:** STILLWATER DWELLINGS  
211 3RD AVE  
SEATTLE, WA 98121  
CONTACT: GLENN TRAMONS  
GLENN@STILLWATERDWELLINGS.COM

**STRUCTURAL ENGINEER:** SHERWIN SAY FANG  
2124 THIRD AVE, SUITE 100  
SEATTLE, WA 98121  
CONTACT: GREGORY JUTNER  
GJUTNER@SGIENGINEERS.COM

**FIRE PROTECTION:** VICTORY FIRE PROTECTION  
5083 LONG TRAIL WAY  
ANTIOCH, CA  
CONTACT: RYAN FENYES  
(97) 852-340-2417  
INFO@VICTORYFIREPRO.COM

**GENERAL INFORMATION:**

PROPERTY ADDRESS: 800 KEBET RIDGE RD  
WOODSIDE, CA 94092

ASSESSOR'S PARCEL NO: 075-321-220

JURISDICTION: SAN MATEO COUNTY

PARCEL ID: 257159

APPLICABLE CODES: 2016 CALIFORNIA RESIDENTIAL CODE  
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CalGreen)  
2016 CALIFORNIA MECHANICAL CODE (CMC)  
2016 CALIFORNIA ELECTRICAL CODE (CEC)  
2016 CALIFORNIA PLUMBING CODE (CPC)  
2016 CALIFORNIA ENERGY CODE  
2016 CALIFORNIA FIRE CODE  
18.4 ACRES (REV.12/08 '97)

LOT SIZE: 18.4 ACRES (REV.12/08 '97)

USE GROUP: R3 (SINGLE FAMILY)

CONSTRUCTION TYPE: RESIDENTIAL - 1B

FIRE SPRINKLER SYSTEM: NFPA 13D REQUIRED; FIRE SPRINKLER PLANS TO BE SUBMITTED UNDER A SEPARATE FIRE SPRINKLER PERMIT WHICH MUST BE ISSUED WITH OR PRIOR TO ISSUANCE OF BUILDING PERMIT. PLANS MUST BE DESIGNED BY A MECHANICAL ENGINEER OR LICENSED (E-1E) CONTRACTOR. PLANS SHALL MEET SPECIFICATIONS OF FIRE DEPARTMENT (JURISDICTIONAL).

FIRE HAZARD ZONE: SRA INTERF (VERY HIGH FIRE HAZARD ZONE)/NO (MULDTU URBAN INTERFACE ZONE)

FIRE PROTECTED CONSTRUCTION: REQUIRED, IN CONFORMANCE WITH CRC 8327

VEGETATION MANAGEMENT: REQUIRED PER CA FIRE CODE SECT 4906, INCLUDING CA PUBLIC RESOURCES CODE 4291 OR CA GOV'T CODE SECTION 31182 PER CRC 8337-1.5

FIRE SPRINKLER PLANS UNDER SEPARATE PERMIT

POOL AND POOL EQUIPMENT PLANS UNDER SEPARATE PERMIT

SPECIAL INSPECTIONS SUMMARY (SBS 51.2): SOLDER FILE INSTALLATION TO BE INSPECTED PERIODICALLY

**ZONING CODE INFORMATION:**

ZONE: RM

HEIGHT LIMIT: 3 STORIES OR 36 FEET

BUILDING FLOOR AREA: NO MAX

PARCEL COVERAGE: NO MAX

IMPERVIOUS SURFACE AREA: NO MAX

YARD REQUIREMENTS: MINIMUM FRONT YARD SETBACK: 50'  
MINIMUM SIDE YARD SETBACK: 20'  
MINIMUM REAR YARD SETBACK: 20'

PARKING REQUIREMENT: 2 COVERED SPACES

**ENERGY CODE INFORMATION:**

PRESCRIPTIVE: PER 2016 BUILDING ENERGY EFFICIENCY STANDARDS TABLE 150.1-A CLIMATE ZONE 3

| COMPONENT:                   | MINIMUM VALUES | ACTUAL VALUES |
|------------------------------|----------------|---------------|
| CEILING U-FACTOR             | U = 0.32 MAX   | U = 0.28      |
| FLOORS, CONCRETE, RAISED     | Not Req        | N/A           |
| CEILING R-VALUE              | R = 30         | R = 49.5      |
| WALLS ABOVE GRADE (INTERIOR) | R = 13         | R = 28        |
| WALLS BELOW GRADE (EXTERIOR) | R = 5          | N/A           |
| FLOORS, FINISH               | R = 19         | R = 30        |
| FLOORS, CONCRETE, RAISED     | R = 0          | N/A           |
| RADIANT BARRIER (ROOF)       | Not Req        | N/A           |

**PROPOSED RESIDENCE AREAS:**

| AREA                        | AREA       | DECKS                                 | TOTAL    |
|-----------------------------|------------|---------------------------------------|----------|
| FIRST FLOOR (CONDITIONED):  | 1,520 sqft |                                       | 888 sf   |
| SECOND FLOOR (CONDITIONED): | 1,520 sqft | BUILDING FOOTPRINT (HOUSE & CARPORT): | 1,982 sf |
| TOTAL LIVING:               | 3,040 sqft | ROOF AREA (HOUSE & CARPORT):          | 3,381 sf |
| CARPORT AREA:               | 482 sqft   |                                       |          |

**HERS VERIFICATION SUMMARY FROM TITLE 24 ENERGY REPORT**

THE FOLLOWING FEATURES MUST BE FIELD-VERIFIED BY A CERTIFIED HERS RATER:

BUILDING LEVEL VERIFICATION: IAQ MECHANICAL VENTILATION

COOLING SYSTEM VERIFICATION: MINIMUM AIRFLOW, FAN EFFICACY MATTS, CFM

HVAC DISTRIBUTION SYSTEM VERIFICATION: DUCT SEALING

DOMESTIC HOT WATER SYSTEM VERIFICATIONS: NON

**DRAWING LIST - PLANNING PERMIT ADDENDUM**

- A0.00 GENERAL INFORMATION
- A0.05 TYPICAL ASSEMBLIES
- A0.06 TYPICAL ASSEMBLIES
- A0.07 TYPICAL ASSEMBLIES
- SURVEY SU1 (NOT NUMBERED)
- SURVEY SU2 (NOT NUMBERED)
- A1.00 ARCHITECTURAL SITE PLAN
- A2.00 FOUNDATION PLAN
- A2.01 ENTRY LEVEL FLOOR PLAN
- A2.02 UPPER LEVEL FLOOR PLAN
- A2.03 ROOF PLAN
- A2.04 CARPORT PLAN
- A3.00 EXTERIOR ELEVATIONS
- A3.01 EXTERIOR ELEVATIONS
- A3.02 CARPORT EXTERIOR ELEVATIONS
- A4.00 BUILDING SECTIONS
- A4.01 CARPORT BUILDING SECTIONS



3111 350 AVE.  
SEATTLE WA 98112  
TEL: (206) 547-0565  
FAX: (206) 547-0563

1) REPRODUCE DRAWINGS ONLY WITH WRITTEN PERMISSION FROM STILLWATER DWELLINGS  
2) INTELLECTUAL PROPERTY OF STILLWATER DWELLINGS. THESE DRAWINGS MAY ONLY BE USED FOR THE CONSTRUCTION OF THE HOUSE TO BE INCLUDED IN THE PROJECT BIDDING LISTED ON THESE DRAWINGS.  
3) CONSTRUCTION OF THE PROJECT THESE DRAWINGS, EXCEPT ANY WORK PROCEED WITH THE EXPRESS WRITTEN CONSENT GRANTED BY STILLWATER DWELLINGS LLC

600 KEBET Ridge Rd  
Woodside, CA 94062  
TAX PARCEL #: 075-321-220

ATKINS-CONGRA RESIDENCE  
PROJECT #: 15-CONC-221  
PHASE 2 - PLANNING ADDENDUM  
PLN2016-00150

| DATE     | DESCRIPTION        |
|----------|--------------------|
| 8/26/16  | PLANNING SUBMITTAL |
| 11/21/16 | PLANNING ADDENDUM  |

DRAWN: cjt

SHEET  
GENERAL INFORMATION

A0.00

**GENERAL PROJECT NOTES:**

1. SEE COVER SHEET A3.00.

**BIDDER DESIGN PROJECT NOTES:**

1. SEE COVER SHEET A3.00.

**GENERAL SITE PLAN NOTES:**

1. SITE LAYOUT SHOWN IS CONCEPTUAL. FINAL DRIVING, UTILITIES, PAVING, LANDSCAPING, HARDSCAPING, ETC TO BE COORDINATED BY OWNER WITH LANDSCAPE ARCHITECT AND CONTRACTOR UNLESS NOTED OTHERWISE.
2. REFER ALSO TO OWNER-CONSULTANT SURVEY IF ATTACHED.

**EROSION CONTROL NOTES:**

1. AT LEAST PER THE LOCAL JURISDICTIONS MOST STRINGENT REQUIREMENTS.

**SOILS NOTES:**

1. SOILS REPORT GUIDELINES TAKE PRECEDENCE.
2. SOIL SUBGRADES SHALL BE PREPARED AS NEEDED TO ACHIEVE A FIRM, UNLAYERED STATE BEFORE ANY CONCRETE, PAVEMENT, OR FILL SOIL IS PLACED. SEE SOILS REPORT.
3. LOOSE GRANULAR SOILS SHALL BE COMPACT TO A DENSITY COMMENSURATE WITH THE SURROUNDING SOILS. SEE SOILS REPORT.
4. ORGANIC OR SOFT COHESIVE SOILS SHALL BE SHAR EXCAVATED AND REPLACED WITH A GRANULAR STRUCTURAL FILL MATERIAL. SEE SOILS REPORT.
5. FILL MATERIAL SHALL BE PLACED IN HORIZONTAL LIFTS AND AND COMPACTED TO A UNIFORM DENSITY OF AT LEAST 90% OF THE STANDARD PROCTOR OR AT LEAST 90% OF THE MODIFIED PROCTOR.
6. TEMPORARY CUT SLOPES ARE LIMITED PER LOCAL BUILDING CODE.
7. TEMPORARY DRAINAGE MEASURES TO MANAGE WATER DURING CONSTRUCTION SHALL BE PER LOCAL JURISDICTION REQUIREMENTS.

**LEGEND:**

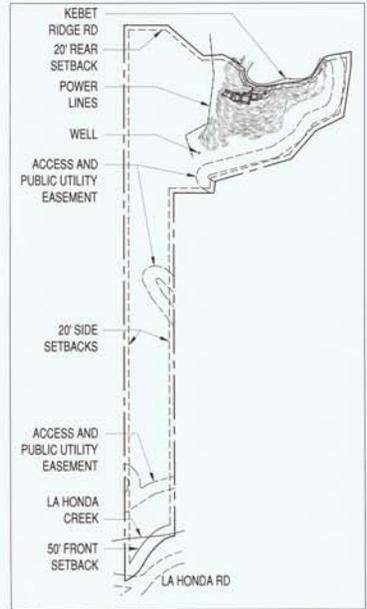
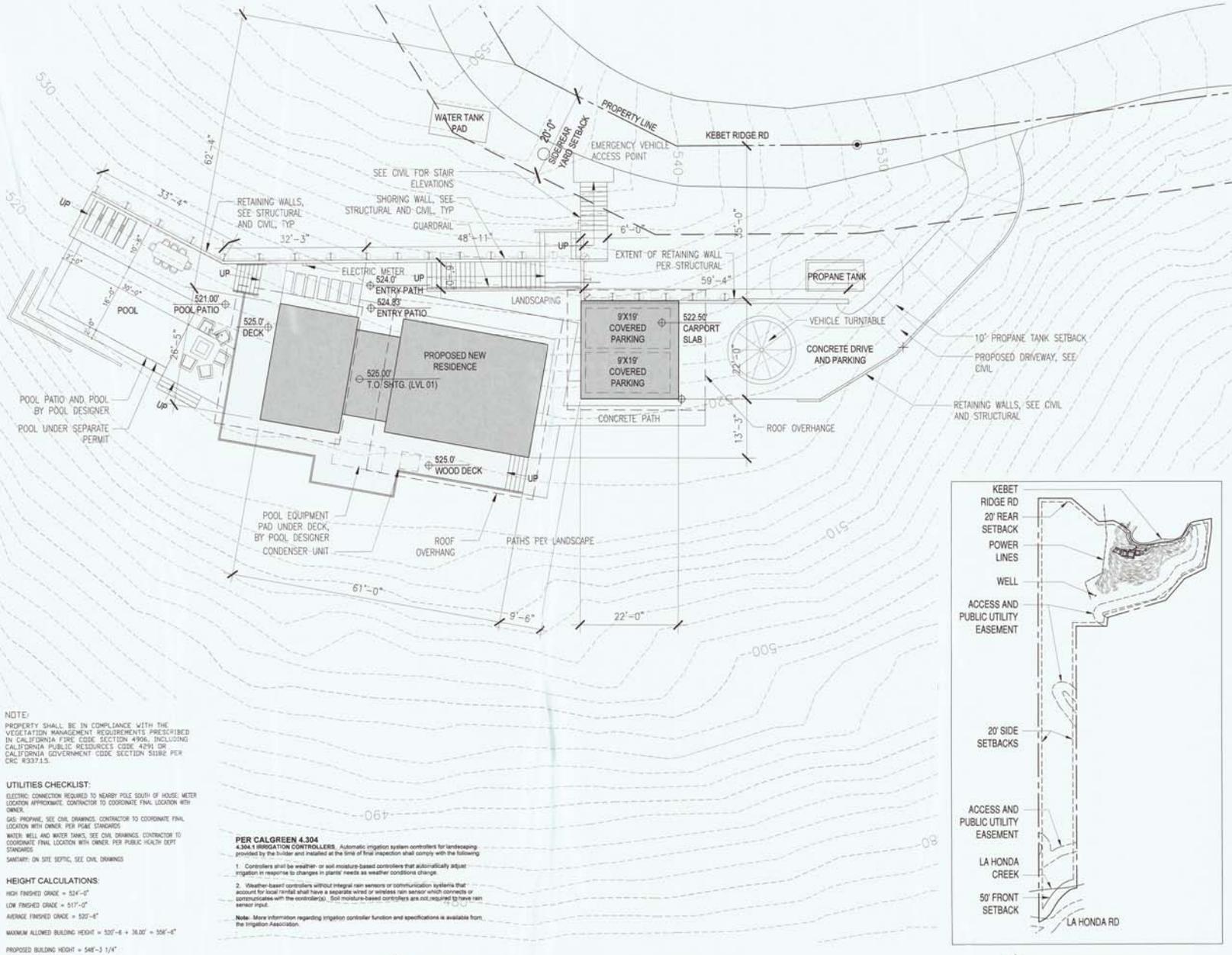
|  |  |
|--|--|
|  | PROPOSED BUILDING FOOTPRINT              |
|  | ROOF OVERHANG                            |
|  | PROPERTY LINE                            |
|  | SETBACK LINE                             |
|  | GRADE ELEVATION                          |
|  | EXISTING GRADE CONTOUR - TO REMAIN       |
|  | EXISTING GRADE CONTOUR - REVISED         |
|  | NEW GRADE CONTOUR                        |
|  | TREE                                     |
|  | ELECTRIC LINE                            |
|  | CABLE LINE                               |
|  | TELEPHONE LINE                           |
|  | STORMWATER LINE                          |
|  | SANITARY SEWER LINE                      |
|  | WATER LINE                               |
|  | GAS LINE                                 |
|  | FIRE SPRINKLER LINE                      |
|  | GAS METER                                |
|  | WATER METER                              |
|  | ELECTRICAL METER - MAIN                  |
|  | ELECTRICAL METER                         |
|  | FENCELINE                                |
|  | SILT FENCE                               |
|  | ITEMS TO BE REMOVED/EXTENT OF DEMOLITION |

**NOTE:**  
PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4904, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182 PER CRC 4537.1.5.

**UTILITIES CHECKLIST:**  
ELECTRIC CONNECTION REQUIRED TO NEARBY POLE SOUTH OF HOUSE. METER LOCATION APPROXIMATE. CONTRACTOR TO COORDINATE FINAL LOCATION WITH OWNER.  
GAS PROPANE. SEE CIVIL DRAWINGS. CONTRACTOR TO COORDINATE FINAL LOCATION WITH OWNER. PER FIRE STANDARDS.  
WATER, WELL AND WATER TANKS. SEE CIVIL DRAWINGS. CONTRACTOR TO COORDINATE FINAL LOCATION WITH OWNER. PER PUBLIC HEALTH DEPT STANDARDS.  
SANITARY: ON SITE SEPTIC. SEE CIVIL DRAWINGS.

**HEIGHT CALCULATIONS:**  
HIGH FINISHED GRADE = 534'-0"  
LOW FINISHED GRADE = 517'-0"  
AVERAGE FINISHED GRADE = 527'-4"  
MAXIMUM ALLOWED BUILDING HEIGHT = 527'-4" + 38.00' = 565'-4"  
PROPOSED BUILDING HEIGHT = 548'-3 1/4"

**PER CALGREEN 4.304**  
**4.304.1 IRRIGATION CONTROLLERS.** Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:  
1. Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plant needs as weather conditions change.  
2. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.  
**Note:** More information regarding irrigation controller function and specifications is available from the Irrigation Association.



**Stillwater**  
dwellings

3111 3RD AVE.  
SEATTLE, WA 98171  
TEL: (206) 547-0565  
FAX: (206) 547-0563

11. REPRODUCE DRAWINGS ONLY WITH WRITTEN PERMISSION FROM STILLWATER DWELLINGS.  
12. INTELLECTUAL PROPERTY OF STILLWATER DWELLINGS. THESE DRAWINGS MAY ONLY BE USED FOR THE CONSTRUCTION OF THE HOUSE TO BE INSTALLED AT THE PROJECT ADDRESS LISTED ON THESE DRAWINGS.  
13. CONSTRUCTION OF THE PROJECT THESE DRAWINGS ASSUME ANY WORK PROCEED WITH THE EXPRESS WRITTEN CONSENT GRANTED BY STILLWATER DWELLINGS LLC.

600 Kebet Ridge Rd  
Woodside, CA 94062  
TAX PARCEL #: 075-321-220

**ATKINS-CONCRA RESIDENCE**  
PROJECT # 15-CONC-221  
PHASE 2 - PLANNING ADDENDUM  
PLN2016-00150

| DOCUMENT RELEASED |                    |
|-------------------|--------------------|
| DATE              | DESCRIPTION        |
| 8/26/16           | PLANNING SUBMITTAL |
| 11/21/16          | PLANNING ADDENDUM  |

DRAWN: CTT

SHEET

SITE PLAN

**A1.00**



**NOTES: FLOOR PLAN**

**GENERAL PROJECT NOTES:**

1. SEE COVER SHEET A2.00.

**WRITTEN DIMENSIONS:**

1. SEE COVER SHEET A2.00.

**BIDDER DESIGN PROJECT NOTES:**

1. SEE COVER SHEET A2.00.

**ENERGY CODE NOTES:**

1. SEE COVER SHEET A2.00.

**HVAC NOTES:**

1. INSTALLATION PER ASHRAE 90A-99. SYSTEM IS DESIGN-BUILD BY MECHANICAL SUBCONTRACTOR. SUPPLY RETURN DUCTS AND GRILLES SHOWN AS RECOMMENDATIONS. CONTRACTOR AND MECHANICAL SUB-CONTRACTOR TO CONFIRM FINAL DESIGN WITH OWNER.
2. ALL DUCTING TO BE INSULATED AS REQUIRED BY ENERGY CODE AND SHEET METAL, I.S.G.O.
3. ALL FLEXIBLE BURNING, AND SWITCHES TO BE MINIMUM 1/4" ABOVE SLAB.
4. PROVIDE 1/4" PLATFORM OF 2 LAYERS 1/4" PLUMWOOD.
5. WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST VIBRATIONAL UPDRAG DUE TO BURNING. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 3/4 AND LOWER 3/4 OF THE WATER HEATER.
6. PROVIDE PRESSURE RELIEF VALVE TO EXTERIOR.
7. MAXIMUM WATER TEMPERATURE DISCHARGING INTO A BATHSUIT OR WHIRLPOOL BATH SHALL BE LIMITED TO 120°F. THE WATER HEATER SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION.
8. PROVIDE OUTSIDE COMBUSTION AIR FOR NON-DIRECT VENT APPLIANCES.

**PLUMBING NOTES:**

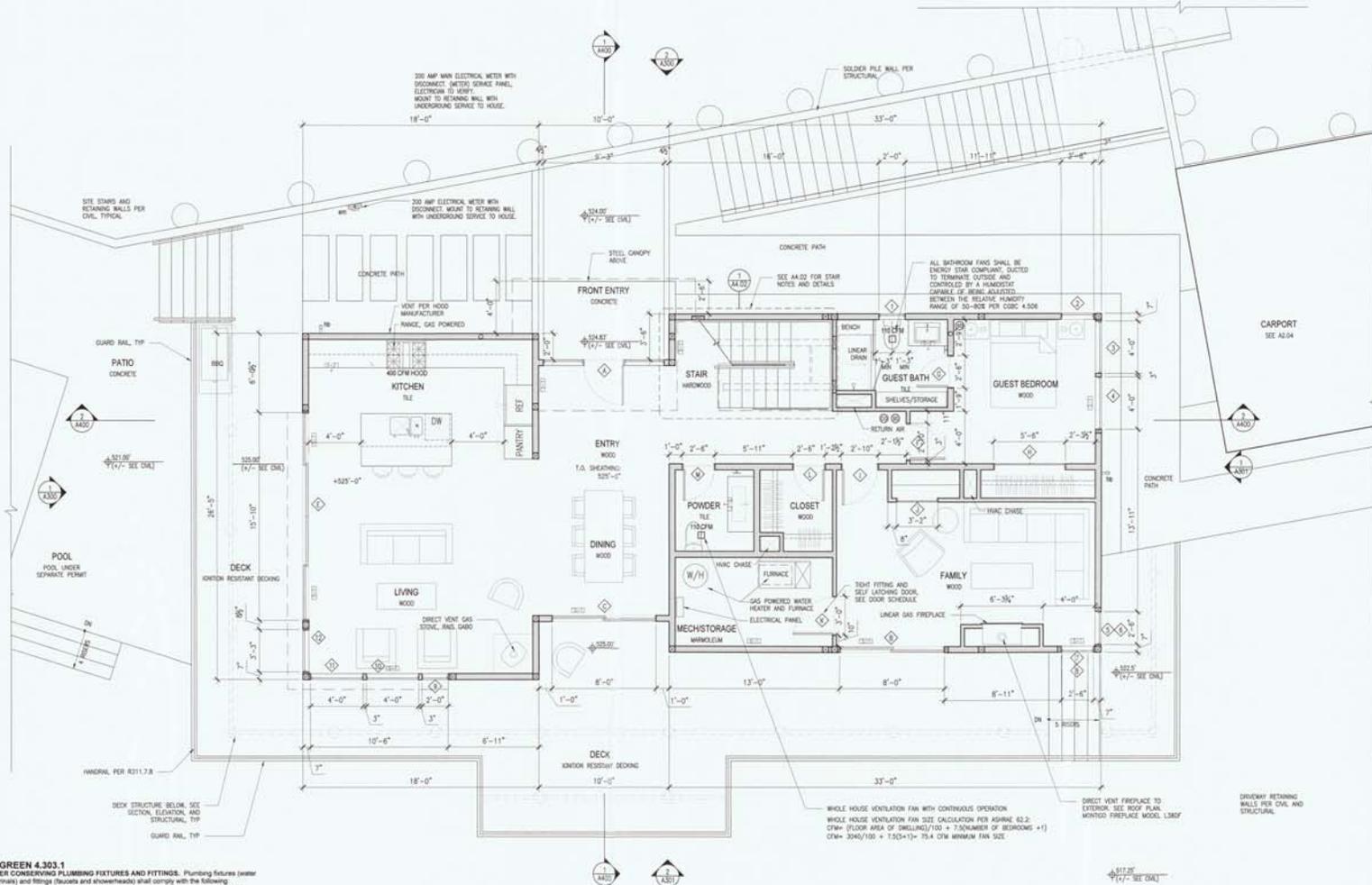
1. ALL POTABLE WATER PIPING AND FITTINGS SHALL BE BRASS, COPPER, CAST IRON, GALVANIZED WELDED IRON, GALVANIZED WROUGHT IRON, OR GALVANIZED STEEL. ALL MATERIALS USED IN THE WATER SUPPLY SYSTEM, EXCEPT VALVES AND SIMILAR DEVICES SHALL BE OF LIKE MATERIAL, PER SAN MATEO COUNTY BUILDING REGULATIONS, SECTION 814.04 UNLESS PLUMBING CODE - MATERIALS SECTION 810.1.

**LEGEND FLOOR PLAN:**

- CONCRETE WALL
- WALL/CEILING ABOVE
- WALL HIDDEN BELOW
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- FAN
- FLOOR DRAIN
- SHOWER HEAD
- TOILET PAPER HOLDER
- TOWEL RING
- TOWEL BAR
- HANGING ROD & SHELF
- WINDOW/DOOR DESIGNATION
- ELECTRICAL PANEL
- ELECTRICAL SUB PANEL
- ELECTRICAL METER MAIN
- ELECTRICAL METER
- STRUCTURED DATA BOX W/OUTLET
- RECESSED WASHER BOX
- RECESSED DRYER BOX
- WATER SHUT OFF VALVE
- FROST FREE WATER BOX
- GAS BOX
- GAS METER
- SUPPLY REGISTER, FLOOR
- SUPPLY REGISTER, UNDER CAB

**PER CALGREEN 4.303.1**  
**4.303.1.1 Water Conserving Plumbing Fixtures and Fittings.** Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following:  
**4.303.1.1.1 Water Closets.** The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.  
 Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.  
**4.303.1.2 Urinals.** The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.  
**4.303.1.3 Showerheads.**  
**4.303.1.3.1 Single Showerhead.** Showerheads shall have a maximum flow rate of not more than 2.5 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.  
**4.303.1.3.2 Multiple showerheads serving one shower.** When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.  
 Note: A hand-held shower shall be considered a showerhead.  
**4.303.1.4 Faucets.**  
**4.303.1.4.1 Residential Lavatory Faucets.** The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.  
**4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas.** The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.  
**4.303.1.4.3 Mating Faucets.** Mating faucets when installed in residential buildings shall not deliver more than 0.25 gallons per cycle.  
**4.303.1.4.4 Kitchen Faucets.** The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 80 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 80 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 80 psi.  
 Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

**PER CALGREEN 4.503**  
**4.503.1 GENERAL.** Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limit. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.



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- 3) CONSTRUCTION OF THE PROJECT THESE DRAWINGS INDICATE HAS ONLY PROCEEDED WITH THE EXPRESS WRITTEN CONSENT OF STILLWATER DWELLINGS LLC.

600 Velet Ridge Rd  
 Woodside, CA 94062  
 TAX PARCEL #: 075-321-220

**ATKINS-CONCRA RESIDENCE**  
 PROJECT #: 15-CONC-221  
 PHASE 2 - PLANNING ADDENDUM  
 PLN2016-00150

| DATE     | DESCRIPTION        |
|----------|--------------------|
| 8/26/16  | PLANNING SUBMITTAL |
| 11/21/16 | PLANNING ADDENDUM  |

DRAWN: CTT

SHEET  
 FLOOR PLAN - ENTRY LEVEL

NOTES: FLOOR PLAN

GENERAL PROJECT NOTES:

1. SEE COVER SHEET A3.02.

WRITTEN DIMENSIONS:

1. SEE COVER SHEET A3.02.

BIDDER DESIGN PROJECT NOTES:

1. SEE COVER SHEET A3.02.

ENERGY CODE NOTES:

1. SEE COVER SHEET A3.02.

HVAC NOTES:

1. INSULATION PER ASHRAE 90.1-2010. SYSTEM IS DESIGN-BUILD BY MECHANICAL SUBCONTRACTOR. SUPPLY, RETURN DUCTING AND SLEETS SHOWN AS RECOMMENDATIONS. CONTRACTOR AND MECHANICAL SUB-CONTRACTOR TO CONFIRM FINAL DESIGN WITH OWNER.
2. ALL DUCTING TO BE INSULATED AS REQUIRED BY ENERGY CODE AND SHEET METAL U.I.G.O.
3. ALL FLEXIBLE BURNERS AND SWITCHES TO BE MINIMUM +1/8" ABOVE SLAB.
4. PROVIDE +1/8" BURNOFF OF 2 LAYERS 5/8" PLYWOOD.
5. WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO SEISMOTIC MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 3/4 AND LOWER 3/4 OF THE WATER HEATER.
6. PROVIDE PRESSURE RELIEF VALVE DRAIN TO EXTERIOR.
7. WARNING HOT WATER TEMP. SHOWING INTO A BATHUB OR WHIRLPOOL BATH SHALL BE LIMITED TO 120°F. THE WATER HEATER SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION.
8. PROVIDE OUTSIDE COMBUSTION AIR FOR NON-DIRECT VENT APPLIANCES.

PLUMBING NOTES:

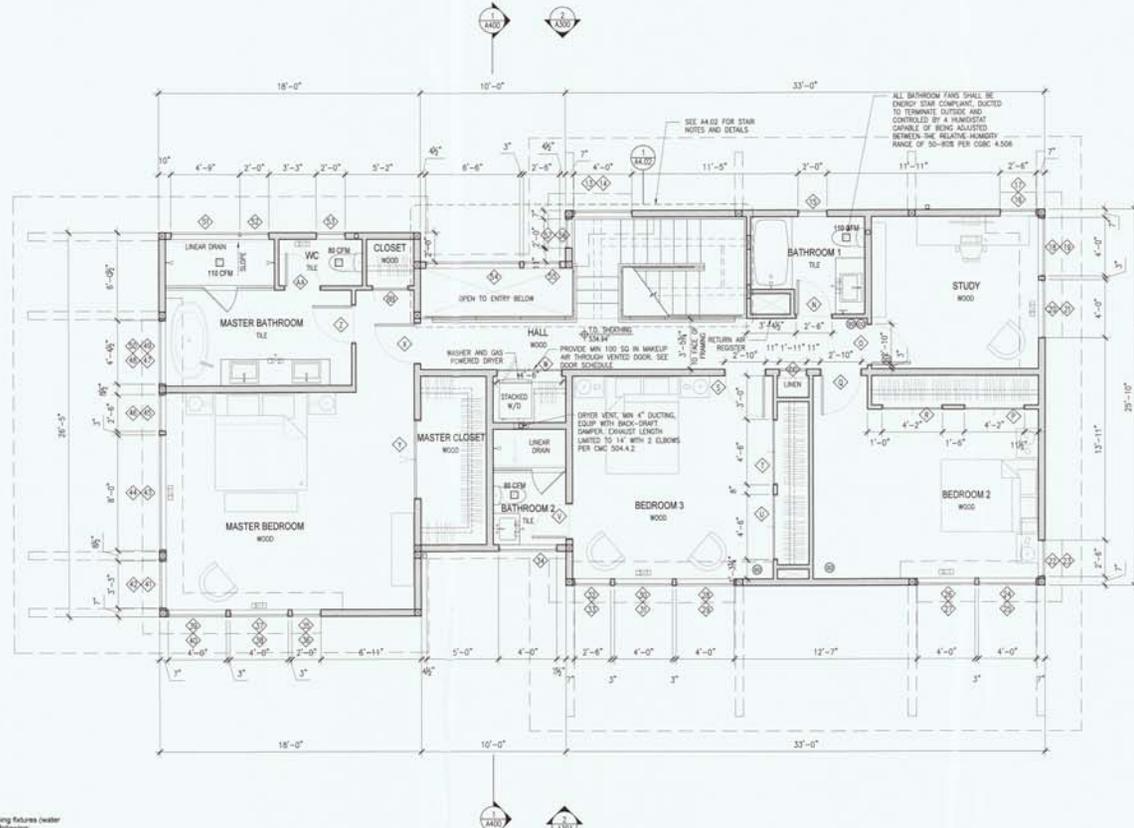
1. ALL PIPING WATER PIPING AND FITTINGS SHALL BE BRASS, COPPER, CAST IRON, GALVANIZED WALLEABLE IRON, GALVANIZED WOODRUM PIPE OR GALVANIZED STEEL. ALL MATERIALS USED IN THE WATER SUPPLY SYSTEM, EXCEPT VALVES AND SIMILAR DEVICES SHALL BE OF LIKE MATERIAL. PER SAN MATEO COUNTY BUILDING REGULATIONS, SECTION 1814. UNIFORM PLUMBING CODE - MATERIALS, SECTION 1804.1.

LEGEND FLOOR PLAN:

- CONCRETE WALL
- WALL
- WALL/CEILING ABOVE
- WALL HIDDEN BELOW
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- FAN
- FLOOR DRAIN
- SHOWER HEAD
- TOILET PAPER HOLDER
- TOWEL RING
- TOWEL BAR
- HANGING ROD & SHELF
- WINDOW/DOOR DESIGNATION
- ELECTRICAL PANEL
- ELECTRICAL SUB PANEL
- ELECTRICAL METER MAIN
- ELECTRICAL METER
- STRUCTURED DATA BOX W/OUTLET
- RECESSED WASHER BOX
- RECESSED DRYER BOX
- WATER SHUT OFF VALVE
- FROST FREE HOSE BIB
- GAS BIB
- GAS METER
- SUPPLY REGISTER, FLOOR
- SUPPLY REGISTER, UNDER CAB

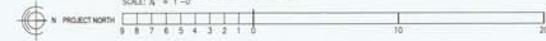
PER CALGREEN 4.303.1

- 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS.** Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following:
- 4.303.1.1 Water Closets.** The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.
  - Note:** The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.
  - 4.303.1.2 Urinals.** The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.
  - 4.303.1.3 Showerheads.**
  - 4.303.1.3.1 Single Showerhead.** Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.
  - 4.303.1.3.2 Multiple showerheads serving one shower.** When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.
  - Note:** A hand-held shower shall be considered a showerhead.
  - 4.303.1.4 Faucets.**
  - 4.303.1.4.1 Residential Lavatory Faucets.** The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 80 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.
  - 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas.** The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 80 psi.
  - 4.303.1.4.3 Metering Faucets.** Metering faucets when installed in residential buildings shall not deliver more than 2.25 gallons per cycle.
  - 4.303.1.4.4 Kitchen Faucets.** The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 80 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 80 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 80 psi.
  - Note:** Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.



FLOOR PLAN - UPPER LEVEL

SCALE: 1/4" = 1'-0"



- 1) REPRODUCE DRAWING ONLY WITH WRITTEN PERMISSION FROM STILLWATER DWELLINGS.
- 2) INTELLECTUAL PROPERTY OF STILLWATER DWELLINGS. THESE DRAWINGS MAY ONLY BE USED FOR THE CONSTRUCTION OF THE HOUSE TO BE INSTALLED AT THE PROJECT LOCATED LISTED ON THESE DRAWINGS.
- 3) CONTRACTOR OF THE PROJECT THESE DRAWINGS, SPECIFICATIONS AND PERMITS PROVIDED WITH THE EXPRESSED WRITTEN CONSENT AND SIGNATURE OF STILLWATER DWELLINGS LLC.

600 Velet Ridge Rd  
Woodside, CA 94062  
TAX PARCEL #: 075-321-220

ATKINS-CONGRA RESIDENCE  
PROJECT #: 15-CONC-221  
PHASE 2 - PLANNING ADDENDUM  
PLN2016-00150

| DATE     | DESCRIPTION        |
|----------|--------------------|
| 8/26/16  | PLANNING SUBMITTAL |
| 11/21/16 | PLANNING ADDENDUM  |

6/10/18 PERMIT REVISIONS

DRAWN: JTT

SHEET  
FLOOR PLAN - UPPER LEVEL

**NOTES:**

**GENERAL PROJECT NOTES:**

1. SEE COVER SHEET A0.00.

**BIDDER DESIGN PROJECT NOTES:**

1. SEE COVER SHEET A0.00.

**WUJ REQUIREMENTS PER CBC CHAPTER 7A SECTION R337.5 ROOFING:**

1. ROOFING MATERIALS ARE CLASS "X" FIRE RATED
2. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER

**ROOF VENTILATION:**

1. AN UN-VENTED ROOF ASSEMBLY IS PROPOSED.
2. REFER TO A0.03 THRU A0.08 FOR ASSEMBLY DESCRIPTIONS.

**ROOF PENETRATIONS:**

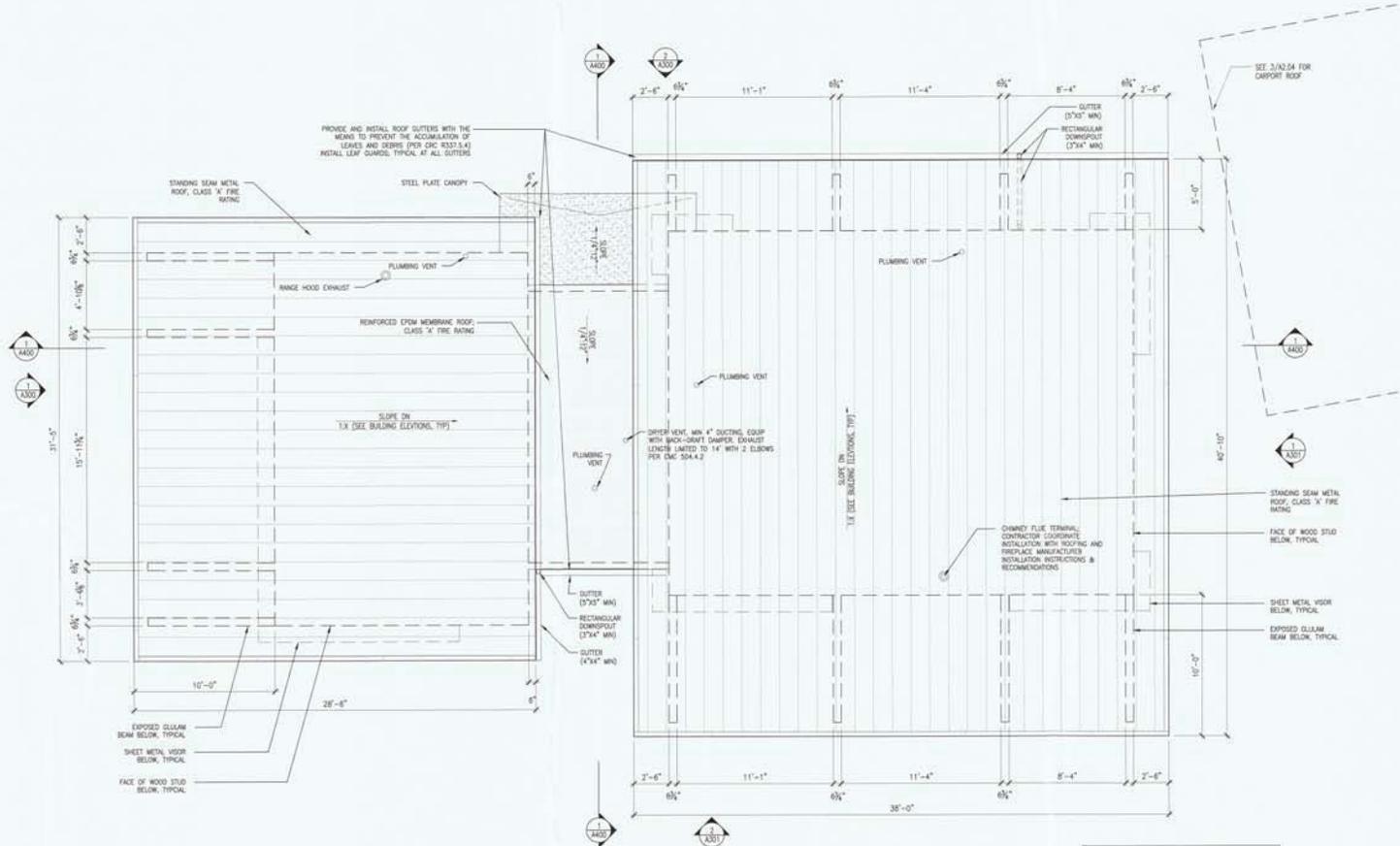
1. ALL ROOF PENETRATIONS TO BE GROUPED TOGETHER AND LOCATED 45 FEET AWAY FROM THE ROOF EDGE AS POSSIBLE.

**GUTTER AND DOWNSPOUT SIZING:**

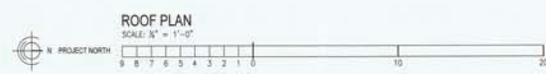
1. CONTRACTOR TO VERIFY GUTTER & DOWNSPOUT SIZES TO CONFIRM THE APPROPRIATENESS FOR LOCAL PROJECT CONDITIONS. SIZES INDICATED HEREIN ARE APPROXIMATE RECOMMENDATIONS.
2. REFER TO STILLWATER S.O.A. FOR GUTTER AND DOWNSPOUT RECOMMENDED PRODUCTS.

**LEGEND:**

-  STANDING SEAM METAL ROOF
-  SINGLE PLY MEMBRANE ROOFING
-  STEEL CANOPY
-  GUTTER
-  DOWNSPOUT
-  INVERTER
-  AREA DRAWN
-  ROOF PITCH
-  LINE OF WALL BELOW
-  CHIMNEY FLUE TERMINAL



PLUMBING LAYOUT DESIGN—BUILT BY CONTRACTOR. PLUMBING VENTS SHOWN AS RECOMMENDATIONS. FINAL LAYOUT TO BE DETERMINED AND CONFIRMED WITH OWNER BY CONTRACTOR



1) REPRODUCE DRAWINGS ONLY WITH WRITTEN PERMISSION FROM STILLWATER DWELLINGS  
2) INTELLECTUAL PROPERTY OF STILLWATER DWELLINGS. THESE DRAWINGS MAY ONLY BE USED FOR THE CONSTRUCTION OF THE HOUSE TO BE PROVIDED AT THE PROJECT ADDRESS LISTED ON THESE DRAWINGS.  
3) CONSTRUCTION OF THIS PROJECT THESE DRAWINGS LOCATIONS MAY ONLY PROCEED WITH THE EXPRESS WRITTEN CONSENT OF EITHER OF STILLWATER DWELLINGS OR:

600 Ketchikan Ridge Rd  
Woodside, CA 94062  
TAX PARCEL #: 075-321-220

**ATKINS-CONCORA RESIDENCE**  
PROJECT #: 15-CONC-221  
PHASE 2 - PLANNING ADDENDUM  
PLN2016-00150

| DATE     | DESCRIPTION        |
|----------|--------------------|
| 8/26/16  | PLANNING SUBMITTAL |
| 11/21/16 | PLANNING ADDENDUM  |

DRAWN: GJT

SHEET

ROOF PLAN

**NOTES: FOUNDATION PLAN**

**GENERAL PROJECT NOTES:**

1. SEE COVER SHEET A3.00.
- BIDDER DESIGN PROJECT NOTES:**
1. SEE COVER SHEET A3.00.

**FOUNDATION NOTES:**

1. CONCRETE TOLERANCES SHALL BE PER ACI 117-10.
2. SLOPE ALL CONCRETE STAIRS AND/OR PATIOS AT 1/4" PER FOOT AWAY FROM DOORWAYS.
3. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED OR CEDAR.
4. PROVIDE SOLID BLOCKING UNDER BEARING WALLS.
5. PROVIDE 6 MIL VISCQUEEN VAPOR BARRIER WITH 12" OVERLAP AT SEAMS.
6. FASTENERS INTO OR IN CONTACT WITH PRESURE-TREATED OR FIRE-RETARDANT WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER. EXCEPTION: 3/8" DIAMETER OR GREATER STEEL BOLTS.
7. FILTER FABRIC TO BE 6 OUNCES PER SQUARE YARD MINIMUM WEIGHT, NON-WOVEN, GEO-TEXTILE FABRIC SPECIFICALLY DESIGNED FOR THE PURPOSE OF ALLOWING WATER PASCAGE WHILE RETAINING SOIL. SIZES SHALL HAVE AN APPROXIMATE OPENING SIZE EQUAL TO A #70 (OR FINER) US SIEVE.
8. PERFORATED FOOTING DRAIN TO BE PVC SCHEDULE 40 OR SDR 35.
9. MIN. FOOTING DEPTH TO BE 18" BELOW LOWEST ADJACENT SOIL GRADE.

**LEGEND FOUNDATION PLAN:**

|  |   |
|--|---|
|  | CONCRETE WALL                             |
|  | CONCRETE FOOTING                          |
|  | WALL                                      |
|  | POINT WALL                                |
|  | WALL/CEILING ABOVE                        |
|  | WALL HIDDEN BELOW                         |
|  | BEAM ABOVE                                |
|  | FLOOR DRAIN                               |
|  | ELECTRICAL METER MAN                      |
|  | ELECTRICAL METER                          |
|  | CABLE SPACE VENT                          |
|  | DRAIN SPACE ACCESS DOOR                   |
|  | WATER STUB OUT                            |
|  | PHONE/DATA/CABLE STUB OUT                 |
|  | SANITARY SEWER STUB OUT                   |
|  | ELECTRICAL STUB OUT                       |
|  | GAS STUB OUT                              |
|  | FIRE SPRINKLER STUB OUT                   |
|  | STORM WATER STUB OUT                      |
|  | GAS METER                                 |
|  | UFER GROUND CONNECTED TO FOUNDATION REBAR |
|  | CABLE INTERFACE, PHONE INTERFACE          |

**NOTES: FLOOR PLAN**

**GENERAL PROJECT NOTES:**

1. SEE COVER SHEET A3.00.
- WRITTEN DIMENSIONS:**
1. SEE COVER SHEET A3.00.

**BIDDER DESIGN PROJECT NOTES:**

1. SEE COVER SHEET A3.00.
- ENERGY CODE NOTES:**
1. SEE COVER SHEET A3.00.

**HVAC NOTES:**

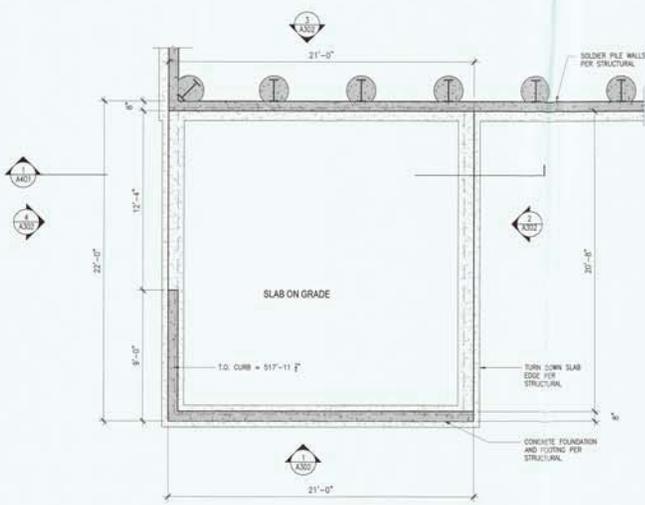
1. INSTALLATION PER KIRKME 30A-08. SYSTEM IS DESIGN-BUILD BY MECHANICAL SUBCONTRACTOR. SUPPLY RETURN DUCTING AND GRILLES SHOWN AS RECOMMENDATIONS. CONTRACTOR AND MECHANICAL SUB-CONTRACTOR TO CONFIRM FINAL DESIGN WITH OWNER.
2. ALL DUCTING TO BE INSULATED AS REQUIRED BY ENERGY CODE AND SHEET METAL UL540.
3. ALL PLUMB, BURNERS, AND SWITCHES TO BE MINIMUM 1/8" ABOVE SLAB.
4. PROVIDE 1/8" PLATFORM OF 3 LAYERS 1/2" PLYWOOD.
5. WATER HEADERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 3/4 AND LOWER 1/4 OF THE WATER HEATER.
6. PROVIDE PRESSURE RELIEF VALVE DRAIN TO EXTERIOR.
7. MINIMUM HOT WATER TEMP DISCHARGING INTO A BATHUB OR WHIRLPOOL BATH SHALL BE LIMITED TO 120°F. THE WATER HEATER SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION.
8. PROVIDE OUTSIDE COMBUSTION AIR FOR NON-HEAT VENT APPLIANCES.

**PLUMBING NOTES:**

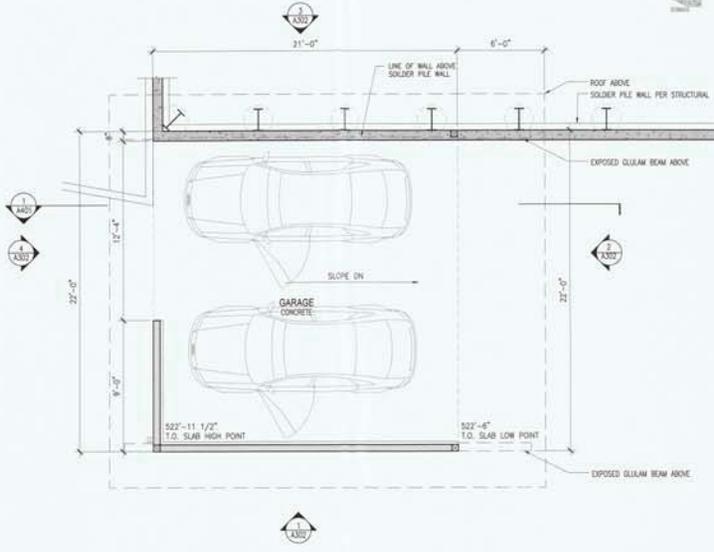
1. ALL PIPABLE WATER PIPING AND FITTINGS SHALL BE BRASS, COPPER, CAST IRON, GALVANIZED MILLABLE IRON, GALVANIZED MILDSTEEL IRON, OR GALVANIZED STEEL. ALL MATERIALS USED IN THE WATER SUPPLY SYSTEM, EXCEPT VALVES AND SIMILAR DEVICES SHALL BE OF THE HEAVY-WALL TYPE PER SAN MATEO COUNTY BUILDING REGULATIONS, SECTION #1804 UNIFORM PLUMBING CODE - MATERIALS SECTION #104.1

**LEGEND FLOOR PLAN:**

|  |                              |
|--|------------------------------|
|  | CONCRETE WALL                |
|  | WALL                         |
|  | WALL/CEILING ABOVE           |
|  | WALL HIDDEN BELOW            |
|  | SMOKE DETECTOR               |
|  | CARBON MONOXIDE DETECTOR     |
|  | FAN                          |
|  | FLOOR DRAIN                  |
|  | SHOWER HEAD                  |
|  | TOILET PAPER HOLDER          |
|  | TOWEL RING                   |
|  | TOWEL BAR                    |
|  | HANGING ROD & SHELF          |
|  | WINDOW/DOOR DESIGNATION      |
|  | ELECTRICAL PANEL             |
|  | ELECTRICAL SUB PANEL         |
|  | ELECTRICAL METER MAN         |
|  | ELECTRICAL METER             |
|  | STRUCTURED DATA BOX W/OUTLET |
|  | RECESSED WASHER BOX          |
|  | RECESSED DRYER BOX           |
|  | WATER SHUT OFF VALVE         |
|  | FROST FREE HOSE BIB          |
|  | GAS BIB                      |
|  | GAS METER                    |
|  | SUPPLY REGISTER, FLOOR       |
|  | SUPPLY REGISTER, UNDER CAB   |



**1-FOUNDATION PLAN - CARPORT**  
SCALE: 1/8" = 1'-0"



**2-FLOOR PLAN - CARPORT**  
SCALE: 1/8" = 1'-0"



**NOTES: ROOF PLAN**

- GENERAL PROJECT NOTES:**
1. SEE COVER SHEET A3.00.
- BIDDER DESIGN PROJECT NOTES:**
1. SEE COVER SHEET A3.00.

**WUI-7A-R327 SECTION R337.5 ROOFING:**

1. ROOFING MATERIALS ARE CLASS 'X' FIRE RATED.
2. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.

**ROOF VENTILATION:**

1. AN UN-HEATED ROOF ASSEMBLY IS PROPOSED.
2. REFER TO A3.05 THRU A3.08 FOR ASSEMBLY DESCRIPTIONS.

**ROOF PENETRATIONS:**

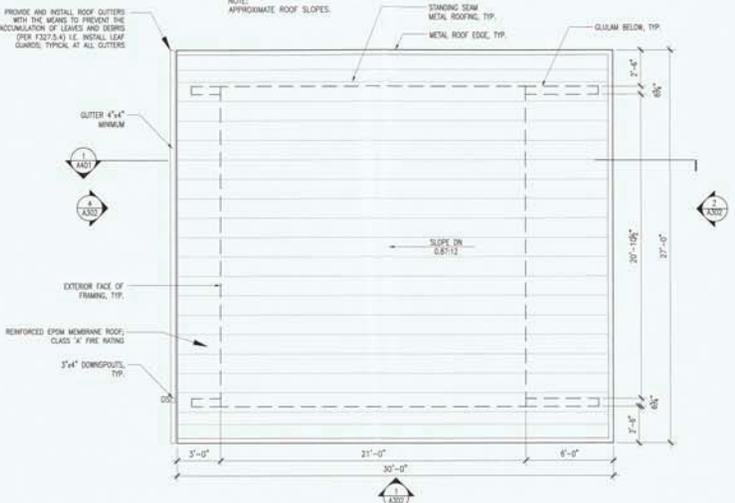
1. ALL ROOF PENETRATIONS TO BE GROUPED TOGETHER AND LOCATED AS FAR AWAY FROM THE ROOF EDGE AS POSSIBLE.

**GUTTER AND DOWNSPOUT SIZING:**

1. CONTRACTOR TO VERIFY GUTTER & DOWNSPOUT SIZES TO CONFIRM THE APPROPRIATENESS FOR LOCAL PROJECT CONDITIONS. SIZES INDICATED HEREIN ARE APPROXIMATE RECOMMENDATIONS.
2. REFER TO STILLWATER S.B.R. FOR GUTTER AND DOWNSPOUT RECOMMENDED PRODUCTS.

**LEGEND: ROOF PLAN**

|  |                             |
|--|-----------------------------|
|  | STANDING SEAM METAL ROOF    |
|  | SINGLE PLY MEMBRANE ROOFING |
|  | STEEL CANOPY                |
|  | GUTTER                      |
|  | DOWNSPOUT                   |
|  | DIVERTER                    |
|  | AREA DRAIN                  |
|  | ROOF PITCH                  |
|  | LINE OF WALL BELOW          |
|  | CHIMNEY FLUE TERMINAL       |



**3-ROOF PLAN - CARPORT**  
SCALE: 1/8" = 1'-0"



**NOTES:**

**GENERAL PROJECT NOTES:**

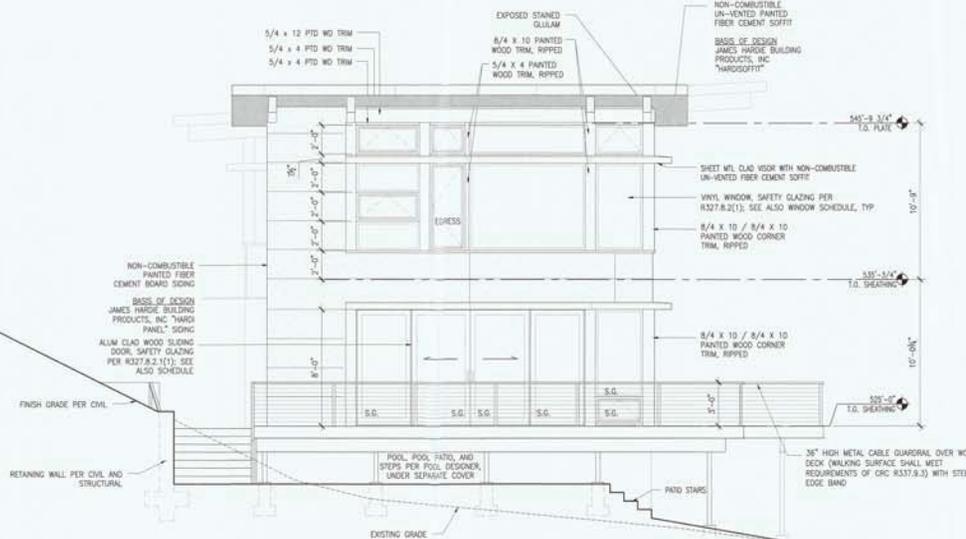
1. SEE COVER SHEET A3.00.

**BIDDER DESIGN PROJECT NOTES:**

1. SEE COVER SHEET A3.00.

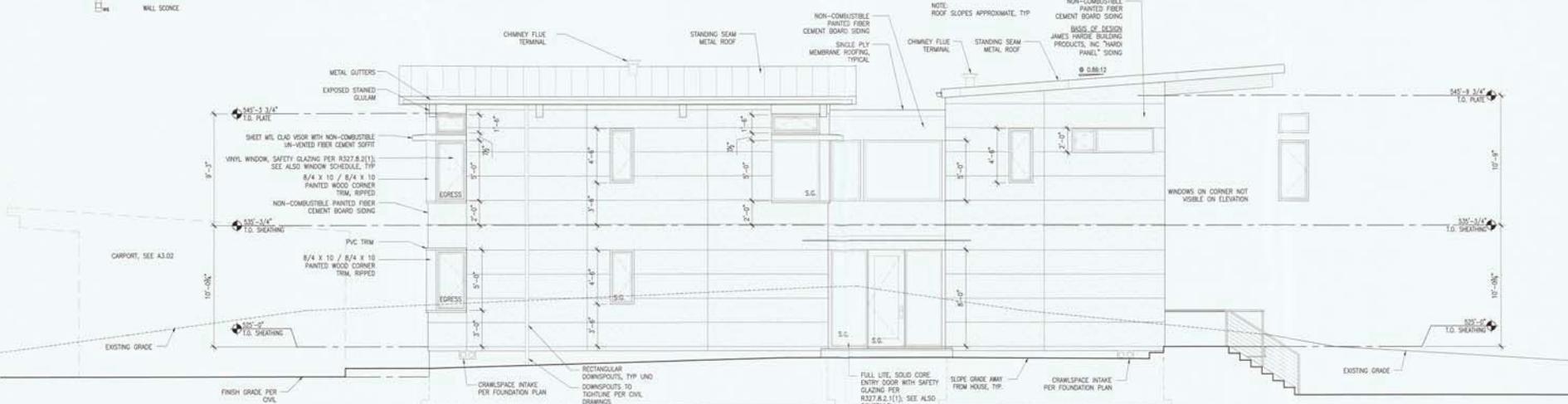
**LEGEND:**

-  CEMENT BOARD & BATTIN SIDING
-  CEMENT BOARD PANEL SIDING
-  EXISTING GRADE
-  NEW GRADE AND EXISTING GRADE (UNCHANGED)
-  FLOOR LINE (I.O. SHEATHING)
-  BUILDING HEIGHT LIMIT LINE
-  CONCRETE
-  ELECTRIC METER
-  GAS METER
-  PHONE INTERFACE
-  CABLE INTERFACE
-  EXTERIOR OUTLET
-  HOSE BIB
-  GAS BIB
-  WALL SCRIBE



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"



**FIRE PROTECTION:**

FIRE HAZARD ZONE: SBA UNFIREZ (VERY HIGH FIRE HAZARD ZONE)/MIA (MID/LIFE URBAN INTERFACE ZONE)  
 FOR FIRE PROTECTION REQUIREMENTS, SEE CALIFORNIA FIRE CODE CHAPTER 49 AND 2013 CALIFORNIA RESIDENTIAL CODE SECTION R327 (OPTION RESISTANT MATERIAL REQUIREMENTS PRESCRIBED IN R327 APPLY TO ROOFING, VENTS, EXTERIOR COVERING, EXTERIOR WINDOWS AND DOORS, DECKING, AND ACCESSORY STRUCTURES).  
 EXTERIOR WALL COVERINGS AND ROOF EAVES SHALL BE NON-COMBUSTIBLE OR CONTRA-RESISTANT MATERIAL PER R327.7 EXTERIOR WINDOWS AND GLAZED DOORS TO BE CONSTRUCTED OF METALFRAME GLAZING WITH A MINIMUM OF ONE TEMPERED PANE PER R327.8  
 DECKING SURFACES TO BE CONSTRUCTED OF KONTER RESISTANT OR NON-COMBUSTIBLE MATERIAL PER R327.9

**EXTERIOR MATERIALS:**

EXTERIOR COLORS AND MATERIALS TO COMPLY WITH ZONING REGULATIONS SECTION R329.2.5 SEE DESIGN CRITERIA FOR RM DISTRICT. PROJECT IS LOCATED IN FORESTED AREA SO MATERIALS TO BLEND WITH THE VICINITY COVER OF THE SITE. HOVELY REFLECTIVE SURFACES TO BE AVOIDED.

1) REPRODUCE DRAWINGS ONLY WITH WRITTEN PERMISSION FROM STILLWATER DWELLINGS  
 2) INTELLECTUAL PROPERTY OF STILLWATER DWELLINGS. THESE DRAWINGS MAY ONLY BE USED FOR THE CONSTRUCTION OF THE HOUSE TO BE INDICATED AT THE PROJECT ADDRESS LISTED ON THESE DRAWINGS.  
 3) CONSTRUCTION OF THE PROJECT THESE DRAWINGS INDICATE MAY ONLY PROCEED WITH THE EXPRESS WRITTEN CONSENT OF STILLWATER DWELLINGS LLC.

600 Vebel Ridge Rd  
Woodside, CA 94062  
TAX PARCEL #: 075-321-220

**ATKINS-CONCRA RESIDENCE**  
PROJECT # 15-CONC-221  
PHASE 2 - PLANNING ADDENDUM  
PLN2016-00150

| DATE     | DESCRIPTION        |
|----------|--------------------|
| 8/26/16  | PLANNING SUBMITTAL |
| 11/21/16 | PLANNING ADDENDUM  |

DRAWN: CTT

SHEET  
EXTERIOR ELEVATIONS

**NOTES:**

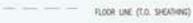
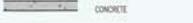
**GENERAL PROJECT NOTES:**

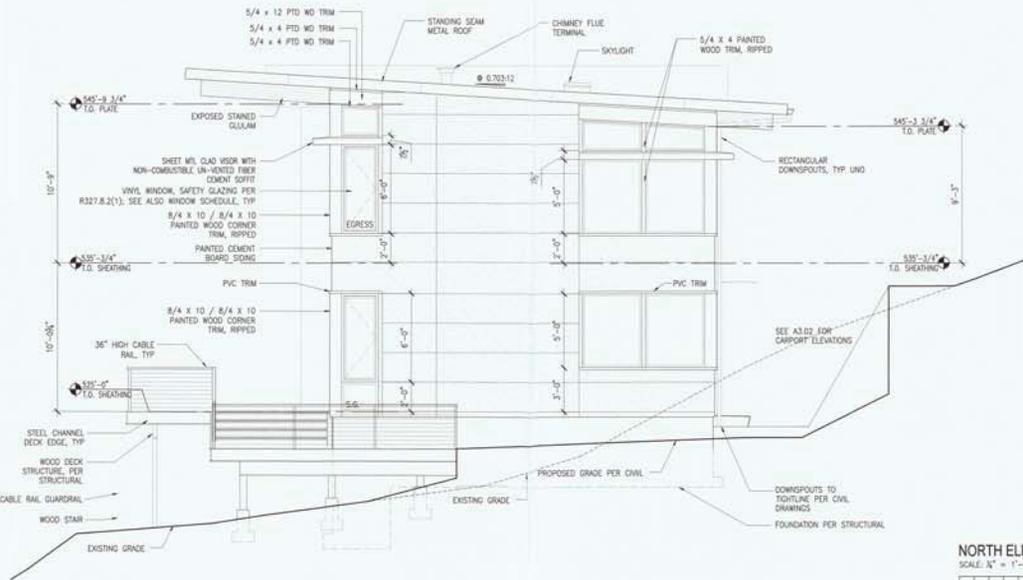
1. SEE COVER SHEET ADDS.

**BIDDER DESIGN PROJECT NOTES:**

1. SEE COVER SHEET ADDS.

**LEGEND:**

-  CEMENT BOARD & BATTEN SIDING
-  CEMENT BOARD PANEL SIDING
-  EXISTING GRADE
-  NEW GRADE AND EXISTING GRADE UNCHANGED
-  FLOOR LINE (T.O. SHEATHING)
-  BUILDING HEIGHT LIMIT LINE
-  CONCRETE
-  ELECTRIC METER
-  GAS METER
-  PHONE INTERFACE
-  CABLE INTERFACE
-  EXTERIOR OUTLET
-  HOSE BIB
-  GAS BIB
-  WALL SCRIBE



**FIRE PROTECTION:**

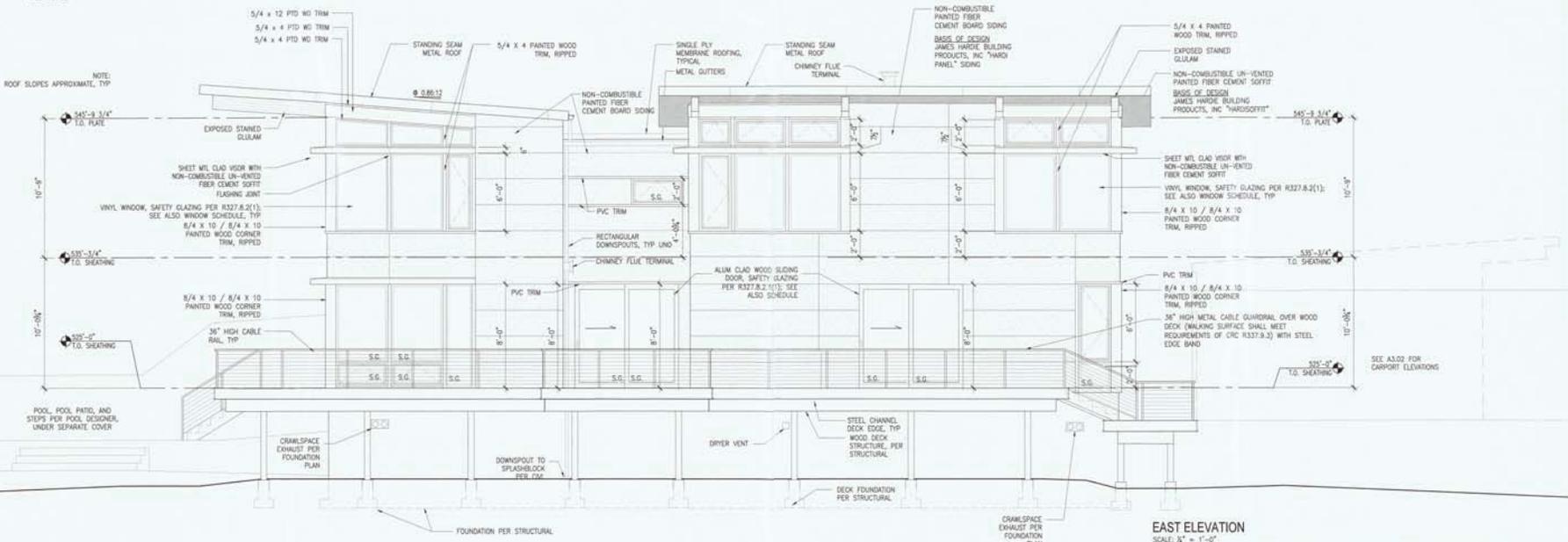
FIRE HAZARD ZONE: SRA WHITEZ (VERY HIGH FIRE HAZARD ZONE)/FRA (MULTIPLE URBAN INTERFACE ZONE)  
 FOR FIRE PROTECTION REQUIREMENTS, SEE CALIFORNIA FIRE CODE, CHAPTER 49 AND 2013 CALIFORNIA RESIDENTIAL CODE SECTION R327. IDENTIFY RESISTANT MATERIAL REQUIREMENTS PRESCRIBED IN R327 APPLY TO ROOFING, WINDOWS, EXTERIOR CORNERS, EXTERIOR WINDOWS AND DOORS, DECKING, AND ACCESSORY STRUCTURES.  
 EXTERIOR WALL COVERINGS AND ROOF EDGES SHALL BE NON-COMBUSTIBLE OR CONTRA-RESISTANT MATERIAL, PER R327.7 EXTERIOR WINDOWS AND GLAZED DOORS TO BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE PER R327.8.  
 DECKING SURFACES TO BE CONSTRUCTED OF IGNITION RESISTANT OR NON-COMBUSTIBLE MATERIAL PER R327.9.

**EXTERIOR MATERIALS:**

EXTERIOR COLORS AND MATERIALS TO COMPLY WITH ZONING REGULATIONS SECTION 624.1.3 SITE DESIGN CRITERIA FOR RM DISTRICT. PROJECT IS LOCATED IN FORESTED AREA SO MATERIALS TO BLEND WITH THE VEGETATIVE COVER OF THE SITE. HIGHLY REFLECTIVE SURFACES TO BE AVOIDED.

**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"



2111 3RD AVE.  
 SUITE 100  
 WOODSIDE, CA 94062  
 TEL: (925) 541-2983  
 FAX: (925) 541-5683

1) REPRODUCE DRAWINGS ONLY WITH WRITTEN PERMISSION FROM STILLWATER ENGINEERS.  
 2) RESPECTFUL PROPERTY OF STILLWATER ENGINEERS. THESE DRAWINGS MAY ONLY BE USED FOR THE SCOPE AND INTENT OF THE PROJECT AND NOT BE REPRODUCED OR COPIED FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM STILLWATER ENGINEERS.  
 3) CONSTRUCTION OF THIS PROJECT THESE DRAWINGS BECOME THE PROPERTY OF THE OWNER AND NOT TO BE REPRODUCED OR COPIED FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM STILLWATER ENGINEERS.

600 Kebab Ridge Rd  
 Woodside, CA 94062  
 TAX PARCEL #: 075-321-220

**ATKINS-CONCRA RESIDENCE**  
**PROJECT # 15-CONC-221**  
**PHASE 2 - PLANNING ADDENDUM**  
**PLN2016-00150**

DATE: 8/28/16  
 DESCRIPTION: PLANNING SUBMITTAL  
 11/21/18 PLANNING ADDENDUM

DRAWN: OTT  
 SHEET:  
 EXTERIOR ELEVATIONS

**A3.01**



**NOTES:**

**GENERAL PROJECT NOTES:**

1. SEE COVER SHEET A4.00.

**BIDDER DESIGN DESIGN NOTES:**

1. SEE COVER SHEET A4.00.

**FOUNDATION NOTES:**

1. SEE FOUNDATION PLAN(S).

**SOILS NOTES:**

1. SEE SITE PLAN.

**LEGEND:**

- - - - - EXISTING GRADE
- — — — — NEW GRADE AND EXISTING GRADE UNCHANGED
- — — — — FLOOR LINE (T.O. SHEATHING)
- — — — — BUILDING HEIGHT LIMIT LINE
- [Pattern] EARTH
- [Pattern] FREE DRAINING FILL
- [Pattern] GRAVEL
- [Pattern] CONCRETE
- [Pattern] BATT INSULATION
- [Pattern] RIGID INSULATION
- [Pattern] SPRAY FOAM INSULATION
- ◇ ASSEMBLY TYPE IDENTIFICATION, REFER TO SHEETS A4.05 THRU A4.08

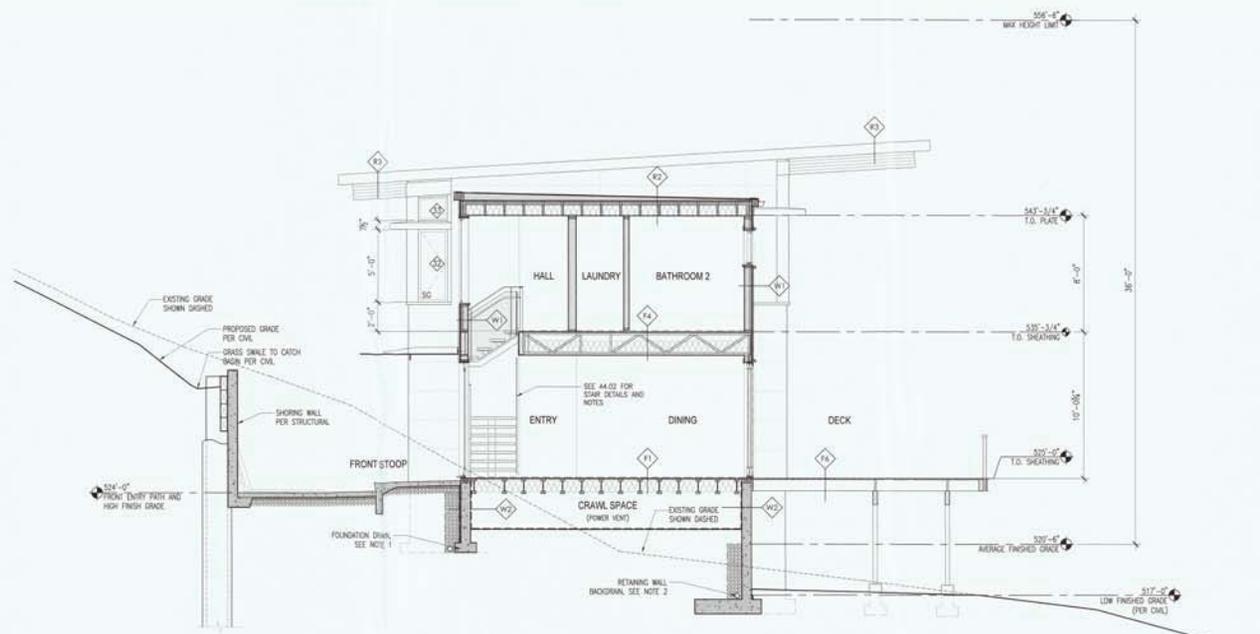
**NOTE 1 - FOUNDATION DRAIN (ALSO SEE SECTION REPORT):**

- DRAIN TO EXTEND AT LEAST 12" BELOW GRAVEL SPACE ELEVATION AND SLOPE A MINIMUM OF 2 PERCENT FOR GRAVITY DRAINAGE TO APPROVED DISCHARGE LOCATION
- TRENCH TO BE LINED WITH FILTER FABRIC
- MIN 4" DIA PERFORATED DRAINPIPE, LAD HOLES DOWN, OVER NO MORE THAN 2" OF 1/2" - 3/8" CLEAN CRUSHED ROCK
- FILL TRENCH TO WITHIN 8" OF SURFACE WITH 2" - 5/8" DRAIN ROCK
- TIGHT FILTER FABRIC OVER TOP OF DRAINROCK AND FULL SURFACE OF TRENCH WITH DRAINROCK OR DECORATIVE PERIBLES.
- CONNECT PERFORATED PIPE TO AN APPROVED DISCHARGE POINT.
- PROVIDE CLEARWAYS AT ALL BENDS GREATER THAN 45 DEGREES AND DISTANCES NOT EXCEEDING 50'

**NOTE 2 - RETAINING WALL BACKDRAIN (ALSO SEE SECTION REPORT):**

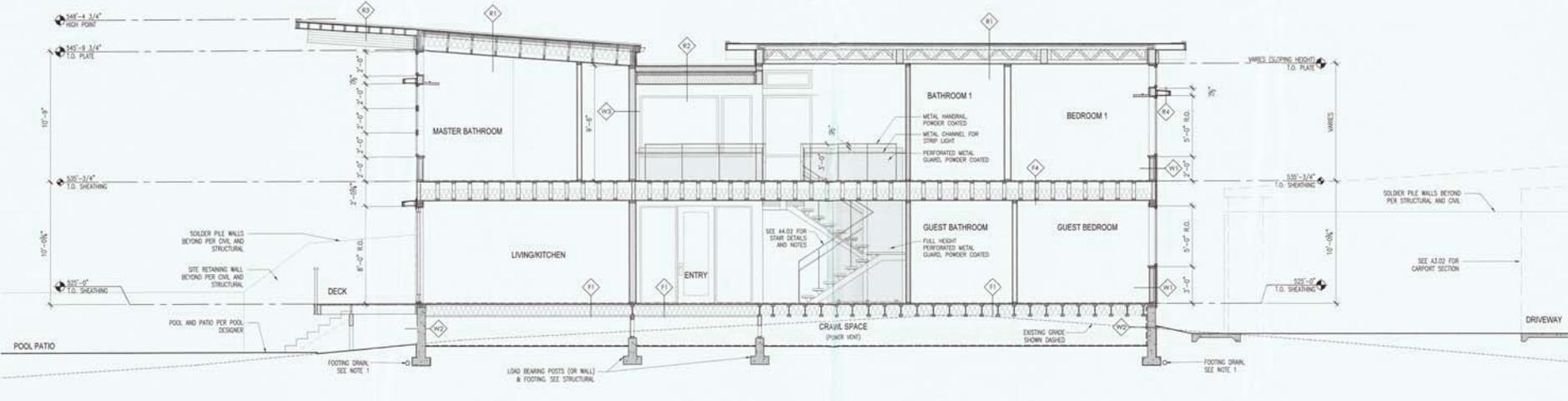
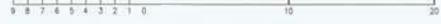
- GEOTEXTILIC DRAINAGE MAT (MINIMUM 5000 OR EQUIVALENT) INSTALLED PER MANUFACTURER'S SPEC'S.
- OR
- 4" DIA SCHEDULE 40 PERFORATED PVC PIPE SLOPED TO DRAIN TO OUTLET
- FREE DRAINING CRUSHED ROCK AT LEAST 12" WIDE AND TO WITHIN 12" OF SURFACE
- UPPER FOOT TO BE BACKFILLED WITH COMPACTED SOIL TO EXCLUDE SURFACE WATER
- DRAINROCK SEPARATED FROM SOIL BY FILTER FABRIC

RETAINING WALL BACKDRAINAGE SHOULD BE DIRECTED TO PROJECT STORM DRAIN



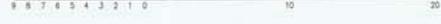
**1-BUILDING SECTION**

SCALE: 1/4" = 1'-0"



**2-BUILDING SECTION**

SCALE: 1/4" = 1'-0"



1) REPRODUCED DRAWINGS ONLY WITH WRITER PERMISSION FROM STILLWATER DWELLINGS  
2) ARCHITECTURAL PROPERTY OF STILLWATER DWELLINGS. THESE DRAWINGS MAY ONLY BE USED FOR THE CONSTRUCTION OF THE HOUSE TO BE INDICATED ON THESE DRAWINGS.  
3) CONSTRUCTION OF THIS PROJECT REQUIRES DRAINAGE SYSTEMS TO BE PROVIDED WITH THE CORRECT WRITER CONFORMED APPROVED 4" STILLWATER DWELLINGS LLC

600 Vebel Ridge Rd  
Woodside, CA 94062  
TAX PARCEL #: 075-321-220

**ATKINS-CONCRA RESIDENCE**  
PROJECT # 15-CONC-221  
PHASE 2 - PLANNING ADDENDUM  
PLN2016-00150

| DATE     | DESCRIPTION        |
|----------|--------------------|
| 8/26/16  | PLANNING SUBMITTAL |
| 11/21/18 | PLANNING ADDENDUM  |

DRAWN: GJT

SHEET:  
**BUILDING SECTIONS**

**NOTES:**

**GENERAL PROJECT NOTES:**

1. SEE COVER SHEET A4.00.

**BIDDER DESIGN DESIGN NOTES:**

1. SEE COVER SHEET A4.00.

**FOUNDATION NOTES:**

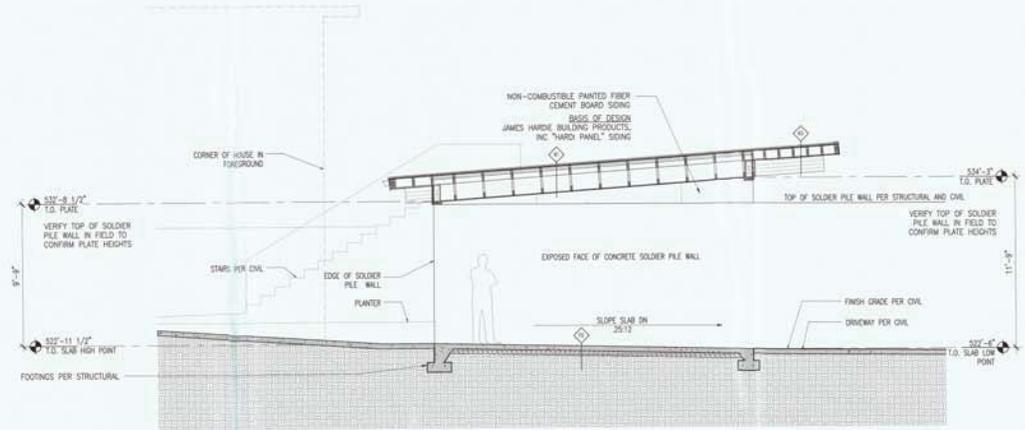
1. SEE FOUNDATION PLANS.

**SOILS NOTES:**

1. SEE SITE PLAN.

**LEGEND:**

- EXISTING GRADE
- NEW GRADE AND EXISTING GRADE UNCHANGED
- FLOOR LINE (T.O. SHEATHING)
- BUILDING HEIGHT LIMIT LINE
- [Pattern] EARTH
- [Pattern] FREE DRAINING FILL
- [Pattern] GRAVEL
- [Pattern] CONCRETE
- [Pattern] BATT INSULATION
- [Pattern] RIGID INSULATION
- [Pattern] SPRAY FOAM INSULATION
- ◇ ASSEMBLY TYPE DESIGNATION, REFER TO SHEETS A4.00, THRU A4.08



**1-CARPORT BUILDING SECTION**

SCALE: 1/4" = 1'-0"



1) REPRODUCE DRAWINGS ONLY WITH WRITTEN PERMISSION FROM STILLWATER DWELLINGS  
2) INTELLECTUAL PROPERTY OF STILLWATER DWELLINGS. THESE DRAWINGS ARE NOT TO BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STILLWATER DWELLINGS, LLC.

3) CONSULTOR OF THE PROJECT THESE DRAWINGS BEING, MAY ONLY PROCEED WITH THE WORK WITHOUT CONSENT GRANTED BY STILLWATER DWELLINGS, LLC.

600 Keibel Ridge Rd  
Woodside, CA 94062  
TAX PARCEL #: 075-321-1220

**ATKINS-CONCRA RESIDENCE**  
PROJECT #: 15-CONC-221  
PHASE 2 - PLANNING ADDENDUM  
PLN2016-00150

| DATE     | DESCRIPTION        |
|----------|--------------------|
| 8/28/16  | PLANNING SUBMITTAL |
| 11/21/18 | PLANNING ADDENDUM  |

DRAWN: GJT  
SHEET:

CARPORT SECTIONS



PROJECT CONTACT:  
MILANET.AKROV@KPROX.COM | M@KPROX.COM

|            |            |
|------------|------------|
| DATE:      | 06/11/2017 |
| REVISIONS: | 12/21/2017 |
| REVISIONS: | 01/23/2018 |
| REVISIONS: | 08/24/2018 |

**ATKINS-CONCRA  
RESIDENCE**  
KEBET RIDGE ROAD  
WOODSIDE, CA 94062

FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION

PROJECT No: 16-6101  
DATE: 07/04/2016  
SCALE: AS SHOWN  
DESIGN/DRAWN: MK  
CHECKED: IK

SHEET TITLE  
**TITLE & SHEET INDEX**  
**C0.0**

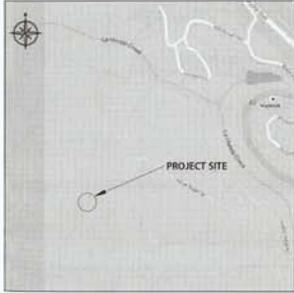
# ATKINS-CONCRA RESIDENCE

## KEBET RIDGE ROAD

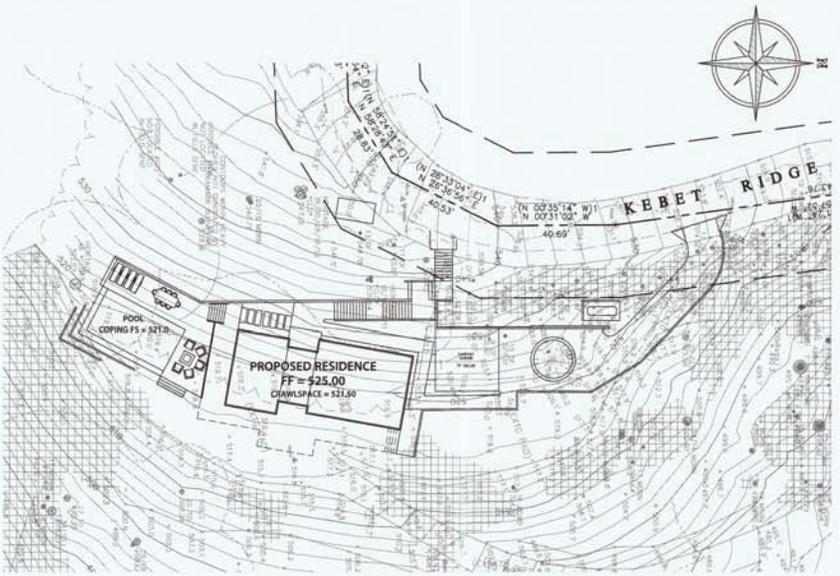
### WOODSIDE, CA94062



VICINITY MAP  
N.T.S.



LOCATION MAP  
N.T.S.



**ABBREVIATIONS:**

|        |                             |
|--------|-----------------------------|
| AB     | AGGREGATE BASE              |
| AC     | ASPHALT CONCRETE            |
| AD     | AREA DRAIN                  |
| ATD    | ATRIUM DRAIN                |
| BFPD   | BACK FLOW PREVENTION DEVICE |
| BSTD   | BIBBSLOT TRENCH DRAIN       |
| BWL    | BOTTOM OF WALL ELEVATION    |
| CB     | CATCH BASIN                 |
| CL     | CENTER LINE                 |
| CS     | CRANK SPACE ELEVATION       |
| CIP    | CAST IRON PIPE              |
| CONC   | CONCRETE                    |
| DD     | DECK DRAIN                  |
| DDCV   | DOUBLE DETECTOR CHECK VALVE |
| DIP    | DUCTILE IRON PIPE           |
| DS     | ROOF DOWN SPOUT             |
| DW     | DOMESTIC WATER LINE         |
| DWL    | DRYWELL CATCH BASIN         |
| DWY    | DRIVEWAY                    |
| EX     | EXISTING                    |
| EG     | EXISTING GRADE              |
| ELIC   | ELECTRICAL                  |
| EM     | ELECTRICAL METER            |
| EP     | EDGE OF PAVEMENT            |
| FC     | FACE OF CURB ELEVATION      |
| FDC    | FIRE DEPARTMENT CONNECTION  |
| FF     | FINISHED FLOOR ELEVATION    |
| FG     | FINISHED GROUND ELEVATION   |
| FL     | FLOW LINE ELEVATION         |
| FM     | FORCE MAIN LINE             |
| FS     | FINISHED SURFACE ELEVATION  |
| FP     | FINISHED PAVEMENT ELEVATION |
| FW     | FIRE WATER LINE             |
| GB     | GRADE BREAK                 |
| GM     | GAS METER                   |
| GB     | GRAVEL ELEVATION            |
| GV     | GATE VALVE                  |
| HP     | HIGH POINT                  |
| INV    | INVERT ELEVATION            |
| JT     | JOINT TRENCH                |
| JP     | JOINT POLE                  |
| LD     | LANDSCAPE DRAIN             |
| LF     | LINEAR FEET                 |
| LP     | LOW POINT                   |
| NI     | NEW                         |
| PIV    | POST INDICATOR VALVE        |
| PKG    | PARKING                     |
| POC    | POINT OF CONNECTION         |
| RET    | RETAINING WALL              |
| RM     | RM ELEVATION                |
| S      | SLOPE                       |
| SAP    | SEE ARCHITECTURAL PLANS     |
| SBS    | STORM SUB DRAIN             |
| SBDCCO | STORM SUB DRAIN CLEANOUT    |
| SD     | STORM DRAIN                 |
| SDDCO  | STORM DRAIN CLEANOUT        |
| SGR    | SEE GEOTECHNICAL REPORT     |
| SCB    | SIDE INLET CATCH BASIN      |
| SLP    | SEE LANDSCAPE PLANS         |
| SPP    | SEE PLUMBING PLANS          |
| SS     | SANITARY SEWER              |
| SSCO   | SANITARY SEWER CLEANOUT     |
| SST    | SEE STRUCTURAL PLANS        |
| TW     | TOP OF WALL ELEVATION       |
| TYP    | TYPICAL                     |
| USD    | UNDERSLAB DRAIN             |
| VD     | PIPE VERTICAL DROP          |
| W      | DOMESTIC WATER LINE         |
| WM     | WATER METER                 |

**LEGEND:**

| EXISTING | PROPOSED |                             |
|----------|----------|-----------------------------|
| — 12" —  | — 12" —  | SANITARY SEWER              |
| — 18" —  | — 18" —  | SOLID PIPE STORM DRAIN      |
| — 24" —  | — 24" —  | PERFORATED PIPE SUB DRAIN   |
| — 36" —  | — 36" —  | TRUNK MAIN                  |
| — 4" —   | — 4" —   | FIRE SERVICE                |
| — 6" —   | — 6" —   | DOMESTIC WATER SERVICE      |
| — 8" —   | — 8" —   | IRRIGATION SERVICE          |
| — 10" —  | — 10" —  | NATURAL GAS                 |
| — 12" —  | — 12" —  | TELEPHONE                   |
| — 14" —  | — 14" —  | TV/CABLE TV                 |
| — 16" —  | — 16" —  | ELECTRICAL LINES/CONDUITS   |
| — 18" —  | — 18" —  | JOINT TRENCH                |
| — 20" —  | — 20" —  | OVERHEAD WIRES              |
| — 22" —  | — 22" —  | FENCE                       |
| — 24" —  | — 24" —  | CLEAR OUT TO GRADE          |
| — 26" —  | — 26" —  | FOUND WORKMENT              |
| — 28" —  | — 28" —  | DOUBLE DETECTOR CHECK VALVE |
| — 30" —  | — 30" —  | POST INDICATOR VALVE        |
| — 32" —  | — 32" —  | VALVE                       |
| — 34" —  | — 34" —  | METER BOX                   |
| — 36" —  | — 36" —  | STREET LIGHT                |
| — 38" —  | — 38" —  | DRAIN                       |
| — 40" —  | — 40" —  | CATCH BASIN                 |
| — 42" —  | — 42" —  | FIRE HYDRANT                |
| — 44" —  | — 44" —  | FIRE DEPARTMENT CONNECTION  |
| — 46" —  | — 46" —  | BENCHMARK                   |
| — 48" —  | — 48" —  | MANHOLE                     |
| — 50" —  | — 50" —  | SIGN                        |
| — 52" —  | — 52" —  | SPLASH BLOCK                |
| — 54" —  | — 54" —  | DETAIL NAMES                |
| — 56" —  | — 56" —  | SHEET LOCATION              |

**SHEET INDEX**

| SHEET # | DESCRIPTION               |
|---------|---------------------------|
| C0.0    | TITLE SHEET               |
| C0.1    | PROJECT NOTES             |
| C1.1    | EXISTING CONDITIONS       |
| C2.1    | GRADING PLAN              |
| C2.2    | GRADING PLAN              |
| C3.1    | DRAINAGE AND UTILITY PLAN |
| C4.1    | EROSION CONTROL PLAN      |
| C4.2    | BEST MANAGEMENT PRACTICES |
| C5.1    | DETAIL SHEET              |
| C5.2    | DETAIL SHEET              |
| SS1.1   | SEPTIC SYSTEM PLAN        |
| SS1.2   | SEPTIC SYSTEM DETAILS     |
| SS1.3   | SEPTIC SYSTEM DETAILS     |



**UNDERGROUND WORK CAUTION:**

- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION FOR NORTHERN CALIFORNIA DIAL #11 OR 1800 277-3606. FOR OTHER AREAS CALL 1800 442-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK ON THIS SITE.

**DEMOLITION NOTES:**

- CONTRACTOR IS TO COMPLY WITH ALL GENERAL AND STATE REQUIREMENTS INVOLVING THE REMOVAL AND DISPOSAL OF HAZARDOUS MATERIALS.
- CONTRACTOR'S BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THESE DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SOIL MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE DEMOLITION WORK.
- BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES OUTLINED IN THE EROSION CONTROL PLAN & DETAILS.
- THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS FACILITIES AND STRUCTURES WHICH ARE TO REMAIN. ANY ITEMS DAMAGED BY THE CONTRACTOR OR HIS AGENTS OR ANY ITEMS REMOVED FOR HIS USE SHALL BE REPLACED AT EQUAL OR BETTER CONDITION AS APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE.
- COORDINATE WITH ELECTRICAL, MECHANICAL, LANDSCAPING AND ARCHITECTURAL DRAWINGS FOR UTILITY SHUT-DOWN/RECONNECT LOCATIONS. CONTRACTOR IS TO SHUT OFF ALL UTILITIES AS NECESSARY PRIOR TO DEMOLITION. CONTRACTORS TO COORDINATE SERVICE INTERRUPTIONS WITH THE CLIENT. DO NOT INTERRUPT SERVICES TO ADJACENT OFF-SITE OWNERS. ALSO SEE ARCHITECTURAL PLANS FOR ADDITIONAL DEMOLITION SCOPES OF WORK.

- THIS PLAN IS NOT INTENDED TO BE A COMPLETE CATALOGUE OF ALL EXISTING STRUCTURES AND UTILITIES. THIS PLAN INTENDS TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND TO SHOW THE LIMITS OF THE AREA WHERE WORK WILL BE PERFORMED. THIS PLAN SHOWS THE EXISTING FEATURES TAKEN FROM A FIELD SURVEY. FIELD INVESTIGATIONS AND AVAILABLE INFORMATION. THIS PLAN MAY OR MAY NOT ACCURATELY REFLECT THE TYPE OR EXTENT OF THE ITEMS TO BE ENCOUNTERED AS THEY EXIST. WHERE EXISTING FEATURES ARE NOT SHOWN, IT IS NOT IMPLIED THAT THEY ARE NOT TO BE DEMOLISHED OR REMOVED. THE CONTRACTOR SHALL PERFORM A THOROUGH FIELD INVESTIGATION AND REVIEW OF THE SITE WITHIN THE LIMIT OF WORK SHOWN IN THIS PLAN SET TO DETERMINE THE TYPE, QUANTITY AND EXTENT OF ANY AND ALL ITEMS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXTENT OF EXISTING STRUCTURES AND UTILITIES AND QUANTITY OF WORK INVOLVED IN REMOVING THESE ITEMS FROM THE SITE.

**FIRE PROTECTION:**

- CONTRACTOR SHALL INSTALL THE DESIGN BUILT FIRE SERVICE LINE, BACKFLOW PREVENTOR, SPRINKLERS AND EQUIPMENT IN ACCORDANCE WITH THE FIRE PROTECTION CONSULTANT'S PLAN, SPECIFICATIONS, LATEST EDITION OF THE UNIFORM CALIFORNIA FIRE CODE AND CITY/TOWN STANDARDS.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE MARSHAL, INCLUDING ANGLES, THRUST BLOCKS, VALVES, FIRE HYDRANT, PIPES, JOINTS, BACKFLOW ASSEMBLIES, FLEXIBLE CONNECTIONS, VALVES, ETC.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE MARSHAL, THE RATING AGENCY AND THE PROJECT MANAGER, ALL OWNING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO START OF WORK.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO ORDERING MATERIALS, FABRICATING SYSTEMS OR ANY INSTALLATION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS. ISSER LOCATIONS ARE SHOWN ON ARCHITECTURAL AND PLUMBING DRAWINGS AND ARE TO BE COORDINATED WITH ANCHOR FIELD CONDITIONS.

**PROJECT SITE MAINTENANCE:**

- REMOVE ALL DIRT, GRAVEL, RUBBISH, REFUSE, AND GREEN WASTE FROM STREET PAVEMENT AND STORM DRAINING ADJOINING THE SITE. LIMIT CONSTRUCTION ACCESS ROUTES OUT TO THE SITE AND PLACE GRAVEL PADS AT THESE LOCATIONS TO PROTECT DRIVE VEHICLES AND EQUIPMENT OFF THE PAVEMENT OR GRAVELED AREAS DURING WET WEATHER.
- SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJOINING THE PROJECT SITE AND THE ON-SITE PAVED AREAS ON A DAILY BASIS. LABEL AND MARK ALL SPILLS. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS MATERIAL CLEAN UP.
- CREATE A CONTAINED AND COVERED AREA ON THE SITE FOR THE STORAGE OF BAGS, CANISTER PAINTS, OILS, PESTICIDES, OR OTHER MATERIALS USED ON THE SITE THAT HAVE THE POTENTIAL OF BEING DISCHARGED INTO THE STORM DRAIN SYSTEM THROUGH EITHER BEING WIND-BLOWN OR IN THE EVENT OF A MATERIAL SPILL.
- NEVER CLEAN MACHINERY, EQUIPMENT OR TOOLS INTO A STREET, GUTTER OR STORM DRAIN.
- ENSURE THAT CHEMIST TRUCKS, PAINTERS, OR STICKY-CUPPLER FINISHING CONTRACTORS DO NOT DISCHARGE WASH WATER FROM EQUIPMENT, TOOLS OR CONTAINERS INTO GUTTERS OR DRAINS.
- UPON PROJECT COMPLETION THE CLIENT SHALL BE SOLELY RESPONSIBLE TO ROUTINELY INSPECT AND MAINTAIN ALL ON-SITE STORM DRAIN FACILITIES. STORM DRAIN SYSTEM SHALL BE CLEANED AND/OR FLUSHED ON A BIENNIAL BASIS OR AS FOUND NECESSARY.

**DIMENSIONS:**

- ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.

**PAVEMENT SPECIFICATIONS:**

- SEE STRUCTURAL DRAWINGS FOR BUILDING SLAB SECTIONS AND PAD PREPARATIONS.
- SEE GEOTECHNICAL REPORT FOR ALL FLYASH AND VEHICULAR PAVEMENT SECTIONS AND BASE REQUIREMENTS.
- THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL GRADING, AND ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- ALL PAVING SHALL BE IN CONFORMANCE WITH SECTION 2A "AGGREGATE BASE" AND SECTION 39 "ASPHALT CONCRETE" PER LATEST EDITION OF CALTRANS STANDARD SPECIFICATIONS.

**GRADING REQUIREMENTS:**

- PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 1% UNLESS OTHERWISE NOTED ON PLANS. SLOPE PORCHES, LANDINGS AND TERRACES 2% (1/4" PER FOOT) AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS.
- CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED AND THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE ENGINEER/ARCHITECT.
- ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE CLIENT'S TESTING AGENCY TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
- IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
- COORDINATE THE PLACEMENT OF ALL SLEEVES FOR LANDSCAPE IRRIGATION (WATER) AND CONTROL WIRING AND SITE LIGHTING PRIOR TO THE PLACEMENT OF ANY ASPHALT, BASECOURSE OR CONCRETE SURFACING, SEE LANDSCAPING AND SITE ELECTRICAL DRAWINGS.
- DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
- SITE STRIPPINGS THAT CONTAIN ONLY ORGANIC MATERIAL, IDO DEBRIS TRASH, BROKEN CONC. OR ROCKS GREATER THAN 1" IN DIAMETER MAY BE USED IN LANDSCAPE AREAS, EXCEPT FOR AREAS IDENTIFIED AS IMPORT TOP SOIL BY THE LANDSCAPE DRAWINGS. EXCESS STRIPPINGS SHALL BE REMOVED FROM SITE.
- ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05' HOWEVER CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
- THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE CLIENT.
- IF SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING PRIOR TO START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
- TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES OR PLACE STEEL PLATING WITH ANCHORED CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR NOT BE ASHphalt REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
- STRUCTURE WALLS: PER CBC 2304.11.2 (WOOD SUPPORTED BY FOUNDATION) PROVIDE 8" MINIMUM CLEAR TO EXTERIOR GRADE.

**TREE PROTECTION:**

- PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
- PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY INHERENT MATERIALS AS WELL AS FROM PULPING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS MATERIAL CLEAN UP.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES DESIGNATED TO REMAIN AND FOR MAINTENANCE OF RELICATED TREES STOCKPILED DURING CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REMOVE TREES THAT ARE DUE TO LACK OF MAINTENANCE.

**NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES):**

- ALL CONSTRUCTION ON OFF-SITE OR ON-SITE IMPROVEMENTS SHALL ADHERE TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES TO PREVENT COLLECTIBLE MATERIALS OR POLLUTANTS FROM ENTERING THE CITY OR COUNTY STORM DRAIN SYSTEMS.
- EROSION SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR RIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISTURBANCE BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOIL OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- CLEAN UP ALL SPILLS USING DRY METHODS.
- SWEEP ALL GUTTERS AT THE END OF EACH WORKING DAY. GUTTERS SHALL BE KEPT CLEAN AFTER LEAVING CONSTRUCTION SITE.
- CALL 911 IN CASE OF A HAZARDOUS SPILL.
- IMPACTS AS OUTLINED IN, BUT NOT LIMITED TO, CALIFORNIA STORM WATER QUALITY TASK FORCE, SAN FRANCISCO, CALIFORNIA, JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS).
- UPON SATISFACTORY COMPLETION OF THE WORK, THE ENTIRE WORK SITE SHALL BE CLEANED BY THE CONTRACTOR AND LEFT WITH A SMOOTH AND NEATLY GRADED SURFACE FREE OF CONSTRUCTION WASTE, RUBBISH, AND DEBRIS OF ANY NATURE.

**CONSTRUCTION FENCE:**

- CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION, INCLUDING ALL STAGING, STORAGE, CONSTRUCTION OFFICE AND LAYDOWN AREAS.
- CONSTRUCTION FENCE SHALL BE A MINIMUM OF A 4' HIGH GALVANIZED CHAIN LINK WITH GREEN WHIPSICOM FABRIC ON THE OUTSIDE OF THE FENCE.
- CONSTRUCTION FENCE ADDRESSED IN THESE NOTES IS ONLY FOR VISUAL CONFORMANCE OF THIS CONSTRUCTION SITE TO THE CITY STANDARDS. CONTRACTOR MAY BE REQUIRED TO PROVIDE ADDITIONAL FENCING, BARRICADES OR OTHER SAFETY DEVICES TO KEEP THE SITE SECURE AND SAFE.

**PROJECT DUST CONTROL:**

- WATER TRUCKS SHALL BE PRESENT AND IN USE AT THE CONSTRUCTION SITE. ALL PORTIONS OF THE SITE SUBJECT TO BLOWING DUST SHALL BE WATERED AS OFTEN AS DEMAND NECESSARY BY THE CLIENT/INSPECTOR IN ORDER TO INSURE PROTECTION OF BLOWING DUST FOR THE DURATION OF THE PROJECT.
- ALL PUBLIC STREETS AND MEDIANS SOLED OR LITTERED DUE TO THIS CONSTRUCTION ACTIVITY SHALL BE CLEANED AND SWEEP ON A DAILY BASIS DURING THE WORK WEEK, OR AS OFTEN AS DEEMED NECESSARY BY THE CLIENT/INSPECTOR, OR TO THE SATISFACTION OF THE CITY'S DEPARTMENT OF PUBLIC WORKS.
- ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARP/AUJAL OR OTHER EFFECTIVE COVERS.
- WHEEL WASHES SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHES CANNOT BE INSTALLED, TRUCKS OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL DEMONSTRATE DUST SUPPRESSION MEASURES, SUCH AS REGULAR WATERING, WHICH SHALL BE IMPLEMENTED TO REDUCE EMISSIONS DURING CONSTRUCTION AND GRADING IN A MANER MEETING THE APPROVAL OF THE CONSTRUCTION MANAGER. THIS SHALL ASSIST IN REDUCING SHORT-TERM IMPACTS FROM PARTICLES WHICH COULD RESULT IN NUISANCES THAT ARE PROHIBITED BY RULE 403 (FUGITIVE DUST).
- GRADING OR ANY OTHER OPERATIONS THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DUST CONTROL FOR THE ENTIRE PROJECT SITE IN ACCORDANCE WITH THE PROJECT SWEEP IF ONE EXISTS AS APPLICABLE PER LOCAL REGULATIONS AT ALL TIMES. THE SITE SHALL BE SPRINKLED AS NECESSARY TO PREVENT DUST NUISANCE. IN THE EVENT THAT THE CONTRACTOR NEGLECTS TO TAKE ADEQUATE MEASURES TO CONTROL DUST, THE CLIENT RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL MEASURES AND FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS. ALL GRADING OPERATIONS SHALL BE SUSPENDED DURING SECOND (OR WORSE) STAGE SMOG ALERTS.

**GENERAL SITE NOTES:**

- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING ON THIS WORK AND CONSIDER THE EXISTING CONDITIONS AND SITE CONSTRAINTS IN THE BID. CONSTRUCTION SHALL BE IN THE POSSESSION OF AND FABRIAN WITH ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS PRIOR TO SUBMITTING OF A BID.
- ALL WORK ON SITE AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS & SPECIFICATIONS.
- PRIOR TO BEGINNING WORK, AND AFTER INITIAL HORIZONTAL CONTROL STAKING, CONTRACTOR SHALL FIELD CHECK ALL ELEVATIONS MARKED WITH (E) AND REPORT ANY DISCREPANCIES GREATER THAN 6.00" TO PROJECT MANAGER.
- DAMAGE TO ANY EXISTING SITE IMPROVEMENTS, UTILITIES AND/OR SERVICES TO REMAIN SHALL BE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IF NEEDED.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND INDEMNIFY AND HOLD THE CLIENT, THE CONSULTING ENGINEER AND THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CLIENT OR THE CONSULTING ENGINEER.
- THE GEOTECHNICAL ASPECTS OF THE CONSTRUCTION, INCLUDING SITE GRADING, PIER AND FOOTING EXCAVATIONS, SWIMMING POOL EXCAVATION, PREPARATION OF SURGRADE AND PLACEMENT OF NON-EXPANSIVE FILL BENEATH SLAB-ON-GRADE, SETTING WALL BACKFILL, AND INSTALLATION OF SOILS AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY EARTH INVESTIGATIONS CONSULTANTS DATED JANUARY 19, 2016. THE GEOTECHNICAL ENGINEER SHALL BE GIVEN AT LEAST 48 HOURS ADVANCE NOTIFICATION (650-557-0262) OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND TEXT THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT.

**RECORD DRAWINGS:**

- THE CONTRACTOR SHALL KEEP UP-TO-DATE AND ACCURATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVERY CHANGE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXACT FINAL LOCATION, ELEVATION, SIZES, MATERIALS, AND DIMENSIONS OF ALL WORK. RECORDS SHALL BE "FIELD-BUILT" ON A SET OF CONSTRUCTION PLAN DRAWINGS. A COMPLETE SET OF CORRECTED AND COMPLETED RECORD DRAWING PRINTS SHALL BE SUBMITTED TO THE CITY ENGINEER AND DEVELOPER'S CIVIL ENGINEER PRIOR TO FINAL ACCEPTANCE FOR REVIEW AND APPROVAL BY THE CITY ENGINEER.



PROJECT CONTACT:  
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|              |            |
|--------------|------------|
| DATE:        | 06/11/2017 |
| REVISION:    | 06/12/2017 |
| REVISION:    | 06/23/2018 |
| REVISION:    | 08/24/2018 |
| DESCRIPTION: | REVISIONS  |

**ATKINS-CONCRETE RESIDENCE**  
KEBET RIDGE ROAD  
WOODSIDE, CA 94062

FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION

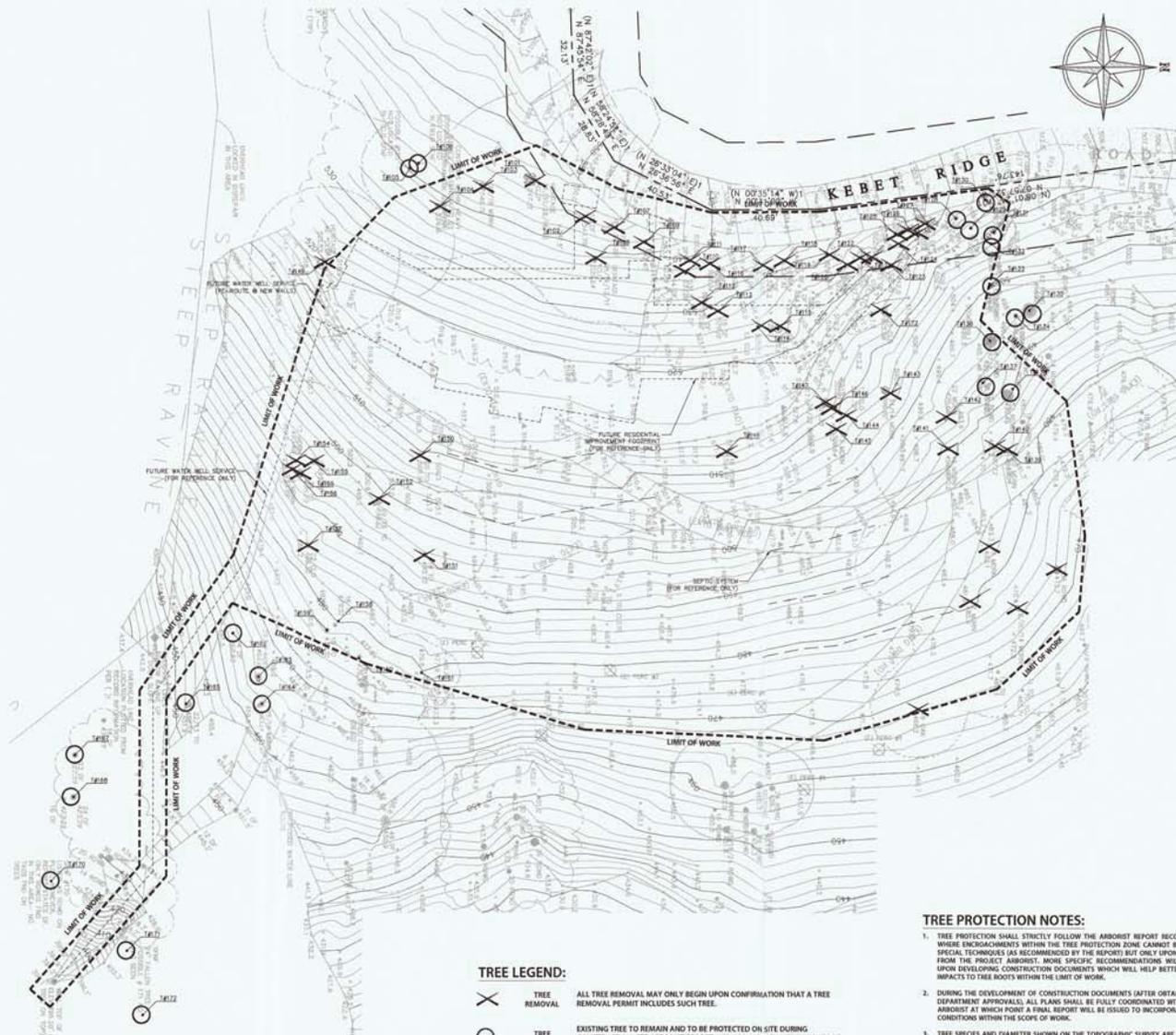
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|---------------|------------|
| PROJECT No:   | 16-011     |
| DATE:         | 07/06/2016 |
| SCALE:        | AS SHOWN   |
| DESIGN/DRAWN: | MK         |
| CHECKED:      | IK         |

SHEET TITLE

PROJECT NOTES

**C0.1**





**TREE LEGEND:**

- TREE REMOVAL** ALL TREE REMOVAL MAY ONLY BEGIN UPON CONFIRMATION THAT A TREE REMOVAL PERMIT INCLUDES SUCH TREE.
- TREE PROTECTION** EXISTING TREE TO REMAIN AND TO BE PROTECTED ON SITE DURING CONSTRUCTION. SEE ARBORIST REPORT AND APPLY SPECIAL TECHNIQUES AT AREAS OF ENCROACHMENT.
- (E) TREE TO REMAIN** EXISTING TREE TO REMAIN OUT OF SCOPE OF WORK AREA OR UNDER 12" DBH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE THE INTEGRITY OF TREES TO REMAIN, WHICH SHALL NOT BE AFFECTED BY CONSTRUCTION ACTIVITIES. USE CAUTION WITHIN THE TREE CIRCULE AND CONSULT THE PROJECT'S ARBORIST IF IN DOUBT.

**TREE PROTECTION NOTES:**

1. TREE PROTECTION SHALL STRICTLY FOLLOW THE ARBORIST REPORT RECOMMENDATIONS. WHERE ENCROACHMENTS WITHIN THE TREE PROTECTION ZONE CANNOT BE AVOIDED, USE SPECIAL TECHNIQUES AS RECOMMENDED BY THE REPORT BUT ONLY UPON COORDINATION FROM THE PROJECT ARBORIST. MORE SPECIFIC RECOMMENDATIONS WILL BE PROVIDED UPON DEVELOPING CONSTRUCTION DOCUMENTS WHICH WILL HELP BETTER UNDERSTAND IMPACTS TO TREE ROOTS WITHIN THE LIMIT OF WORK.
2. DURING THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS (AFTER OBTAINING PLANNING DEPARTMENT APPROVALS) ALL PLANS SHALL BE FULLY COORDINATED WITH THE PROJECT ARBORIST AT WHICH POINT A FINAL REPORT WILL BE ISSUED TO INCORPORATE ALL SPECIAL CONDITIONS WITHIN THE SCOPE OF WORK.
3. TREE SPECIES AND DIAMETER SHOWN ON THE TOPOGRAPHIC SURVEY ARE ONLY THE FIELD SURVEYER'S ASSESSMENT OF TREES FIELD SURVEYED. THE EXACT SIZE, SPECIES AND DIAMETER ARE SHOWN ON THE ARBORIST REPORT (SEE REPORT BY NOTIFICATION AND SEE TABLE TO THE RIGHT).



SEE SHEETS C0.0 AND C0.1 FOR ADDITIONAL NOTES AND LEGENDS

**EXISTING CONDITIONS:**

1. BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED BY ROBERT C. SHELLMAN, LS 8054.
2. GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE. AREAS BEYOND THE ORIGINAL SCOPE OF WORK AREA HAVE BEEN EXTRAPOLATED FOR PLAN REVIEW PURPOSES. A NEW DETAILED TOPOGRAPHIC SURVEY SHALL TAKE PLACE UPON CLEARING AND GRUBBING THE SITE, PRIOR TO CONSTRUCTION.
3. UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED.
4. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND REPORT BACK TO CIVIL ENGINEER ANY DISCREPANCIES WITH PLAN PRIOR TO COMMENCEMENT OF WORK VIA FORMAL RFI. CONTRACTOR SHALL PROVIDE EXHIBITS REPRESENTING THE FOUND CONDITIONS.

**TREE INVENTORY:**

1. THE BELOW INVENTORY FROM THE PROJECT ARBORIST SHALL BE USED TO REFERENCE THE EXACT TAG NUMBER, SPECIES AND DIAMETER. TREES NOT TAGGED BY THE ARBORIST WITHIN THE SCOPE OF WORK AREA ARE ASSUMED TO BE SMALL-DIAMETER AND THEREFORE NOT PART OF THE INVENTORY AND/OR NOT SIGNIFICANT TREES.
2. THE LIMIT OF WORK AREA IS HEAVILY VEGETATED AND THE TERRAIN PRESENTS A STEEP SLOPE. DUE TO THE DIFFICULT TERRAIN CONDITIONS, SOME AREAS HAVE BEEN INTERPOLATED. ANY LARGE DIAMETER TREES FOUND AND NOT PART OF THE INVENTORY SHALL BE REPORTED TO THE CIVIL ENGINEER PRIOR TO OTHER PROTECTION AND/OR DEMOLITION. ALL TREE REMOVAL MUST BE APPROVED WITH A PERMIT ISSUED BY THE COUNTY OF SAN MATEO.

| Tag # | Species         | Diameter       |
|-------|-----------------|----------------|
| 101   | Canyon live oak | 36.30,28.16,12 |
| 102   | Doug fir        | 13             |
| 103   | Madrone         | 25.38          |
| 104   | Doug fir        | 26             |
| 105   | Canyon live oak | 22             |
| 106   | Canyon live oak | 14             |
| 107   | Doug fir        | 17             |
| 108   | Canyon live oak | 18.14,13.11    |
| 109   | Doug fir        | 22             |
| 110   | Doug fir        | 14             |
| 111   | Doug fir        | 14             |
| 112   | Doug fir        | 12             |
| 113   | Doug fir        | 15             |
| 114   | Canyon live oak | 13             |
| 115   | Canyon live oak | 37             |
| 116   | Doug fir        | 12             |
| 117   | Doug fir        | 15             |
| 118   | Doug fir        | 16             |
| 119   | Doug fir        | 20             |
| 120   | Doug fir        | 16             |
| 121   | Doug fir        | 17             |
| 122   | Doug fir        | 15             |
| 123   | Doug fir        | 15             |
| 124   | Doug fir        | 12             |
| 125   | Doug fir        | 17             |
| 126   | Doug fir        | 15             |
| 127   | Doug fir        | 21             |
| 128   | Doug fir        | 19             |
| 129   | Doug fir        | 14             |
| 130   | Coast redwood   | 19             |
| 131   | Doug fir        | 20             |
| 132   | Doug fir        | 13             |
| 133   | Coast redwood   | 20             |
| 134   | Coast redwood   | 21             |
| 135   | Coast redwood   | 62             |
| 136   | Coast redwood   | 58             |
| 137   | Coast redwood   | 15             |
| 138   | Coast redwood   | 52             |
| 139   | Madrone         | 20             |
| 140   | Tan oak         | 14             |
| 141   | Madrone         | 19             |
| 142   | Madrone         | 23             |
| 143   | Madrone         | 35.14          |
| 144   | Canyon live oak | 12             |
| 145   | Madrone         | 13             |
| 146   | Tan oak         | 25             |
| 147   | Madrone         | 26.22          |
| 148   | Coast redwood   | 16             |
| 149   | Canyon live oak | 46             |
| 150   | Tan oak         | 20             |
| 151   | Tan oak         | 18             |
| 152   | Tan oak         | 29.38          |
| 153   | Tan oak         | 27             |
| 154   | Madrone         | 17             |
| 155   | Tan oak         | 34             |
| 156   | Madrone         | 18             |
| 157   | Canyon live oak | 22             |
| 158   | Tan oak         | 16             |
| 159   | Tan oak         | 18             |
| 160   | Madrone         | 18             |
| 161   | Tan oak         | 28             |
| 162   | Doug fir        | 14             |
| 163   | Madrone         | 28.39          |
| 164   | Madrone         | 25.16          |
| 165   | Tan oak         | 22.43          |
| 166   | Doug fir        | 18             |
| 167   | Doug fir        | 23             |
| 168   | Doug fir        | 24             |
| 169   | Doug fir        | 16             |
| 170   | Doug fir        | 28             |
| 171   | Doug fir        | 25             |
| 172   | Coast live oak  | 25             |

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MELANIE KOSTERHOFF | mk@kprox.com

| DATE:      | REVISIONS: |
|------------|------------|
| 04/15/2017 | 1/23/2018  |
| 04/15/2017 | 02/23/2018 |
| 04/15/2017 | 04/24/2018 |
| 04/15/2017 | 11/12/2018 |

**ATKINS-CONCRA**  
**RESIDENCE**  
KEBET RIDGE ROAD  
WOODSIDE, CA 94062

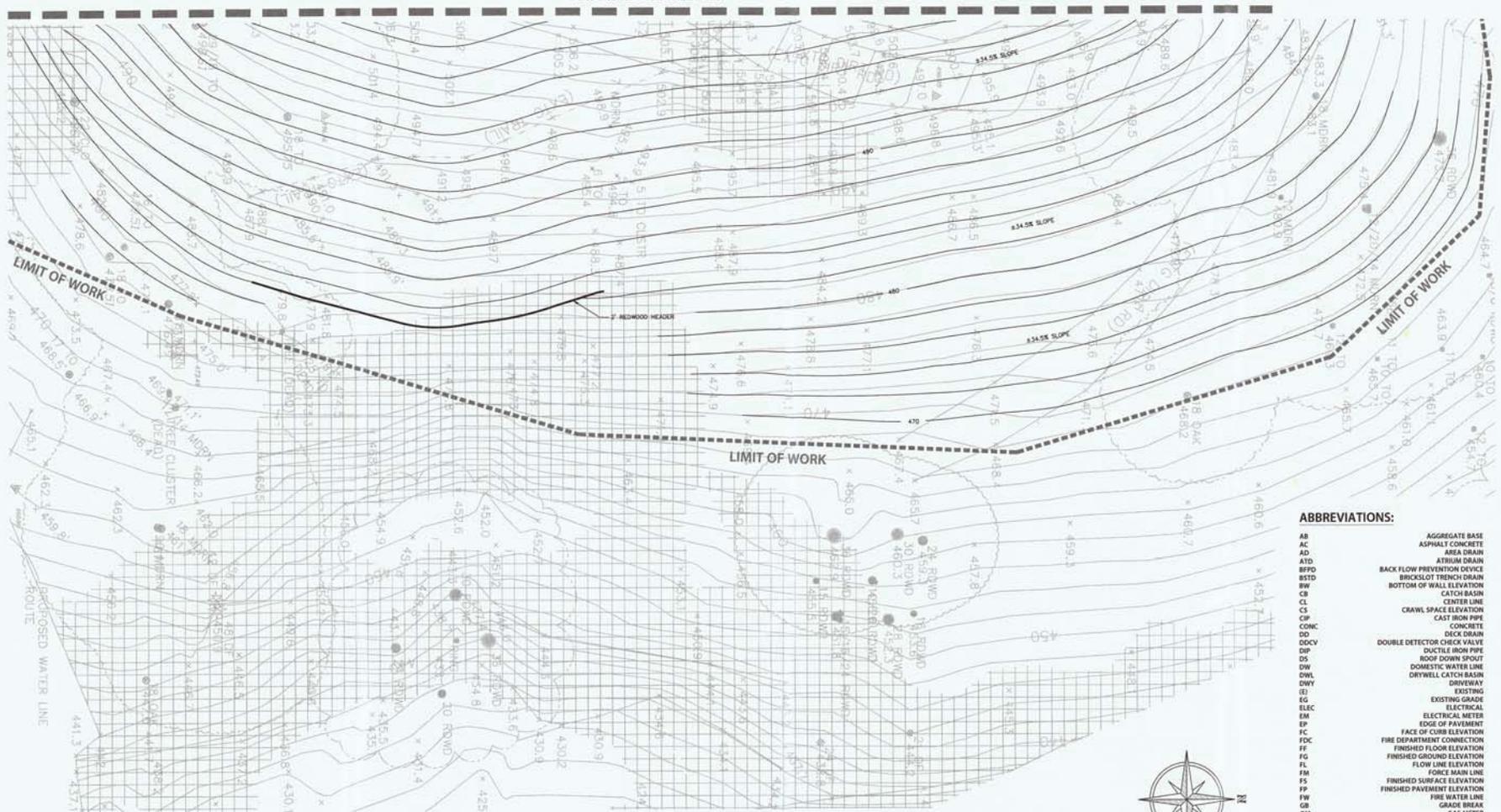
FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION

PROJECT No: 16-6101  
DATE: 07/08/2016  
SCALE: 1" = 30'  
DESIGN/DRAWN: HK  
CHECKED: IK

SHEET TITLE  
EXISTING CONDITIONS AND TREE DISPOSITION  
**C1.1**



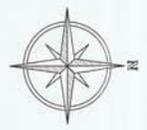
MATCHLINE - SEE SHEET C2.1



**ABBREVIATIONS:**

- AB AGGREGATE BASE
- AC ASPHALT CONCRETE
- AD AREA DRAIN
- ATD ATRIUM DRAIN
- BFPO BACK FLOW PREVENTION DEVICE
- BTSD BRICKSLOT TRENCH DRAIN
- BW BOTTOM OF WALL ELEVATION
- CB CATCH BASIN
- CL CENTER LINE
- CS CRAWL SPACE ELEVATION
- CONC CAST IRON PIPE CONCRETE
- COV CONCRETE OVERLAY
- DDCV DOUBLE DETECTOR CHECK VALVE
- DI DUCTILE IRON PIPE
- DS ROOF DOWN SPOT
- DW DOMESTIC WATER LINE
- DWL DRYWELL CATCH BASIN
- DWV DRAINWAY
- EX EXISTING
- EG EXISTING GRADE
- ELEC ELECTRICAL
- EM ELECTRICAL METER
- EP EDGE OF PAVEMENT
- FC FACE OF CURB ELEVATION
- FDC FIRE DEPARTMENT CONNECTION
- FF FINISHED FLOOR ELEVATION
- FG FINISHED GROUND ELEVATION
- FL FLOW LINE ELEVATION
- FM FORCE MAIN LINE
- FS FINISHED SURFACE ELEVATION
- FP FINISHED PAVEMENT ELEVATION
- FW FIRE WATER LINE
- GB GRADE BREAK
- GM GAS METER
- GR GRATE ELEVATION
- GV GATE VALVE
- HP HIGH POINT
- IBV INVERT ELEVATION
- JT JOINT TRENCH
- JP JOINT POLE
- LD LANDSCAPE DRAIN
- LF LINEAR FEET
- LP LOW POINT
- NI NEW
- PIV POST INDICATOR VALVE
- PARV PARKING
- POC POINT OF CONNECTION
- RET RETAINING WALL
- RRM RIM ELEVATION
- S SLOPE
- SAP SEE ARCHITECTURAL PLANS
- SBD STORM SUB DRAIN
- SBOCD STORM SUB DRAIN CLEANOUT
- SD STORM DRAIN
- SODO STORM DRAIN CLEANOUT
- SIG SEE GEOTECHNICAL REPORT
- SICB SIDE INLET CATCH BASIN
- SLP SEE LANDSCAPE PLANS
- SPP SEE PLUMBING PLANS
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- SSP SEE STRUCTURAL PLANS
- TW TYPICAL
- USD UNDERSLAB DRAIN
- VD PIPE VERTICAL DROP
- W DOMESTIC WATER LINE
- WM WATER METER

SEE SHEETS C0.0 AND C0.1 FOR ADDITIONAL NOTES AND LEGENDS



PROJECT CONTACT:  
RELEASING FIRM: SUBMITTAL | jacob@kprox.com

|            |            |
|------------|------------|
| DATE:      | 04/11/2017 |
| REVISIONS: | 1/27/2017  |
| REVISIONS: | 03/23/2018 |
| REVISIONS: | 08/29/2018 |

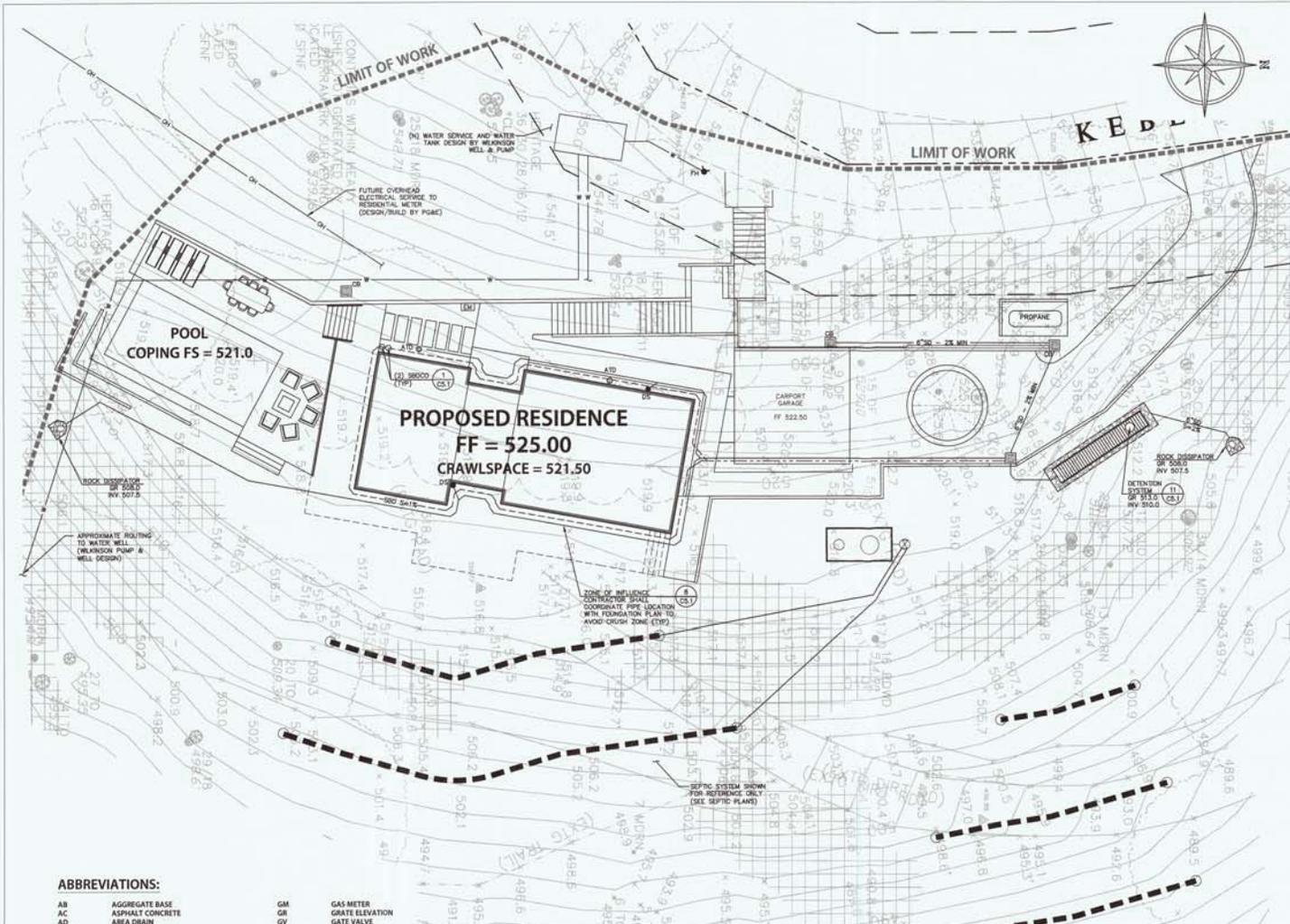
**ATKINS-CONCRA RESIDENCE**  
KEBET RIDGE ROAD  
WOODSIDE, CA 94062

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Project information table:

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|---------------|------------|
| PROJECT No:   | 16-6101    |
| DATE:         | 07/08/2016 |
| SCALE:        | 1" = 10'   |
| DESIGN/DRAWN: | MK         |
| CHECKED:      | IK         |

SHEET TITLE  
**GRADING PLAN**  
**C2.2**



**ABBREVIATIONS:**

|      |                             |     |                          |
|------|-----------------------------|-----|--------------------------|
| AB   | AGGREGATE BASE              | GM  | GAS METER                |
| AC   | ASPHALT CONCRETE            | GR  | GRATE ELEVATION          |
| AD   | AREA DRAIN                  | GV  | GATE VALVE               |
| ATD  | ATRIUM DRAIN                | HP  | HIGH POINT               |
| BFPD | BACKFLOW PREVENTION DEVICE  | HW  | INVERT ELEVATION         |
| BSTD | BRICKSLOT TRENCH DRAIN      | JT  | JOINT TRENCH             |
| BW   | BOTTOM OF WALL ELEVATION    | JP  | JOINT POLE               |
| CE   | CATCH BASIN                 | LD  | LANDSCAPE DRAIN          |
| CL   | CENTER LINE                 | LF  | LINEAR FEET              |
| CE   | CATCH BASIN                 | LP  | LOW POINT                |
| CIP  | CAST IRON PIPE              | LN  | NEW                      |
| CONC | CONCRETE                    | NOV | OVERTFLOW                |
| DD   | DECK DRAIN                  | PKV | POST INDICATOR VALVE     |
| DDCV | DOUBLE DETECTOR CHECK VALVE | PC  | POINT OF CONNECTION      |
| DR   | DUCTILE IRON PIPE           | PCW | RETAINING WALL           |
| DS   | DOWN SPOUT                  | RE  | RIM ELEVATION            |
| DW   | DOMESTIC WATER LINE         | RS  | SLOPE                    |
| DW   | DRYWELL CATCH BASIN         | RS  | SEE ARCHITECTURAL PLANS  |
| DWY  | DRIVEWAY                    | SAP | STORM SUB DRAIN          |
| EG   | EXISTING GRADE              | SD  | STORM SUB DRAIN CLEANOUT |
| ELEC | ELECTRICAL                  | SDO | STORM DRAIN              |
| EM   | ELECTRICAL METER            | SDO | STORM DRAIN CLEANOUT     |
| EP   | EDGE OF PAVEMENT            | SDO | SEE GEOTECHNICAL REPORT  |
| FC   | FACE OF CURB ELEVATION      | SGR | SEE LANDSCAPE PLANS      |
| FAC  | FIRE DEPARTMENT CONNECTION  | SLP | SEE PLUMBING PLANS       |
| FG   | FISHED FLOOR ELEVATION      | SNP | SANITARY SEWER           |
| FL   | FINISHED GROUND ELEVATION   | SS  | SANITARY SEWER CLEANOUT  |
| FM   | FORCE MAIN LINE             | SSO | SEE STRUCTURAL PLANS     |
| FS   | FINISHED SURFACE ELEVATION  | SSP | TOP OF WALL ELEVATION    |
| FP   | FINISHED PAVEMENT ELEVATION | TND | TYPICAL                  |
| FW   | FINISHED WATER LINE         | UD  | UNDERLAYS DRAIN          |
| GB   | GRADE BREAK                 | USD | PIPE VERTICAL DROP       |
|      |                             | VD  | DOMESTIC WATER LINE      |
|      |                             | W   | WATER METER              |
|      |                             | WM  | WATER METER              |

**SANITARY SEWER & SEPTIC REQUIREMENTS:**

1. CONTACT THE SEPTIC DESIGNER FOR ANY WORK IMPACTING THE EXISTING SEWER AND SEPTIC LINES.
2. ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT STANDARDS.
3. PRIVATE SANITARY SEWER SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLEED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS, 90° ELBOWS AND TEE ARE PROHIBITED.
4. ALL LATERALS SHALL HAVE A CLEANOUT AT FACE OF BUILDING AND AS SHOWN ON PLANS PER TOWN STANDARDS OR APPROPRIATE SANITARY SEWER DISTRICT.

**NOTES:**

1. IT SHALL BE THE HOMEOWNER'S RESPONSIBILITY TO ENSURE THAT ALL DRAINAGE IMPROVEMENTS SHOWN HEREON ARE MAINTAINED IN GOOD WORKING ORDER. THIS INCLUDES PERIODICALLY INSPECTING THE STORM DRAIN PIPES FOR SEDIMENT AS WELL AS THE DRAIN INLETS FOR SEDIMENT. ANY BUILD UP OF SEDIMENT SHOULD BE PERIODICALLY CLEANED TO INSURE THE DRAINAGE FEATURES FUNCTION AS INTENDED. ALL ON-SITE SWALES SHALL BE MAINTAINED AS SHOWN FOR THIS PLAN.

**WATER SYSTEM REQUIREMENTS:**

1. MAINTAIN WATER LINES 18" AWAY FROM SANITARY SEWER LINES.
2. WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.
3. ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OR APPLICABLE WATER DISTRICT STANDARDS.
4. WATER CONNECTIONS WILL BE ROUTED FROM THE CURRENT LOCATION ADJACENT TO AND SERVING THE EXISTING RESIDENCE. CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE APPROVED BY THE TOWN. THE CONTRACTOR SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, PREPARE THE SITE, FURNISH ALL MATERIALS, INSTALL TAPPING TEES, VALVES AND ALL THRUST BLOCKS, BACKFILL, RESTORE THE SURFACE, AND CLEAN UP. THE CITY WILL PROVIDE THE CLIENT WITH A LIST OF APPROVED CONTRACTORS FOR MAKING WET TAPS. NONMETALLIC WATER LINES SHALL HAVE TRACER WIRES INSTALLED.
5. ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER.
6. CONTRACTOR SHALL SIZE AND INSTALL ALL NEW DESIGN BUILD DOMESTIC IRRIGATION AND FIRE WATER LINES IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM-CALIFORNIA PLUMBING AND FIRE CODES. ALL FUTURE LINE COUPLERS SHALL BE REVIEWED AND APPROVED BY THE TOWN'S BUILDING AND/OR WATER DEPARTMENT PRIOR TO CONSTRUCTION.
7. CONCRETE THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, CROSSES, BENDS HORIZONTAL AND VERTICAL, BY SIZE CHANGES AND AT FIRE HYDRANTS PER CITY STANDARD, AWWA C900, SECTION 3.8 UNLESS NOTED OTHERWISE.
8. ALL ON AND OFF-SITE LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING AND/OR NEW WATER SYSTEM AND METERED ACCORDINGLY.

**GENERAL UTILITY SYSTEM REQUIREMENTS:**

1. ALL TRENCHES SHALL BE BACK FILLED PER CITY STANDARDS.
2. CLEAN OUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS (UNLESS IS APPROPRIATE).
3. CONTRACTOR SHALL STAKE LOCATION OF ABOVE GROUND UTILITY EQUIPMENT (BACKFLOW PREVENTOR, SATELLITE DRAIN, TRANSFORMER, GAS METER, ETC.) AND MEET WITH CLIENT TO REVIEW LOCATION PRIOR TO INSTALLATION. PLANNING DEPARTMENT MUST SPECIFICALLY AGREE WITH LOCATION PRIOR TO PROCEEDING WITH THE INSTALLATION.
4. CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES AS DETERMINED DURING THE DEMOLITION WORK. THE UTILITIES SHOWN ON THE CIVIL DRAWINGS, AND THE SITE POWER, CONDUITY AND LIGHTING SHOWN ON THE ELECTRICAL PLANS, THE FIRE SPRINKLER SYSTEM SHALL BE INCLUDED AS DESIGNED BY THE DESIGNATED UNDERGROUND FIRE SPRINKLER SYSTEM CONTRACTOR.
5. CATHODIC PROTECTION MAY BE REQUIRED ON ALL METALLIC FITTINGS AND ASSEMBLIES THAT ARE IN CONTACT WITH THE SOIL, IF RECOMMENDED BY A GEOTECHNICAL REPORT. CONTRACTOR IS RESPONSIBLE TO FULLY ENGINEER AND INSTALL THIS SYSTEM AND COORDINATE ANODE AND TEST STATION LOCATIONS WITH OWNER'S PROJECT MANAGER.
6. COMPLETE SYSTEMS: ALL UTILITY SYSTEMS ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.
7. UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND EXTENT BASED UPON RECORD INFORMATION. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CLIENT, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT THERETO, AGREES TO ASSUME LIABILITY AND TO HOLD UNDERGROUND HANDMADE FOR ANY DAMAGE RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERGROUND, NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, LOCATED AT VARIANCE WITH THOSE REPORTED OR SHOWN ON RECORDS EXAMINED.
8. CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONNECTIONS PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INVERTS SHALL BE AT THE DOWNSTREAM CONNECTION. THE CONTRACTOR SHALL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UP STREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY. CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SEWERS LATERAL WITH CHURNS PRIOR TO CONSTRUCTION.
9. EXISTING UTILITY CROSSINGS OF NEW PIPELINE ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. GAS, WATER AND SEWER SERVICE LATERALS ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL THE UTILITY CROSSINGS (BOTH MAINS AND LATERALS) ARE CORRECT AS SHOWN. NO GUARANTEE IS MADE THAT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND SHALL PROTECT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) FROM DAMAGE DUE TO HIS OPERATION.
10. VERTICAL SEPARATION REQUIREMENTS:
  - A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPES.
  - WHERE NEW WATER PIPES ARE REQUIRED TO CROSS UNDER EXISTING AND/OR NEW SANITARY SEWER PIPES, THE MINIMUM VERTICAL SEPARATION SHALL BE 12 INCHES. WATER PIPE ENDS SHALL BE INSTALLED NO CLOSER THAN 18" MINIMUM HORIZONTAL DISTANCE FROM CENTERLINE OF UTILITY CROSSINGS, WHERE FEASIBLE.
11. HORIZONTAL SEPARATION REQUIREMENTS:
  - A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPES AND ANY EXISTING UTILITIES SHALL BE 5 FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPES SHALL BE 18" MINIMUM, UNLESS OTHERWISE NOTED.
  - A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPES AND JOINT TRENCH SHALL BE 5 FEET.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REDUCING/VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
13. ANY EXISTING UNDERGROUND UTILITY LINES TO BE ABANDONED, SHOULD BE REMOVED FROM WITHIN THE PROPOSED BUILDING ENVELOPE, AND THEIR ENDS CAPPED OUTSIDE OF THE BUILDING ENVELOPE.

**STORM DRAIN REQUIREMENTS:**

1. PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 WHITE PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLEED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS, 45° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE ARE PROHIBITED.
2. PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 WHITE PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLEED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS, 45° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE ARE PROHIBITED.
3. ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN APPROPRIATE AREAS SHALL MEET ADA REQUIREMENTS.
4. ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
5. FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY PIPOHOLE (IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF SYSTEM THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
6. DRAINS SHOWING ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAIN PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS DESIGNED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
7. INSTALL SEPARATE SUB-DRAIN SYSTEM BEHIND RETAINING WALLS PER GEOTECHNICAL REPORT AND CONNECT TO STORM DRAIN PLANS.
8. ALL DRAIN SPOUTS SHALL DISCHARGE DIRECTLY ONTO AN ADJACENT PERVIOUS SURFACE OR SLEASH BLOCK UNLESS OTHERWISE NOTED ON PLANS. SEE ARCHITECTURE PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

SEE SHEETS C.O.0 AND C.O.1 FOR ADDITIONAL NOTES AND LEGENDS



PROJECT CONTRACT: RESIDENT CONTRACTOR: [Redacted]

DATE: 04/15/2017  
 12/27/2017  
 02/22/2018  
 04/24/2018

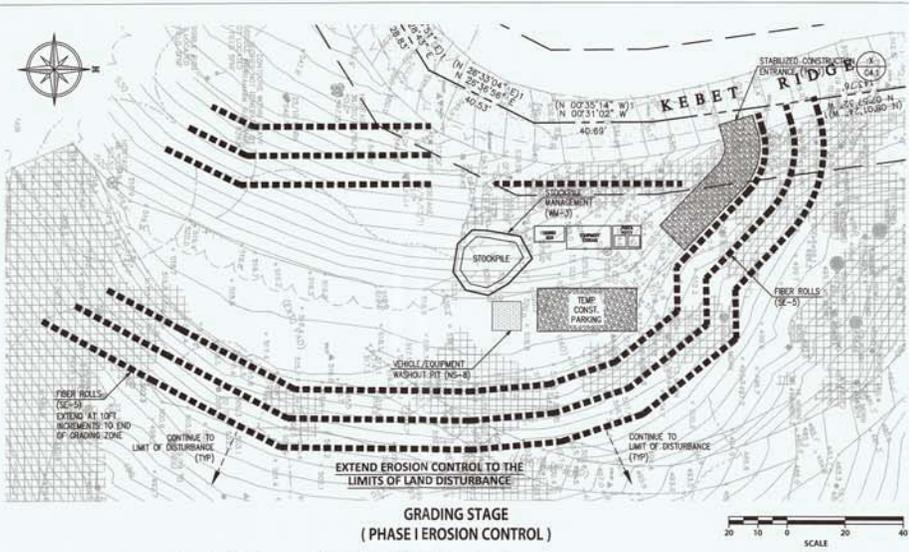
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 REVISIONS  
 REVISIONS

**ATKINS-CONCRA RESIDENCE**  
 KEBET RIDGE ROAD  
 WOODSIDE, CA 94062

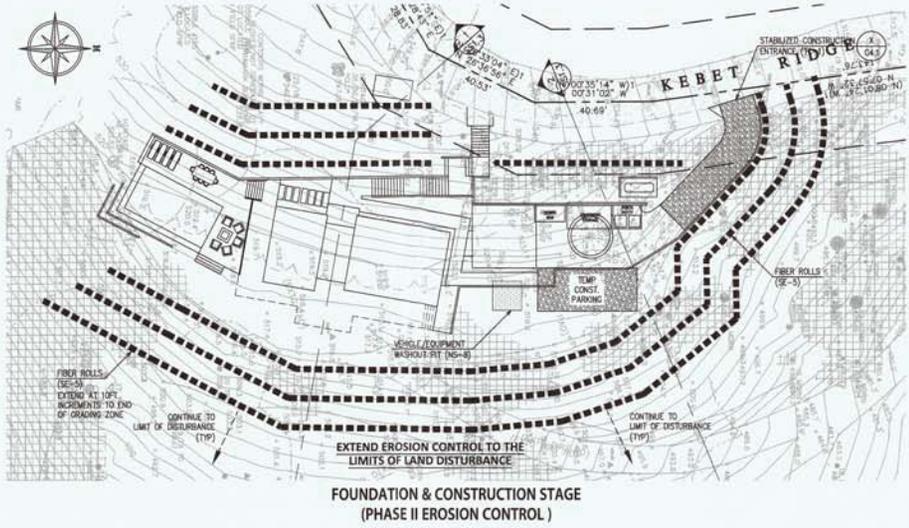
FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION

PROJECT No: 16-9191  
 DATE: 07/08/2016  
 SCALE: 1" = 10'  
 DESIGN/DRAWN: MK  
 CHECKED: MK

SHEET TITLE  
**DRAINAGE AND UTILITY PLAN**  
**C3.1**



GRADING STAGE  
(PHASE I EROSION CONTROL)

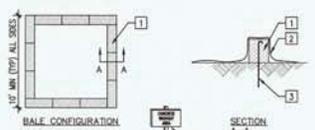
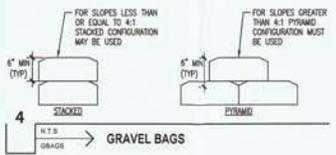


FOUNDATION & CONSTRUCTION STAGE  
(PHASE II EROSION CONTROL)

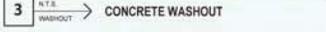
**NOTE:** CONSIDERING THE STEEPNESS OF THE SLOPE, THE CONTRACTOR SHALL ENSURE THAT AT THE END OF EVERY WORKING DAY ALL EROSION CONTROL MEASURES ARE OPERATING CORRECTLY. STRAW/FIBER ROLLS SHOWN ABOVE SHALL BE PLACED WITHIN THE ENTIRE AREA OF LAND DISTURBANCE UNLESS OTHERWISE DIRECTED BY THE CIVIL ENGINEER, LANDSCAPE ARCHITECT, OR GEOTECHNICAL ENGINEER. ALL DISTURBED AREAS SHALL BE STABILIZED (OR WELL PROTECTED) PRIOR TO ANY STORM EVENT. THE CONTRACTOR SHALL IMPLEMENT EROSION CONTROL MEASURES FOLLOWING CASQA GUIDELINES.

**SEQUENCING:** ALL EROSION CONTROL MEASURES SHALL BE IN PLACE IMMEDIATELY UPON STARTING LAND DISTURBANCE ACTIVITIES. POST-CONSTRUCTION MEASURES SHALL TAKE PLACE IMMEDIATELY UPON FINALIZING TRENCHING ACTIVITIES FOR THE SEPTIC LEACH FIELDS. SEE LANDSCAPE PLAN L5.1 FOR "LEACH FIELD PLANTING PLAN" AND ADDITIONAL NOTES.

**NOTE:** INSTALL AT LOCATIONS AS SHOWN ON EROSION CONTROL PLAN, AND IN ADDITION PROTECT ALL EXISTING AND PROPOSED STORM DRAIN STRUCTURES WITH GRASS BARS



- 1 STONE BALES, FIBER ROLLS OR EQUAL
- 2 60 MIL POLYETHYLENE OR EQUAL WATERPROOF PLASTIC MEMBRANE
- 3 2" X 2" STAKES OR #4 3-ROWS (TWO PER BALE TYPICAL)
- 4 SOIL TO BE 24"x36" MIN FACING NEAREST STREET OR ACCESS POINT
- 5 DEPTH TO BE 24" MINIMUM



CONTRACTOR SHALL INSPECT FIBER ROLLS DURING CONSTRUCTION TO ENSURE OPERABILITY.

**NOTES:**

- A. INSTALL FIBER ROLLS IN A ROW ALONG A LEVEL CONTOUR.
- B. AT ENDS OF A ROW TURN THE LAST TWO FEET UP SLOPE SLIGHTLY.
- C. FIBER ROLLS SHALL BE BUTTED TIGHTLY AT THE JOINTS.
- D. DO NOT OVERLAP JOINTS.
- E. FIBER ROLLS SHALL BE INSPECTED WEEKLY AND AFTER STORMS AND REPAIRED OR REPLACED AS NEEDED.

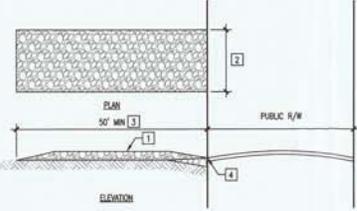


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- C. FIBER ROLLS SHALL BE BUTTED TIGHTLY AT THE JOINTS.
- D. DO NOT OVERLAP JOINTS.
- E. FIBER ROLLS SHALL BE INSPECTED WEEKLY AND AFTER STORMS AND REPAIRED OR REPLACED AS NEEDED.

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- 1 THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12"
- 2 THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- 3 THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50' UNLESS OTHERWISE APPROVED BY THE REVIEWING AGENCY.
- 4 PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC R/W

- NOTES:**
- A. THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 4" TO 6" STONE.
  - B. PROVIDE A FINISHED STABILIZED ENTRANCE TO ACCOMMODATE THE TURNING RADII OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET.
  - C. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRASS, BOARD OR OTHER APPROVED METHODS.
  - D. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS CHANGE AND REMOVE AND/OR CLEANING OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
  - E. ADD FILTER FABRIC UNDER ADOQUATE.

**EROSION AND SEDIMENTATION CONTROL NOTES:**

1. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN. IF PROVIDED, ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF THE EROSION CONTROL SYSTEM SO THAT IT WORKS WITH THE CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS PRIOR TO ANTICIPATED STORMS AND AT REASONABLE INTERVALS DURING STORMS OR EXTENDED DRAINAGE REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
3. AS SOON AS PRACTICAL FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS AND SHALL CLEAN THE OUTLET PIPES OF ANY BLOCKAGE.
4. STOCKPILED MATERIAL SHALL BE COVERED WITH WOODEN OR TARP/AULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED WITH A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER.
5. PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRADING, OR EXCAVATION, THE CONTRACTOR SHALL VERIFY THAT THE CLIENT HAS SUBMITTED TO THE STATE WATER RESOURCES CONTROL BOARD A NOTICE OF INTENT (NOI) FOR COVERAGE UNDER THE STATE CONSTRUCTION STORM WATER GENERAL PERMIT, IF REQUIRED BY THE STATE. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE NOI ON THE CONSTRUCTION SITE.
6. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN BARE IS IMMINENT.
7. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DICES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
8. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE CITY INSPECTOR. THE ADJACENT STREET SHALL BE KEPT CLEAR OF DEBRIS, WITH DUST AND OTHER NUISANCES BEING CONTROLLED AT ALL TIMES. DEVELOPERS SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE CITY'S RIGHT-OF-WAY IS PERMITTED.
9. ALL EROSION CONTROL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED.
10. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERM, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES.

**SAN MATEO COUNTY EROSION AND SEDIMENTATION CONTROL NOTES:**

1. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
2. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL, ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENuded AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
3. STORE, HANDLE, AND DISPOSE OF THE CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
4. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETES, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENT, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
5. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
6. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
7. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
8. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
9. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
10. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
11. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON".
12. DUST CONTROL IS REQUIRED YEAR-ROUND.
13. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
14. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
15. THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING OR GRUBBING IS STARTED.
16. PROJECT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AS NECESSARY THROUGHOUT THE DURATION OF THE PERMIT TO BE EFFECTIVE. IF SIGNIFICANT FIELD CHANGES ARE MADE, REVISED PLANS MUST BE SUBMITTED FOR APPROVAL. THE BUILDING INSPECTOR HAS THE AUTHORITY TO REQUIRE ADDITIONAL MEASURES AT ANY TIME, AND MAY CANCEL ANY REQUESTED INSPECTION IF ANY MEASURES ARE FOUND TO BE DEFICIENT. A STOP WORK NOTICE MAY BE ISSUED PURSUANT TO THE COUNTY'S STORMWATER ENFORCEMENT RESPONSE PLAN UNTIL CORRECTIONS HAVE BEEN MADE AND APPLICABLE FEES PAID FOR STAFF ENFORCEMENT TIME. THE PROPERTY OWNER SHALL DEMONSTRATE VIA BUILDING INSPECTION THAT THE SITE IS STABILIZED EITHER WITH ADEQUATE EROSION CONTROL OR LANDSCAPING, PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
17. FILTER FABRIC OR FILTER BASKETS SHALL BE INSTALLED IN THE SITE'S STORM DRAIN INLETS AND CLEANED OUT AFTER EACH RAIN EVENT, OR AS NEEDED TO FUNCTION PROPERLY.

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155 BRIDGEMAN STREET, SUITE 104  
PALO ALTO, CA 94301  
P: 650.945.1444  
www.kprox.com

PROFESSIONAL ENGINEER  
C 7060  
STATE OF CALIFORNIA

PROJECT NO.:  
REVISION: KPROX020017 | k@kprox.com

DATE: 04/11/2017  
12/17/2017  
01/22/2018  
04/24/2018

DESCRIPTION:  
BUILDING PERMIT SUBMITTAL  
REVISIONS  
REVISIONS

**ATKINS-CONCRA RESIDENCE**  
KEBET RIDGE ROAD  
WOODSIDE, CA 94062

**FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION**

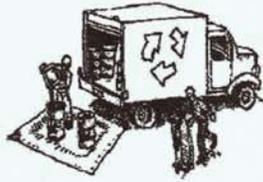
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DATE: 07/08/2014  
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DESIGN/DRAWN: MK  
CHECKED: JK

SHEET TITLE  
**EROSION CONTROL PLAN**  
C4.1

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and handled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**




555 BRANT STREET, SUITE 304  
PALO ALTO, CA 94301  
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PROJECT CONTACT:  
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|                           |            |
|---------------------------|------------|
| DATE:                     | 04/13/2017 |
| BUILDING PERMIT SUBMITAL: | 12/17/2017 |
| REVISIONS:                | 02/23/2018 |
| REVISIONS:                | 06/27/2018 |

**ATKINS-CONCRA  
RESIDENCE**  
KEBET RIDGE ROAD  
WOODSIDE, CA 94062

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|               |            |
|---------------|------------|
| PROJECT No:   | 14-6101    |
| DATE:         | 07/08/2016 |
| SCALE:        | AS SHOWN   |
| DESIGN/DRAWN: | MEK        |
| CHECKED:      | IK         |

SHEET TITLE  
**BEST  
MANAGEMENT  
PRACTICES**

**C4.2**

**PROJECT DESCRIPTION:**

AN ONSITE WASTE WATER TREATMENT SYSTEM (OWTS) WITH GRAVITY DISTRIBUTION FOR FLOW DISPERSAL USING ROCK FILLED TRENCHES TO SERVE THE DEVELOPMENT A PROPOSED DWELLING. SEE DESIGN CRITERIA NOTES FOR SITE-SPECIFIC TECHNICAL REQUIREMENTS.

**GENERAL DESIGN REQUIREMENTS:**

1. THE PROPOSED ONSITE WASTE WATER TREATMENT SYSTEM (OWTS) IS PROPOSED IN AREAS WITH SLOPES GREATER THAN 20%, AS SUCH, THE SEPTIC SYSTEM DESIGN SHALL COMPLY WITH THE COUNTY OF SAN MATEO'S CURRENT OWTS ORDINANCE AS WELL AS THE CURRENT ONSITE SYSTEMS MANUAL (OSM).
2. DUE TO THE EXISTING SITE SLOPES, THE GEOTECHNICAL ENGINEER SHALL REVIEW AND PROVIDE A LETTER OF SUBSTANTIAL CONFORMANCE INDICATING NO CONCERNS WITH SLOPE STABILITY (OWTS ORD. 84.120).
3. THE COUNTY OF SAN MATEO ENVIRONMENTAL HEALTH DEPARTMENT SHALL BE CONTACTED TO PERFORM A SITE VISIT RELATED TO THE INSTALLATION OF THE PROPOSED SYSTEM:

LAND USE, SEPTIC & WELLS PROGRAM  
 SAN MATEO COUNTY ENVIRONMENTAL HEALTH  
 2000 ALAMEDA DE LAS PUFGAS, SUITE 100  
 SAN MATEO, CA 94402  
 MAIN PHONE: (650) 372-6200.

4. CONSTRUCTION OF THE SEWAGE DISPOSAL SYSTEM REQUIRES WRITTEN APPROVAL FROM SAN MATEO COUNTY ENVIRONMENTAL HEALTH.
5. REVISIONS TO PLANS OR SPECIFICATIONS REQUIRE WRITTEN AUTHORIZATION FROM THE SEPTIC SYSTEM DESIGNER.
6. SEPTIC SYSTEM INSTALLATION SHALL FOLLOW THE CURRENT ONSITE WASTE WATER TREATMENT SYSTEM ORDINANCE.
7. THE LOCATION OF THE SEPTIC TANK AND DRAIN FIELD TRENCHES ARE SUBJECT TO FIELD ADJUSTMENTS BY THE DESIGNER WITH APPROVAL OF THE PERMITTING AGENCY. ALL DRAIN FIELD TRENCHES SHALL BE INSTALLED ALONG LEVEL CONTOURS TO ENSURE THAT THE TRENCH BOTTOM IS MAINTAINED LEVEL.
8. TRENCHING WITHIN DRIP LINES OF EXISTING TREES SHALL REQUIRE HAND DIGGING AND CAUTION TO ENSURE TREE PRESERVATION. COORDINATE WITH THE PROJECT'S ARBORIST ANY WORK WITHIN THE CANOPY OF ANY SIGNIFICANT AND/OR HERITAGE TREE.

**SLOPE HATCH LEGEND:**

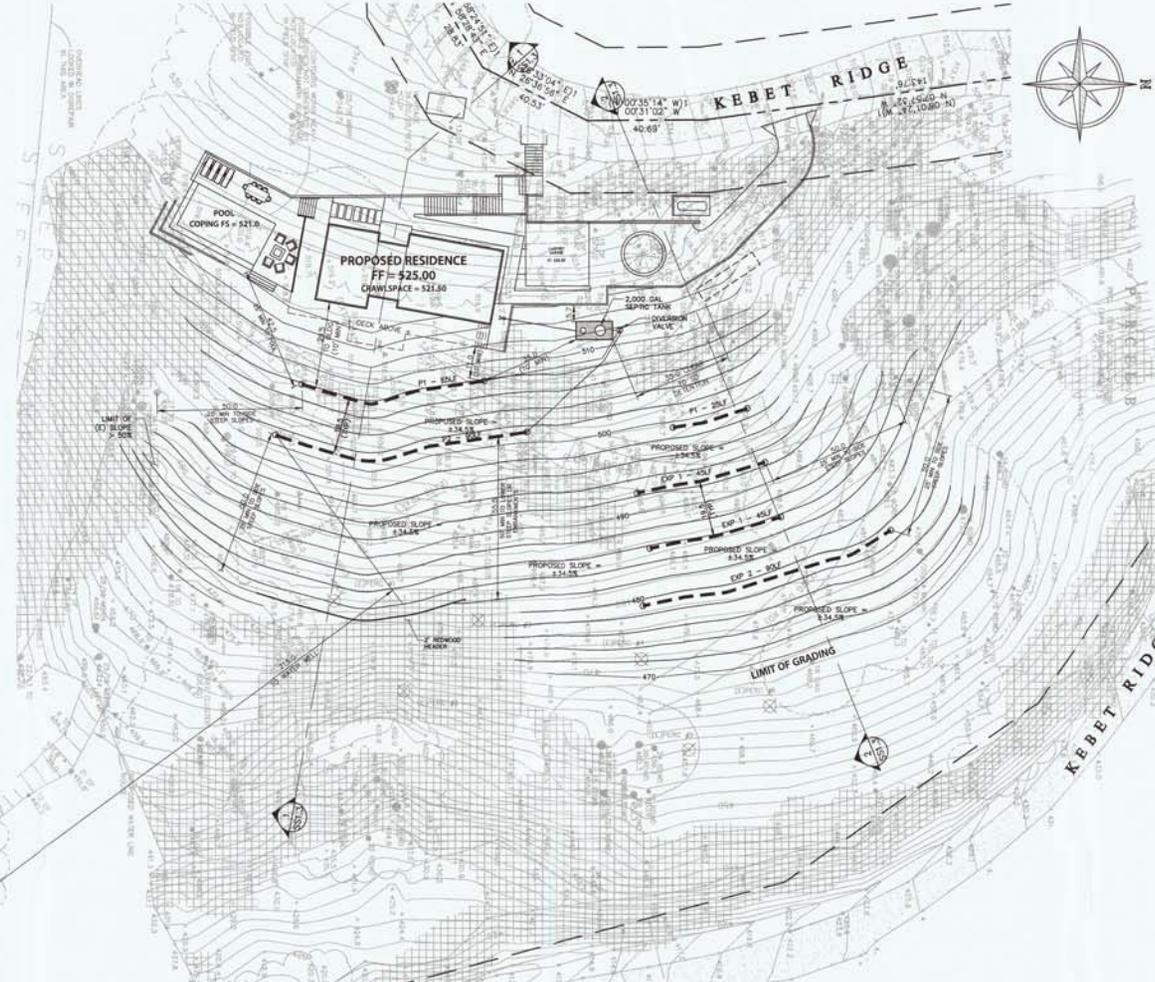
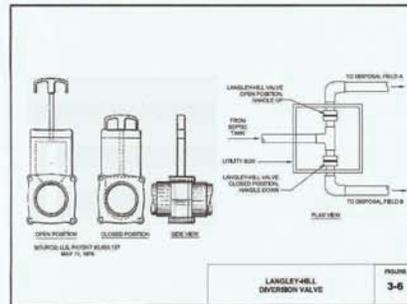
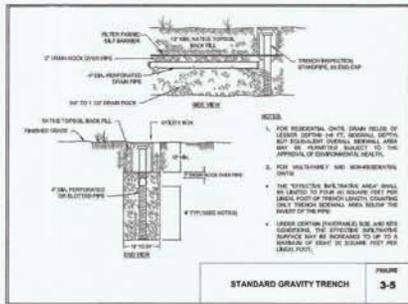
SITE SLOPES WITHIN THE SCOPE OF WORK AREA:  
 AREAS OF 30% OR GREATER SLOPE AS DETERMINED BY THE PROJECT SURVIVOR

**DESIGN CRITERIA:**

1. PERCOLATION RATE:  
 SOIL PERCOLATION RATED "A" (20NHR MIN)  
 PERCOLATION TEST PERFORMED BY LANGLEY HILL QUARRY, OCT. 20, 1998.  
 CONFIRMATION TEST EXPECTED: 2018
2. SEPTIC SYSTEM (OWTS):  
 OWTS WITH GRAVITY DISTRIBUTION (SLOPES UNDER 33%).
3. PROJECT SPECIFIC HORIZONTAL SETBACKS (OWTS ORD. 4.84.120):  
 (10') BUILDINGS TO SEPTIC TANK  
 (10') BUILDINGS TO DISPERSAL FIELDS  
 (10') SEPTIC TANK TO DISPERSAL FIELDS  
 (50') PL TO SEPTIC TANK  
 (25') POOL TO TANK OR DISPERSAL FIELDS  
 (100') WATER WELLS  
 (25') STORMWATER STRUCTURES & SWALES  
 (50') CUTS / EMBANKMENTS / STEEP SLOPE (OR 10' WITH GEOTECHNICAL APPROVAL)
4. DUAL SYSTEM:  
 TWO TRENCH DISPERSAL FIELDS, EACH ONE HUNDRED PERCENT OF THE TOTAL SIZE REQUIRED FOR THE DESIGN SEWAGE FLOW, INSTALLED AND INTERCONNECTED WITH AN APPROVED FLOW DIVERSION DEVICE.
5. DWELLING UNITS FOR DESIGN BASIS:  
 4-BEDROOM MAIN RESIDENCE
6. SIZE OF TANK:  
 ONE 1,500 GALLONS SEPTIC TANK REQUIRED  
 ONE 2,000 GALLONS SEPTIC TANK PROVIDED
7. TRENCH LENGTH REQUIREMENTS:  
 HOUSE = 180LF (90LF PER FIELD)  
 EXPANSION LINES = 180LF

**NOTES:**

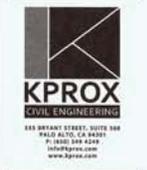
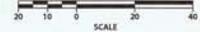
1. THE SEPTIC SYSTEM IS NOT PROPOSED ON A SLOPE STEEPER THAN 30%. SEE GRADING PLAN.
2. RELATIVE SETBACKS ARE MET AS DESCRIBED ABOVE AND SHOWN ON SHEETS C1.1, C2.1, C3.1 AND SS.1 PER OWTS 84.120 AND SECTION 3 OF THE ONSITE SYSTEMS MANUAL.
3. THE SEPTIC SYSTEM DESIGN SHALL COMPLY WITH THE DESIGN AND CONSTRUCTION REQUIREMENTS OF SECTION 4 OF THE OSM.



**ABBREVIATIONS:**

|      |                             |
|------|-----------------------------|
| AB   | AGGREGATE BASE              |
| AC   | ASPHALT CONCRETE            |
| AD   | ATRIUM DRAIN                |
| ATFD | AREA DRAIN                  |
| BFFD | BACK FLOW PREVENTION DEVICE |
| BSTD | BRICKSLOT TRENCH DRAIN      |
| BW   | BOTTOM OF WALL ELEVATION    |
| CB   | CATCH BASIN                 |
| CL   | CENTER LINE                 |
| CP   | CRAWL SPACE                 |
| CP   | CAST IRON PIPE              |
| CC   | CONCRETE                    |
| DD   | DECK DRAIN                  |
| DDCV | DOUBLE DETECTOR CHECK VALVE |
| DW   | DUCTILE IRON PIPE           |
| DS   | ROOF DOWN SPOUT             |
| DW   | DOMESTIC WATER LINE         |
| DW   | DRYWELL CATCH BASIN         |
| DWY  | DEWEYWAY                    |
| EG   | EXISTING GRADE              |
| EG   | ELECTRICAL                  |
| ELEC | ELECTRICAL METER            |
| EM   | EDGE OF PAVEMENT            |
| EP   | FACE OF CURB ELEVATION      |
| FC   | FIRE DEPARTMENT CONNECTION  |
| FDC  | FIRE DEPARTMENT CONNECTION  |
| FG   | FINISHED FLOOR ELEVATION    |
| FG   | FINISHED GROUND ELEVATION   |
| FL   | FLOW LINE ELEVATION         |
| FM   | FORCE MAIN LINE             |
| FS   | FINISHED SURFACE ELEVATION  |
| FP   | FINISHED PAVEMENT ELEVATION |
| FW   | FIRE WATER LINE             |
| GB   | GRADE BREAK                 |
| GM   | GAS METER                   |
| GP   | GRATE ELEVATION             |
| GV   | GATE VALVE                  |
| HP   | HIGH POINT                  |
| INV  | INVERT ELEVATION            |
| JT   | JOINT TRENCH                |
| JP   | JOINT POLE                  |
| LD   | LANDSCAPE DRAIN             |
| LF   | LINEAR FEET                 |
| LP   | LOW POINT                   |
| NI   | NEW                         |
| PV   | POST INDICATOR VALVE        |
| PKG  | PARKING                     |
| POC  | POINT OF CONNECTION         |
| RET  | RETAINING WALL              |
| RIM  | RIM ELEVATION               |
| S    | SLOPE                       |
| SAP  | SEE ARCHITECTURAL PLANS     |
| SBD  | STORM SUB DRAIN             |
| SBD  | STORM SUB DRAIN CLEANOUT    |
| SD   | STORM DRAIN                 |
| SOD  | STORM DRAIN CLEANOUT        |
| SGR  | SEE GEOTECHNICAL REPORT     |
| SICB | SIDE INLET CATCH BASIN      |
| SIP  | SEE LANDSCAPE PLANS         |
| SPP  | SEE PLUMBING PLANS          |
| SS   | SANITARY SEWER              |
| SSCO | SANITARY SEWER CLEANOUT     |
| TW   | SEE STRUCTURAL PLANS        |
| TOP  | TOP OF WALL ELEVATION       |
| USD  | UNDERSLAB DRAIN             |
| VD   | PIPE VERTICAL DROP          |
| W    | WATER METER                 |
| WM   | WATER METER                 |

SEE SHEETS CO.0 AND CO.1 FOR ADDITIONAL NOTES AND LEGENDS



PROJECT CONTACT:  
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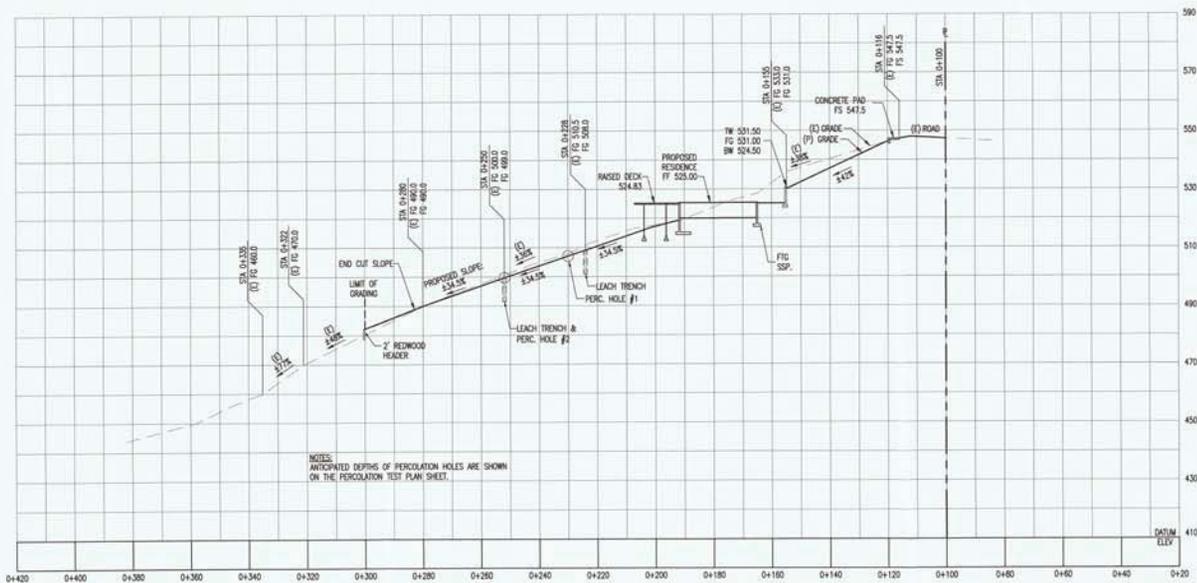
|            |            |
|------------|------------|
| DATE:      | 04/15/2017 |
| REVISIONS: | 12/21/2017 |
| REVISIONS: | 08/23/2018 |
| REVISIONS: | 08/24/2018 |

**ATKINS-CONCRA**  
**RESIDENCE**  
 KEBET RIDGE ROAD  
 WOODSIDE, CA 94062

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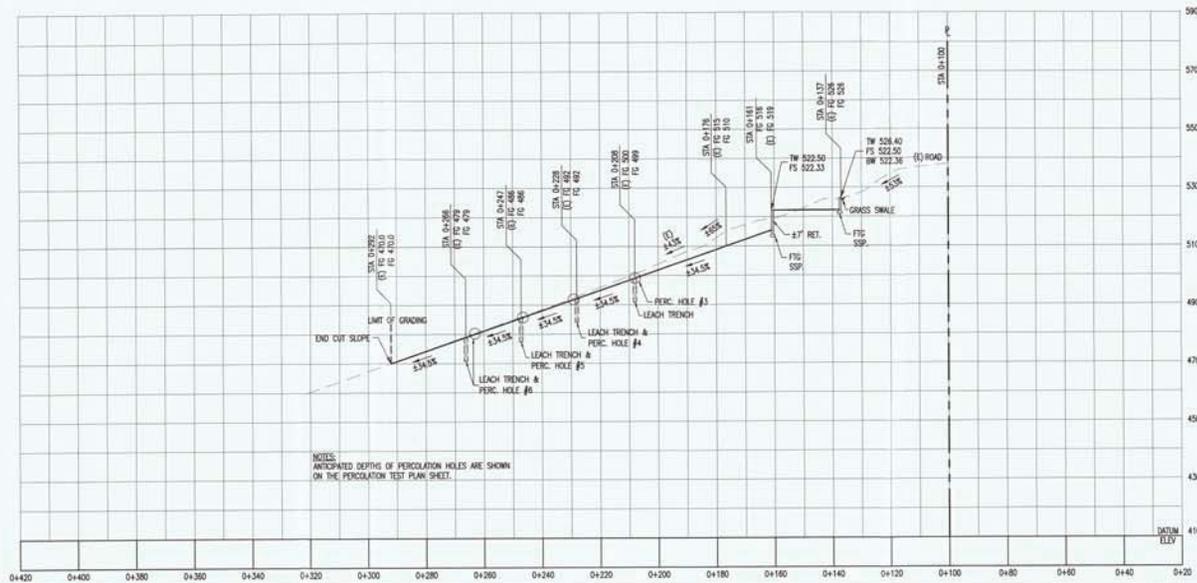
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| PROJECT No:   | 16-6101    |
| DATE:         | 07/08/2016 |
| SCALE:        | 1" = 20'   |
| DESIGN/DRAWN: | MK         |
| CHECKED:      | 16         |

SHEET TITLE  
**SEPTIC SYSTEM PLAN**  
**SS1.1**



1 SECTION → SITE CROSS SECTION

SCALE:  
H: 1"=20'  
V: 1"=20'



2 SECTION → SITE CROSS SECTION

SCALE:  
H: 1"=20'  
V: 1"=20'

### GEOTECHNICAL NOTES:

- PRIOR TO PLACEMENT OF ENGINEERED FILL, INCLUDING SLAB AND PAVEMENT SECTIONS, THE EXPOSED GROUND SURFACE SHOULD BE SCARIFIED TO DEPTH OF APPROXIMATELY 8 INCHES, MOISTURE CONDITIONED TO NEAR OPTIMUM, AND COMPACTED TO A MINIMUM 90 PERCENT RELATIVE TO THE MAXIMUM DRY DENSITY (MDD) OF THE MATERIALS AS DESCRIBED BY THE ASTM D 1557 LABORATORY TEST PROCEDURE UNDER THE SUPERVISION AND TESTING OF OUR FIELD ENGINEER. ENGINEERED FILL SHOULD THEN BE SPREAD ONTO THE PREPARED SUBGRADE SOIL IN 6- TO 8-INCH THICK, LOOSE LIFTS, MOISTURE CONDITIONED TO NEAR OPTIMUM, AND COMPACTED TO AT LEAST 90 PERCENT OF MDD.
- LEVEL BENCHES SHOULD BE GRADED ON SLOPES UP TO 3H:1V PRIOR TO SURFACE SCARIFICATION AND COMPACTION. EXPOSED NATIVE SOIL SHOULD BE PREPARED AS DESCRIBED ABOVE PRIOR TO FILL PLACEMENT. PLACEMENT OF FILL ON SLOPES GREATER THAN 3H:1V WILL REQUIRE A PROPERLY DRAINED KEY AT THE TOE, EXCAVATED A MINIMUM DEPTH OF 3 FEET IN THE BEDROCK MATERIALS. THE BASE OF THE KEY SHOULD BE GRADED TO A MINIMUM SLOPE OF 2 PERCENT INTO THE HILLSIDE TO FACILITATE A POSITIVE SLOPE TO THE SUBDRAIN. SUBDRAINAGE SHOULD CONSIST OF MIRAFI 140N FILTER FABRIC LINING THE WALLS AND BASE OF THE KEY, ONTO WHICH A MINIMUM 4-INCH DIAMETER SCHEDULE 40 PVC PIPE IS PLACED AT A 2 PERCENT SLOPE IN THE DIRECTION OF DISCHARGE. THE PIPE SHOULD THEN BE COVERED WITH AT LEAST 2 FEET OF CLEAN, 1/4- TO 1/2-INCH CRUSHED ROCK AND COVERED WITH FILTER FABRIC TO SEPARATE THE PIPE DRAIN SYSTEM FROM THE ENGINEERED BACKFILL AS DESCRIBED ABOVE. THE UPSTREAM END OF THE PERFORATED PIPE SHOULD BE CONSTRUCTED WITH A SWEEP FITTING TO A MINIMUM 4-INCH DIAMETER, SOLID SCHEDULE 40 PVC CLEANOUT PIPE.
- ONCE THE KEY IS FILLED WITH COMPACTED EARTH, LEVEL BENCHES SHALL BE CUT TO EXPOSE BEDROCK AS THE FILL RISES TO THE FINISHED SURFACE. BENCH SUBDRAINAGE REQUIREMENTS WILL BE ASSESSED DURING GRADING, HOWEVER, FOR PLANNING ASSURE INSTALLATION OF A SUBDRAIN AT THE REAR OF EVERY OTHER BENCH ELEVATION ABOVE THE KEY SUBDRAIN. AFTER THE EXPOSED, NATIVE SOIL SURFACE IS EXPOSED, IT SHOULD BE SCARIFIED AT LEAST 8 INCHES DEEP, MOISTURE CONDITIONED TO NEAR OPTIMUM AND COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY OF THE MATERIALS. ONCE THE BENCH SURFACE IS PREPARED, SOIL, SUITABLE FOR ENGINEERED FILL SHALL BE PLACED IN LOOSE MAXIMUM 8-INCH THICK LIFTS, MOISTURE CONDITIONED TO NEAR OPTIMUM AND COMPACTED TO AT LEAST 90 PERCENT MDD. THE MAXIMUM CUT AND FILL SLOPE FOR THIS PROJECT SHOULD BE NO STEEPER THAN 2H:1V.
- REINFORCED CONCRETE V-DITCH SHALL BE CONSTRUCTED AT THE TOP OF THE FINISHED HILL SLOPE TO INTERCEPT AND REDIRECT SURFACE RUNOFF TO AN APPROVED DRAINAGE LOCATION.
- THE CONTRACTOR SHALL REVIEW ALL RECOMMENDATIONS FROM THE GEOTECHNICAL REPORT PRIOR TO BEGINNING CONSTRUCTION OPERATIONS. EXACT FIELD CONDITIONS WILL DICTATE THE EXACT MEASURES REQUIRED IN A COORDINATED EFFORT WITH THE PROJECT'S GEOTECHNICAL ENGINEER.

### EXCAVATION NOTES:

- NO DISPERSAL SYSTEM SHALL BE ALLOWED WITHIN SOIL, FILL MATERIAL, AND THEREFORE ALL LEACH TRENCHES SHALL START AT THE PROPOSED CUT CONDITION, TO BE FIELD VERIFIED BY THE PROJECT'S GEOTECHNICAL ENGINEER.
- PERCOLATION HOLES SHALL BE DUG TO THE EFFECTIVE DEPTH OF THE PROPOSED LEACHFIELDS RELATIVE TO NEW GRADING OR AS OTHERWISE DIRECTED BY ENVIRONMENTAL HEALTH BASED ON FIELD CONDITIONS. HOLES SHALL BE APPROXIMATELY 4' DEEP.
- ALL DISPERSAL SYSTEMS SHALL HAVE AT LEAST 12 INCHES OF SOIL COVER.
- APPROPRIATE EROSION CONTROL MEASURES MUST BE EMPLOYED DURING ANY EXCAVATION OR EARTH MOVING ACTIVITIES.



PROJECT CONTACT:  
MICHAEL J. CONROY | info@kprox.com

|              |            |
|--------------|------------|
| DATE:        | 04/12/2017 |
| REVISION:    | 04/24/2016 |
| DESCRIPTION: | REVISIONS  |
| REVISIONS:   | REVISIONS  |
| REVISIONS:   | REVISIONS  |

**ATKINS-CONCRA**  
**RESIDENCE**  
KEBET RIDGE ROAD  
WOODSIDE, CA 94062

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|---------------|------------|
| PROJECT No:   | 16-8101    |
| DATE:         | 07/08/2016 |
| SCALE:        | AS SHOWN   |
| DESIGN/DRAWN: | MK         |
| CHECKED:      | JK         |

SHEET TITLE  
SEPTIC SYSTEM SECTIONS

SS1.3

**PROJECT DESCRIPTION:**

AN ONSITE WASTE WATER TREATMENT SYSTEM (OWTS) WITH GRAVITY DISTRIBUTION FOR FLOW DISPERSAL USING ROCK FILLED TRENCHES TO SERVE THE DEVELOPMENT A PROPOSED DWELLING. SEE DESIGN CRITERIA NOTES FOR SITE-SPECIFIC TECHNICAL REQUIREMENTS.

**GENERAL DESIGN REQUIREMENTS:**

1. THE PROPOSED ONSITE WASTE WATER TREATMENT SYSTEM (OWTS) IS PROPOSED IN AREAS WITH SLOPES GREATER THAN 20% AS SUCH THE SEPTIC SYSTEM DESIGN SHALL COMPLY WITH THE COUNTY OF SAN MATEO'S CURRENT OWTS ORDINANCE AS WELL AS THE CURRENT ONSITE SYSTEMS MANUAL (OSM).
2. DUE TO THE EXISTING SITE SLOPES, THE GEOTECHNICAL ENGINEER SHALL REVIEW AND PROVIDE A LETTER OF SUBSTANTIAL CONFORMANCE INDICATING NO CONCERN WITH SLOPE STABILITY (OWTS ORD. 84.120).
3. THE COUNTY OF SAN MATEO ENVIRONMENTAL HEALTH DEPARTMENT SHALL BE CONTACTED TO PERFORM A SITE VISIT RELATED TO THE INSTALLATION OF THE PROPOSED SYSTEM.

LAND USE, SEPTIC & WELLS PROGRAM  
SAN MATEO COUNTY ENVIRONMENTAL HEALTH  
2000 ALAMEDA DE LAS PULGAS, SUITE 100  
SAN MATEO, CA 94403  
MAIN PHONE: (650) 372-4200.

4. CONSTRUCTION OF THE SEWAGE DISPOSAL SYSTEM REQUIRES WRITTEN APPROVAL FROM SAN MATEO COUNTY ENVIRONMENTAL HEALTH.
5. REVISIONS TO PLANS OR SPECIFICATIONS REQUIRE WRITTEN AUTHORIZATION FROM THE SEPTIC SYSTEM DESIGNER.
6. SEPTIC SYSTEM INSTALLATION SHALL FOLLOW THE CURRENT ONSITE WASTE WATER TREATMENT SYSTEM ORDINANCE.
7. THE LOCATION OF THE SEPTIC TANK AND DRAIN FIELD TRENCHES ARE SUBJECT TO FIELD ADJUSTMENTS BY THE DESIGNER WITH APPROVAL OF THE PERMITTING AGENCY. ALL DRAIN FIELD TRENCHES SHALL BE INSTALLED ALONG LEVEL CONTOURS TO ENSURE THAT THE TRENCH BOTTOM IS MAINTAINED LEVEL.
8. TRENCHING WITHIN DRIP LINES OF EXISTING TREES SHALL REQUIRE HAND DIGGING AND CAUTION TO ENSURE TREE PRESERVATION. COORDINATE WITH THE PROJECT'S ARCHITECT ANY WORK WITHIN THE CANOPY OF ANY SIGNIFICANT AND/OR HERITAGE TREE.

**SLOPE HATCH LEGEND:**

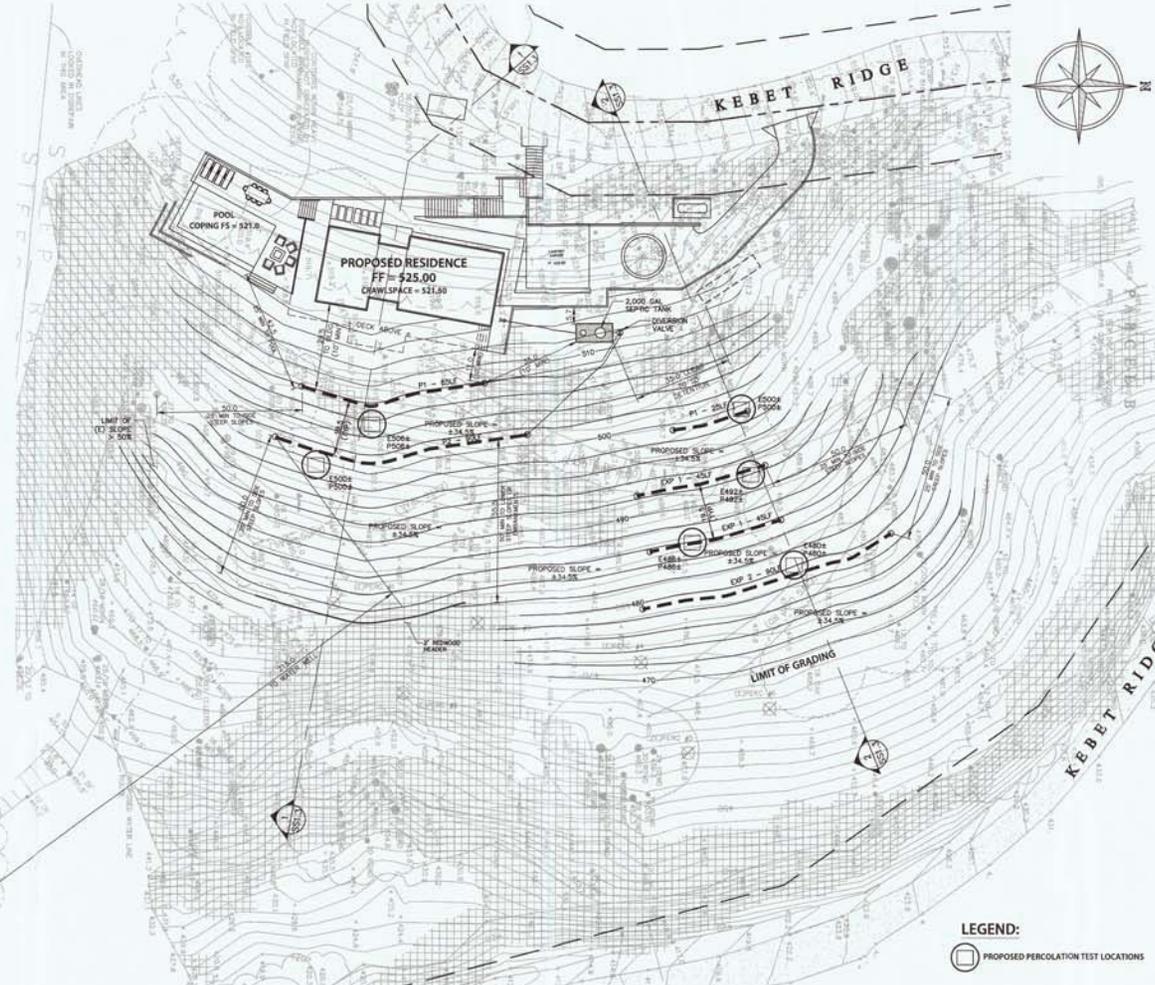
- SLOPE SLOPES WITHIN THE SCOPE OF WORK AREA.
- ▨ AREAS OF 50% OR GREATER SLOPE AS DETERMINED BY THE PROJECT SURVIVOR

**DESIGN CRITERIA:**

1. PERCOLATION RATE:  
SOIL PERCOLATION RATED "A" (200/100 RMR)  
PERCOLATION TEST PERFORMED BY LANGLEY HILL QUARRY, OCT. 20, 1998.  
CONFIRMATION TEST EXPECTED: 2018
2. SEPTIC SYSTEM (OWTS):  
OWTS WITH GRAVITY DISTRIBUTION (SLOPES UNDER 35%).
3. PROJECT SPECIFIC HORIZONTAL SETBACKS (OWTS ORD. 4.84.120):  
(3') BUILDINGS TO SEPTIC TANK  
(10') BUILDINGS TO DISPERSAL FIELDS  
(10') SEPTIC TANK TO DISPERSAL FIELDS  
(50') PL TO SEPTIC TANK  
(25') POOL TO TANK OR DISPERSAL FIELDS  
(100') WATER WELLS  
(25') STORMWATER STRUCTURES & SWALES  
(50') CUTS / EMBANKMENTS / STEEP SLOPE (OR 10' WITH GEOTECHNICAL APPROVAL)
4. DUAL SYSTEM:  
TWO TRENCH DISPERSAL FIELDS, EACH ONE HUNDRED PERCENT OF THE TOTAL SIZE REQUIRED FOR THE DESIGN SEWAGE FLOW, INSTALLED AND INTERCONNECTED WITH AN APPROVED FLOW DIVERSION DEVICE.
5. DWELLING UNITS FOR DESIGN BASIS:  
4-BEDROOM MAIN RESIDENCE
6. SIZE OF TANK:  
ONE 1,500 GALLONS SEPTIC TANK REQUIRED  
ONE 2,000 GALLONS SEPTIC TANK PROVIDED
7. TRENCH LENGTH REQUIREMENTS:  
HOUSE = 180LF (90LF PER FIELD)  
EXPANSION LINES = 180LF

**NOTES:**

1. THE SEPTIC SYSTEM IS NOT PROPOSED ON A SLOPE STEEPER THAN 50%. SEE GRADING PLAN.
2. RELATIVE SETBACKS ARE MET AS DESCRIBED ABOVE AND SHOWN ON SHEETS C-1, C-1.1, C-1.1.1 AND 50.1.1 PER OWTS 84.120 AND SECTION 3 OF THE ONSITE SYSTEMS MANUAL.
3. THE SEPTIC SYSTEM DESIGN SHALL COMPLY WITH THE DESIGN AND CONSTRUCTION REQUIREMENTS OF SECTION 4 OF THE OSM.



**ABBREVIATIONS:**

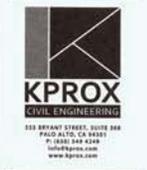
|        |                                 |
|--------|---------------------------------|
| AB     | AGGREGATE BASE                  |
| AC     | ASPHALT CONCRETE                |
| AD     | AREA DRAIN                      |
| ATFD   | ATRIUM DRAIN                    |
| BFFD   | BACK FLOW PREVENTION DEVICE     |
| BSTD   | BRICKSLOT TRENCH DRAIN          |
| BW     | BOTTOM OF WALL ELEVATION        |
| CB     | CATCH BASIN                     |
| CL     | CENTER LINE                     |
| CS     | CRAWL SPACE ELEVATION           |
| CP     | CAST IRON PIPE                  |
| CONC   | CONCRETE                        |
| DD     | DECK DRAIN                      |
| DDCV   | DOUBLE DETECTOR CHECK VALVE     |
| DW     | DUCTILE IRON PIPE               |
| DS     | ROOF DOWN SPOUT                 |
| DWL    | DOMESTIC WATER LINE             |
| DWY    | DRYWELL CATCH BASIN             |
| IE     | DEWEYWAY                        |
| EG     | EXISTING GRADE                  |
| ELEC   | ELECTRICAL                      |
| EM     | ELECTRICAL METER                |
| EP     | EDGE OF PAVEMENT                |
| FC     | FACE OF CURB ELEVATION          |
| FDC    | FIRE DEPARTMENT CONNECTION      |
| FG     | FINISHED FLOOR ELEVATION        |
| FG     | FINISHED GROUND ELEVATION       |
| FL     | FLOW LINE ELEVATION             |
| FM     | FIRE MAIN LINE                  |
| FS     | FINISHED SURFACE ELEVATION      |
| FP     | FINISHED PAVEMENT ELEVATION     |
| FW     | FIRE WATER LINE                 |
| GB     | GRADE BREAK                     |
| GM     | GAS METER                       |
| GP     | GRATE ELEVATION                 |
| GV     | GATE VALVE                      |
| HP     | HIGH POINT                      |
| INV    | INVERT ELEVATION                |
| JT     | JOINT TRENCH                    |
| JR     | JOINT ROSE                      |
| LD     | LANDSCAPE DRAIN                 |
| LF     | LINEAR FEET                     |
| LP     | LOW POINT                       |
| NI     | NEW                             |
| PIV    | POST INDICATOR VALVE            |
| PKG    | PARKING                         |
| RET    | POINT OF CONNECTION             |
| RIM    | RETAINING WALL                  |
| RIM    | RIM ELEVATION                   |
| S      | SLOPE                           |
| SAP    | SEE ARCHITECTURAL PLANS         |
| SBD    | STORM SUB DRAIN                 |
| SBD/CO | STORM SUB DRAIN CLEANOUT        |
| SD     | STORM DRAIN                     |
| SOD/CO | STORM DRAIN CLEANOUT            |
| SGR    | SEE GEOTECHNICAL REPORT         |
| SIBS   | SEE LANDSCAPE PLANS             |
| SIP    | SEE PLUMBING PLANS              |
| SPP    | SEE PLUMBING PLANS              |
| SS     | SANITARY SEWER                  |
| SSCO   | SANITARY SEWER CLEANOUT         |
| SSP    | SEE STRUCTURAL PLANS            |
| TW     | TOP OF WALL ELEVATION           |
| TYP    | TYPICAL                         |
| UD     | UNDERSLAB DRAIN                 |
| VD     | PIPE VERTICAL DROP              |
| WM     | DOMESTIC WATER LINE WATER METER |

SEE SHEETS C0.0 AND C0.1 FOR ADDITIONAL NOTES AND LEGENDS



**LEGEND:**

- PROPOSED PERCOLATION TEST LOCATIONS



PROJECT CONTACT: MICHAEL.HINES@KPROX.COM | mh@kprox.com

|            |            |
|------------|------------|
| DATE:      | 04/11/2017 |
| REVISIONS: | 12/27/2015 |
| REVISIONS: | 01/22/2016 |
| REVISIONS: | 04/24/2016 |

**ATKINS-CONCRA  
RESIDENCE**  
KEBET RIDGE ROAD  
WOODSIDE, CA 94062

FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION

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|               |            |
|---------------|------------|
| PROJECT No:   | 16-6101    |
| DATE:         | 07/08/2016 |
| SCALE:        | 1" = 30'   |
| DESIGN/DRAWN: | MEK        |
| CHECKED:      | IK         |

SHEET TITLE  
**SEPTIC PERCOLATION TEST PLAN**

**SS-EX1**



**LEGEND**

- TREE MSC
- DOUGLAS FIR
- MADRONE
- REDWOOD
- TAN OAK
- OAK
- SPOT ELEVATION
- ADJOINING LOT LINE
- EASEMENT
- PROPERTY LINE
- EDGE OF PAVEMENT
- CONCRETE CURBLINE
- FLOW LINE
- GRADE BREAK
- CONTOUR MAJOR
- CONTOUR MINOR
- TOE OF BANK
- TOP OF BANK
- PAVED SURFACE
- > 50% SLOPE

NOTE: A TITLE REPORT WAS NOT PROVIDED BY THE OWNER-EASEMENTS PLOTTED HEREIN ARE FROM VARIOUS RECORD MAPS. OTHER EASEMENTS MAY BE PRESENT ON THE SUBJECT PROPERTY AND THEREFORE WHAT IS DEPICTED HEREIN MAY DIFFER FROM WHAT A CURRENT TITLE REPORT MAY REVEAL. 1-19-17

**SURVEYOR'S CERTIFICATE**

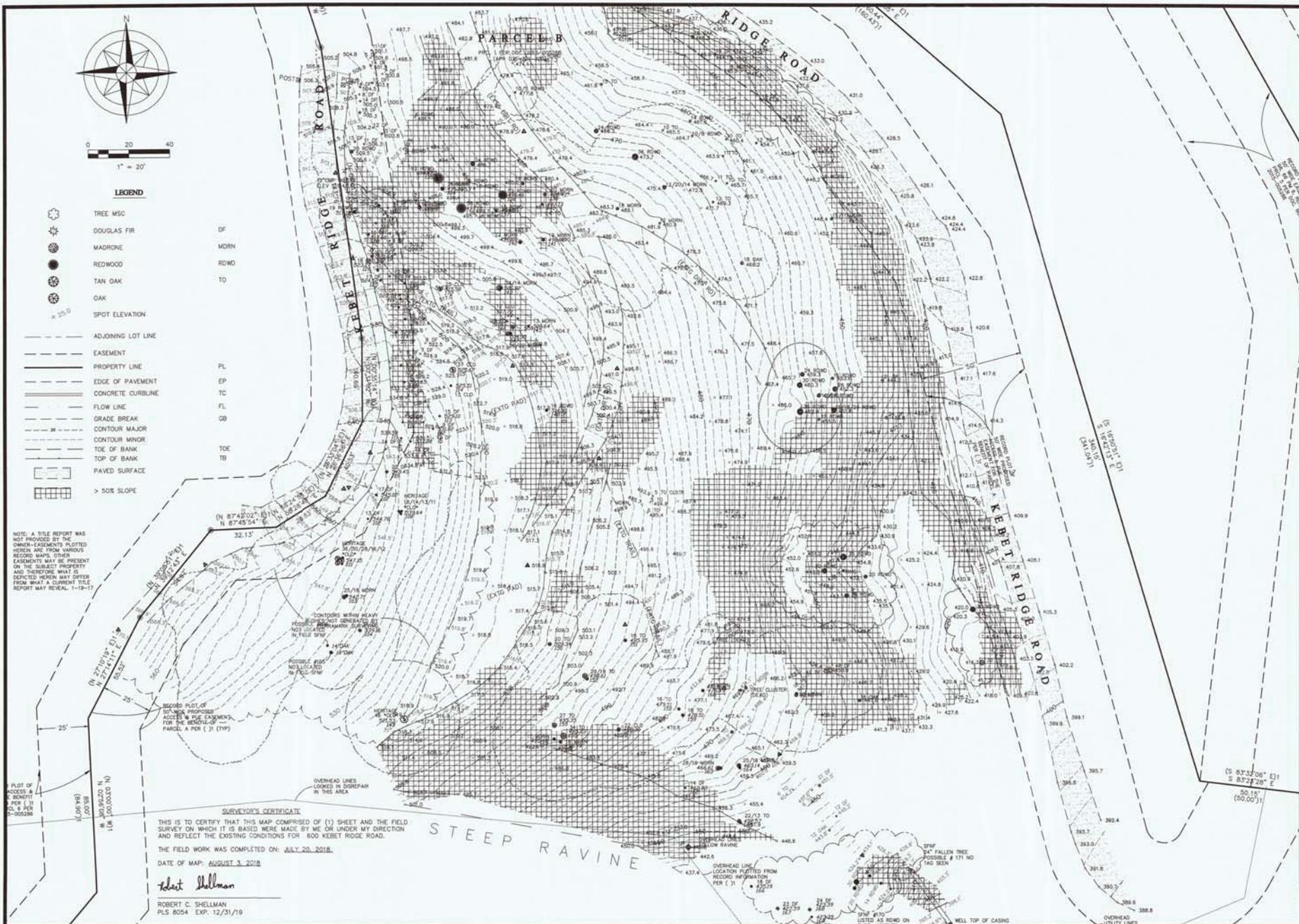
THIS IS TO CERTIFY THAT THIS MAP COMPRISED OF (1) SHEET AND THE FIELD SURVEY ON WHICH IT IS BASED WERE MADE BY ME OR UNDER MY DIRECTION AND REFLECT THE EXISTING CONDITIONS FOR 600 KERET RIDGE ROAD.

THE FIELD WORK WAS COMPLETED ON: JUL 20, 2018.

DATE OF MAP: AUGUST 3, 2018

*Robert C. Shellman*

ROBERT C. SHELLMAN  
PLS 8054 EXP. 12/31/19



4275 37TH ST, SUITE 232  
SAN DIEGO, CA 92105  
PH: 619.280.0056  
terramark.surveying@gmail.com

**PARTIAL TOPOGRAPHIC SURVEY**  
FOR: KERET CIVIL ENGINEERING  
600 KERET RIDGE ROAD  
WOODSIDE, CA 94062

| NO. | REVISIONS | DATE |
|-----|-----------|------|
|     |           |      |
|     |           |      |
|     |           |      |

**SU-1**

1 OF 1

SCALE: 1" = 20'

DWG. RS

JOB NO. 18-029

DATE: 8/03/18

COUNTY OF SAN MATEO, PLANNING AND BUILDING DEPARTMENT

**NOTICE OF INTENT TO ADOPT  
MITIGATED NEGATIVE DECLARATION**

A notice, pursuant to the California Environmental Quality Act of 1970, as amended (Public Resources Code 21,000, et seq.), that the following project: Atkins-Concra Single-Family Residence, when adopted and implemented, will not have a significant impact on the environment.

FILE NO.: PLN 2016-00150

**BESZ DE LA VEGA**

OWNER/APPLICANT: Ryan Atkins, Meghan Concra

**POSTING  
ONLY**

ASSESSOR'S PARCEL NO.: 075-321-220

**MAY 22 2017**

LOCATION: Kebet Ridge Road, unincorporated Woodside

PROJECT DESCRIPTION

The applicant is seeking a Resource Management (RM) Permit and Grading Permit to construct a new 2,574 sq. ft. two-story single-family residence with a detached 462 sq. ft. two-car carport on a legal, undeveloped 18.4-acre parcel in the unincorporated area of Woodside. The project also includes an in-ground pool, 614 sq. ft. of decking, a new driveway, and supportive retaining walls. A propane tank, water tanks for fire suppression, and a septic system will be installed to serve the proposed residential development. An existing well located on the property will be used for domestic water supply. The project includes 985 cubic yards (c.y.) of grading (consisting of 545 c.y. of cut and 440 c.y. of fill) for the building pad, hardscape/driveway, pool, and septic system. The project will require the removal of 37 trees including Douglas fir, canyon live oak, coast redwood, tan oak, Pacific madrone, and coast live oak trees ranging in size from 12 inches dbh to 48 inches dbh, of which 18 require a permit to remove due to their size (being over 55 inches in circumference pursuant to the Development Review Criteria of the RM District regulations). A fence height exception is required as the project includes up to an 8-ft. tall retaining wall on the downhill side of the 20-ft. rear yard setback along Kebet Ridge Road, where 6 ft. is the maximum allowed.

FINDINGS AND BASIS FOR A NEGATIVE DECLARATION

The Current Planning Section has reviewed the initial study for the project and, based upon substantial evidence in the record, finds that:

1. The project will not adversely affect water or air quality or increase noise levels substantially.
2. The project will not have adverse impacts on the flora or fauna of the area.
3. The project will not degrade the aesthetic quality of the area.
4. The project will not have adverse impacts on traffic or land use.

5. In addition, the project will not:
  - a. Create impacts which have the potential to degrade the quality of the environment.
  - b. Create impacts which achieve short-term to the disadvantage of long-term environmental goals.
  - c. Create impacts for a project which are individually limited, but cumulatively considerable.
  - d. Create environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly.

The County of San Mateo has, therefore, determined that the environmental impact of the project is insignificant.

MITIGATION MEASURES included in the project to avoid potentially significant effects:

**Mitigation Measure 1:** All proposed lighting shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area. Manufacturer cut sheets for any exterior light fixtures shall be submitted for review and approval prior to the issuance of a building permit. All exterior fixtures shall be rated dark-sky compliant and designed to minimize light pollution beyond the confines of the subject premises.

**Mitigation Measure 2:** Final finishes of all exterior materials and/or colors shall be non-reflective.

**Mitigation Measure 3:** The applicant shall submit an Air Quality Best Management Practices Plan to the Planning and Building Department prior to the issuance of any grading "hard card" or building permit that, at a minimum, includes the "Basic Construction Mitigation Measures" as listed in Table 8-1 of the BAAQMD CEQA Guidelines (May 2011). These measures shall be implemented prior to beginning any grading and/or construction activities and shall be maintained for the duration of the project grading and/or construction activities:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access road) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent paved roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. All vehicle speeds on unpaved roads shall be limited to 15 mph.
- e. Roadways and building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- f. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure, Title 13, Section 2485 of California Code of

Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.

g. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications.

h. Minimize the idling time of diesel powered construction equipment to two minutes.

**Mitigation Measure 4:** All regulated trees proposed for removal shall be replaced at a 1:1 ratio, minimum 15-gallon size stock. All proposed replacement trees shall be shown on a Tree Replanting Plan or Landscape Plan and shall include species, size, and location. Any regulated oak trees removed shall be replaced with the same species. The Plan shall be submitted to the County Planning and Building Department for review and approval as part of the building permit plan sets.

**Mitigation Measure 5:** In the event that archaeological resources are inadvertently discovered during construction, work in the immediate vicinity (within 25 feet) of the find must stop until a qualified archaeologist can evaluate the significance of the find. Construction activities may continue in other areas beyond the 25-foot stop work area. A qualified archaeologist is defined as someone who meets the Secretary of the Interior's Professional Qualifications Standards in archaeology. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the archaeologist has recommended appropriate measures, and those measures have been approved by the Current Planning Section and implemented.

**Mitigation Measure 6:** In the event that paleontological resources are inadvertently discovered during construction, work in the immediate vicinity (within 25 feet) of the find must stop until a qualified paleontologist can evaluate the significant of the find. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the paleontologist has recommended appropriate measures, and those measures have been approved by the Current Planning Section and implemented.

**Mitigation Measure 7:** Should any human remains be discovered during construction, all ground disturbing work shall cease and the County Coroner shall be immediately notified, pursuant to Section 7050.5 of the State of California Health and Safety Code. Work must stop until the County Coroner can make a determination of origin and disposition of the remains pursuant to California Public Resources Code Section 5097.98. If the County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within 24 hours. A qualified archaeologist, in consultation with the Native American Heritage Commission, shall recommend subsequent measures for disposition of the remains.

**Mitigation Measure 8:** The applicant shall submit an erosion control plan in compliance with the County's General Erosion and Sediment Control Plan Guidelines Checklist for review and approval as part of the building permit plans submittal.

**Mitigation Measure 9:** No grading shall be allowed during the wet weather season (October 1 through April 30) to avoid increased potential soil erosion, unless the applicant applies for an Exception to the Winter Grading Moratorium and the Community Development Director grants the exception. Exceptions will only be granted if dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other determining factors).

**Mitigation Measure 10:** An Erosion Control and Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit "hard card" and building permit to ensure the approved erosion control and tree protection measures are installed adequately prior to the start of ground disturbing activities.

RESPONSIBLE AGENCY CONSULTATION

None

INITIAL STUDY

The San Mateo County Current Planning Section has reviewed the Environmental Evaluation of this project and has found that the probable environmental impacts are insignificant. A copy of the initial study is attached.

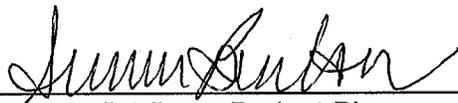
REVIEW PERIOD

May 22, 2017 through June 12, 2017

All comments regarding the correctness, completeness, or adequacy of this Negative Declaration must be received by the County Planning and Building Department, 455 County Center, Second Floor, Redwood City, no later than 5:00 p.m., June 12, 2017.

CONTACT PERSON

Summer Burlison  
Project Planner, 650/363-1815  
[sburlison@smcgov.org](mailto:sburlison@smcgov.org)

  
\_\_\_\_\_  
Summer Burlison, Project Planner

SSB:jlh – SSBBB0252\_WJH.DOCX  
\_ND - Notice of Intent to Adopt (4-3-17).dotx

County of San Mateo  
Planning and Building Department

**INITIAL STUDY  
ENVIRONMENTAL EVALUATION CHECKLIST**  
(To Be Completed by Planning Department)

1. **Project Title:** Atkins-Concra Single-Family Residence
2. **County File Number:** PLN 2016-00150
3. **Lead Agency Name and Address:** County of San Mateo Planning and Building Department, 455 County Center, 2nd Floor, Redwood City, CA 94063
4. **Contact Person and Phone Number:** Summer Burlison, Project Planner; 650/363-1815 or [sburlison@smcgov.org](mailto:sburlison@smcgov.org)
5. **Project Location:** Kebet Ridge Road, unincorporated Woodside
6. **Assessor's Parcel Number and Size of Parcel:** 075-321-220; 18.4 acres
7. **Project Sponsor's Name and Address:** Ryan Atkins, Meghan Concra, 3044 Hacienda Street, San Mateo, CA 94403
8. **General Plan Designation:** Open Space
9. **Zoning:** Resource Management (RM)
10. **Description of the Project:** The applicant is seeking a Resource Management (RM) Permit and Grading Permit to construct a new 2,574 sq. ft. two-story single-family residence with a detached 462 sq. ft. two-car carport on a legal, undeveloped 18.4-acre parcel in the unincorporated area of Woodside. The project also includes an in-ground pool, 614 sq. ft. of decking, a new driveway, and supportive retaining walls. A propane tank, water tanks for fire suppression, and a septic system will be installed to serve the proposed residential development. An existing well located on the property will be used for domestic water supply. The project includes 985 cubic yards (c.y.) of grading (consisting of 545 c.y. of cut and 440 c.y. of fill) for the building pad, hardscape/driveway, pool, and septic system. The project will require the removal of 37 trees including Douglas fir, canyon live oak, coast redwood, tan oak, Pacific madrone, and coast live oak trees ranging in size from 12 inches dbh to 48 inches dbh, of which 18 require a permit to remove due to their size (being over 55 inches in circumference pursuant to the Development Review Criteria of the RM District Regulations). A fence height exception is required as the project includes up to an 8-ft. tall retaining wall on the downhill side of the 20-ft. rear yard setback along Kebet Ridge Road, where 6 ft. is the maximum allowed.
11. **Surrounding Land Uses and Setting:** The 18.4-acre parcel is located approximately 0.4 miles west of the Skyline Boulevard (State Route 35) and La Honda Road (State Route 84) intersection. The surrounding area consists of individual privately-owned 5- to 25-acre parcels, including the subject parcel, located along a southeast-facing ridge of the central Santa Cruz

Mountains. The parcel and surrounding area consist of moderate to steep slopes and is densely vegetated. The project parcel is served by Kebet Ridge Road, accessible from Woodside Road (State Route 84). The project parcel is bounded to the north, east, south, and west by similar sized, or larger, single-family residential development.

**12. Other Public Agencies Whose Approval is Required: None**

**ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED**

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Significant Unless Mitigated" as indicated by the checklist on the following pages.

|   |                                   |   |                                 |                                    |
|---|-----------------------------------|---|---------------------------------|------------------------------------|
| X | Aesthetics                        | X | Climate Change                  | Population/Housing                 |
|   | Agricultural and Forest Resources |   | Hazards and Hazardous Materials | Public Services                    |
| X | Air Quality                       | X | Hydrology/Water Quality         | Recreation                         |
| X | Biological Resources              |   | Land Use/Planning               | Transportation/Traffic             |
| X | Cultural Resources                |   | Mineral Resources               | Utilities/Service Systems          |
| X | Geology/Soils                     |   | Noise                           | Mandatory Findings of Significance |

**EVALUATION OF ENVIRONMENTAL IMPACTS**

1. A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
4. "Negative Declaration: Less Than Significant with Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures,

and briefly explain how they reduce the effect to a less than significant level (mitigation measures from "Earlier Analyses," as described in 5. below, may be cross-referenced).

5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration (Section 15063(c)(3)(D)). In this case, a brief discussion should identify the following:
  - a. Earlier Analysis Used. Identify and state where they are available for review.
  - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - c. Mitigation Measures. For effects that are "Less Than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
7. Supporting Information Sources. Sources used or individuals contacted should be cited in the discussion.

| 1. <b>AESTHETICS.</b> Would the project:  |  |                                     |                                     |                  |
|---|--|-------------------------------------|-------------------------------------|------------------|
|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 1.a. Have a significant adverse effect on a scenic vista, views from existing residential areas, public lands, water bodies, or roads?  |  |                                     | X                                   |                  |
| <p><b>Discussion:</b> The project parcel is located on a southeast-facing ridge of the central Santa Cruz Mountains, west of Skyline Boulevard. The parcel is configured in a flag shape with the eastern "pole" portion fronting La Honda Road (State Route 84) and the western "flag" portion fronting Kebet Ridge Road. A majority of the parcel consists of slope gradients over 35% and contains dense vegetation and tree coverage. The project proposes a new two-story residence in the western portion of the parcel. The residence will have a maximum height of 28'-6". A new driveway from Kebet Ridge Road down to the project site will be constructed along with a retaining wall of up to 8 ft. in height in some portions that abut 30% or greater downslopes. Development is proposed in the only relatively flat, open area of the parcel that sits approximately 20 ft. below Kebet Ridge Road. The parcel continues in a downward slope east of the project site area all the way to La Honda Road, approximately 0.25 miles east. Although the project site is relatively higher in elevation than most of the surrounding parcels in the area, the project site will not be visible from surrounding residential properties, or Kebet Ridge Road, due to the area's topography and dense</p> |  |                                     |                                     |                  |

tree coverage. The nearest water body is La Honda Creek which runs through the eastern portion of the parcel abutting La Honda Road, approximately 0.24 miles east of the project site. Therefore, the project will not have a significant adverse effect on any scenic vista, views from residential areas, public lands (none), water bodies, or roads.

**Source:** Project Location; Project Plans.

|   |  |  |   |  |
|---|--|--|---|--|
| 1.b. Significantly damage or destroy scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? |  |  | X |  |
|---|--|--|---|--|

**Discussion:** The project proposes to remove 37 trees in and around the immediate project area in order to accommodate the proposed development. Tree removal consists of Douglas fir, canyon live oak, coast redwood, tan oak, Pacific madrone, and coast live oak trees ranging in size from 12 inches dbh to 48 inches dbh. As mentioned, proposed tree removal will be limited to the immediate project area and to that necessary to construct the project. Given the extent of mature trees on the 18.4-acre parcel and surrounding area, the proposed removals will not cause significant damage to scenic resources, as a cluster of 8 trees will be removed at the proposed driveway entrance and the rest will be spread out over the approximate 1-acre area of proposed disturbance to accommodate the building pad and downhill septic system. See staff's discussion in Section 4.e. below.

**Source:** Project Plans; Project Location.

|  |  |  |   |  |
|--|--|--|---|--|
| 1.c. Significantly degrade the existing visual character or quality of the site and its surroundings, including significant change in topography or ground surface relief features, and/or development on a ridgeline? |  |  | X |  |
|--|--|--|---|--|

**Discussion:** The project site is not visible from surrounding residential properties due to existing topography and dense tree coverage in the area. Although a cluster of trees is proposed for removal to accommodate a driveway entrance from Kebet Ridge Road, the driveway will slope down to the development and is designed such that it will not result in the residential development being more visible from Kebet Ridge Road. Furthermore, a majority of the existing tree coverage along Kebet Ridge Road, which provides screening of the downhill project site, is proposed to remain. The east side of the relatively flat building site area (which is relatively absent of trees) provides a private overlook to the lower immediate and distant region toward La Honda Road. However, due to the significant drop in elevation and dense tree coverage in the area, the project site is not visible from La Honda Road or any public viewpoints. The project proposes to use cement board siding in subtle blue-gray and brown-gray colors with a standing seam metal roof in dark brown to help minimize any visual impacts to the rural character and quality of the area. The house and carport will be of modern design with extended roof lines. The buildings are situated so as to fit into the existing terraced topography of the project area, to the extent feasible.

While the project site is relatively flat, a total of 985 cubic yards (c.y.) of grading is proposed, including 545 c.y. of cut and 440 c.y. of fill to construct the building pad, hardscape/driveway, in-ground pool, and septic system. The proposed grading is the minimum necessary to implement the project and would not significantly alter the topography or ground surface relief features.

**Source:** Project Plans; Project Location.

|  |  |   |  |   |
|--|--|---|--|---|
| 1.d. Create a new source of significant light or glare that would adversely affect day or nighttime views in the area?   |  | X |  |   |
| <p><b>Discussion:</b> The majority of the project will be screened from surrounding views by topography, tree coverage, and distance of the development to neighboring properties. However, new light sources and glare from the proposed development have the potential to generate adverse impacts on daytime and nighttime views in the area along the exposed east side of the development as it is situated above the lower distant region to the east. The following mitigation measures are recommended to minimize any adverse daytime or nighttime view impacts from light or glare that the project may introduce to the area:</p> <p><b>Mitigation Measure 1:</b> All proposed lighting shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area. Manufacturer cut sheets for any exterior light fixtures shall be submitted for review and approval prior to the issuance of a building permit. All exterior fixtures shall be rated dark-sky compliant and designed to minimize light pollution beyond the confines of the subject premises.</p> <p><b>Mitigation Measure 2:</b> Final finishes of all exterior materials and/or colors shall be non-reflective.</p> <p><b>Source:</b> Project Location; Project Plans.</p> |  |   |  |   |
| 1.e. Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?   |  | X |  |   |
| <p><b>Discussion:</b> The eastern portion of the 18.4-acre parcel is located in the La Honda Road County Scenic Corridor. However, the western portion of the parcel, including the proposed project site, is located approximately 300 ft. west of the county scenic corridor. See staff's discussion and recommended mitigation measures in Section 1.a. - 1.d. above. No further mitigation is necessary.</p> <p><b>Source:</b> San Mateo County General Plan, Scenic Corridors Map; Project Location; Project Plans.</p>   |  |   |  |   |
| 1.f. If within a Design Review District, conflict with applicable General Plan or Zoning Ordinance provisions?   |  |   |  | X |
| <p><b>Discussion:</b> The parcel is not located within a Design Review District.</p> <p><b>Source:</b> San Mateo County Zoning Map.</p>  |  |   |  |   |
| 1.g. Visually intrude into an area having natural scenic qualities?  |  | X |  |   |
| <p><b>Discussion:</b> See staff's discussion in Section 1.a. - 1.d. above.</p> <p><b>Source:</b> Project Location; Project Plans.</p>  |  |   |  |   |

**2. AGRICULTURAL AND FOREST RESOURCES.** In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the State's inventory of forestland, including the Forest and Range Assessment Project and the Forest Legacy Assessment Project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
|---|--|-------------------------------------|-------------------------------------|------------------|
| 2.a. For lands outside the Coastal Zone, convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? |  |                                     |                                     | X                |

**Discussion:** According to the California Department of Conservation Farmland Mapping and Monitoring Program, the project site is designated "Other Land" and therefore is not Prime Farmland, Unique Farmland, or Farmland of Statewide Importance.  
**Source:** California Department of Conservation, Farmland Mapping and Monitoring Program Map (2017).

|   |  |  |  |   |
|---|--|--|--|---|
| 2.b. Conflict with existing zoning for agricultural use, an existing Open Space Easement, or a Williamson Act contract? |  |  |  | X |
|---|--|--|--|---|

**Discussion:** The project parcel is zoned Resource Management (RM), which permits agricultural and residential uses. Furthermore, the parcel is not protected by an existing Open Space Easement or Williamson Act contract.  
**Source:** San Mateo County Zoning Regulations; San Mateo County Agricultural Preserves Map; Project Plans.

|  |  |  |  |   |
|--|--|--|--|---|
| 2.c. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forestland to non-forest use? |  |  |  | X |
|--|--|--|--|---|

**Discussion:** The project parcel is not located in an area identified as Farmland or suitable for agricultural activities. Furthermore, the project is not considered forestland pursuant to Public Resources Code Section 12220(g) which defines forestland as land that can support 10% native tree cover of any species and that allows for management of one or more forest resources.

The project site is an undeveloped, privately-owned 18.4-acre parcel surrounded by similarly sized residentially developed rural properties. The project area has been previously disturbed by historical access road grading and does not support forestland.

**Source:** California Department of Conservation, Farmland Mapping and Monitoring Program Map (2017); Public Resources Code Section 12220(g); Project Location.

|   |  |  |  |   |
|---|--|--|--|---|
| 2.d. For lands within the Coastal Zone, convert or divide lands identified as Class I or Class II Agriculture Soils and Class III Soils rated good or very good for artichokes or Brussels sprouts? |  |  |  | X |
|---|--|--|--|---|

**Discussion:** The project parcel is not located within the Coastal Zone.

**Source:** Project Location.

|  |  |  |   |  |
|--|--|--|---|--|
| 2.e. Result in damage to soil capability or loss of agricultural land? |  |  | X |  |
|--|--|--|---|--|

**Discussion:** The project parcel is located in an area of productive soil resources with timber capabilities, based on the San Mateo County General Plan Productive Soil Resources Map. No timber-growing activities are being conducted on-site. However, the project area is an open area on the parcel confined to approximately 1 acre with proposed development clustered near Kebet Ridge Road, leaving the majority of the 18.4-acre parcel undisturbed and available for timber production opportunities.

**Source:** San Mateo County General Plan, Productive Soil Resources Map.

|   |  |  |  |   |
|---|--|--|--|---|
| 2.f. Conflict with existing zoning for, or cause rezoning of, forestland (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))? |  |  |  | X |
|---|--|--|--|---|

*Note to reader: This question seeks to address the economic impact of converting forestland to a non-timber harvesting use.*

**Discussion:** The property is zoned Resource Management (RM). Residential uses are allowed in the RM Zoning District subject to an RM permit, which the applicant is seeking as part of the subject project. No proposed zoning changes are included as part of this project.

**Source:** San Mateo County Zoning Regulations; Project Plans.

3. **AIR QUALITY.** Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
|---|--|-------------------------------------|-------------------------------------|------------------|
| 3.a. Conflict with or obstruct implementation of the applicable air quality plan? |  |                                     | X                                   |                  |

**Discussion:** The Bay Area 2010 Clean Air Plan (CAP), developed by the Bay Area Air Quality Management District (BAAQMD), is the applicable air quality plan for San Mateo County. The CAP was created to improve Bay Area air quality and to protect public health and the climate.

The project will not conflict with or obstruct the implementation of the BAAQMD's 2010 CAP. Once constructed, use of the development as a single-family residence would have minimal impacts to the air quality standards set forth for the region by the BAAQMD.

**Source:** BAAQMD 2010 Clean Air Plan; Project Plans.

|  |  |   |  |  |
|--|--|---|--|--|
| 3.b. Violate any air quality standard or contribute significantly to an existing or projected air quality violation? |  | X |  |  |
|--|--|---|--|--|

**Discussion:** During project construction, air emissions will be generated from site grading, construction equipment, and construction worker vehicles. However, any such construction-related emissions will be temporary and localized.

The BAAQMD has established thresholds of significance for construction emissions and operational emissions. As defined in the BAAQMD's 1999<sup>1</sup> CEQA Guidelines, the BAAQMD does not require quantification of construction emissions due to the number of variables that can impact the calculation of construction emissions. Instead, the BAAQMD emphasizes implementation of all feasible control measures to minimize emissions from construction activities. The BAAQMD provides a list of construction-related control measures that they have determined, when fully implemented, would significantly reduce construction-related air emissions to a less than significant level. These control measures have been combined into Mitigation Measure 3 below. Furthermore, Section 2-1-113 (Exemption, Sources, and Operations) of the BAAQMD General Requirements exempts sources of air pollution associated with the construction of a single-family residence used solely for residential purposes, as well as road construction, from obtaining an Authority to Construct or Permit to Operate.

**Mitigation Measure 3:** The applicant shall submit an Air Quality Best Management Practices Plan to the Planning and Building Department prior to the issuance of any grading "hard card" or building permit that, at a minimum, includes the "Basic Construction Mitigation Measures" as listed in Table 8-1 of the BAAQMD CEQA Guidelines (May 2011). These measures shall be implemented prior to

<sup>1</sup> Thresholds of Significance are from the BAAQMD's 1999 CEQA Guidelines since the BAAQMD's last adopted 2010 Thresholds of Significance are currently under appeal by the BAAQMD with the California Supreme Court related to the BAAQMD's failure to comply with CEQA when adopting the Thresholds. Until this appeal is decided upon, the BAAQMD identifies that lead agencies may continue to rely on the Air District's 1999 Thresholds of Significance and make determinations regarding the significance of an individual project's air quality impacts based on the substantial evidence in the record for that project.

beginning any grading and/or construction activities and shall be maintained for the duration of the project grading and/or construction activities:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access road) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent paved roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. All vehicle speeds on unpaved roads shall be limited to 15 mph.
- e. Roadways and building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- f. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure, Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- g. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications.
- h. Minimize the idling time of diesel powered construction equipment to two minutes.

**Source:** BAAQMD CEQA Guidelines, December 1999; BAAQMD CEQA Guidelines, May 2011; BAAQMD Regulation 2, Rule 1; Project Plans.

|   |  |   |  |  |
|---|--|---|--|--|
| 3.c. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable Federal or State ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? |  | X |  |  |
|---|--|---|--|--|

**Discussion:** The Bay Area Air Basin is designated as non-attainment for Ozone, Particulate Matter (PM<sub>10</sub>), and Particulate Matter - Fine (PM<sub>2.5</sub>)<sup>2</sup>, according to the BAAQMD. Therefore, any increase in these criteria pollutants is significant. Implementation of the project will generate temporary increases in these criteria pollutants due to construction vehicle emissions and dust generated from earthwork activities. Mitigation Measure 3 will minimize increases in non-attainment criteria pollutants generated from project construction to a less than significant level. Furthermore, the California Air Resources Board (CARB) provides regulation over vehicles of residents in the State of California, including the operation of any vehicles that would be associated with the proposed single-family residence, to ensure that vehicle operating emissions are minimized in the effort toward reaching attainment for Ozone, among other goals.

**Source:** BAAQMD Air Quality Standards and Attainment Status, URL (2017); Project Plans.

<sup>2</sup> On January 9, 2013, the Environmental Protection Agency (EPA) issued a final rule determining that the Bay Area attains the 24-hour PM<sub>2.5</sub> national standard. However, despite this action by the EPA, the Bay Area will continue to be designated as "non-attainment" until the Air District submits a "re-designation request" and a "maintenance plan" to the EPA, and the EPA approves the proposed re-designation.

|   |  |   |  |   |
|---|--|---|--|---|
| 3.d. Expose sensitive receptors to significant pollutant concentrations, as defined by BAAQMD?  |  | X |  |   |
| <p><b>Discussion:</b> Any pollutant emissions generated from the project will primarily be temporary in nature. The project site is in a rural area with few sensitive receptors (i.e., single-family residences) located within the nearby project vicinity. Additionally, topography of the project area and the surrounding dense tree canopy and vegetation will help to insulate the project area from nearby sensitive receptors. Furthermore, Mitigation Measure 3 will minimize any potential significant exposure to nearby sensitive receptors to a less than significant level.</p> <p><b>Source:</b> Project Plans; Project Location.</p> |  |   |  |   |
| 3.e. Create objectionable odors affecting a significant number of people?   |  |   |  | X |
| <p><b>Discussion:</b> The project proposes development of a single-family residence on an 18.4-acre parcel in a rural area of the unincorporated County and, therefore, will not generate objectionable odors that could affect a significant number of people.</p> <p><b>Source:</b> Project Plans.</p>  |  |   |  |   |
| 3.f. Generate pollutants (hydrocarbon, thermal odor, dust or smoke particulates, radiation, etc.) that will violate existing standards of air quality on-site or in the surrounding area?   |  | X |  |   |
| <p><b>Discussion:</b> See staff's discussions, and recommended Mitigation Measure 3, in Sections 3.b. and 3.c. above.</p> <p><b>Source:</b> See Sources in Section 3.b. and 3.c. above.</p>   |  |   |  |   |

|   |  |                                     |                                     |                  |
|---|--|-------------------------------------|-------------------------------------|------------------|
| <b>4. BIOLOGICAL RESOURCES.</b> Would the project:  |  |                                     |                                     |                  |
|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 4.a. Have a significant adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?              |  |                                     |                                     | X                |
| <p><b>Discussion:</b> According to review of the California Natural Diversity Database (CNDDDB), there are no special-status plant or animal species identified on the project site or within the immediate vicinity of the project site. Furthermore, the project site is located in an area of the parcel that is believed to</p> |  |                                     |                                     |                  |

have undergone past disturbance given its observed topography relative to the area. The nearest mapped sensitive habitat identified on the County's General Plan Sensitive Habitats Map is riparian habitat along La Honda Creek which runs through the eastern portion of the parcel abutting La Honda Road, approximately 0.24 miles east of the project site. Therefore, the project will not impact any special-status species.

**Source:** California Natural Diversity Database; San Mateo County General Plan, Sensitive Habitats Map.

|  |  |  |  |   |
|--|--|--|--|---|
| 4.b. Have a significant adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service? |  |  |  | X |
|--|--|--|--|---|

**Discussion:** There are no riparian habitats or other sensitive natural communities located on the project site. See staff's discussion in Section 4.a. above.

**Source:** San Mateo County General Plan, Sensitive Habitats Map; Project Plans; Site Visit, 2017.

|  |  |  |  |   |
|--|--|--|--|---|
| 4.c. Have a significant adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? |  |  |  | X |
|--|--|--|--|---|

**Discussion:** There are no wetlands located within the project area.

**Source:** U.S. Fish and Wildlife Service, Wetland Mapper V2 (2017).

|   |  |  |  |   |
|---|--|--|--|---|
| 4.d. Interfere significantly with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites? |  |  |  | X |
|---|--|--|--|---|

**Discussion:** See staff's discussion in Section 4.a. above.

**Source:** See Sources referenced in Section 4.a. above.

|   |  |   |  |  |
|---|--|---|--|--|
| 4.e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance (including the County Heritage and Significant Tree Ordinances)? |  | X |  |  |
|---|--|---|--|--|

**Discussion:** The project proposes to remove 37 trees consisting of 20 Douglas fir (ranging in size from 12 inches to 22 inches dbh), 5 canyon live oaks (ranging in size from 12 inches to 37 inches dbh), 3 coast redwoods (ranging in size from 27 inches to 48 inches dbh), 4 tan oaks (ranging in size

from 18 inches to 28 inches dbh), 4 Pacific madrone (ranging in size from 13 inches to 26 inches dbh), and 1 coast live oak (25 inches dbh). The trees proposed for removal are the minimum necessary to accommodate the proposed development as these trees are within the footprint of the proposed development (including building, driveway, and utilities). The Development Review Criteria of the Resource Management (RM) District Regulations prohibits the removal of trees with a trunk circumference of more than 55 inches measured at 4.5 feet above the average surface of the ground (or more than 17.5 inches dbh), except as may be required for development permitted under the Zoning Regulations, among other reasons. The RM District allows single-family residences subject to the issuance of an RM Permit. Of the 37 trees proposed for removal, 18 are of a size falling under regulation by the RM District Development Review Criteria and, therefore, require an RM Permit for which the applicant is seeking. As mentioned, removal of these trees are necessary to accommodate the proposed single-family residential development. No trees proposed for removal are considered heritage trees by definition (Section 11,050(g)) under the County's Heritage Tree Ordinance. Replacement tree plantings shall be provided at a 1:1 ratio of 15-gallon (minimum) sized trees of native species for the regulated trees proposed for removal. Furthermore, any regulated oak trees removed shall be replaced with the same species.

**Mitigation Measure 4:** All regulated trees proposed for removal shall be replaced at a 1:1 ratio, minimum 15-gallon size stock. All proposed replacement trees shall be shown on a Tree Replanting Plan or Landscape Plan and shall include species, size, and location. Any regulated oak trees removed shall be replaced with the same species. The Plan shall be submitted to the County Planning and Building Department for review and approval as part of the building permit plan sets.

**Source:** Project Plans; San Mateo County Zoning Regulations; San Mateo County Significant Tree Ordinance; San Mateo County Heritage Tree Ordinance.

|   |  |  |  |   |
|---|--|--|--|---|
| 4.f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, other approved local, regional, or State habitat conservation plan? |  |  |  | X |
|---|--|--|--|---|

**Discussion:** There are no adopted Habitat Conservation Plans, Natural Conservation Community Plans, or other approved local, regional, or State habitat conservation plans for the project site.

**Source:** California Department of Fish and Wildlife, Habitat Conservation Planning, California Regional Conservation Plans Map.

|  |  |  |  |   |
|--|--|--|--|---|
| 4.g. Be located inside or within 200 feet of a marine or wildlife reserve? |  |  |  | X |
|--|--|--|--|---|

**Discussion:** The project site is not located inside or within 200 feet of a marine or wildlife reserve.

**Source:** U.S. Fish and Wildlife Services, National Wildlife Refuge System Locator.

|   |  |   |  |  |
|---|--|---|--|--|
| 4.h. Result in loss of oak woodlands or other non-timber woodlands? |  | X |  |  |
|---|--|---|--|--|

**Discussion:** State Senate Concurrent Resolution No. 17 requires state agencies to preserve and protect native oak woodlands to the maximum extent feasible or provide replacement plantings when oak woodlands are removed. For the purposes of the measure, "oak woodlands" means a five-acre circular area containing five or more oak trees per acre. The project site is smaller than the defined five-acre circular area under the State Senate Resolution. Nonetheless, the project does propose to remove non-timber woodlands consisting of a total of 37 trees of various species

(i.e., Douglas fir, canyon live oak, coast redwood, tan oak, Pacific madrone, and coast live oak), of which 18 require a permit to remove due to their size (17.5 inches dbh or greater). Replacement plantings are required for the regulated trees proposed for removal. See staff's discussion in Section 4.e. above.

**Source:** State Senate Concurrent Resolution No. 17; Project Plans.

| <b>5. CULTURAL RESOURCES.</b> Would the project:   |  |                                     |                                     |                  |
|--|--|-------------------------------------|-------------------------------------|------------------|
|  | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 5.a. Cause a significant adverse change in the significance of a historical resource as defined in CEQA Section 15064.5?   |  |                                     |                                     | X                |
| <p><b>Discussion:</b> According to a cultural resources survey report prepared by Archaeological/Historical Consultants, the project site does not contain any historical resources.</p> <p><b>Source:</b> Cultural Resources Survey Report, prepared by Archaeological/Historical Consultants, dated October 2016.</p>  |  |                                     |                                     |                  |
| 5.b. Cause a significant adverse change in the significance of an archaeological resource pursuant to CEQA Section 15064.5?  |  | X                                   |                                     |                  |
| <p><b>Discussion:</b> According to a cultural resources survey report prepared by Archaeological/Historical Consultants, no archaeological resources were discovered in the project area during site reconnaissance work. While the report identifies that archaeological sensitivity in the project area is low due to the steep topography, the discovery of subsurface archaeological materials during grading or construction work is always a possibility. Therefore, the following mitigation measure is recommended:</p> <p><b>Mitigation Measure 5:</b> In the event that archaeological resources are inadvertently discovered during construction, work in the immediate vicinity (within 25 feet) of the find must stop until a qualified archaeologist can evaluate the significance of the find. Construction activities may continue in other areas beyond the 25-foot stop work area. A qualified archaeologist is defined as someone who meets the Secretary of the Interior's Professional Qualifications Standards in archaeology. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the archaeologist has recommended appropriate measures, and those measures have been approved by the Current Planning Section and implemented.</p> <p><b>Source:</b> Cultural Resources Survey Report, prepared by Archaeological/Historical Consultants, dated October 2016.</p> |  |                                     |                                     |                  |

|  |  |   |  |  |
|--|--|---|--|--|
| 5.c. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?  |  | X |  |  |
| <p><b>Discussion:</b> The project site does not consist of any known or identified unique paleontological resources or geological features. Due to earthwork associated with the project, the project may have the potential to impact any unknown paleontological resources. Therefore, the following mitigation measure is recommended to minimize any potential unearthing and impact to any unknown paleontological resources within the project area.</p> <p><b>Mitigation Measure 6:</b> In the event that paleontological resources are inadvertently discovered during construction, work in the immediate vicinity (within 25 feet) of the find must stop until a qualified paleontologist can evaluate the significance of the find. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the paleontologist has recommended appropriate measures, and those measures have been approved by the Current Planning Section and implemented.</p> <p><b>Source:</b> Cultural Resources Survey Report, prepared by Archaeological/Historical Consultants, dated October 2016.</p>  |  |   |  |  |
| 5.d. Disturb any human remains, including those interred outside of formal cemeteries?   |  | X |  |  |
| <p><b>Discussion:</b> Archaeological/Historical Consultants reached out to the California Native American Heritage Commission (NAHC) to determine whether the Commission had any information about archaeological or traditional cultural properties of concern to Native Americans in the project area. Furthermore, letters to five individuals and organizations from the NAHC contact list for San Mateo County were issued. One response was received confirming no comments. Nonetheless, there is a possibility for the discovery of human remains during ground disturbance and/or construction-related activities. Therefore, the following mitigation measure is recommended:</p> <p><b>Mitigation Measure 7:</b> Should any human remains be discovered during construction, all ground disturbing work shall cease and the County Coroner shall be immediately notified, pursuant to Section 7050.5 of the State of California Health and Safety Code. Work must stop until the County Coroner can make a determination of origin and disposition of the remains pursuant to California Public Resources Code Section 5097.98. If the County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within 24 hours. A qualified archaeologist, in consultation with the Native American Heritage Commission, shall recommend subsequent measures for disposition of the remains.</p> <p><b>Source:</b> Cultural Resources Survey Report, prepared by Archaeological/Historical Consultants, dated October 2016.</p> |  |   |  |  |

| 6. GEOLOGY AND SOILS. Would the project:   |                                 |                              |                              |           |
|--|---------------------------------|------------------------------|------------------------------|-----------|
|  | Potentially Significant Impacts | Significant Unless Mitigated | Less Than Significant Impact | No Impact |
| 6.a. Expose people or structures to potential significant adverse effects, including the risk of loss, injury, or death involving the following, or create a situation that results in:  |                                 |                              |                              |           |
| i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other significant evidence of a known fault?<br><br><i>Note: Refer to Division of Mines and Geology Special Publication 42 and the County Geotechnical Hazards Synthesis Map.</i>   |                                 |                              |                              | X         |
| <p><b>Discussion:</b> The project site is not located in an Alquist-Priolo Earthquake Fault Zone or special study area where fault rupture is likely to occur.</p> <p><b>Source:</b> State of California, Division of Mines and Geology, Special Studies Zones Map, Woodside Quadrangle, July 1, 1974.</p>   |                                 |                              |                              |           |
| ii. Strong seismic ground shaking?   |                                 |                              | X                            |           |
| <p><b>Discussion:</b> According to a geotechnical study prepared for the project by Earth Investigations Consultants, the project site is located within a tectonic block between the Pilarcitos and Woodhaven faults (mapped within a mile of the project site). These two faults are considered inactive, but are recognized as significant tectonic features in the San Andreas fault system. The active San Andreas fault is mapped approximately 3 1/2 miles northeast of the project site. Earth Investigations Consultants concludes that the risk of fault ground rupture on the project site is considered remote given the distance to the nearest active fault. Additionally, the project is required to comply with all seismic design criteria of the current California Building Code which sets forth the minimum load requirements for the seismic design of structures. Therefore, no additional mitigation is necessary beyond current Building Code compliance.</p> <p><b>Source:</b> Geotechnical Investigation Report prepared by Earth Investigations Consultants, dated January 19, 2016.</p> |                                 |                              |                              |           |

|   |  |   |   |   |
|---|--|---|---|---|
| iii. Seismic-related ground failure, including liquefaction and differential settling?  |  |   | X |   |
| <p><b>Discussion:</b> According to a Geotechnical Investigation Report prepared for the project site by Earth Investigations Consultants, the occurrence of significant liquefaction from strong to violent ground shaking at the project site is low given the shallow depth to competent bedrock.</p> <p><b>Source:</b> Geotechnical Investigation Report prepared by Earth Investigations Consultants, dated January 19, 2016.</p>   |  |   |   |   |
| iv. Landslides?   |  |   | X |   |
| <p><b>Discussion:</b> The U.S. Geological Survey's Landslide Susceptibility Map of 1972 characterizes the parcel as having moderate susceptibility to landslides. A geotechnical study of the project site prepared by Earth Investigations Consultants concludes that there are no mapped landslides affecting the project site and no evidence of active or dormant landslides in the project area based on site reconnaissance.</p> <p><b>Source:</b> Geotechnical Investigation Report prepared by Earth Investigations Consultants, dated January 19, 2016.</p>  |  |   |   |   |
| v. Coastal cliff/bluff instability or erosion?<br><br><i>Note to reader: This question is looking at instability under current conditions. Future, potential instability is looked at in Section 7 (Climate Change).</i>  |  |   |   | X |
| <p><b>Discussion:</b> The project site is not located on a coastal cliff or bluff.</p> <p><b>Source:</b> Project Location.</p>  |  |   |   |   |
| 6.b. Result in significant soil erosion or the loss of topsoil?   |  | X |   |   |
| <p><b>Discussion:</b> The project proposes 985 cubic yards (c.y.) of grading, including 545 c.y. of cut and 440 c.y. of fill. Given the topography of the project site, there is a potential for erosion to occur if proper erosion control measures are not implemented. The applicant has developed an erosion control plan that includes fiber rolls around the downhill perimeter of construction and a stabilized construction entrance from Kebet Ridge Road, as well as other Best Management erosion control practices. Furthermore, staff is recommending the following mitigation measures to further minimize erosion and runoff from the project area and to ensure that grading and erosion control measures are implemented appropriately:</p> <p><b>Mitigation Measure 8:</b> The applicant shall submit an erosion control plan in compliance with the County's General Erosion and Sediment Control Plan Guidelines Checklist for review and approval as part of the building permit plans submittal.</p> <p><b>Mitigation Measure 9:</b> No grading shall be allowed during the wet weather season (October 1 through April 30) to avoid increased potential soil erosion, unless the applicant applies for an Exception to the Winter Grading Moratorium and the Community Development Director grants the exception. Exceptions will only be granted if dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other</p> |  |   |   |   |

determining factors).

**Mitigation Measure 10:** An Erosion Control and Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit "hard card" and building permit to ensure the approved erosion control and tree protection measures are installed adequately prior to the start of ground disturbing activities.

**Source:** Project Plans; County of San Mateo Erosion Control and Tree Protection Requirements.

|  |  |  |   |  |
|--|--|--|---|--|
| 6.c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, severe erosion, liquefaction or collapse? |  |  | X |  |
|--|--|--|---|--|

**Discussion:** While Earth Investigations Consultants concludes that there is no evidence of any geological hazards that would constrain the project site, there is a moderate potential for significant erosion from project construction. Mitigation Measures 8 - 10 will ensure that erosion from construction activities is minimized.

**Source:** Geotechnical Investigation Report prepared by Earth Investigations Consultants, dated January 19, 2016; Project Plans.

|   |  |  |  |   |
|---|--|--|--|---|
| 6.d. Be located on expansive soil, as noted in the 2010 California Building Code, creating significant risks to life or property? |  |  |  | X |
|---|--|--|--|---|

**Discussion:** The project site is not identified as consisting of expansive soils per the geotechnical study completed by Earth Investigations Consultants.

**Source:** Geotechnical Investigation Report prepared by Earth Investigations Consultants, dated January 19, 2016; Project Plans.

|  |  |  |  |   |
|--|--|--|--|---|
| 6.e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater? |  |  |  | X |
|--|--|--|--|---|

**Discussion:** The project has been preliminarily reviewed by the County of San Mateo Environmental Health Division and has received conditional approval for the location of a septic system capable to serve the proposed residential development.

**Source:** Project Plans; County of San Mateo Environmental Health Division.

| 7. CLIMATE CHANGE. Would the project:  |                                 |                              |                              |           |
|--|---------------------------------|------------------------------|------------------------------|-----------|
|  | Potentially Significant Impacts | Significant Unless Mitigated | Less Than Significant Impact | No Impact |
| 7.a. Generate greenhouse gas (GHG) emissions (including methane), either directly or indirectly, that may have a significant impact on the environment?  |                                 |                              | X                            |           |
| <p><b>Discussion:</b> The project includes the removal of 37 trees of various species (Douglas fir, canyon live oak, coast redwood, tan oak, Pacific madrone, and coast live oak) and sizes (ranging in size from 12 inches dbh to 48 inches dbh) to accommodate the proposed development. In context to the surrounding forested area, the removal of trees will not release significant amounts of GHG emissions or significantly reduce GHG sequestering in the area. Furthermore, new trees will be planted to replace the regulated trees proposed for removal.</p> <p>Grading and construction activities associated with the project will result in the temporary generation of GHG emissions primarily from construction-related vehicles and equipment. Any such potential increase in GHG emission levels will be minimal and temporary. Mitigation Measure 3 (f. - h.) in Section 3.b. will help ensure that any such temporary emissions are minimized.</p> <p>The project introduces a new single-family residential use to the area. Any increase in GHG emissions associated with a new single-family residential use are not expected to be significant as residential use does not generate a high demand for traffic. Furthermore, the project is required to comply with all current California Codes, including the California Energy Code and all mandatory requirements under the California Green Building Standards Code.</p> <p><b>Source:</b> San Mateo County Energy Efficiency Climate Action Plan (EECAP); Project Plans.</p> |                                 |                              |                              |           |
| 7.b. Conflict with an applicable plan (including a local climate action plan), policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?   |                                 |                              | X                            |           |
| <p><b>Discussion:</b> The project does not conflict with the San Mateo County Energy Efficient Climate Action Plan. See staff's discussion in Section 7.a. above.</p> <p><b>Source:</b> San Mateo County Energy Efficiency Climate Action Plan (EECAP).</p>  |                                 |                              |                              |           |
| 7.c. Result in the loss of forestland or conversion of forestland to non-forest use, such that it would release significant amounts of GHG emissions, or significantly reduce GHG sequestering?  |                                 |                              | X                            |           |
| <p><b>Discussion:</b> As defined by Public Resources Code Section 12220(g), forestland is land that can support 10% native tree cover of any species, including hardwoods, under natural conditions, and that allows for management of one or more forest resources, including timber, aesthetics, fish and wildlife, biodiversity, water quality, recreation, and other public benefits. While the 18.4-acre project parcel contains more than 10% native tree cover in its current natural condition, the project site is located in an area that is relatively absent of trees. While a total of 37 trees are proposed for</p>  |                                 |                              |                              |           |

removal, the tree loss is relatively insignificant when compared to the dense tree coverage of the parcel and surrounding vicinity. Thus, the proposed tree removals will not release significant amounts of GHG emissions or significantly reduce GHG sequestering in the area. Furthermore, new trees will be planted to replace the regulated trees proposed for removal.

**Source:** Public Resources Code, Section 12220(g); San Mateo County Energy Efficiency Climate Action Plan (EECAP); Project Plans.

|  |  |  |  |   |
|--|--|--|--|---|
| 7.d. Expose new or existing structures and/or infrastructure (e.g., leach fields) to accelerated coastal cliff/bluff erosion due to rising sea levels? |  |  |  | X |
|--|--|--|--|---|

**Discussion:** The project site is located over 7 miles from the ocean and therefore is not located within the coastal zone.

**Source:** Project Location.

|   |  |  |  |   |
|---|--|--|--|---|
| 7.e. Expose people or structures to a significant risk of loss, injury or death involving sea level rise? |  |  |  | X |
|---|--|--|--|---|

**Discussion:** The project site is located over 7 miles from the ocean. Given the distance from the ocean and terrain between the project site and the ocean, the project will not generate any potential risk to life or structures due to sea level rise.

**Source:** Project Location.

|  |  |  |  |   |
|--|--|--|--|---|
| 7.f. Place structures within an anticipated 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? |  |  |  | X |
|--|--|--|--|---|

**Discussion:** The project site is not located within a 100-year flood hazard area.

**Source:** Federal Emergency Management Agency, Flood Insurance Rate Map, Community Panel 06081C0294E, effective October 16, 2012.

|   |  |  |  |   |
|---|--|--|--|---|
| 7.g. Place within an anticipated 100-year flood hazard area structures that would impede or redirect flood flows? |  |  |  | X |
|---|--|--|--|---|

**Discussion:** The project site is not located within a 100-year flood hazard area.

**Source:** Federal Emergency Management Agency, Flood Insurance Rate Map, Community Panel 06081C0294E, effective October 16, 2012.

| <b>8. HAZARDS AND HAZARDOUS MATERIALS. Would the project:</b>  |  |                                     |                                     |                  |
|--|--|-------------------------------------|-------------------------------------|------------------|
|  | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 8.a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials (e.g., pesticides, herbicides, other toxic substances, or radioactive material)?        |  |                                     |                                     | X                |
| <b>Discussion:</b> The project does not involve the use, transport, or disposal of hazardous materials.<br><b>Source:</b> Project Plans.   |  |                                     |                                     |                  |
| 8.b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?                                |  |                                     |                                     | X                |
| <b>Discussion:</b> See staff's discussion in Section 8.a. above.<br><b>Source:</b> Project Plans.  |  |                                     |                                     |                  |
| 8.c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?  |  |                                     |                                     | X                |
| <b>Discussion:</b> The project does not involve the emittance or handling of hazardous emissions.<br><b>Source:</b> Project Plans.   |  |                                     |                                     |                  |
| 8.d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? |  |                                     |                                     | X                |
| <b>Discussion:</b> The project site is not listed on a hazardous materials site list.<br><b>Source:</b> California Department of Toxic Substances Control, Hazardous Waste and Substances Site List, URL (2017).                 |  |                                     |                                     |                  |

|   |  |  |   |   |
|---|--|--|---|---|
| 8.e. For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, result in a safety hazard for people residing or working in the project area?  |  |  |   | X |
| <p><b>Discussion:</b> The project is not located within an airport land use plan or within 2 miles of a public airport.</p> <p><b>Source:</b> Project Location.</p>   |  |  |   |   |
| 8.f. For a project within the vicinity of a private airstrip, result in a safety hazard for people residing or working in the project area?   |  |  |   | x |
| <p><b>Discussion:</b> The project is not located within the vicinity of any known private airstrip.</p> <p><b>Source:</b> Project Location.</p>   |  |  |   |   |
| 8.g. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?   |  |  |   | X |
| <p><b>Discussion:</b> The project will be located on a privately-owned parcel where all improvements will be located within the parcel boundaries. A new driveway off of Kebet Ridge Road will be constructed to serve the project; however, the driveway will be required to comply with any applicable driveway standards set forth by the Department of Public Works and the Fire Department to ensure that it will not interfere with emergency response services in the area.</p> <p><b>Source:</b> Project Plans.</p>   |  |  |   |   |
| 8.h. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?  |  |  | X |   |
| <p><b>Discussion:</b> The project site is located within a Very High Fire Hazard Severity Zone, State Responsibility Area. The project was reviewed by the San Mateo County Fire Department and received conditional approval subject to compliance with Chapter 7A of the California Building Code for ignition resistant construction and materials and acceptable slope and material for the driveway, among other fire prevention requirements. No further mitigation, beyond compliance with the standards and requirements of the San Mateo County Fire Department, is necessary.</p> <p><b>Source:</b> CalFire, Fire Hazard Severity Zones Maps; San Mateo County Fire Department.</p> |  |  |   |   |

|   |  |  |  |   |
|---|--|--|--|---|
| 8.i. Place housing within an existing 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?  |  |  |  | X |
| <p><b>Discussion:</b> The project parcel is not located within a 100-year flood hazard area.</p> <p><b>Source:</b> Federal Emergency Management Agency, Flood Insurance Rate Map, Community Panel 06081C0294E, effective October 16, 2012.</p>  |  |  |  |   |
| 8.j. Place within an existing 100-year flood hazard area structures that would impede or redirect flood flows?  |  |  |  | X |
| <p><b>Discussion:</b> See staff's discussion in Section 8.i. above.</p> <p><b>Source:</b> See Source Reference in Section 8.i. above.</p>   |  |  |  |   |
| 8.k. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?  |  |  |  | X |
| <p><b>Discussion:</b> The project parcel is not located in an area that would be impacted by the failure of a dam or levee as the project site is located in the upper hills on the west side of Skyline Boulevard (State Route 35) and Woodside Road (State Route 84), at a higher elevation than any levee or dam in San Mateo County. Furthermore, the project parcel is not within a dam failure inundation area per the San Mateo County General Plan Hazards Map.</p> <p><b>Source:</b> Project Location; San Mateo County General Plan, Hazards Map.</p> |  |  |  |   |
| 8.l. Inundation by seiche, tsunami, or mudflow?   |  |  |  | X |
| <p><b>Discussion:</b> According to the San Mateo County General Plan Hazards Map, the project parcel is not located in a tsunami or seiche inundation area. Furthermore, the project parcel is not located in an area of high landslide susceptibility.</p> <p><b>Source:</b> San Mateo County General Plan, Hazards Map.</p>   |  |  |  |   |

| 9. HYDROLOGY AND WATER QUALITY. Would the project:   |                                 |                              |                              |           |
|--|---------------------------------|------------------------------|------------------------------|-----------|
|  | Potentially Significant Impacts | Significant Unless Mitigated | Less Than Significant Impact | No Impact |
| 9.a. Violate any water quality standards or waste discharge requirements (consider water quality parameters such as temperature, dissolved oxygen, turbidity and other typical stormwater pollutants (e.g., heavy metals, pathogens, petroleum derivatives, synthetic organics, sediment, nutrients, oxygen-demanding substances, and trash))?   |                                 | X                            |                              |           |
| <p><b>Discussion:</b> The project has the potential to generate polluted stormwater runoff during site grading and construction-related activities. However, these impacts would be reduced to a less than significant level with the implementation of Mitigation Measures 8 - 10.</p> <p>The permanent project will be required to comply with the County's Drainage Policy requiring post-construction stormwater flows to be at, or below, pre-construction flow rates. Additionally, the project must include Low Impact Development (LID) site design measures in compliance with Provision C.3.i. of the County's Municipal Regional Stormwater Permit as the project is a standalone residence that would introduce 8,784 sq. ft. of new impervious surface. These guiding standards will ensure that post-construction water runoff does not violate any water quality standard as the project proposes to direct roof, driveway, and patio runoff to vegetated areas. Furthermore, the proposed septic system has been preliminarily reviewed and conditionally approved by the County Environmental Health Division.</p> <p><b>Source:</b> Project Plans; C.3/C.6 Development Review Checklist; County of San Mateo Drainage Policy; County of San Mateo Environmental Health Division.</p> |                                 |                              |                              |           |
| 9.b. Significantly deplete groundwater supplies or interfere significantly with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?  |                                 |                              | X                            |           |
| <p><b>Discussion:</b> The project is not expected to deplete any groundwater supplies or interfere with groundwater recharge. The project proposes to utilize an existing on-site well for domestic water use. Recent pump tests for the well resulted in a flow rate of 50 gallons per minute (gpm), which meets the minimum standard of 2.5 gpm for domestic use by the Environmental Health Division. There is no evidence that the use of the well would interfere with groundwater supplies of other wells in the area.</p> <p><b>Source:</b> Wilkinson Well &amp; Pump, Well Flow Test, dated December 16, 2014.</p>   |                                 |                              |                              |           |

|   |  |  |   |  |
|---|--|--|---|--|
| 9.c. Significantly alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner that would result in significant erosion or siltation on- or off-site?   |  |  | X |  |
| <p><b>Discussion:</b> The project does not involve the alteration of the course of a stream or river. Existing drainage patterns, consisting of sheet flow, will be altered by proposed grading and development of the property. An erosion and sediment control plan has been prepared by KPROX Civil Engineering to reduce stormwater-related erosion and sediment from the project site during construction. Additionally, the project has been preliminarily reviewed by the Department of Public Works for drainage compliance and conditionally approved. Furthermore, see staff's discussion in Section 9.a. above.</p> <p><b>Source:</b> Project Plans; County of San Mateo Department of Public Works.</p> |  |  |   |  |
| 9.d. Significantly alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or significantly increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?  |  |  | X |  |
| <p><b>Discussion:</b> The project will introduce a significant amount of new impervious surfaces to the site, however, required compliance with the County's Drainage Policy and Provision C.3.i. of the County's Municipal Regional Stormwater Permit will ensure that any increased runoff is captured and released on-site through appropriate measures (i.e., detention system). Furthermore, see staff's discussion in Section 9.a. and 9.c. above.</p> <p><b>Source:</b> Project Plans.</p>   |  |  |   |  |
| 9.e. Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide significant additional sources of polluted runoff?  |  |  | X |  |
| <p><b>Discussion:</b> There are no existing or planned public stormwater drainage systems in the rural area surrounding Kebet Ridge Road. The project will result in new impervious surfaces and associated runoff. However, the project is required to comply with the County's Drainage Policy to balance pre- and post-construction flows and Provision C.3.i. of the County's Municipal Regional Stormwater Permit for LID site design measures. Compliance with these standards will prevent impacts to drainage systems and will minimize additional sources of polluted runoff.</p> <p><b>Source:</b> Project Plans.</p>   |  |  |   |  |

|  |  |   |  |  |
|--|--|---|--|--|
| 9.f. Significantly degrade surface or ground-water water quality?  |  | X |  |  |
| <p><b>Discussion:</b> The project is required to comply with the County's Drainage Policy and Provision C.3.i. of the County's Municipal Regional Stormwater Permit which will prevent significant degradation of surface water quality after construction. Mitigation Measures 8 - 10 will reduce construction-related stormwater impacts to a less than significant level. The project proposes to utilize an existing water well on the property, for which the Environmental Health Division has reviewed and conditionally approved. Furthermore, the well will be required to meet quality and quantity standards set forth by the Environmental Health Division.</p> <p><b>Source:</b> Project Plans.</p> |  |   |  |  |
| 9.g. Result in increased impervious surfaces and associated increased runoff?  |  | X |  |  |
| <p><b>Discussion:</b> The project will result in increased impervious surfaces and associated increased runoff. The implementation of Mitigation Measures 8 - 10 will reduce project-related impacts to a less than significant level. No further mitigation measures are necessary.</p> <p><b>Source:</b> Project Plans.</p>  |  |   |  |  |

|   |  |                                     |                                     |                  |
|---|--|-------------------------------------|-------------------------------------|------------------|
| <p><b>10. LAND USE AND PLANNING.</b> Would the project:</p>   |  |                                     |                                     |                  |
|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 10.a. Physically divide an established community?   |  |                                     |                                     | X                |
| <p><b>Discussion:</b> The project does not involve a land division or development that would result in the division of an established community. The project proposes a new single-family residence on an 18.4-acre parcel located in a rural area of the County that will be among other single-family developments on similarly sized rural parcels.</p> <p><b>Source:</b> Project Plans; Project Location.</p>   |  |                                     |                                     |                  |
| 10.b. Conflict with any applicable land use plan, policy or regulation of an agency with jurisdiction over the project (including, but not limited to, the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?  |  |                                     | X                                   |                  |
| <p><b>Discussion:</b> The project includes the construction of up to an 8-ft. tall retaining wall in the rear 20-ft. setback on the downhill side of the new downslope driveway, where 6 ft. is the maximum allowed height. Therefore, the applicant is seeking a fence height exception pursuant to Section 6412.2 of the County Zoning Regulations. The over-height retaining wall will not be visible to the</p> |  |                                     |                                     |                  |

public or adjacent properties as it is on a steep downslope from Kebet Ridge Road and the proposed development. Furthermore, the retaining wall is necessary to support a new driveway access from Kebet Ridge Road to the proposed development. Thus, the proposed retaining wall will not generate any significant impact to the area or be detriment to the public.

**Source:** Project Plans.

|  |  |  |  |   |
|--|--|--|--|---|
| 10.c. Conflict with any applicable habitat conservation plan or natural community conservation plan? |  |  |  | X |
|--|--|--|--|---|

**Discussion:** See staff's discussion in Section 4.f. above.

**Source:** See Referenced Sources in Section 4.f. above.

|   |  |  |  |   |
|---|--|--|--|---|
| 10.d. Result in the congregating of more than 50 people on a regular basis? |  |  |  | X |
|---|--|--|--|---|

**Discussion:** The project does not propose a use that would result in the congregation of more than 50 people on a regular basis.

**Source:** Project Plans.

|  |  |  |  |   |
|--|--|--|--|---|
| 10.e. Result in the introduction of activities not currently found within the community? |  |  |  | X |
|--|--|--|--|---|

**Discussion:** The project will not introduce a use that is not currently found in the area. The project proposes a single-family residential use, which is found throughout the immediate rural area.

**Source:** Project Plans; Site Visit 2017.

|  |  |  |  |   |
|--|--|--|--|---|
| 10.f. Serve to encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas (examples include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)? |  |  |  | X |
|--|--|--|--|---|

**Discussion:** The project consists of developing a single-family residence where improvements will be completely within the parcel boundaries of the privately-owned parcel. The adjacent parcels are already developed with single-family residences. Therefore, the project will not serve to encourage off-site development of undeveloped areas or increase the development intensity of surrounding developed areas.

**Source:** Project Plans.

|   |  |  |  |   |
|---|--|--|--|---|
| 10.g. Create a significant new demand for housing?  |  |  |  | X |
| <p><b>Discussion:</b> The project does not involve a land use that will create a significant new demand for housing as the project consists of the development of a new single-family residence on a privately-owned parcel.</p> <p><b>Source:</b> Project Plans.</p> |  |  |  |   |

|   |  |                                     |                                     |                  |
|---|--|-------------------------------------|-------------------------------------|------------------|
| <b>11. MINERAL RESOURCES.</b> Would the project:  |  |                                     |                                     |                  |
|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 11.a. Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?  |  |                                     |                                     | X                |
| <p><b>Discussion:</b> The project parcel does not contain any known mineral resources, according to the Mineral Resources Map of the County's General Plan.</p> <p><b>Source:</b> San Mateo County General Plan, Mineral Resources Map.</p> |  |                                     |                                     |                  |
| 11.b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?  |  |                                     |                                     | X                |
| <p><b>Discussion:</b> See staff's discussion in Section 11.a. above.</p> <p><b>Source:</b> San Mateo County General Plan, Mineral Resources Map.</p>  |  |                                     |                                     |                  |

|  |  |                                     |                                     |                  |
|--|--|-------------------------------------|-------------------------------------|------------------|
| <b>12. NOISE.</b> Would the project result in:   |  |                                     |                                     |                  |
|  | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 12.a. Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?   |  |                                     | X                                   |                  |
| <p><b>Discussion:</b> The project will generate short-term noise associated with grading and construction activities. However, such noises will be temporary, where volume and hours are regulated by Section 4.88.360 (Exemptions) of the County Ordinance Code for Noise Control. Otherwise, any</p> |  |                                     |                                     |                  |

|  |  |  |   |   |
|--|--|--|---|---|
| <p>increased long-term project-related noise impacts will be minimal as it would be limited to noise associated with a single-family use. Furthermore, the topography of the area, existing tree coverage, and location of the proposed development on the parcel will ensure that any noise associated with the single-family residential use will not generate a significant impact to the area.</p> <p><b>Source:</b> Project Plans; County Ordinance Code, Section 4.88.360 for Noise Control.</p> |  |  |   |   |
| 12.b. Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?   |  |  | X |   |
| <p><b>Discussion:</b> See staff's discussion in Section 12.a. above.</p> <p><b>Source:</b> Project Plans; County Ordinance Code, Section 4.88.360 for Noise Control.</p>   |  |  |   |   |
| 12.c. A significant permanent increase in ambient noise levels in the project vicinity above levels existing without the project?  |  |  | X |   |
| <p><b>Discussion:</b> The project does not involve a significant permanent increase in ambient noise levels in the project vicinity, as the project will only result in noise associated with a single-family residential use. See staff's discussion in Section 12.a. above.</p> <p><b>Source:</b> Project Plans.</p>   |  |  |   |   |
| 12.d. A significant temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?  |  |  | X |   |
| <p><b>Discussion:</b> See staff's discussion in Section 12.a. above.</p> <p><b>Source:</b> Project Plans; County Ordinance Code, Section 4.88.360 for Noise Control.</p>   |  |  |   |   |
| 12.e. For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, exposure to people residing or working in the project area to excessive noise levels?  |  |  |   | X |
| <p><b>Discussion:</b> The project is not located within an area regulated by an airport land use plan or within 2 miles of a public airport.</p> <p><b>Source:</b> Project Location.</p>   |  |  |   |   |

|  |  |  |  |   |
|--|--|--|--|---|
| 12.f. For a project within the vicinity of a private airstrip, exposure to people residing or working in the project area to excessive noise levels? |  |  |  | X |
| <p><b>Discussion:</b> The project is not located within the vicinity of any known private airstrip.</p> <p><b>Source:</b> Project Location.</p>      |  |  |  |   |

|   |  |                                     |                                     |                  |
|---|--|-------------------------------------|-------------------------------------|------------------|
| <p><b>13. POPULATION AND HOUSING.</b> Would the project:</p>  |  |                                     |                                     |                  |
|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 13.a. Induce significant population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?                                      |  |                                     |                                     | X                |
| <p><b>Discussion:</b> All improvements associated with the proposed project are completely within the subject parcel's boundaries and are only sufficient to serve the proposed single-family residence.</p> <p><b>Source:</b> Project Plans.</p> |  |                                     |                                     |                  |
| 13.b. Displace existing housing ( <b>including low- or moderate-income housing</b> ), in an area that is substantially deficient in housing, necessitating the construction of replacement housing elsewhere?                                     |  |                                     |                                     | X                |
| <p><b>Discussion:</b> The project does not propose to displace existing housing as the project consists of a new single-family residence on an undeveloped parcel.</p> <p><b>Source:</b> Project Plans.</p>                                       |  |                                     |                                     |                  |

|  |  |                                     |                                     |                  |
|--|--|-------------------------------------|-------------------------------------|------------------|
| <b>14. PUBLIC SERVICES.</b> Would the project result in significant adverse physical impacts associated with the provision of new or physically altered government facilities, the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services: |  |                                     |                                     |                  |
|  | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 14.a. Fire protection?   |  |                                     |                                     | X                |
| 14.b. Police protection?   |  |                                     |                                     | X                |
| 14.c. Schools?   |  |                                     |                                     | X                |
| 14.d. Parks?   |  |                                     |                                     | X                |
| 14.e. Other public facilities or utilities (e.g., hospitals, or electrical/natural gas supply systems)?  |  |                                     |                                     | X                |
| <p><b>Discussion:</b> The project is limited to a new single-family residential use and, therefore, will not involve new or physically altered government facilities or increase the need for new or physically altered government facilities. Additionally, the project will not affect service ratios, response times, or other performance objectives for any of the public services in the area.</p> <p><b>Source:</b> Project Plans.</p>          |  |                                     |                                     |                  |

|   |  |                                     |                                     |                  |
|---|--|-------------------------------------|-------------------------------------|------------------|
| <b>15. RECREATION.</b> Would the project:   |  |                                     |                                     |                  |
|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 15.a. Increase the use of existing neighborhood or regional parks or other recreational facilities such that significant physical deterioration of the facility would occur or be accelerated?  |  |                                     |                                     | X                |
| <p><b>Discussion:</b> The project will not increase the use of existing neighborhood or regional parks or other recreational facilities such that significant physical deterioration of the facility will occur or be accelerated.</p> <p><b>Source:</b> Project Plans.</p> |  |                                     |                                     |                  |

|  |  |  |  |   |
|--|--|--|--|---|
| 15.b. Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?                      |  |  |  | X |
| <p><b>Discussion:</b> The project does not include any recreational facilities as proposed development is limited to a single-family residential use.</p> <p><b>Source:</b> Project Plans.</p> |  |  |  |   |

| 16. TRANSPORTATION/TRAFFIC. Would the project:  |  |                                     |                                     |                  |
|---|--|-------------------------------------|-------------------------------------|------------------|
|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 16.a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including, but not limited to, intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?  |  |                                     |                                     | X                |
| <p><b>Discussion:</b> Proposed project improvements include the construction of a new private driveway off of Kebet Ridge Road to serve the proposed single-family residence. The project has been reviewed and conditionally approved by the San Mateo County Fire Department and the County Department of Public Works for emergency access and traffic safety. Additionally, traffic generated from a single-family residence is minimal. Therefore, the project is not expected to conflict with any plan, ordinance, or policy establishing measures of effectiveness for the performance of the circulation system.</p> <p><b>Source:</b> Project Location.</p> |  |                                     |                                     |                  |
| 16.b. Conflict with an applicable congestion management program, including, but not limited to, level of service standards and travel demand measures, or other standards established by the County congestion management agency for designated roads or highways?  |  |                                     |                                     | X                |
| <p><b>Discussion:</b> See staff's discussion in Section 16.a. above.</p> <p><b>Source:</b> Project Location.</p>  |  |                                     |                                     |                  |

|  |  |  |  |   |
|--|--|--|--|---|
| 16.c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in significant safety risks?   |  |  |  | X |
| <p><b>Discussion:</b> The project does not propose to increase air traffic levels or generate any change in air traffic patterns.</p> <p><b>Source:</b> Project Plans; Project Location.</p>   |  |  |  |   |
| 16.d. Significantly increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?  |  |  |  | X |
| <p><b>Discussion:</b> The project proposes to construct a new driveway off of Kebet Ridge Road for single-family residential use. The project has been reviewed and conditionally approved by the County Department of Public Works for traffic safety of the proposed driveway onto Kebet Ridge Road.</p> <p><b>Source:</b> Project Plans; County Department of Public Works.</p> |  |  |  |   |
| 16.e. Result in inadequate emergency access?   |  |  |  | X |
| <p><b>Discussion:</b> The project has been reviewed and conditionally approved by the San Mateo County Fire Department for adequate emergency access in compliance with all applicable codes and regulations.</p> <p><b>Source:</b> Project Plans; San Mateo County Fire Department.</p>   |  |  |  |   |
| 16.f. Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?  |  |  |  | X |
| <p><b>Discussion:</b> The project involves the development of a single-family residence on private property and does not require any new, or impact any existing, public transit, bicycle, or pedestrian facilities.</p> <p><b>Source:</b> Project Plans.</p>  |  |  |  |   |
| 16.g. Cause noticeable increase in pedestrian traffic or a change in pedestrian patterns?  |  |  |  | X |
| <p><b>Discussion:</b> The development of a private property for single-family residential use in a rural residential area is not expected to generate a noticeable increase in pedestrian traffic or a change in pedestrian patterns.</p> <p><b>Source:</b> Project Plans.</p>   |  |  |  |   |

|   |  |  |  |   |
|---|--|--|--|---|
| 16.h. Result in inadequate parking capacity?  |  |  |  | X |
| <p><b>Discussion:</b> The project involves the construction of a two-car carport, where two covered parking spaces are required pursuant to Section 6119 of the County's Zoning Regulations.</p> <p><b>Source:</b> Project Plans; County of San Mateo Zoning Regulations.</p> |  |  |  |   |

|  |  |                                     |                                     |                  |
|--|--|-------------------------------------|-------------------------------------|------------------|
| <b>17. UTILITIES AND SERVICE SYSTEMS. Would the project:</b>   |  |                                     |                                     |                  |
|  | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 17.a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?   |  |                                     |                                     | X                |
| <p><b>Discussion:</b> The project includes the installation of a private, on-site septic system to serve the proposed residential development.</p> <p><b>Source:</b> Project Plans.</p>  |  |                                     |                                     |                  |
| 17.b. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?  |  |                                     |                                     | X                |
| <p><b>Discussion:</b> The project involves the use of an existing private water well located on the property and the installation of a new private septic system. No new or expanded water or wastewater treatment facilities are necessary to serve the proposed project.</p> <p><b>Source:</b> Project Plans.</p>  |  |                                     |                                     |                  |
| 17.c. Require or result in the construction of new stormwater drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?  |  |                                     | X                                   |                  |
| <p><b>Discussion:</b> There are no public stormwater drainage facilities along Kebet Ridge Road. The project includes the installation of a detention system on private property to comply with the County's Drainage Policy, none of which are expected to cause a significant adverse environmental impact to the area.</p> <p><b>Source:</b> Project Plans.</p> |  |                                     |                                     |                  |

|  |  |  |  |   |
|--|--|--|--|---|
| 17.d. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?  |  |  |  | X |
| <p><b>Discussion:</b> The project proposes to utilize an existing on-site well for domestic water use. According to pump tests preliminarily approved by the Environmental Health Division, the well flow rate was documented at 50 gallons per minute (gpm), which exceeds the County's minimum requirement of 2.5 gpm for domestic well water sources.</p> <p><b>Source:</b> San Mateo County Environmental Health Division; Wilkinson Well &amp; Pump, Well Flow Test, dated December 16, 2014.</p> |  |  |  |   |
| 17.e. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?   |  |  |  | X |
| <p><b>Discussion:</b> The project involves the installation of a private septic system to serve the proposed development. The County Environmental Health Division has reviewed and conditionally approved the preliminary septic design plans.</p> <p><b>Source:</b> Project Plans; San Mateo County Environmental Health Division.</p>   |  |  |  |   |
| 17.f. Be served by a landfill with insufficient permitted capacity to accommodate the project's solid waste disposal needs?  |  |  |  | X |
| <p><b>Discussion:</b> Similar to neighboring properties, the proposed development will receive municipal trash pick-up service by Greenwaste. The single-family residence is expected to generate a minimal increase in waste. Furthermore, there is no indication that the landfill utilized has insufficient capacity.</p> <p><b>Source:</b> Confirmation from Greenwaste (2017).</p>  |  |  |  |   |
| 17.g. Comply with Federal, State, and local statutes and regulations related to solid waste?   |  |  |  | X |
| <p><b>Discussion:</b> Waste generated by single-family residential use is expected to be minimal. The project site will receive solid waste service by Greenwaste. Therefore, it is not expected that the use will result in waste production that would result in compliance issues with any Federal, State, or local statutes or regulations.</p> <p><b>Source:</b> Project Plans.</p>   |  |  |  |   |

|  |  |  |  |   |
|--|--|--|--|---|
| 17.h. Be sited, oriented, and/or designed to minimize energy consumption, including transportation energy; incorporate water conservation and solid waste reduction measures; and incorporate solar or other alternative energy sources? |  |  |  | X |
|--|--|--|--|---|

**Discussion:** The proposed residential development will be required to comply with all currently adopted building, electrical, plumbing, and mechanical codes.

**Source:** Project Plans.

|  |  |  |  |   |
|--|--|--|--|---|
| 17.i. Generate any demands that will cause a public facility or utility to reach or exceed its capacity? |  |  |  | X |
|--|--|--|--|---|

**Discussion:** The project will not generate any demands that would exceed the capacity of any public facility or utility. See staff's discussion in Section 17.a. through 17.h. above.

**Source:** Project Plans.

**18. MANDATORY FINDINGS OF SIGNIFICANCE.**

|   | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
|---|--|-------------------------------------|-------------------------------------|------------------|
| 18.a. Does the project have the potential to degrade the quality of the environment, significantly reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? |  |                                     |                                     | X                |

**Discussion:** According to the review of the California Natural Diversity Database (CNDDDB), there are no special-status plant or animal species identified on the project site or within the immediate vicinity of the project site. Furthermore, the project site is located in an area of the parcel that is believed to have undergone past disturbance given its observed topography relative to the area. The nearest mapped sensitive habitat identified on the County's General Plan Sensitive Habitats Map is riparian habitat along La Honda Creek which runs through the eastern portion of the parcel abutting La Honda Road, approximately 0.24 miles east of the project site. No other water bodies are located in the near vicinity of the project site, therefore, the project would not cause any adverse impacts to a fish habitat.

**Source:** California Natural Diversity Database; San Mateo County General Plan, Sensitive Habitats Map; Project Plans; Project Location.

|  |  |  |  |          |
|--|--|--|--|----------|
| <p>18.b. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)</p> |  |  |  | <p>X</p> |
|--|--|--|--|----------|

**Discussion:** All of the parcels along Kebet Ridge Road are developed with single-family residences, except for the project parcel. It is not likely that the incremental effects of this project are considerable when viewed in conjunction with the effects of past, current, and probably future private or public projects in this area. The project site is located in a rural area where the rate and intensity of development is low. While the project will potentially result in site specific impacts as discussed in this document, incorporation of the recommended mitigation measures will reduce these impacts to a less than significant level. No other new residential development is proposed in the area. Furthermore, any future development in the area will be subject to review under the California Environmental Quality Act.

**Source:** Subject Document; Project Plans.

|   |  |          |  |  |
|---|--|----------|--|--|
| <p>18.c. Does the project have environmental effects which will cause significant adverse effects on human beings, either directly or indirectly?</p> |  | <p>X</p> |  |  |
|---|--|----------|--|--|

**Discussion:** The project could result in environmental impacts that could both directly and indirectly cause impacts on human beings, including the introduction of new sources of light and glare, temporary air quality impacts from construction-related emissions, and temporary greenhouse gas emissions from construction-related activities, as discussed within this document. However, the implementation of the recommended mitigation measures included in this document, and mitigation measures proposed in the project plans, will adequately reduce any potential impacts to a less than significant level.

**Source:** Subject Document; Project Plans.

**RESPONSIBLE AGENCIES.** Check what agency has permit authority or other approval for the project.

| AGENCY   | YES | NO | TYPE OF APPROVAL |
|--|-----|----|------------------|
| U.S. Army Corps of Engineers (CE)                                |     | X  |                  |
| State Water Resources Control Board                              |     | X  |                  |
| Regional Water Quality Control Board                             |     | X  |                  |
| State Department of Public Health                                |     | X  |                  |
| San Francisco Bay Conservation and Development Commission (BCDC) |     | X  |                  |
| U.S. Environmental Protection Agency (EPA)                       |     | X  |                  |
| County Airport Land Use Commission (ALUC)                        |     | X  |                  |
| CalTrans   |     | X  |                  |
| Bay Area Air Quality Management District                         |     | X  |                  |
| U.S. Fish and Wildlife Service                                   |     | X  |                  |
| Coastal Commission   |     | X  |                  |
| City   |     | X  |                  |
| Sewer/Water District:  |     | X  |                  |
| Other:   |     | X  |                  |

| <b><u>MITIGATION MEASURES</u></b>  |            |           |
|--|------------|-----------|
|  | <u>Yes</u> | <u>No</u> |
| Mitigation measures have been proposed in project application.   | X          |           |
| Other mitigation measures are needed.  | X          |           |
| <p>The following measures are included in the project plans or proposals pursuant to Section 15070(b)(1) of the State CEQA Guidelines:</p> <p><b><u>Mitigation Measure 1:</u></b> All proposed lighting shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area. Manufacturer cut sheets for any exterior light fixtures shall be submitted for review and approval prior to the issuance of a building permit. All exterior fixtures shall be rated dark-sky compliant and designed to minimize light pollution beyond the confines of the subject premises.</p> <p><b><u>Mitigation Measure 2:</u></b> Final finishes of all exterior materials and/or colors shall be non-reflective.</p> <p><b><u>Mitigation Measure 3:</u></b> The applicant shall submit an Air Quality Best Management Practices Plan to the Planning and Building Department prior to the issuance of any grading "hard card" or building permit that, at a minimum, includes the "Basic Construction Mitigation Measures" as listed in Table</p> |            |           |

8-1 of the BAAQMD CEQA Guidelines (May 2011). These measures shall be implemented prior to beginning any grading and/or construction activities and shall be maintained for the duration of the project grading and/or construction activities:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access road) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent paved roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. All vehicle speeds on unpaved roads shall be limited to 15 mph.
- e. Roadways and building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- f. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure, Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- g. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications.
- h. Minimize the idling time of diesel powered construction equipment to two minutes.

**Mitigation Measure 4:** All regulated trees proposed for removal shall be replaced at a 1:1 ratio, minimum 15-gallon size stock. All proposed replacement trees shall be shown on a Tree Replanting Plan or Landscape Plan and shall include species, size, and location. Any regulated oak trees removed shall be replaced with the same species. The Plan shall be submitted to the County Planning and Building Department for review and approval as part of the building permit plan sets.

**Mitigation Measure 5:** In the event that archaeological resources are inadvertently discovered during construction, work in the immediate vicinity (within 25 feet) of the find must stop until a qualified archaeologist can evaluate the significance of the find. Construction activities may continue in other areas beyond the 25-foot stop work area. A qualified archaeologist is defined as someone who meets the Secretary of the Interior's Professional Qualifications Standards in archaeology. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the archaeologist has recommended appropriate measures, and those measures have been approved by the Current Planning Section and implemented.

**Mitigation Measure 6:** In the event that paleontological resources are inadvertently discovered during construction, work in the immediate vicinity (within 25 feet) of the find must stop until a qualified paleontologist can evaluate the significant of the find. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the paleontologist has recommended appropriate measures, and those measures have been approved by the Current Planning Section and implemented.

**Mitigation Measure 7:** Should any human remains be discovered during construction, all ground disturbing work shall cease and the County Coroner shall be immediately notified, pursuant to Section 7050.5 of the State of California Health and Safety Code. Work must stop until the County Coroner can make a determination of origin and disposition of the remains pursuant to California Public Resources Code Section 5097.98. If the County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within 24 hours.





**County of San Mateo - Planning and Building Department**

# **ATTACHMENT E**

**COUNTY OF SAN MATEO**  
**PLANNING AND BUILDING**

**County Government Center**  
455 County Center, 2nd Floor  
Redwood City, CA 94063  
650-363-4161 T  
650-363-4849 F  
[www.planning.smcgov.org](http://www.planning.smcgov.org)

June 23, 2017

Ryan Atkins and Meghan Concra  
3044 Hacienda Street  
San Mateo, CA 94403

Dear Mr. Atkins and Ms. Concra:

**SUBJECT: Resource Management Permit, Fence Height Exception, and Grading Permit  
Kebet Ridge Road, Woodside  
APN 075-321-220; County File No. PLN 2016-00150**

Staff has reviewed your application for a Resource Management (RM) Permit and Fence Height Exception, pursuant to Sections 6313 and 6412.2 of the County Zoning Regulations, and a Grading Permit, pursuant to Section 9283 of the County Ordinance Code, to construct a new 2,574 sq. ft. two-story single-family residence with a detached 462 sq. ft. two-car carport on a legal, undeveloped 18.4-acre parcel on Kebet Ridge Road in the unincorporated area of Woodside. The project also proposes an in-ground pool; 614 sq. ft. of decking; a new driveway; a propane tank; water tanks; a septic system; and supportive retaining walls, including a retaining wall up to 8 ft. in height on the downhill side of the 20-ft. rear yard setback along Kebet Ridge Road, where 6 ft. is the maximum allowed. An existing well located on the property will be used for domestic water supply. The project includes 985 cubic yards (c.y.) of grading (consisting of 545 c.y. of cut and 440 c.y. of fill) for the building pad, hardscape/driveway, pool, and septic system. The project requires the removal of a total of 37 trees to accommodate the proposed development, of which 18 are regulated under the RM District Development Review Criteria due to their size and, therefore, require an RM Permit for which the applicant is seeking. The 18 regulated trees proposed for removal consist of 1 coast live oak (25" dbh); 3 coast redwoods (27" dbh, 35" dbh, and 48" dbh); 3 canyon live oaks (multi-diameter sizes ranging from 11" - 37" dbh); 3 Pacific madrones (multi-diameter sizes ranging from 18" - 26" dbh); 3 tan oaks (18" dbh, 25" dbh, and 28" dbh); and 5 Douglas firs (18" dbh, 20" dbh, 21" dbh, 22" dbh, and 26" dbh). While a majority of the project parcel consists of slope gradients over 35% and contains dense vegetation and tree coverage, the proposed project site is a relatively flat, open area of the 18.4-acre parcel that sits approximately 20 ft. below Kebet Ridge Road.

The project has been reviewed by the San Mateo County Planning and Building Department, the Geotechnical Section, the Department of Public Works, the Environmental Health Division, and the San Mateo County Fire Department. Planning



staff prepared and circulated an Initial Study (IS) and Mitigated Negative Declaration (MND) for the project in compliance with the California Environmental Quality Act (CEQA). The 20-day public review period commenced on May 22, 2017 and ended on June 12, 2017. Staff received comments from one interested party who raised concern over the need for an appropriately sequenced address for construction and for construction vehicle impediments along Kebet Ridge Road, which is a narrow, private roadway built over easements. Staff has referred the project to the Addressing Section of the Building Department, which is in the process of issuing the parcel an official address that is appropriately sequenced with surrounding properties. Furthermore, conditions of approval are included below that require an official address to be issued and clearly posted prior to the commencement of construction and for construction vehicles and associated equipment to be prohibited from impeding traffic along Kebet Ridge Road.

Public notification was sent to property owners within 300 ft. of the subject site on May 22, 2017; no objections were received during the 10-day comment period.

Therefore, based on the foregoing, staff certifies the Mitigated Negative Declaration, and approves the Resource Management Permit, Fence Height Exception, and Grading Permit, pursuant to the following required findings and conditions of approval.

## **FINDINGS**

Staff finds:

### **For the Environmental Review:**

1. That the Initial Study and Mitigated Negative Declaration are complete, correct and adequate and prepared in accordance with the California Environmental Quality Act (CEQA) and the applicable State and County Guidelines. An Initial Study and a Mitigated Negative Declaration were prepared and issued with a public review period from May 22, 2017 to June 12, 2017.
2. That, on the basis of the Initial Study and comments received hereto, there is no substantial evidence that the project, if subject to the mitigation measures contained in the Mitigated Negative Declaration, will have a significant effect on the environment. The Initial Study and Mitigated Negative Declaration identify potential significant impacts to aesthetics, air quality, biological resources, cultural resources, geology and soils, climate change, and hydrology and water quality. The mitigation measures contained in the Mitigated Negative Declaration have been included as conditions of approval below. As proposed and mitigated, the project will not result in any significant environmental impacts.

3. That the mitigation measures identified in the Mitigated Negative Declaration, agreed to by the applicant, and placed as conditions on the project, have been incorporated as conditions of project approval.
4. That the Initial Study and Mitigated Negative Declaration reflect the independent judgment of the County.

For the Resource Management Permit:

5. That the project conforms to the Development Standards and Development Review Criteria contained in Chapter 20A and Chapter 20A.2 of the San Mateo County Zoning Regulations. The project conforms to the minimum setbacks and maximum height limit allowed in the RM Zoning District. Additionally, the project conforms to Section 6324.1 (Environmental Quality Criteria), Section 6324.4 (Water Resources Criteria), Section 6324.2 (Site Design Criteria), Section 6324.5 (Cultural Resources), Section 6324.3 (Utilities), Section 6324.6 (Hazards to Public Safety Criteria), and Section 6326.4 (Slope Instability Area Criteria) of the RM Development Review Criteria. The project, as proposed and conditioned, will not introduce noxious odors, long-term noise levels, or significant levels of air pollution emissions, and will incorporate low-impact development measures to ensure that the increase in impervious surfaces will not result in adverse drainage or water quality impacts. The project will minimize adverse impacts on the rural character of the area by limiting grading and tree removal to that necessary to implement it. The project will be served by an individual private septic system and well, utilize building materials and colors that blend into the natural surrounding rural area, as well as ensure that proper measures are taken should any unknown cultural resources be unearthed during construction. Additionally, the project will not compromise the stability of the project parcel or surrounding lands as a site specific geotechnical report prepared for the project concluded that landslide susceptibility is low at the project site based on site reconnaissance and geologic map review, and the project will comply with Chapter 7A of the California Building Code for ignition resistant construction and materials, acceptable emergency fire access, adequate fire flow, and water supplies as reviewed and conditionally approved by the San Mateo County Fire Department.

For the Fence Height Exception:

6. That the proposed retaining wall, which exceeds the height limit set forth in Section 6412 by two feet, has been reviewed under and found to be in compliance with the provision and findings stipulated in Section 6412.2 of the County Zoning Regulations, including:

- a. Written notification of the exception request was sent to all owners of property located within 300 feet of the parcel, and to any member of the public requesting such notification.
- b. Written notification of the exception request was sent to all recognized organizations or associations that have been established to represent the property owners in the neighborhood surrounding the parcel where the wall is proposed to be placed, and to any organization or association requesting such notification. An organization or association shall be considered recognized if it has been in existence for at least six months, and has scheduled meetings.
- c. No member of the public nor organization or association has submitted to the Community Development Director written objection to the exception request.
- d. After consultation with the Department of Public Works, the Community Development Director finds that approving the exception will not jeopardize public safety.
- e. After reviewing the parcel where the fence height exception is proposed, the Community Development Director finds that approving the exception will be compatible with the neighborhood surrounding that parcel, and will not be detrimental to the public welfare.
- f. The Community Development Director finds that the proposed fence or hedge promotes or enhances good design, site relationships, and other aesthetic considerations, in accordance with San Mateo County General Plan Policy 4.15.

For the Grading Permit:

7. That the granting of the permit will not have a significant adverse effect on the environment. After reviewing the Initial Study and Mitigated Negative Declaration as required by CEQA, it is determined that the implementation of all mitigation measures would reduce the project's potential environmental impacts to less than significant levels. All recommended mitigation measures in the Mitigated Negative Declaration have been incorporated as conditions of approval below.
8. That the project conforms to the criteria of Chapter 8, Division VII, San Mateo County Ordinance Code, including the standards referenced in Section 9296. The project, as proposed and conditioned, conforms to the standards in the Grading Regulations, including those relative to erosion and sediment control, dust control, fire safety, and timing of grading activity. The project has been reviewed and

conditionally approved by the County's Department of Public Works and the Planning and Building Department's Geotechnical Engineer.

9. That the project is consistent with the General Plan (Plan). The project, as proposed and conditioned, conforms to all applicable General Plan policies, including applicable Soil Resources; Visual Quality; Historical and Archaeological Resources; Rural Land use; Water Supply; Wastewater; and Natural Hazards policies.

### CONDITIONS OF APPROVAL

#### Current Planning Section

1. This approval applies only to the proposal as described in the plans and supporting materials submitted on April 13, 2016, with all subsequent resubmittals made part of the planning application, PLN 2016-00150. The Community Development Director may approve minor revisions or modifications to the project if they are found to be consistent with the intent of, and in substantial conformance with, this approval.
2. The Resource Management Permit, Fence Height Exception, and Grading Permit shall be valid for one (1) year from the date of final approval in which time a valid building permit shall be issued and a completed inspection (to the satisfaction of the Building Inspection Section) shall have occurred within 180 days of its issuance. Any extension of these permits shall require submittal of a written request for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. Within four (4) business days of the final approval date for this project, the applicant shall submit an environmental filing fee of \$2,216.25, as required under Fish and Game Code Section 711.4, plus a \$50.00 recording fee. Thus, the applicant shall submit a check in the **total amount of \$2,266.25**, made payable to "San Mateo County Clerk", to the project planner to file with the Notice of Determination. Please be aware that the Department of Fish and Game environmental filing fee increases starting the 1st day of each new calendar year (i.e., January 1, 2017). The fee amount due is based on the date of payment of the fees.
4. The applicant shall submit the approved exterior color and material specifications as part of the building permit submittal. Color and materials verification by the Current Planning Section shall occur prior to the final building inspection.

5. A total of 37 trees are approved for removal as shown on the Tree Protection Plan, dated May 16, 2017, of which 18 are regulated under the RM District Regulations. See Condition of Approval No. 18 for tree replacement requirements.
6. A Tree Protection Plan, in compliance with Sections 12,020.4 and 12,020.5 of the County's Significant Tree Ordinance, shall be submitted with the building permit plans for review and approval by the Current Planning Section.
7. No grading activities shall commence until the applicant has been issued a grading permit "Hard Card", which will only be issued concurrently with the associated building permit.
8. The provision of the San Mateo County Grading Ordinance shall govern all grading on and adjacent to this site. Per San Mateo County Ordinance Section 9296.5, all equipment used in grading operations shall meet spark arrester and firefighting tool requirements, as specified in the California Public Resources Code.
9. The engineer who prepared the approved grading plan shall be responsible for the inspection and certification of the grading as required by Section 9297.2 of the Grading Ordinance. The engineer's responsibilities shall include those relating to non-compliance detailed in Section 9297.4 of the Grading Ordinance.
10. Erosion and sediment control during the course of grading work shall be installed and maintained according to a plan prepared and signed by the engineer of record, and approved by the Department of Public Works and the Current Planning Section. Revisions to the approved erosion and sediment control plan shall be prepared and signed by the engineer, and must be reviewed and approved by the Department of Public Works and the Current Planning Section.
11. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.
12. To reduce the impact of construction activities on neighboring properties, comply with the following:
  - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent

- properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
- b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
  - c. The applicant shall ensure that no construction related vehicles impede through traffic along Kebet Ridge Road. All construction vehicles shall be parked on-site outside of the Kebet Ridge Road easement, or in locations which do not impede safe access along Kebet Ridge Road. There shall be no overnight storage of construction vehicles or equipment on Kebet Ridge Road.
13. The site is considered a Construction Stormwater Regulated Site (SWRS). Any grading activities conducted during the wet weather season (October 1 to April 30) will require monthly erosion and sediment control inspections by the Building Inspection Section, as well as prior authorization from the Community Development Director to conduct grading during the wet weather season.
  14. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).
  15. Prior to the issuance of a building permit, the applicant shall pay all applicable Affordable Housing Impact Fees, pursuant to San Mateo County Ordinance No. 4758. The impact fees shall be assessed at \$5.00 per sq. ft. over 2,500 sq. ft. of residential floor area.
  16. Prior to the issuance of a building permit, the applicant shall obtain an official street address for the property and shall post the street number at the construction entrance to the property such that it is clear and legible for construction workers and County inspectors visiting the project site. Verification of compliance with this condition is required by the Current Planning Section prior to issuance of a building permit. The posted street number shall remain in place until a final building inspection is obtained.

Mitigation Measures from the Mitigated Negative Declaration:

17. **Mitigation Measure 1:** All proposed lighting shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area. Manufacturer cut sheets for any exterior light fixtures shall be submitted for review and approval prior to the issuance of a building permit. All exterior fixtures shall be rated dark-sky compliant and designed to minimize light pollution beyond the confines of the subject premises.
18. **Mitigation Measure 2:** Final finishes of all exterior materials and/or colors shall be non-reflective.
19. **Mitigation Measure 3:** The applicant shall submit an Air Quality Best Management Practices Plan to the Planning and Building Department prior to the issuance of any grading "hard card" or building permit that, at a minimum, includes the "Basic Construction Mitigation Measures" as listed in Table 8-1 of the BAAQMD CEQA Guidelines (May 2011). These measures shall be implemented prior to beginning any grading and/or construction activities and shall be maintained for the duration of the project grading and/or construction activities:
  - a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access road) shall be watered two times per day.
  - b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
  - c. All visible mud or dirt track-out onto adjacent paved roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
  - d. All vehicle speeds on unpaved roads shall be limited to 15 mph.
  - e. Roadways and building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
  - f. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure, Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.

- g. All construction equipment shall be maintained and properly tuned in accordance with the manufacturer's specifications.
  - h. Minimize the idling time of diesel powered construction equipment to two minutes.
20. **Mitigation Measure 4:** All regulated trees proposed for removal shall be replaced at a 1:1 ratio, minimum 15-gallon size stock. All proposed replacement trees shall be shown on a Tree Replanting Plan or Landscape Plan and shall include species, size, and location. Any regulated oak trees removed shall be replaced with the same species. The Plan shall be submitted to the County Planning and Building Department for review and approval as part of the building permit plan sets.
21. **Mitigation Measure 5:** In the event that archaeological resources are inadvertently discovered during construction, work in the immediate vicinity (within 25 feet) of the find must stop until a qualified archaeologist can evaluate the significance of the find. Construction activities may continue in other areas beyond the 25-ft. stop work area. A qualified archaeologist is defined as someone who meets the Secretary of the Interior's Professional Qualifications Standards in archaeology. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the archaeologist has recommended appropriate measures, and those measures have been approved by the Current Planning Section and implemented.
22. **Mitigation Measure 6:** In the event that paleontological resources are inadvertently discovered during construction, work in the immediate vicinity (within 25 feet) of the find must stop until a qualified paleontologist can evaluate the significance of the find. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the paleontologist has recommended appropriate measures, and those measures have been approved by the Current Planning Section and implemented.
23. **Mitigation Measure 7:** Should any human remains be discovered during construction, all ground disturbing work shall cease and the County Coroner shall be immediately notified, pursuant to Section 7050.5 of the State of California Health and Safety Code. Work must stop until the County Coroner can make a determination of origin and disposition of the remains pursuant to California Public Resources Code Section 5097.98. If the County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within 24 hours. A qualified archaeologist, in consultation with the Native American

Heritage Commission, shall recommend subsequent measures for disposition of the remains.

24. **Mitigation Measure 8:** The applicant shall submit an erosion control plan in compliance with the County's General Erosion and Sediment Control Plan Guidelines Checklist for review and approval as part of the building permit plans submittal.
25. **Mitigation Measure 9:** No grading shall be allowed during the wet weather season (October 1 through April 30) to avoid increased potential soil erosion, unless the applicant applies for an Exception to the Winter Grading Moratorium and the Community Development Director grants the exception. Exceptions will only be granted if dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other determining factors).
26. **Mitigation Measure 10:** An Erosion Control and Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit "hard card" and a building permit to ensure that the approved erosion control and tree protection measures are installed adequately prior to the start of ground-disturbing activities.

Department of Public Works

27. The applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and include it with the building permit submittal for review and approval by the Department of Public Works. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.
28. The applicant shall include with the building permit submittal for review and approval by the Department of Public Works a driveway "Plan and Profile" showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway

improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.

29. The applicant shall submit as part of the building permit submittal, for review and approval by the Department of Public Works, documentation of ingress/egress and Public Utility easements required for this project.
30. No proposed construction work within a County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
31. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.

#### San Mateo County Fire Department

32. Fire Department access shall be to within 150 ft. of all exterior portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or facility. Access shall be a minimum of 20 ft. wide, all weather capability, and able to support a fire apparatus weighing 75,000 lbs. Where a fire hydrant is located in the access, a minimum of 26 ft. is required for a minimum of 20 ft. on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Grades over 15% shall be paved and no grade shall be over 20%. When gravel roads are used, it shall be Class 2 base or equivalent compacted to 95%. Gravel road access shall be certified by an engineer as to the material thickness, compaction, all weather capability, and weight it will support.
33. All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in color to their background and shall be no less than 4 inches

in height, and have a minimum 1/2-inch stroke. Remote signage shall be a 6" x 18" green reflective metal sign.

34. Any chimney or woodstove outlet shall have installed onto the opening thereof an approved (galvanized) spark arrestor of a mesh with an opening no larger than 1/2 inch in size or an approved spark arresting device. Maintain around and adjacent to such buildings or structures a fuelbreak/firebreak made by removing and cleaning away flammable vegetation for a distance of not less than 30 ft. and up to 100 ft. around the perimeter of all structures or to the property line, if the property line is less than 30 ft. from any structure. This is not a requirement nor an authorization for the removal of live trees. Remove that flammable portion of any tree which extends within 10 feet of the outlet of any chimney or stovepipe, or within 5 feet of any portion of any building or structures. Remove that dead or dying portion of any tree which extends over the roof line of any structure.
35. A Wet Draft Hydrant with a 4 1/2" National Hose Thread outlet with a valve shall be mounted 30 to 36 inches above ground level and within 5 ft. of the main access road or driveway, and not less than 50 ft. from any portion of any building nor more than 150 ft. from the main residence or building.
36. All roof assemblies in Very High Fire Hazard Severity Zones shall have a minimum CLASS-A fire resistive rating and be installed in accordance with the manufacturer's specifications and the current California Building and Residential Codes.
37. Smoke alarms and carbon monoxide detectors shall be installed in accordance with the California Building and Residential Codes. This includes the requirement for hardwired, interconnected detectors equipped with battery backup, and placement in each sleeping room in addition to the corridors and on each level of the residence.
38. A statement that the building will be equipped and protected by automatic fire sprinklers must appear on the title page of the building plans.
39. An approved Automatic Fire Sprinkler System meeting the requirements of NFPA-13D shall be required to be installed for your project. Plans shall be submitted to the San Mateo County Building Department for review and approval by the authority having jurisdiction.
40. A Site Plan showing all required components of the water system is required to be submitted with the building plans to the San Mateo County Building Department for review and approval by the authority having jurisdiction for verification and approval.

Plans shall show the location, elevation and size of required water storage tanks, the associated piping layout from the tank(s) to the structures, the size of and type of pipe, the depth of cover for the pipe, technical data sheets for all pipe/joints/valves/valve indicators, thrust block calculations/joint restraint, the location of the standpipe/hydrant, and the location of any required pumps and their size and specifications.

41. This project is located in a wildland urban interface area. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors, and underfloor protection to meet CRC R327 or CBC Chapter 7A requirements.
42. Contact the Fire Marshal's Office to schedule a Final Inspection prior to occupancy and Final Inspection by a Building Inspector. Allow for a minimum of 72-hour notice to the Fire Department at 650/573-3846.

#### Geotechnical Section

43. For the final approval of the grading permit, the applicant shall ensure the performance of the following activities within thirty (30) days of the completion of grading at the project site:
  - a. The engineer shall submit written certification that all grading has been completed in conformance with the approved plans, conditions of approval, and the Grading Regulations, to the Department of Public Works and the Planning and Building Department's Geotechnical Engineer.
  - b. The geotechnical consultant shall observe and approve all applicable work during construction and sign Section II of the Geotechnical Consultant Approval form, for submittal to the Planning and Building Department's Geotechnical Engineer and Current Planning Section.

Please include the Geotechnical File Number, 16G-62, in all correspondence with the Geotechnical Section of the Planning and Building Department.

#### Environmental Health Division

44. At the building permit stage, the applicant will need to schedule a site exam with the septic system designer and septic contractor to verify hole locations from the percolation test completed October 20, 1998.

45. The applicant shall comply with all requirements of the Environmental Health Division's On-Site Wastewater Treatment System Ordinance and On-Site Systems Manual for the installation of the septic system.

This approval may be appealed by the applicants or any aggrieved party on or before **5:00 p.m. on July 10, 2017**, the tenth working day following this action by the Community Development Director. An appeal is made by completing and filing a Notice of Appeal, including a statement of grounds for the appeal, with the Planning and Building Department and paying the applicable appeal fee of \$616.35. Further information may be obtained by calling Summer Burlison, Project Planner, at 650/363-1815 or [sburlison@smcgov.org](mailto:sburlison@smcgov.org).

FOR STEVE MONOWITZ  
COMMUNITY DEVELOPMENT DIRECTOR, By:



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Michael Schaller, Senior Planner

MJS:SSB:jlh – SSBBB0339\_WJN.DOCX

cc: KPROX Civil Engineering  
Building Department  
Department of Public Works  
Geotechnical Section  
Environmental Health Division  
San Mateo County Fire Department  
Interested Party