

0.07 0 0.04 0.07 Miles

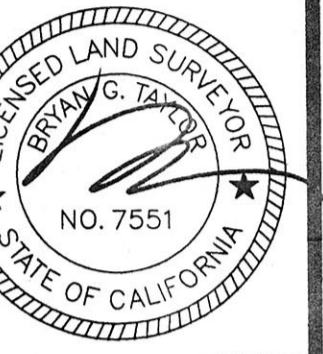
WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,257



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



Assessor Parcel Number:
 037-259-090
 037-259-100

Prepared For:
 KAREN EPPES
 P.O. BOX 441
 MOSS BEACH, CA 94038

Date: APRIL 2019

Scale: 1" = 10'

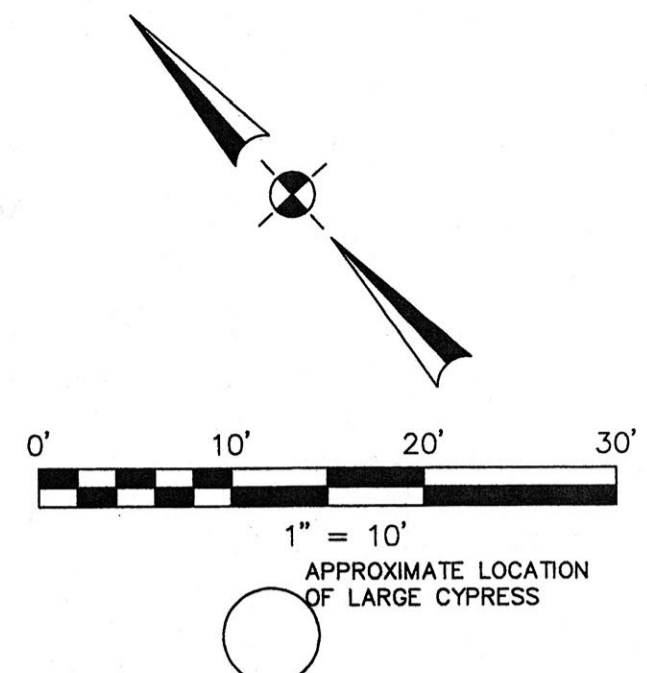
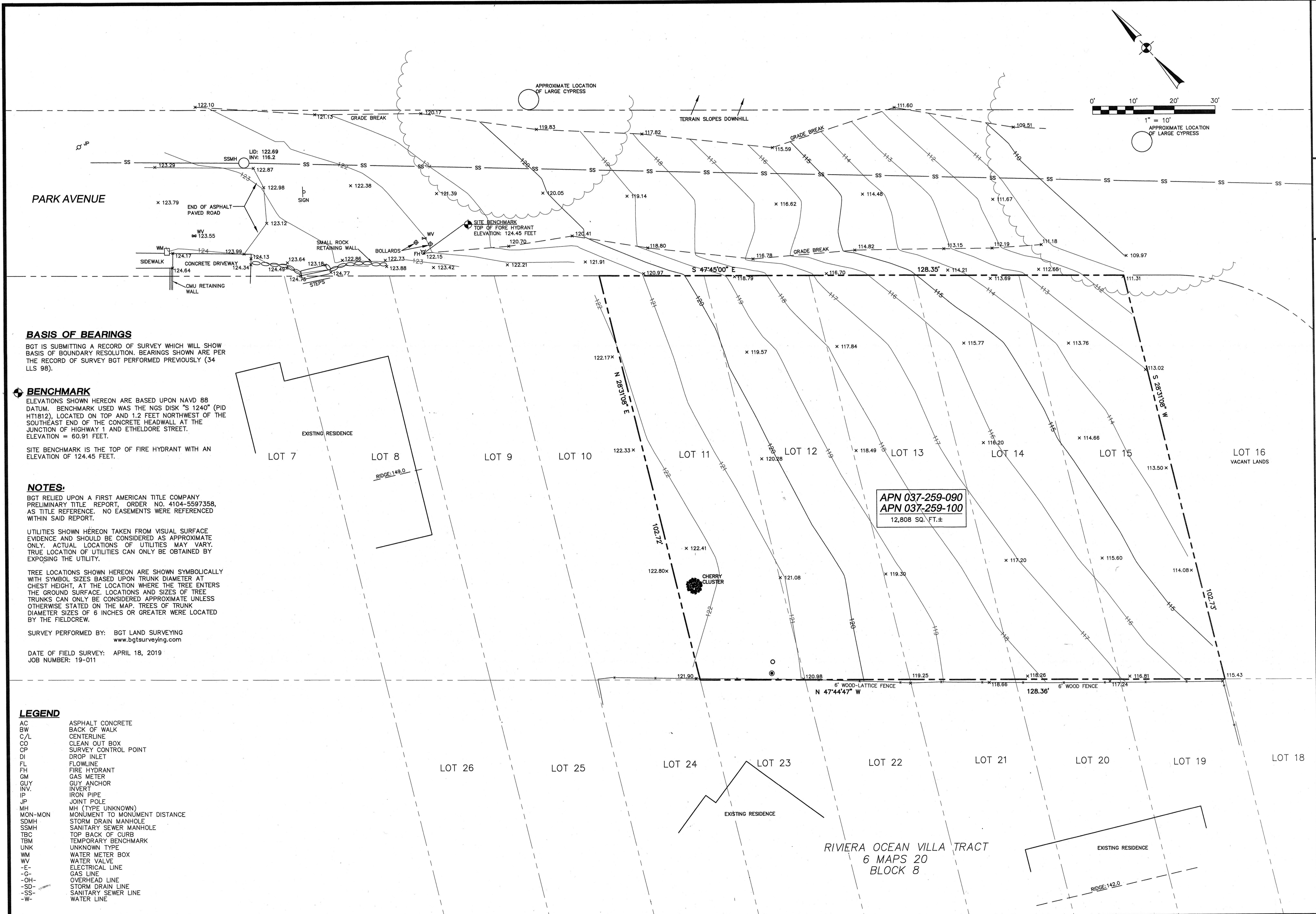
Contour Interval: 1'

Drawn by: LHL

Revisions:

SU-1

Job No. 19-011



PARK AVENUE

BASIS OF BEARINGS

BGT IS SUBMITTING A RECORD OF SURVEY WHICH WILL SHOW BASIS OF BOUNDARY RESOLUTION. BEARINGS SHOWN ARE PER THE RECORD OF SURVEY BGT PERFORMED PREVIOUSLY (34 LLS 98).

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NGS DISK "S 1240" (PID HT1812), LOCATED ON TOP AND 1.2 FEET NORTHWEST OF THE SOUTHEAST END OF THE CONCRETE HEADWALL AT THE JUNCTION OF HIGHWAY 1 AND ETHELDRE STREET. ELEVATION = 60.91 FEET.

SITE BENCHMARK IS THE TOP OF FIRE HYDRANT WITH AN ELEVATION OF 124.45 FEET.

NOTES:

BGT RELIED UPON A FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 4104-5597358, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

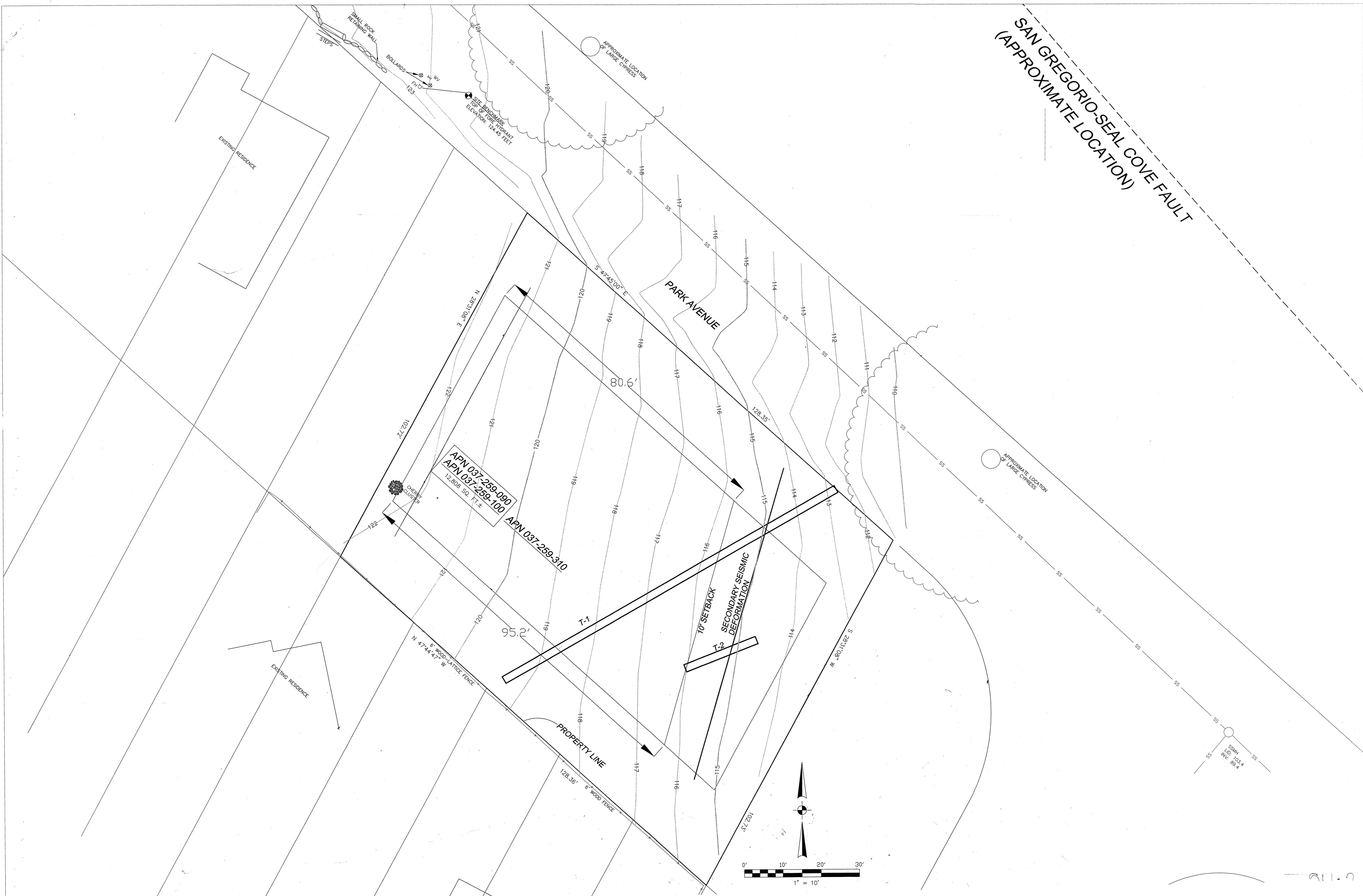
SURVEY PERFORMED BY: BGT LAND SURVEYING
 www.bgtlandsurveying.com

DATE OF FIELD SURVEY: APRIL 18, 2019
 JOB NUMBER: 19-011

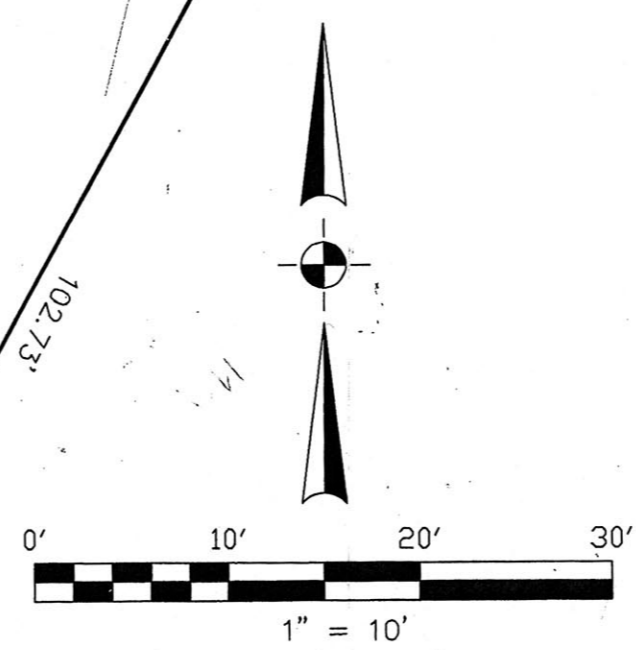
LEGEND

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- C/L CENTERLINE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- DI DROP INLET
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GUY GUY ANCHOR
- INV. INVERT
- IP IRON PIPE
- JP JOINT POLE
- MH MH (TYPE UNKNOWN)
- MON-MON MONUMENT TO MONUMENT DISTANCE
- SDMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MANHOLE
- TBC TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- UNK UNKNOWN TYPE
- WM WATER METER BOX
- WV WATER VALVE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- W- WATER LINE

SAN GREGORIO-SEAL COVE FAULT
(APPROXIMATE LOCATION)



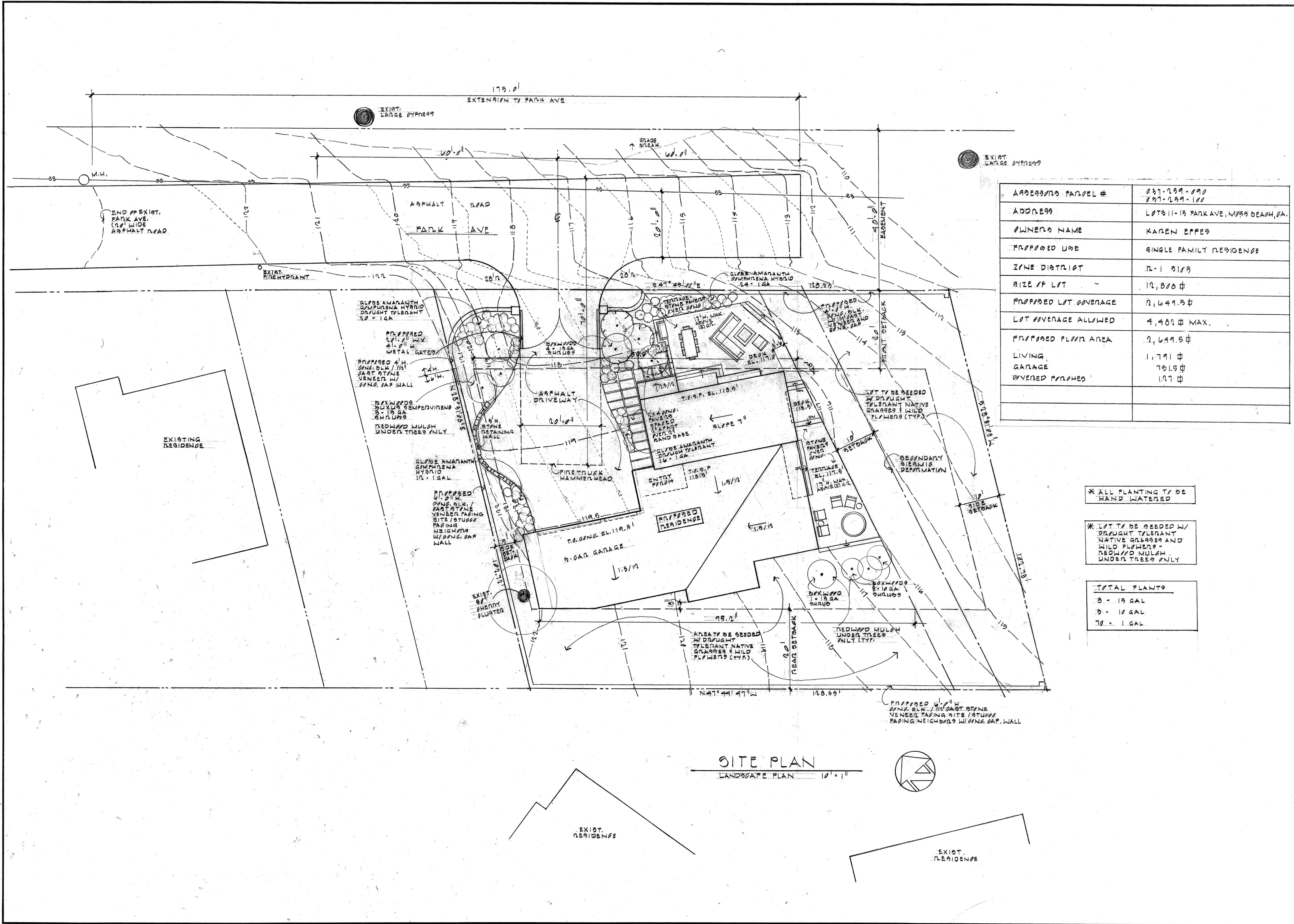
APN 037-259-090
APN 037-259-100
12,808 SQ. FT. ±
APN 037-259-310



SSM# 103.4
INV: 88.4

Dotter & Soffield
Architecture + Design
1801 PARK BOULEVARD
OAKRIDGE, CALIFORNIA 94602
PHONE 510 530 9231 FAX 510 530 9223

EPPE'S RESIDENCE
LOTS 11-15, PARK AVE, MARYS BEACH, CA



APPROXIMATE PARCEL #	027-259-090 027-259-101
ADDRESS	LOTS 11-15 PARK AVE, MARYS BEACH, CA.
OWNER'S NAME	KAREN EPPE
PROPOSED USE	SINGLE FAMILY RESIDENCE
ZONE DISTRICT	R-1 0105
SIZE OF LOT	12,000 sq ft
PROPOSED LOT COVERAGE	2,649.5 sq ft
LOT COVERAGE ALLOWED	4,400 sq ft MAX.
PROPOSED FLOOR AREA	2,649.5 sq ft
LIVING	1,791 sq ft
GARAGE	701.5 sq ft
COVERED PORCHES	157 sq ft

* ALL PLANTING TO BE HAND WATERED

* LOT TO BE SEEDED W/ DRAUGHT TOLERANT NATIVE GRASSES AND WILD FLOWERS - REDWOOD MULCH UNDER TREES ONLY

TOTAL PLANTS	
8	- 15 GAL
8	- 10 GAL
72	- 1 GAL

SITE PLAN

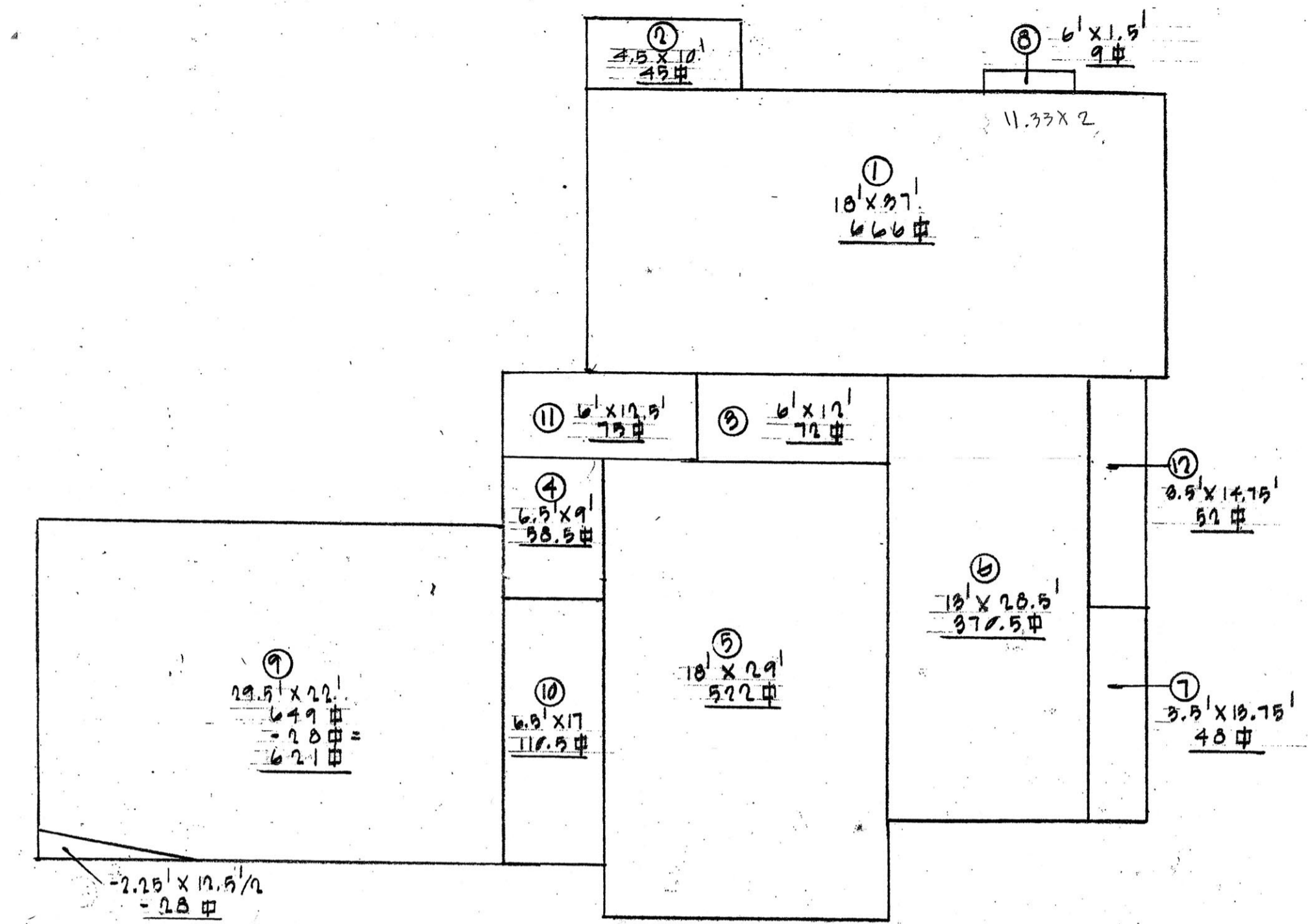
LANDSCAPE PLAN 1/2" = 1'

REVISIONS	BY

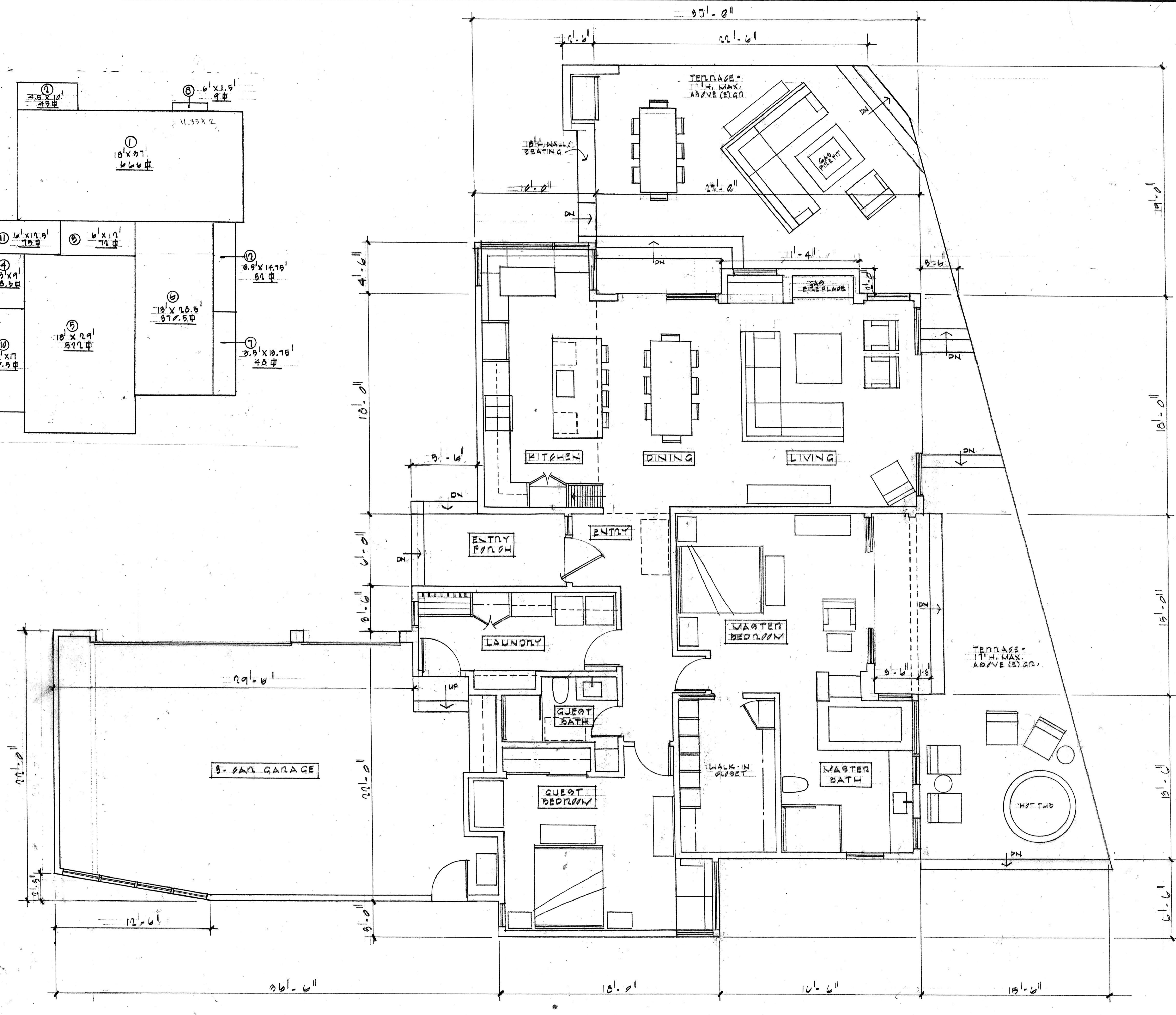
Dotter & Soffield
 Architecture + Design
 4801 PARK BOULEVARD
 OAKLAND, CALIFORNIA 94602
 PHONE 510 530 9231 FAX 510 530 9233

EPPEO RESIDENCE
 LOTS 11-15, PARKWAY, MASS BEACH, CA.

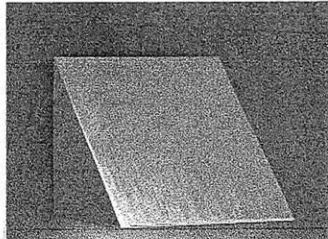
Date 10-7-19
 Scale
 Drawn
 Job
 Sheet
 Of 2 Sheets



SQ. FT. CALCULATIONS	
RESIDENCE	
1.	666 #
2.	45 #
3.	72 #
4.	88.5 #
5.	592 #
6.	878.5 #
7.	48 #
8.	9 #
TOTAL	1791 #
GARAGE	
9.	691 #
10.	110.9 #
TOTAL	1801.9 #
COVERED PORCHES	
11.	76 #
12.	92 #
TOTAL	168 #
TOTAL SQ. FT.	2,649.9 #

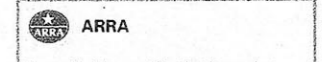


FLOOR PLAN
 1/4" = 1'-0"



682-WP SERIES

Exterior Wall Luminaire
"Floating" Wedge



DARK SKY

Shaper offers a selection of exterior luminaire that are "Dark Sky Compliant". The IESNA Illuminating Engineering Society and North America defines Full Cut-Off as luminaire with light distribution of 0% outside of 90° and 10% at 90°. Full Cut-Off luminaire carry the endorsement of the International Dark-Sky Association (IDA) for their effectiveness in limiting the detrimental effects of light pollution. Many exterior luminaires offer a clear tempered glass option that meets the IDA criteria for Full Cut-Off.

QUICK SHIP

Shaper's Quick Ship program features over thirty-four fixtures with fabrications such as Satin Chrome, Natural Aluminum and Satin Brass, and a wide variety of lamp selections. All products ship in five days from receipt of order.

SUSTAINABLE DESIGN

Shaper has a long-standing history of offering environmentally friendly fixtures. The range and variety allow you to fit your exterior luminaires feature up to 98% recycled content, contribute less undesirable air emissions compared to painted aluminum and are easy to recycle.

SPECIFICATION FEATURES

Material
Painted aluminum or solid bronze. 1/8" white acrylic diffuser for CFL/Incandescent and clear tempered reflective glass for MH. Optional clear tempered glass for full cut-off.

Finish
Premium TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear.

Standard: Natural Bronze (NBZ)
(Sustainable Design).
Note: Bronze will weather to a dark bronze patina.

Premium: Aluminum Paint (ALP), Black Paint (BK), Bronze Metallic Paint (BM), Dark Platinum Paint (DP), Gold Metallic Paint (GM), Graphite Metallic Paint (GRM), Grey Paint (GY), Verdigris (VG), White Paint (WH) or Custom Color (CC).

Optics
Refer to www.shaperlighting.com for complete photometrics.

Ballast
Integral electronic HPF multi-volt 120/277V (347V Canada), thermally protected with end-of-life circuitry to accommodate 26W, 32W or 42W

Lamps
Metal halide ballasts are HPF open core & coil type, multi-volt 120/277V for the specified lamp wattage. Contact the factory for 347V.

Lamp/Socket
8": One (1) or two (2) 26W or 32W (GX24q-3) triple CFL lamps), one (1) 42W (GX24q-4) triple CFL lamp, or one (1) 70W A-19 lamp.
11": Two (2) 26W, 32W (GX24q-3) or 42W (GX24q-4) triple CFL lamps, one (1) 50W, 70W or 100W ED-17 Metal halide lamp or one (1) 100W A-19 lamp.

LED
8" LED: 1000 nominal lumens at max 15.5W
11" LED: 1000 nominal lumens at max 15.5W

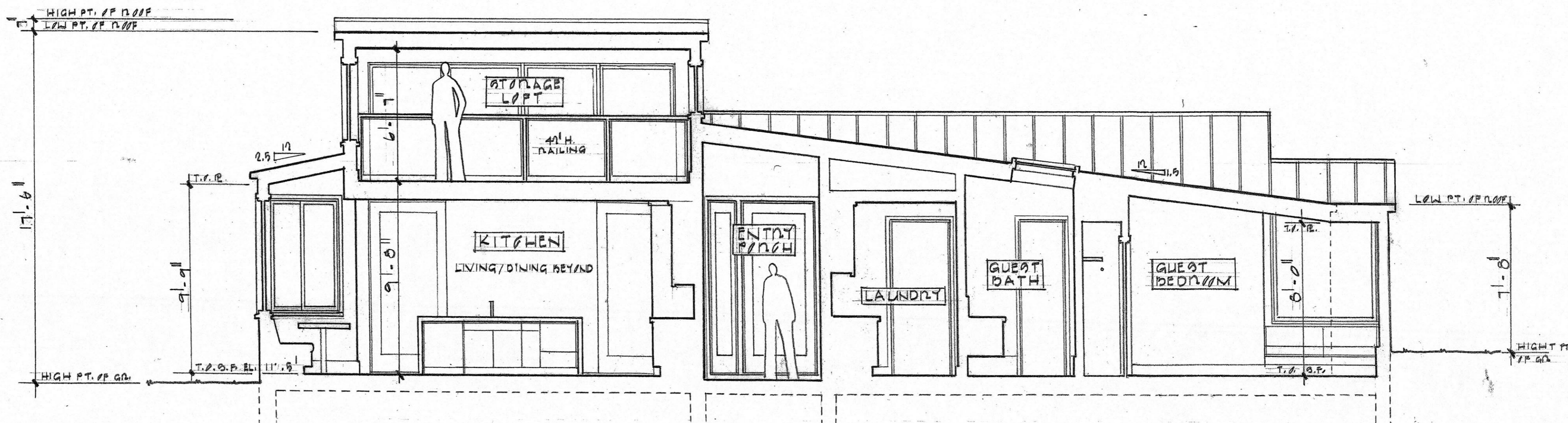
Long-life LED system coupled with electrical driver to deliver optimal performance. Electronic drivers are available for 120-277 applications. The standard driver is ELV reverse phase dimmable. Type IV-Forward throw optic is standard.

Installation
Supplied with a mounting back for a standard 4" J-box or stucco ring. Optional rear (through wall) feed conduit mounting. Surface mount conduit power feed - Contact factory.

Options
Rear (through wall) Feed Conduit Mounting (C), Blunt Nose (BN), Photocell with 1 1/2" deep back support (PH), Quartz Restrike - MH 11" only (QR), Clear Tempered Glass Lens for full cut-off (TGL) (Dark Sky Compliant).

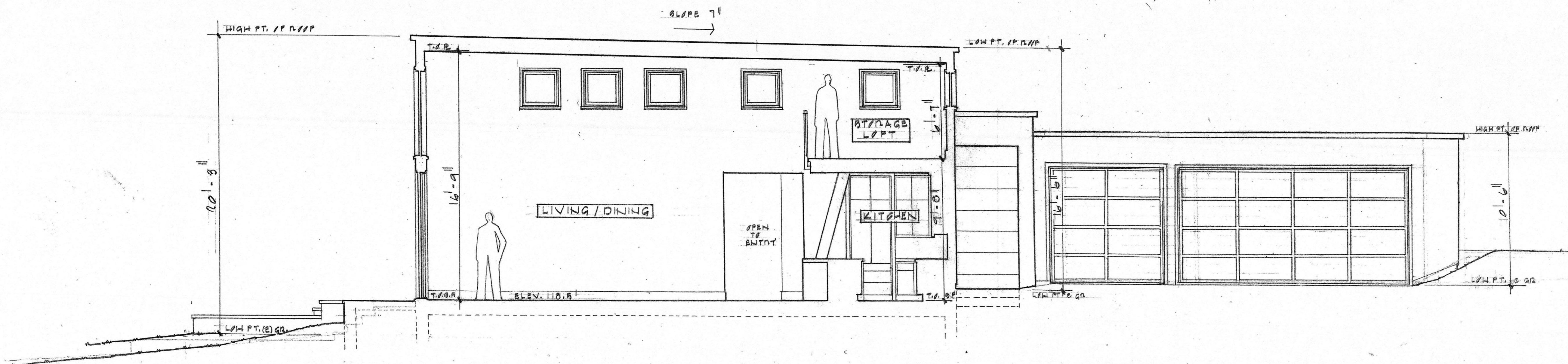
Labels
U.L. and C.U.L. listed for wet location.

Modifications
Shaper's skilled craftspeople with their depth of experience offer the designer the flexibility to modify standard exterior wall luminaires for project specific solutions. Contact the factory regarding scale options, unique finishes, mounting, additional materials/colors, or decorative detailing.



SECTION THRU KITCHEN/ENTRY PORCH/GUEST BEDROOM

1/4" = 1'-0"



SECTION THRU LIVING/DINING/KITCHEN

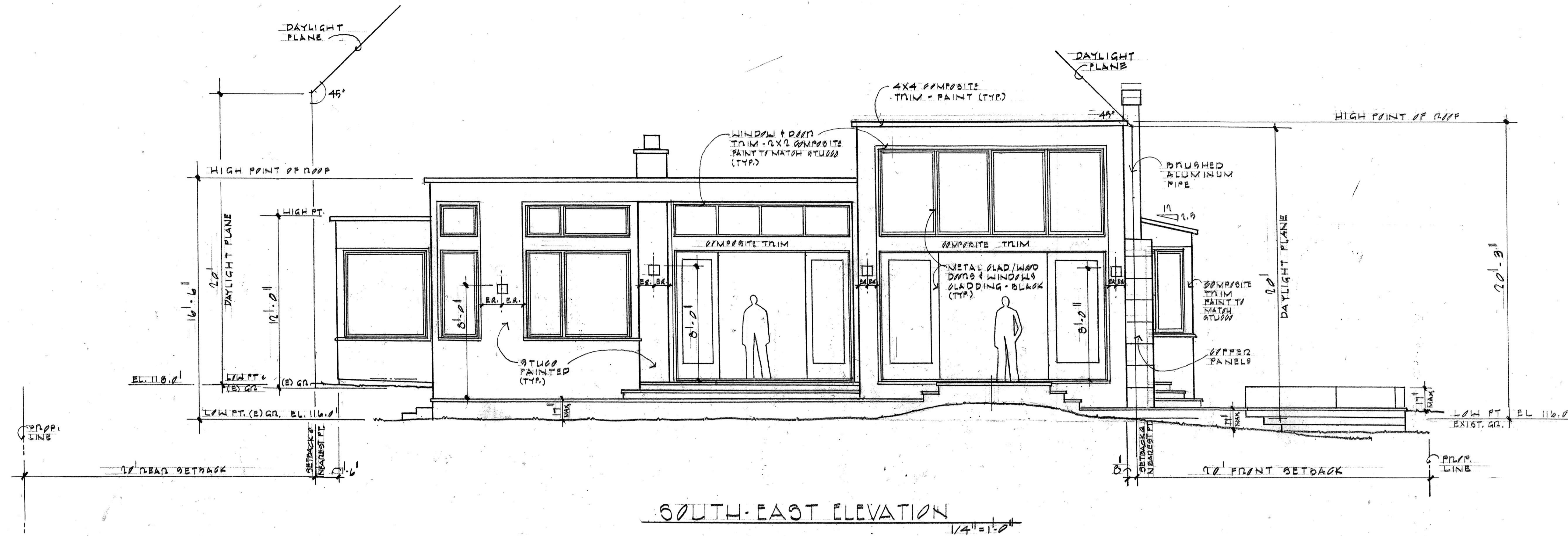
1/4" = 1'-0"

REVISIONS	NO.

Batter & Saffell
Architecture + Design
4801 PARK BOULEVARD
OAKLAND, CALIFORNIA 94602
PHONE 510 530 9231 FAX 510 530 9223

EPPE'S RESIDENCE
LOTS 11-15, PARKWAY, MOSS BEACH, CA.

Date	10-7-19
Scale	
Drawn	
Job	
Sheet	A3
Of	3



SOUTH-EAST ELEVATION
1/4" = 1'-0"



NORTH-EAST ELEVATION
1/4" = 1'-0"

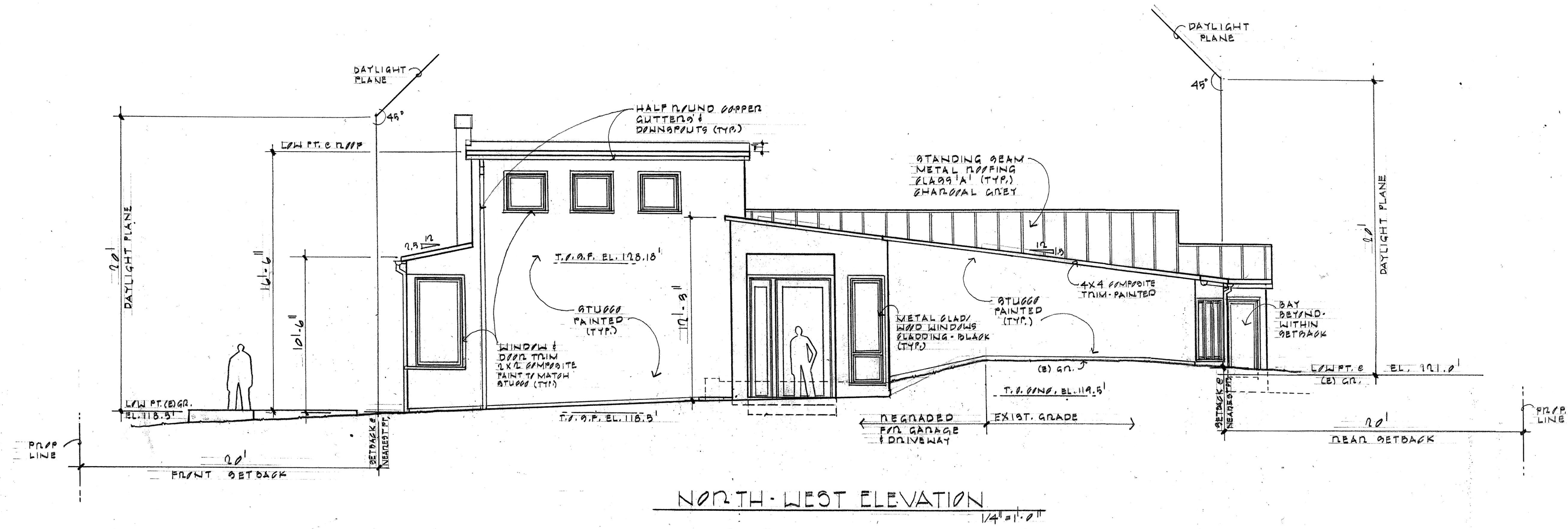
EPPE'S RESIDENCE
LOTS 11-15, PARK AVE, MODO BEACH, CA.

REVISIONS	BY

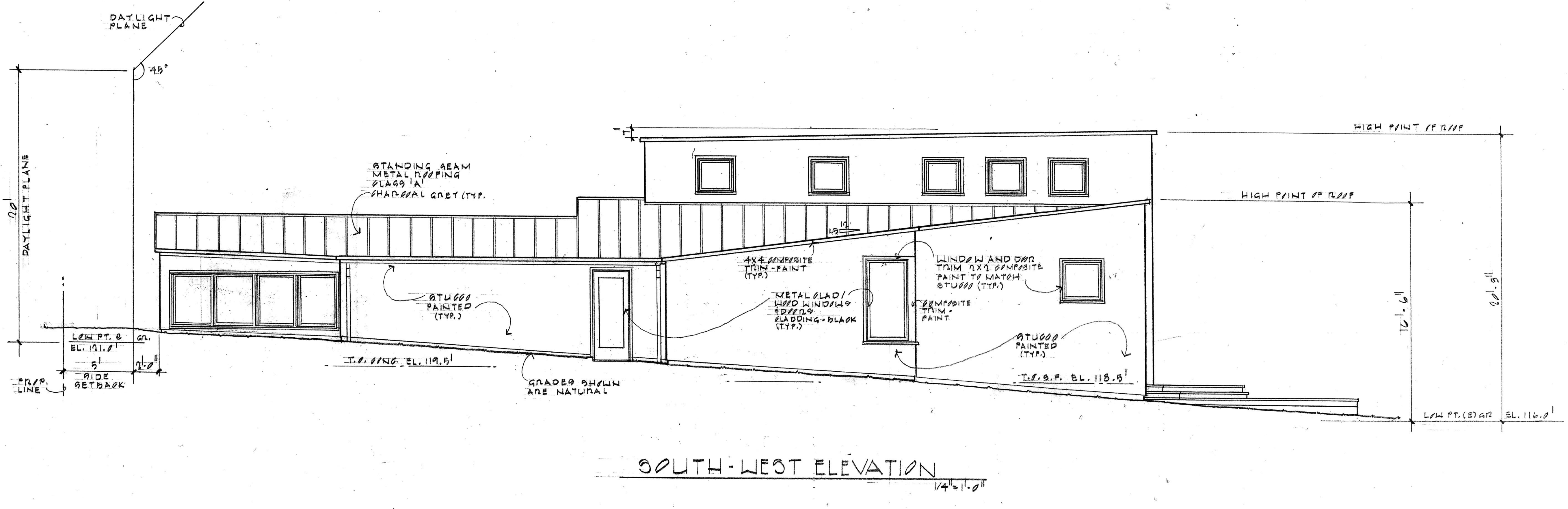
Dotter & Seiffeld
 Architecture + Design
 4881 PARK BOULEVARD
 OAKLAND, CALIFORNIA 94602
 PHONE 510 530 9231 FAX 510 530 9223

EPPE'S RESIDENCE
 LOTS 11-15, PARKWAY, MESA BEACH, CA.

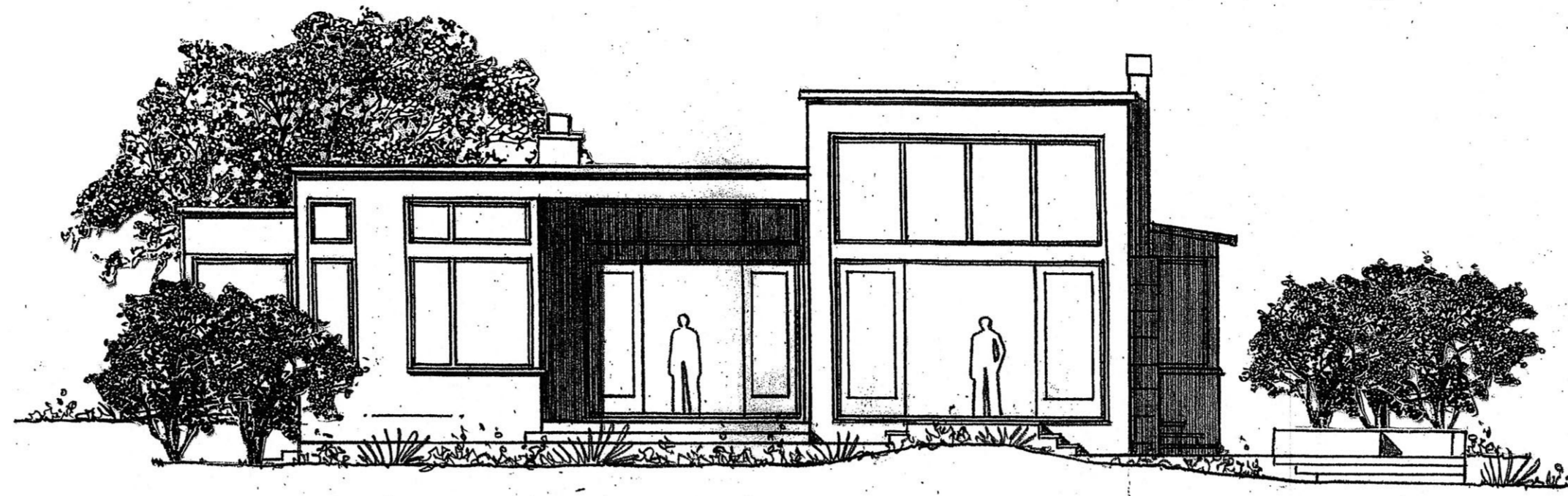
Date 10-7-19
 Scale
 Drawn
 Job
 Sheet **A5**
 Of 5 Sheets



NORTH-WEST ELEVATION
 1/4" = 1'-0"



SOUTH-WEST ELEVATION
 1/4" = 1'-0"



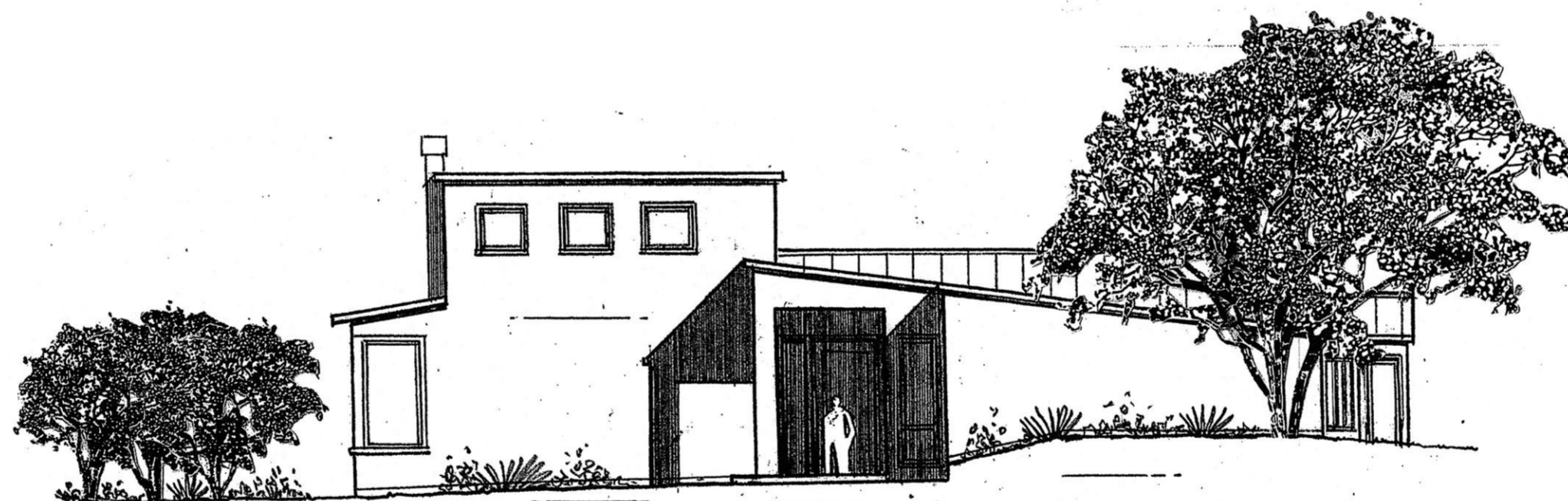
SOUTH-EAST ELEVATION

1/8" = 1'-0"



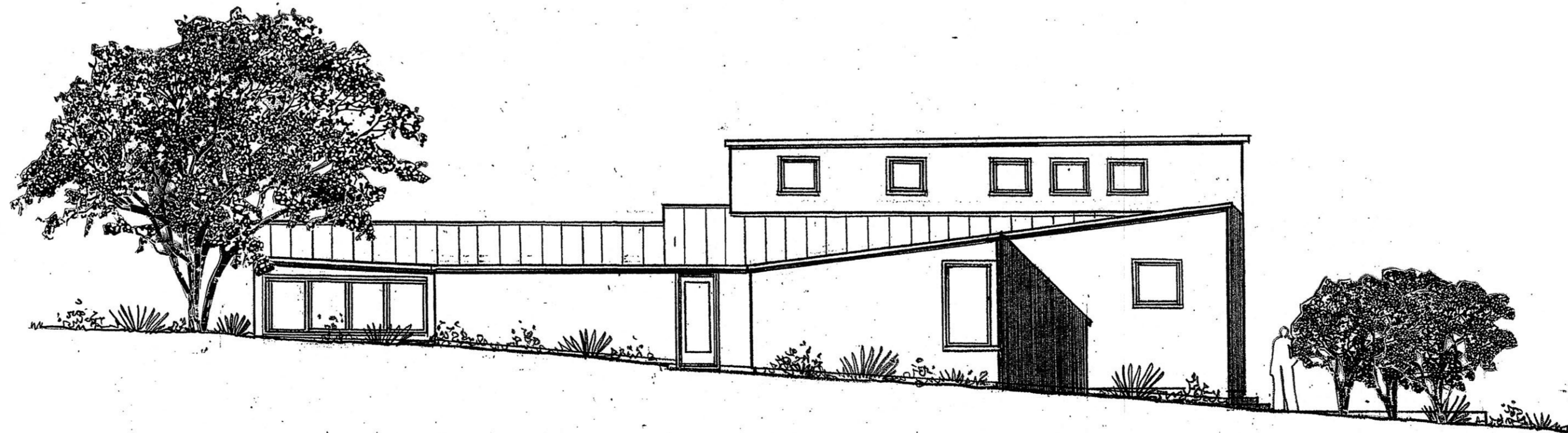
NORTH-EAST ELEVATION

1/8" = 1'-0"



NORTH-WEST ELEVATION

1/8" = 1'-0"



SOUTH-WEST ELEVATION

1/8" = 1'-0"

REVISIONS BY

Dotter & Solfield
Architecture + Design
4801 PARK BOULEVARD
OAKLAND CALIFORNIA 94602
PHONE 510 530 9231 FAX 510 530 9223

EPPE'S RESIDENCE

LOTS 11-15, PARK AVE, MISSISSAUGA, ONT.

Date 10-7-19

Scale

Drawn

Job

Sheet

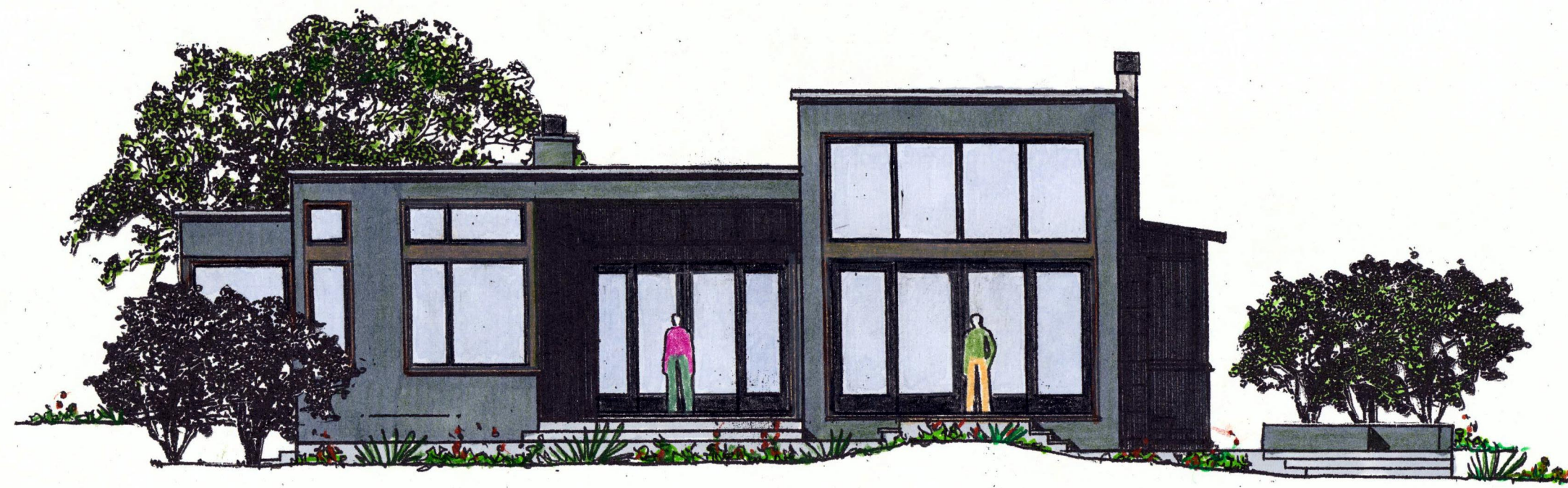
Of 6
Sheets

REVISIONS	BY

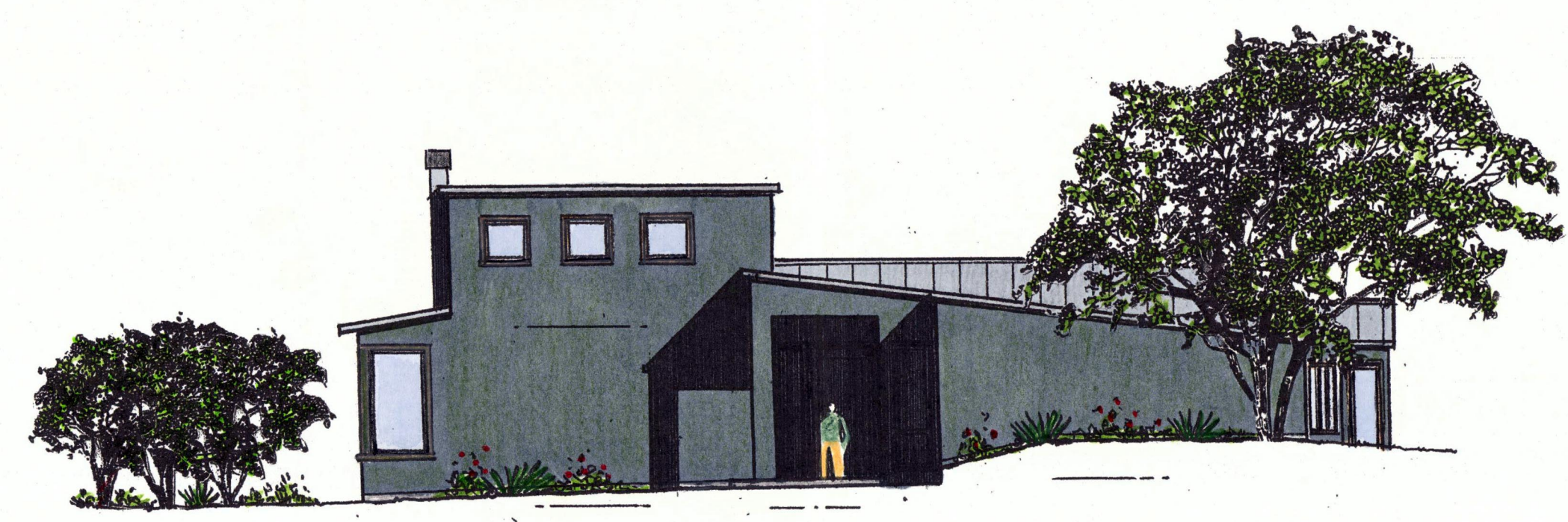
Dotter & Solfield
 Architecture + Design
 4801 PARK BOULEVARD
 OAKLAND, CALIFORNIA 94602
 PHONE 510 530 9231 FAX 510 530 9223

EPPER RESIDENCE
 LOTS 11-15, PARKWAY, MISS BEACH, CA

Date
Scale
Drawn
Job
Sheet A6 Of Sheets



SOUTH-EAST ELEVATION
 1/08/11-21



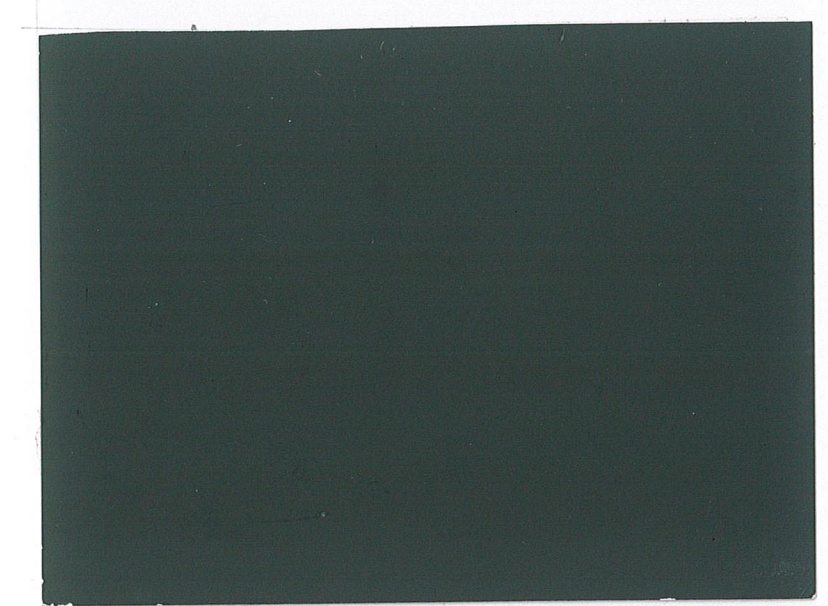
NORTH-WEST ELEVATION
 1/08/11-21



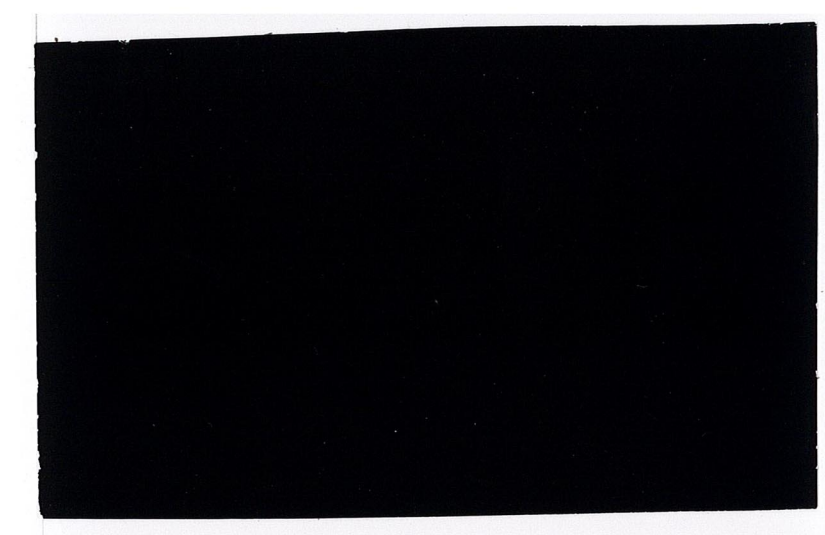
NORTH-EAST ELEVATION
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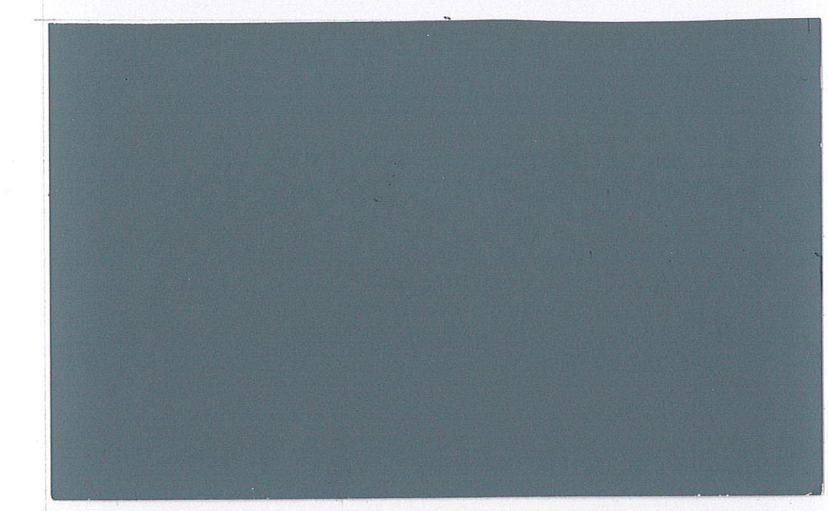
SOUTH-WEST ELEVATION
 1/08/11-21



house stucco color



window and door
 cladding



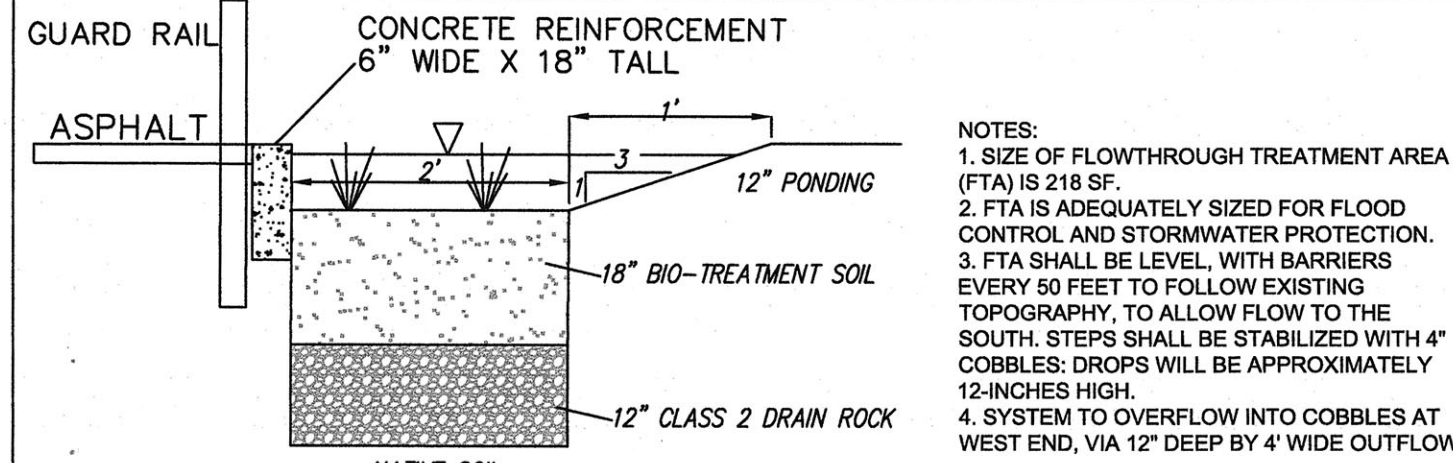
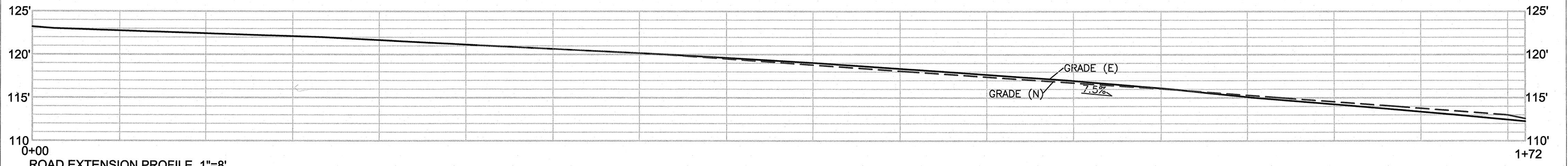
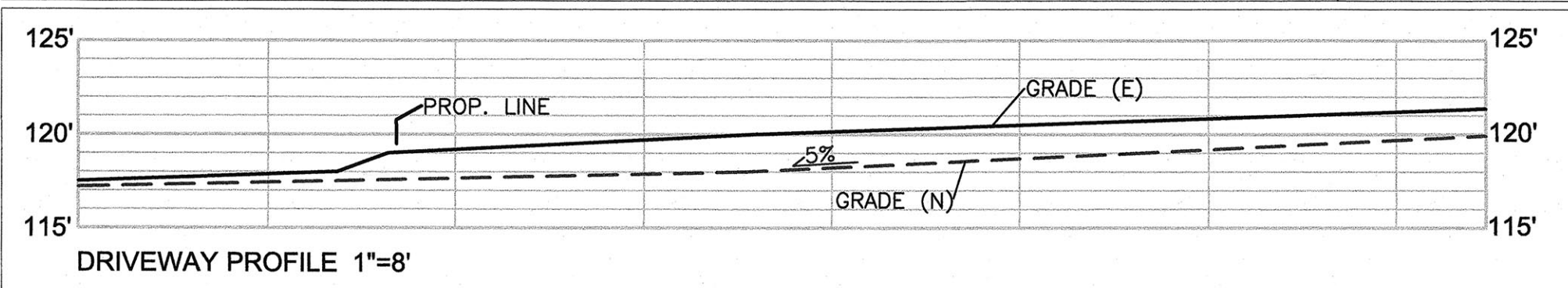
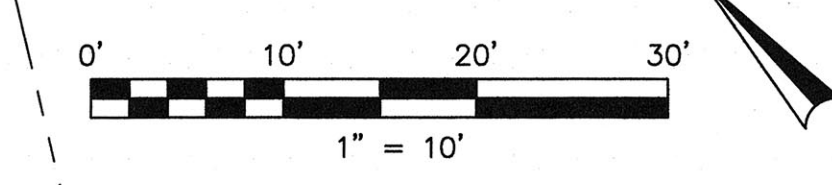
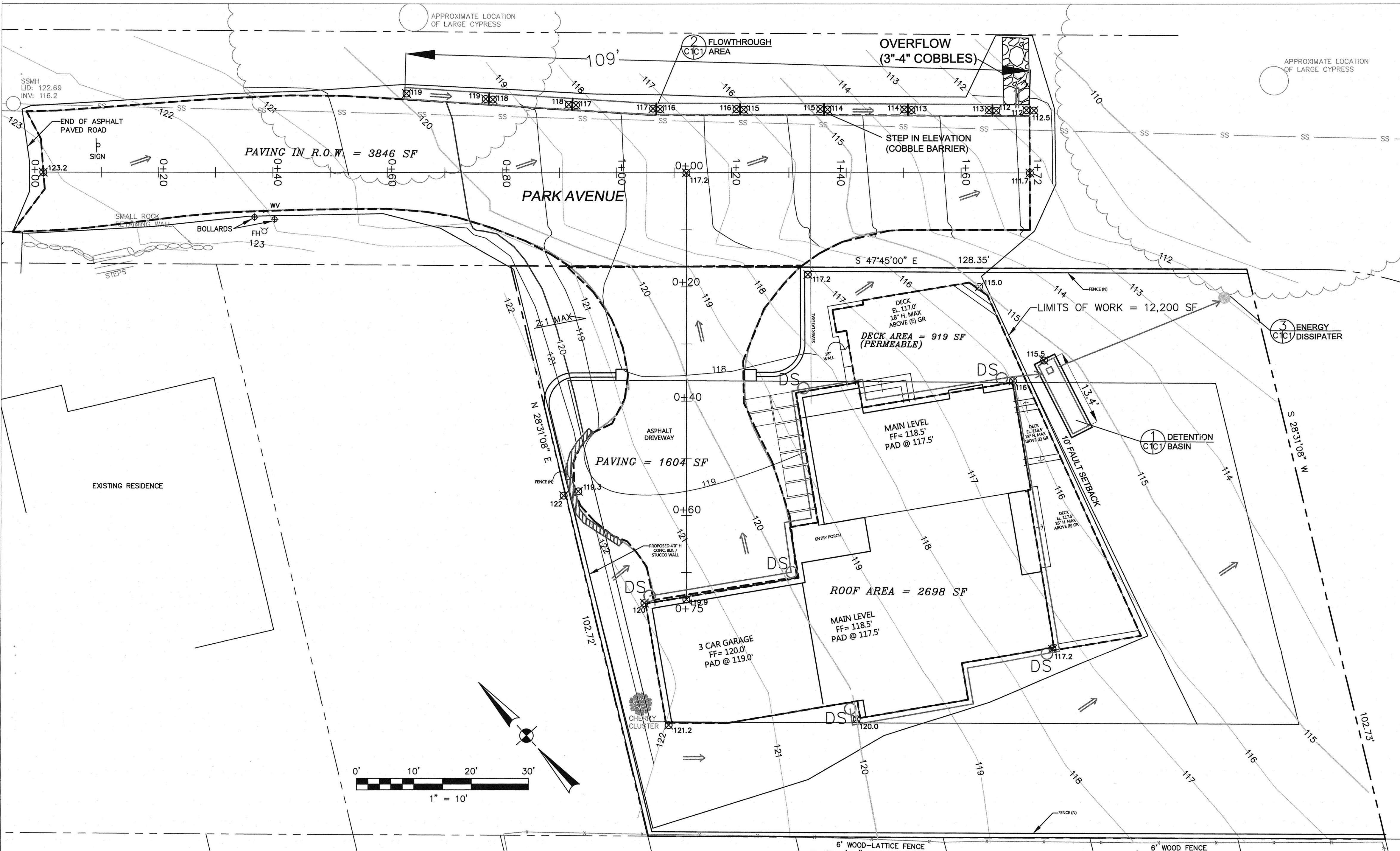
standing seam
 metal roofing



copper metal panels



stone veneer
 on landscape walls



- NOTES:
1. SIZE OF FLOWTHROUGH TREATMENT AREA (FTA) IS 218 SF.
 2. FTA IS ADEQUATELY SIZED FOR FLOOD CONTROL AND STORMWATER PROTECTION.
 3. FTA SHALL BE LEVEL, WITH BARRIERS EVERY 50 FEET TO FOLLOW EXISTING TOPOGRAPHY, TO ALLOW FLOW TO THE SOUTH. STEPS SHALL BE STABILIZED WITH 4\"/>
 - 4. SYSTEM TO OVERFLOW INTO COBBLES AT WEST END, VIA 12\"/>

2 FLOW THROUGH AREA
C1C1 NOT TO SCALE

LEGEND

- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- PROPOSED CONTOUR
- X 154.96 SPOT ELEVATION (E)
- X 155.9' SPOT ELEVATION (N)
- PROPOSED RETAINING WALL
- SURFACE DRAINAGE FLOW
- DS DOWNSPOUT
- 4" DIAM. PVC DRAIN PIPE
- 4" PERFORATED PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.
- ENERGY DISSIPATER - PER DETAIL 3

GENERAL NOTES

1. PLANS PREPARED AT REQUEST OF: MARK STEGMAIER, PROPERTY OWNER.
2. ELEVATION DATUM: NAVD88
3. CONTOUR INTERVAL IS 1 FOOT.
4. SITE SURVEYED BY BGT LAND SURVEYING, SURVEYED 4-18-18.
5. THIS IS NOT A BOUNDARY SURVEY.

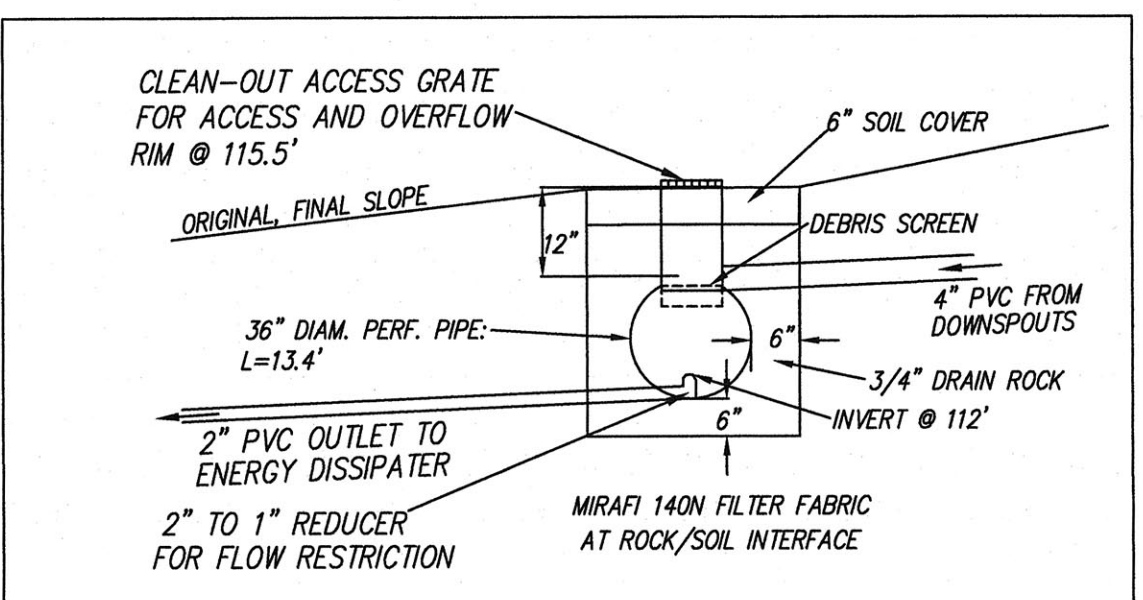
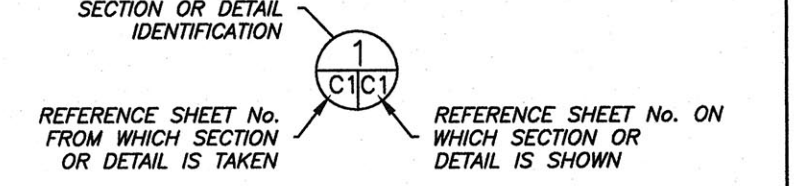
DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF AND RUNOFF FROM PAVED AREAS TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
2. ALL ROOF DRAIN LINES SHALL LEAD TO DETENTION BASIN SHOWN.
3. ALL DRAINAGE PIPES SHALL BE 4" MIN. DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
4. RUNOFF FROM PAVED AREAS (ROAD EXTENSION AND DRIVEWAY) SHALL FLOW TO FLOWTHROUGH AREA, AS SHOWN.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE BIOTENTION AREA TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

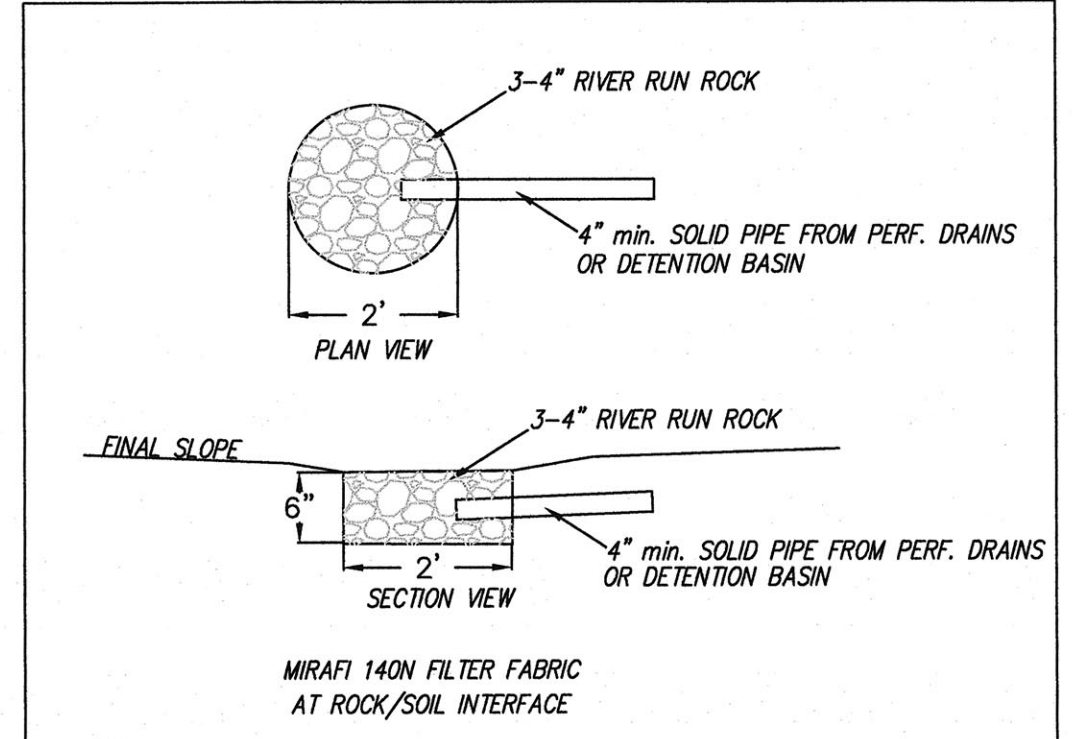
GRADING NOTES

- CUT VOLUME: 385 CY
- FILL VOLUME: 0 CY
- ABOVE VOLUMES ARE APPROXIMATE.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- CUT SLOPES SHALL BE NO STEEPER THAN 2:1 (H:V).

SECTION AND DETAIL CONVENTION



1 DETENTION SYSTEM
C1C1 NOT TO SCALE



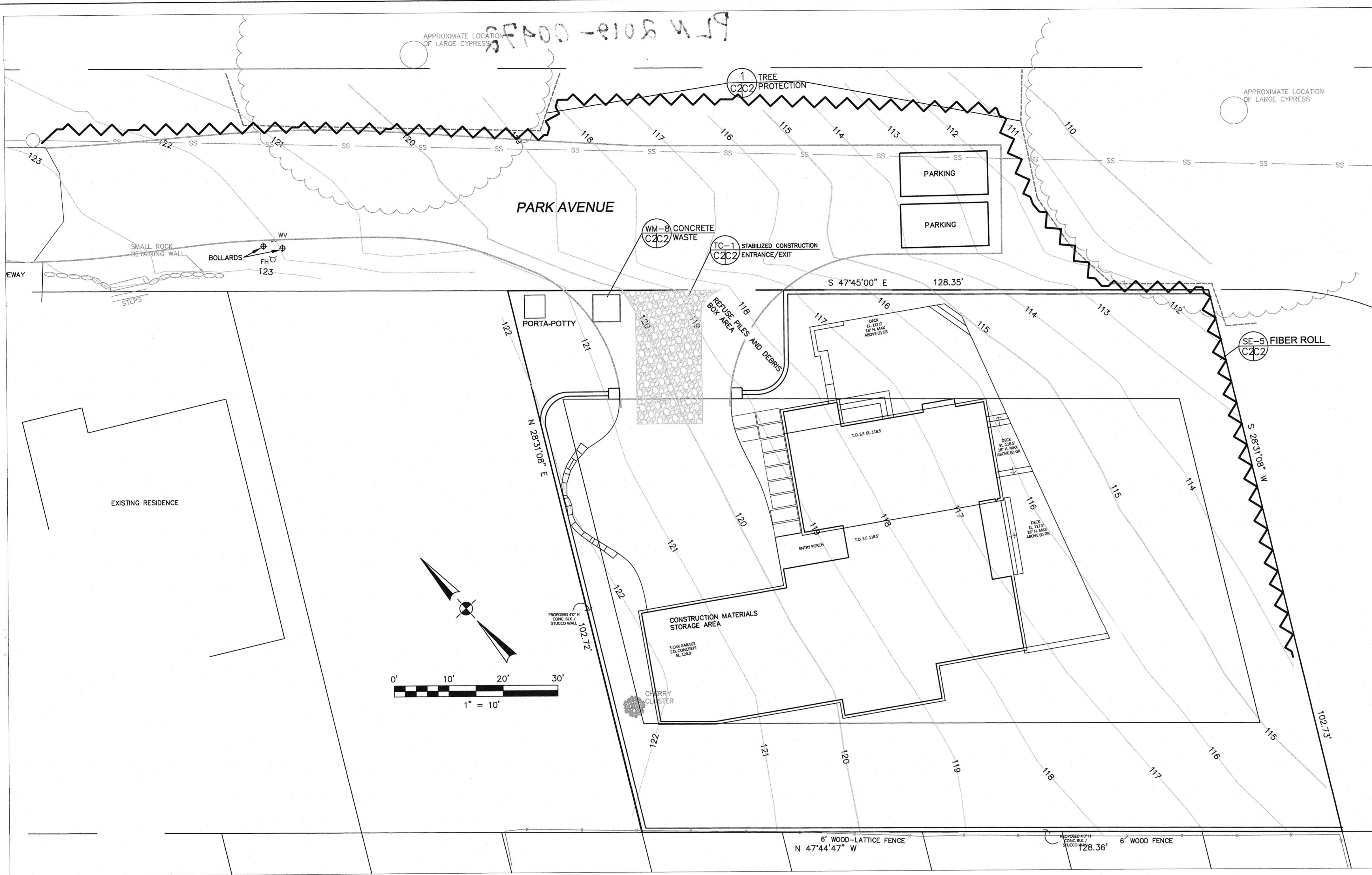
3 ENERGY DISSIPATER
C1C1 NOT TO SCALE

DATE: 11-12-19	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE:	REV. DATE:	REV. DATE:
Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593					

GRADING AND DRAINAGE PLAN

PARK AVENUE,
MOSS BEACH
APN 037-259-310

SHEET
C-1



GENERAL EROSION AND SEDIMENT CONTROL NOTES

- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFIX AS SHOWN IN DETAIL SE-5
- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.

EROSION CONTROL POINT OF CONTACT

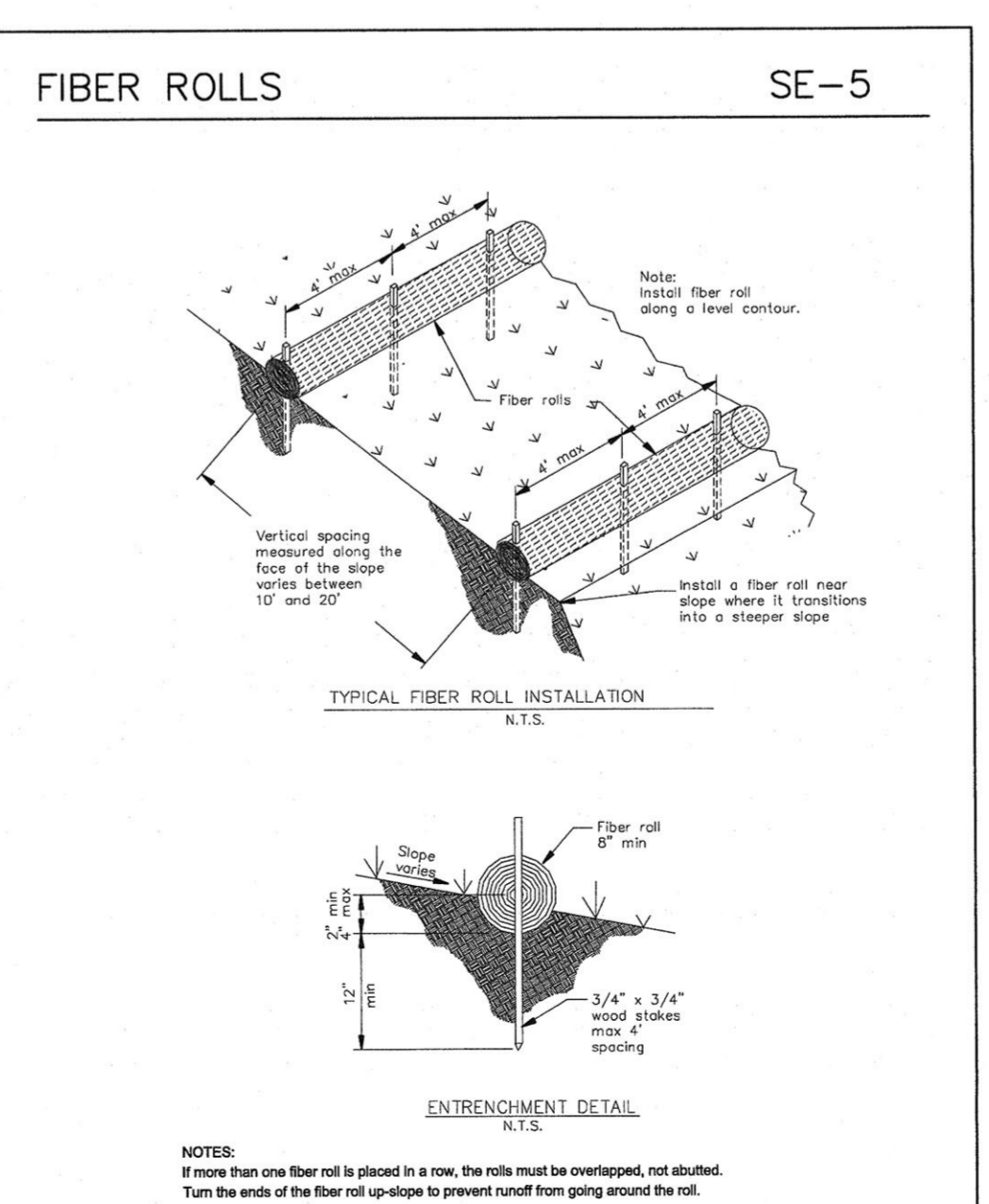
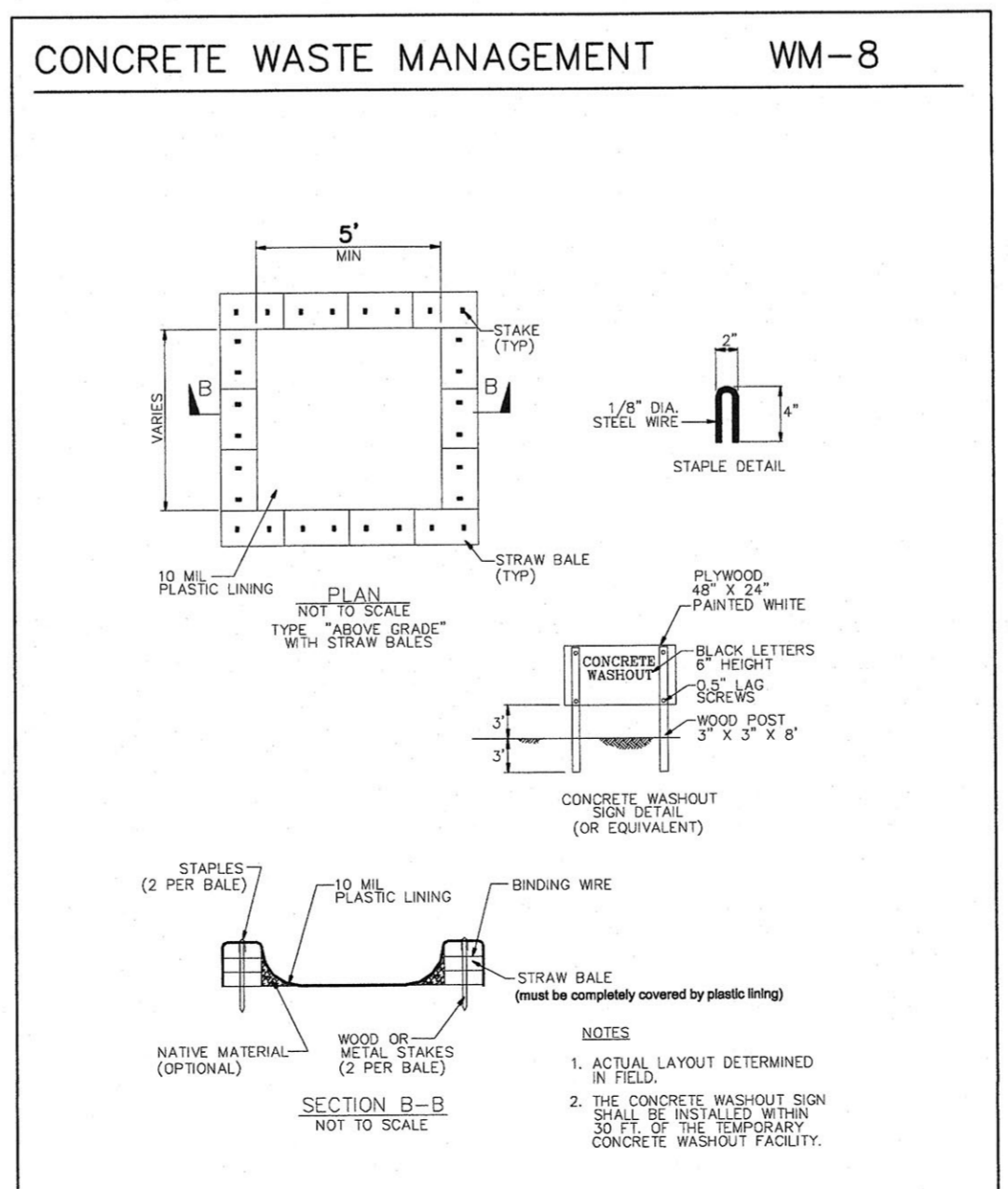
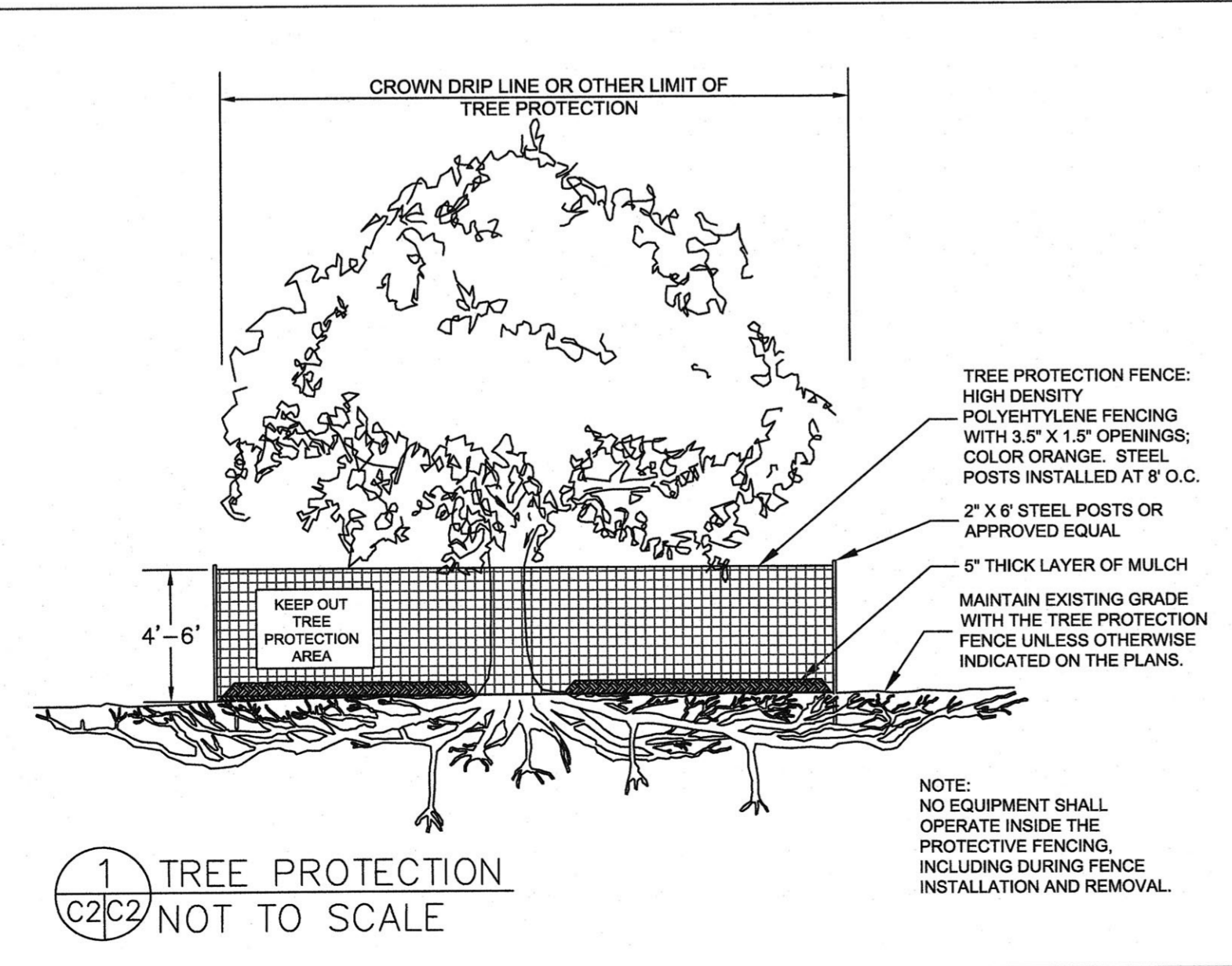
THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: MARK STEGMAIER
 TITLE/QUALIFICATION: CONTRACTOR
 PHONE: 650-728-0960
 PHONE:
 E-MAIL: MARK@SIERRAWESTBUILDERS.COM

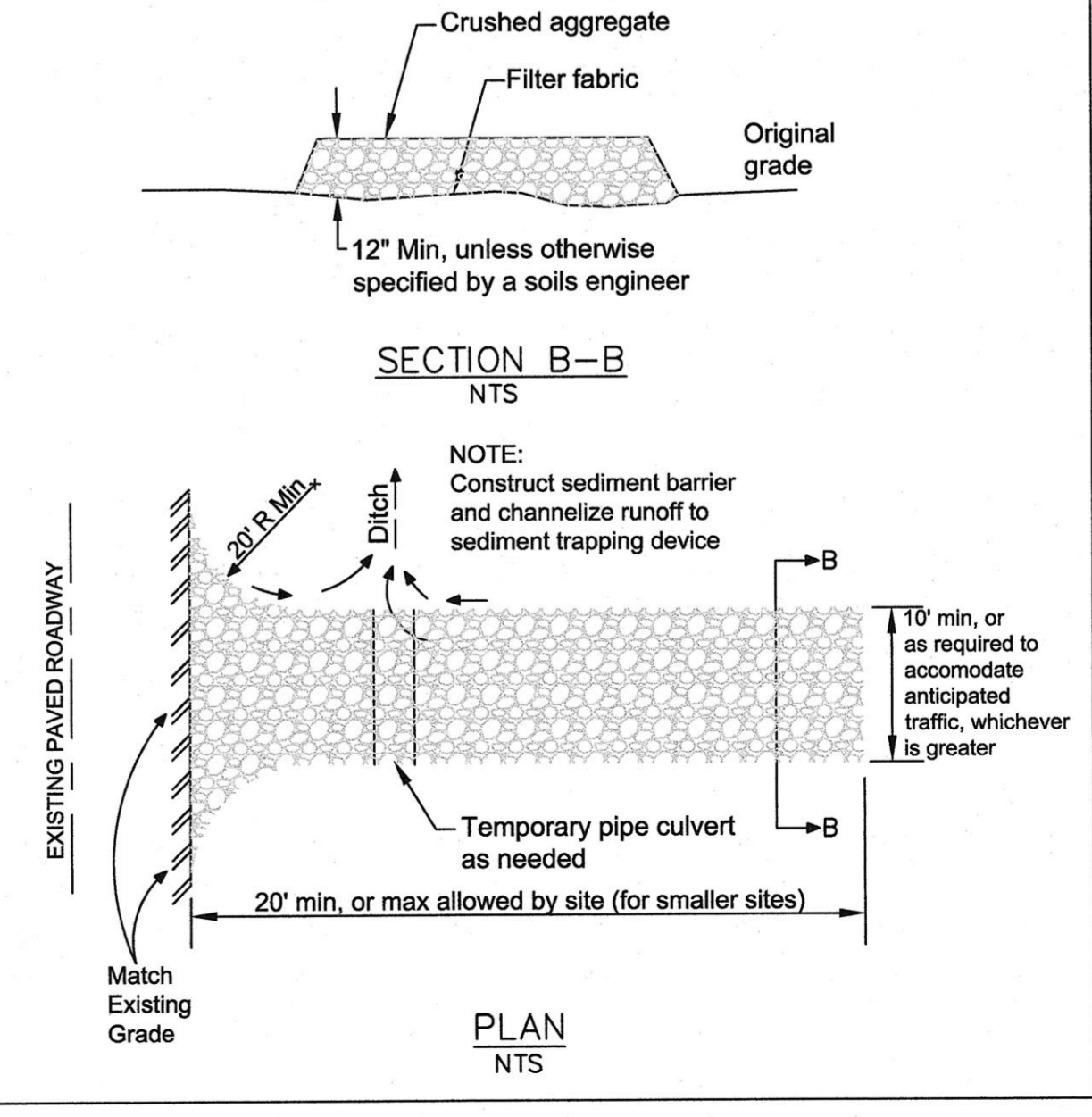


TREE PROTECTION NOTES

- TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
- TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
- OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
- ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
- ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
- PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



EROSION AND SEDIMENT CONTROL PLAN

DATE: 11-12-19
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE:
 REV. DATE:
 REV. DATE:

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SHEET C-2