

0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,257

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Legal: PLN 2018-00320

San Mateo County

Application for Design Review by the County Coastside Design Review Committee

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN 2018-00320

Other Permit #: _____

1. Basic Information

Applicant:

Name: GERALD SIU

Address: PO Box 413
MILLBRAE, CA Zip: 94030

Phone, W: 650 451 2663 H: _____

Email: geraldsiu@gmail.com

Owner (if different from Applicant):

Name: [Signature]

Address: _____
Zip: _____

Phone, W: _____ H: _____

Email: _____

Architect or Designer (if different from Applicant):

Name: DAVID HIRZEL

Address: P.O. Box 1808 PACIFICA CA Zip: 94044

Phone, W: 650 208 0440 H: _____

Email: dhbd@sbcglobal.net

2. Project Site Information

Project location:

APN: 047-137-100

Address: 247 SAN JUAN AVE

EL GRANADA CA Zip: 94018

Zoning: R1/S17/DR

Parcel/lot size: ± 5533 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe)

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3. Project Description

Project:

- New Single Family Residence: ± 2466 sq. ft
- Addition to Residence: _____ sq. ft
- Other: _____

Describe Project:

2-Story with ATTACHED 2-CAR GARAGE, ON DOWNWARD-SLOPING LOT

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
	HARDIE V-GROOVE VERT		N/A
	HARDIE ARTISAN WAP HORIZ	BLUE GREY	<input checked="" type="checkbox"/>
a. Exterior walls	HARDIE REVEAL PANELS	LIGHT GREY	<input checked="" type="checkbox"/>
b. Trim	HARDIE TRIM BEARD <		<input type="checkbox"/>
c. Windows	DG VIN (ULTRAX)	WHITE BLACK	<input type="checkbox"/>
d. Doors	CLAD ONE-LITE		<input type="checkbox"/>
e. Roof	STANDING SEAM METAL	DARK BRONZE	<input type="checkbox"/>
f. Chimneys	NA	NA	<input type="checkbox"/>
g. Decks & railings	WOOD	NATURAL	<input type="checkbox"/>
h. Stairs	NA	NA	<input type="checkbox"/>
i. Retaining walls	CONC	CONC	<input type="checkbox"/>
j. Fences	NA	NA	<input type="checkbox"/>
k. Accessory buildings	NA	NA	<input type="checkbox"/>
l. Garage/Carport			<input type="checkbox"/>

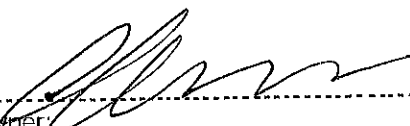
5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner:  Applicant: _____

Date: 08/16/2018 Date: _____

Environmental Information Disclosure Form

PLN 2018-10320
 BLD _____

Project Address: 247 SAN JUAN
EL GRANADA CA 94018

Name of Owner: GERALD SIU
 Address: _____
 Phone: _____

Assessor's Parcel No.: 047-137-100

Name of Applicant: SAME
 Address: _____
 Phone: _____

Zoning District: R1/S17/DR

Existing Site Conditions

Parcel size: ≈ 5533

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). EXISTING SLOPING LOT TO EAST AND NORTH
> 50' FROM DEER CREEK RIPARIAN S.B.

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>305</u> c.y. Fill: <u>7</u> c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

SEE GRADING PLAN

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2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
		a. Construction outside of the footprint of an existing, legal structure?
		b. Exterior construction within 100-feet of a stream?
		c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
		d. Land-use within a riparian area?
		e. Timber harvesting, mining, grazing or grading?
		f. Any work inside of a stream, riparian corridor, or shoreline?
		g. Release or capture of fish or commerce dealing with fish?
<i>Please explain any "Yes" answers:</i>		

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
		<p>a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u></p> <p>If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.</p>
		<p>b. <u>Land disturbance of 1 acre or more of area?</u></p> <p>If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.</p>

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: _____

Date: _____

(Applicant may sign)

Application for a Coastal Development Permit

Companion Page

Applicant's Name: CERVALD SIU

Primary Permit #: PLN2018-00320

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Certificate of Exemption or Exclusion from Requirement for Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes No

If yes, list Assessor's Parcel Number(s):

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes No

If yes, explain (include date and application file numbers).

A CDP WAS APPLIED FOR BY
A FORMER OWNER IN 1999,
BUT NEVER USED

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3. Materials and Finish of Proposed Buildings or Structures

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Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:

	Material	Color/Finish	Check if matches existing
a. Exterior Walls	<u>HARDIE MATERIAL V GROOVE VERT</u> <u>HARDIE MASONRY LAP HORIZ</u> <u>HARDIE REVERSE PANELS</u>	<u>BLUE GRAY</u> <u>LIGHT GRAY</u>	<input type="checkbox"/>
b. Trim	<u>HARDIE TRIM BOARD</u>	<u>BLACK</u>	<input type="checkbox"/>
c. Roof	<u>STANDING SEAM METAL</u>	<u>DARK BRONZE</u>	<input type="checkbox"/>
d. Chimneys	<u>NA</u>	<u>NA</u>	<input type="checkbox"/>
e. Accessory Buildings	<u>NA</u>	<u>NA</u>	<input type="checkbox"/>
f. Decks/Stairs	<u>WOOD</u>	<u>NATURAL</u>	<input type="checkbox"/>
g. Retaining Walls	<u>CONC</u>	<u>CONC</u>	<input type="checkbox"/>
h. Fences	<u>NA</u>	<u>NA</u>	<input type="checkbox"/>
i. Storage Tanks	<u>NA</u>	<u>NA</u>	<input type="checkbox"/>

N/A

4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|--|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units?
(If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds?
<i>SEE RIPARIAN S.B.</i> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| j. Grading or alteration of landforms?
<i>SEE GRADING PLAN</i> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| k. Landscaping?
<i>SEE LANDSCAPE PLAN</i> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | | | |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

SEE BIOTIC REPORT AND STREAM S.B. SURVEY

GRADING AS REQ FOR CONST. AND DRIVE APPROACH.

SEE GRADING PLAN

LANDSCAPING RELATIVE TO (N) SPD CONST. ON

UNDEVELOPED LOT

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
 Yes No
- Construction or grading within 100 feet of a stream or wetland?
 Yes No
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
 Yes No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).
 Yes No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: _____

Application for a Variance

Companion Page

455 County Center, 2nd Floor Redwood City, CA 94063
Mail Drop PLN 122 Phone: 415-363-4161 Fax: 415-363-4849

Applicant's Name: Geand Siu

Primary Permit#: PLN 2018-00320

Please fill out the general Planning Permit Application Form and this form when applying for a Variance. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form and a site plan and constraints map.

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Specific zoning requirements for which a variance is sought:
(Example: 10 ft. side setbacks)

10' Street Side Yard S.B.

Zoning ordinance section numbers:

What you propose instead:

San Mateo County
Planning Division

GIVEN ODD-SHAPE TAPERING SLOPING LOT, MOST DESIRABLE LOCATION FOR REQUIRED 2-CAR GARAGE IS AT UPPER END OF (E) UNDEVELOPED R/W OF SAN JUAN AVE.

VARIANCE TO PERMIT A ^{TRIANGULAR} PORTION OF PROPOSED ATTACHED GARAGE (188 SF ±) TO INTRUDE INTO S.B.

GIVEN TAPER OF LOT, A ^{20'} FRONT S.B. ON THIS FRONTAGE WILL NOT WORK. IF IT DID, THEN THE R1/S1/DR ZONING WOULD ALLOW A 0' LOT LINE ON THIS STREET FRONTAGE

To approve this application, the County must determine that this project complies with all applicable regulations including the following specifically required findings. Please attach a brief statement in which you present evidence to support the required findings.

a. The parcel's location, size, shape, topography and/or other physical conditions vary substantially from those of other parcels in the same zoning district or vicinity.

b. Without the variance, the landowner would be denied the rights and privileges that are enjoyed by other landowners in the same zoning district or vicinity.

c. The variance does not grant the landowner a special privilege which is inconsistent with the restrictions placed on other parcels in the same zoning district or vicinity.

d. The variance authorizes only uses or activities which are permitted by the zoning district.

e. The variance is consistent with the objectives of the General Plan, the Local Coastal Program (LCP) and the Zoning Regulations.

EXTERIOR FINISHES

PLN2018-00320

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MAY 01 2019

San Mateo County
Planning Division

PROJECT: G. SIU & M. YAQUIAN 247 SAN JUAN, EL GRANADA CA, 94018	CONTACT: GERALD SIU 415-420-4901 LOT 1 / APN: 047-137-100	NOTES: DATE: (DD.MM.YYYY) 13.08.2018	TYPE:	QTY:	1
--	---	--	-------	------	---

EXTERIOR LIGHTING

UMV-30012

Marvik 2 Surface Downlight

7144 NE Progress Ct | Hillsboro, Oregon 97124 | www.ligmanlightingusa.com



Construction

Aluminum
Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre_paint
8 step decrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression
Standard 10kv surge suppressor provided with all fixtures.

BUG Rating
B2 - U0 - G0

Finishing
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware
Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED
Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life
L80 / B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Cylindrical, single or double-sided wall family. Compact and decorative appearance belies powerful outputs and technical optics for perfect task illumination

A stunning new waterproof & dust proof wall cylinder range, designed with no visible fasteners, a one-piece body and integrated driver housing. This smart mechanical modern designed luminaire with cylindrical body provides a stylish solution to wall mounted cylinders.

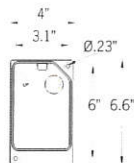
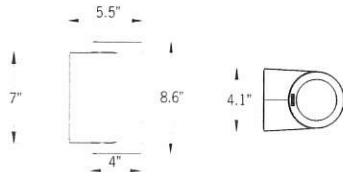
This innovative design houses a variety of COB wattages to suit designer's specific requirements as well as a selection of field interchangeable reflector optics, that include narrow, medium, wide and very wide distributions. This series is available in 3 different diameters, namely 3", 4" & 6" to suit lighting design requirements.

These luminaires are suitable for various facade lighting requirements along with accent lighting, building columns and architectural highlighting etc. The Marvik 1 protrudes 4" from the wall, making this product suitable for ADA applications.

This luminaire range can be provided with a bayonet lock baffle to reduce glare, as well as a frosted lens option. The SCE surface conduit entry box option can be provided as an option for an attractive solution to surface conduit entry.

Ligman can also provide custom made boxes to fit on a round surface like a column, pillar or pole.

Length 5.5" | Height 8.6" | Weight 5.7 lbs
IP65 • Suitable For Wet Locations
IK08 • Impact Resistant (Vandal Resistant)



Mounting Detail

Marvik Product Family

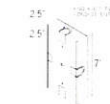


UMV-30001



UMV-30021

Additional Options (Consult Factory For Pricing)



SCE Surface Conduit Entry



RPA Round Pole Adapter



B Baffle



Ligman Lighting USA reserves the right to change specifications without prior notice please contact factory for latest information. Due to the continual improvements in LED technology, data and components may change without notice.

PROJECT:
G. SIU & M. YAQUIAN
247 SAN JUAN, EL GRANADA
CA, 94018

CONTACT:
GERALD SIU 415-420-4901

LOT 1 / APN: 047-137-100

NOTES: DARK SKY & TITLE 24 COMPLIANT

DATE: (DD.MM.YYYY)
01.04.2019

TYPE: A1

QTY: 6

UMV-30012
Marvik 2 Surface Downlight

7144 NE Progress Ct | Hillsboro, Oregon 97124 | www.ligmanlightingusa.com
T: 503.645.0500 | F: 503.645.8100



PROJECT	247 San Juan, El Granada, CA			DATE	04/01/2019
QUANTITY	6	TYPE	A1	NOTE	

ORDERING EXAMPLE || UMV - 30012 - 27w - M - W30 - 02 - 120/277v - Options

27W	W	W40	01	120/277v
LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
27w COB 2371 Lumens	N - Narrow 20° M - Medium 35° W - Wide 52°	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

ADDITIONAL OPTIONS		

- NAT - Natatorium Rated
- 4MP - 4" Mounting Plate
- DIM - 0-10v Dimming
- SCE - Surface Conduit Entry Box
- RPA - Round Pole Adapter
- B - Baffle
- AMB - Turtle Friendly Amber LED

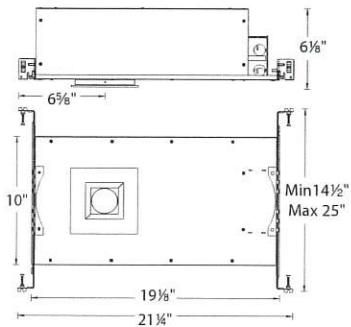
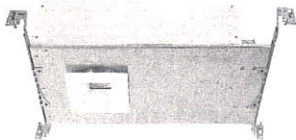
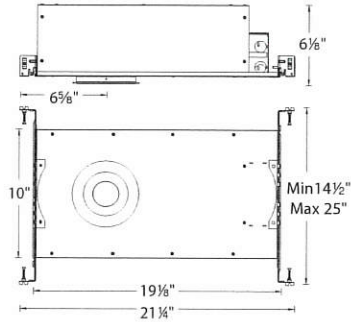
Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.



PROJECT: G. SIU & M. YAQUIAN 247 SAN JUAN, EL GRANADA CA, 94018	CONTACT: GERALD SIU 415-420-4901	NOTES: DARK SKY & TITLE 24 COMPLIANT	4
LOT 1 / APN: 047-137-100	DATE: (DD.MM.YYYY) 01.04.2019	TYPE: A1 QTY: 6	

SUMMIT 2.0 3.5" AC-LED HR3S-IC
120V - IC-Rated, Airtight

WAC LIGHTING
Responsible Lighting®



Fixture Type:

Catalog Number:

Project:

Location:

SPECIFICATIONS

Comparable: 50W MR16

Input: 120VAC 50/60HZ

Rated Life: Reported Life > 36,000 hrs*
Calculated Life = 50,000 hrs*
**Based on IES Tm21 Report*

Construction: Die-cast trim Painted White.
Frame and hanger bars are heavy gauge galvanized steel.

J-Box: Seven knockouts. Rated for through branch wiring.
Wire connectors provides for ease of installation.

Driver: Uses AC-LED, no driver needed

Mounting: Supplied with hanger bars, adjustable from 14 1/2"-25"
to accommodate various joist construction and grid sizes. Hanger
bars include a captive mounting "screw-nail" for ease of installation.
Accommodates surfaces from 1/2"-3/4" thick.
4 1/8" cutout hole.

Dimming: 100%-10% ELV Dimming

Compatible Dimmer: DVELV-300P, SELV-300P, RRD-6NA

Rating: IC-Rated

Standards: Energy Star®, ETL & cETL Listed for Wet Locations.

PRODUCT DESCRIPTION

3.5" AC-LED integral trim and housing

FEATURES

- Energy Star®
- Title 24 Compliant
- Wet Location Listed
- Frosted lens for glare control and optimal light distribution
- Includes housing and Trim
- Driver-free, 120V line voltage input
- Ceiling thickness: 1/2" - 3/4"

ORDER NUMBER

Model #	Power	Beam Angle	Color Temp	CRI	Lumen
HR35-ICR30F-WT <i>Round</i> <i>IC Rated, Airtight</i> <i>Wet Location Listed</i>	50 W	45°	3000K	90	800
HR35-ICS30F-WT <i>Square</i> <i>IC Rated, Airtight</i> <i>Wet Location Listed</i>	50 W	45°	3000K	90	800

PHOTOMETRY



HR35-IC_30F-WT

wacighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. DEC 2015

PROJECT:

G. SIU & M. YAQUIAN
247 SAN JUAN, EL GRANADA
CA, 94018

CONTACT:

GERALD SIU 415-420-4901

LOT 1 / APN: 047-137-100

NOTES:

DATE: (DD.MM.YYY)
01.04.2019

TYPE:

A2

QTY:

9

ROOF FINISH



DESIGN SPAN® hp

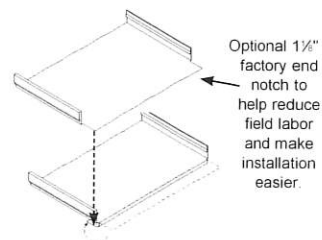
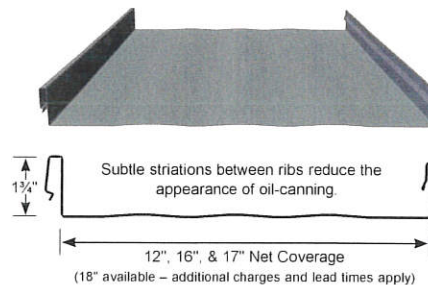


Design Span hp EXCELLENCE IN STANDING SEAM STEEL ROOFING

When you're looking for protection, beauty, and value in a roof, a distinctive standing seam panel offers the best solution. Design Span *hp* is a concealed fastener system which offers performance and beauty.

FEATURES AND BENEFITS

- Available in our Dura Tech™ 5000 and Dura Tech™ mx colors, which are Energy Star listed cool colors formulated to help reduce the demand for energy.
- Limited Lifetime Warranty for residential applications.
- Recommended minimum slope of 2:12. Inquire for slopes below 2:12.
- Factory notching available for turn under at the eave (some limitations apply). Notch provides a clean detail and reduction in labor.
- A snap-on panel requiring no field seaming, and comes standard with factory applied sealant in the female leg for reduced field labor and ease of installation.
- Tested for air infiltration per ASTM E1680, water infiltration per ASTM E1646, and wind uplift per ASTM E1592.
- Product is UL Class A Fire Rated when installed in accordance with UL requirements.
- Panel evaluated by accredited third party. All structural performance data is contained within an IBC/IRC 2015 code compliance report.



Factory notch allows panel to be field turned down with clean, uniform detail.



Customer Service Centers
 Salem, OR: 503-390-7174 or 800-272-7023 | Spokane, WA: 509-536-4097 or 800-776-8771

www.ascbp.com

PROJECT: G. SIU & M. YAQUIAN 247 SAN JUAN, EL GRANADA CA, 94018	CONTACT: GERALD SIU 415-420-4901	NOTES: FINISH - COOL DARK BRONZE		
	LOT 1 / APN: 047-137-100	DATE: (DD.MM.YYYY) 01.04.2019	TYPE: -	QTY: -

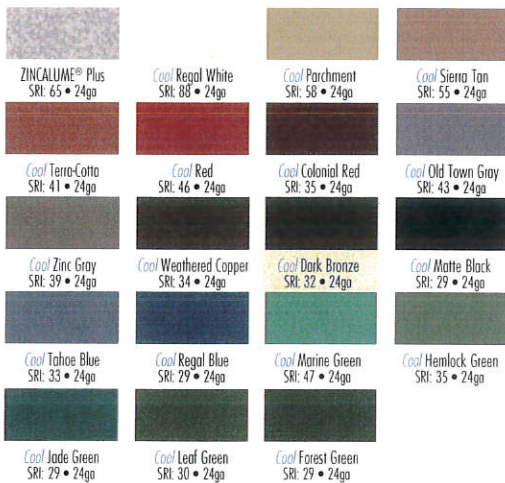
DESIGN SPAN® hp



Cool DURA TECH 5000

These Energy Saving Cool Colors keep the Heat Out and the Color Brilliant.

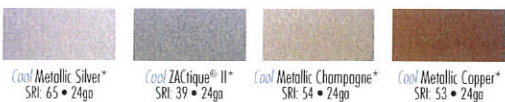
- Superior color retention and resistance to chalk and fade.
- Dura Tech 5000 energy saving COOL colors reduce the demand for energy.
- Premium paint system ideal for residential applications.



Oil Canning
All flat metal surfaces can display waviness commonly referred to as "oil canning." "Oil canning" is an inherent characteristic of steel products, not a defect, and therefore is not a cause for panel rejection.

Cool DURA TECH mx

Energy Savings in long lasting Cool Metallic Colors



Note:
Metallic colors are subject to a price upcharge. Metallic coatings are batch sensitive and directional in nature. Minor differences in both color and appearance are normal and to be expected with metallic coatings, as it is virtually impossible to match one metallic coating to another. Due to the coil application process, striations and longitudinal patterning may also show on these products. To minimize the possible visual effects of the normal minor differences in paint and its application, an entire job should be painted at one time. Additionally, fabricated panels, flat sheets, and flashings should be orientated in the same direction for installation.

REPRESENTATION OF COLORS MAY VARY DUE TO PRINTING LIMITATIONS.
Sample color chips are available upon request. Consult your ASC Building Products representative for more information.

SRI-Solar Reflective Index. SRI values in accordance with ASTM E 1980 and are based on independent testing. Cool Roof Rating Council (CRRC) performance values (for CA Title 24, Energy Star) are based on color families and will differ from those listed above. Please visit www.ascpspan.com for additional information.



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www.ascbp.com

PROJECT:
G. SIU & M. YAQUIAN
247 SAN JUAN, EL GRANADA
CA, 94018

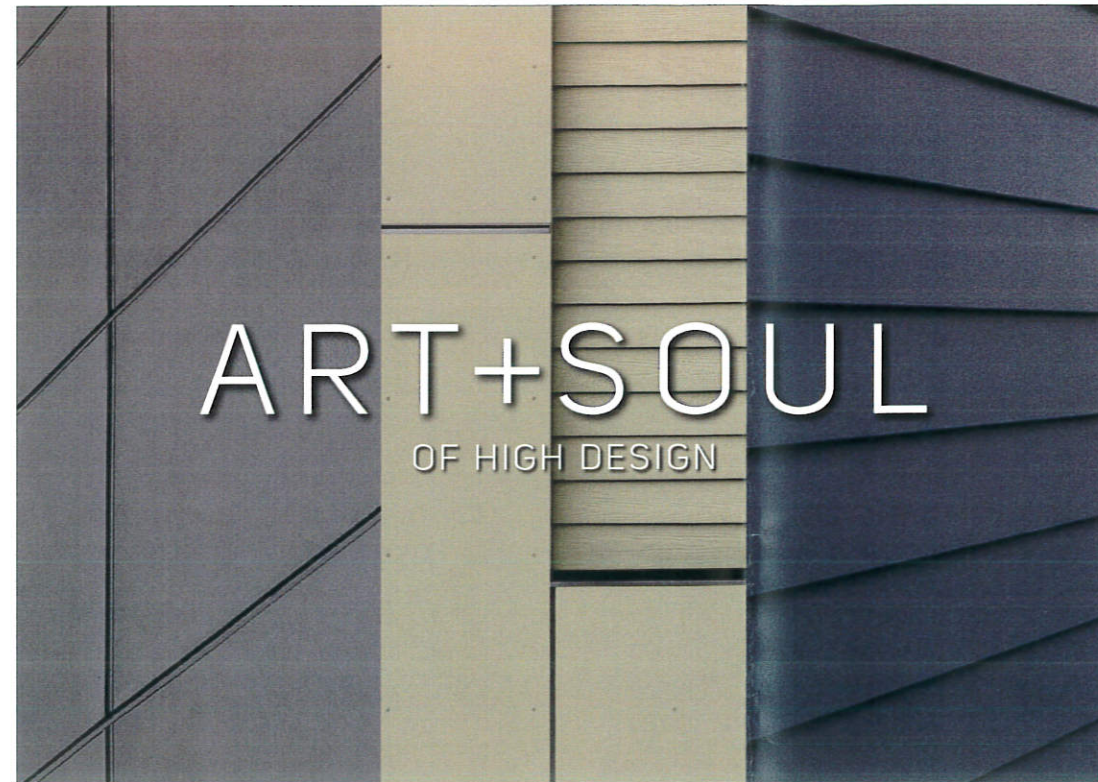
CONTACT:
GERALD SIU 415-420-4901
LOT 1 / APN: 047-137-100

NOTES:
FINISH - COOL DARK BRONZE
DATE: (DD.MM.YYYY)
01.04.2019
TYPE: -
QTY: -

EXTERIOR CLADDING / SIDING

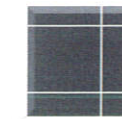


PROJECT: G. SIU & M. YAQUIAN 247 SAN JUAN, EL GRANADA CA, 94018	CONTACT: GERALD SIU 415-420-4901 LOT 1 / APN: 047-137-100	NOTES: DATE: (DD.MM.YYYY) 13.08.2018	TYPE:	QTY:
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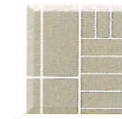


Introducing the Aspyre Collection from James Hardie™

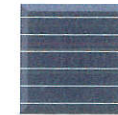
Fuse high performance with high design into any form imaginable. The Aspyre Collection brings together the Reveal® Panel System and Artisan® siding to inspire unique exterior solutions. Each product is distinctively thick and can be used individually or in combination with the other products for a new level of creative freedom across the entire architectural continuum.



Reveal panels create bold, engaging geometry influenced by industrial design.



Reveal panels mixed with Artisan siding effect the dramatic integration of contrasting elements.



Artisan siding evokes the aesthetic of authentic milled cedar profiles.



LUXURY

IN ALL ITS FORMS

The near limitless combinations afforded by the design-rich Aspyre Collection lead to an eclectic mix of solutions for crafting one-of-a-kind luxury properties across the continuum — from ultra-modern to traditional.

REVEAL
Panel System.

The Reveal Panel System offers a full range of compatible trim and fastener options and its 7/16-inch thick panels can be oriented horizontally or vertically. The 5/8-inch thick Artisan profiles cast deep, gorgeous shadow lines for strong horizontal or vertical definition.

artisan
Siding | Trim.



PROJECT: G. SIU & M. YAQUIAN 247 SAN JUAN, EL GRANADA CA, 94018	CONTACT: GERALD SIU 415-420-4901 LOT 1 / APN: 047-137-100	NOTES: DATE: (DD.MM.YYY) 13.08.2018	TYPE:	QTY:	10
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SHAPE

WHAT'S NEXT

Push the envelope of luxurious living. Style bold patterns with the Reveal Panel System to express traditional design values in new ways. Fashion geometric dimensions defined by sharp, chiseled channels or framed by raised, aluminum trim. Take forward-thinking design to the edge and shape what's next, now.



aspyredesign.com 7



Explore the unexpected

The Aspyre Collection invites you to infuse the modern home with strong industrial design influences. Juxtapose the deep channels created by the thick, fiber cement Reveal panel with its smooth surface. Leverage its precise angles to craft clean, high-performance homes that fit the contemporary aesthetic.



Reveal Surround Trim
The rose grid pattern catches available light from all directions and emphasizes height.



Reveal Recess Trim
Hidden trim creates a clean, streamlined look while accentuating the deep channels.

REVEAL
Panel System.

aspyredesign.com 9

PROJECT: G. SIU & M. YAQUIAN 247 SAN JUAN, EL GRANADA CA, 94018		CONTACT: GERALD SIU 415-420-4901		NOTES:	
LOT 1 / APN: 047-137-100		DATE: (DD.MM.YYYY) 13.08.2018	TYPE:	QTY:	11

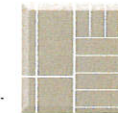


CONTRAST

DIMENSIONS

A lively composition helps make your homes stand out. Express your vision through a unique mix of distinctly different shapes, profiles and patterns, artfully creating the desired impact.

REVEAL
Panel System.



artisan
Siding | Trim.

Add depth to the smooth aesthetic of Reveal panel with Artisan siding's dramatic accent lines. Bring warmth to broad, flat panel facades with rich shadows cast by traditional plank profiles.



Creativity that touches all the senses

Build visual interest by mixing flat and ridged profiles. Merge the fixed geometry of Reveal panels into Artisan siding's ever-changing shadow lines. With trim and fastener options for its smooth-faced panel system, and an array of Artisan Lock Joint and lap profiles, the Aspyre Collection presents a refreshing range of highly defined patterns.

Reveal Panel
Offering creative freedom to break the pattern, it embodies the cutting edge of modern design.



Artisan Lap Siding
The industry's most rounded lap profile provides beauty and performance in flat cement siding.



PROJECT:

G. SIU & M. YAQUIAN
247 SAN JUAN, EL GRANADA
CA, 94018

CONTACT:

GERALD SIU 415-420-4901

LOT 1 / APN:047-137-100

NOTES:

DATE: (DD.MM.YYYY)
13.08.2018

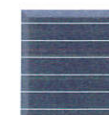
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RETHINK

THE CLASSICS



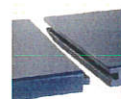
artisan
Siding | Trim.

Make your mark in traditional home design by capturing the beauty of wood siding while promising lower maintenance. Distinctively thick Artisan siding replicates six different historic profiles in high-performance fiber cement, specifically formulated to match luxurious looks with a more leisurely lifestyle.

aspyredesign.com 15

Anything is possible

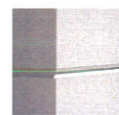
The proprietary engineering and 5/8-inch thickness of all six Artisan siding profiles provides a precise fit and finish as well as creative freedom. You can miter corners for attractive, streamlined styling. Add visual impact by orienting any of the Artisan Lock Joint profiles vertically. Or use these profiles as both siding and soffit to bring continuity to your overall design.



Artisan beaded beaded lap siding features a unique **tongue and groove joint** design that makes the seams less visible.



Most profiles feature the exclusive **Lock Joint System** which enables blind nailing for a clean look.



Mitered corners can be crafted on-site, adding sophistication to both contemporary and classic home designs.



PROJECT: G. SIU & M. YAQUIAN 247 SAN JUAN, EL GRANADA CA, 94018	CONTACT: GERALD SIU 415-420-4901 LOT 1 / APN: 047-137-100	NOTES: DATE: (DD.MM.YYYY) 13.08.2018	TYPE:	QTY:	13
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18 aspyredesign.com

COLOR

YOUR VISION

New construction today differs from the past because it's trending toward a bolder look, with more urban-contemporary influences. Advances in primers and factory-applied color finishes deliver the aesthetics, performance and exclusivity your luxury homes demand. The entire Aspyre Collection is available primed to give you the flexibility to punctuate your artistic statement with a broad spectrum of colors.

You can also choose ColorPlus™ Technology finishes for the Reveal Panel System and Artisan lap siding to make the first and lasting impression a resounding "wow." Create intriguing color combinations with 24 different options. Select from deep hues, earth tones and stylish shades of gray.

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PERFORMANCE

IS SERENITY

The ultimate amenity is low maintenance

The Aspyre Collection delivers unlimited design possibilities with the uncompromising performance you've come to expect from James Hardie® fiber cement products.

Enhance your reputation with stunning exterior design solutions, all Engineered for Climate™ to help your homes keep their distinguished looks with lower maintenance as compared to wood or wood-based siding.



Unique formulations resist the effects of humidity and moisture damage from mold and promote superior dimensional stability to resist shrinking, swelling and cracking.

This is perfect for your exterior from damage caused by years of blistering sun, ice storms, ice and wet conditions, hail, high winds and more.

Tougher than the elements, fiber cement won't be eaten by animals or insects, and is fire resistant.

© 2018 James Hardie. All rights reserved. James Hardie siding is a registered trademark of James Hardie Corporation. All other trademarks are the property of their respective owners. James Hardie siding is made in the USA. For more information, visit us at www.jameshardie.com. James Hardie siding is made in the USA. For more information, visit us at www.jameshardie.com.

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PROJECT:

G. SIU & M. YAQUIAN
247 SAN JUAN, EL GRANADA
CA, 94018

CONTACT:

GERALD SIU 415-420-4901

LOT 1 / APN: 047-137-100

NOTES:

DATE: (DD.MM.YYYY)
13.08.2018

TYPE:

QTY:

REVEAL Panel System

Elevate the art of modern design

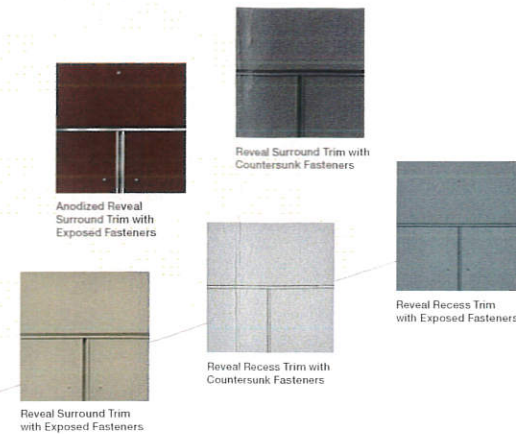
Reveal® Panels
 Thickness: 7/16 in.
 Size: Nominal 4 ft. x 8 ft.
 Available primed or with 24 ColorPlus Technology finishes

Reveal® Surround Trim
 Available primed or with clear anodized finish

Reveal® Recess Trim
 Available primed

Reveal® Countersunk Fasteners
 Compatible with primed panels
 Deliver a clean, streamlined look

Reveal® Exposed Fasteners
 Stainless steel
 Add a more pronounced industrial touch

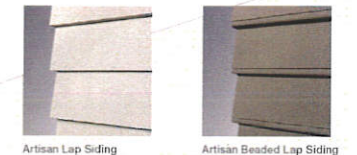


artisan Siding | Trim

Inspired by tradition, engineered for today

Artisan® Siding
 Thickness: 5/8 in. Length: 12 ft. Weight: 4.55 lbs./sq. ft.

	Width	Texture
Artisan® Lap Siding	5.25 in. (4 in. Exposure) 7.25 in. (6 in. Exposure) 8.25 in. (7 in. Exposure)	Smooth and Woodgrain
Artisan® Beaded Lap Siding	6.25 in. (7 in. Exposure)	Smooth
Artisan® V-Groove Siding	6.25 in. (7 in. Exposure)	Smooth
Artisan® Bevel Channel Siding	10.25 in. (9 in. Exposure)	Smooth
Artisan® Shiplap Siding	10.25 in. (9 in. Exposure)	Smooth
Artisan® Square Channel Siding	10.25 in. (9 in. Exposure)	Smooth



Capture the ART + SOUL of your vision

"Artisan products are really well suited for this project. I liked how since they were so thick, they could be mitered around corners."

Roger Watson
 Project Architect
 San Francisco, CA



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PROJECT: G. SIU & M. YAQUIAN 247 SAN JUAN, EL GRANADA CA, 94018	CONTACT: GERALD SIU 415-420-4901 LOT 1 / APN: 047-137-100	NOTES: DATE: (DD.MM.YYY) 13.08.2018	TYPE:	QTY:	15
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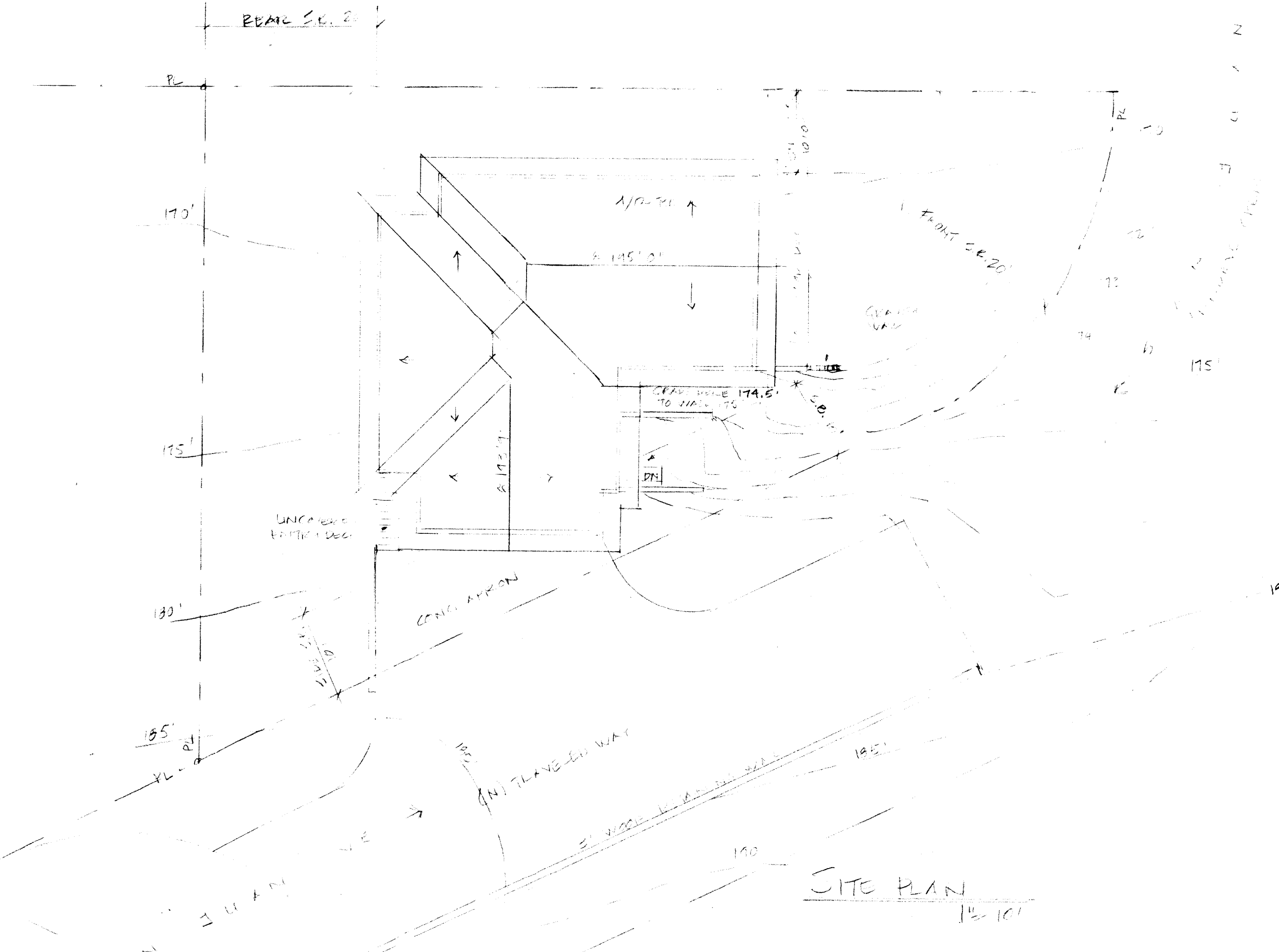
* NO TREES TO BE REMOVED
(NO TREES ON SITE)

* GRADE LINE
APPROXIMATE

REFERENCE
NORTH

TRUE
NORTH

VALLJO ST. (UNDEVELOPED R.W. 50')

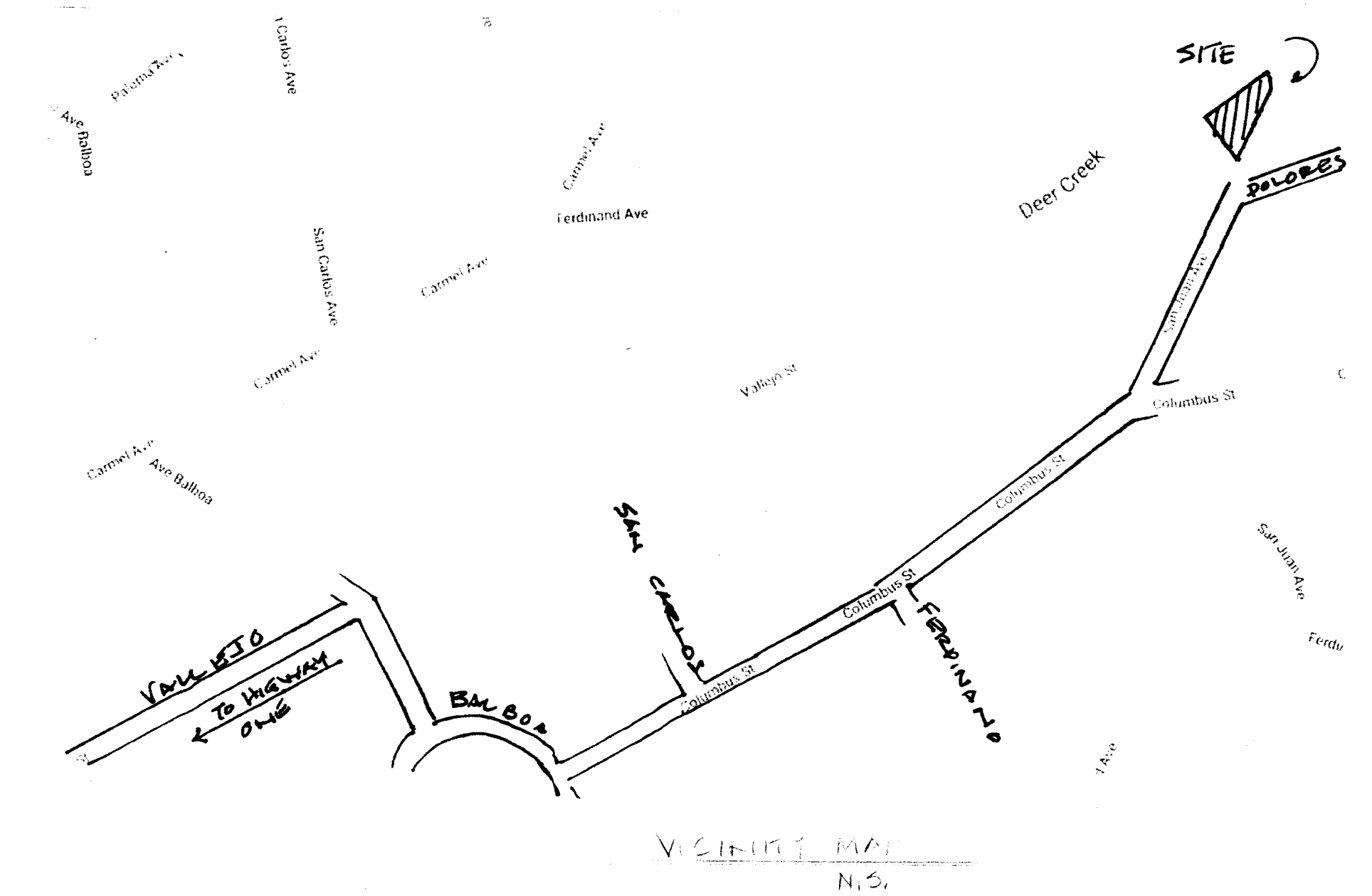


SITE PLAN
12-101

RECEIVED
MAY 01 2019
San Mateo County
Planning Division

PLN2018-00320

Site Data: 247 San Juan Ave. El Granada CA	
1st Story (Lower) Conditioned	1018
2nd Story (Upper) Conditioned	1043
Garage	450
Total Floor Area House	2511
Floor Area Ratio	0.45
Uncovered Entry Porch	53
Building Coverage (Second Story)	1493
Total Building Coverage	1546
Lot Area	5594
Percent Coverage	0.28
Impervious House (drip line roofs)	1927
Uncovered Entry Porch > 18" AFG	17
Total Impervious	1944



Index		
Sequence	Sheet	Contents
1	A0	Site Plan, Vicinity Map, Data, Index
2	A1.01	Upper Level Floor Plan
3	A1.02	Lower Level Floor Plan
4	A1.04	Reflected Ceiling Plan Lower
5	A1.05	Reflected Ceiling Plan Upper
6	A2.00	Elevations
7	A2.01	Building Sections
8	A2.02	Building Sections
9	A4.00	Window Schedule
10	C1	Survey and Topographical
11	C2	Drainage and Grading Plan, Fire Turnaround
12	C3	Drive and RW Profiles
13	C4	Erosion Control Plan
14	L1	Landscape Plan
15	C1s	Sewer Site Plan
16	C2s	Sewer Details

FIRE NOTES:

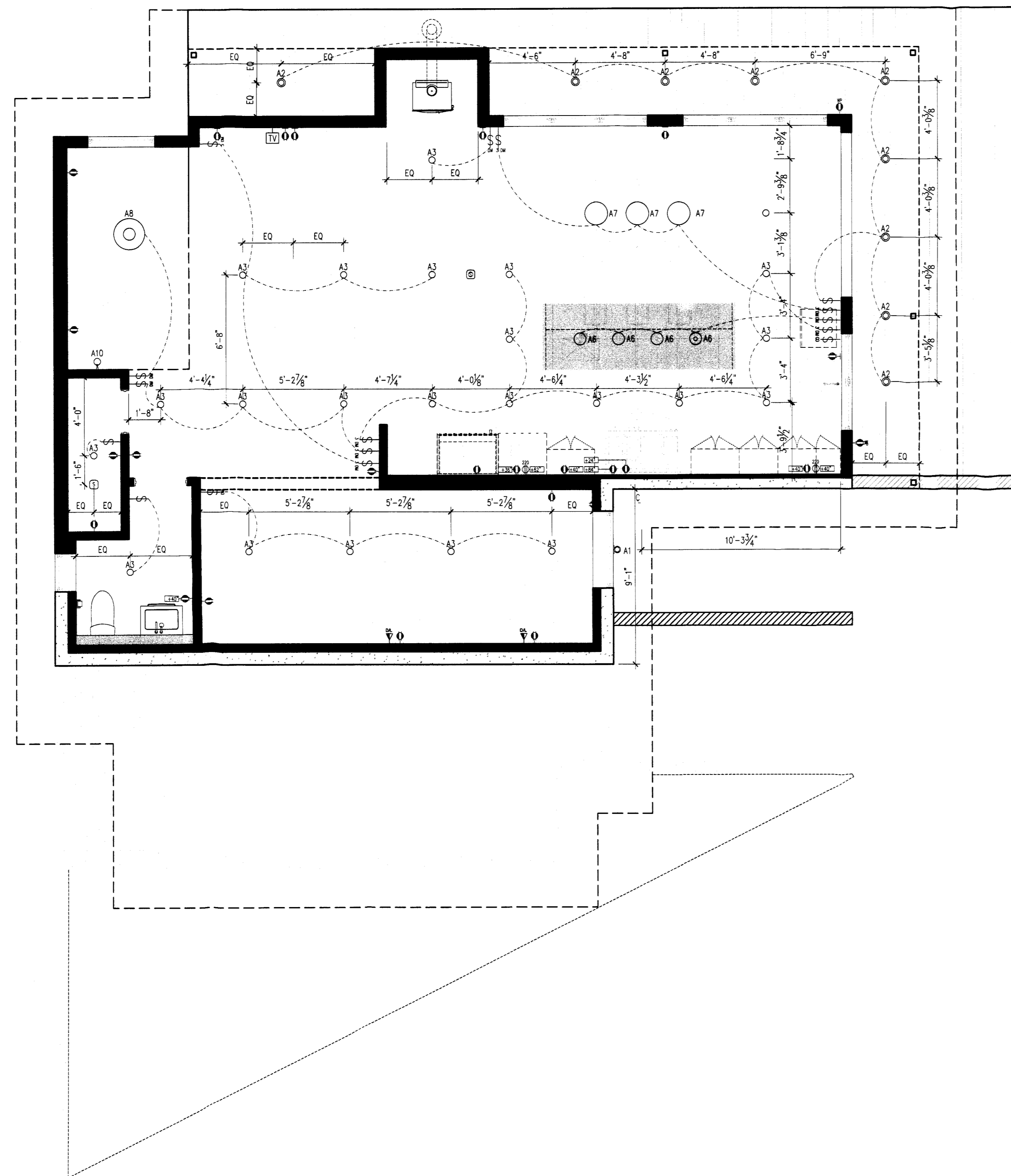
- Smoke Detectors which are hard wired:** As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2016-01, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are **hard wired, interconnected, and have battery backup**. These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final.
- Add note to plans** smoke alarm/detector are to be hardwired, interconnected, or with battery back-up. Smoke alarms to be installed per manufactures instruction and NFPA 72
- Add note:** Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor.
- Occupancy Separation:** As per the 2016 CBC, Section 406.1.4, a one-hour occupancy separation wall shall be installed with a solid core, 20-minute fire rated, self-closing door assembly w/ smoke gasket between the garage and the residence. All electrical boxes installed in rated walls shall be metal or protected.
- Add the following note to the plans:** New residential buildings shall have **internally illuminated** address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective Numbers/Letters similar to Hy-Ko 911 or equivalent.
- Roof Covering:** As per Coastside Fire District Ordinance 2016-01, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
- Vegetation Management:** The Coastside Fire District Ordinance 2016-01, the 2016 California Fire Code and Public Resources Code 4291.
 - A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. In SRA (State Responsible Area) the fuel break is 100 feet or to the property line.
 - Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 to 10 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
 - Remove that portion of any existing tree, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure.
 - SRA on other side of road
- Fire Access Roads:** The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The San Mateo County Department of Public Works, the Coastside Fire District Ordinance 2016-01, and the California Fire Code shall set road standards. As per the 2016 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Half Moon Bay Fire District specifications. As per the 2007 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20 foot road) and on-street parking is desired, an additional improved area shall be developed for that use.
- Fire Hydrant:** As per 2016 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2016 CFC, Appendix B the hydrant must produce a minimum fire flow of 1,000 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.
- Automatic Fire Sprinkler System:** As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2016-01, the applicant is required to install an automatic fire sprinkler system **throughout** the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. All areas that are accessible for storage purposes shall be equipped with fire sprinklers including closets and bathrooms. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division or The City of HMB. A building permit **will not** be issued until plans are received, reviewed and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire District for review. The fee schedule for automatic fire sprinkler systems shall be in accordance with Half Moon Bay Ordinance No. 2006-01. Fees shall be paid prior to plan review.
- Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open.
- Exterior bell and interior horn/strobe** are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.
- Add note to the title page that the building will be protected by an automatic fire sprinkler system.

REVISIONS	BY

DAVID HIRZEL BUILDING DESIGN
P. O. BOX 1808
PACIFICA, CA 94044
Office: (650) 757-6604 Cell: (650) 201-0440
David.HirzelDesign@gmail.com

Name of Owner: Martha Yacuan/Gerald Sui
Address of Owner: 247 San Juan Ave., El Granada CA
Telephone of Owner: 650-451-2663
Email: araldsui@mail.com, myacuan@wearepairs.com
Site: 247 San Juan Ave., El Granada CA
APN: 0471371090

Date: 1-4-19
Scale: As Shown
Drawn: [Signature]
Job: [Signature]
Sh: **A0.1**
Of: 16 Sheets



1 REFLECTED CEILING PLAN - GROUND LEVEL
A1-05

ELECTRICAL KEY

	LIGHT FIXTURE TYPE A1 SURFACE MOUNT EXTERIOR. DARK SKY COMPLIANCE. SEE CUT SHEETS
	LIGHT FIXTURE TYPE A2 RECESSED DOWN LIGHT EXTERIOR SEE CUT SHEETS
	LIGHT FIXTURE TYPE A3 RECESSED DOWN LIGHT INTERIOR SEE CUT SHEETS
	LIGHT FIXTURE TYPE A4 RECESSED DOWN LIGHT WET LOCATION INTERIOR SEE CUT SHEETS
	LIGHT FIXTURE TYPE A5 SURFACE MOUNT LINEAR LED INTERIOR SEE CUT SHEETS
	LIGHT FIXTURE TYPE A6 PENDANT LED SEE CUT SHEETS - KITCHEN
	LIGHT FIXTURE TYPE A7 PENDANT SEE CUT SHEETS - DINING RM.
	LIGHT FIXTURE TYPE A8 PENDANT SEE CUT SHEETS - STAIRCASE
	LIGHT FIXTURE A9 - UNDERMOUNT LINEAR LED LIGHT - BATH ROOMS (VARIOUS LENGTHS)
	LIGHT FIXTURE A10 - WALL MOUNTED SPOTLIGHT
	NEST SMOKE & CARBON MONOXIDE DETECTOR. SEE CUT SHEETS
	BATH EXHAUST FAN. SEE CUT SHEET
	DUPLEX RECEPTACLE 120V WITH USB.
	WATER PROOF DUPLEX RECEPTACLE 120V.
	SINGLE DIMMABLE LIGHT SWITCH.
	2 WAY DIMMABLE LIGHT SWITCH.
	2 WAY NON-DIMMABLE LIGHT SWITCH.
	3 WAY DIMMABLE LIGHT SWITCH.
	3 WAY NON-DIMMABLE LIGHT SWITCH.
	SINGLE NON-DIMMABLE LIGHT SWITCH.
	GARBAGE DISPOSAL SWITCH
	T.V. / COAXIAL CABLE
	ETHERNET CABLE
	AUTOMATIC GARAGE DOOR OUTLET

ELECTRICAL GENERAL NOTES/REQUIREMENTS

	SMOKE & CARBON MONOXIDE DETECTORS - TO BE HARD WIRED INTERCONNECTED WITH BATTERY BACK UP. DETECTORS ARE TO BE PLACED IN EACH BEDROOM AND A POINT CENTRALLY LOCATED IN CORRIDOR OR AREA GIVING ACCESS TO EACH FLOOR. TO BE INSTALLED PER MANUFACTURES INSTRUCTIONS AND NFPA 72
	1. WATER PROOF HEAD REQUIRED AT ALL EXTERIOR DUPLEX OUTLETS 2. WATER PROOF FIXTURE TRIM REQUIRED AT ALL BATHROOM SHOWER OR TUB OVERHEAD FIXTURE 3. WATER PROOF ENCLOSURE OR FIXTURE TRIM REQUIRED AT ALL EXTERIOR LIGHTING FIXTURE SHALL BE LISTED FOR WET LOCATION AS PER NEC ARTICLE 410.4

GERALD SIU
PO BOX 413
MILLBRAE, CA 94030
PH: 415-420-4901

REV-01	REVISION	DATE
#	DESCRIPTION	DATE

Not For Construction
ISSUED FOR PLANNING

GSIU MYAQUIAN
247 SAN JUAN AVE
EL GRANADA, CA
94018

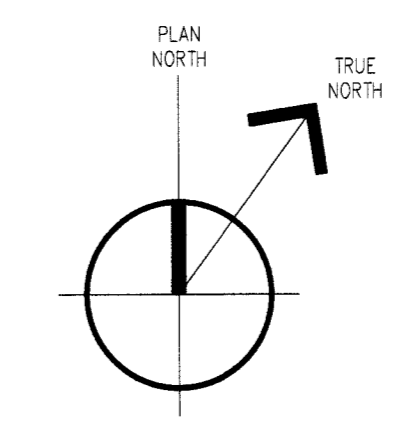
CONTACT
GERALD SIU
PROJECT NO
XX
DESIGN BY
GSIU
PROJECT PHASE
DD

SCALE
Note: If sheet is not 24" x 36" it is a reduced scale.
1/4" = 1'-0"
ISSUE DATE AND REVISIONS
2019.04.22

KEY PLAN

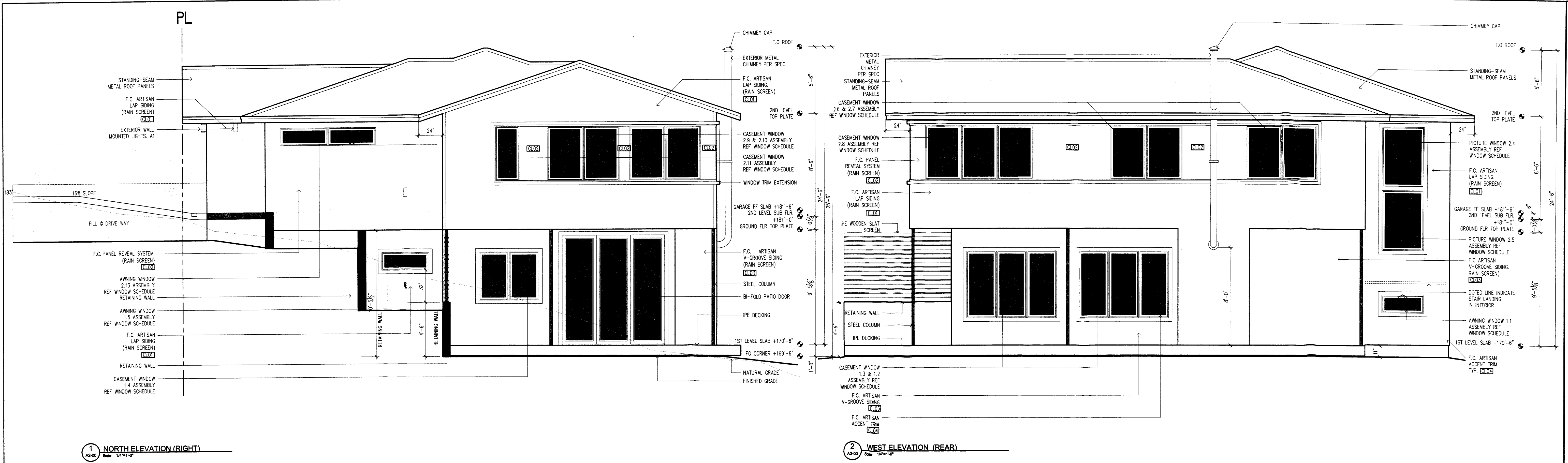
RCP
2ND FLOOR

A1.05



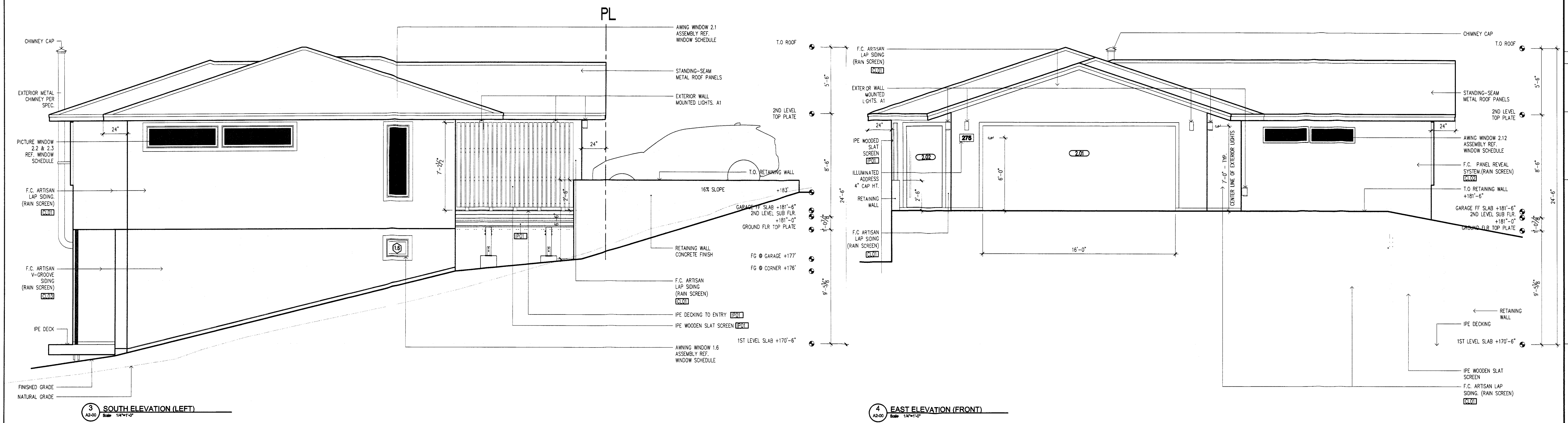
PLOTTED ON: 2019.04.22 10:58:57 AM
PLOTTER: HP DesignJet T1100e
PLOTTER MODEL: HP DesignJet T1100e

GERALD SIU
 PO BOX 413
 MILLBRAE, CA 94030
 PH: 415-420-4901



1 NORTH ELEVATION (RIGHT)
 Scale: 1/4"=1'-0"

2 WEST ELEVATION (REAR)
 Scale: 1/4"=1'-0"

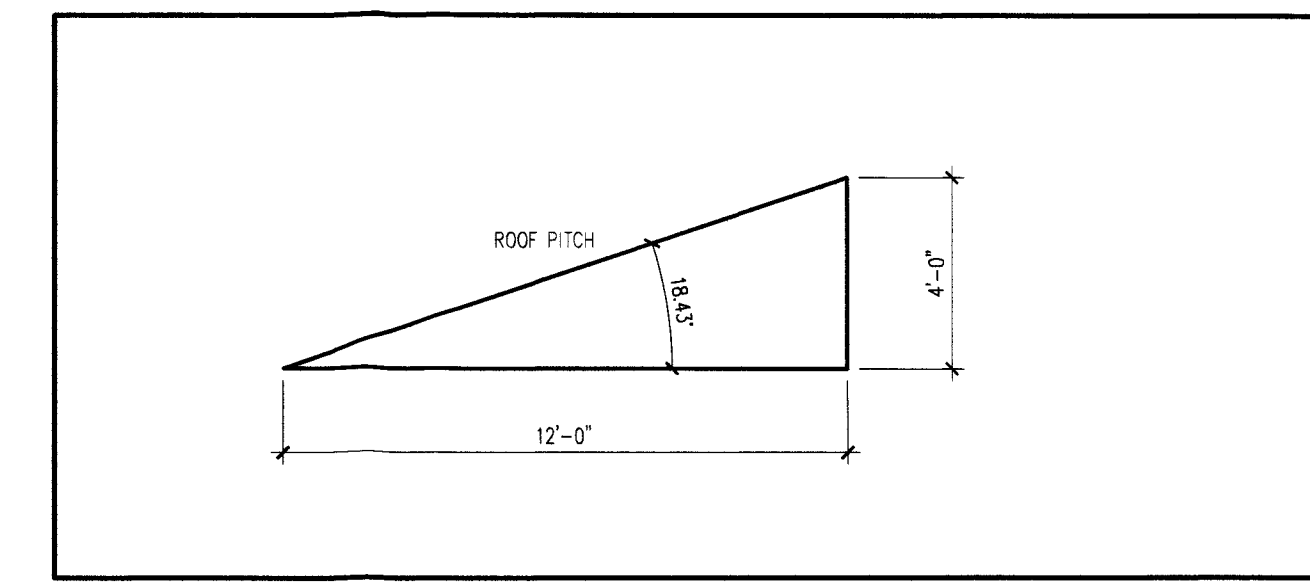


3 SOUTH ELEVATION (LEFT)
 Scale: 1/4"=1'-0"

4 EAST ELEVATION (FRONT)
 Scale: 1/4"=1'-0"

EXTERIOR FINISHES								
MARK	ITEM	MANUFACTURE	DESCRIPTION	SIZE - WIDTH	THICKNESS	FINISH COLOR	CONTACT	CONTACT
CL01	EXT. SIDING	JAMES HARDIE	ARTISAN LAP SIDING	8" (EXPOSURE 7")	3/8"	EVENING BLUE		
CL02	EXT. SIDING	JAMES HARDIE	REVEAL PANEL W/ RECESS TRIM & COUNTERSINK FASTENER	47 1/2" (MAX)	3/8"	LIGHT MIST		SEE ELEVATIONS FOR PANEL SIZES
CL03	EXT. SIDING	JAMES HARDIE	ARTISAN V-GROOVE SIDING	8" (EXPOSURE 7")	3/8"	EVENING BLUE		
CL04	EXT. TRIM	JAMES HARDIE	ARTISAN ACCENT TRIM	3 1/2"	1 1/2"	EVENING BLUE		
FS01	FASCIA PANEL							
DE01	DECKING / SCREEN		IPE DECKING	3 1/2"	3/4"	NATURAL		

GENERAL NOTES
 1. FACADE ARTICULATION APPROACH IS BEING USED



#	DESCRIPTION	DATE

Not For Construction
 ISSUED FOR PLANNING

GSIU MYAQUIAN
 247 SAN JUAN AVE
 EL GRANADA, CA
 94018

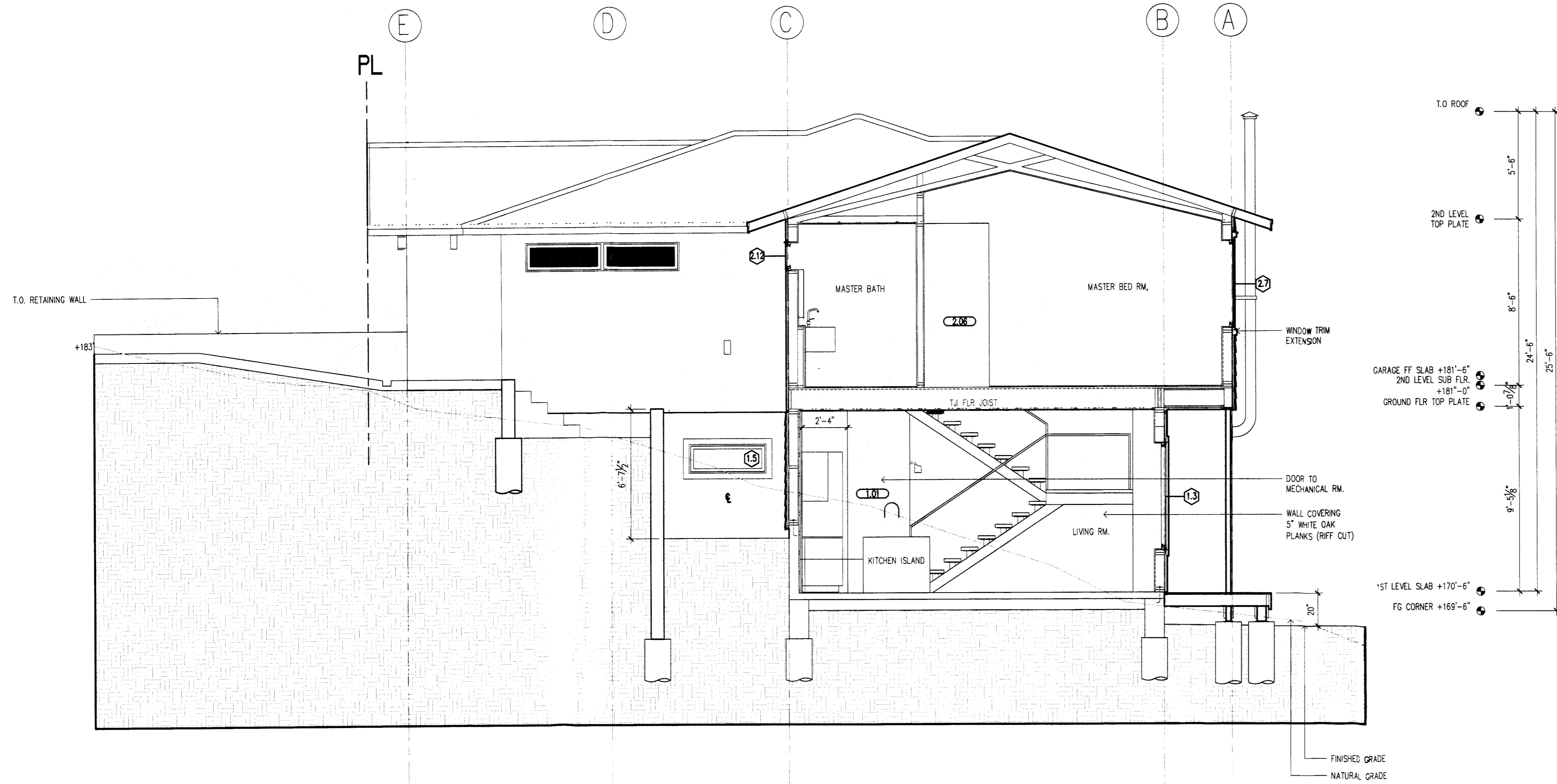
CONTACT
 GERALD SIU
 PROJECT NO
 XX
 DESIGN BY
 GSIU
 DRAWN BY
 GSIU
 PROJECT PHASE
 DD
 SCALE
 Note: If sheet is not 24 x 36", it is a reduced print.
 1/4" = 1'-0"
 ISSUE DATE AND REVISIONS
 2019.09.02

KEY PLAN

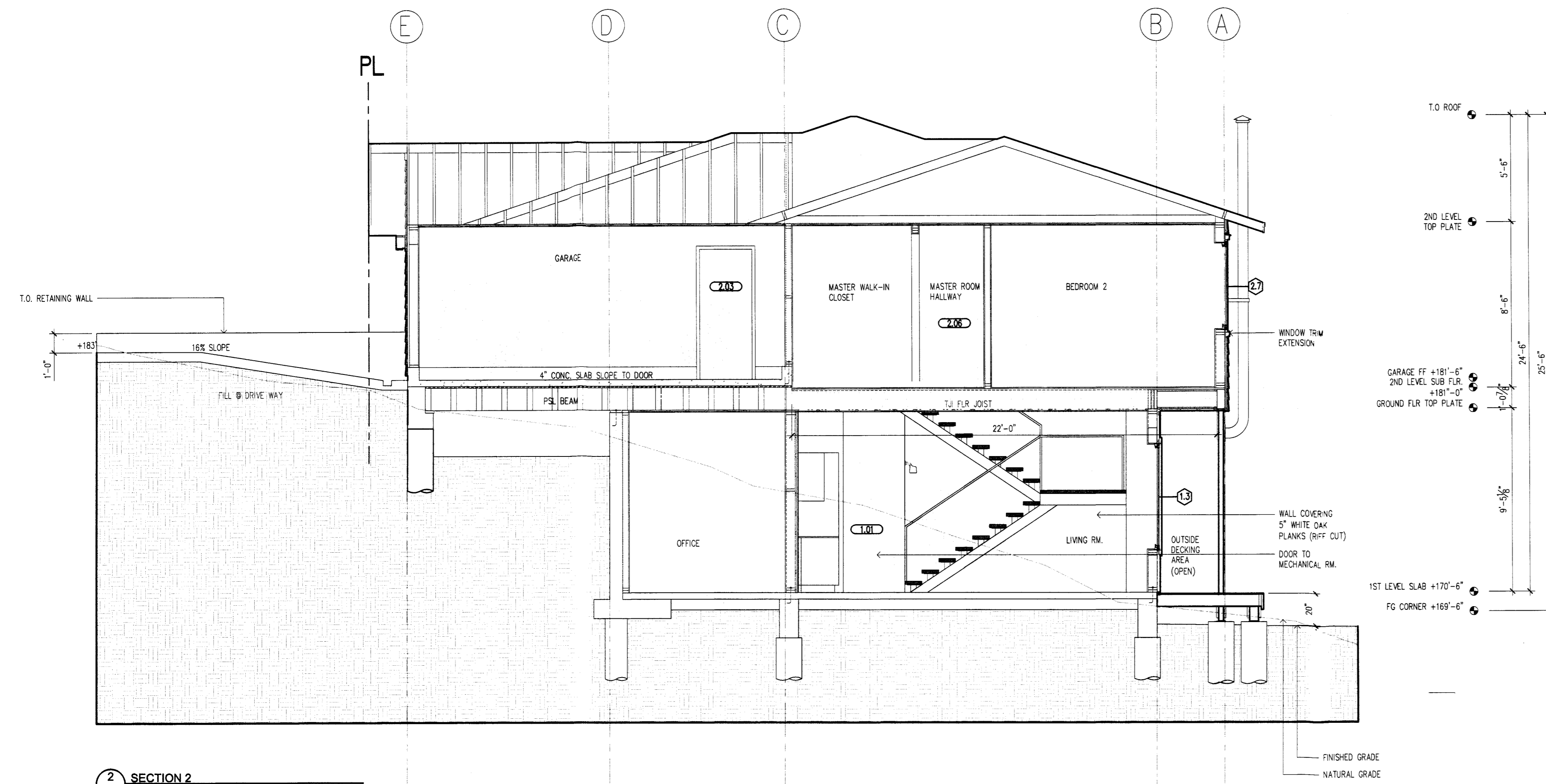
ELEVATIONS

A2.00

GERALD SIU
 PO BOX 413
 MILLBRAE, CA 94030
 PH: 415-420-4901



1 SECTION 1
 A2-01 Scale 1/4"=1'-0"



2 SECTION 2
 A2-01 Scale 1/4"=1'-0"

#	DESCRIPTION	DATE
REV-02	REVISED FOR PLANNING	2019.10.19
REV-01	REVISED FOR PLANNING	2019.04.22

Not For Construction
 ISSUED FOR PLANNING

GSIU MYAQUIAN
 247 SAN JUAN AVE
 EL GRANADA, CA
 94016

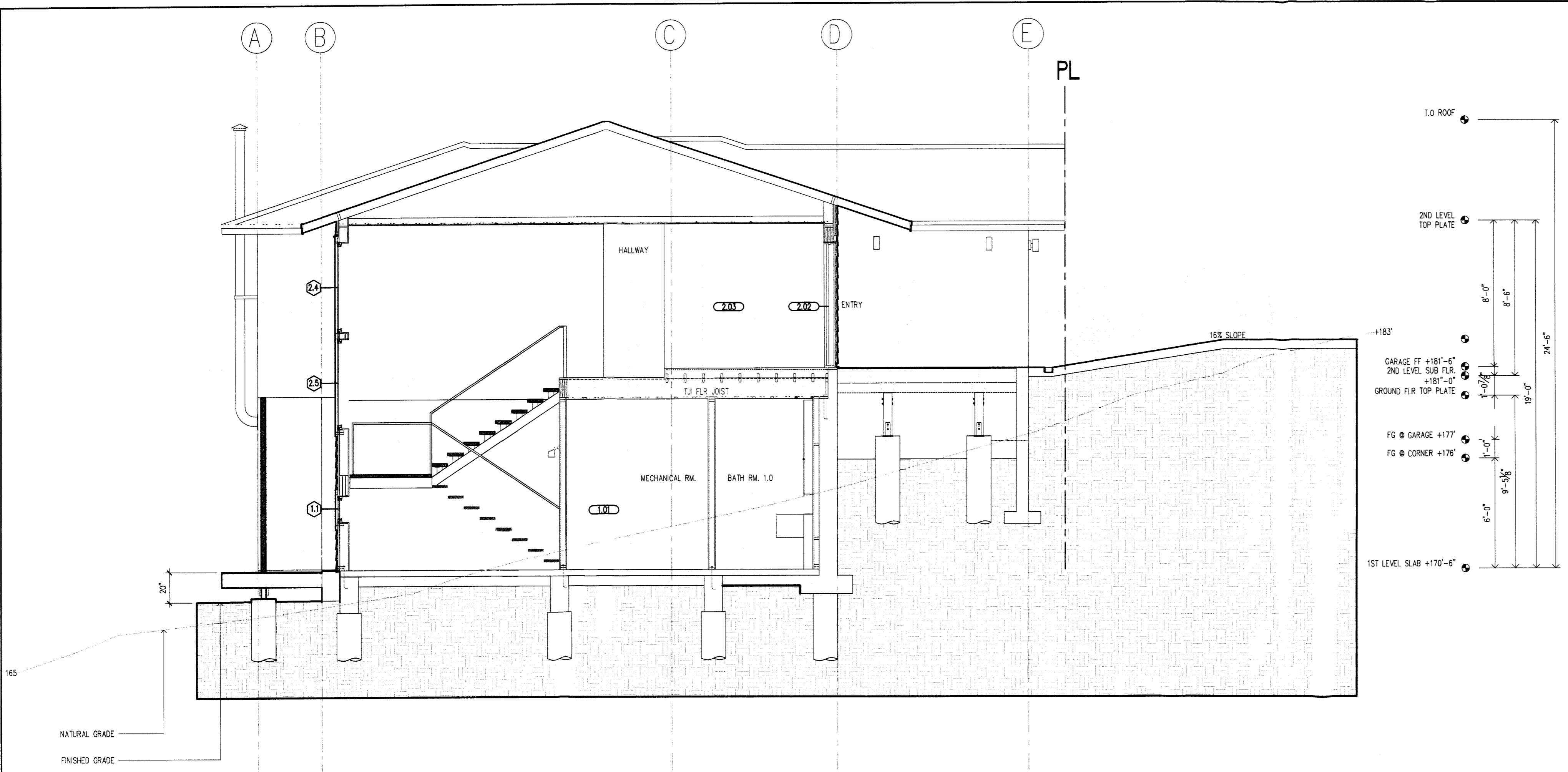
CONTACT
 GERALD SIU
 PROJECT NO
 XX
 DESIGN BY
 GSIU
 DRAWN BY
 GSIU
 PROJECT PHASE
 DD
 SCALE
 1/4" = 1'-0"
 ISSUE DATE AND REVISIONS
 2019.10.19

KEY PLAN

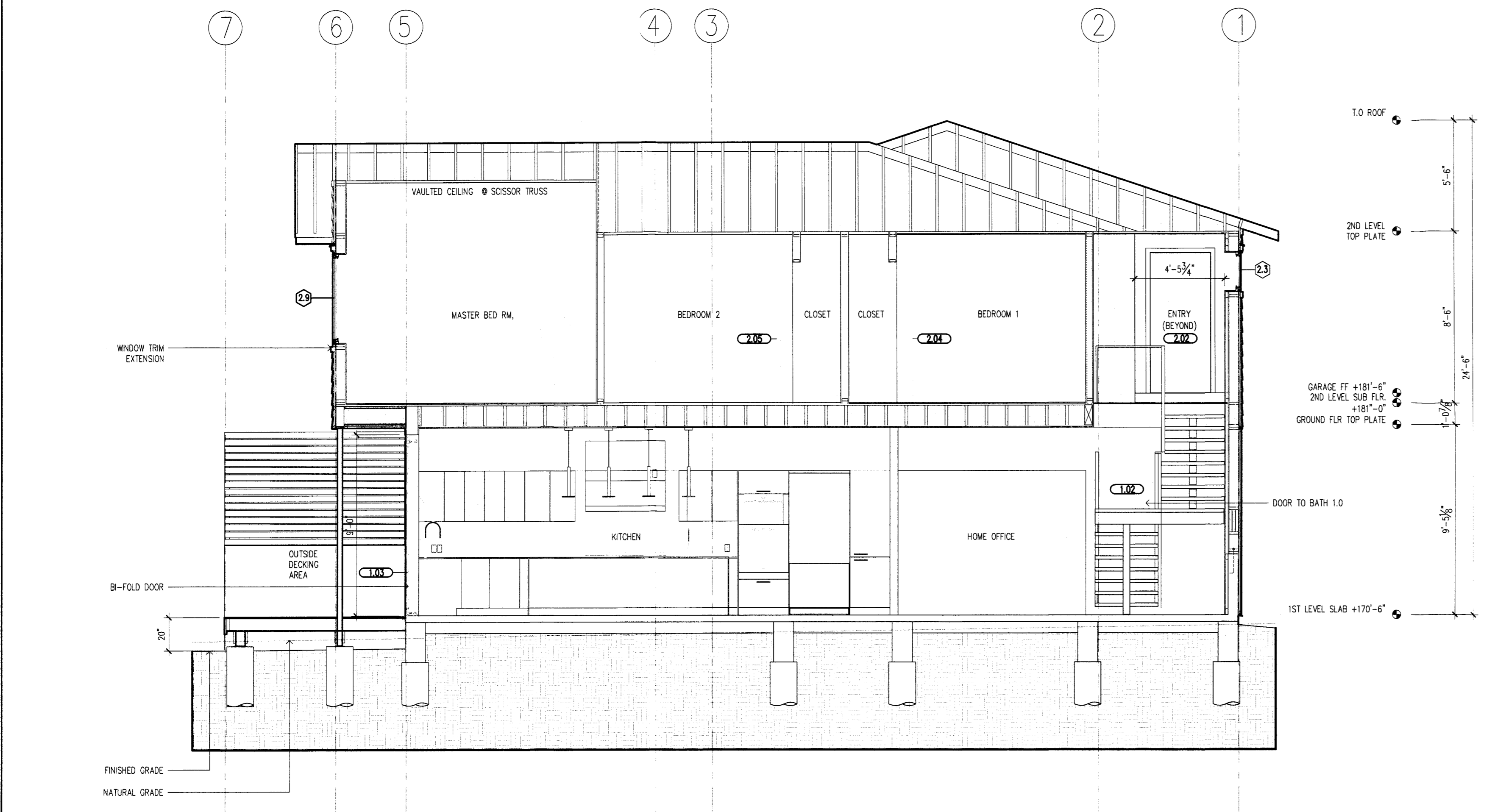
SECTIONS

A2.01

GERALD SIU
 PO BOX 413
 MILLBRAE, CA 94030
 PH: 415-420-4901



SECTION 3
 A2-02 Scale: 1/4"=1'-0"



SECTION 4
 A2-02 Scale: 1/4"=1'-0"

REV. NO.	DESCRIPTION	DATE
REV-02	REVISED FOR PLANNING	2019.10.19
REV-01	REVISED FOR PLANNING	2019.04.22
#	DESCRIPTION	DATE

Not For Construction
 ISSUED FOR PLANNING

CONTACT
GERALD SIU
 247 SAN JUAN AVE
 EL GRANADA, CA
 94018

CONTACT
GERALD SIU
 PROJECT NO
 XX
 DESIGN BY
GSIU
 DRAWN BY
GSIU
 PROJECT PHASE
 DD
 SCALE
 1/4" = 1'-0"
 ISSUE DATE AND REVISIONS
 2019.10.19

KEY PLAN

SECTIONS

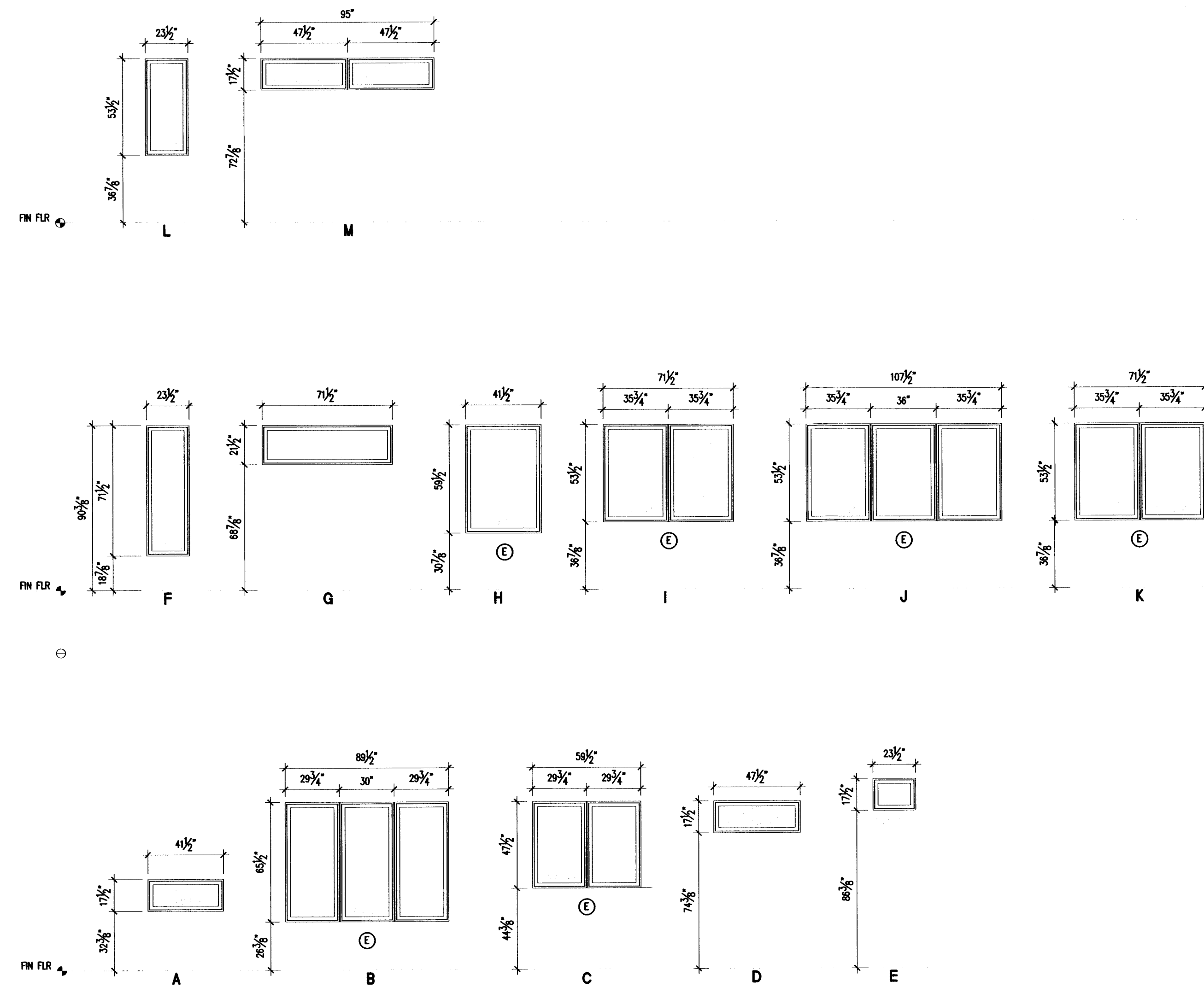
A2.02

P:\19\2019\10\19\A2-02.dwg, 2019.10.19, 10:00 AM, GSIU

WINDOW SCHEDULE

MARK	TYPE	SILL HT.	FRAME SIZE		ROUGH OPENING (W x H)	WINDOW TYPE	MANUFACTURER	CODE #	MATERIAL / FINISH INTERIOR & EXT	REMARKS
			WIDTH	HEIGHT						
FIRST LEVEL FLOOR										
1.1	A	2'-8"	41 1/2"	17 1/2"	3'-6" x 1'-6"	AWNING	INTEGRITY BY MARVIN	IFAIN0316	ALL ULTREX / EBONY	0
1.2	B	2'-2"	89 1/2"	65 1/2"	7' x 5'-6"	CASEMENT	INTEGRITY BY MARVIN	IFCA2656	ALL ULTREX / EBONY	0000
1.3	B	2'-2"	89 1/2"	65 1/2"	7' x 5'-6"	CASEMENT	INTEGRITY BY MARVIN	IFCA2656	ALL ULTREX / EBONY	0000
1.4	C	3'-8"	59 1/2"	47 1/2"	5' x 4'	CASEMENT	INTEGRITY BY MARVIN	IFCA2640	ALL ULTREX / EBONY	00
1.5	D	6'-2"	47 1/2"	17 1/2"	4' x 1'-6"	AWNING	INTEGRITY BY MARVIN	IFAIN0416	ALL ULTREX / EBONY	0
1.6	E	6'-2"	23 1/2"	17 1/2"	2' x 1'-6"	AWNING	INTEGRITY BY MARVIN	IFAIN0216	ALL ULTREX / EBONY	0
SECOND LEVEL FLOOR										
2.1	F	18 1/2"	23 1/2"	71 1/2"	2' x 6'	STATIONARY	INTEGRITY BY MARVIN	IFCA2060	ALL ULTREX / EBONY	X
2.2	G	68 1/2"	71 1/2"	21 1/2"	6' x 2'	STATIONARY	INTEGRITY BY MARVIN	IFSWP6020	ALL ULTREX / EBONY	X
2.3	G	68 1/2"	71 1/2"	21 1/2"	6' x 2'	STATIONARY	INTEGRITY BY MARVIN	IFSWT6020	ALL ULTREX / EBONY	X
2.4	H	30 1/2"	41 1/2"	59 1/2"	3'-6" x 5'	STATIONARY	INTEGRITY BY MARVIN	IFSWP3650	ALL ULTREX / EBONY	X
2.5	H	30 1/2" (TO LANDING)	41 1/2"	59 1/2"	3'-6" x 5'	STATIONARY	INTEGRITY BY MARVIN	IFSWP3650	ALL ULTREX / EBONY	X
2.6	I	36 1/2"	71 1/2"	53 1/2"	6' x 4'-6"	CASEMENT	INTEGRITY BY MARVIN	IFCA3046	ALL ULTREX / EBONY	XO RIGHT HAND OPENING LEFT HAND STATIONARY. WINDOW OPENING CONTROL DEVICE
2.7	I	36 1/2"	71 1/2"	53 1/2"	6' x 4'-6"	CASEMENT	INTEGRITY BY MARVIN	IFCA3046	ALL ULTREX / EBONY	XO RIGHT HAND OPENING LEFT HAND STATIONARY. WINDOW OPENING CONTROL DEVICE
2.8	J	36 1/2"	107 1/2"	53 1/2"	9' x 4'-6"	CASEMENT	INTEGRITY BY MARVIN	IFCA3046	ALL ULTREX / EBONY	OVD LEFT HAND OPENING LEFT HAND STATIONARY RIGHT HAND OPENING.
2.9	I	36 1/2"	71 1/2"	53 1/2"	6' x 4'-6"	CASEMENT	INTEGRITY BY MARVIN	IFCA3046	ALL ULTREX / EBONY	XO RIGHT HAND OPENING LEFT HAND STATIONARY.
2.10	K	36 1/2"	71 1/2"	53 1/2"	6' x 4'-6"	CASEMENT	INTEGRITY BY MARVIN	IFCA3046	ALL ULTREX / EBONY	OX RIGHT HAND STATIONARY LEFT HAND OPENING.
2.11	L	36 1/2"	23 1/2"	53 1/2"	2' x 4'-6"	STATIONARY	INTEGRITY BY MARVIN	IFCA2046	ALL ULTREX / EBONY	X
2.12	M	66 1/2"	95"	17 1/2"	8' x 1'-6"	AWNING	INTEGRITY BY MARVIN	IFAIN0416	ALL ULTREX / EBONY	00
2.13	M	66 1/2"	95"	17 1/2"	8' x 1'-6"	AWNING	INTEGRITY BY MARVIN	IFAIN0416	ALL ULTREX / EBONY	00

Ⓔ THESE UNITS MEET NATIONAL EGRESS CODES REQUIRING 5.7 SQ/FT CLEAR OPENING, 20" CLEAR WIDTH, AND 24" CLEAR HEIGHT, NOT EXCEED A FLOOR TO SILL HEIGHT OF 44"



1 WINDOW LEGEND
SCALE: 1/4"=1'-0"

GERALD SIU
PO BOX 413
MILLBRAE, CA 94030
PH: 415-420-4901

REV #	ISSUED FOR PLANNING	2019.02
#	DESCRIPTION	DATE

Not For Construction
ISSUED FOR PLANNING

CONTACT:
GERALD SIU
PROJECT NO:
XX
DESIGN BY: GSIU
DRAWN BY: GSIU
PROJECT PHASE:
DD
SCALE:
1/4" = 1'-0"
ISSUE DATE AND REVISIONS:
2019.04.22

KEY PLAN

PROJECT SCHEDULES

A4.00

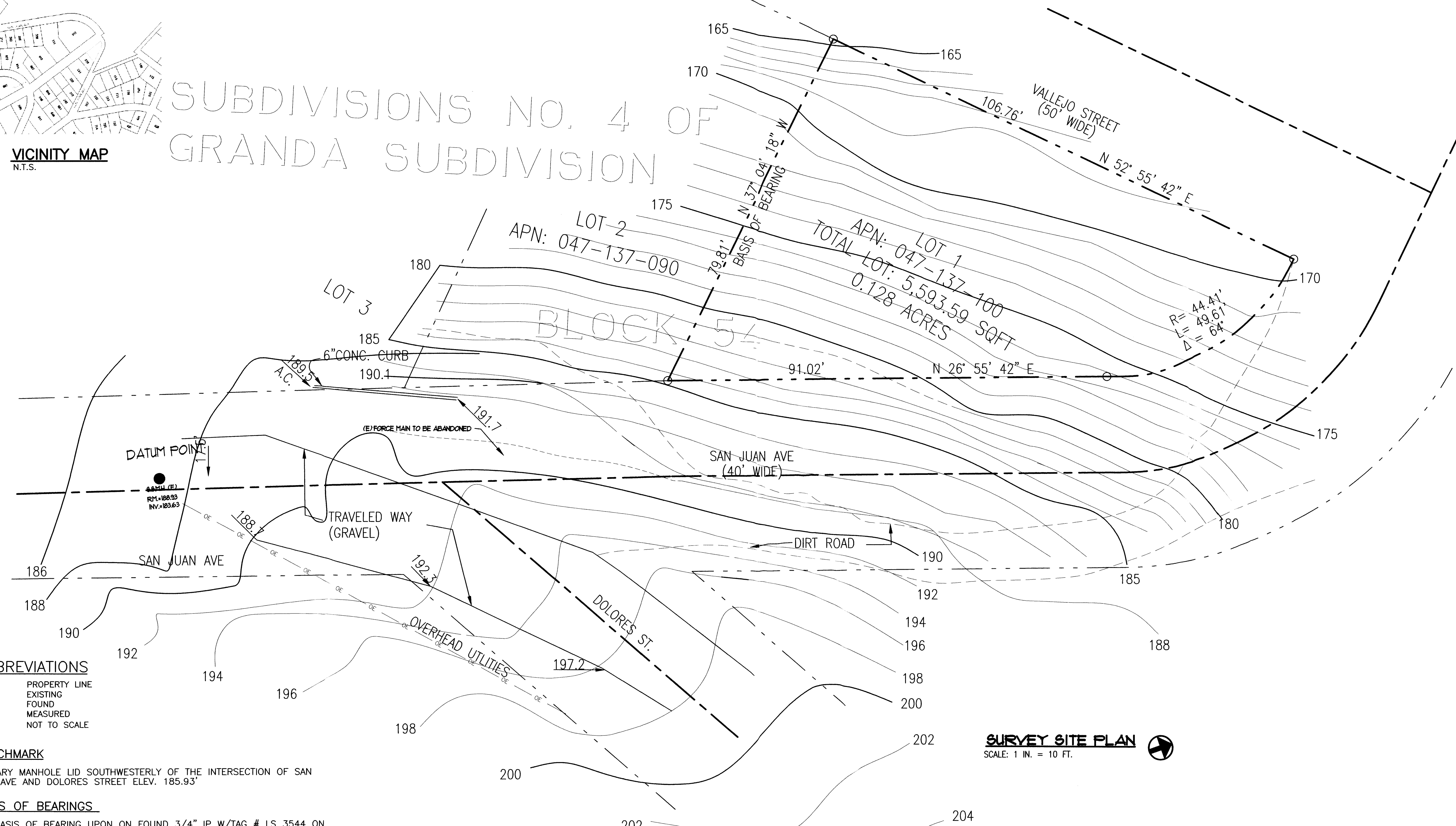
PLOTTED ON: Sunday, 20-Apr-2019 10:58am

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VICINITY MAP
N.T.S.

SUBDIVISIONS NO. 4 OF GRANDA SUBDIVISION



ABBREVIATIONS

P/L	PROPERTY LINE
EX.	EXISTING
FND.	FOUND
MEAS.	MEASURED
N.T.S.	NOT TO SCALE

BENCHMARK

SANITARY MANHOLE LID SOUTHWESTERLY OF THE INTERSECTION OF SAN JUAN AVE AND DOLORES STREET ELEV. 185.93'

BASIS OF BEARINGS

THE BASIS OF BEARING UPON ON FOUND 3/4" IP W/TAG # LS 3544 ON WESTERLY LINE OF LOT 1 WAS TAKEN N 37°04'18" W.

SPECIAL NOTES

- ALL DIMENSIONS FROM THE BOUNDARIES OF THE PROPERTY IN QUESTION TO MONUMENT LINES OF THE MONUMENT MAP REFERRED TO HEREON ARE GIVEN FOR THE SOLE PURPOSE OF ITS RETRACEMENT. SUCH INFORMATION SHALL NOT BE USED FOR ANY OTHER PURPOSE.
- ALL DEFLECTION ANGLES HEREON ARE 90 OR 45 DEGREES UNLESS EXPRESSLY OTHERWISE INDICATED.
- ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

LEGEND:

- EXISTING PROPERTY FOR 1 APN: 047-137-100
- - - EXISTING PROPERTY LINES
- MONUMENT LINE
- FENCE
- EDGE OF PAVEMENT
- FOUND 3/4" IP W/ TAG LS 3544

SURVEY SITE PLAN

SCALE: 1 IN. = 10 FT.



TOPOGRAPHY MAP FOR GERALD SIU & MARTHA YAQUIAN
 LOTS 1 BLOCK 54 - SUBDIVISION NO. 4 OF GRANADA
 DOMINGUEZ ASSOCIATES LLC
 40 HUMBOLDT CT
 PACIFICA CA 94044
 (650) 359-0947

REVISION

NO.	DATE

SCALE

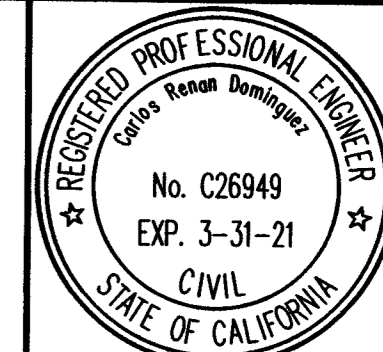
SHEET NUMBER

C1

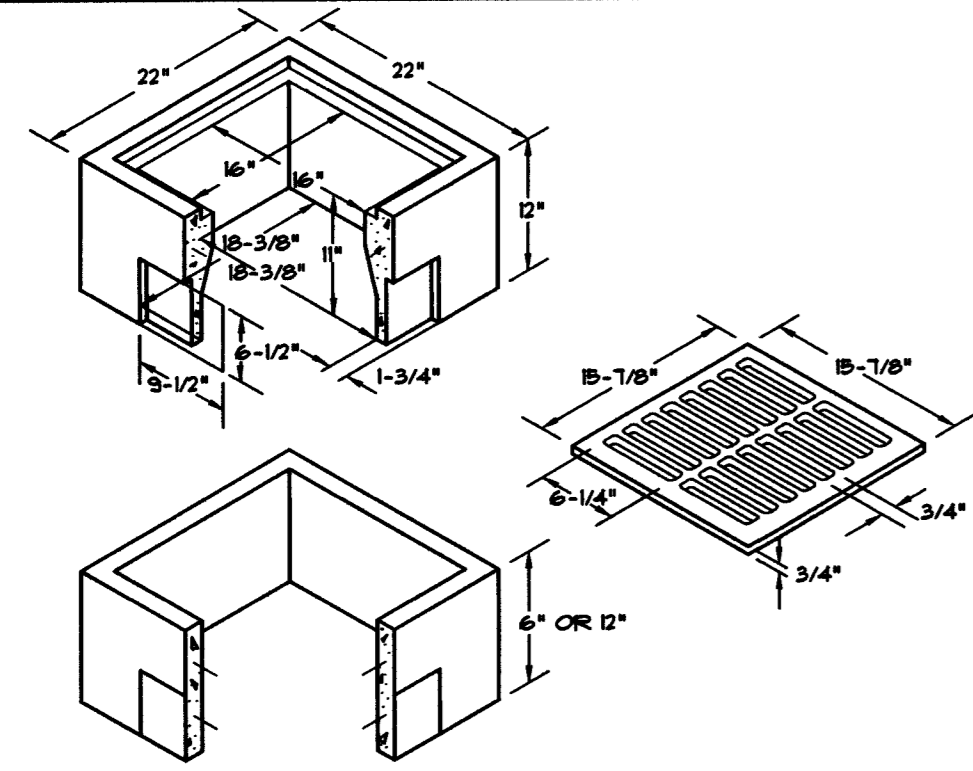
OF SHEETS

DATE 3-6-19

FILE HIR 1803

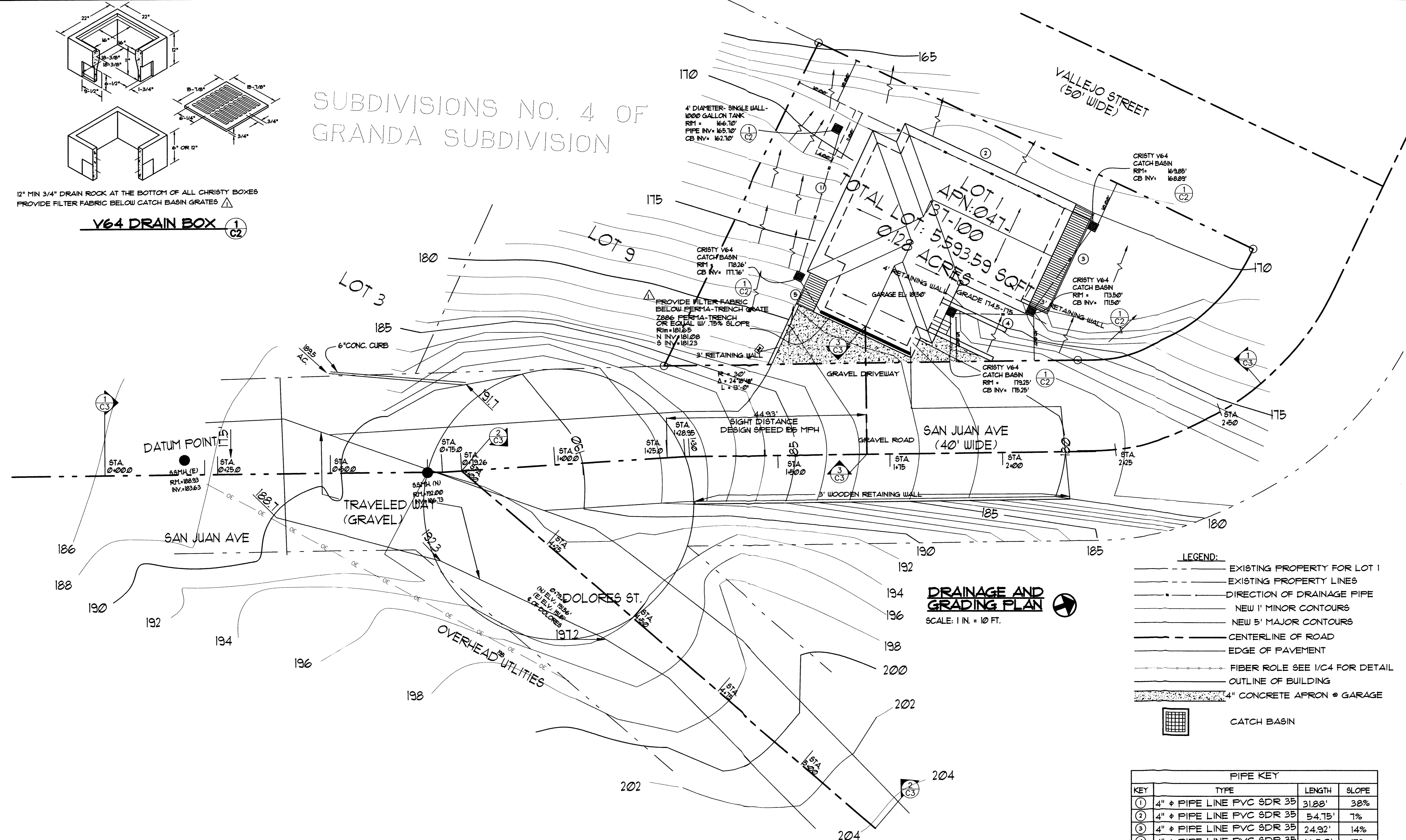


SUBDIVISIONS NO. 4 OF GRANDA SUBDIVISION



12" MIN 3/4" DRAIN ROCK AT THE BOTTOM OF ALL CRISTY BOXES
 PROVIDE FILTER FABRIC BELOW CATCH BASIN GRATES

V64 DRAIN BOX (1) (C2)



DRAINAGE AND GRADING PLAN
 SCALE: 1 IN. = 10 FT.

- LEGEND:**
- EXISTING PROPERTY FOR LOT 1
 - - - EXISTING PROPERTY LINES
 - DIRECTION OF DRAINAGE PIPE
 - NEW 1' MINOR CONTOURS
 - NEW 5' MAJOR CONTOURS
 - CENTERLINE OF ROAD
 - EDGE OF PAVEMENT
 - FIBER ROLE SEE 1/C4 FOR DETAIL
 - OUTLINE OF BUILDING
 - 4" CONCRETE APRON @ GARAGE
 - ▣ CATCH BASIN

KEY	TYPE	LENGTH	SLOPE
①	4" φ PIPE LINE PVC SDR 35	31.88'	38%
②	4" φ PIPE LINE PVC SDR 35	54.15'	1%
③	4" φ PIPE LINE PVC SDR 35	24.92'	14%
④	4" φ PIPE LINE PVC SDR 35	16.50'	17%
⑤	4" φ PIPE LINE PVC SDR 35	8.00'	9%

BENCHMARK
 SANITARY MANHOLE LID SOUTHWESTERLY OF THE INTERSECTION OF SAN JUAN AVE AND DOLORES STREET
 ELEV. 185.93'

ROAD CUT/FILL	SITE CUT/FILL	TOTAL CUT/FILL
FILL: 1 CYD CUT: 193 CYD	FILL: 0 CYD CUT: 106 CYD	FILL: 1 CYD CUT: 305 CYD

DRAINAGE AND GRADING PLAN FOR GERALD SIU & MARTHA YAQUIAN
LOTS 1 BLOCK 54 - SUBDIVISION NO. 4 OF GRANADA

PACIFICA CA 94044
 (650) 359-0947

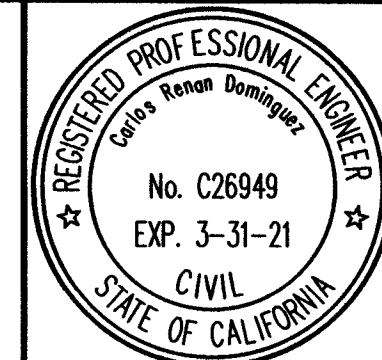
DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT CT

REVISION	
NO.	DATE
△	7-22-19

SCALE SHEET NUMBER

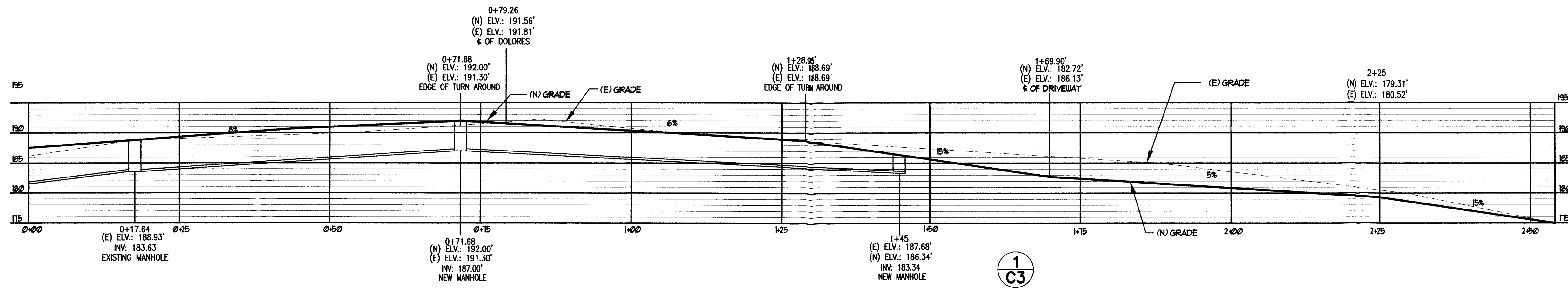
C2
 OF SHEETS

DATE 3-6-19
 FILE HIR 1803

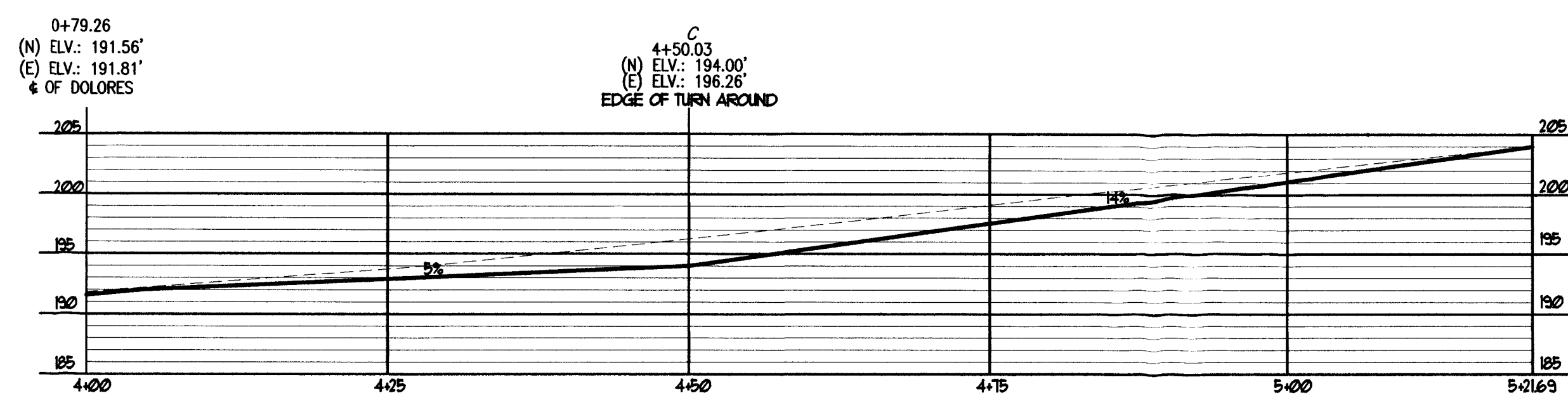


ROAD CUT/FILL

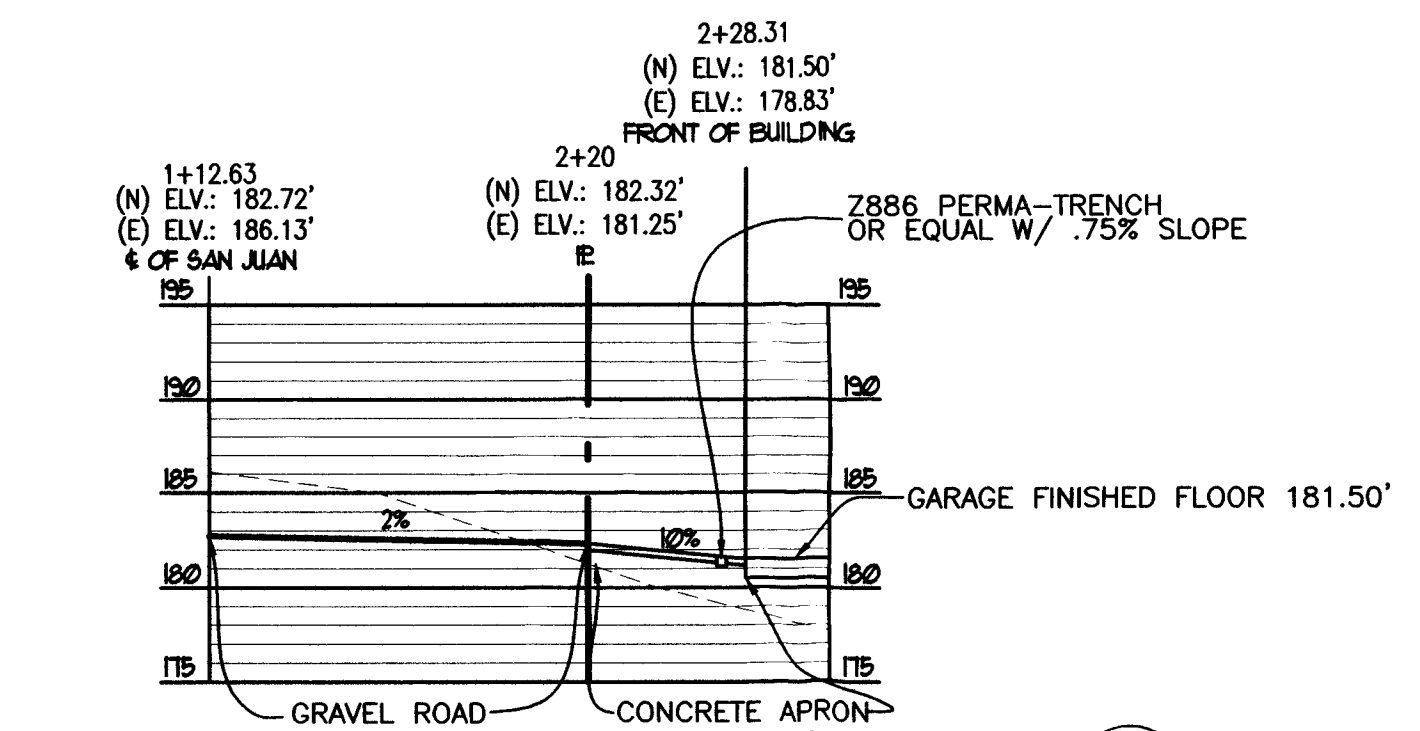
FILL: 7 CYD
CUT: 199 CYD



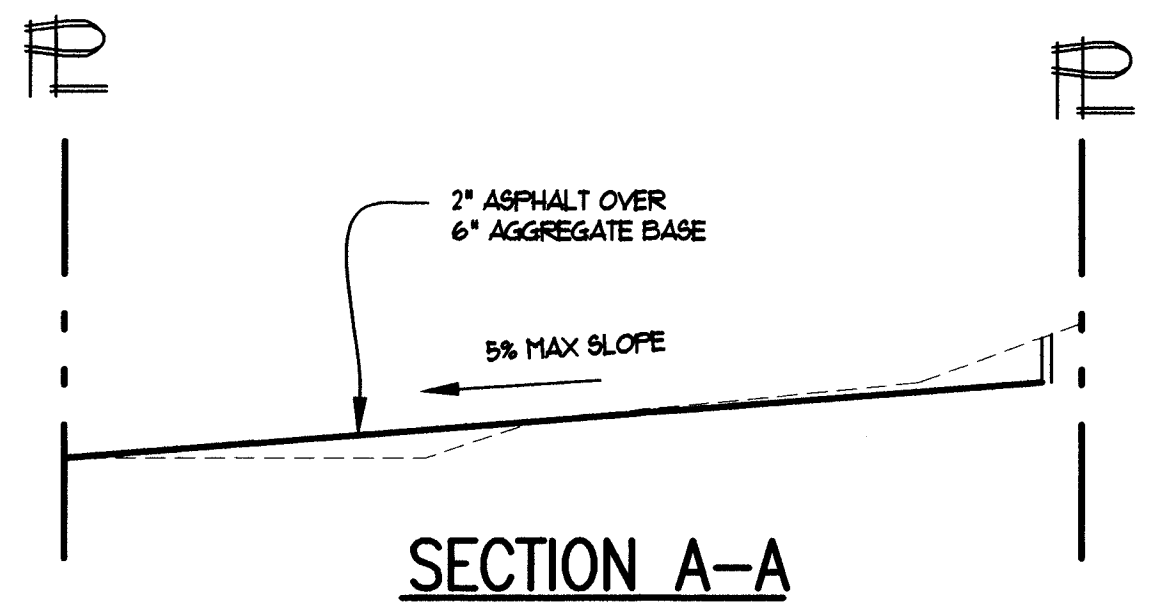
1
C3



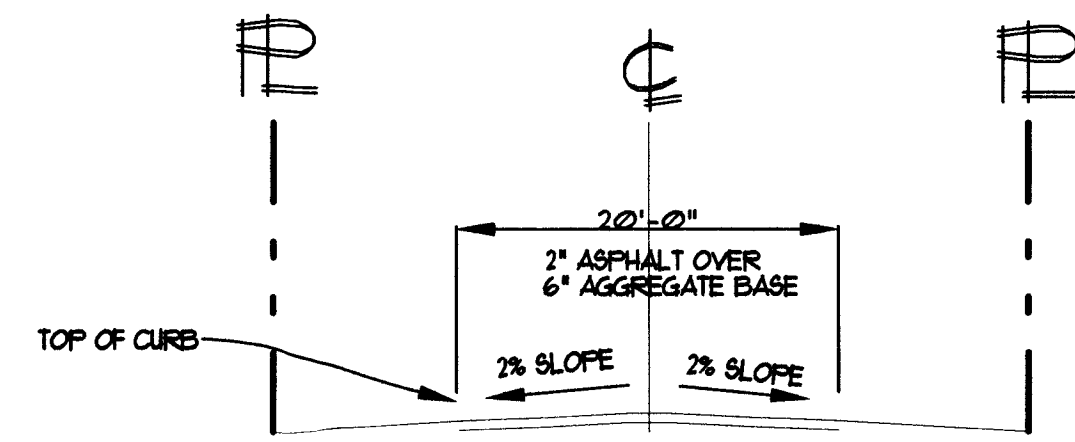
PROFILE @ DOLRES STREET 2
C3



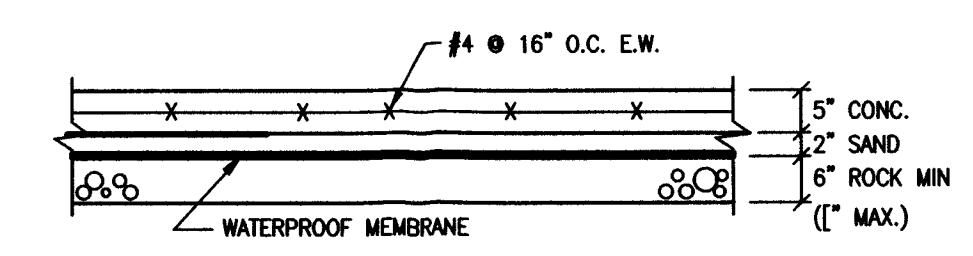
PROFILE @ CENTER OF DRIVEWAY 3
C3



SECTION A-A



SECTION OF DOLORES ST.



TYPICAL GROUND SLAB 4
C3

DRAINAGE AND GRADING PLAN FOR GERALD SIU & MARTHA YAQUIAN
 LOTS 1 BLOCK 54 - SUBDIVISION NO. 4 OF GRANADA

PACIFICA CA 94044
 (650) 359-0947

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT CT

REVISION	
NO.	DATE

SCALE
SHEET NUMBER

C3

OF SHEETS

DATE 3-6-19

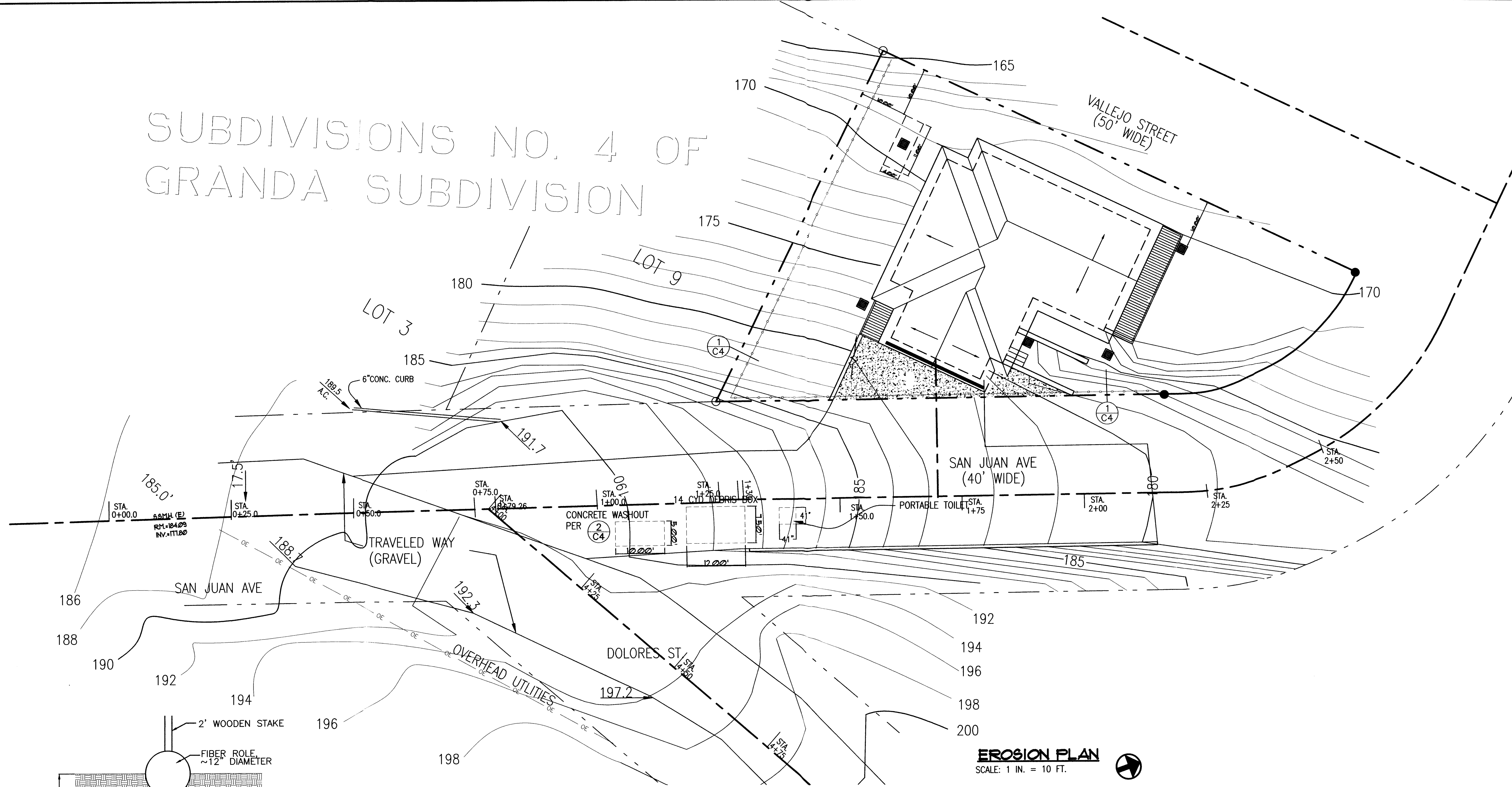
FILE HIR 1803

SUBDIVISIONS NO. 4 OF GRANDA SUBDIVISION

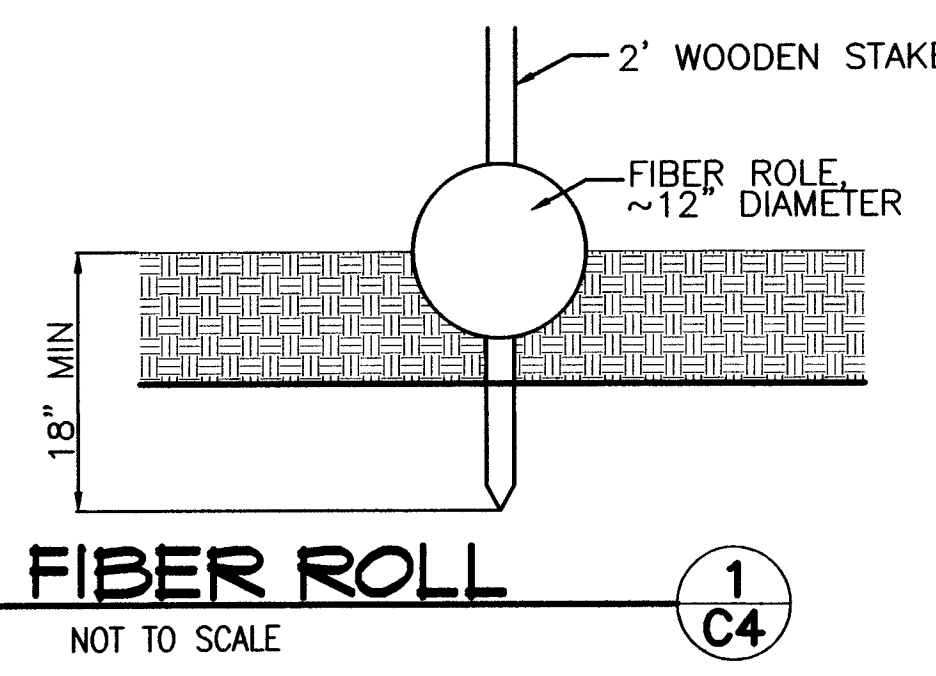


PROPOSED SEWER FOR GERALD SIU & MARTHA YAQUIAN
 LOTS 1 BLOCK 54 - SUBDIVISION NO. 4 OF GRANADA

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT CT
 PACIFICA CA 94044
 (650) 359-0947



EROSION PLAN
 SCALE: 1 IN. = 10 FT.



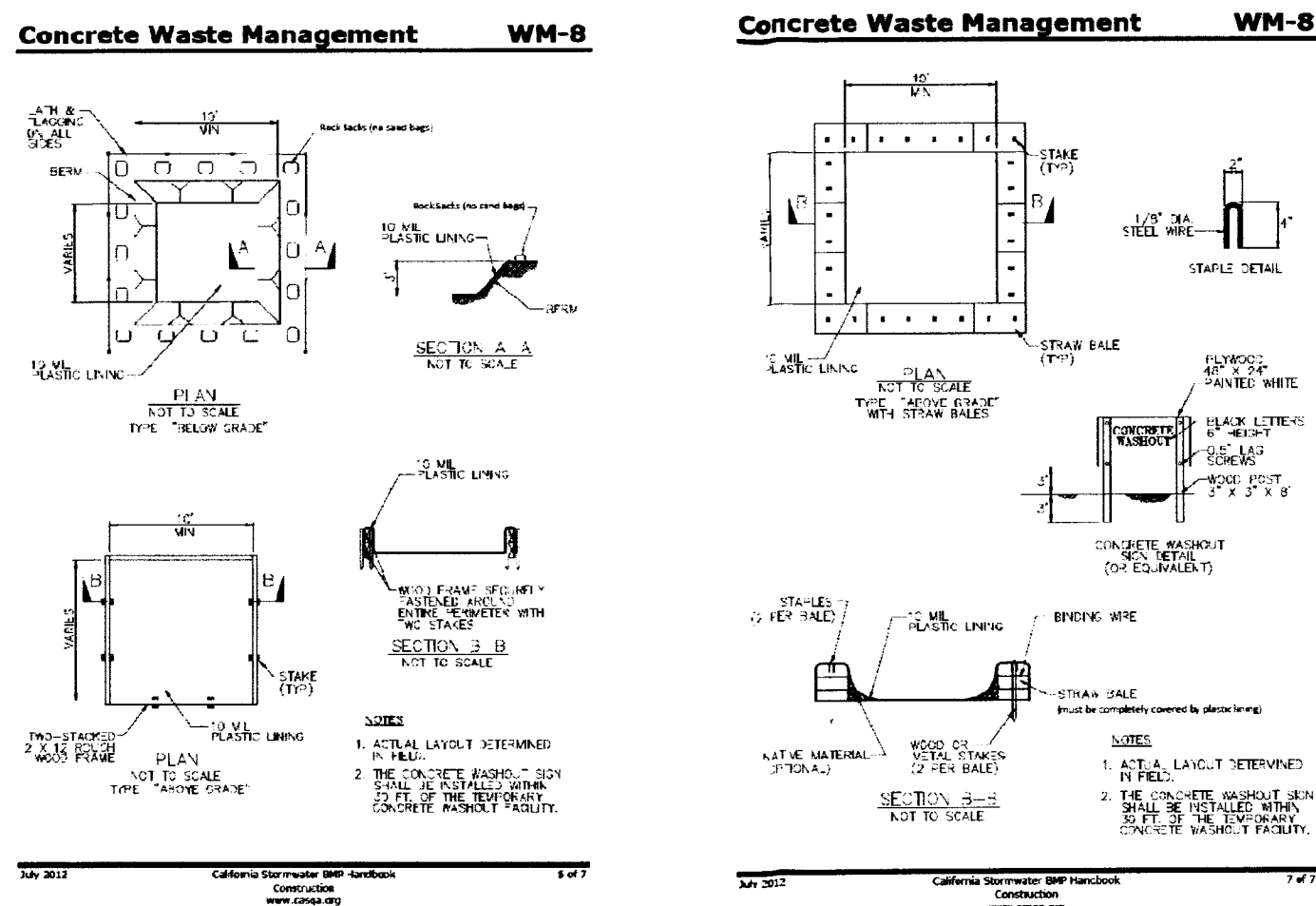
EROSION CONTROL NOTES

FIBER ROLL
 INSTALL AT LOCATIONS SHOWN.
 AFIX AS SHOWN IN DETAIL 1/C4

FOR CONSTRUCTION DURING DRY SEASON, ALL EXPOSED SURFACES SHALL BE WETTED PERIODICALLY TO PREVENT SIGNIFICANT DUST.
 BETWEEN OCT 15 AND APRIL 15 ALL EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. SUCH PROTECTION SHALL CONSIST OF COIR LOGS, AS SHOWN.

ALL STOCKPILED SOIL SHALL BE COVERED DURING PERIODS OF RAIN.

BEFORE COMPLETION OF PROJECT ALL EXPOSED OR DISTURBED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION, USING JUTE NETTING AND/OR SEED.



2 C4 CONCRETE WASTE MANAGEMENT

REVISION	
NO.	DATE

SCALE
 SHEET NUMBER

C4

OF SHEETS

DATE 3-6-19

FILE HIR 1803

PROPERTY LINE

REHABILITATE NATURAL VEGETATION
DIRECT SEED APPLICATION

①
(CALIFORNIA OATGRASS
TO PREVENT EROSION)

REHABILITATE NATURAL VEGETATION
DIRECT SEED APPLICATION

①
(CALIFORNIA OATGRASS
TO PREVENT EROSION)

REHABILITATE NATURAL VEGETATION
DIRECT SEED APPLICATION

①
(CALIFORNIA OATGRASS
TO PREVENT EROSION)

GENERAL LANDSCAPING NOTES

- INCORPORATE COMPOST AT A RATE OF AT LEAST 4 CUBIC YARDS PER 1000 SQ/FT TO A DEPTH OF 6" INTO LANDSCAPE AREA.
- ALL PLANTS ARE DROUGHT TOLERANT PLANTS. INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL TO LITTLE OR NO SUMMER WATER (AV. WUCOL PLANT FACTOR 0.3) FOR 75% OF PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER.
- A MINIMUM OF 3" LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREA EXCEPT IN AREAS OF TURF OR CREEPING GROUND COVER.
- ALL PLANTINGS TO BE HAND PLANTED
- TOTAL AREA OF LANDSCAPING 373 SQ/FT

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO)

APPLICANT:
GSIU & MYAQUIAN RESIDENCE
247 SAN JUAN AVE, EL GRANADA, CA 94018

THIS PROJECT DOES NOT INCORPORATE LANDSCAPING THAT IS LESS THAN 2500 SQ/FT AND WILL BE USING THIS FORM TO IDENTIFY PRESCRIPTIVE REQUIREMENTS WHICH WILL BE INCLUDED AS PART OF THE LANDSCAPING PROJECT.

TOTAL LANDSCAPE AREA - 373 SQ/FT (NOTE IS AREA IN GENERAL LANDSCAPING NOTES)

TOTAL TURF - N/A

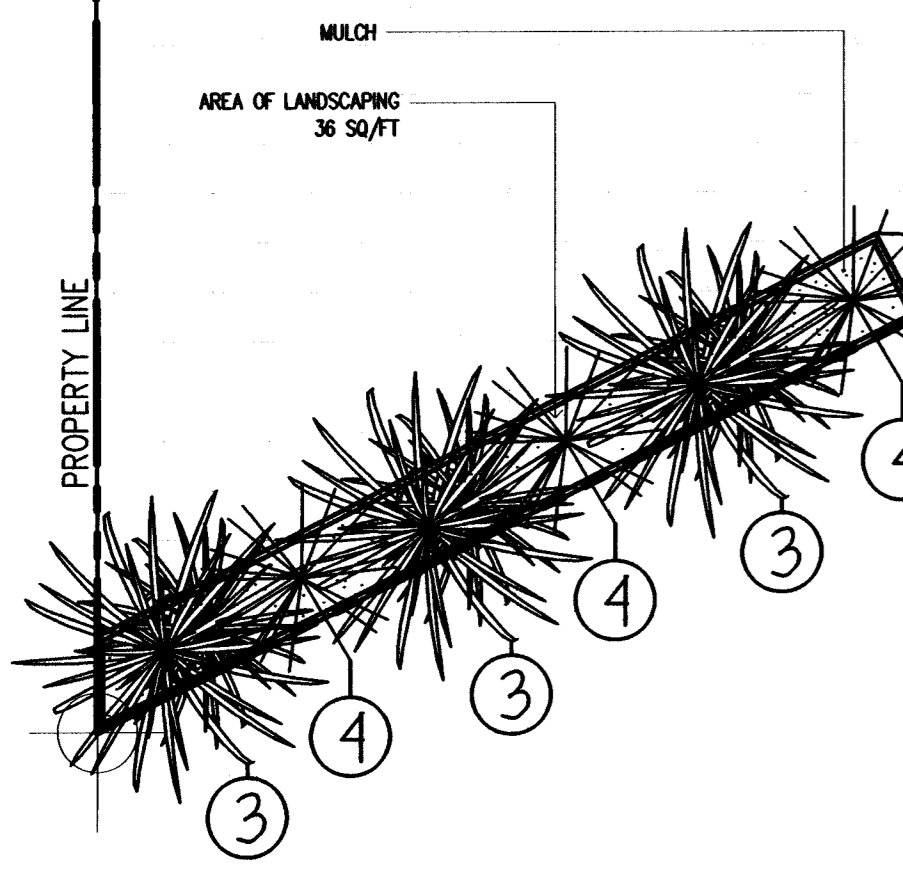
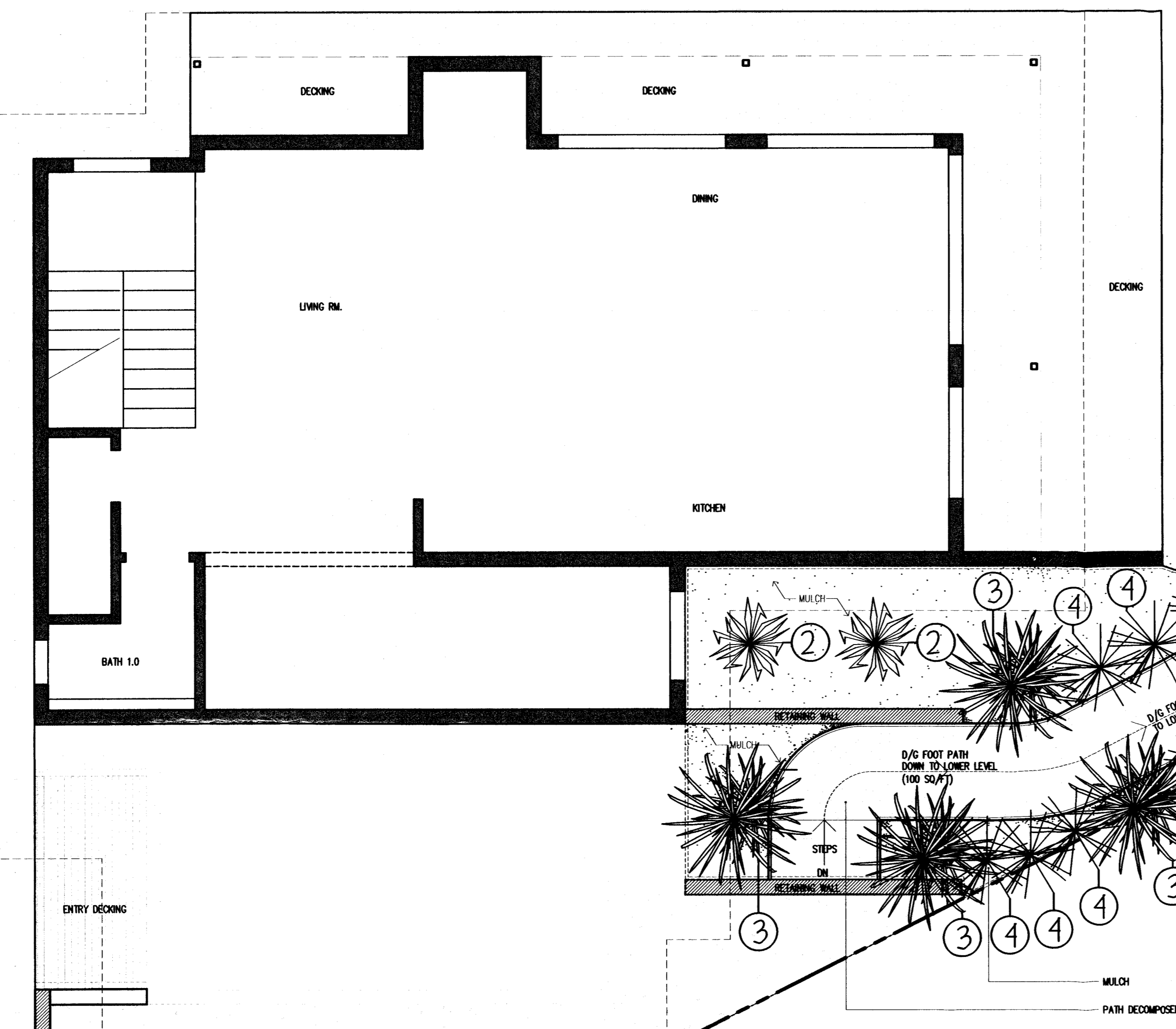
SPECIAL LANDSCAPE AREA - N/A

WATER TYPE - POTABLE

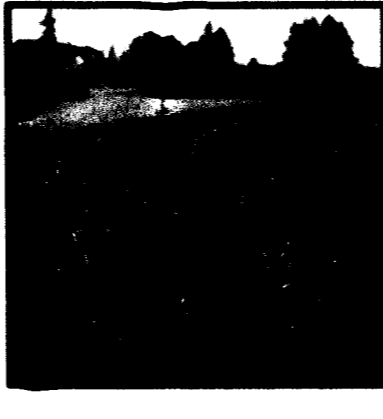


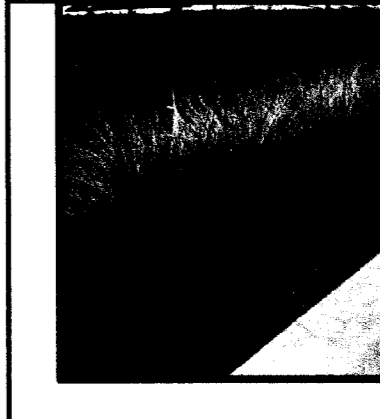
NAME OF WATER SURVEYOR - COUNTY COASTSIDE WATER DISTRICT (CCWD)

I CERTIFY THE ABOVE INFORMATION IS CORRECT AND AGREE TO COMPLY WITH THE REQUIREMENTS OF THE MWELO

GERALD SIU
PO BOX 413
MILLBRAE, CA 94030
PH: 415-420-4901
geraldsiu@gmail.com



PLANT LIST

①	②	③	④
<p>CALIFORNIA OATGRASS (DATHOHA CALIFORNICA)</p>  <p>PLANT TYPE: GRASS, NATIVE PLANT CHARACTER: SEMI-DECAIDUOUS HARVEST: DRYING, TANNING, COLORED GROWTH RATE: SLOW HEIGHT: 2 FT. - 3 FT. WIDTH: 2 FT. WATER NEEDS: MEDIUM PLANT COLOR: PINE GREEN FLOWER COLOR: BROWN FLOWER SEASON: SPRING SOIL ADAPTATIONS: WELL-DRAINING SOIL EXPOSURE ADAPTATIONS: PARTIAL SUN DISEASES: WHEAT WHEAT, SCAB, BROWN RUST, REDDISH SPOTS, OYSTER SPOTS PLANT CARE: MULCH, WEED CONTROL, WATER</p> <p>DESCRIPTION CALIFORNIA OATGRASS (DATHOHA CALIFORNICA) IS A NATIVE PERENNIAL GRASS THAT GROWS SLOWLY AND IS USED FOR EROSION CONTROL AND SOIL STABILIZATION. IT IS A DROUGHT-TOLERANT SPECIES THAT IS ADAPTED TO CALIFORNIA'S CLIMATE. IT IS A GREAT CHOICE FOR LANDSCAPING IN AREAS WHERE EROSION IS A CONCERN. IT IS A GREAT CHOICE FOR LANDSCAPING IN AREAS WHERE EROSION IS A CONCERN. IT IS A GREAT CHOICE FOR LANDSCAPING IN AREAS WHERE EROSION IS A CONCERN.</p> <p>WATER NEEDS: MEDIUM QTY: RE-SEEDING / REHABILITATE PER PLAN SIZE: AREA OF REHABILITATION : 3038 SQ/FT PLANT TYPE: GRASS, NATIVE</p>	<p>AGAVE 'BLUE GLOW'</p>  <p>PLANT TYPE: AGAVE PLANT CHARACTER: EVERGREEN HARVEST: DRYING, TANNING, COLORED GROWTH RATE: SLOW HEIGHT: 18 IN. - 20 IN. WIDTH: 18 IN. - 20 IN. WATER NEEDS: LOW PLANT COLOR: BLUE-GREEN FLOWER SEASON: WINTER/EARLY SPRING SOIL ADAPTATIONS: WELL-DRAINING SOIL EXPOSURE ADAPTATIONS: FULL SUN DISEASES: ALL DAY SUN FUNCTION: WIND BREAKER, BOUNDARY PLANT, CONTAINER PLANT PLANT CARE: MULCH, WEED CONTROL, WATER</p> <p>DESCRIPTION BLUE-GLOW AGAVE IS A RECENT INTRODUCTION INTO THE GARDEN CENTER OF AGAVES. IT IS A SMALL GROWING AGAVE THAT IS A GREAT CHOICE FOR LANDSCAPING IN AREAS WHERE EROSION IS A CONCERN. IT IS A GREAT CHOICE FOR LANDSCAPING IN AREAS WHERE EROSION IS A CONCERN. IT IS A GREAT CHOICE FOR LANDSCAPING IN AREAS WHERE EROSION IS A CONCERN.</p> <p>WATER NEEDS: LOW QTY: 2 SIZE: 5 GAL PLANT TYPE: AGAVE</p>	<p>NEW ZEALAND FLAX - 'PINK PANTHER' (PHORMIUM TENAX)</p>  <p>PLANT TYPE: PERENNIAL PLANT CHARACTER: EVERGREEN HARVEST: DRYING, TANNING, COLORED GROWTH RATE: MODERATE HEIGHT: 5 FT. - 7 FT. WIDTH: 4 FT. - 5 FT. WATER NEEDS: LOW PLANT COLOR: BURGUNDY, RED FLOWER COLOR: BURGUNDY FLOWER SEASON: SUMMER, FALL SOIL ADAPTATIONS: WELL-DRAINING SOIL EXPOSURE ADAPTATIONS: PARTIAL SUN FUNCTION: WIND BREAKER, BOUNDARY PLANT, CONTAINER PLANT PLANT CARE: MULCH, WEED CONTROL, WATER</p> <p>DESCRIPTION THE NEW ZEALAND FLAX IS A HIGHLY COMMON PLANT FOUND GROWING IN GARDENS AND LANDSCAPES THROUGHOUT THE WORLD. IT IS A GREAT CHOICE FOR LANDSCAPING IN AREAS WHERE EROSION IS A CONCERN. IT IS A GREAT CHOICE FOR LANDSCAPING IN AREAS WHERE EROSION IS A CONCERN. IT IS A GREAT CHOICE FOR LANDSCAPING IN AREAS WHERE EROSION IS A CONCERN.</p> <p>WATER NEEDS: LOW QTY: 8 SIZE: 5 GAL PLANT TYPE: PERENNIAL</p>	<p>DEER GRASS (MULIDBERGIA RIENS)</p>  <p>PLANT TYPE: GRASS, NATIVE PLANT CHARACTER: SEMI-DECAIDUOUS HARVEST: DRYING, TANNING, COLORED GROWTH RATE: FAST HEIGHT: 2 FT. - 3 FT. WIDTH: 2 FT. - 3 FT. WATER NEEDS: LOW PLANT COLOR: PINE GREEN FLOWER COLOR: BROWN FLOWER SEASON: SPRING SOIL ADAPTATIONS: WELL-DRAINING SOIL EXPOSURE ADAPTATIONS: PARTIAL SUN FUNCTION: WIND BREAKER, BOUNDARY PLANT, CONTAINER PLANT PLANT CARE: MULCH, WEED CONTROL, WATER</p> <p>DESCRIPTION DEER GRASS IS A HIGHLY COMMON PLANT FOUND GROWING IN GARDENS AND LANDSCAPES THROUGHOUT THE WORLD. IT IS A GREAT CHOICE FOR LANDSCAPING IN AREAS WHERE EROSION IS A CONCERN. IT IS A GREAT CHOICE FOR LANDSCAPING IN AREAS WHERE EROSION IS A CONCERN. IT IS A GREAT CHOICE FOR LANDSCAPING IN AREAS WHERE EROSION IS A CONCERN.</p> <p>WATER NEEDS: LOW QTY: 11 SIZE: 5 GAL PLANT TYPE: GRASS, NATIVE</p>

TOTAL PLANTS: 21 - 5GAL

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION OF THE MWELO PER APPENDIX D CHECKLIST FORM ATTACHED

NO.	REVISION FOR PLANNING	DATE

Not For Construction
ISSUED FOR PLANNING

GSIU MYAQUIAN
247 SAN JUAN AVE
EL GRANADA, CA
94018

CONTACT:
GERALD SIU
PROJECT NO:
XX
DESIGN BY:
GSIU
DRAWN BY:
GSIU

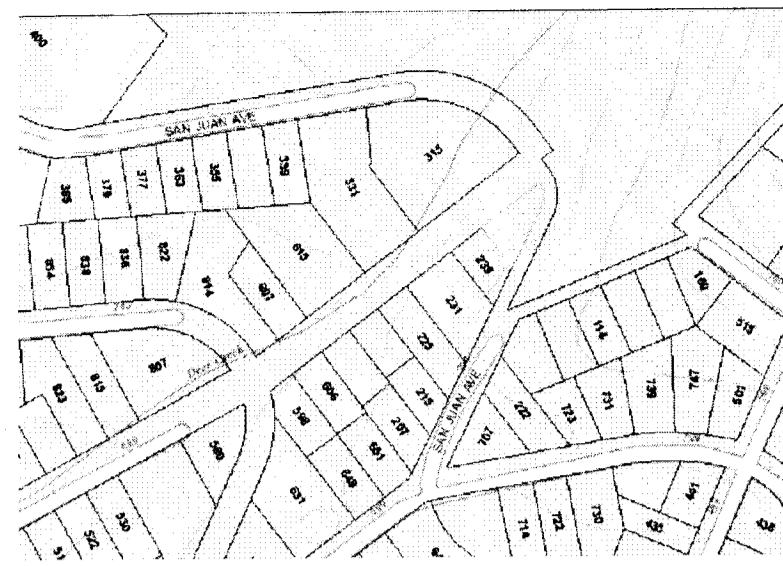
PROJECT PHASE:
DD
SCALE:
1/4" = 1'-0"
ISSUE DATE AND REVISIONS:
2019.04.22

KEY PLAN

LANDSCAPING PLAN

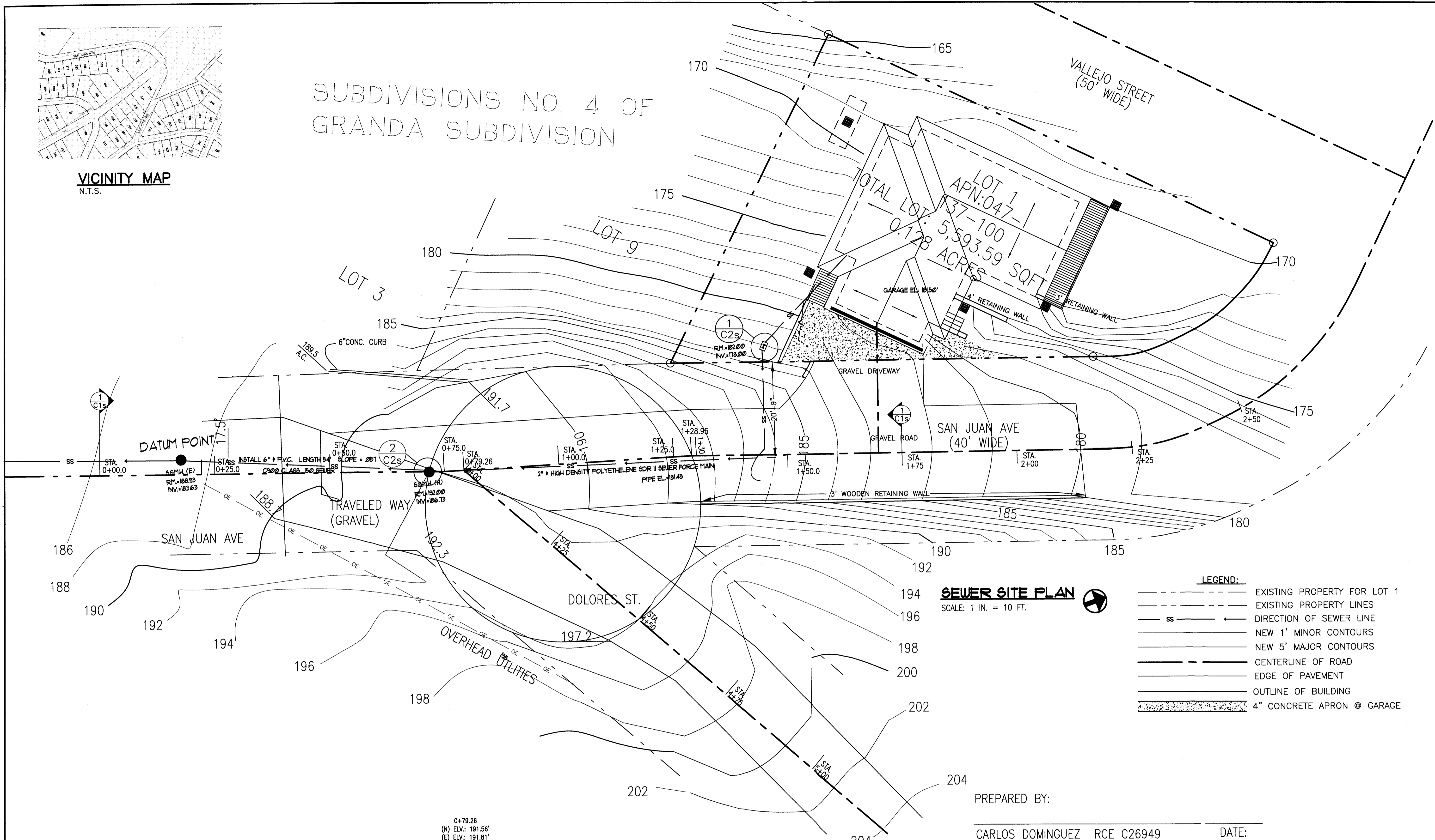
L1

P:\2019\04\22\20190422\20190422.dwg
 PLOT DATE: 2019/04/22 10:00:00 AM
 PLOT BY: GSIU



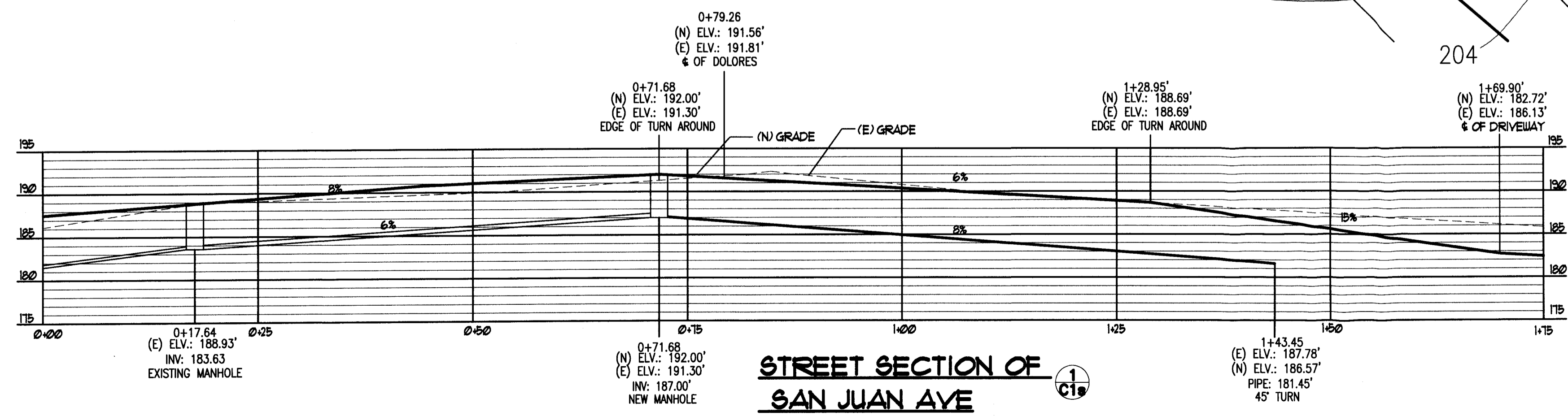
VICINITY MAP
N.T.S.

SUBDIVISIONS NO. 4 OF
GRANDA SUBDIVISION



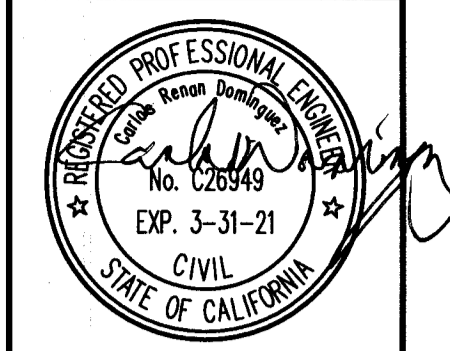
SEWER SITE PLAN
SCALE: 1 IN. = 10 FT.

- LEGEND:**
- EXISTING PROPERTY FOR LOT 1
 - - - EXISTING PROPERTY LINES
 - SS ← DIRECTION OF SEWER LINE
 - NEW 1' MINOR CONTOURS
 - NEW 5' MAJOR CONTOURS
 - CENTERLINE OF ROAD
 - EDGE OF PAVEMENT
 - OUTLINE OF BUILDING
 - 4" CONCRETE APRON @ GARAGE



PREPARED BY:
CARLOS DOMINGUEZ RCE C26949 DATE:

REVIEWED AND APPROVED BY:
GRANDA SANITARY SEWER DISTRICT RCE 22493 DATE:



TOPOGRAPHY MAP FOR GERALD SIU & MARTHA YAQUIAN
LOTS 1 BLOCK 54 - SUBDIVISION NO. 4 OF GRANDA

PACIFICA CA 94044
(650) 359-0947

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT CT

REVISION	
NO.	DATE

SCALE
SHEET NUMBER

C1s

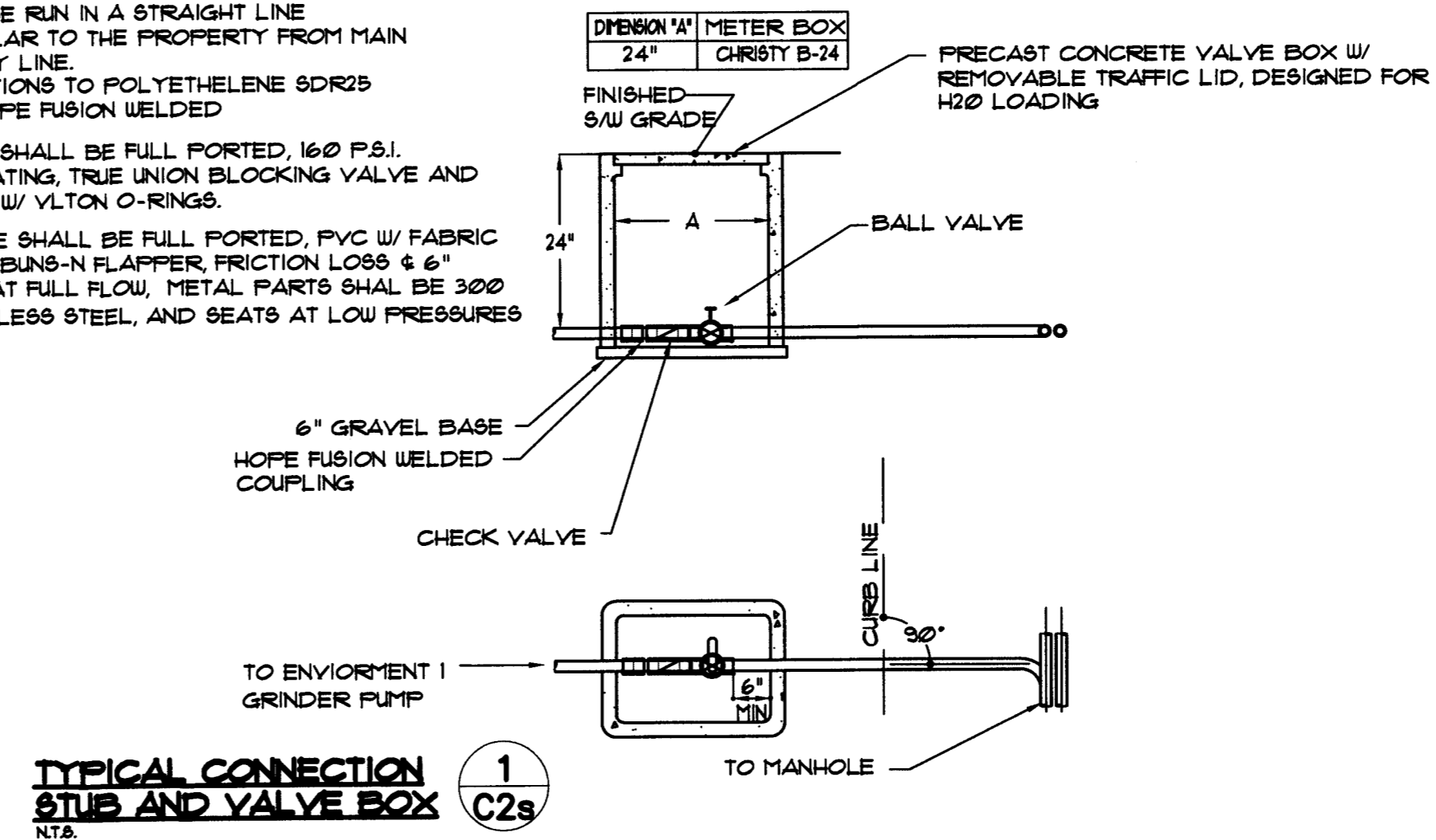
OF SHEETS
DATE 3-6-19
FILE HIR 1803

SEWER NOTES:

- YOUR ATTENTION IS DIRECTED TO THE TECHNICAL SPECIFICATIONS AND STANDARD DETAILS OF THE GRANADA SANITARY DISTRICT BEING APPLICABLE TO THIS PROJECT.
- ALL TRENCH BEDDING AND STRUCTURAL BACKFILL MATERIAL SHALL BE AS SPECIFIED ON THE STANDARD DETAIL SHEET NO. 13. HDPE PIPE SHALL BE BEDDED IN SAND CONFORMING TO CALTRANS SPECIFICATION JULY 1992, SECTION 19 PARAGRAPH 19-3.025B SAND BEDDING.
- TESTING AND CLEANING OF THE CONSTRUCTED PIPELINE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE GRANADA SANITARY.
- THE CONTRACTOR IS EXPECTED TO COMPLETE CONSTRUCTION OF THE MAIN SEWER WITHIN A CONTINUOUS 10 CALENDAR DAY PERIOD. NO TRENCH SECTION SHALL BE LEFT UNCOVERED AT THE END OF EVERY WORKING DAY.
- THE CONTRACTOR SHALL SUBMIT RECORD DRAWINGS (AS-BUILT) TO DISTRICT UPON COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR SHALL SUBMIT TO THE DISTRICT SUFFICIENT CONSTRUCTION PHOTOGRAPHS OF THE PROJECT'S CONSTRUCTION.
- THE CONTRACTOR SHALL NOT ALLOW THE SITE TO BE LITTERED WITH TRASH AND WASTE MATERIAL. UPON COMPLETION OF WORK, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION ACCEPTABLE TO THE DISTRICT.
- THE CONTRACTOR SHALL CONDUCT HIS OPERATION TO OFFER LEAST POSSIBLE OBSTRUCTION AND INCONVENIENCE TO THE PUBLIC. THE CONTRACTOR SHALL MAINTAIN ALL ACCESS TO AND FROM PUBLIC STREETS MID SHALL TAKE ALL NECESSARY PRECAUTIONS TO MINIMIZE CONSTRUCTION DUST AND NOISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO ANY EXISTING UTILITIES. ALL REPAIRS SHALL BE DONE BY CONTRACTOR AT HIS EXPENSE.
- COSTS FOR TRENCH BACKFILL TESTING SHALL BE BORNE BY THE CONTRACTOR/DEVELOPER
- COPIES OF CERTIFIED COMPACTION TESTS SHALL BE FORWARDED TO SAN MATEO COUNTY PUBLIC WORKS AND DISTRICT ENGINEER, PRIOR TO FINAL APPROVAL OF THE PROJECT BY THE COUNTY.
- CONTRACTOR/OWNER TO RETAIN SURVEYOR/ENGINEER TO PLACE CONSTRUCTION STAKES REQUIRED FOR THE WORK, PRIOR TO COMMENCEMENT OF WORK MID FOR REVIEW BY THE PUBLIC WORKS INSPECTOR.
- PROVIDE A PLASTIC COATED TRACER WIRE ON THE LATERALS AND FORCEMAIN.
- PROVIDE A WOODEN POST AT THE UPSTREAM END OF THE FORCEMAIN FOR USE AS MARKERS.
- FOR INSPECTIONS CALL (650) 852-2800 48 HOURS IN ADVANCE PRIOR TO CONSTRUCTION.

NOTE:

- DISTRICT SEWER LINE AND CUSTOMER SEWER LINE SHALL BE RUN IN A STRAIGHT LINE PERPENDICULAR TO THE PROPERTY FROM MAIN TO PROPERTY LINE.
- ALL CONNECTIONS TO POLYETHYLENE SDR25 SHALL BE HDPE FUSION WELDED.
- BALL VALVE SHALL BE FULL PORTED, 160 P.S.I. PRESSURE RATING, TRUE UNION BLOCKING VALVE AND PVC VALVES W/ VLTON O-RINGS.
- CHECK VALVE SHALL BE FULL PORTED, PVC W/ FABRIC REINFORCED BUNG-N FLAPPER, FRICTION LOSS $\leq 6"$ WATER COL. AT FULL FLOW, METAL PARTS SHALL BE 302 SERIES STAINLESS STEEL, AND SEATS AT LOW PRESSURES.



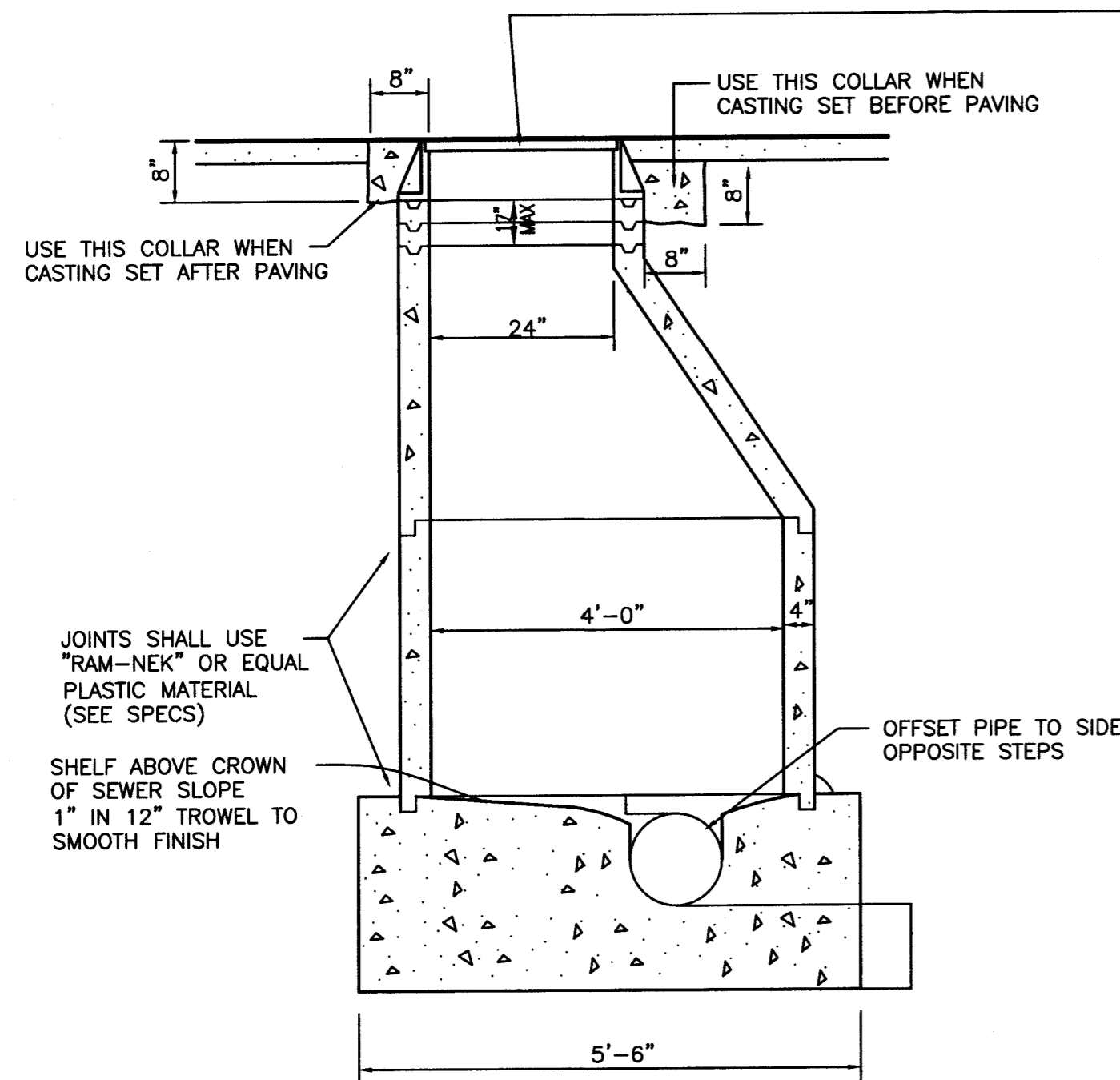
TYPICAL CONNECTION STUB AND VALVE BOX 1 C2s

MANHOLE FRAME AND COVER

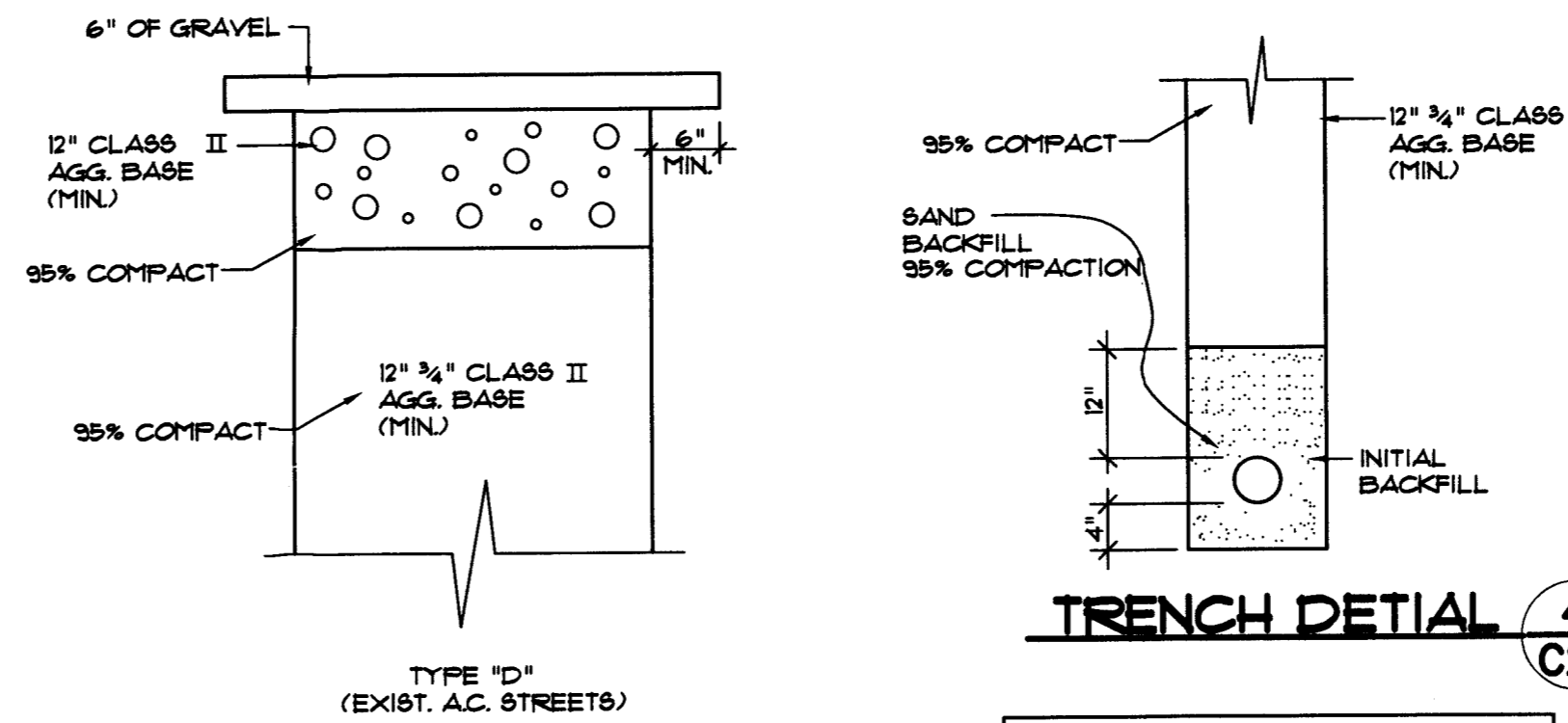
SEE GRANADA SANITARY DISTRICT STANDARD DETAIL # 2 MANHOLE FRAME AND COVER

NOTE:

- BASE SHALL BE CLASS "B" (5 SACK) CONCRETE PLACED AGAINST UNDISTURBED EARTH.
- CONDUIT SHALL BE LAID THROUGH MANHOLE WHENEVER POSSIBLE.
- CONCRETE CHANNELS SHALL BE BRUSH FINISHED.
- PRECAST BARREL AND ECCENTRIC CONE SHALL CONFORM TO ASTM SPECIFICATION C-478 EXCEPT THAT TYPE II CEMENT SHALL BE USED.
- MORTAR JOINTS SHALL USE "RAM-NEK" OR EQUAL PLASTIC MATERIAL (SEE SPECS)
- MANHOLE FRAME MAY BE ADJUSTED EITHER BEFORE OR AFTER PAVING, BUT THE FINAL GRADE OF THE FRAME MUST MATCH THAT OF THE PAVING WITHIN $\pm 1/8"$.
- WHERE FRAME IS SET AFTER PAVING, EXPOSED CONCRETE SURFACES SHALL BE COLORED, WITH SS 1 PAVING OIL BEFORE THE CONCRETE HAS SET.
- COLLAR SHALL BE CLASS "B" (5 SACK) CONCRETE.
- NO CONCRETE SHALL BE PLACED PRIOR TO FORM INSPECTION BY THE AGENCY ENGINEER.



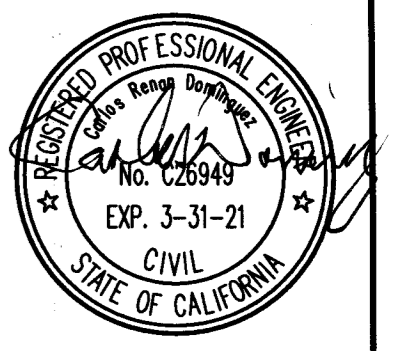
TYPICAL MANHOLE 2 C2s



SURFACE RESTORATION 3 C2s

TRENCH DETAIL 4 C2s

CONDUIT SIZE (I.D.)	2" TO 8"
MIN. TRENCH WIDTH	O.D. + 12"
MAX. TRENCH WIDTH AT TOP OF PIPE	O.D. + 18"
DEPTH OF INITIAL BACKFILL	12" OVER TOP OF PIPE



SURVEY & TOPOGRAPHY FOR GERALD SIU & MARTHA YAQUIAN
 LOTS 1 & 2, BLOCK 54 - SUBDIVISION NO. 4 OF GRANADA
 DOMINGUEZ ASSOCIATES LLC
 40 HUMBOLDT CT
 PACIFICA, CA 94044
 (650) 359-0947

REVISION	
NO.	DATE

SCALE

SHEET NUMBER

C2s

OF SHEETS

DATE 3-6-19

FILE HIR 1803