

Certainteed shingles, Landmark series in Burnt Sienna

Hardie Siding in Beaded Cedar Mill. In factory painted Autumn Tan.

Paint color for siding: Benjamin Moore "Scenic Drive" color

Copper gutters and downspouts

Railings:
Posts: Stainless Steel
Stainless steel cable railings
Top rail: Wood

Facia, corbels and door and window trim in Benjamin Moore #1126 "Baked Pretzel" color. The wood shall be cedar that is kiln dried and preprimed. It is available at Big Creek Lumber.

Vinyl windows by Milgard in Tan

Eldorado Cultured Stone in Mountain Ledge in Walnut Ridge

CHRIS RIDGWAY ARCHITECT
670 Poplar Street
Half Moon Bay, CA

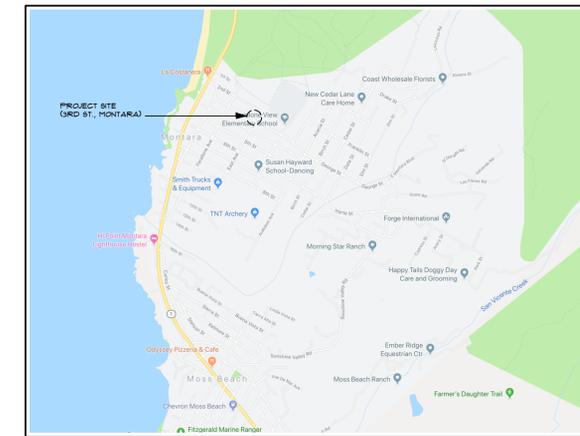
New Residence for:
PAT & MARY POWER
3rd Street
Montara, Ca

December 1, 2019

COLOR BOARD



RENDERING



LOCATION MAP



AERIAL VIEW

LIST OF DRAWINGS
FOR DESIGN REVIEW

A0	COVER PAGE: PERSPECTIVE / COLOR BD. / LIST OF DRAWINGS
A1.1	SITE PLAN
A1.2	GENERAL NOTES
A2.1	GRADE LEVEL AND FIRST FLOOR LEVEL
A2.2	SECOND FLOOR LEVEL
A2.3	ROOF PLAN
A3.1	ELEVATIONS
A3.2	ELEVATIONS
A4.1	SECTIONS
SUI	SURVEY
LS1	LANDSCAPING PLAN BY JERRY WHITING, LANDSCAPE DESIGNER
LS2	TREE DETAILS
LS3	TREE PLAN
	CIVIL DESIGN: BY SIGMA PRIME GEOFORENSICS, INC
C-1	CIVIL DESIGN: GRADING & DRAINAGE PLAN
C-2	CIVIL DESIGN: EROSION & SEDIMENT CONTROL PLAN
BMP1	BEST MANAGEMENT PRACTICES



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PH: 650.622.6301 WEB SITE: CRARCHITECT.NET
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NEW RESIDENCE FOR:
POWER, PATRICK & MARY
ADDRESS: 3RD ST, MONTARA (EAST AVE CROSS ST.)

JOB #
1904

SCALE
AS NOTED

DATE
12/01/19

SHEET
A0

ABBREVIATIONS

AB.	ANCHOR BOLT	LAV.	LAVATORY
AB.M.	AGGREGATE BASE MATERIALS	L.H.	LEFT HAND
ACOUS.	ACOUSTIC	LKR.	LOCKER
A/C	AIR CONDITIONING	L.P.	LOW POINT
A.C.	ASPHALTIC CONCRETE	L.T.	LIGHT
A.D.	ACCESS DOOR	LTWT.	LIGHTWEIGHT
ADJ.	ADJUSTABLE		
A.D.J.	AUTOMATIC FIRE SPRINKLER	M/U	MICRO-WAVE
AGGR.	AGGREGATE	MED.	MEDIUM
ALT.	ALTERNATE	M.F.	MID-FLOOR
ALUM.	ALUMINUM	M.C.	MEDICINE CABINET
ANOD.	ANODIZED	M.D.F.	MEDIUM DENSITY FIBER BD.
A.P.	ACCESS PANEL	M.E.	MISCELLANEOUS
ARCH.	ARCHITECTURAL	MFR.	MANUFACTURER
ASPH.	ASPHALT	M.H.	MANHOLE
A.T.	ASBESTOS	MN.	MINIMUM
∅	ANGLE	MTD.	MOUNTED
∅	AT	M.S.	MACHINE SCREW
∅	AND	MTL.	METAL
∅	AND	MULL.	MULLION
BD.	BOARD		
BK&PL.	BACKSPASH	(N)	NEW
BLDG.	BUILDING	N.	NORTH
BLK.	BLOCK	N.C.	NOT IN CONCRETE
BLK.G.	BLOCKING	NOM.	NOMINAL
BM.	BEAM	N.T.S.	NOT TO SCALE
B.O.J.	BOTTOM OF JOISTS	#	NUMBER
BOT.	BOTTOM		
B&SD.	BASEBOARD		
B.U.	BUILT-UP	O/	OVER
B.U.R.	BUILT-UP ROOF	O.B.	OBSCURE
		O.C.	ON CENTER
CABT.	CABINET	O.D.	OUTSIDE DIAMETER
CB.	CATCH BASIN	O.F.S.	OUTER FACE OF STUD
CBO.	CULKBOARD	O.H.	OVER HEAD
CEM.	CEMENT	O.P.	OFF PAQUE
CER.	CERAMIC	OPING.	OPENING
CG.	COVER GUARD	OPF.	OPPOSITE
CL.	CAST IRON		
C.J.	CEILING JOIST	P.A.	PUBLIC ADDRESS
CLG.	CEILING	P.D.F.	POWER DRIVEN FASTENER
CLR.	CLEAR	P.G.	PAINT GRADE
CLD.	CLOSET	P.H.	PHILLIPS HEAD
CMU.	CONC. MASONRY UNIT	P.H.	PHONE AND HOUSE PHONE
CNTR.	COUNTERTOP	P.I.V.	POST INDICATOR VALVE
COL.	COLUMN	PL.	PLATE
COMP.	COMPOSITION	P/L.	PROPERTY LINE
CONC.	CONCRETE	PL&S.	PLASTER
CONST.	CONSTRUCTION	PL&S. LAM.	PLASTIC LAMINATE
CONTR.	CONTRACTOR	PLYUD.	PLYWOOD
C/T.	COOKTOP	POL.	POLISHED
CT.	COATS	PR.	PAIR
CUST.	CUSTOMER	PRCST.	PRECAST
C.W.	COLD WATER	P.S.F.	POUNDS PER SQUARE FOOT
C.O.	CLEAN OUT	P.S.I.	POUNDS PER SQUARE INCH
C.	CENTERLINE	P&L.	PARALLEL BEAM
		PT.	PRESSURE TREATED
		P.T.D.	PAPER TOWEL DISPENSER
		PKL.	PARTITION
D	DRYER		
DET.	DETAIL	R	RISE
D.S.	DARK SKY LIGHT	R.A.	RETURN AIR
D.F.	DOUGLAS FIR	RAD.	RADIUS
D/G.	DUAL GLAZE	R.C.P.	REFLECTED CEILING PLAN
∅	DIAMETER OR ROUND	R.D.	ROOF DRAIN
DIA.	DIAMETER	REC.	RECESSED
DM.	DIMENSION	REF.	REFERENCE
DISP.	GARBAGE DISPOSAL	REFR.	REFRIGERATOR
DN.	DOWN	REIN.	REINFORCING
DEM'OD.	DEMOLISHED	REQ'D.	REQUIRED
DR.	DOOR	RH.	RIGHT HAND
D.S.	DOWNSPOUT	R.H.	ROUND HEAD
D/W.	DISHWASHER	R.M.	ROOM
DWG.	DRAWING	R.R.	ROOF RAFTER
		R.W.L.	RAIN WATER LEADER
(E)	EXISTING		
EA.	EACH		
ELEV.	ELEVATION		
E.V.J.	EXPANSION JOINT	S.B.	SOUB BLOCKING
EQ.	EQUAL	S.C.	SOLID CORE
E.S.	EXPANSION SHIELD	S.C.D.	SEAT COVER DISPENSER
EXH.	EXHAUST	S.D.	SMOKE DETECTOR
EXT.	EXTERIOR	SECT.	SECTION
F.A.	FIRE ALARM	S.G.	SAFETY GLAZE
F.B.	FLAT BAR	SHR.	SHEAR
F.B.G.L.	FIBER GLASS	SHT.	SHOWER
F.D.	FLOOR DRAIN	SK.	SINK
FDN.	FOUNDATION	SKL.	SKIMMER
F.E.	FIRE EXTINGUISHER	S.M.	SHEET METAL
F.F.	FINISH FLOOR	S.M.S.	SHEET METAL SCREWS
F.G.	FINISH GRADE	S.N.D.	SANITARY NAPKIN DISPOSAL
F.H.	FLAT HEAD	S.N.V.	SANITARY NAPKIN VENDOR
F.H.C.	FIRE HOSE CABINET	S.O.V.	SHUT OFF VALVE
FN. FLR.	FINISH FLOOR	S.P.D.	SOUP DISPENSER
F.J.	FLOOR JOIST	SQ.	SQUARE
F.LDG.	FOLDING	S.S.	SERVICE SINK
FLR.	FLOOR	STL.	STEEL
FLUOR.	FLUORESCENT	STD.	STANDARD
F.O.	FINISH OPENING	STOR.	STORAGE
F.O.C.	FACE OF CONCRETE	STRUC.	STRUCTURAL
F.O.S.	FACE OF STUD/STEEL	ST.S.	STAINLESS STEEL
F.R.	FIREPLACE	ST. STL.	STAINLESS STEEL
F.R.P.	FIBER GLASS REINFORCED PLASTIC	SUSP.	SUSPENDED
		SYM.	SYMMETRICAL
FT.	FOOT OR FEET	T	TREAD
FTG.	FOOTING	T.B.	TOWEL BAR
		T.B.	TOP OF BOTTOM
G.A.	GAUGE	T.C.	TRASH COMPACTOR
G&V.	GALVANIZED	T.D.	TWELF DISPENSER
G.B.	GREEN BOARD	T.D.L.	TRUE-DIVIDED LIGHTS
G.C.	GENERAL CONTRACTOR	T.O.D.	TWO DISPENSER & DISP.
G.F.I.	GROUND FAULT INTERRUPTER	TELE	TELEPHONE
G.I.	GALVANIZED IRON	TEMP.	TEMPERED GLASS
GL.	GLASS	T & G	TONGUE & GROOVE
G.L.B.	GULLIAM BEAM	THK.	THICK
GND.	GROUND	T.K.	TOE KICK
G.S.M.	GALVANIZED SHEET METAL	T.O.C.	TOP OF CURB
G.V.	GATE VALVE	T.O.P.	TOP OF PAVEMENT
GYP BD.	GYPSPUM BOARD	T.O.P.L.	TOP OF PLATE
		T.O.S.	TOP OF SLAB
		T.O.STL.	TOP OF STEEL
		T.P.D.	TOWEL PAPER DISPENSER
H.B.	HOSE BIBBS	TYP.	TYPICAL
H.C.	HOLLOW CORE		
H.C.A.P.	HANDICAP		
HDBD.	HARDBOARD	U.O.N.	UNLESS OTHERWISE NOTED
HDR.	HEADER	UR.	URNAL
K.P.	KICKPLATE	V.C.T.	VINYL COMPOSITION TILE
HQUID.	HARDWOOD	VERT.	VERTICAL
HDIU.	HARDWARE	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
H.M.	HOLLOW METAL	VINL.	VINYL
HORIZ.	HORIZONTAL	V.T.R.	VENTILATION THRU ROOF
H.P.	HIGH POINT	V.H.F.	VINYL WALL FABRIC
H.R.C.	HOSE REEL CABINET		
HT.	HEIGHT	W	WASHER
H.T.D.	HANDICAP TOWEL DISP.	W.	WITH
HTG.	HEATING	W.C.	WATER CLOSET
HU.	HOT WATER	WD.	WOOD
		WDO/WDO.S	WINDOW/WINDOWS
I.D.	INSIDE DIAMETER	WDR.	UNDERBOARD
INSUL.	INSULATION	W/O.	WITHOUT
INT.	INTERIOR	W.P.	WATER PROOF
INV.	INVERT	WRGP.	WATER RESISTANT GYPSUM
J.B.	JUNCTION BOX	W.S.	WEATHER STRIPPING
JT.	JOIST	W.S.COT.	WAINSCOT
		WT.	WEIGHT

MISC. SITE PLAN NOTES & CONSTRUCTION OPERATION PLAN

UNDERGROUND SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE PACIFIC GAS & ELECTRIC COMPANY REQUIREMENTS. SEE COMPLETE INFO ON SHEET E-1

CLEANOUTS IN BLDG. SEWERS SHALL BE APPROVED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE SEWER AUTHORITY. ALL CLEANOUTS SHALL BE MAINTAINED WATERTIGHT

THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND DELINEATED BY FENCING OR FLAGGING TO LIMIT CONSTRUCTION ACTIVITY TO THE CONSTRUCTION AREA

SPECIAL INSPECTION REQUIRED FOR CONCRETE FOUNDATION GREATER THAN 2,500 P.S.I. EPOXY HOLDDOWS, HIGH STRENGTH BOLTS, SEISMIC RESISTANCE AND STRUCTURAL STEEL WELDING & FOR SHEAR WALL NAILING SPACED 4' OR LESS. COMPLETE AND SUBMIT A STAMPED & SIGNED SPECIAL INSPECTION FORM FORM PRIOR TO PERMIT ISSUANCE.

AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT IS REQUIRED PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPALITY'S RIGHT OF WAY

THE APPLICANT/CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE BLDG. INSPECTION SECTION, THE DEPT. OF PUBLIC WORKS AND THE COASTSIDE FIRE PROTECTION DISTRICT.

PRIOR TO FINAL INSPECTION, PAINT THE ADDRESS NUMBER ON THE FACE OF THE CURB NEAR THE DRIVEWAY APPROACH WITH BLACK LETTERING ON A WHITE BACKGROUND.

INCLUDE HOUSE ADDRESS NUMERALS SHALL BE A MIN. 4" IN HEIGHT AND 3/4" STROKE OF CONTRASTING COLOR TO THEIR BACKGROUND AND MUST BE LIGHTED DURING THE HOURS OF DARKNESS (SEE ELEVATION) FOR NEW CONSTRUCTION ONLY. SEE COMPLETE NOTES UNDER "FIRE PROTECTION NOTES."

COORDINATE UNDERGROUND CONSTRUCTION ACTIVITIES TO UTILIZE THE SAME JOINT TRENCH. MINIMIZE THE AMOUNT OF TIME THE DISTURBED SOIL IS EXPOSED. THE SOIL IS TO BE REPLACED USING ACCEPTED COMPACTION METHODS.

STOCKPILE AND PROTECT DISPLACED TOPSOIL FOR REUSE.

GENERAL CONTRACTOR (G.C.) TO VERIFY UTILITIES ARE MAINTAINED IN SAFE CONDITION AT TIMES OR REMOVE FROM SITE.

G.C. TO VERIFY ALL HAZARDOUS MATERIALS HAVE BEEN REMOVED.

G.C. TO VERIFY THAT THE WATER LINE THE BUILDING HAS BEEN CUT OFF AT THE PROPERTY LINE AND A HOSE BIB WITH A VACUUM BREAKER TYPE BACKFLOW PREVENTION DEVICE IS PROVIDED FOR DUST CONTROL.

IF THERE IS NO CONSTRUCTION TRAILER USED FOR THIS PROJECT, THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT BE LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.

THE DEBRIS BIN TO BE LOCATED SOMEWHERE ON THE SITE (SEE C-2). DEBRIS TO BE HAULED OFF-SITE TO AS NECESSARY. THE APPLICANT/CONTRACTOR SHALL MONITOR THE SITE TO ENSURE THAT TRASH IS PICKED UP AND APPROPRIATELY DISPOSED DAILY.

THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.

THE APPLICANT/CONTRACTOR SHALL ENSURE THE NO CONSTRUCTION-RELATED VEHICLES SHALL IMPEDE THROUGH TRAFFIC ALONG THE RIGHT-OF-WAY ON STREET. ALL CONSTRUCTION VEHICLES SHALL BE PARKED ON-SITE OUTSIDE OF THE PUBLIC RIGHT OF WAY OR IN LOCATIONS WHICH DO NOT IMPEDE SAFE ACCESS ON STREET. THERE SHALL BE NO STORAGE OF CONSTRUCTION VEHICLES IN THE PUBLIC RIGHT OF WAY. NO SITE DISTURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL, UNTIL A BUILDING PERMIT HAS BEEN ISSUED AND THEN ONLY THOSE TREES APPROVED FOR REMOVAL SHALL BE REMOVED.

NOISE LEVELS PRODUCED BY THE PROPOSED CONSTRUCTION ACTIVITY SHALL NOT EXCEED THE 80DBA LEVEL AT ANY ONE MOMENT. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS FROM 7:00 A.M. TO 6 P.M., MONDAY THROUGH FRIDAY AND 9:00 A.M. TO 5:00 P.M. ON SATURDAY. CONSTRUCTION OPERATIONS SHALL BE PROHIBITED ON SUNDAY AND ANY NATIONAL HOLIDAY.

WATER SHALL BE AVAILABLE ON SITE FOR DUST CONTROL DURING ALL GRADING OPERATIONS

SURFACE RUNOFF FROM ALL IMPERVIOUS SURFACES SHALL BE DIRECTED TO THE WATER DETENTION AREAS. SEE CIVIL PLANS

IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE POSITIVE DRAINAGE IN ALL PAVED AND LANDSCAPE AREAS. SEE "GRADING, DRAINAGE & EROSION CONTROL PLAN" ON SHEET C-1. CONTRACTOR TO PROVIDE INTENT

SEE SEPARATE DRAINAGE PLAN BY CIVIL ENGINEER FOR OFFICIAL DESIGN OF EROSION CONTROL AND DRAINAGE PLAN

RAINWATER LEADERS (DOWNSPOUTS) TO TIE INTO UNDERGROUND DRAIN. SEE DRAINAGE PLAN BY CIVIL ENGINEER ON SHEET C-1.

MAINTAIN 6" MINIMUM CLEARANCE FROM SOIL TO BOTTOM OF SIDING. (8" FROM BILL).

DRAIN WATER AWAY FROM THE BUILDING. MAKE CERTAIN THAT ALL WATER DRAINS AND THERE IS NO PONDING.

PRIOR TO THE ISSUANCE OF THE BLDG. PERMIT, THE APPLICANT/CONTRACTOR SHALL SUBMIT A DRIVEWAY "PLAN & PROFILE" TO THE DEPT. OF PUBLIC WORKS, SHOWING THE DRIVEWAY ACCESS TO THE PARCEL (GARAGE SLAB) COMPLYING WITH THE COUNTY STANDARDS FOR DRIVEWAY SLOPES (NOT TO EXCEED 20%) AND TO COUNTY STANDARDS (AT THE PROPERTY LINE) BEING THE SAME ELEVATIONS AS THE CENTER OF THE ACCESS ROADWAY. WHEN APPROPRIATE, AS DETERMINED BY THE DEPT. OF PUBLIC WORKS, THIS PLAN AND PROFILE SHALL BE PREPARED FROM ELEVATIONS AND ALIGNMENT SHOWN ON THE ROADWAY IMPROVEMENT PLANS. THE DRIVEWAY PLAN SHALL ALSO INCLUDE AND SHOW SPECIFIC PROVISIONS AND DETAILS FOR BOTH THE EXISTING AND THE PROPOSED DRAINAGE PATTERNS AND DRAINAGE FACILITIES.

NO PROPOSED CONSTRUCTION WORK WITHIN THE COUNTY RIGHT OF WAY SHALL BEGIN UNTIL THE COUNTY REQUIREMENTS FOR THE ISSUANCE OF AN ENCROACHMENT PERMIT, INCLUDING REVIEW OF THE PLANS HAVE BEEN MET AND AN ENCROACHMENT PERMIT ISSUED. THE APPLICANT/CONTRACTOR SHALL CONTACT THE DEPT. OF PUBLIC WORKS INSPECTOR 48 HOURS PRIOR TO COMMENCING WORK IN THE RIGHT OF WAY.

PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT, THE APPLICANT MAY BE REQUIRED TO PROVIDE PAYMENT OF ROADWAY MITIGATION FEES BASED ON THE SQUARE FOOTAGE (ASSESSABLE SFACE) OF THE PROPOSED BUILDING PER ORDINANCE NO. 3271.

THE APPLICANT SHALL SUBMIT A PERMANENT STORMWATER MANAGEMENT PLAN IN COMPLIANCE WITH THE COUNTY'S DRAINAGE POLICY AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENT FOR REVIEW AND APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS.

SCHEDULE WORK SO AS NOT TO INTERFERE UNDULY WITH THE NORMAL HOUSEHOLD OPERATIONS.

NO SITE DISTURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

FIRE PROTECTION NOTES

1: AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA-13D MUST BE SUBMITTED AS A SEPARATE PERMIT. AS PER SMCO BUILDING STANDARDS AND COASTSIDE FIRE DISTRICT ORDINANCE NUMBER 2019-01, THE APPLICANT/OWNER AND HIS CONSTRUCTION TEAM WILL INSTALL THE AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE PROPOSED DWELLING AND GARAGE. ALL ATTIC ACCESS LOCATIONS WILL BE PROVIDED WITH A PILOT HEAD OR A METAL UPRIGHT. SPRINKLER COVERAGE SHALL BE PROVIDED THROUGHOUT THE RESIDENCE TO INCLUDE ALL BATHROOMS, GARAGES AND ANY AREA USED FOR STORAGE. THE ONLY EXCEPTION IS SMALL CLOSETS LESS THAN 24 SQUARE FEET WITH A FULL DEPTH BATHROOM. THE PLANS FOR THIS SYSTEM MUST BE SUBMITTED TO THE SMCO PLANNING AND BUILDING DIVISION OR THE CITY OF MONTERA. A BUILDING PERMIT WILL NOT BE ISSUED UNTIL PLANS ARE RECEIVED, REVIEWED AND APPROVED. UPON SUBMISSION OF PLANS, THE COUNTY OR CITY WILL FORWARD A COMPLETE SET TO THE COASTSIDE FIRE DISTRICT FOR REVIEW. CONTRACTOR INSTALLING SYSTEM MUST HAVE A C/16 LICENSE.

2: SMOKE DETECTORS ARE HARDWIRED: AS PER CHAPTER R314 OF THE 2019 CRC, STATE FIRE MARSHALL REGULATIONS AND COASTSIDE FIRE DISTRICT ORDINANCE # 2016-01, THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHALL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HARDWIRED, INTERCONNECTED AND HAVE BATTERY BACKUP. THESE DETECTORS ARE REQUIRED TO BE PLACED IN EACH NEW ROOM AND RECONDITIONED SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN EXISTING SLEEPING ROOMS, AREAS MAY HAVE BATTERY POWERED SMOKE ALARMS. A MINIMUM OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL DATE OF INSTALLATION MUST BE ADDED TO EXTERIOR OF THE SMOKE ALARM AND WILL BE CHECKED AT FINAL.

3: SMOKE/CARBON MONOXIDE DETECTORS: TO BE HARDWIRED, INTERCONNECTED OR WITH BATTERY BACKUP. DETECTORS ARE TO BE INSTALLED PER MANUFACTURER'S INSTRUCTION AND NFPA 72.

4: ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5.0 SQ. FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED BILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

4A: IDENTIFY RESCUE/ESCAPE WINDOWS IN EACH BEDROOM AND VERIFY THAT THEY MEET ALL REQUIREMENTS PER CRC R310.2

5: OCCUPANCY SEPARATION: ATTACHED GARAGE TO MEET OCCUPANCY SEPARATION REQUIREMENTS PER CRC R302.6. A ONE-HOUR OCCUPANCY SEPARATION WALL SHALL BE INSTALLED WITH A SOLID CORE, 20-MINUTE FIRE RATED, SELF CLOSING DOOR ASSEMBLY WITH SMOKE GASKET BETWEEN THE GARAGE AND THE RESIDENCE. ALL ELECTRICAL BOXES INSTALLED IN RATED WALLS SHALL BE METAL OR PROTECTED.

6: ADDRESS NUMBERS: AS PER COASTSIDE FIRE DISTRICT NO. 2016-03, BUILDING IDENTIFICATION SHALL BE CONSPICUOUSLY POSTED & VISIBLE FROM THE STREET. (TEMP. ADDRESS #5 SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). THE LETTERS/NUMERALS FOR PERMANENT ADDRESS SIGNS SHALL BE 4 INCHES IN HEIGHT WITH A MINIMUM 1/2-INCH STROKE. SUCH LETTERS/NUMERALS SHALL BE INTERNALLY ILLUMINATED & FACING THE DIRECTION OF ACCESS. FINISHED HEIGHT OF BOTTOM OF ADDRESS LIGHT UNL SHALL BE GREATER THAN OR EQUAL TO 6 FEET FROM THE FINISHED GRADE. WHEN THE BUILDING IS SERVED BY A LONG DRIVEWAY OR IS OTHERWISE OBSCURED, A 6-INCH BY 18-INCH GREEN REFLECTIVE METAL SIGN WITH 3-INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT SHALL BE PLACED AT THE ENTRANCE FROM THE NEAREST PUBLIC ROADWAY. SEE FIRE ORDINANCE FOR STANDARD SIGN.

6A: NEW RESIDENTIAL ADDRESS NUMBERS: BUILDINGS SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC RIGHT OF WAY. THE BUILDING REAR ADDRESS NUMBERS SHALL BE AT LEAST 7 FEET ABOVE THE FINISHED GRADE SURFACE OF THE DRIVEWAY. WHERE BUILDINGS ARE LOCATED REMOTELY TO THE PUBLIC ROADWAY, ADDITIONAL SIGNAGE AT THE DRIVEWAY/ROADWAY ENTRANCE LEADING TO THE BUILDING AND/OR ON EACH INDIVIDUAL BUILDING SHALL BE REQUIRED BY THE COASTSIDE FIRE PROTECTION DISTRICT. THIS REMOTE SIGNAGE SHALL CONSIST OF A 6-INCH BY 18-INCH GREEN REFLECTIVE METAL SIGN WITH 3-INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE)

7: ROOF COVERING: AS PER COASTSIDE FIRE DISTRICT ORDINANCE # 2019-01, THE ROOF COVERING OF EVERY NEW BUILDING AND MATERIALS APPLIED AS PART OF A ROOF COVERING ASSEMBLY, SHALL HAVE A MINIMUM FIRE RATING OF CLASS "B" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA RESIDENTIAL CODE.

8: AUTOMATIC FIRE SPRINKLER SYSTEM: AS PER SAN MATEO COUNTY BUILDING STANDARDS AND COASTSIDE FIRE DISTRICT ORDINANCE NUMBER 2016-03, THE APPLICANT IS REQUIRED TO INSTALL AN AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE PROPOSED OR IMPROVED DWELLING AND GARAGE. ALL ATTIC ACCESS LOCATIONS WILL BE PROVIDED WITH A PILOT HEAD OR A METAL UPRIGHT. ALL AREAS THAT ARE ACCESSIBLE FOR STORAGE PURPOSES SHALL BE EQUIPPED WITH FIRE SPRINKLERS INCLUDING CLOSETS AND BATHROOMS. THE ONLY EXCEPTION IS SMALL LINEN CLOSETS LESS THAN 24 SQUARE FEET WITH FULL DEPTH SHELVE. THE PLANS FOR THIS SYSTEM MUST BE SUBMITTED TO THE SAN MATEO COUNTY PLANNING AND BUILDING DIVISION. A BUILDING PERMIT WILL NOT BE ISSUED UNTIL PLANS ARE RECEIVED, REVIEWED AND APPROVED. UPON SUBMISSION OF PLANS, THE COUNTY OR CITY WILL FORWARD A COMPLETE SET TO THE COASTSIDE FIRE DISTRICT FOR REVIEW. THE FEE SCHEDULE FOR AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE IN ACCORDANCE WITH COASTSIDE FIRE PROTECTION DISTRICT.

9: INSTALLATION OF UNDERGROUND SPRINKLER PIPE SHALL BE FLUSHED AND VISUALLY INSPECTED BY FIRE DISTRICT PRIOR TO HOOK-UP TO RISER. ANY SOLDERED FITTINGS MUST BE PRESSURE TESTED WITH TRENCH OPEN. PLEASE CALL COASTSIDE FIRE DISTRICT TO SCHEDULE AN INSPECTION. FEES SHALL BE PAID PRIOR TO PLAN REVIEW.

10: EXTERIOR BELL AND INTERIOR HORN/SROBE: REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM. THE BELL, HORN/SROBE AND FLOW SWITCH, ALONG WITH THE GARAGE DOOR OPENER ARE TO BE WIRED INTO A SEPARATE CIRCUIT BREAKER AT THE MAIN ELECTRICAL PANEL AND LABELED.

10A: PHOTOVOLTAIC SYSTEMS: THESE SYSTEMS SHALL MEET THE REQUIREMENTS OF THE COASTSIDE FIRE PROTECTION DISTRICT AS OUTLINED IN STANDARD DETAIL D1-001 SOLAR PHOTOVOLTAIC SYSTEMS.

12: FIRE ACCESS ROADS: THE APPLICANT MUST HAVE A MAINTAINED ASPHALT SURFACE ROAD FOR INGRESS AND EGRESS OF FIRE APPARATUS. THE CITY OF HALF MOON BAY DEPARTMENT OF PUBLIC WORKS, SMCO DEPARTMENT PUBLIC WORKS, THE COASTSIDE FIRE DISTRICT ORDINANCE 2019-01 AND THE CALIFORNIA FIRE CODE SHALL SET ROAD STANDARDS. AS PER THE 2019 CFC, DEAD END ROADS EXCEEDING 150 FEET SHALL BE PROVIDED WITH A TURNAROUND IN ACCORDANCE WITH COASTSIDE FIRE DISTRICT SPECIFICATIONS. AS PER THE 2019 CFC, SECTION APPENDIX D, ROAD WIDTH SHALL NOT BE LESS THAN 20 FEET. FIRE ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO COMBUSTIBLES BEING PLACED ON THE PROJECT SITE AND MAINTAINED DURING CONSTRUCTION. APPROVED SIGNS AND PAINTED CURBS OR LINES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE ACCESS ROADS AND STATE THE PROHIBITION OF THEIR OBSTRUCTION. IF THE ROAD WIDTH DOES NOT ALLOW PARKING ON THE STREET (20 FOOT ROAD) AND ON-STREET PARKING IS DESIRED, AN ADDITIONAL IMPROVED AREA SHALL BE DEVELOPED FOR THAT USE.

13: FIRE APPARATUS ROADS TO BE A MINIMUM OF 20 FEET WIDE WITH A MINIMUM OF 35 FEET CENTERLINE RADIUS AND A VERTICAL CLEARANCE OF 15 FEET CFC203, D103, T-14 1213

FIRE APPARATUS ACCESS ROADS TO BE AN APPROVED ALL WEATHER SURFACE. GRADES 15% OR GREATER TO BE SURFACED WITH ASPHALT, OR BRUSHED CONCRETE. GRADES 15% OR GREATER SHALL BE LIMITED TO 150 FEET IN LENGTH WITH A MINIMUM OF 500 FEET BETWEEN THE NEXT SECTION. FOR ROADS APPROVED LESS THAN 20 FEET, 20 FEET WIDE TURNOUTS SHALL BE ON EACH SIDE OF 15% OR GREATER SECTION. NO GRADES OVER 20%. (PLAN AND PROFILE REQUIRED CFC 503)

14: "NO PARKING - FIRE LANE" SIGNS SHALL BE PROVIDED ON BOTH SIDES OF ROADS 20 TO 26 FEET WIDE AND ON ONE SIDE OF ROADS 26 TO 32 FEET WIDE CFC D103.6. COASTSIDE FIRE DISTRICT ORDINANCE #2019-01 SECTION 503.3.1 REQUIRES THE POSTING OF SIGNS EVERY 15 FEET OF TRAVEL ON BOTH SIDES OF THE ROADWAY STATING "NO PARKING FIRE LANE CVC 22500.1"

14A: DEAD END EMERGENCY ACCESS EXCEEDING 150 FEET SHALL BE PROVIDED WITH WIDTH AND TURNAROUND PROVISIONS MEETING CALIFORNIA FIRE CODE APPENDIX D.

14B: A PLAN AND PROFILE OF THE DRIVEWAY/ROADWAY IS DONE BY THE CIVIL ENGINEER. SEE FIRM'S DESIGN AND PLANS

15: FIRE HYDRANT: AS PER 2019 CFC, APPENDIX B AND C, A FIRE DISTRICT APPROVED FIRE HYDRANT (FLOW 360) MUST BE LOCATED WITHIN 500 FEET OF THE PROPOSED SINGLE-FAMILY DWELLING BY WAY OF DRIVABLE ACCESS. AS PER 2019 CFC, APPENDIX B, THE HYDRANT/STANDPIPE MUST PRODUCE A MINIMUM FIRE FLOW OF 1,000 GALLONS PER MINUTE AT 20 POUNDS PER SQUARE INCH RESIDUAL PRESSURE FOR 2 HOURS. CONTACT THE LOCAL WATER PURVEYOR FOR WATER FLOW DETAILS. (THE APPLICANT SHALL PROVIDE DOCUMENTATION INCLUDING HYDRANT LOCATION, MAIN SIZE AND FIRE FLOW REPORT AT THE BUILDING PERMIT APPLICATION STAGE. INSPECTION REQUIRED PRIOR TO THE FIRE'S FINAL APPROVAL OF THE BUILDING PERMIT OR BEFORE COMBUSTIBLES ARE BROUGHT ON SITE).

16: THE REQUIRED FIRE FLOW SHALL BE AVAILABLE FROM A COUNTY STANDARD WET BARREL FIRE HYDRANT. THE CONFIGURATION OF THE HYDRANT SHALL HAVE A MINIMUM OF ONE EACH 4 1/2" OUTLET AND ONE EACH 2 1/2" OUTLET LOCATED NOT MORE THAN 250 FEET FROM THE BUILDING MEASURED BY WAY OF APPROVED DRIVABLE ACCESS TO THE PROJECT SITE.

17: CONTACT THE FIRE MARSHALL'S OFFICE TO SCHEDULE A FINAL INSPECTION PRIOR TO OCCUPANCY AND FINAL INSPECTION BY A BUILDING INSPECTOR. ALLOW FOR A MINIMUM OF 12 HOURS NOTICE TO THE FIRE DEPARTMENT.

A: VEGETATION MANAGEMENT (VMA): THE COASTSIDE FIRE DISTRICT ORDINANCE 2019-01, THE 2019 CALIFORNIA FIRE CODE 304.1.2 AND PUBLIC RESOURCES CODE 4291, A FUEL BREAK OR DEFENSIBLE SFACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 10 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE IN SRA (STATE RESPONSIBLE AREA) THE FUEL BREAK IS 100 FEET OR TO THE PROPERTY LINE.

B: TREES LOCATED WITHIN THE DEFENSIBLE SFACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 TO 10 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SFACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.

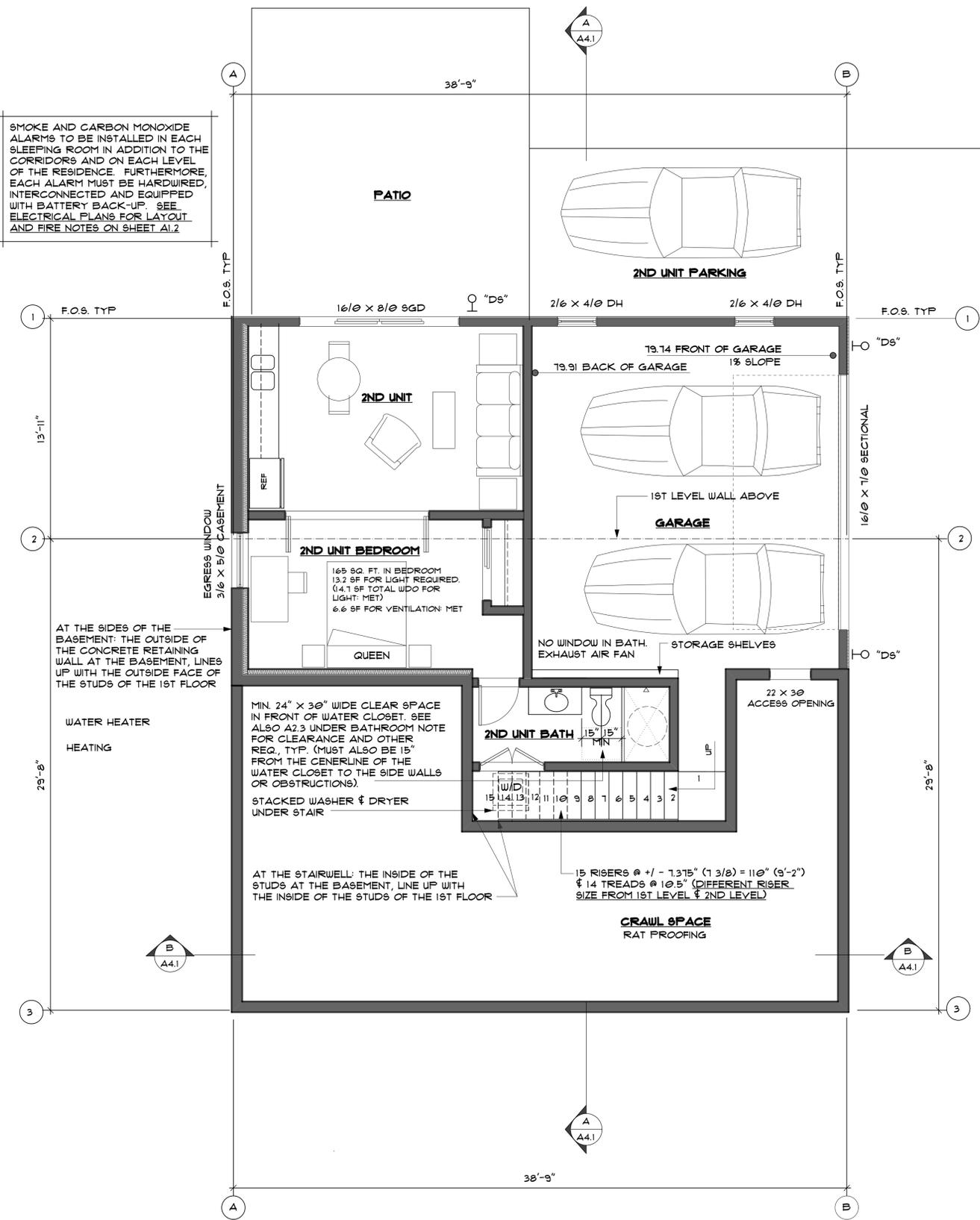
C: REMOVE THAT PORTION OF ANY EXISTING TREE, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD

D: THE INSTALLATION OF AN APPROVED SPARK ARRESTER IS REQUIRED ON ALL CHIMNEYS - EXISTING AND NEW. SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12-GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2".

E: A FUEL BREAK OR DEFENSIBLE SFACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES.

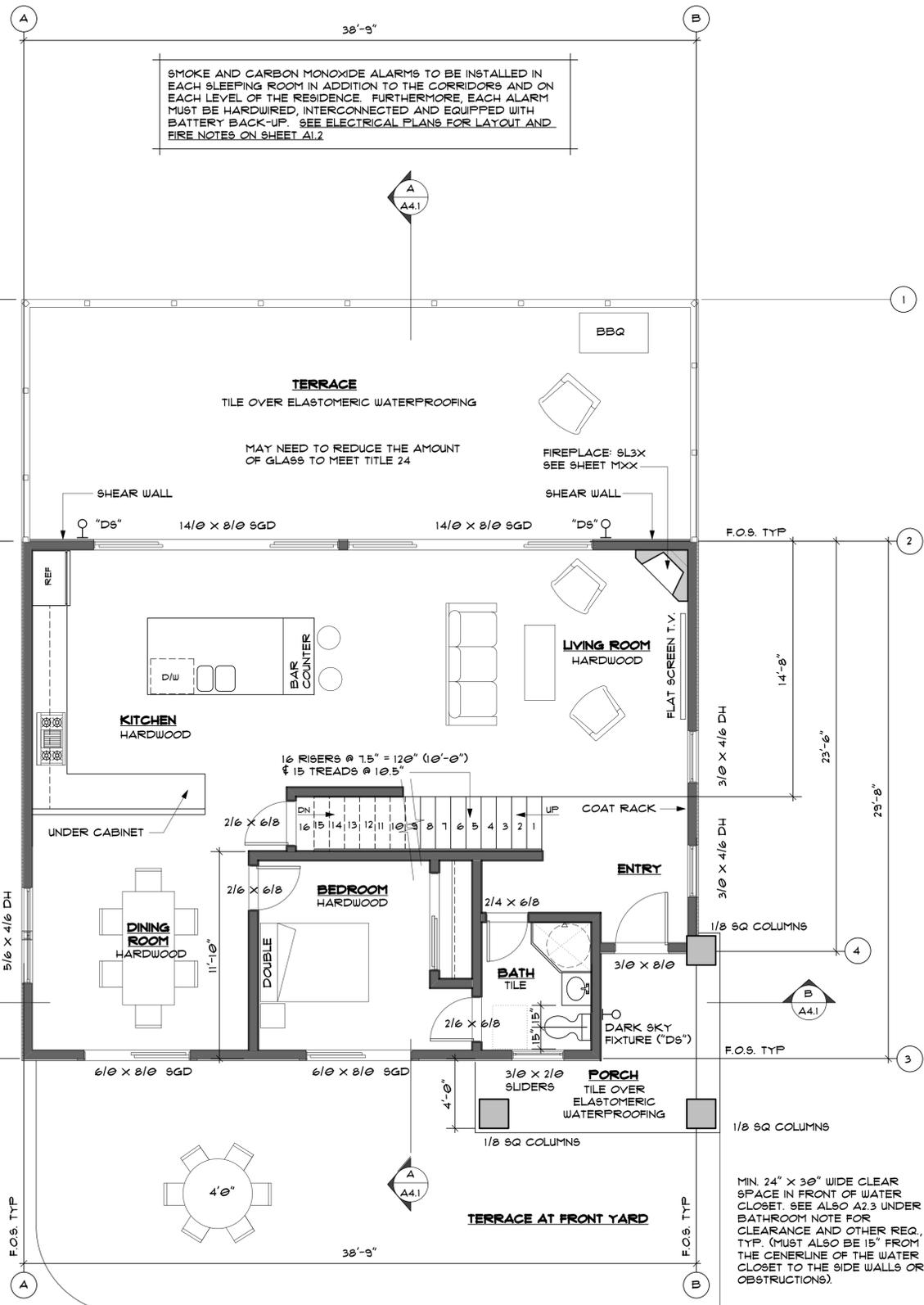
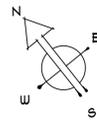
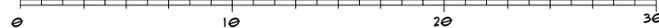


CHRIS RIDGWAY



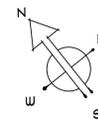
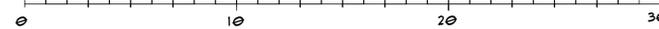
GRADE LEVEL PLAN

SCALE: 1/4" = 1'-0"



1ST LEVEL PLAN

SCALE: 1/4" = 1'-0"



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610 POPULAR STREET, HALF MOON BAY, CA 94019
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EMAIL: CRARCHITECT@COASTSIDE.NET



NEW RESIDENCE FOR:
POWER, PATRICK & MARY
ADDRESS: 3RD ST. MONTARA (EAST AVE CROSS ST.)

JOB # 1904
SCALE AS NOTED
DATE 12/01/19

SHEET
A2.1



CHRIS RIDGWAY ARCHITECT, INC.
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 EMAIL: CRARCHITECT@COASTSIDE.NET



NEW RESIDENCE FOR: A.P.N. 036-013-010
POWER, PATRICK & MARY
 ADDRESS: 3RD ST. MONTARA (EAST AVE CROSS ST.)

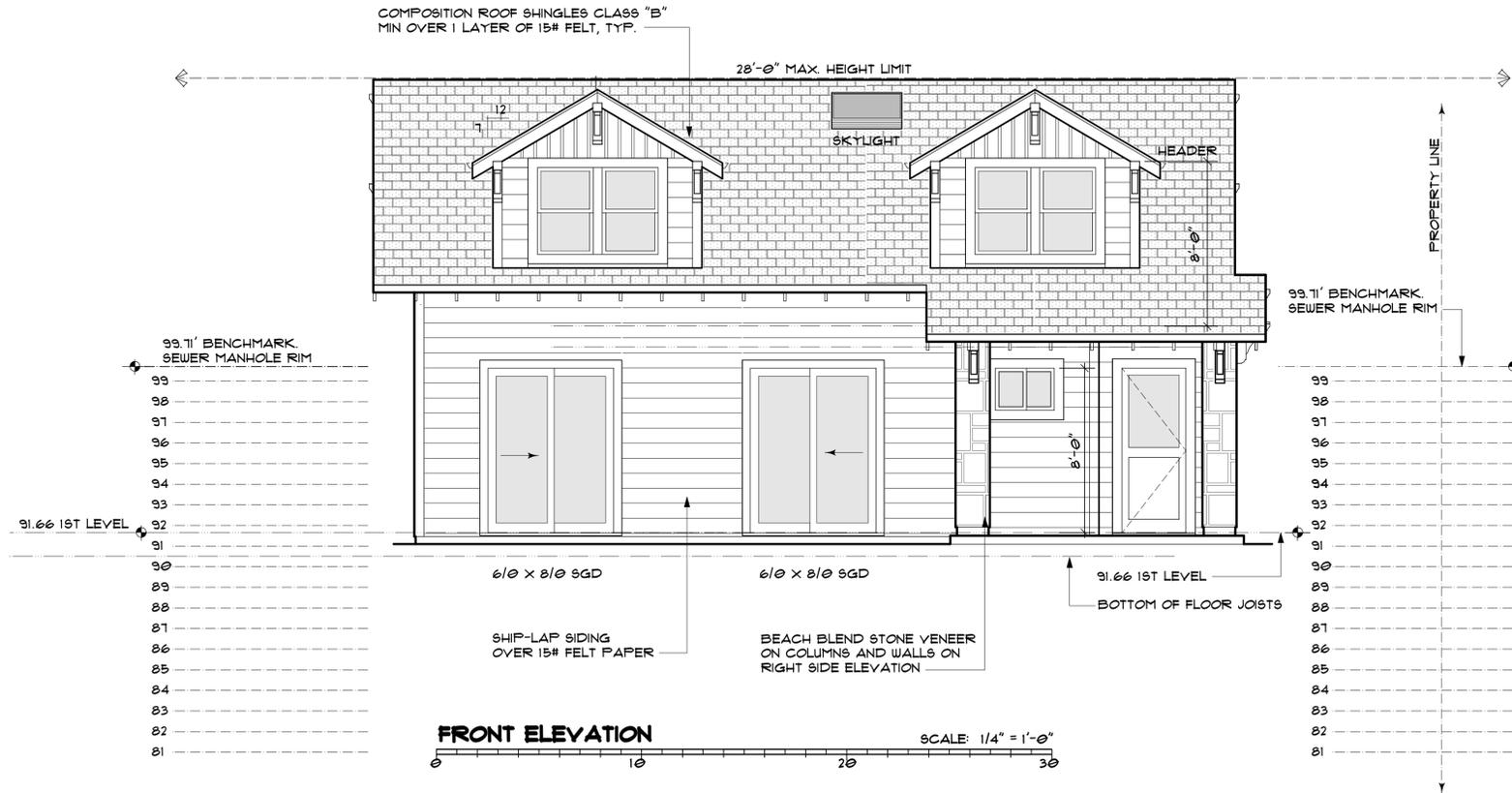
JOB #
1904

SCALE
AS NOTED

DATE
12/01/19

SHEET

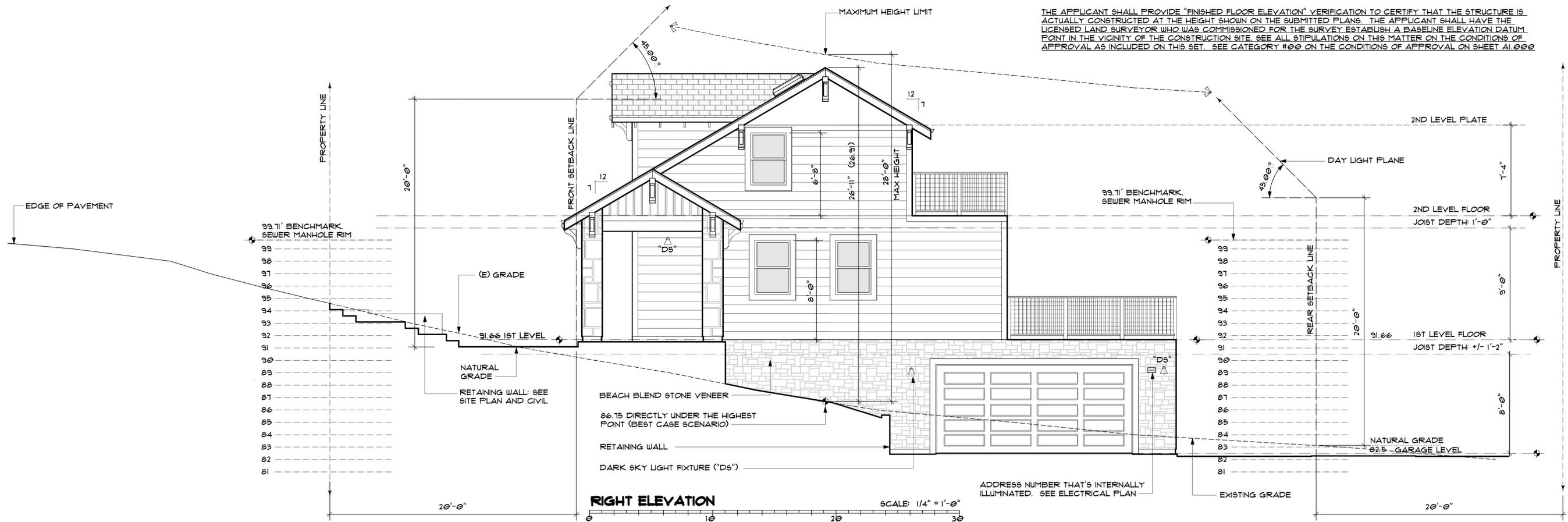
A3.1



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

THE APPLICANT SHALL PROVIDE "FINISHED FLOOR ELEVATION" VERIFICATION TO CERTIFY THAT THE STRUCTURE IS ACTUALLY CONSTRUCTED AT THE HEIGHT SHOWN ON THE SUBMITTED PLANS. THE APPLICANT SHALL HAVE THE LICENSED LAND SURVEYOR WHO WAS COMMISSIONED FOR THE SURVEY ESTABLISH A BASELINE ELEVATION DATUM POINT IN THE VICINITY OF THE CONSTRUCTION SITE. SEE ALL STIPULATIONS ON THIS MATTER ON THE CONDITIONS OF APPROVAL AS INCLUDED ON THIS SET. SEE CATEGORY #000 ON THE CONDITIONS OF APPROVAL ON SHEET A1.000



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



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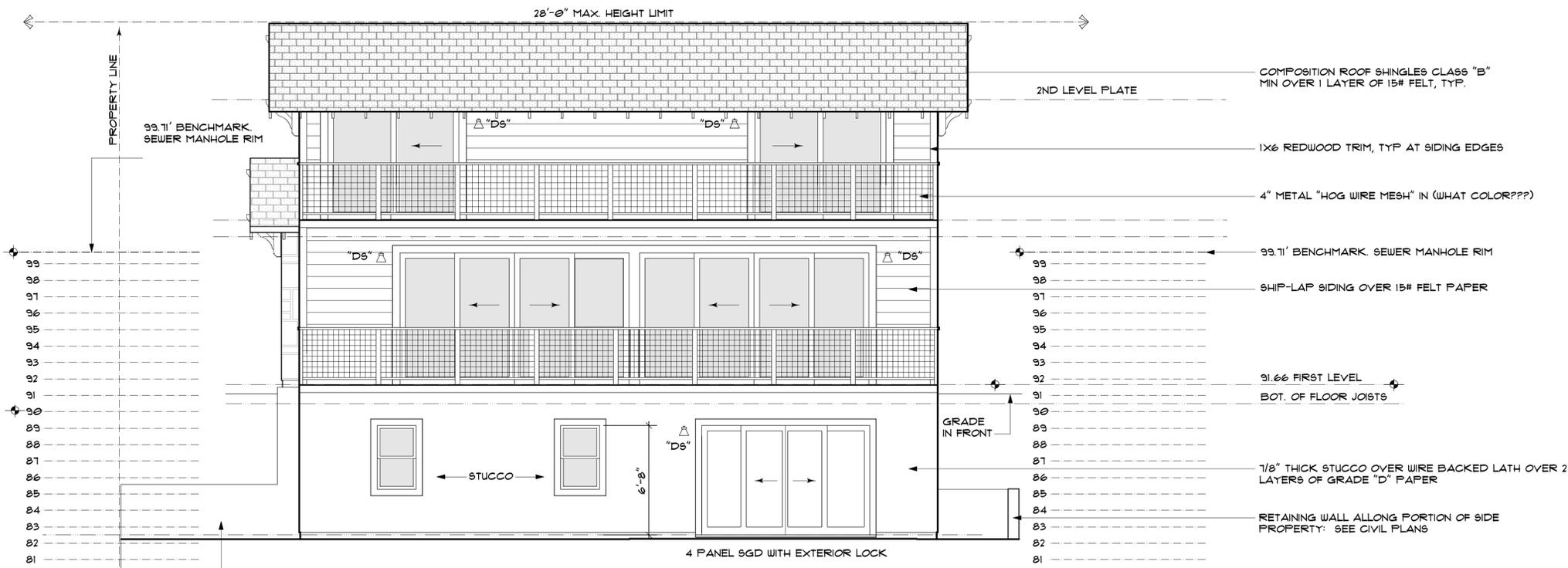
JOB # 1904

SCALE AS NOTED

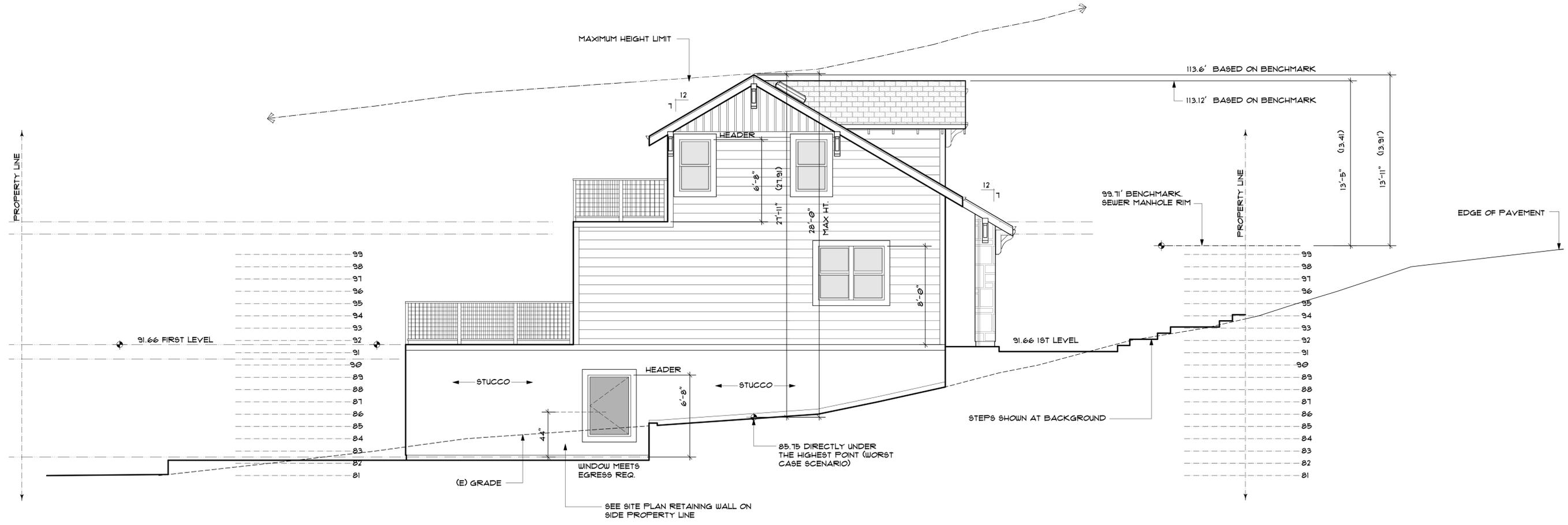
DATE 12/01/19

SHEET

A3.2



REAR ELEVATION SCALE: 1/4" = 1'-0"



LEFT ELEVATION SCALE: 1/4" = 1'-0"



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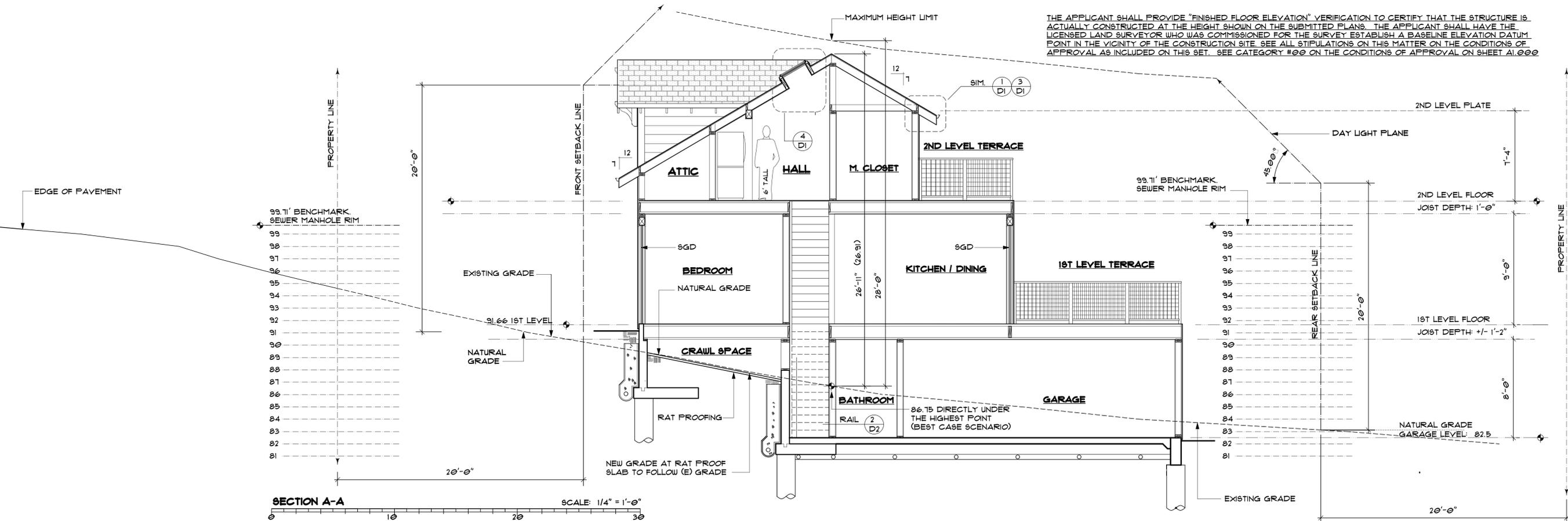
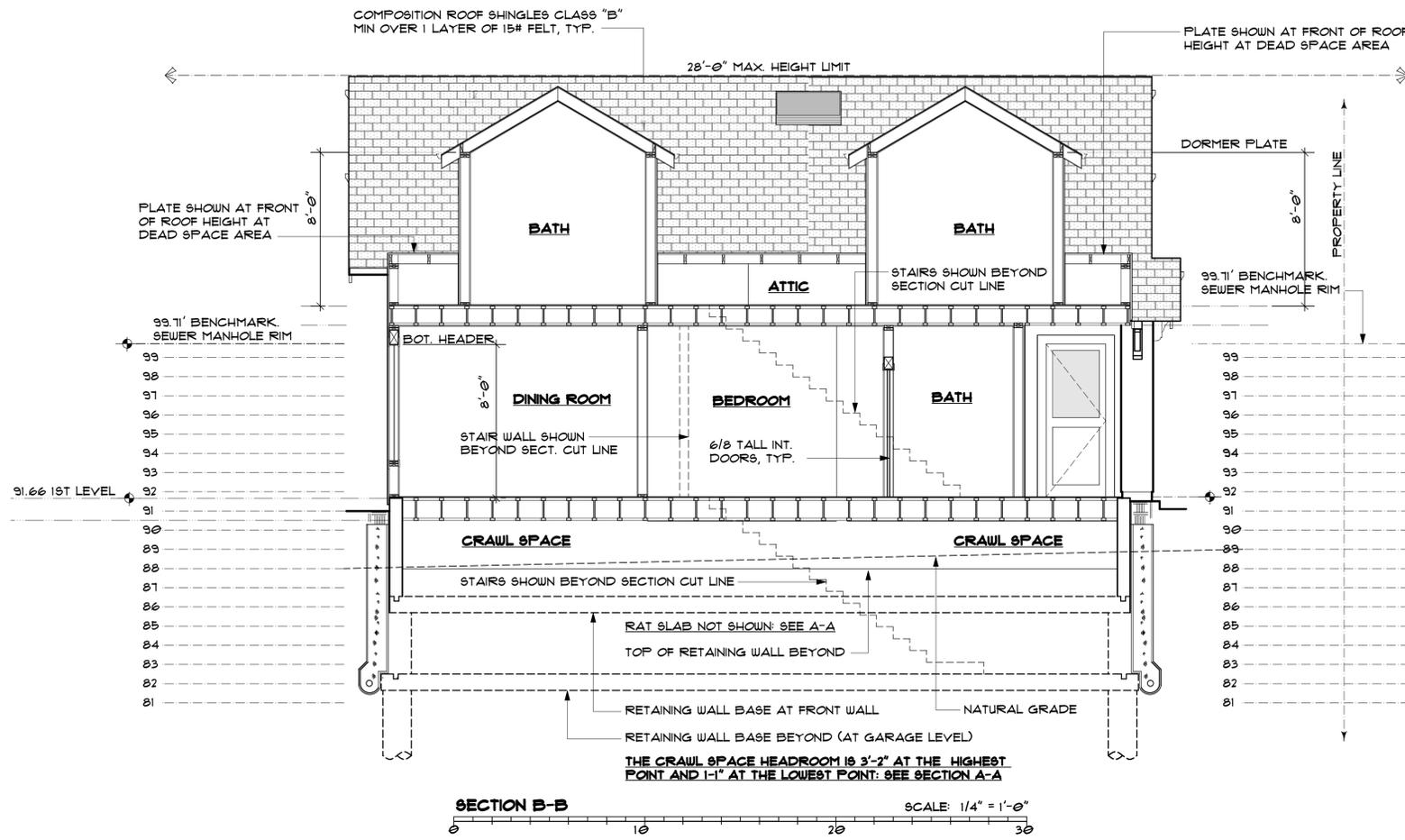
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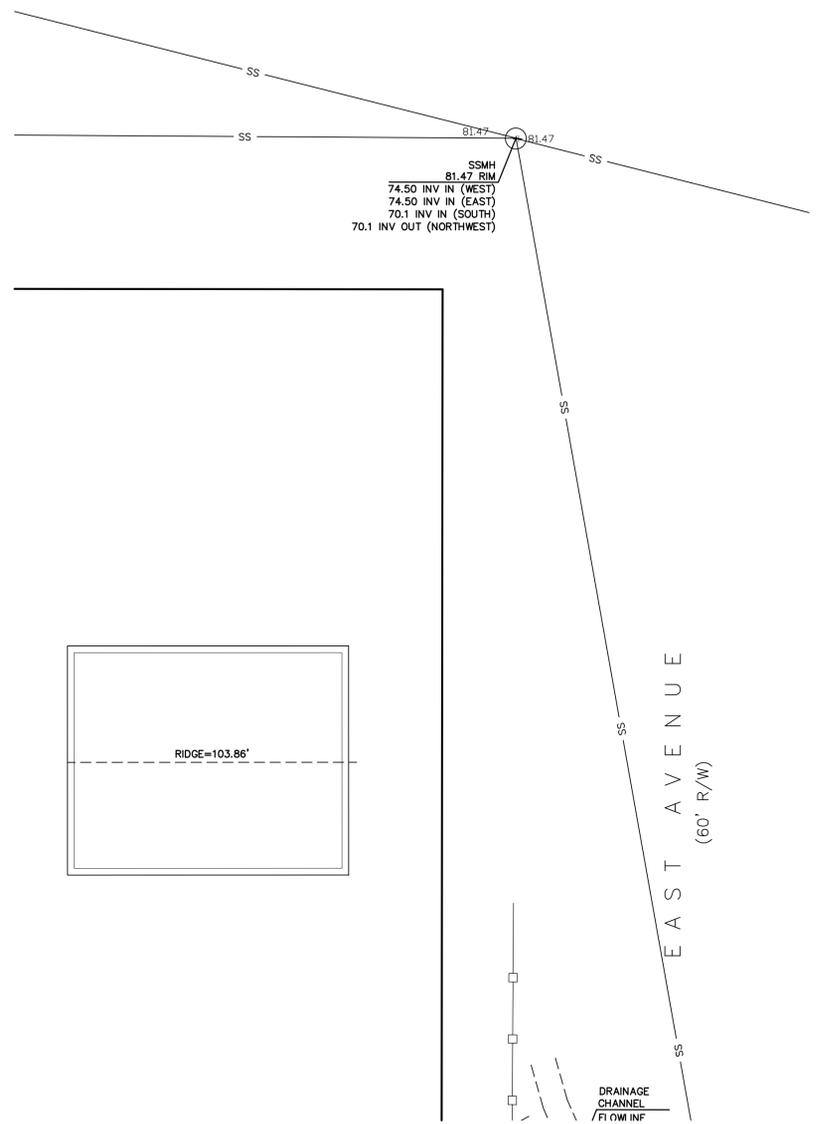
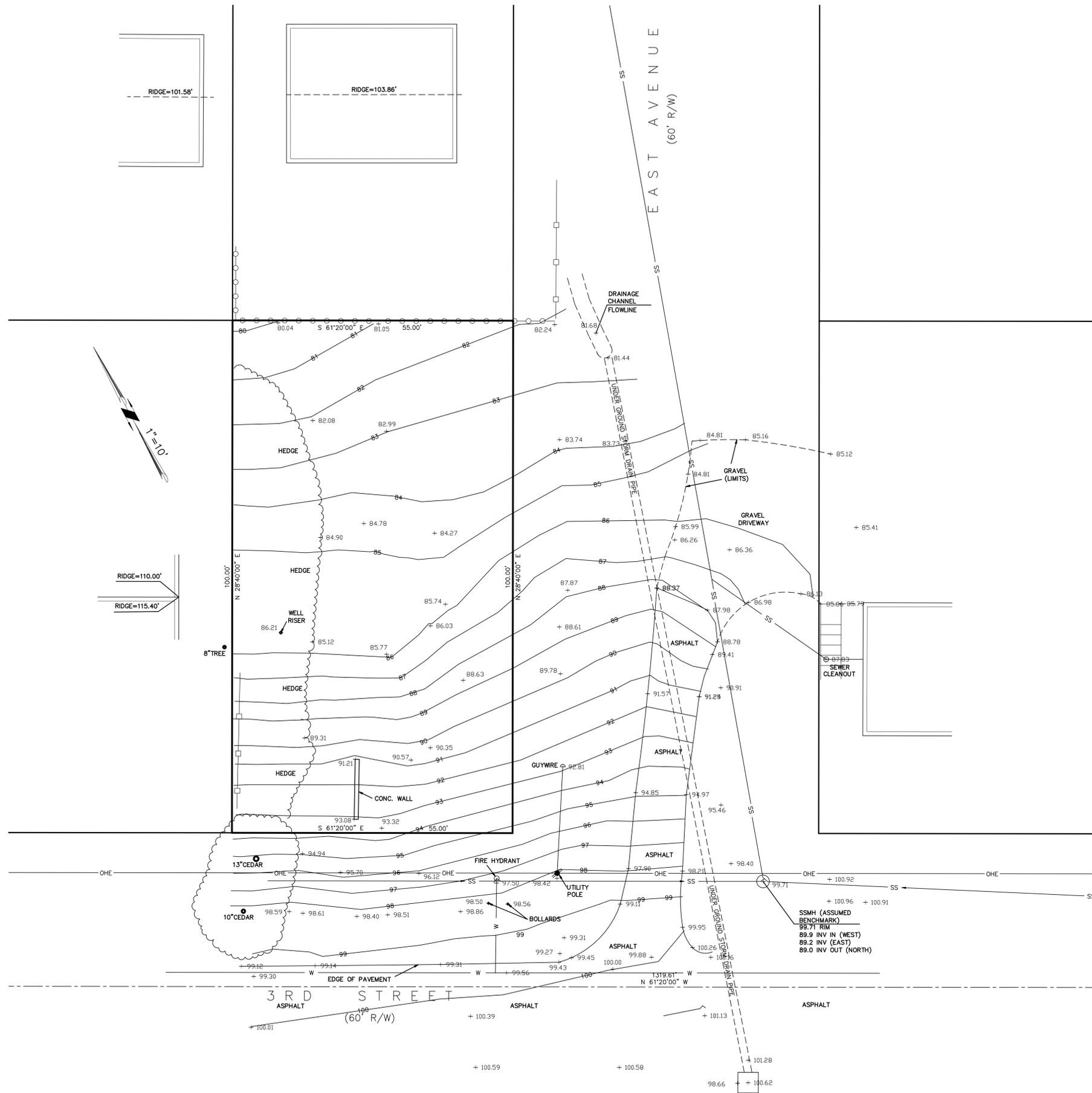
SCALE AS NOTED

DATE 12/01/19

SHEET

A4.1





BENCHMARK STATEMENT:
 THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

PROJECT BENCHMARK:
 SEWER MANHOLE RIM
 ELEVATION = 99.71 FEET

SURVEYOR'S STATEMENT:
 THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE MAY 2019. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN.



Saviro Micallef
 SAVIRO P. MICALLEF
 LAND SURVEYOR, LS 8289
 (805) 709-2423

DATE
 05-24-19

SAVIOR P. MICALLEF LAND SURVEYING
 421 WILDWOOD DRIVE
 SOUTH SAN FRANCISCO, CA 94080
 805/709-2423

CALIFORNIA
 TOPOGRAPHIC SURVEY OF
 3RD STREET, MONTARA (VACANT LAND)
 (APN 036-013-010)
 UNINCORPORATED SAN MATEO COUNTY

Date	Scale	Design	Drawn	Approved	Job No
05-24-19	1"=10'	SPM	SPM	SPM	

Revisions

Drawing Number: 1 OF 1

FLORA FARM
 340 PURISSIMA ST.
 HALF MOON BAY
 CAL.
 LIC# 549103

MWEL0

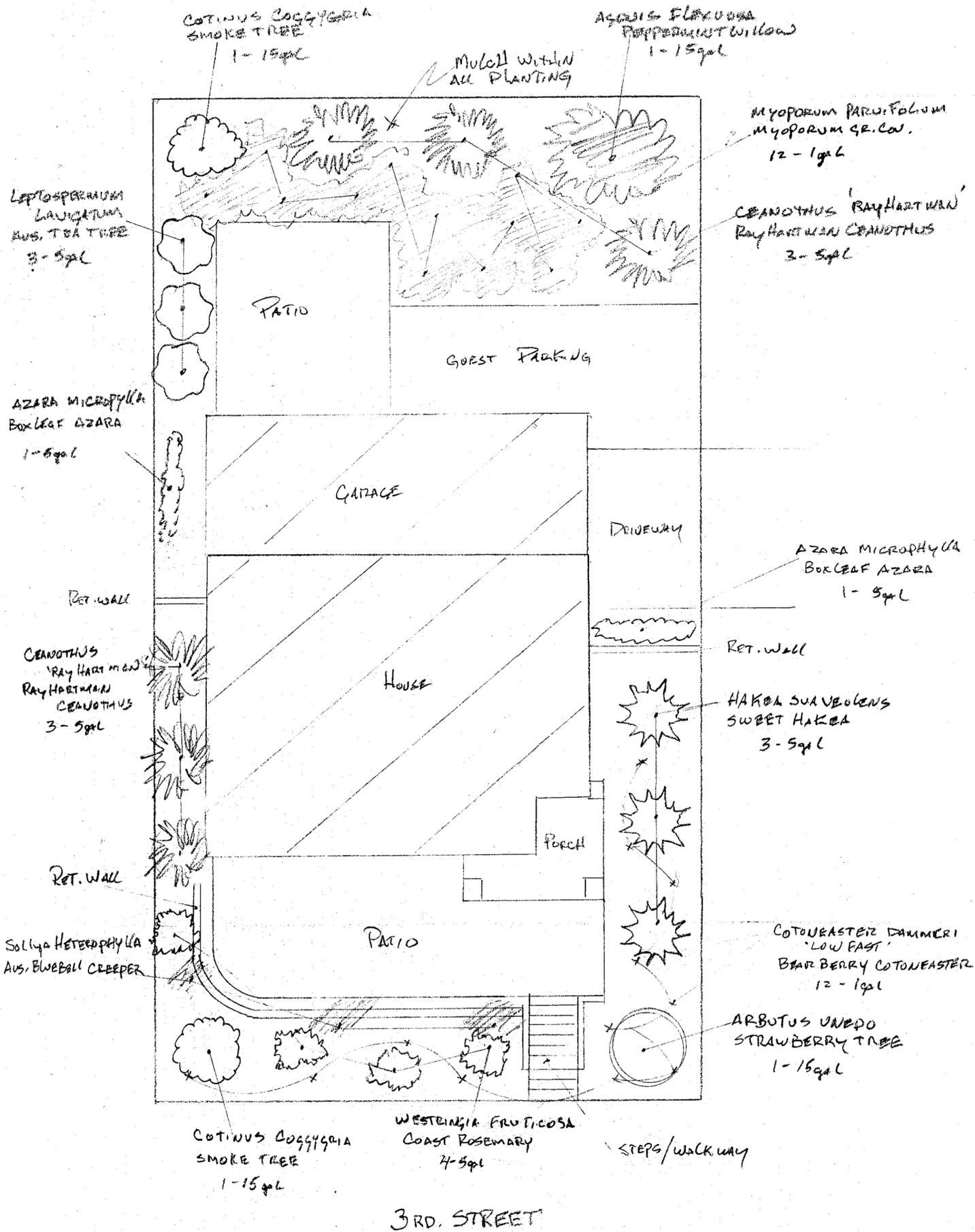
APPLICANT: JERRY ALAN WHITING
 650 678-5801
 340 PURISSIMA ST. HALF MOON BAY
 FLORAFARMHMB@YAHOO.COM

POWER RESIDENCE 3RD ST. MONTANA
 NEW DWELLING

* THIS PROJECT DOES INCORPORATE LANDSCAPING
 EQUAL TO OR LESS THAN 2500 SFT. AND WILL BE
 USING THIS FORM TO IDENTIFY PRESCRIPTIVE
 REQUIREMENTS WHICH WILL BE INCLUDED
 AS PART OF THE LANDSCAPE PROJECT.
 TOTAL LANDSCAPE AREA 1500 SFT
 SPECIAL LANDSCAPE AREA N/A
 WATER TYPE - POTABLE WATER PURVEYOR: CWD

SIGNATURE: Jerry Whiting 10/31/19

* ALL PLANTINGS WILL BE HAND WATERED
 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE
 (MWEL0) SHORT FORM PRESCRIPTIVE COMPLIANCE



PLANT LIST	COMMON NAME	QTY/SIZE	WI	TYPE
AR BUTUS UNEDO	STRAWBERRY TREE	1 - 15gal	L	TREE
AGONIS FLEXUOSA	PEPPERMINT WILLOW	1 - 15gal	L	TREE
CO TINUS CUGGYGRIA	SMOKE TREE	1 - 15gal	L	TREE
WESTRINGIA FRUTICOSA	COAST ROSEMARY	4 - 5gal	L	SHRUB
CEANOTHUS 'RAYHARTMAN'	RAYHARTMAN CEANOTHUS	6 - 5gal	L	SHRUB
LEPTOSPERMUM LAVICATUM	AUS. TEA TREE	3 - 5gal	L	SHRUB
AZARA MICROPHYLLA	BOX LEAF AZARA	2 - 5gal	M	SHRUB
HAKKA SUAVEOLENS	SWEET HAKKA	3 - 5gal	L	SHRUB
MYOPORUM PARVIFOLIUM	MYOPORUM GR. COV.	12 - 1gal	L	GROUND COVER
COTONEASTER DAMMERI 'LOW FAST'	BEAR BERRY COTONEASTER	12 - 1gal	L	GROUND COVER
SOLLYA HETEROPHYLLA	AUSTRALIAN BLUEBALL CREEPER	3 - 1gal	L	GROUND COVER
		TOTAL PLANTS:		
		3 - 15gal		
		18 - 5gal		
		27 - 1gal		

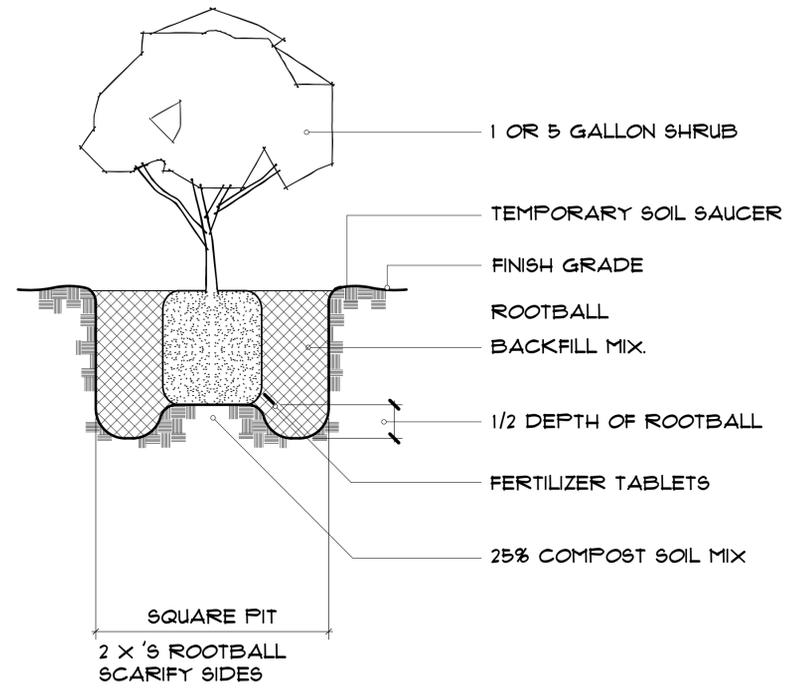
PLANTING NOTES:

1. INCORPORATE COMPOST AT A RATE OF AT LEAST 4 COFT. PER 1000 SFT. TO A DEPTH OF 6" INTO LANDSCAPE AREA
2. A MINIMUM OF 3" LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT IN AREAS OF CREEPING GROUND COVER OR TURF.

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION OF THE MWEL0 PER APPENDIX D

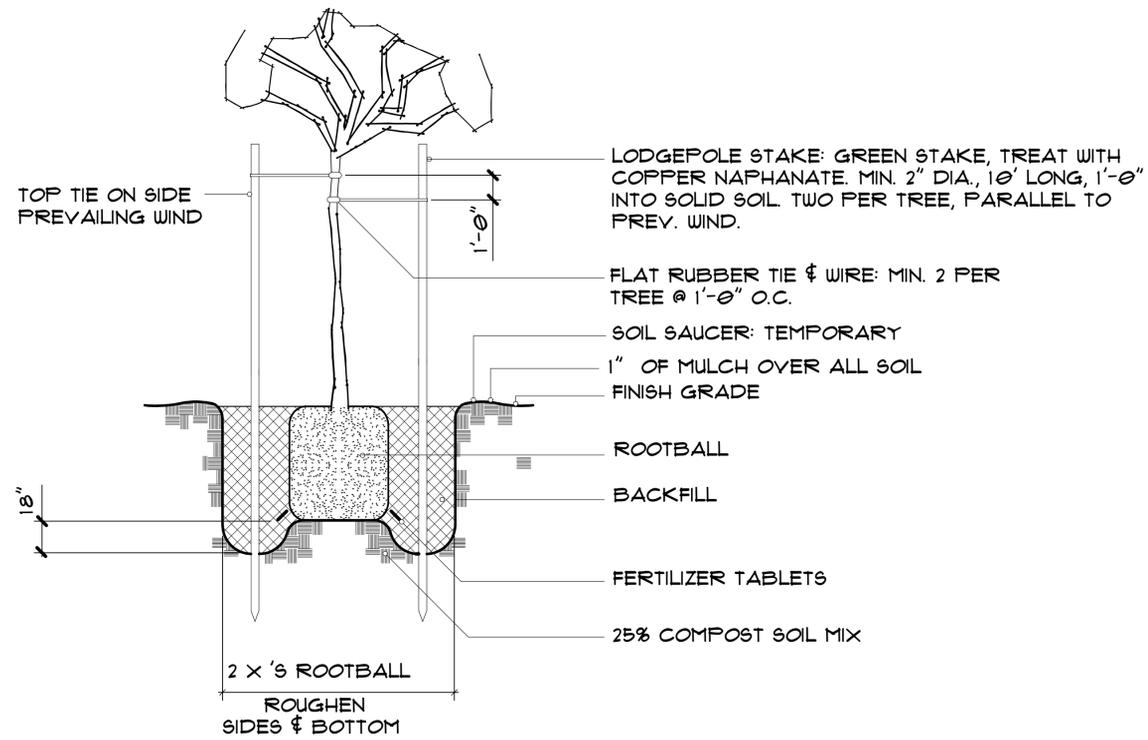
Jerry Whiting 10/31/19

LS1



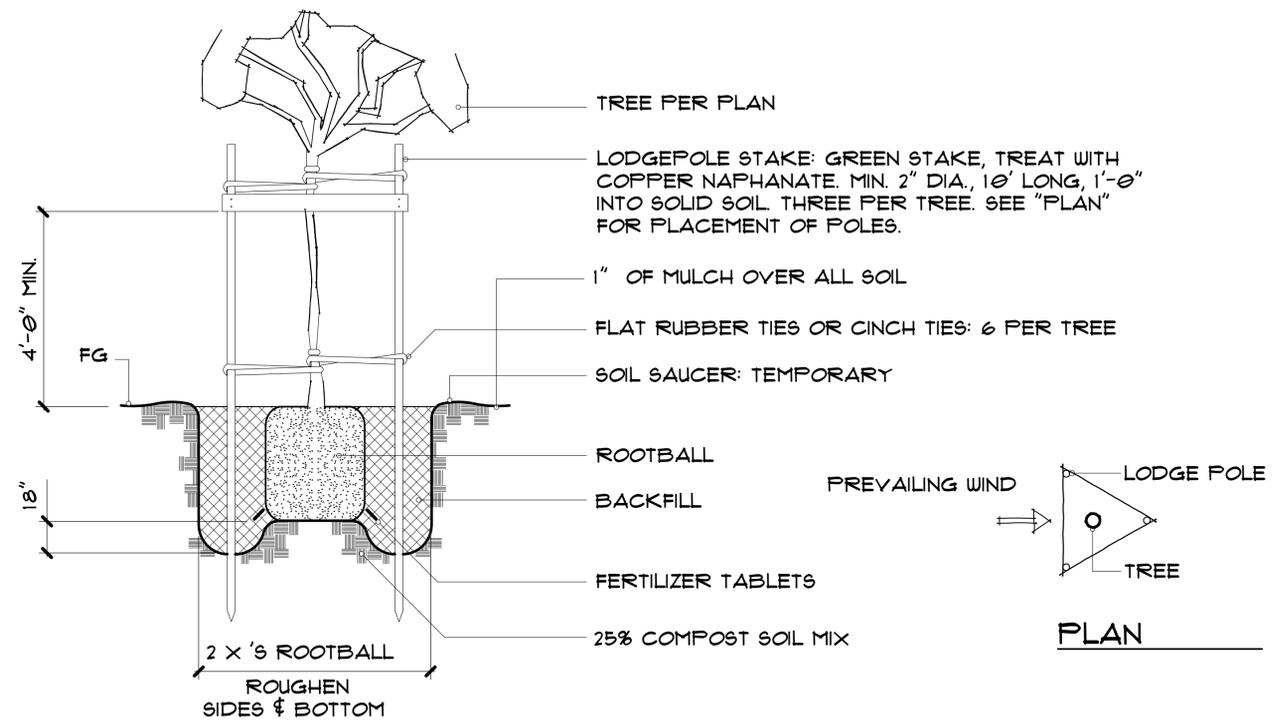
SHRUB PLANTING DETAIL

NOT TO SCALE



TREE STAKING DETAIL

NOT TO SCALE



BOX TREE STAKING DETAIL

NOT TO SCALE



CHRIS RIDGWAY ARCHITECT, INC.
670 POPLAR STREET, HALF MOON BAY, CA, 94019
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NEW RESIDENCE FOR:
POWER, PATRICK & MARY
ADDRESS: 3RD ST. MONTARA (EAST AVE CROSS ST.)

JOB #
1904

SCALE
AS NOTED

DATE
12/01/19

SHEET
LS2

GENERAL NOTES:

TREE PROTECTION HAS 3 PRIMARY REASONS:

- 1: TO KEEP THE FOLIAGE CANOPY AND BRANCHING STRUCTURE CLEAR FROM CONTACT BY EQUIPMENT, MATERIALS AND ACTIVITIES.
- 2: TO PRESERVE ROOTS AND SOIL CONDITIONS IN AN INTACT AND NON-COMPACTED STATE.
- 3: TO IDENTIFY THE TREE PROTECTION ZONE (TPZ) IN WHICH NO SOIL DISTURBANCE IS PERMITTED AND ACTIVITIES ARE RESTRICTED UNLESS OTHERWISE APPROVE.

THE TREE PROTECTION ZONE (TPZ) IS A RESTRICTED AREA AROUND THE BASE OF THE TREE WITH A RADIUS OF TEN TIMES THE DIAMETER OF THE TREE'S TRUNK OR TEN FEET, WHICHEVER IS GREATER, ENCLOSED BY FENCING.

ALL TREES TO BE PRESERVED SHALL BE PROTECTED. SEE PROTECTION DETAIL ON THIS SHEET FOR SKETCH AND ELEMENTS.

FOR TREES SITUATED WITHIN A PLANTING STRIP, ONLY THE PLANTING STRIP AND YARD SIDE OF THE TPZ SHALL BE ENCLOSED WITH THE REQUIRED PROTECTIVE FENCING IN ORDER TO KEEP THE SIDEWALK AND STREET OPEN FOR PUBLIC USE.

THE FENCE SHALL ENCLOSE THE ENTIRE TPZ OF THE TREE(S) TO BE PROTECTED THROUGHOUT THE LIFE OF THE CONSTRUCTION PROJECT. IN SOME PARKING AREAS, IF FENCING IS LOCATED ON PAVING OR CONCRETE THAT WILL NOT DEMOLISHED, THEN THE POSTS MAY BE SUPPORTED BY AN APPROPRIATE GRADE LEVEL CONCRETE BASE, IF APPROVED BY PUBLIC WORKS OPERATIONS.

ALL NEIGHBORS' TREES THAT OVERHANG THE PROJECT SITE SHALL BE PROTECTED FROM IMPACT OF ANY KIND.

TREE FENCING SHALL BE ERECTED BEFORE DEMOLITION, GRADING OR CONSTRUCTION BEGINS AND REMAIN IN PLACE UNTIL FINAL INSPECTION OF THE PROJECT, EXCEPT FOR WORK SPECIFICALLY ALLOWED IN THE TPZ. WORK OR SOIL DISTURBANCE IN THE TPZ REQUIRES APPROVAL BY THE CITY ARBORIST (IN THE CASE OF WORK AROUND STREET TREES). EXCAVATIONS WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A STREET WORK PERMIT FROM PUBLIC WORKS.

'WARNING' SIGNS. A WARNING SIGN SHALL BE WEATHER PROOF AND PROMINENTLY DISPLAYED ON EACH FENCE AT 20'-FOOT INTERVALS. THE SIGN SHALL BE A MINIMUM 8.5-INCHES X 11-INCHES AND CLEARLY STATE IN HALF INCH TALL LETTERS: "WARNING - TREE PROTECTION ZONE - THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO A FINE."

THE APPLICANT SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT PLUS PENALTY OF ANY PUBLICLY OWNED TREES THAT ARE DAMAGED DURING THE COURSE OF CONSTRUCTION.

NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.

THE GROUND UNDER AND AROUND THE TREE CANOPY AREA SHALL NOT BE ALTERED.

TREE FENCING IS REQUIRED AND SHALL BE ERECTED BEFORE DEMOLITION, GRADING OR CONSTRUCTION BEGINS.

1: PROTECTION OF THE EXISTING 8" DIA. TREE ADJACENT TO THE LEFT PROPERTY LINE AND THE TWO CEDAR TREES IN FRONT OF THE PROPERTY MUST INCLUDE THE FOLLOWING MEASURES:

A: IDENTIFY, ESTABLISH AND MAINTAIN TREE PROTECTION ZONE THROUGHOUT THE ENTIRE DURATION OF THE PROJECT.

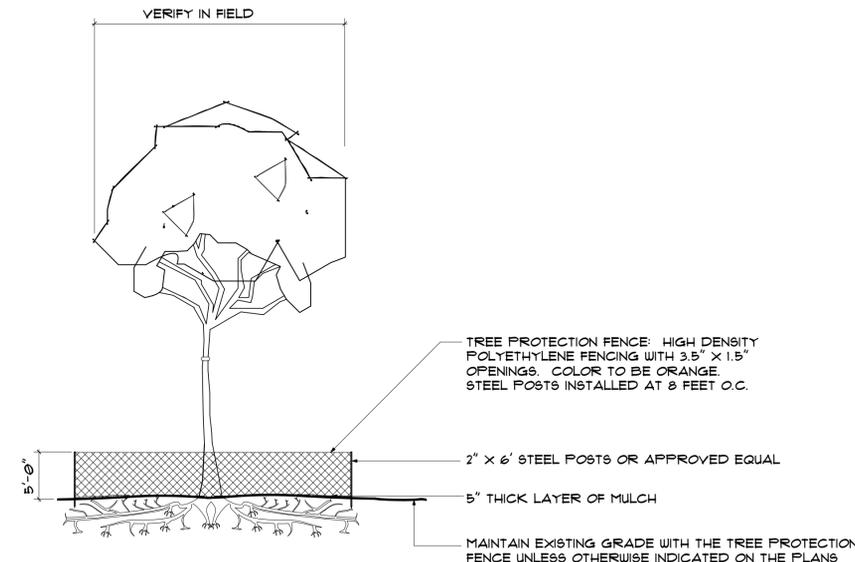
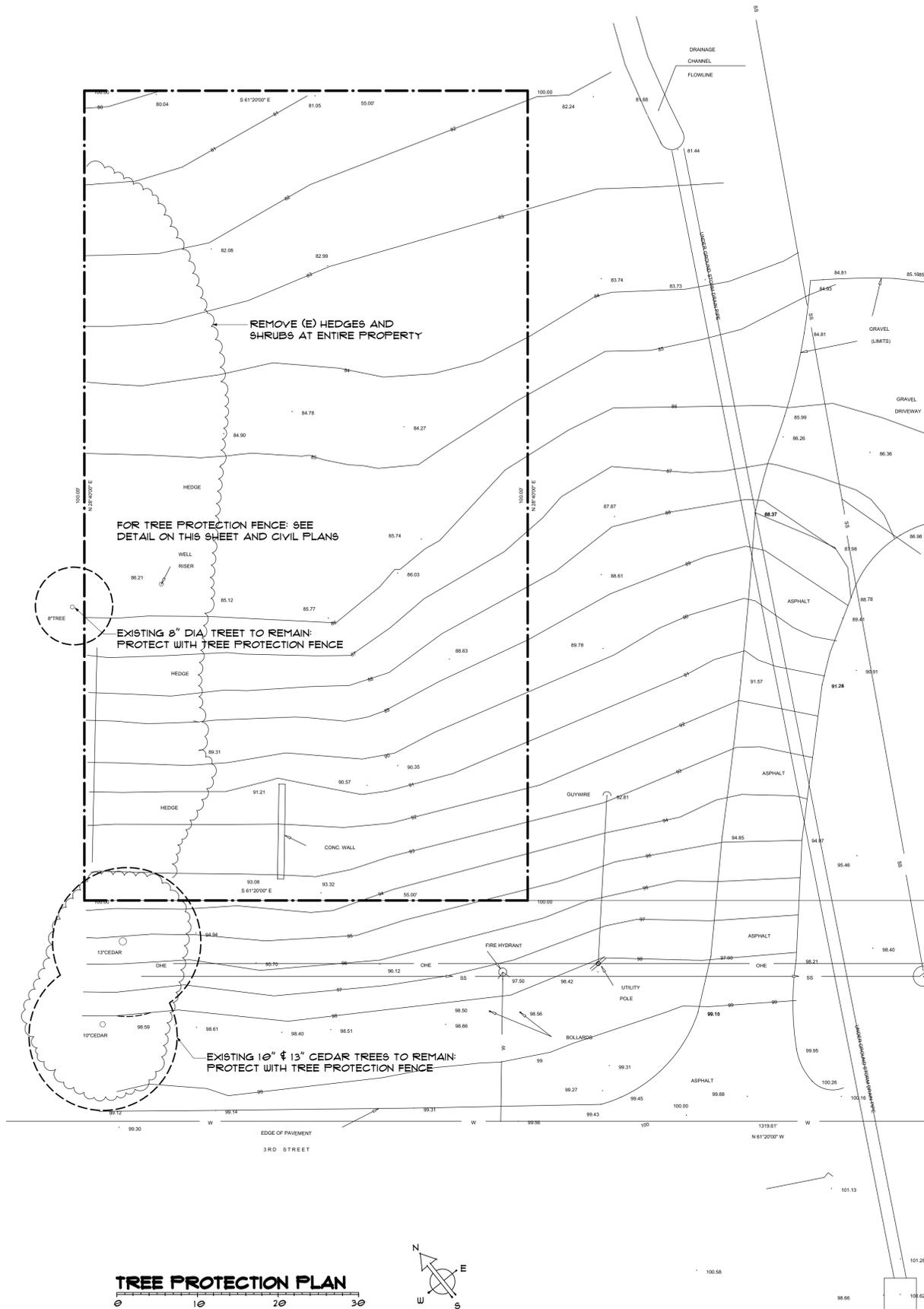
B: ISOLATE TREE PROTECTION ZONES USING 5 FOOT TALL ORANGE PLASTIC FENCING SUPPORTED BY POLES FOUNDED INTO THE GROUND AND AS LOCATED AT THE DRIPLINES. SEE DETAIL ON THIS SHEET.

C: MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE. GENERAL CONTRACTOR AND THE CREW SHALL NOT CLEAN ANY TOOLS, FORMS OR EQUIPMENT WITHIN THESE AREAS.

D: IF ANY LARGE ROOTS OR LARGE MASSES OF ROOTS NEED TO BE CUT, THE ROOTS SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING AS REQUIRED IN THE ARBORIST'S REPORT. ANY ROOT CUTTING SHALL BE UNDERTAKEN BY AN ARBORIST OR FORESTER AND DOCUMENTED. ROOTS TO BE CUT SHALL BE SEVERED CLEANLY WITH SAW OR TOPPERS. A TREE PROTECTION VERIFICATION LETTER FROM THE CERTIFIED ARBORIST SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT WITHIN FIVE (5) BUSINESS DAYS FROM SITE INSPECTION FOLLOWING ROOT CUTTING.

E: STREET TREE TRUNKS AND OTHER TREES NOT PROTECTED BY DRIPLINE FENCING SHALL BE WRAPPED WITH STRAW WATTLES, ORANGE FENCE AND 2X4 BOARDS IN CONCENTRIC LAYERS TO A HEIGHT OF 8 FEET.

F: PRIOR TO ISSUANCE OF A BUILDING PERMIT, THE PLANING AND BUILDING DEPARTMENT SHALL COMPLETE A PRE-CONSTRUCTION SITE INSPECTION, AS NECESSARY, TO VERIFY THAT ALL REQUIRED TREE PROTECTION AND EROSION CONTROL MEASURES ARE IN PLACE.



TREE PROTECTION DETAIL

SCALE: NONE



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 EMAIL: CRARCHITECT@COASTSIDE.NET



NEW RESIDENCE FOR:
POWER, PATRICK & MARY
 ADDRESS: 3RD ST. MONTARA (EAST AVE CROSS ST.)
 A.P.N. 036-013-010

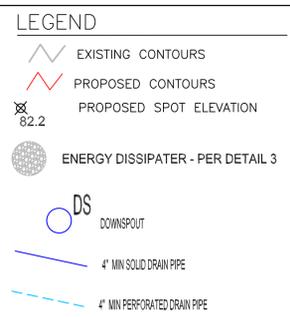
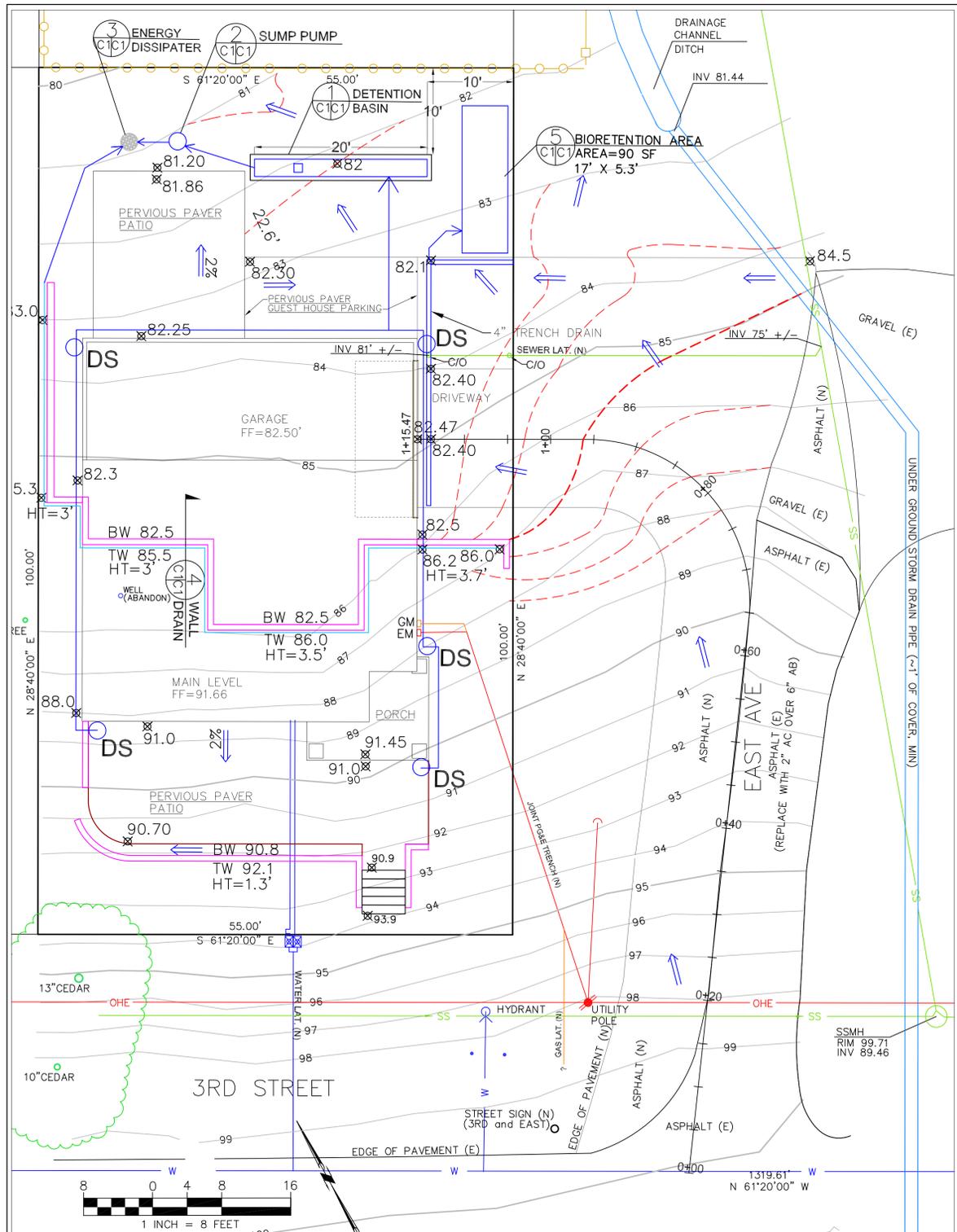
JOB #
 1904
 SCALE
 AS NOTED
 DATE
 12/01/19

SHEET
LS3

TREE PROTECTION PLAN

SCALE: 1/8" = 1'-0"





GENERAL NOTES

- PLANS PREPARED AT THE REQUEST OF: PATRICK POWER, OWNER
- TOPOGRAPHY BY SAVIOR MICALLEF, SURVEYED MAY, 2019.
- THIS IS NOT A BOUNDARY SURVEY.
- ELEVATION DATUM ASSUMED.
- THE GEOTECHNICAL REPORT: **GEOTECHNICAL STUDY: POWER PROPERTY, 3RD STREET MONTARA, APN 036-013-010**; DATE: SEPTEMBER 25, 2019, BY SIGMA PRIME GEOSCIENCES, INC. PROJECT NO. 19-143 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC. ASSOCIATES, WITH THE CONTACT NUMBER (650)-728-3590. THE CONTRACTOR MUST NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650)-306-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

GRADING NOTES

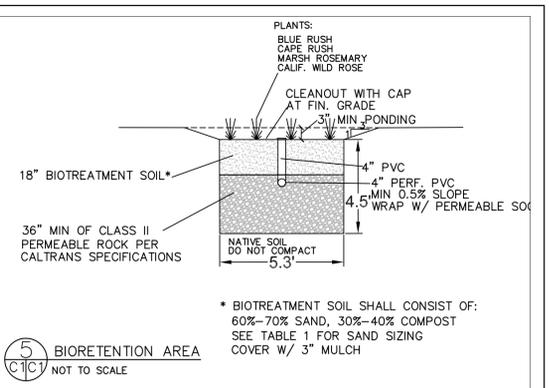
CUT VOLUME: 295 CY
 FILL VOLUME: 10 CY
 TOTAL: 305 CY

VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

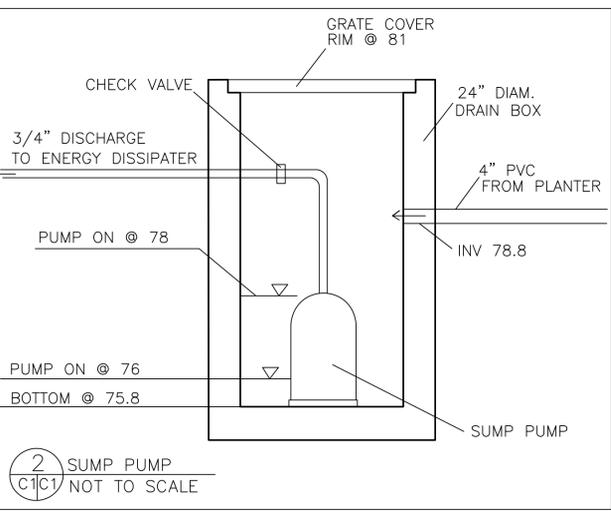
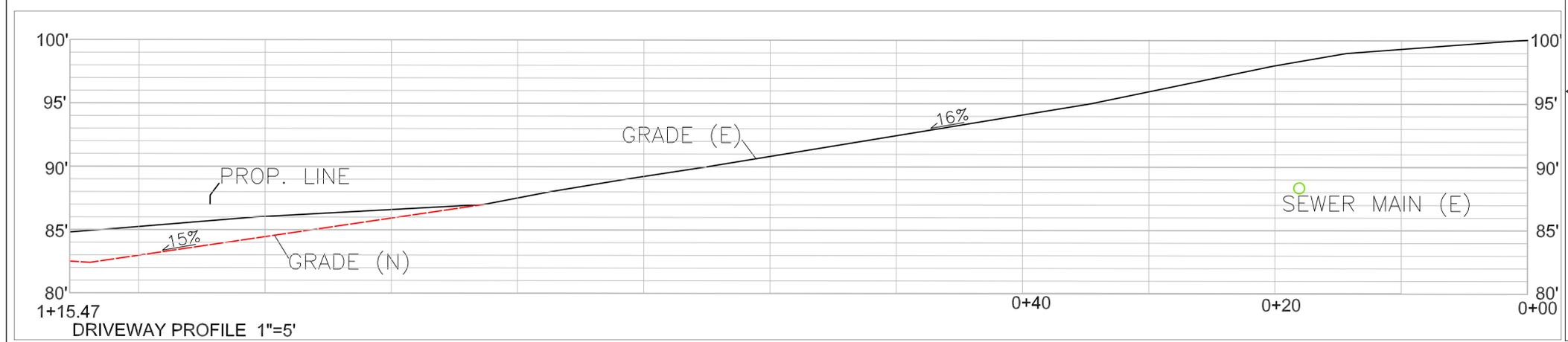
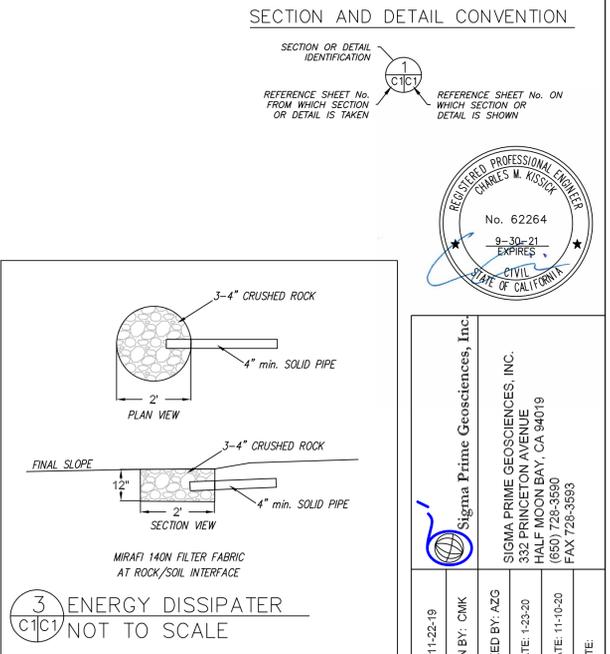
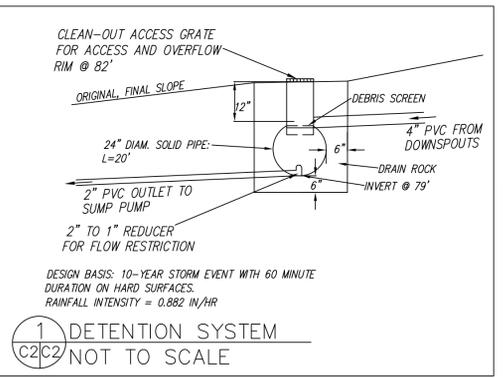
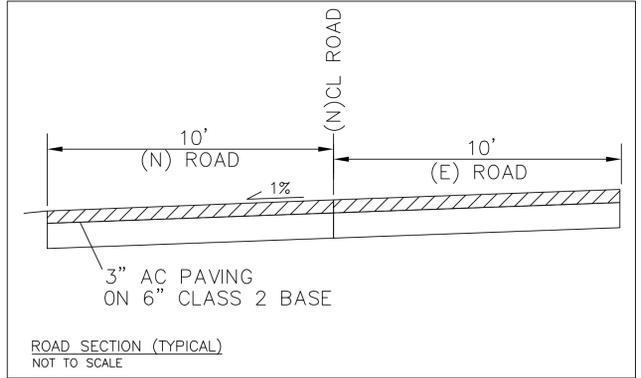
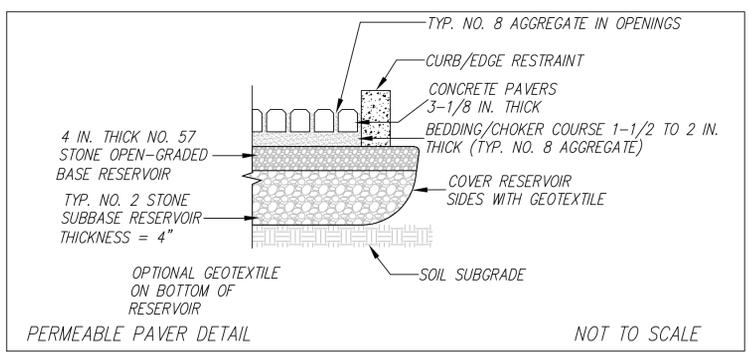
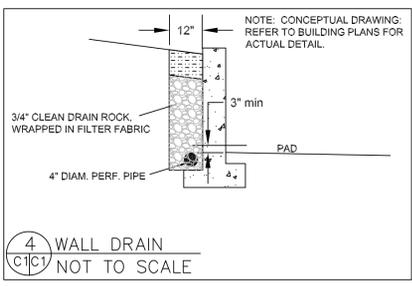
ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.



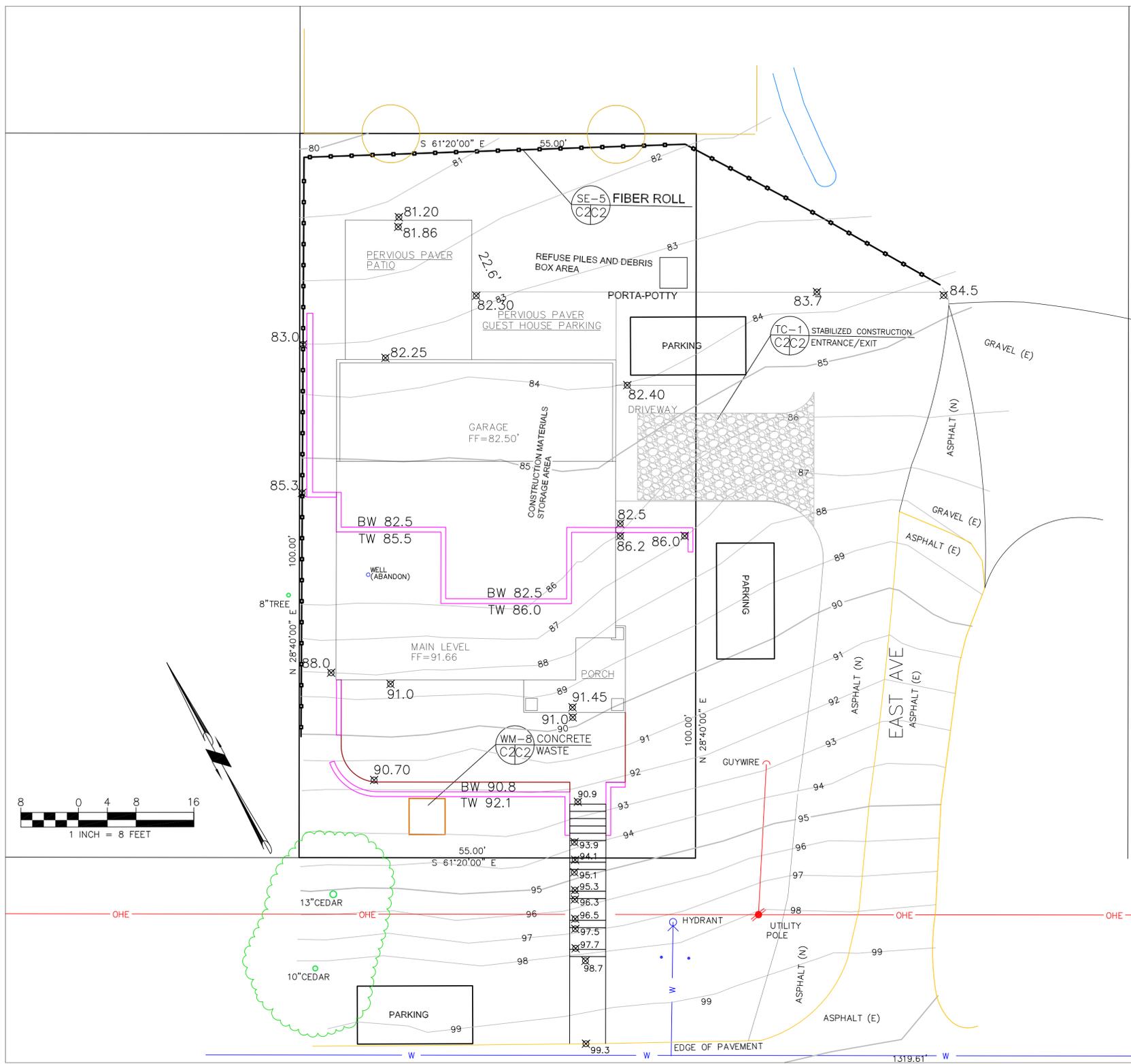
DRAINAGE NOTES

- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
- ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN. THE DETENTION BASIN SHALL DRAIN TO A SUMP PUMP AND ENERGY DISSIPATER, AS SHOWN.
- ALL ROOF DRAINAGE PIPES SHALL BE 3" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
- RUNOFF FROM THE ROAD SHALL BE DIRECTED TO THE BIOSWALE, AS SHOWN.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.



REGISTERED PROFESSIONAL ENGINEER
 CHARLES M. KUSICK
 No. 62264
 9-30-21 EXPIRES
 CIVIL
 STATE OF CALIFORNIA

DATE: 11-22-19	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE: 1-23-20	REV. DATE: 11-03-20	REV. DATE:
Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593					
GRADING AND DRAINAGE PLAN POWER PROPERTY 3RD STREET MONTARA APN 036-013-010					
SHEET C-1					



GENERAL EROSION AND SEDIMENT CONTROL NOTES

FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines on the site.

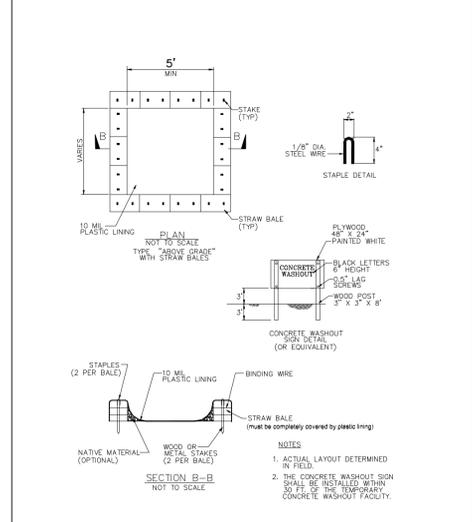
EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

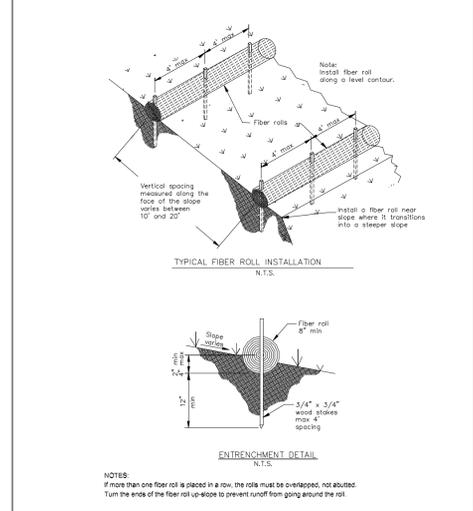
NAME: PATRICK POWER
TITLE/QUALIFICATION: OWNER
PHONE: 650-703-4626
E-MAIL: PATRICK@POWERCONSTRUCTION.COM



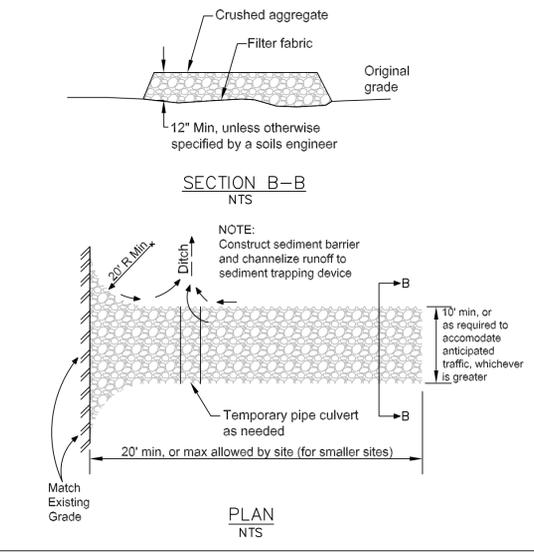
CONCRETE WASTE MANAGEMENT WM-8



FIBER ROLLS SE-5



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



EROSION AND SEDIMENT CONTROL PLAN

DATE: 11-22-19
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE: 1-28-20
REV. DATE:
REV. DATE:

Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593

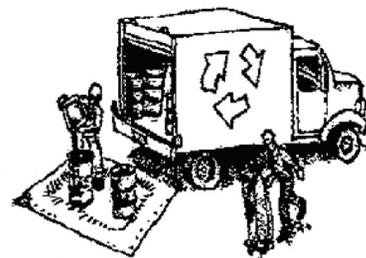
POWER PROPERTY
3RD STREET
MONTARA
APN 036-013-010

SHEET
C-2

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



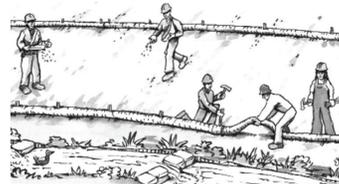
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

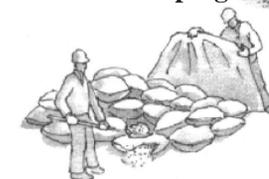
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



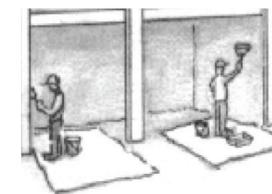
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

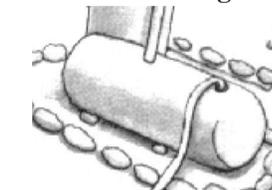
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!