

WGS_1984_Web_Mercator_Auxiliary_Sphere
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1:2,257



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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Planning and Building Department

Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650.363.4161 ■ FAX 650.363.4849

Permit #: PLN 2019-06326

Other Permit #: _____

1. Basic Information

Applicant:

Name: Helen Sattelmayer

Address:

Redwood City Zip: 94062

Phone,W: 6502345517 H:

Email: Helen.J.Sattelmayer@morganstanleypwm.com

Owner (if different from Applicant):

Name:

Address:

Zip:

Phone,W: H:

Email:

Architect or Designer (if different from Applicant):

Name:

Address: Zip:

Phone,W: H: Email:

2. Project Site Information

Project location:

APN: 37277160

Address: Madrone Ave./ Del Mar Ave.

Moss Beach, CA Zip: 94,038

Zoning: R-1, S-17

Parcel/lot size: 5,000 sq. ft.

Site Description:

- Vacant Parcel
Existing Development (Please describe):

3. Project Description

Project:

- New Single Family Residence: _____ sq. ft
Addition to Residence: _____ sq. ft
Other: _____

Describe Project:

Additional Permits Required:

- Certificate of Compliance Type A or Type B
Coastal Development Permit
Fence Height Exception (not permitted on coast)
Grading Permit or Exemption
Home Improvement Exception
Non-Conforming Use Permit
Off-Street Parking Exception
Variance

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish (If different from existing, attach sample)	Check if matches existing
a. Exterior walls	Fiber cement horiz. siding		<input type="checkbox"/>
b. Trim	Hardie window and door trims		<input type="checkbox"/>
c. Windows	Vinyl	White	<input type="checkbox"/>
d. Doors	Front (wood) Garage (alum)	Medium wood stain	<input type="checkbox"/>
e. Roof	Corning Supreme shingle	Onyx Black	<input type="checkbox"/>
f. Chimneys	N/A		<input type="checkbox"/>
g. Decks & railings	Composite	Medium wood look	<input type="checkbox"/>
h. Stairs	Wood	Medium wood look	<input type="checkbox"/>
i. Retaining walls	N/A		<input type="checkbox"/>
j. Fences	Wood	Match adjacent properties	<input type="checkbox"/>
k. Accessory buildings	N/A		<input type="checkbox"/>
l. Garage/Carport	Same as residence		<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Helen Sattelmayer
 Owner: _____

Applicant: _____

08/23/19
 Date: _____

Date: _____

SELECT SAN MATEO COUNTY APPLICABLE ZONING CODES & NOTES

CHAPTER 20. "S-105" DISTRICT (COMBINING DISTRICT – MIDCOAST)

SECTION 6300.14.30. BUILDING SETBACKS. The minimum setbacks shall be:
 Front Setback: 20'
 Rear Setback: 20'
 Side Setback: 10'

SECTION 6300.14.40. PARCEL COVERAGE. The maximum parcel coverage shall be 0.25 (25%).

Parcel coverage shall include all: (1) buildings, (2) accessory buildings, or (3) structures such as patios, decks, balconies, porches, bridges, and other similar uses which are eighteen (18) inches or more above the ground.

SECTION 6300.14.50. BUILDING FLOOR AREA.
 a. The maximum building floor area shall be established according to the following table.

Parcel Size	Maximum Building Floor Area
2,500 - 11,698 sq. ft., or less than 17.5 feet parcel width	0.48 (parcel size)

The maximum building floor area shall include the floor area of all stories of all buildings and accessory buildings on a building site. Maximum building floor area specifically includes: (1) the floor area of all stories excluding uninhabitable attics as measured from the outside face of all exterior perimeter walls, (2) the area of all decks, porches, balconies or other areas covered by a waterproof roof which extends four (4) or more feet from exterior walls, and (3) the area of all garages and carports.

SECTION 6300.14.70. BUILDING HEIGHT. The maximum building height shall be established, as follows:
 a. Up to 30% Slope. Where the average slope of the parcel area covered by the main residence is less than 30%, maximum building height is 28 feet.

SECTION 6375. GENERAL PARKING REQUIREMENTS. The parking requirements in this Chapter shall replace Zoning Regulations Chapter 3 for all residential, commercial and institutional building types which require off-street parking. This section includes general parking standards while specific parking requirements are contained in land use designation sections.

SECTION 6117
 1. Size of Spaces. Each required parking space shall be at least 9 feet wide and 19 feet deep.

Lighting
 Discussion: The location and style of exterior and interior lighting chosen for a single-family home can have a significant impact on the home's design. It can also affect adjacent neighbors, or depending on topography, more distant views from scenic corridors. An appropriate lighting plan will complement the home's design and provide adequate light and security for the subject site. At the same time, the plan should prevent direct light and glare from extending in any direction, including upward, beyond the boundaries of the site. In general, lowlevel lighting directed toward the ground is preferred.

SECTION 6300.14.90. DAYLIGHT PLANE OR FAÇADE ARTICULATION. New residential development shall conform to either the daylight plane or façade articulation options described in this section, as determined by the project applicant.
 a. Daylight Plane Option
 The daylight plane shall be established on two opposite house sides, i.e., either from the front and rear setback lines, or from the side setback lines, as determined by the project applicant and approved by the Design Review Committee.

The daylight plane shall be measured from the setback line at natural grade, upward a vertical distance of 20 feet, and then inward at an angle of 45° until the maximum building height is reached.
 Cornices, canopies, eaves, roof overhangs, chimneys, fire escapes, stairways; landing places; uncovered porches, and similar architectural features may extend into the daylight plane at the front, side, or rear yard, to the extent allowed by Zoning Regulations Section 6406.
 Chimneys, pipes, mechanical equipment, antennae, and similar equipment may extend into the daylight plane up to a maximum of 36 feet as required for safety or efficient operation.
 Dormers, gables and other architectural features located in the center 60% of the house may extend into the angled portion of the daylight plane, subject to Design Review Committee approval, provided that:
 (a) The combined length on any building side does not exceed 40% of the length of that building side, and the height of such features does not exceed 24 feet.
 (b) The combined length on any building side does not exceed 30% of the length of

b. Facade Articulation Option
 Facade articulation shall be provided on all building sides, and is subject to approval by the Design Review Committee. Facade articulation is intended to break up the appearance of shear walls through the placement of projecting or recessing architectural details, including decks, bays, windows, balconies, porches, overhangs, and cantilevered features.
 In order to approve proposed facade articulation, the Design Review Committee must find that: (1) all building facades are well articulated and proportioned, and (2) each building wall is broken up so as not to appear shear, blank, looming or massive to neighboring properties.

SECTION 6375. GENERAL PARKING REQUIREMENTS. The parking requirements in this Chapter shall replace Zoning Regulations Chapter 3 for all residential, commercial and institutional building types which require off-street parking. This section includes general parking standards while specific parking requirements are contained in land use designation sections.
 1. Size of Spaces. Each required parking space shall be at least 8.5 feet wide and 18 feet long, with adequate provisions for entry and exit by a standard passenger vehicle.

DESIGNER:
 F. WELLS

NO.	DESCRIPTION	BY	DATE

THESE CONSTRUCTION DOCUMENTS CREATED BY CUTTING EDGE HOMES ARE THE PROPERTY OF CUTTING EDGE HOMES. THESE DOCUMENTS ARE OWNED BY THE DESIGNER AND COPIES FOR APPROPRIATE PLANNING SUBMISSION & PERMITS SHALL BE PROVIDED TO THE OWNER. IF AGREED TO BY SEPARATE CONTRACT, OTHER THAN THE SPECIFIC PROJECT CONTRACT FOR, NO EXCEPTIONS.

PROJECT:
 Client Name: Helen Sattelmayer
 Property Address: Madrone X Del Mar
 Moss Beach, CA 94038
 APN: 037-277-160
 Client Phone Number: (650) 704-5324

DRAWINGS PROVIDED BY:
Cutting Edge Homes
 270 E Douglas Avenue
 El Cajon, CA 92020
 310 867 3953

DATE:

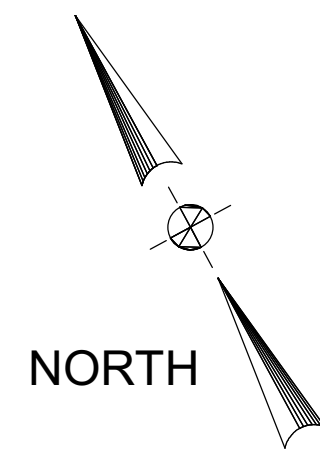
2/25/2020

SCALE:

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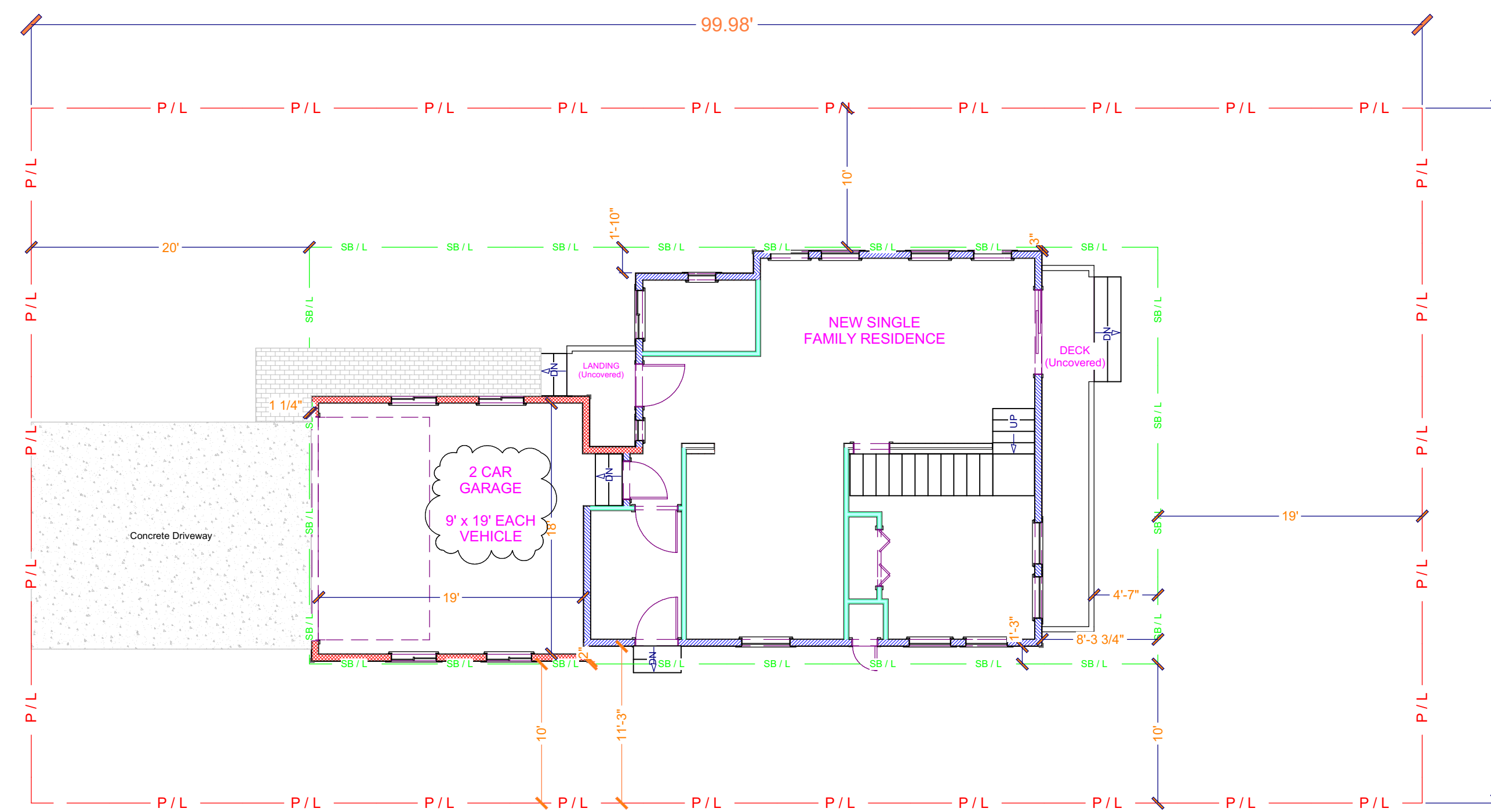
SHEET:

A-2



MADRONE AVENUE

DEL MAR AVENUE



Parking requirements per Section 6117 and require each space to be 9 x 19 ft

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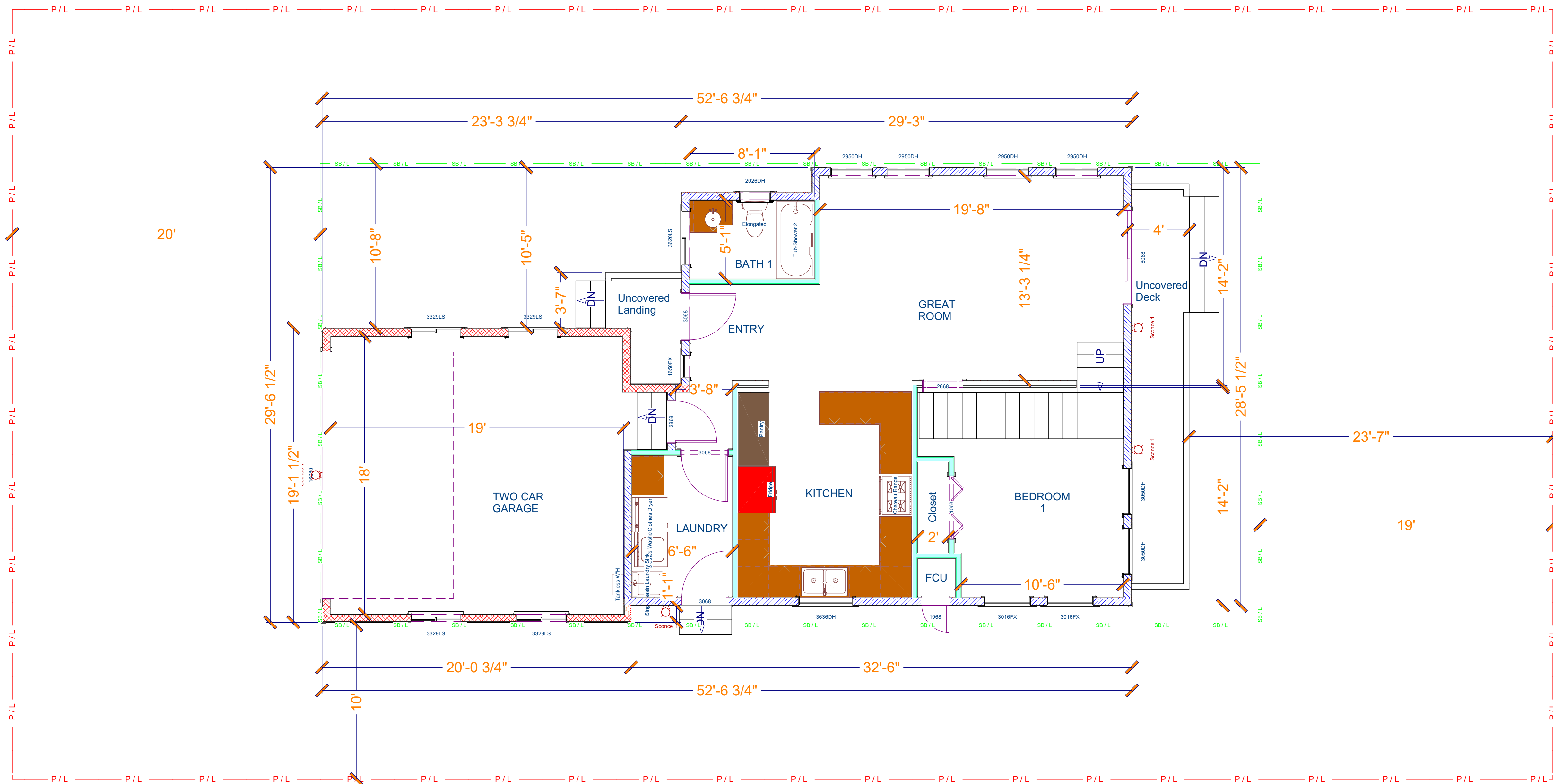
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SCALE:

1/8" = 1'

SHEET:

A-3



DESIGNER:
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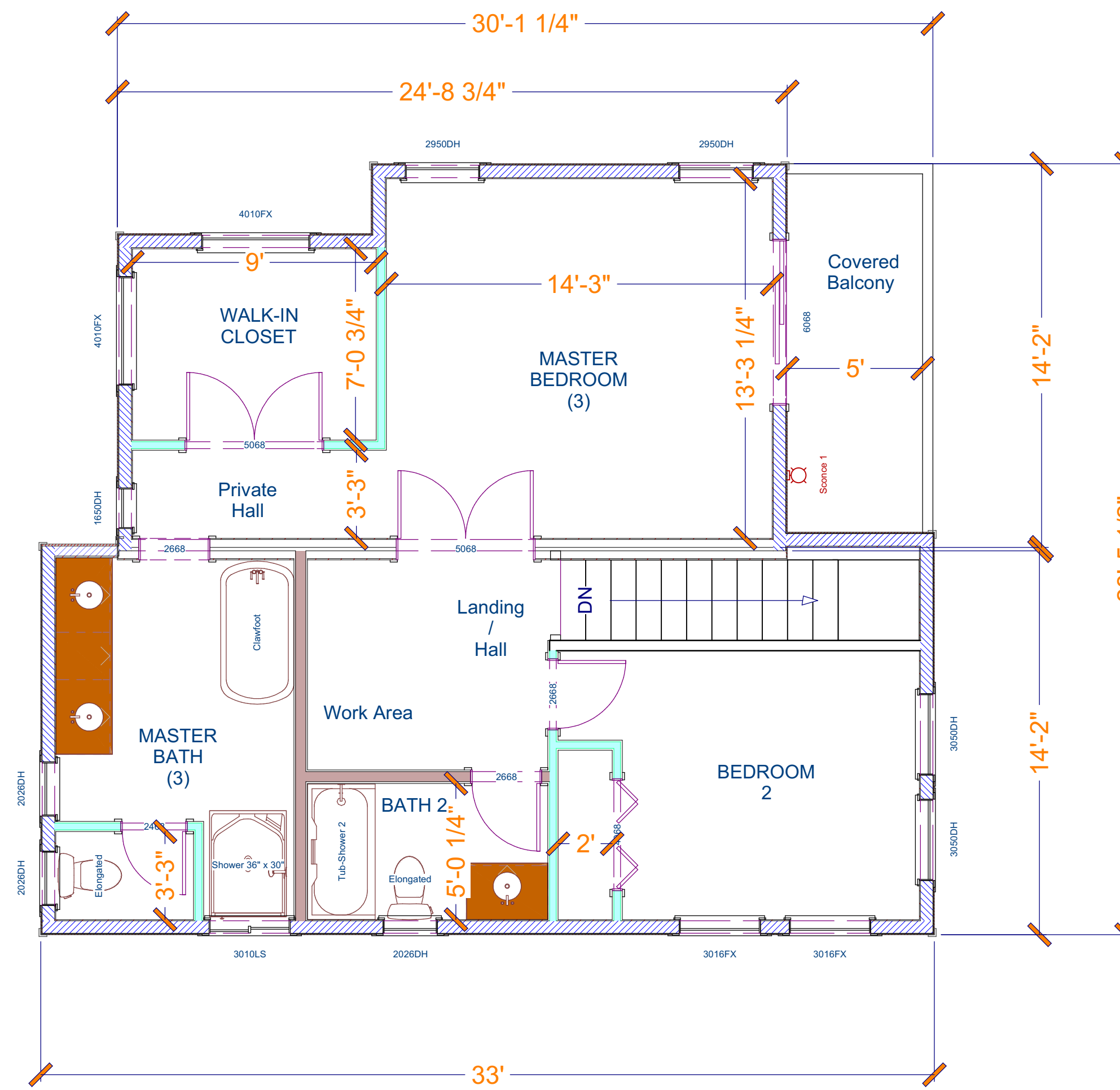
2/25/2020

SCALE:

1/4" = 1'

SHEET:

A-4



UPPER LEVEL PLAN

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NO.	DESCRIPTION	BY	DATE

DESIGNER:
 F. WELLS

DATE:

2/25/2020

SCALE:

1/4" = 1'

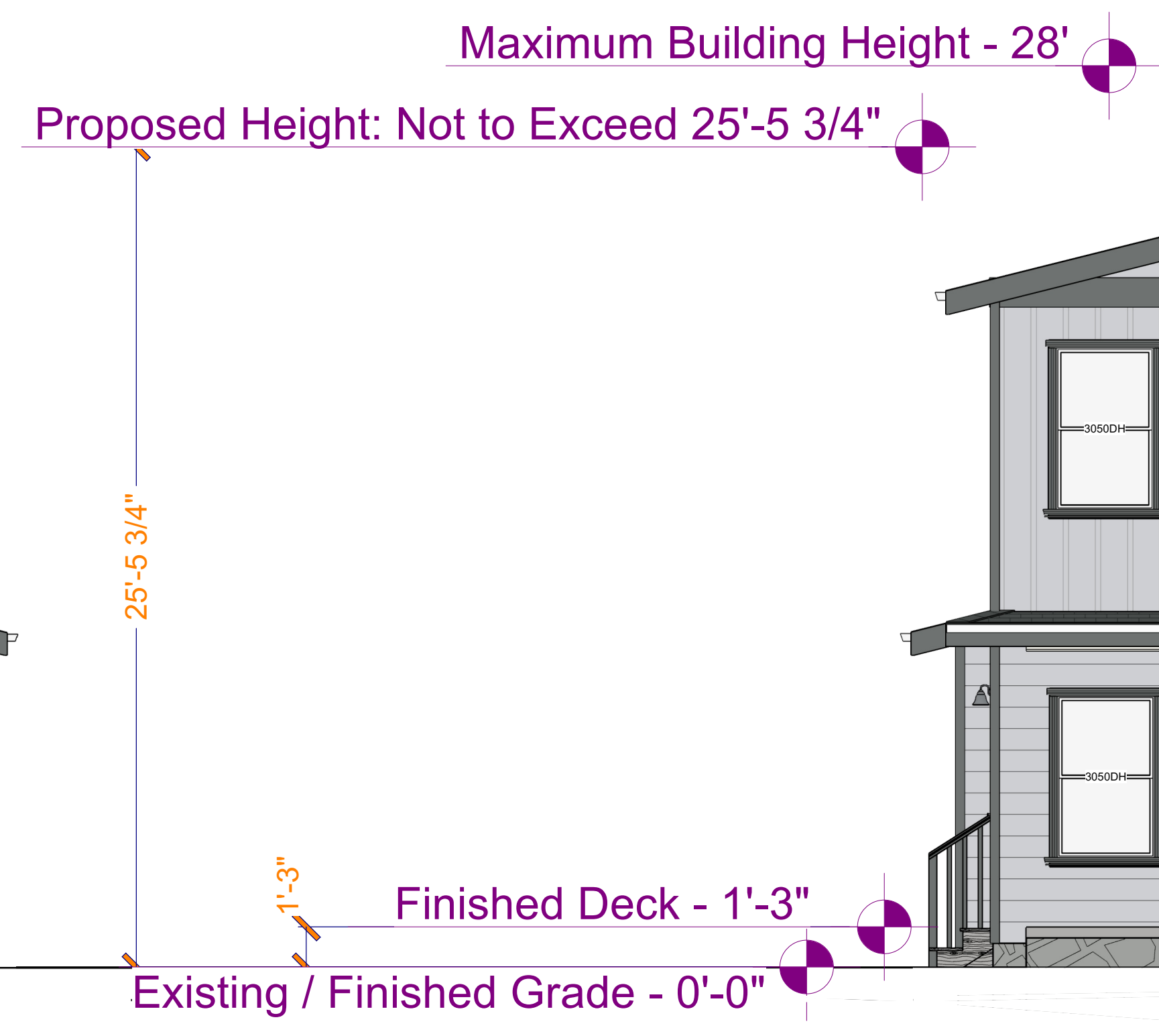
SHEET:

A-5



FRONT ELEVATION

Multiple Off-Sets Used on Front Elevation to Minimize Bulk and Increase Design Interest



REAR ELEVATION

Upper Balcony & Lower Decks Implemented in Design to Increase Design Interest

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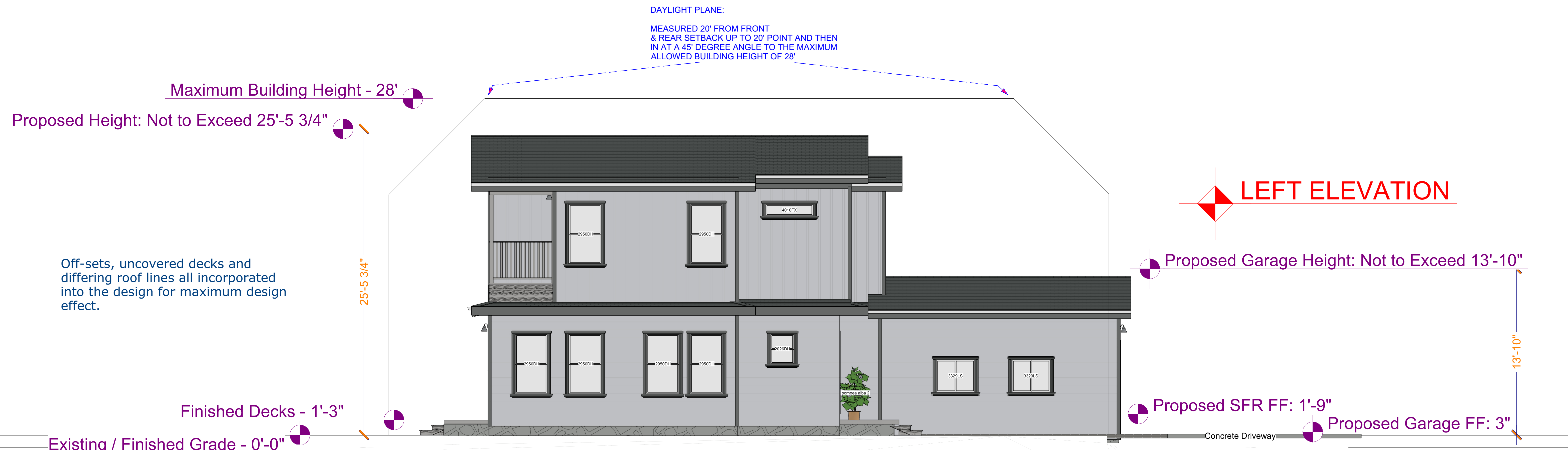
2/25/2020

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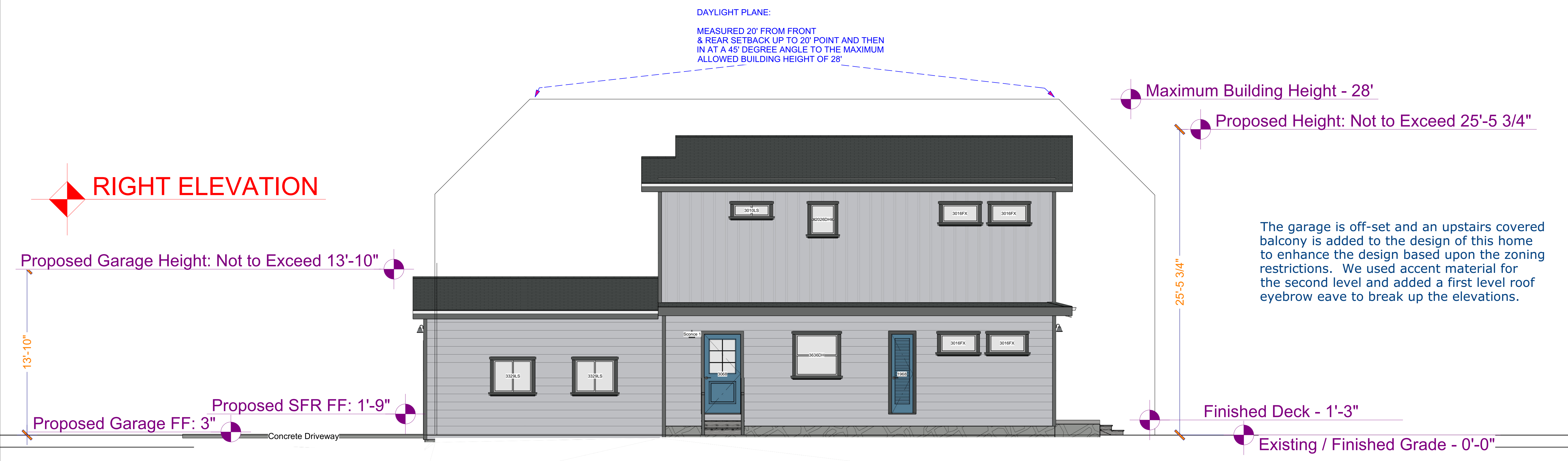
1/4" = 1'

SHEET:

A-6



LEFT ELEVATION



RIGHT ELEVATION

The garage is off-set and an upstairs covered balcony is added to the design of this home to enhance the design based upon the zoning restrictions. We used accent material for the second level and added a first level roof eyebrow eave to break up the elevations.

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310 867 3953

DATE:

2/25/2020

SCALE:

1/4" = 1'

SHEET:

A-7

Maximum Building Height - 28'
 Proposed Height: Not to Exceed 25'-5 3/4"

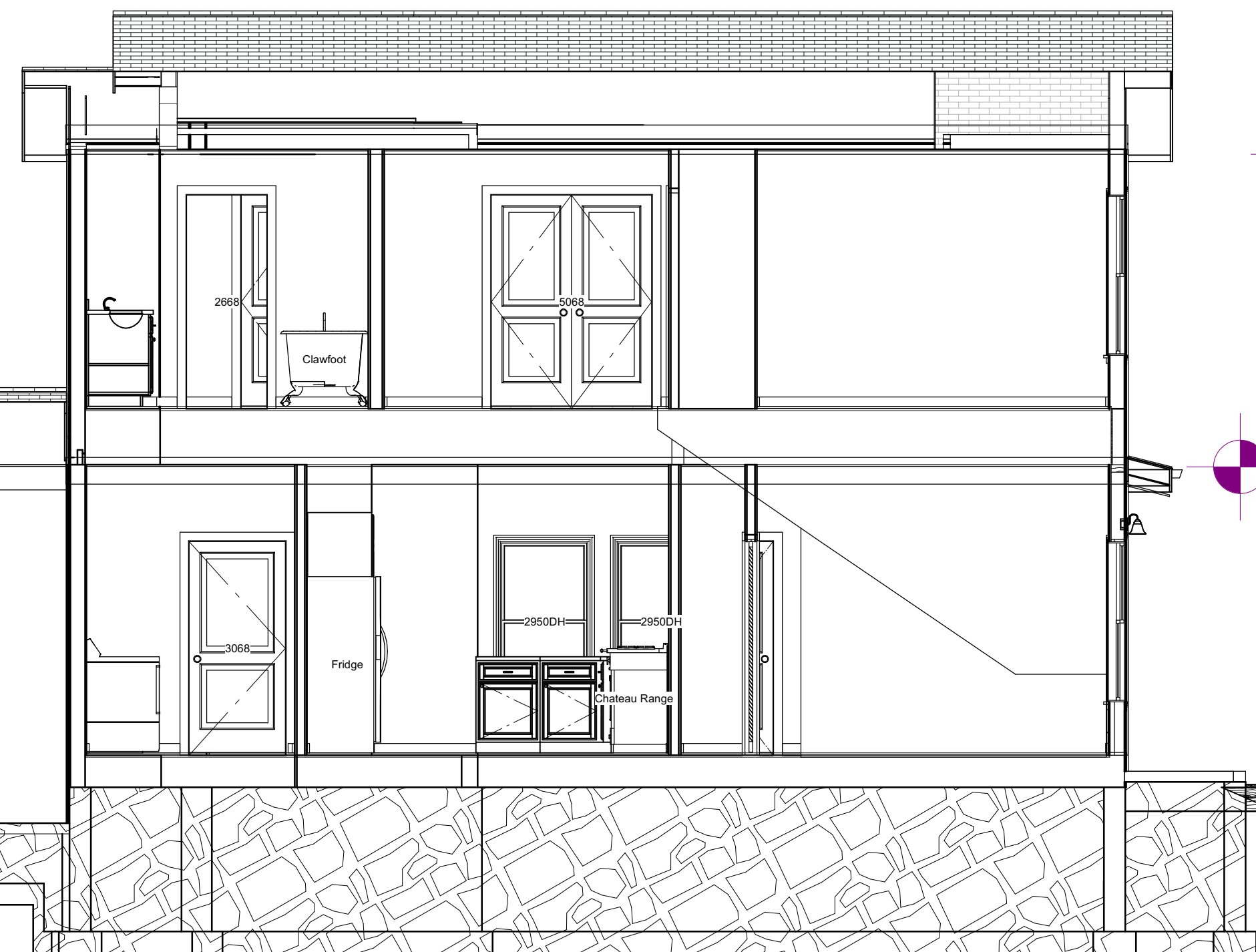
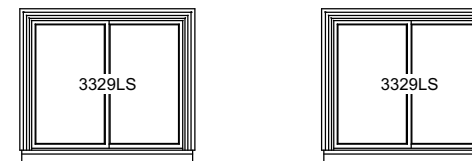
25'-5 3/4"

Finished Decks - 1'-3"

Existing / Finished Grade - 0'-0"

Concrete Driveway

Garage FF - 3" Above Grade



Proposed 2nd Level Ceiling - 20'-6"

Proposed 2nd Level FF - 12'-6"
 Proposed 1st Level Ceiling - 10'-9"

Proposed SFR FF: 1'-9"

1'-9"
 10'-9"
 12'-6"
 20'-6"

 SECTION

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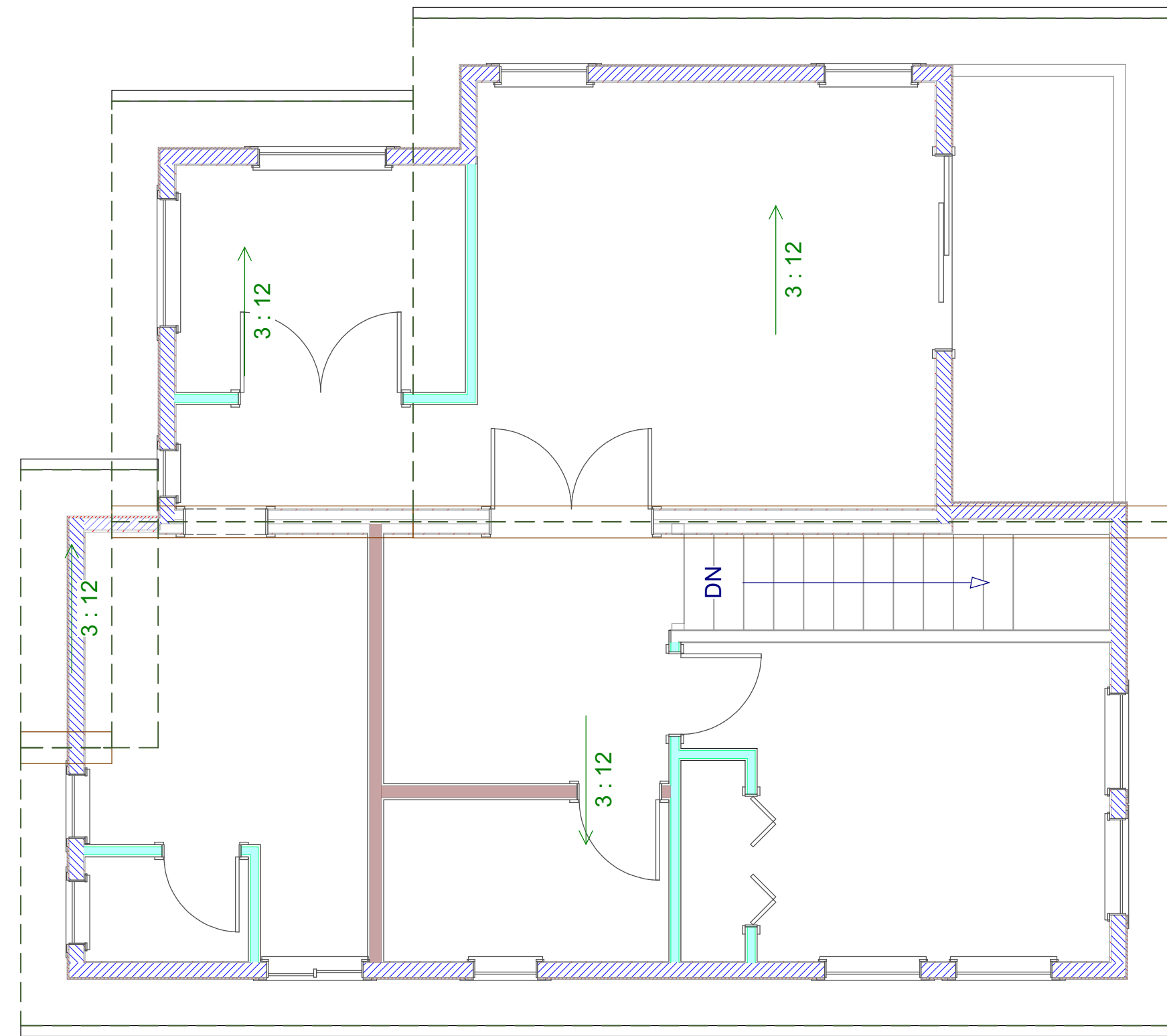
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1/4" = 1'

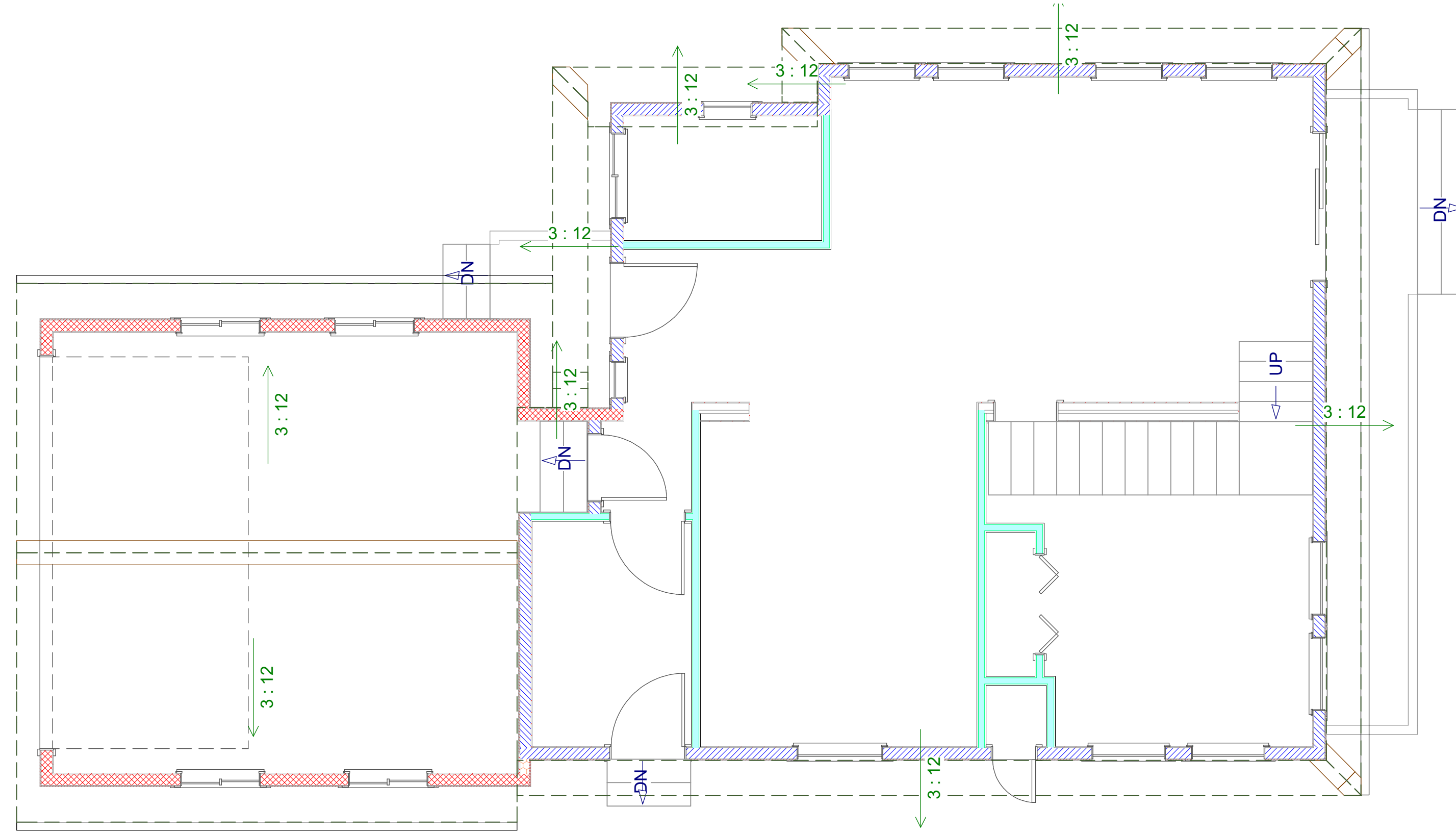
SHEET:

A-8

2ND LEVEL ROOF



1ST LEVEL ROOF



ROOF PLAN

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 270 E Douglas Avenue
 El Cajon, CA 92020
 310 867 3953

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DATE:

2/25/2020

SCALE:

1/4" = 1'

SHEET:

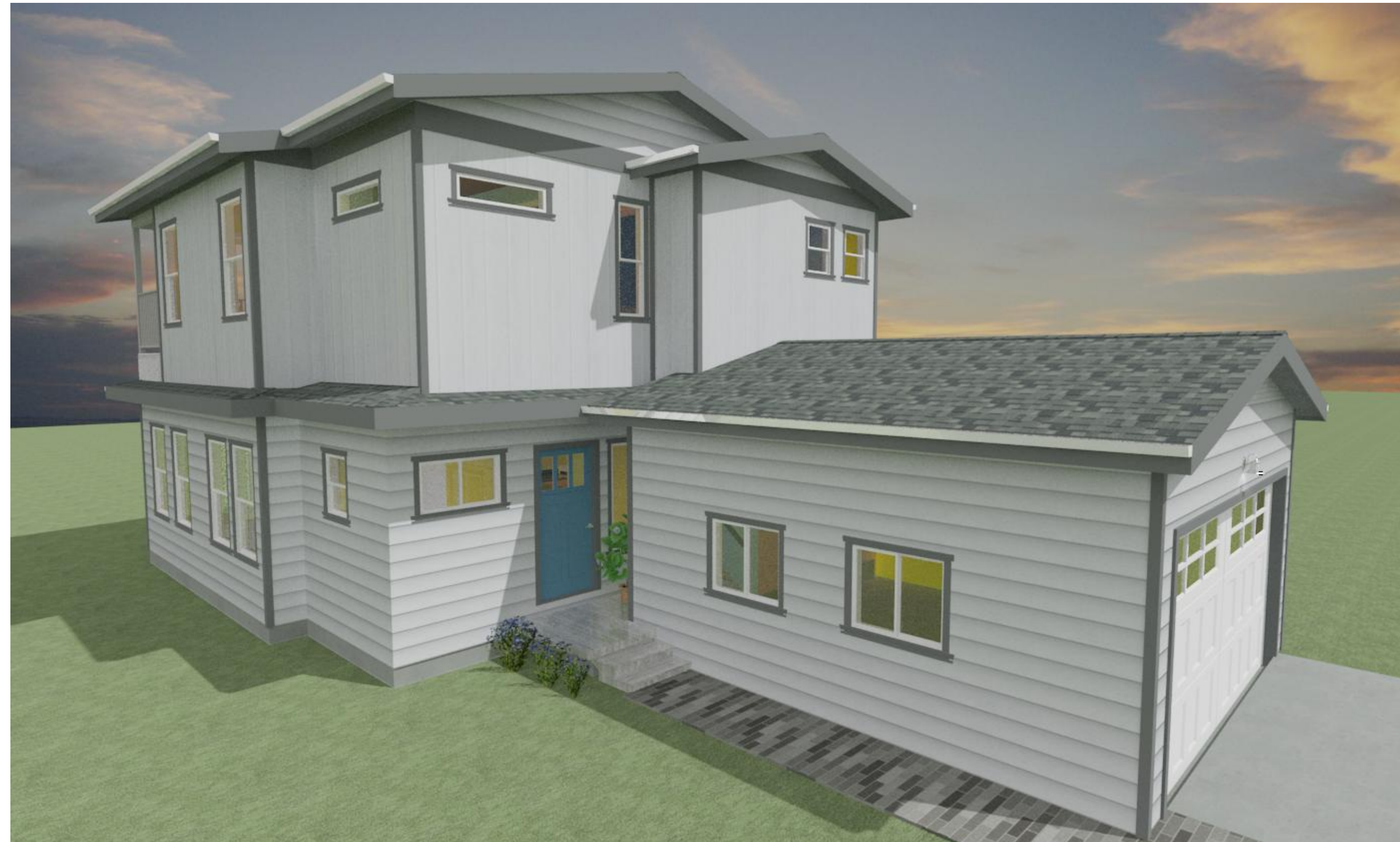
A-9

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Front Perspective



Rear Perspective



Side Perspective

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DATE:

2/25/2020

SCALE:

NTS

SHEET:

A-10

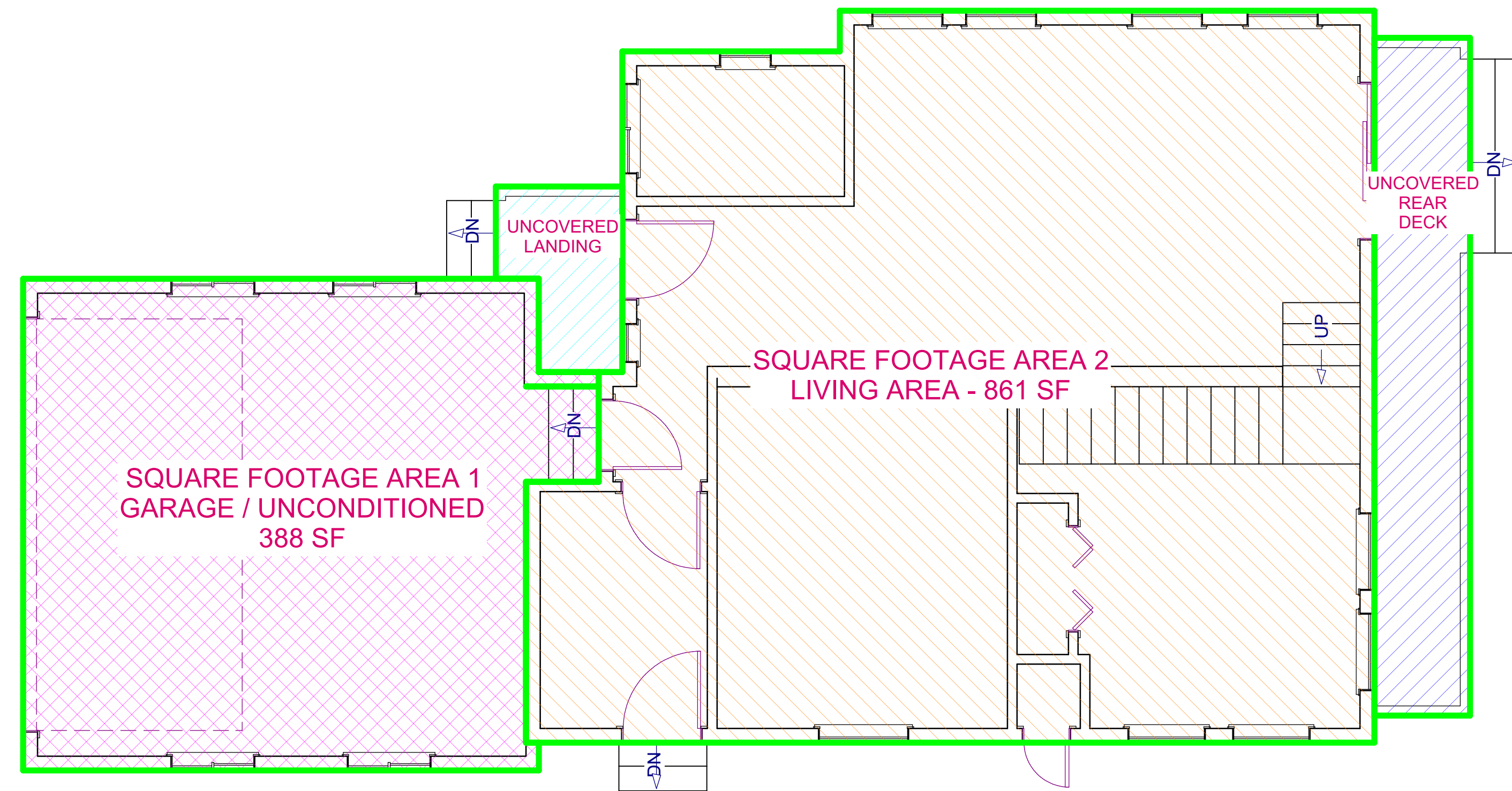
NO.	DESCRIPTION	BY	DATE

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SQUARE FOOTAGE AREA 2 - LIVING AREA: 861 SF
 SQUARE FOOTAGE AREA 1 - GARAGE / UNCONDITIONED: 388 SF

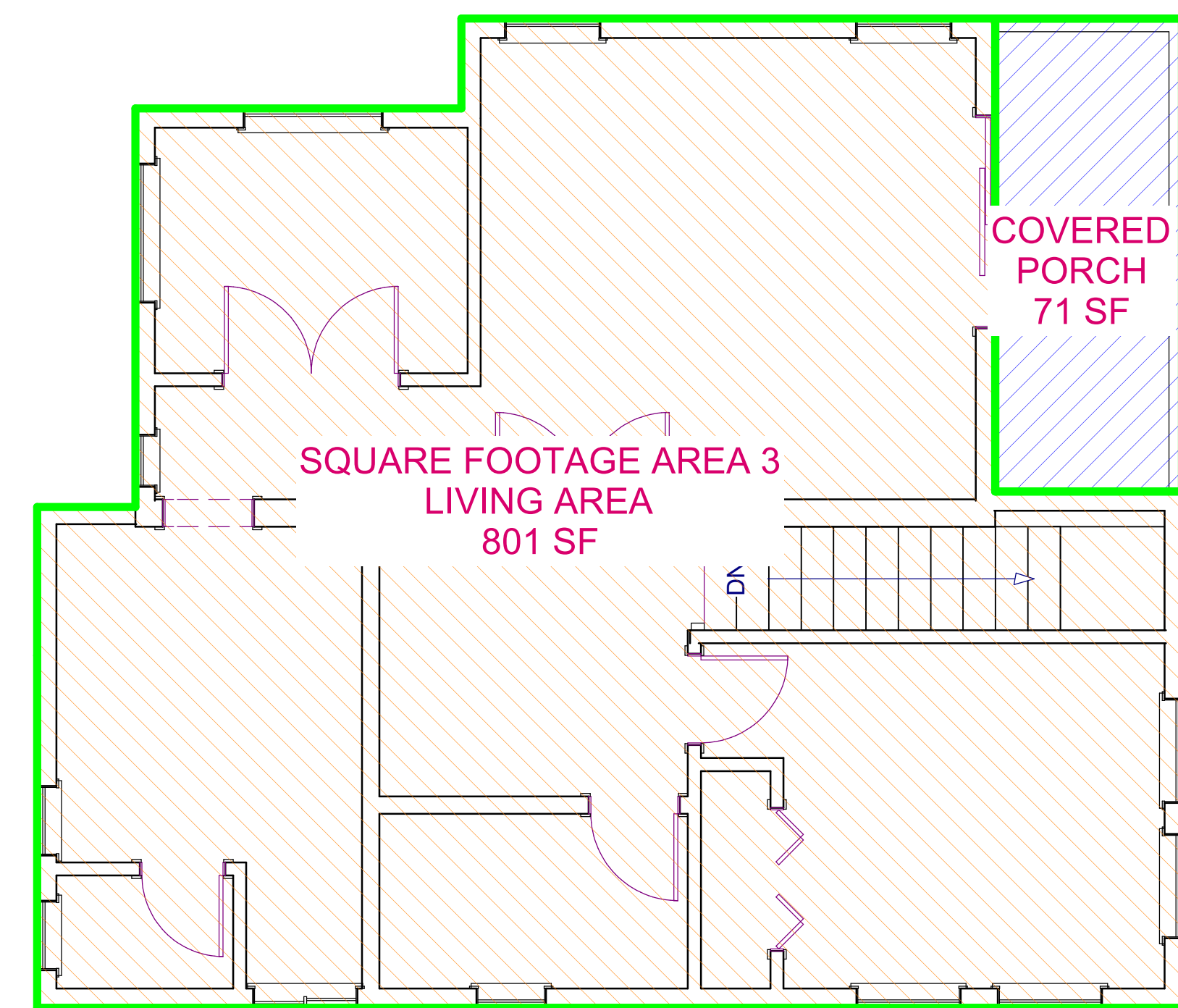
SECTION 6300.14.40. PARCEL COVERAGE. The maximum parcel coverage shall be 0.25 (25%).
 Parcel coverage shall include all: (1) buildings, (2) accessory buildings, or (3) structures such as patios, decks, balconies, porches, bridges, and other similar uses which are eighteen (18) inches or more above the ground.

1ST LEVEL AREA CALCULATIONS



SQUARE FOOTAGE AREA 2 - LIVING AREA: 807 SF
 REAR 2ND STORY PORCH: 71 SF

2ND LEVEL AREA CALCULATIONS



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 Client Phone Number: (650) 704-5324

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 270 E Douglas Avenue
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 310.867.3953

DATE:

2/25/2020

SCALE:

SHEET:

A-11

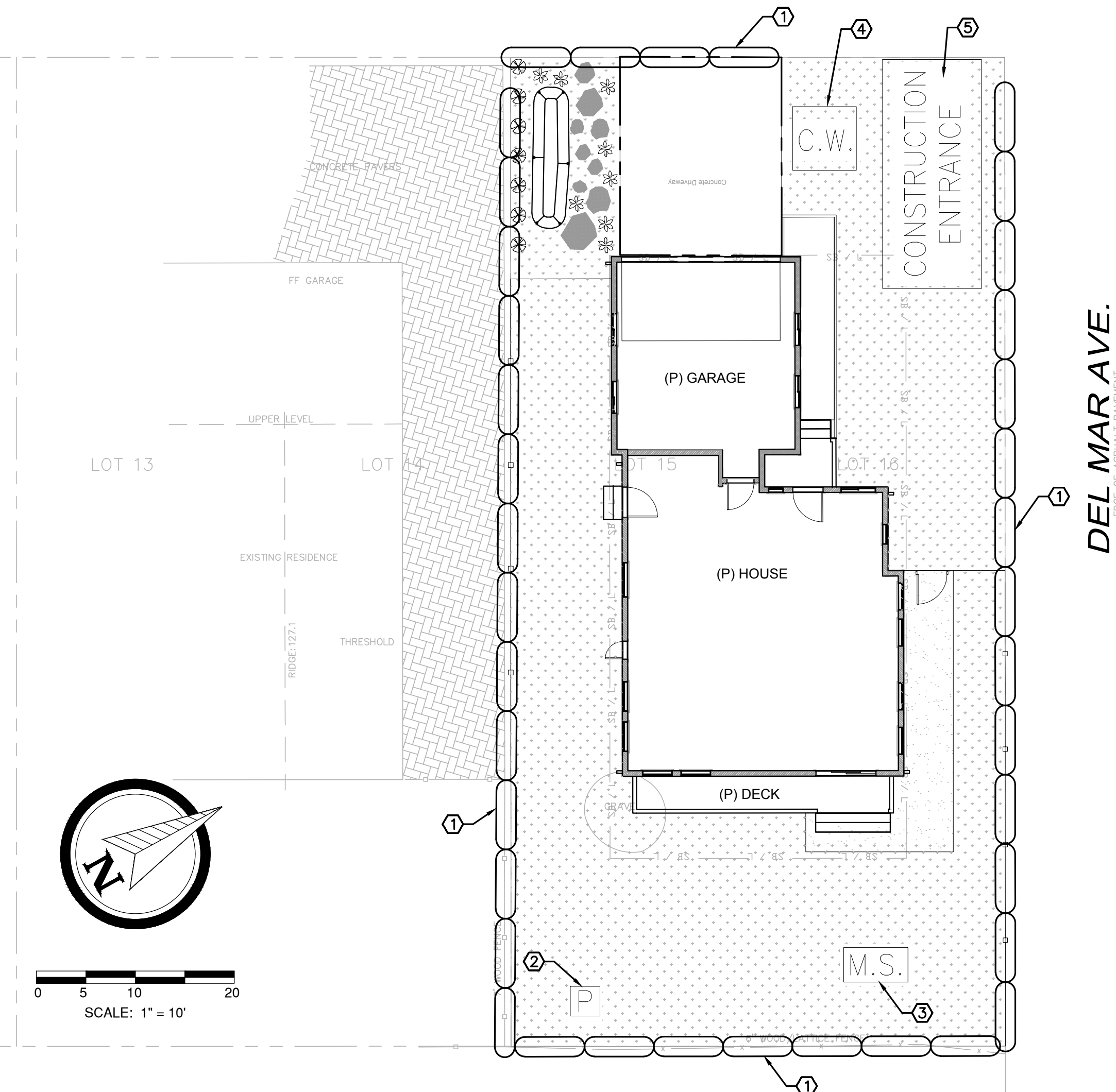
NO.	DESCRIPTION	BY	DATE

DESIGNER:
 F. WELLS

MADRONE AVE.

COUNTY OF SAN MATEO
EROSION CONTROL NOTE

EROSION CONTROL PLAN GENERAL NOTES:



- EROSION CONTROL POINT OF CONTACT. (PLEASE PROVIDE AN EROSION CONTROL POINT OF CONTACT INCLUDING NAME, TITLE/QUALIFICATION, EMAIL, AND PHONE NUMBER. THE EC POINT OF CONTACT WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF EROSION CONTROL OR TREE PROTECTION CORRECTIONS ARE REQUIRED).
- PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
- MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH-WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
- LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
- AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
- TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS ARE REQUIRED ON WEEKENDS AND DURING RAIN EVENTS. (LIST LOCATIONS)
- THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
- CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
- DUST CONTROL IS REQUIRED YEAR-ROUND.
- EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- TREE PROTECTION SHALL BE IN PLACE BEFORE ANY DEMOLITION, GRADING, EXCAVATING OR GRUBBING IS STARTED.

KEY NOTES:

ITEM	DESCRIPTION	QUANTITY	UNIT
①	FIBER ROLL TO BE INSTALLED AT SITE PERIMETER. REFER TO DETAIL 6 ON C3.	300	L.F.
②	RECOMMENDED LOCATION FOR PORTABLE TOILET.	1	EA
③	RECOMMENDED LOCATION FOR MATERIALS STORAGE. REFER DETAIL 1 ON THIS SHEET.	1	EA
④	RECOMMENDED LOCATION FOR CONCRETE WASTE MANAGEMENT. REFER DETAIL 5 ON C3.	1	EA
⑤	RECOMMENDED LOCATION FOR CONSTRUCTION ENTRANCE. REFER DETAIL 2 ON THIS SHEET.	1	EA

ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL STANDARDS. AN EPA EQUIVALENT NOTICE OF INTENT LETTER SHALL BE POSTED IN THE JOB AREA AT ALL TIMES. THIS SITE SHALL BE PROTECTED BY MEANS DESCRIBED IN THE ACCOMPANYING PLANS. IF THERE ARE ANY QUESTIONS REGARDING EROSION CONTROL MEASURES, THE CIVIL ENGINEER OF RECORD MUST BE CONTACTED.

A COPY OF THIS SHEET AND THE EROSION CONTROL PLAN MUST BE KEPT ON-SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITY. ANY CHANGES MADE TO THIS PLAN MUST BE NOTED, DATED, AND INITIALED BY THE GENERAL CONTRACTOR.

I. GENERAL

THE INTENT OF THIS PLAN IS TO CONTROL EROSION AND RESULTING SILT TRANSPORTATION OFF SITE. THE ITEMS INDICATED ARE THE ENGINEER'S BEST ESTIMATE OF REQUIREMENTS; MORE CONTROL MAY BE NEEDED DEPENDING ON SITE CONDITIONS, SEASON, ETC. CONTRACTOR SHALL INSTALL ADDITIONAL MEASURES AS NECESSARY TO COMPLY WITH THIS INTENT. ALL CHANGES TO THE SWPPP MUST BE NOTED.

- A. BEST MANAGEMENT PRACTICES PLAN, WITH ALL SEDIMENT AND EROSION CONTROL PLANS, SHALL BE KEPT ON-SITE WITH COPIES OF ALL INSPECTION REPORTS.
- B. EXISTING TOPOGRAPHY AND PROPOSED TOPOGRAPHY ARE SHOWN ON THE GRADING PLAN.
- C. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CONSTRUCTED PRIOR TO ANY LAND DISTURBING ACTIVITY TAKING PLACE.
- D. OTHER FEDERAL, LOCAL, OR STATE STATUTES OR REQUIREMENTS THAT MAY AFFECT THE PERMIT REQUIREMENTS FOR THIS SITE:
 - NPDES CONSTRUCTION STORM WATER MANAGEMENT DISCHARGE CRITERION
 - UNITED STATES ARMY CORPS OF ENGINEERS
 - LOCAL SEDIMENT CONTROL ORDINANCES
 - HAZARDOUS WASTE CONCERNS
 - PROTECTED SPECIES, HISTORICAL PRESERVATION, ETC
- E. MATERIAL NEEDS AFFECTING ENVIRONMENTAL ASPECTS OF THE SITE:
 - HAUL-IN / HAUL-OFF
 - TOPSOIL SPOIL OR HAUL-IN
- F. PLANNED PHASES OF CONSTRUCTION.
 - FLAG ALL WORK LIMITS.
 - CALL THE STATE UTILITY PROTECTION SERVICE TO VERIFY LOCATION OF ANY EXISTING UTILITIES TWO (2) WORKING DAYS PRIOR TO START OF CONSTRUCTION.
 - NOTIFY SEDIMENT CONTROL INSPECTOR TWENTY-FOUR (24) HOURS PRIOR TO START OF CONSTRUCTION.
 - IDENTIFY AND PROTECT ALL EXISTING VEGETATION TO REMAIN.
 - PERFORM CLEARING AND GRADING REQUIRED FOR INSTALLATION OF PERIMETER CONTROLS.
 - INSTALL PERIMETER RUNOFF CONTROLS; NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL BEFORE PROCEEDING FURTHER.
 - INSTALL STORM DRAINAGE PROTECTION.
 - CLEAR AND STABILIZE CONSTRUCTION ACCESS.
 - COMPLETE ALL REQUIRED STOCKPILING, SITE CLEARING, AND GRADING.
 - APPLY TEMPORARY OR PERMANENT STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS WHERE WORK MAY BE DELAYED OR IS COMPLETE. DO NOT LEAVE LARGE AREAS UNPROTECTED FOR MORE THAN SEVEN (7) DAYS.
 - CONSTRUCT PARKING LOT BASE, BUILDING FOUNDATION, AND INSTALL SITE UTILITIES.
 - WEATHER-IN BUILDING.
 - COMPLETE PARKING LOT CONSTRUCTION.
 - COMPLETE FINAL GRADING, STABILIZATION, AND LANDSCAPING.
 - NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL TO REMOVE SEDIMENT AND EROSION CONTROL MEASURES.

II. IMPLEMENTATION

PLANNED CONSTRUCTION PHASING AND SPECIFIC REQUIRED SEDIMENT AND EROSION CONTROL MEASURES.

- A. PHASE 1: TOPSOIL STRIPPING AND STOCKPILING - THIS IS THE PHASE AFTER ALL DEBRIS REMOVAL. TOPSOIL WILL BE STRIPPED AND STOCKPILED ON THE SITE AS SHOWN ON THE PLANS. THE FOLLOWING REQUIREMENTS WILL APPLY DURING THIS PHASE OF CONSTRUCTION:
 - CONSTRUCTION OF A "STONE" CONSTRUCTION ENTRANCE SHALL BE COMPLETED TO PREVENT SILT FROM BEING DEPOSITED ON ROADWAYS.
 - SILT FENCES AND/OR DIVERSIONS DIRECTING RUNOFF TO TEMPORARY SEDIMENT BASINS SHALL BE PLACED ON THE DOWNHILL SIDE OF WHEREVER DIRT HAS BEEN DISTURBED BY GRADING TO PREVENT SILT FROM LEAVING THE SITE. SPECIFIC ATTENTION SHOULD BE PAID TO CULVERTS AND CONSTRUCTION ENTRANCES.
 - ALL DEBRIS SHALL BE KEPT AWAY FROM DITCHES AND STREAMS TO PREVENT RUN-OFF ACCUMULATION WILL NOT CARRY DEBRIS DOWNSTREAM.
 - SILT FENCES OR DOUBLE SILT FENCES SHALL BE INSTALLED ALONG THE LOW SIDE OF THE SITE WHERE RUN-OFF FROM THE WORK AREA WILL LEAVE THE SITE OR ENTER A DITCH.
 - SILT TRAPS AND SEDIMENT BASINS SHALL BE INSTALLED WHERE SHOWN ON THE PLANS IN ACCORDANCE WITH DETAILS SHOWN TO CATCH AND FILTER RUN-OFF PRIOR TO DISCHARGE FROM THE SITE.
 - ADDITIONAL SILT FENCING AROUND THE STOCKPILE AREA SHOULD BE INSTALLED TO PREVENT SILT WASH OFF FROM THE SITE.
- B. PHASE 2: GRADING OPERATIONS - THIS PHASE IS THAT TIME WHEN EARTH IS BEING MOVED FROM ONE PORTION OF THE SITE TO ANOTHER OR IS BEING HAULED INTO OR HAULED OFF FROM THE SITE. THIS IS A CRITICAL TIME WHEN SEDIMENT AND EROSION CONTROL FACILITIES MUST BE CONTINUALLY CHECKED TO ENSURE EFFECTIVENESS. MEASURES SHOULD BE CHANGED OUT AS OFTEN AS REQUIRED TO MEET DEMANDS OF CURRENT SITE CONDITIONS. THE FOLLOWING WILL APPLY TO THIS PHASE OF CONSTRUCTION:
 - ALL SEDIMENT CONTROL FACILITIES REQUIRED AND INSTALLED DURING PHASE 1 SHALL BE LEFT IN PLACE AND MAINTAINED AS APPROPRIATE.
 - WHENEVER A SILT CONTROL FACILITY IS REMOVED BECAUSE OF CHANGING SITE CONDITIONS IT SHALL BE IMMEDIATELY REPLACED WITH ANOTHER MEASURE OF EQUAL OR GREATER EFFECTIVENESS THAT WILL CONTRIBUTE TO THE PROGRAM OF SILT AND EROSION CONTROL.
 - CUT SLOPES SHALL BE PROTECTED BY CONSTRUCTING SWALES AT THE TOP OF CUT SLOPES TO INTERCEPT RUN-OFF. SWALES WILL BE CONSTRUCTED WITH RIP-RAP CHECK DAMS OR SILT FENCES AS NECESSARY TO PREVENT EROSION AND SILTATION.
 - FILL SLOPES SHALL BE PROTECTED BY THE CONSTRUCTION OF BERMS AT THE TOP OF ALL FILL SLOPES TO PREVENT UNCONTROLLED RUN-OFF DRAINING DOWN FACE OF SLOPES.
 - WHEN SHOWN ON PLAN, RUN-OFF DIRECTING BERMS FOR UPGRADE RUN-OFF SHALL BE CONSTRUCTED ALONG SLOPE TO DRAINS THAT WILL CARRY RUN-OFF DOWN THE SLOPE. SLOPE DRAINS SHALL HAVE INLET SILT PROTECTION TYPICAL OF OTHER SITE STORM INLET PROTECTION.
 - SILT FENCES SHALL BE IN PLACE AT THE TOE OF ALL FILL SLOPES.
 - TERRACES, BERMS, AND SWALES SHALL BE CONSTRUCTED AT INTERMEDIATE LOCATIONS THROUGHOUT THE SITE AS NECESSARY TO CONTROL EROSION AND SEDIMENT TRANSPORT. THESE DIVERSION FACILITIES SHALL BE SUPPLEMENTED AS APPROPRIATE WITH SILT FENCES AND RIP-RAP FILTER BERMS TO FILTER ACCUMULATED SEDIMENT FROM RUN-OFF PRIOR TO DISCHARGE FROM THE SITE.
 - SLOPES (CUT AND FILL) THAT ARE CONSTRUCTED IN THE FINAL CONFIGURATION SHALL BE COVERED WITH FOUR INCHES (4") OF TOPSOIL AND GRASSED AND MULCHED AS SOON AS GRADING IS COMPLETED. THIS GROWING VEGETATION WILL GIVE ADDED PROTECTION TO THE SLOPE.
 - PORTIONS OF THE SITE THAT ARE GRADED TO FINAL GRADE AND ARE NOT TO RECEIVE PAVEMENT OR BUILDINGS SHOULD HAVE FOUR INCHES (4") OF TOPSOIL SPREAD OVER THE SURFACE AND GRASSED AS SOON AS POSSIBLE IN CONSTRUCTION PROCESS. THIS PHASE OF CONSTRUCTION IS CRITICAL IN THE EROSION AND SEDIMENT CONTROL PROCESS.
 - STORM SEWERS SHOULD BE INSTALLED AS SOON AS POSSIBLE IN THE CONSTRUCTION PROCESS AND CONCURRENT TO GRADING OPERATIONS WHENEVER POSSIBLE TO ENSURE A SUCCESSFUL PROGRAM. CONSTRUCTION RUN-OFF SHALL BE DIRECTED TO STORM SEWER SYSTEM AS SOON AS POSSIBLE.
- C. PHASE 3: STORM DRAINAGE AND UTILITY INSTALLATION PLAN - THIS PHASE WILL

BE COMPLETED AFTER OR CONCURRENT WITH THE GRADING PHASE, PHASE 2. STORM SEWERS SHALL BE INSTALLED AND PUT INTO SERVICE AS EARLY IN THE GRADING PROCESS AS POSSIBLE. THE FOLLOWING WILL APPLY TO THIS PHASE OF CONSTRUCTION:

- ALL ASPECTS OF THE PREVIOUS PHASES SHALL BE MAINTAINED AS APPLICABLE.
 - STORM SEWERS THAT ARE INSTALLED SHALL BE PUT INTO SERVICE IMMEDIATELY. THE INLETS OF ALL STORM SEWERS SHALL BE PROTECTED WITH SILT TRAPS THAT PREVENT SEDIMENT FROM ENTERING PIPE. THIS PROTECTION CAN BE SILT FENCE OR RIP-RAP FILTER BERMS AS APPLICABLE AND SHOWN ON THE PLANS.
 - RIP-RAP AS SHOWN ON THE PLANS AND AS REQUIRED ON THE SITE WILL BE INSTALLED AT EMERGENCY SPILLWAYS TO PREVENT EROSION DUE TO OUTFLOW WATER VELOCITY. RIP-RAP SHALL BE EXTENDED DOWNSTREAM AS NEEDED TO PREVENT EROSION.
 - ADDITIONAL SILT FENCING SHALL BE INSTALLED AS NECESSARY TO PREVENT EROSION AND SILTATION RESULTING FROM STOCKPILED EXCAVATION MATERIAL FROM UTILITY INSTALLATION OPERATIONS.
- D. PHASE 4: FINISH GRADING, CURB AND PAVEMENT INSTALLATION, LANDSCAPING - THIS IS THE WRAP-UP STAGE WHEN ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES WILL BE PHASED OUT. THE FOLLOWING WILL APPLY TO THIS PHASE:

- ALL FACILITIES FROM PHASE 1 THROUGH PHASE 4 WILL BE MAINTAINED, MODIFIED, OR REMOVED WITH ATRIBUTION TO THE GRADING OPERATIONS SHALL BE COMPLETED THROUGHOUT CONSTRUCTION PROCESS AT THOSE TIMES WHEN PORTIONS OF THE SITE ARE FINISHED AND READY FOR PERMANENT GROUND COVER. THIS WILL REQUIRE MULTIPLE EFFORTS BY THE GRASSING SUBCONTRACTOR TO STABILIZE ALL IMPACTED AREAS OF THE SITE IN AN ORDERLY FASHION. NO AREA OF THE SITE THAT RECEIVES FINAL GRADE SHALL BE LEFT FOR MORE THAN SEVEN (7) DAYS WITHOUT THE APPLICATION OF SEED AND MULCH.
 - LANDSCAPING / SEEDING
- REFER TO LANDSCAPING PLAN FOR ACTUAL REQUIREMENTS FOR THE INSTALLATION OF LIME, FERTILIZER, SEED, AND MULCH.
- F. INSPECTION AND MAINTENANCE INSTRUCTIONS: THE FOLLOWING WILL APPLY TO MAINTAINING EROSION AND SEDIMENT CONTROL FACILITIES

- ALL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSPECTED REGULARLY TO ENSURE THEY ARE EFFECTIVE IN THE EVENT OF RAINFALL. MEASURES SHALL BE INSPECTED ONCE A WEEK (MINIMUM) AND WITHIN TWENTY-FOUR (24) HOURS AFTER EACH RAINFALL EVENT. ANY DAMAGED OR NONFUNCTIONAL FACILITY SHALL BE REPAIRED OR REPLACED IMMEDIATELY. WEEKLY INSPECTION REPORTS SHALL BE KEPT ON FILE IN THE CONSTRUCTION TRAILER.
- SEDIMENT TRAPS SHALL BE CHECKED REGULARLY FOR SEDIMENT CLEANOUT. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF (½) THE DESIGN VOLUME OF THE WET STORAGE. SEDIMENT REMOVED FROM THE TRAP SHALL BE DEPOSITED IN SUITABLE AREAS AND IN SUCH A MANNER THAT IT WILL NOT ERODE AND CAUSE CONTINUED SEDIMENTATION PROBLEMS.
- GRAVEL OUTLETS AND CHECK DAMS SHALL BE INSPECTED REGULARLY FOR SEDIMENT BUILDUP WHICH WILL PREVENT DRAINAGE. IF THE GRAVEL IS OBSTRUCTED BY SEDIMENT, IT SHALL BE REMOVED AND CLEANED OR REPLACED.
- SILT FENCE BARRIERS SHALL BE CHECKED REGULARLY FOR UNDERMINING OR DETERIORATION OF THE FABRIC. SEDIMENT SHALL BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES ONE-THIRD THE HEIGHT OF THE BARRIER.
- SEEDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RE-SEEDED AS NECESSARY.
- IF ANY FACILITY IS DAMAGED DURING MAINTENANCE, OR OTHERWISE, THE DAMAGED PORTION SHALL BE REMOVED AND REPLACED ACCORDING TO THE ASSOCIATED DETAIL.
- IF SILT HAS OBSTRUCTED THE SEDIMENT CONTROL FACILITY TO THE POINT OF ELIMINATING ALL FILTERING EFFECTIVENESS, THE STRUCTURE SHALL BE REMOVED AND REPLACED WITH A NEW STRUCTURE IN ACCORDANCE WITH THE ASSOCIATED DETAIL.
- CONSTRUCTION STAGING AREA SHALL HAVE ADDITIONAL STONE ADDED AS MUD COVERS STONE. UNDER WET SOIL CONDITIONS, TIRES SHALL BE WASHED PRIOR TO ENTERING A PAVED ROADWAY.

G. MAINTAINING EFFECTIVENESS: CONTRACTOR SHALL INSPECT OVERALL PERFORMANCE OF EROSION AND SEDIMENT CONTROL FACILITIES AND AREAS DOWNSTREAM. IF SILT IS APPARENT DOWNSTREAM FROM STRUCTURES, SOME FAILURE HAS OCCURRED. IF SEDIMENT IS OBSERVED DOWNSTREAM, NOTIFY THE CIVIL ENGINEER, THE CIVIL ENGINEER WILL INSPECT THE CONDITION AND AFTER INSPECTION, DIRECT THE REMOVAL OF ACCUMULATED SEDIMENT AND ADDITIONAL STRUCTURAL MEASURES AS NECESSARY. CONTRACTOR SHALL IMPLEMENT RECOMMENDED SOLUTIONS TO PROBLEM AREAS AS RECOMMENDED.

III. COMPLETION

- A. PROJECT CLOSE OUT: THE FOLLOWING SHALL BE DONE AT THE END OF THE PROJECT
 - INSPECT SITE TO ENSURE THAT GROUND COVER IS COMPLETE AND ADEQUATE. ALL AREAS SHOULD BE EITHER PAVED OR HAVE SUFFICIENT GROUND COVER (MINIMUM 80% VEGETATIVE COVER) WITH NO APPARENT EROSION.
 - WHEN GROUND COVER INSPECTION IS MADE AND APPROVED, ALL STRUCTURAL EROSION CONTROL FACILITIES MAY BE REMOVED ALONG WITH ANY ACCUMULATED SILT AND DEBRIS. AREAS DISTURBED BY STRUCTURE REMOVAL SHALL BE FINE GRADED, GRASSED, AND MULCHED AS REQUIRED.
 - IF GROUND COVER INSPECTION IS MADE AND PROBLEMS DISCOVERED, PERFORM APPROPRIATE REPAIR MEASURES AND RE-INSPECT PRIOR TO STRUCTURE REMOVAL.
 - ALL CONSTRUCTED AND EXISTING STORM SEWERS SHALL BE INSPECTED UPON REMOVAL OF INLET PROTECTION. STRUCTURES CONTAINING SEDIMENT AND / OR CONSTRUCTION DEBRIS SHALL BE VACUUM CLEANED PRIOR TO FILING NOTICE OF TERMINATION WITH ENVIRONMENTAL PROTECTION AGENCY.

B. MISCELLANEOUS ISSUES

- NO FUEL OR OIL SHALL BE STORED ON SITE WITHOUT PROPER CONTAINMENT.
- NO OILS OR GAS SHALL BE DUMPED ON SITE.
- LOCATION OF TRAILER AND PORTABLE RESTROOM FACILITY SHALL BE FIELD-DETERMINED TO AVOID CONSTRUCTION ACTIVITIES. LOCATION SHALL CHANGE DURING CONSTRUCTION AS NECESSARY.
- DE-WATERING OPERATIONS ARE NOT REQUIRED ON THIS PROJECT. IF REQUIRED, PUMPED GROUND WATER SHALL BE ROUTED THROUGH SILT CONTROL FACILITY TO FILTER WATER PRIOR TO DISCHARGE.
- PROJECT SITE SHALL BE KEPT CLEAR OF ALL TRASH AND CONSTRUCTION DEBRIS. CONTRACTOR SHALL HAVE TRASH COLLECTED WEEKLY AND PLACED IN DUMPSTER TO BE HAULED OFF-SITE.
- ALL WATER SUPPLY WILL BE PROVIDED FROM PUBLIC WATER SUPPLY.
- ALL HUMAN WASTE SHALL BE IN PORTABLE RESTROOM FACILITY OR IN TOILET CONNECTED TO PUBLIC SEWER SYSTEM. WASTES SHALL BE DISPOSED OF BY A LICENSED VENDOR OR IN A PUBLIC SANITARY SEWER SYSTEM.
- ANY SPILLED OIL, GAS, ETC. RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE CONTAINED AND CLEANED IMMEDIATELY. CONTAMINATED SOILS SHALL BE DISPOSED OF IN AN APPROVED MANNER AT A LICENSED LANDFILL.
- DUST SUPPRESSION OPERATIONS SHALL BE PERFORMED BY MEANS OF A WATER TRUCK DISTRIBUTE A FINE MIST OF WATER ON THE SITE SURFACE. CONCENTRATED STREAMS OF WATER SPRAY SHOULD BE AVOIDED.
- A DESIGNATED CONCRETE SPOILS AREA SHALL BE IDENTIFIED ON THE SITE. ALL AFFECTED SOILS AND CONCRETE SPOILS IN THIS AREA SHALL BE REMOVED FROM THE SITE UPON COMPLETION OF CONCRETE PLACEMENT ACTIVITIES.
- ANY NON-STORM DISCHARGES SUCH AS, BUT NOT LIMITED TO, FIRE HYDRANT FLUSHINGS, WASH WATERS, IRRIGATION DRAINAGE, ETC. THAT DO NOT CONTAIN HAZARDOUS MATERIALS SHALL BE PREVENTED FROM ALLOWING SEDIMENT TRANSPORT INTO STORM SEWERS. FLUSHINGS THAT CONTAIN HAZARDOUS MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWERS AND SHALL BE COLLECTED AND DISPOSED OF IN AN APPROVED MANNER.

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1/31/2020

MARK	DATE	ISSUED FOR PRELIMINARY REVIEW	REVISIONS

NEW CONSTRUCTION FOR:
 Helen Sattelmayer Residence
 Madrone Ave./ Del Mar Ave.
 Moss Beach, CA 94038
 APN: 037-277-160

Project Number

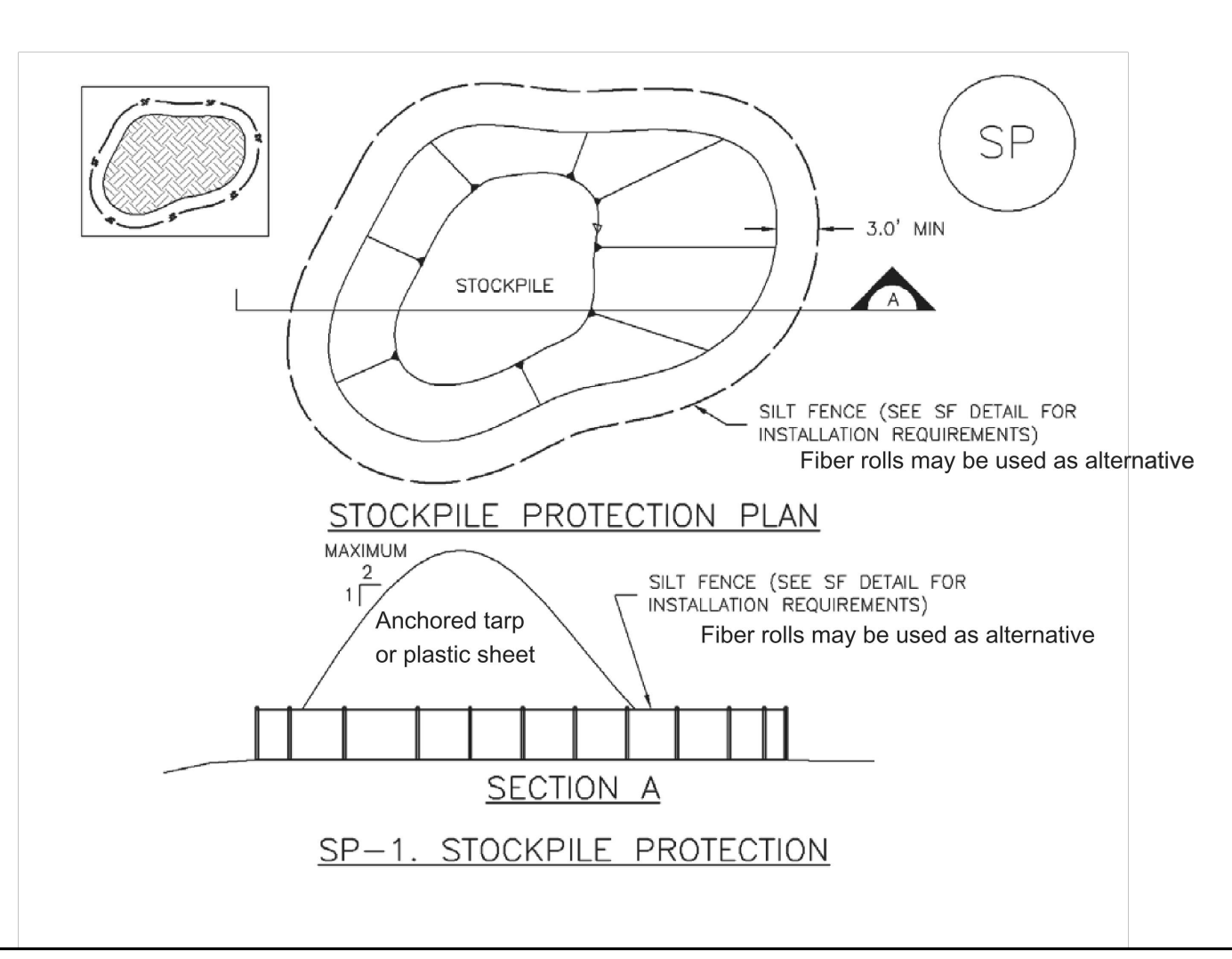
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EROSION CONTROL PLAN

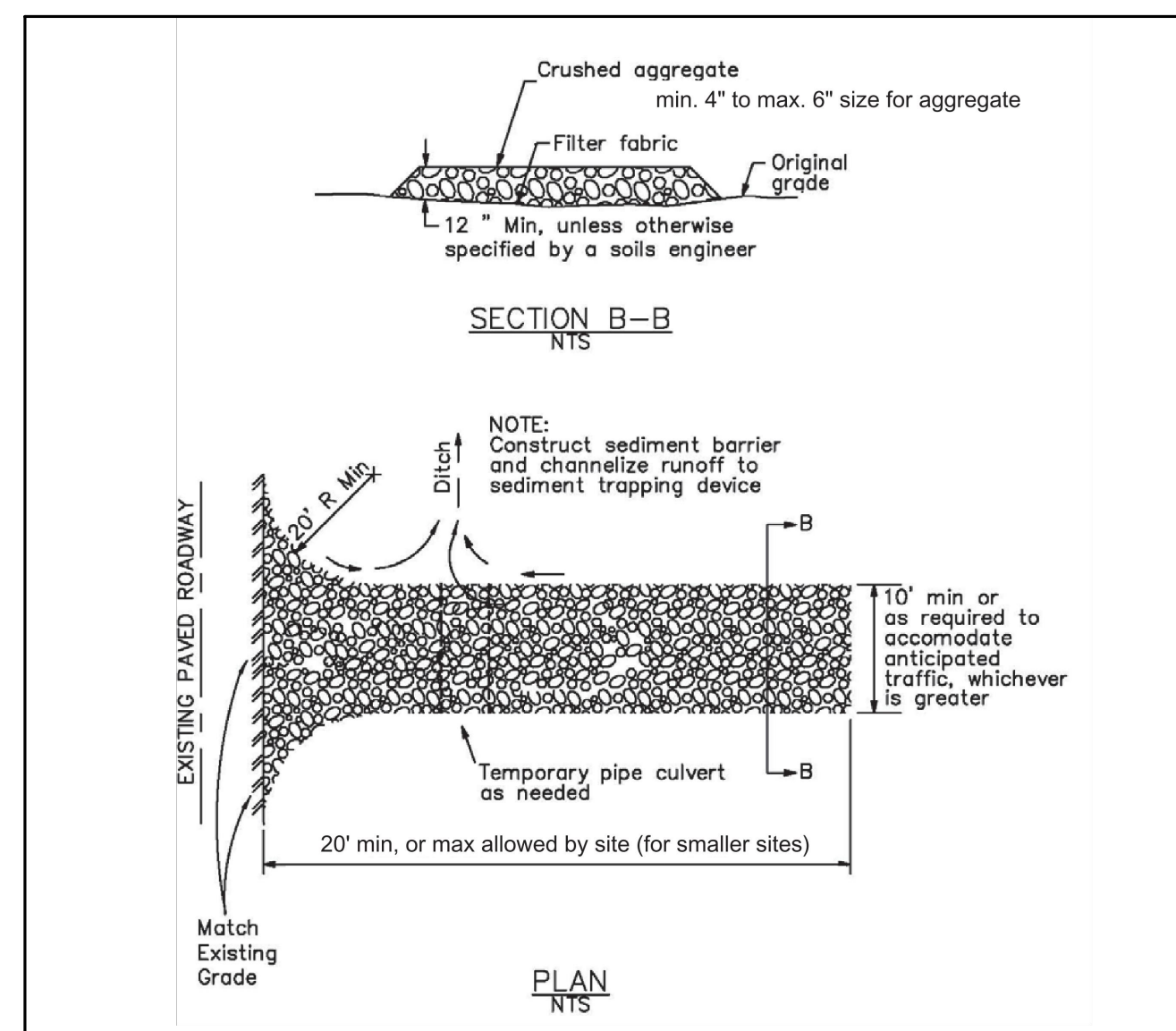
Sheet Number

C-2

Stockpile Management (SP)



1 STOCKPILE MANAGEMENT
 SCALE: N.T.S.



2 CONSTRUCTION ENTRANCE
 SCALE: N.T.S.

1/29/2020

REVISIONS
 ISSUED FOR PRELIMINARY REVIEW

DATE

MARK

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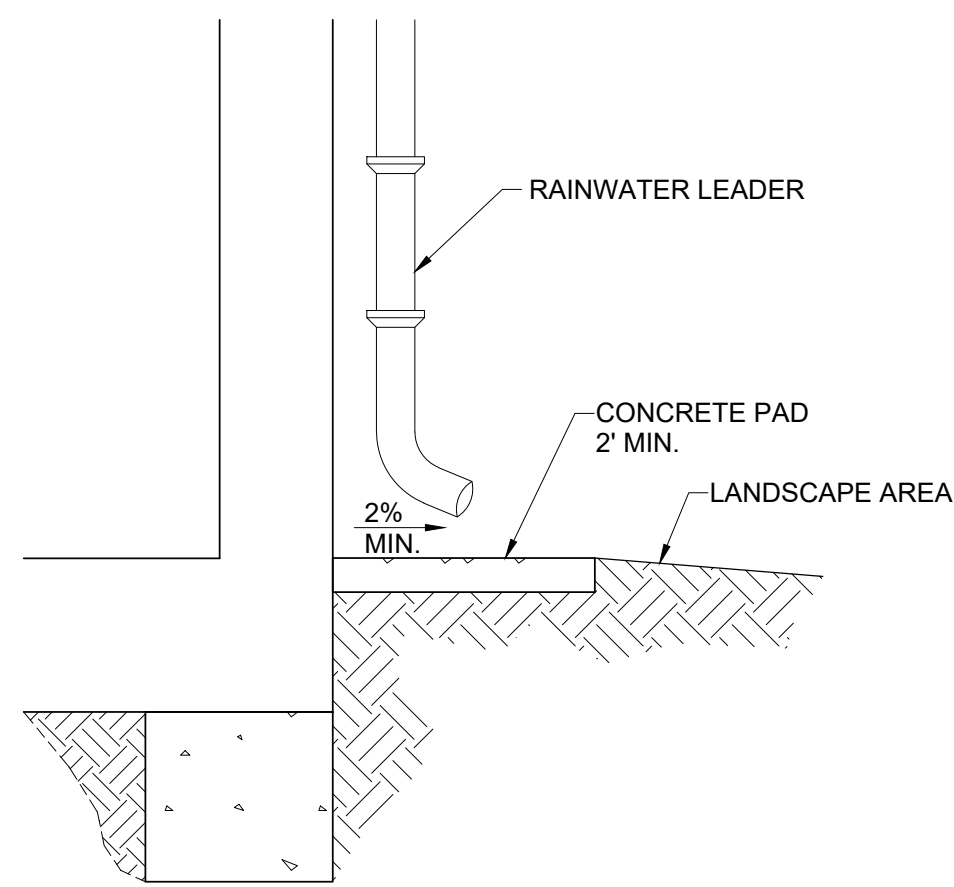
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DETAILS

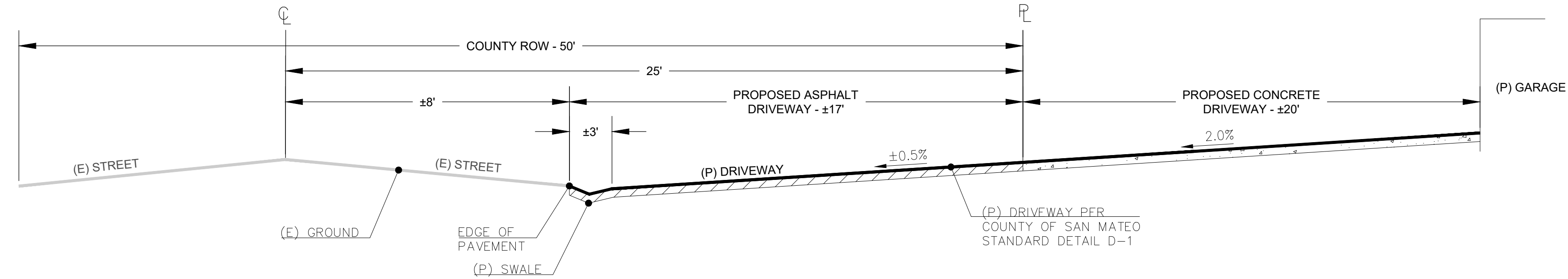
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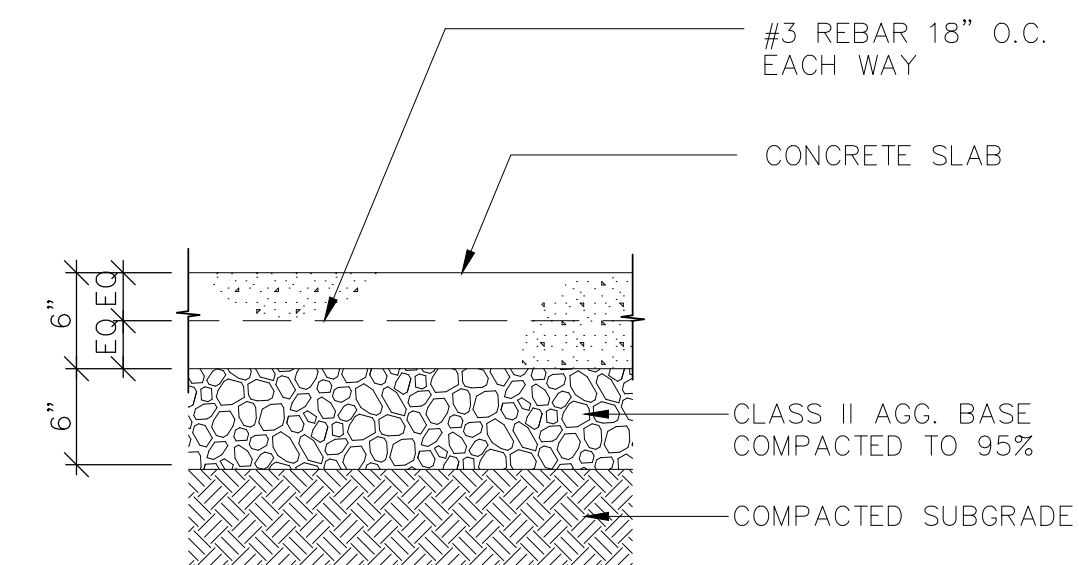
1 CONCRETE SPLASH PAD

SCALE: N.T.S.



A-A DRIVEWAY SECTION

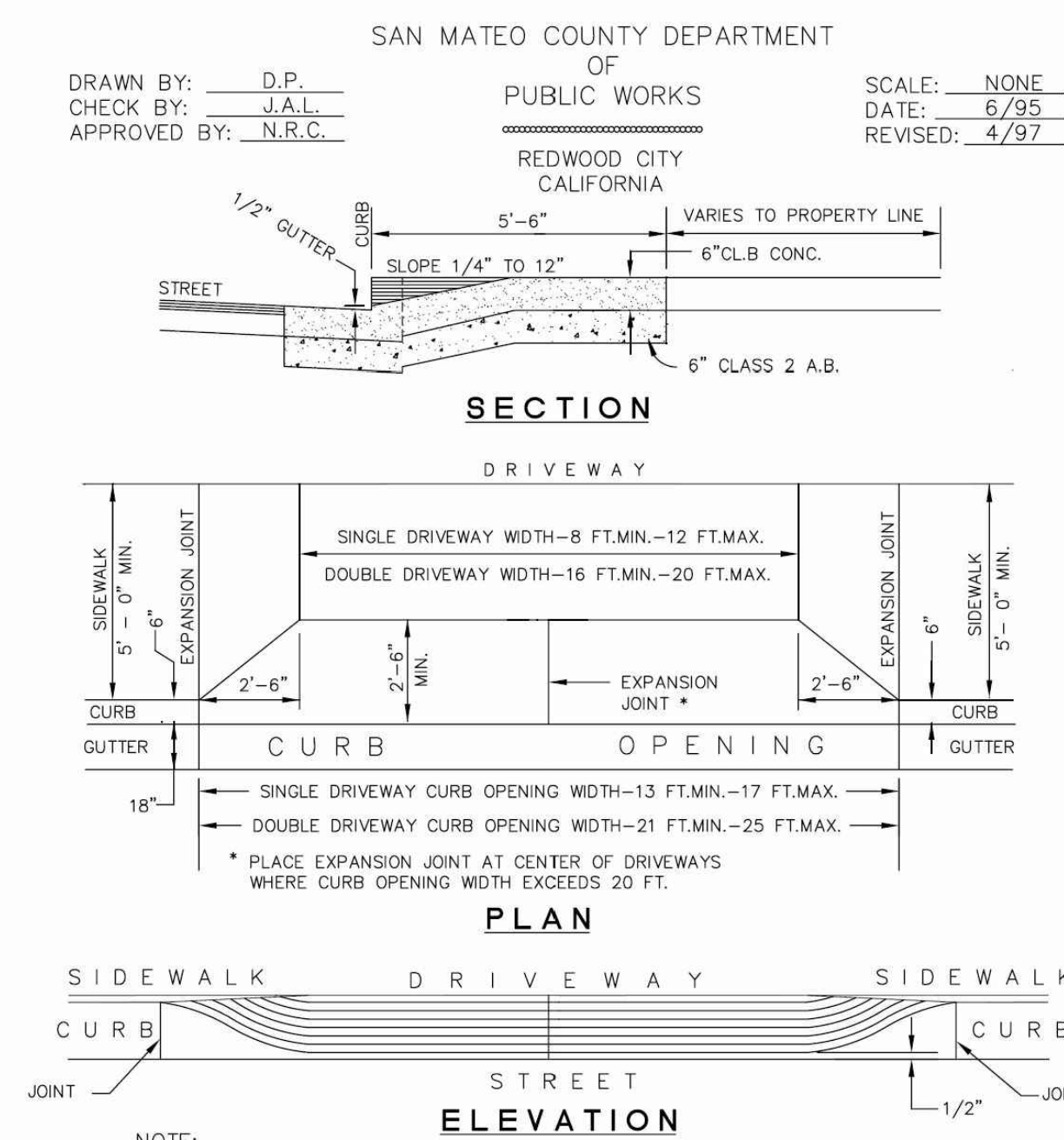
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- NOTES:
 1. EXPANSION JOINTS @ 40.0' MAX.
 2. CONTROL JOINTS @ 10.0' O.C. MAX.

2 DRIVEWAY APPROACH PAVING

SCALE: N.T.S.



NOTE:
 WHERE POSSIBLE, 22 FT. DISTANCES OR MULTIPLES OF 22 FT. DISTANCES SHOULD BE OBTAINED BETWEEN CURB OPENINGS. CONSTRUCT MONOLITHIC CURB, GUTTER, DRIVEWAY AND APRON. WHERE DRIVEWAYS OF SEPARATE RESIDENTIAL DWELLINGS ARE CONSTRUCTED ADJACENT TO ONE ANOTHER, DOUBLE THE DIMENSIONS SHOWN ABOVE. USE NO. 4 REINFORCING BAR DOWELS AS SHOWN ON STANDARD CURB, GUTTER AND SIDEWALK DETAIL.

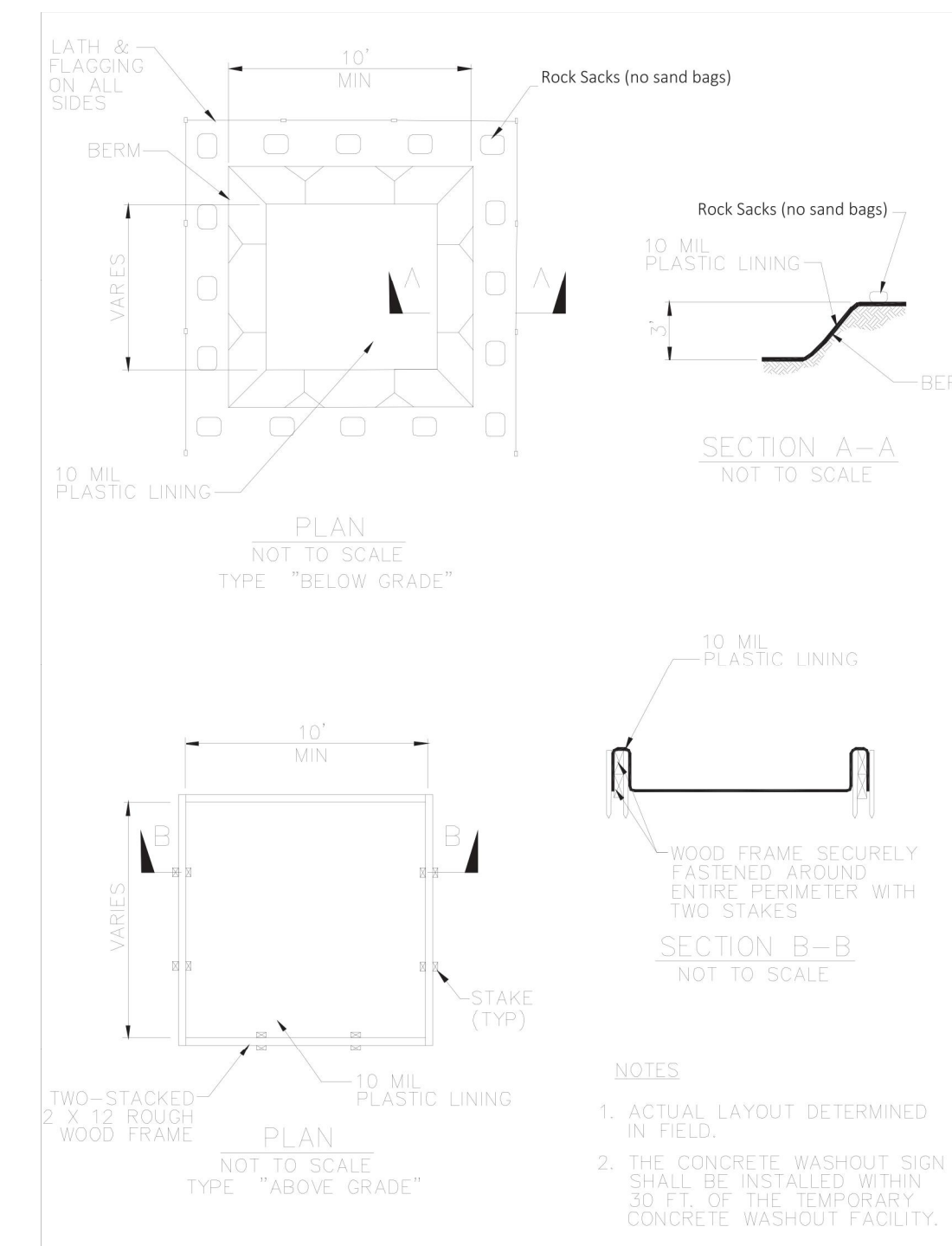
STANDARD STRUCTURES DRIVEWAY WIDTHS AND CURB OPENINGS FOR SINGLE FAMILY RESIDENTIAL DWELLINGS

D-1

4 STANDARD COUNTY DRIVEWAY DETAIL (D-1)

SCALE: N.T.S.

Concrete Waste Management WM-8

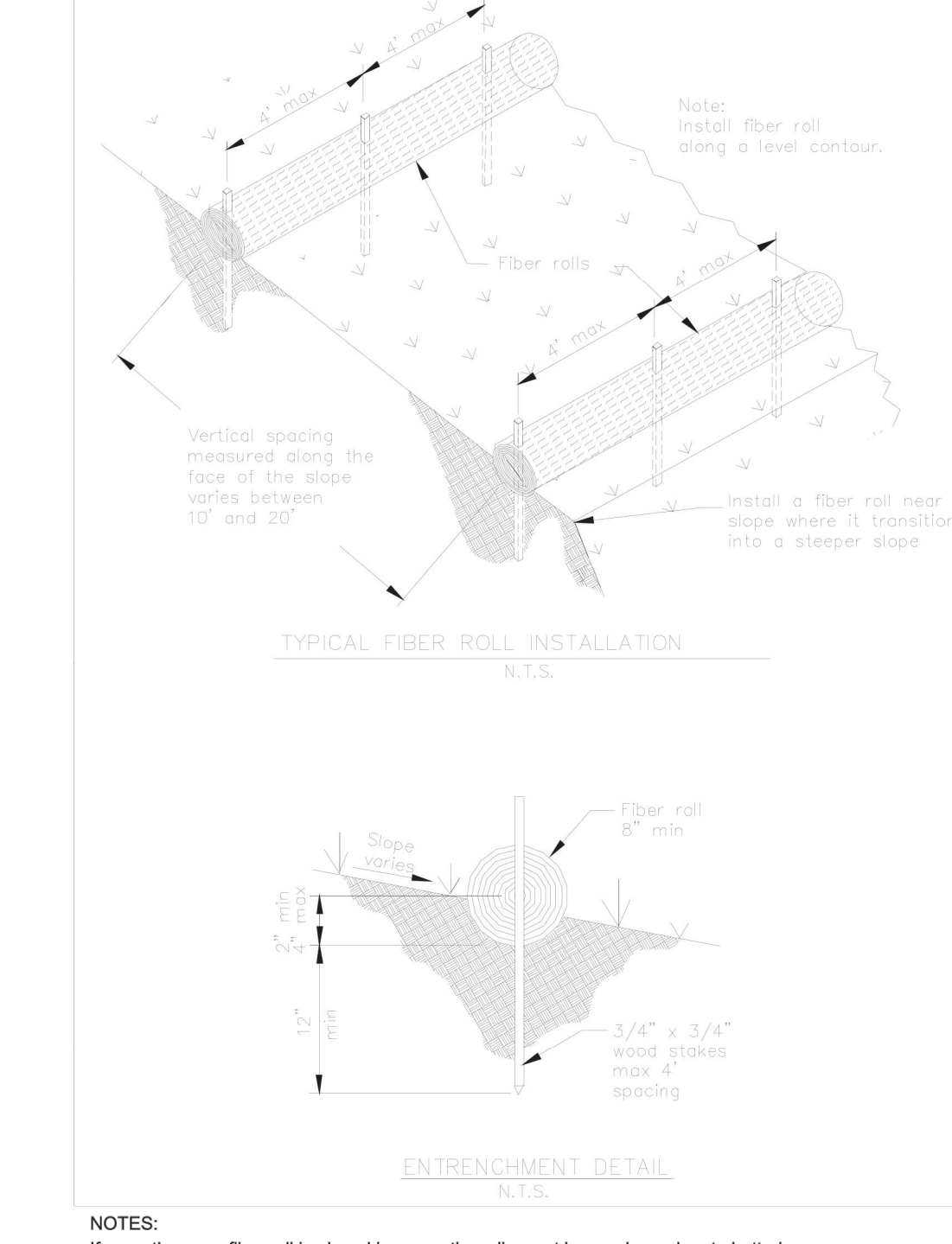


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5 CONCRETE WASTE MANAGEMENT (WM-8)

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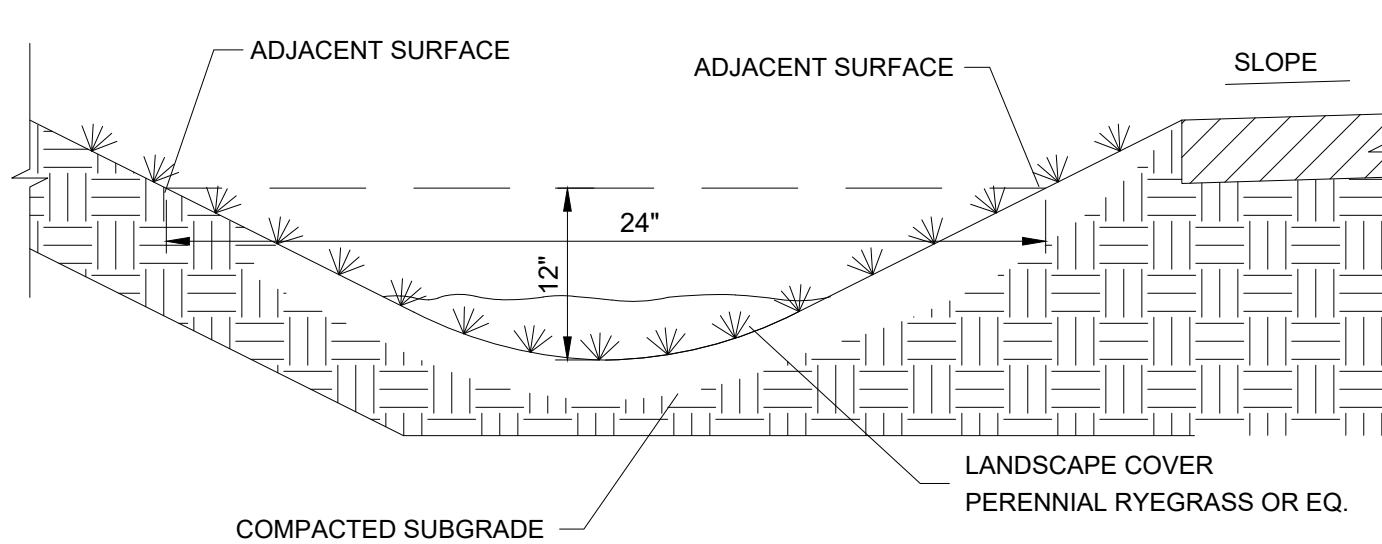
Fiber Rolls SE-5



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6 STANDARD COUNTY FIBER ROLL (SE-5)

SCALE: N.T.S.



3 TYPICAL 2' WIDE EARTHEN SWALE

SCALE: N.T.S.

