



## County of San Mateo Planning & Building Department Agricultural Advisory Committee

BJ Burns  
Fred Crowder  
Jess Brown  
Jim Howard

John Vars  
Judith Humburg  
Laura Richstone  
Lauren Silberman

Louie Figone  
Margaret Gunn  
Robert Marsh  
Ron Sturgeon

William Cook  
Cynthia Duenas  
Peter Marchi  
Natalie Sare

County Office Building  
455 County Center, 2<sup>nd</sup> Floor  
Redwood City, California 94063  
650/363-1829  
Fax: 650/363-4849

### Regular Meeting Packet

**Date:** Monday, March 09, 2020  
**Time:** 7:30 p.m. to 9:00 p.m.  
**Place:** Ted Adcock Community Center- South Day Room  
535 Kelly Avenue Half Moon Bay, California

Agricultural Advisory Committee meetings are accessible to people with disabilities. Individuals who need special assistance or a disability-related modification or accommodation (including auxiliary aids or services) to participate in this meeting; or who have a disability and wish to request an alternative format for the agenda, meeting notice, agenda packet or other writings that may be distributed at the meeting, should contact the Agricultural Advisory Committee Planning Liaison at least five (5) working days before the meeting at the contact information provided below. Notification in advance of the meeting will enable the Liaison to make reasonable arrangements to ensure accessibility to this meeting.

#### **CORRESPONDENCE TO THE COMMITTEE:**

Laura Richstone, Agricultural Advisory Committee Liaison  
455 County Center, 2<sup>nd</sup> Floor  
Redwood City, CA 94062  
Phone: 650/363-1829  
Facsimile: 650/363-4849  
Email: [LRichstone@smcgov.org](mailto:LRichstone@smcgov.org)

#### **AGENDAS AND STAFF REPORTS ONLINE:**

To view the agenda, please visit our website at <http://planning.smcgov.org/agricultural-advisory-committee>, associated staff reports and attachments will be available on our website one week prior to the meeting. For further information on any item listed below, please contact the Project Planner indicated.

#### **NEXT MEETING:**

The next regularly scheduled Agricultural Advisory Committee meeting will be held on April 13, 2020.

#### **AGENDA** **7:30 p.m.**

1. **Call to Order**
2. **Member Roll Call**

3. **Oral Communications** to allow the public to address the Committee on any matter not on the agenda. If your subject is not on the agenda, the Chair will recognize you at this time.

4. **Committee Member Update(s) and Questions**

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5. **Owner:** Peninsula Open Space Trust  
**Applicant:** Midpeninsula Regional Open Space District  
File Number: PLN 2020-00062  
Location: La Honda & Stage Roads, unincorporated San Gregorio  
Assessor's Parcel No. 081-040-010; 081-022-010; 081-022-020

Informational item regarding the proposed acquisition of three parcels by Mipeninsula Regional Open Space District (MROSD) for incorporation into the Tunitas Creek Open Space Preserve. Presentation by MROSD. Please direct any questions to the Project Planner Katie Faulkner, 650-363-1882 or [kfaulkner@smcgov.org](mailto:kfaulkner@smcgov.org)

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6. **Owner:** Lucky Star Investments Group  
**Applicant:** Aneese Bishara  
File Number: PLN 2018-00330  
Location: 37 Frenchman's Creek Road, Half Moon Bay  
Assessor's Parcel No. 048-320-020

Consideration of a Coastal Development Permit and Planned Agricultural District Permit to legalize two greenhouses (11,498 sq. ft. and 11,102 sq. ft.), install a new 28,000-gallon water storage tank, and construct access roadway improvements to comply with Fire standards, at 37 Frenchman's Creek Road in the unincorporated Half Moon Bay area of San Mateo County; minimal grading and no tree removal is required. The project is appealable to the California Coastal Commission. Please direct any questions to the Project Planner Summer Burlison 650-363-1815 or [sburlison@smcgov.org](mailto:sburlison@smcgov.org)

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7. Committee to continue to draft correspondence to the Planning and Building Department outlining questions and concerns in response to an informational item heard at the January 2020 Committee meeting described below:

**Owner:** Various  
**Applicant:** MROSD & POST  
File Number: PLN 2019-00258  
Location: PAD and RM Zoned Lands within the Coastal Zone  
Assessor's Parcel No. Various

*Consideration of a series of text amendments to the San Mateo County Zoning and Subdivision Ordinances for consistency with the California Coastal Act Policy 1.2 "Definition of Development" to address future public recreational facility projects on lands owned by the Midpeninsula Open Space District (MROSD) and Peninsula OpenSpace Trust (POST) in the coastal zone. The proposed text amendments would not exempt MROSD or other public agencies from compliance with the General Plan or other applicable Zoning and Subdivision regulations requirements. Please Direct any questions to Project Planner Melissa Ross 650-599-1559 or [mross@smcgov.org](mailto:mross@smcgov.org)*

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8. **Consideration of the Action Minutes** for the January 13, 2020 regular meeting and the requested Revised Action Minutes for the December 09, 2019. Note that minutes for the February meeting will be considered at the next AAC meeting.
9. **Community Development Director's Report**
10. **Adjournment**

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**ROLL SHEET – February 2020**

Agricultural Advisory Committee Attendance 2019-2020

	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	Jan	Feb**	March
<b>VOTING MEMBERS</b>													
Judith Humburg* Public Member				X			X		X		X		
BJ Burns Farmer, Vice Chair				X			X		X		X		
Natalie Sare* Farmer				X			X		X	X	X		
Louie Figone Farmer				X			X		X	X			
Cynthia Duenas* Public Member							X		X	X			
John Vars Farmer				X			X				X		
William Cook Farmer				X			X		X	X	X		
Peter Marchi* Farmer							X		X	X	X		
Robert Marsh Farmer, Chair				X			X		X	X	X		
Ron Sturgeon Conservationist							X		X		X		
Lauren Silberman Ag Business				X					X	X	X		
Natural Resource Conservation Staff													
San Mateo County Agricultural Commissioner				X			X		X	X	X		
Farm Bureau Executive Director				X			X		X				
San Mateo County Planning Staff													
UC Co-Op Extension Representative				X							X		

**\*\*February attendance will be posted once confirmed by the Chair**

**X: Present**

**Blank Space: Absent or Excused**

**Grey Color: No Meeting**

**\* As of 06/25/2019**

# MEMORANDUM

## COUNTY OF SAN MATEO PLANNING AND BUILDING DEPARTMENT

**DATE:** February 27, 2020  
**TO:** Agricultural Advisory Committee  
**FROM:** Katherine Faulkner, Planner III  
**SUBJECT:** Proposed acquisition by the Midpeninsula Regional Open Space District of three parcels (APNs 081-040-010, 081-022-010 and 081-022-020)

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The Midpeninsula Regional Open Space District (MROSD) is proposing to acquire three parcels (APNs 081-040-010, 081-022-010 and 081-022-020) for incorporation into the Tunitas Creek Open Space Preserve. When purchased, the property will be managed for open space, habitat preservation, conservation grazing, agriculture, watershed protection, and low intensity recreation (trails). A subsequent planning process will analyze opportunities for natural resource management and compatible public trail uses. No development is proposed at this time. However, any proposed development on the property would require appropriate permits and would be reviewed by the County at the time of project submittal.

California Government Code Section 65402 requires that prior to acquisition of property, a local agency must request an analysis of the proposed acquisition's conformity with the County General Plan. The Board of Supervisors has delegated authority for assessing general plan conformity to the Plan Commission. In compliance with California Government Code Section 65402, MROSD has submitted a request to the County for analysis of the proposed acquisition for conformity with the County General Plan.

The Planning Commission will consider MROSD's request at their March 25, 2020 meeting. County staff has analyzed the request and will recommend to the Planning Commission that they find the proposed acquisition in conformity with the County General Plan.

This memo is being sent to the Agricultural Advisory Committee for informational purposes only. No action is required of the Agricultural Advisory Committee at this time. Should MROSD acquire the property, any future development or changes in use would require Planned Agricultural District (PAD) and Coastal Development permits (CDP), and would be reviewed for a recommendation by the Agricultural Advisory Committee at that time.

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** March 9, 2020

**TO:** Agricultural Advisory Committee

**FROM:** Summer Burlison, Planning Staff, 650/363-1815

**SUBJECT:** Consideration of a Coastal Development Permit and Planned Agricultural District Permit to legalize two greenhouses (11,498 sq. ft. and 11,102 sq. ft.), install a new 28,000-gallon water storage tank, and construct access roadway improvements to comply with Fire standards, at 37 Frenchman's Creek Road in the unincorporated Half Moon Bay area of San Mateo County; minimal grading and no tree removal is required. The project is appealable to the California Coastal Commission.

County File Number: PLN 2018-00330 (Bishara)

**PROPOSAL**

The applicant is proposing to legalize two existing greenhouses, identified as Greenhouse 09-N (11,498 sq. ft.) and Greenhouse 09-S (11,102 sq. ft.), constructed by the previous property owner without permits, on the agriculturally developed 164-acre property located at 37 Frenchman's Creek Road in the unincorporated Half Moon Bay area.

In response to the San Mateo County Fire Department requirements, the project includes installing a new 28,000-gallon corrugated metal water storage tank, 10 feet 5 inches tall with a 25.5 feet diameter, anchored to a concrete pad, adjacent to Greenhouse 09-N. This new water tank will provide additional water storage for fire suppression, as required by the San Mateo County Fire Department, to legalize the two greenhouses. Additionally, improvements to the length of Frenchman's Creek Road from its intersection with Cabrillo Highway to the project area are proposed in order to meet current Fire Department standards for access. The first 3,500 feet of Frenchman's Creek Road lies within the jurisdiction of the City of Half Moon Bay; the applicant is pursuing separate permits from the City of Half Moon Bay for roadway improvement work that lies within the City's jurisdiction. Therefore, the subject project, hereinafter referred to as the "project", is limited to roadway improvements proposed within the County of San Mateo's permit jurisdiction, which includes constructing several turnouts and installing "no parking" signs along the roadway. Minor grading to cut back a bank at Station 44+00 (approximately 135 cubic yards) is required to accommodate one of the turnouts. All roadway improvement work will be within the existing 43 feet wide roadway easement. No tree removal is proposed.

## **DECISION MAKER**

Planning Commission

## **QUESTIONS FOR THE AGRICULTURAL ADVISORY COMMITTEE**

### **For the Planned Agricultural District (PAD) Permit**

1. Will the development, including the two existing greenhouses, a new water storage tank, and access roadway improvements within the unincorporated County area have any negative effect on surrounding agricultural uses? If so, can any conditions of approval be recommended to minimize any such impact?
2. What position do you recommend that Planning staff take with respect to the application for this project?

## **BACKGROUND**

Report Prepared By: Summer Burlison, Project Planner

Applicant: Aneese Bishara

Owner: Skrrr LLC

Location: 37 Frenchman's Creek Road, unincorporated Half Moon Bay

APN: 048-320-020

Parcel Size: 164.23 acres

Existing Zoning: PAD/CD (Planned Agricultural District/Coastal Development)

General Plan Designation: Agriculture

Local Coastal Plan Designation: Agriculture

Williamson Act: The property was placed under a Williamson Act Contract in 1966 (County File Number AP 66-01) and currently remains under this contract.

Existing Land Use: Agricultural crop production

Water Supply: The existing in-stream water diversion, which has been in place since 2009, is permitted by water right licenses 6556 and 10827. The existing water diversion structure is located within the creek channel of Frenchman's Creek, which is approximately the western property line of the project parcel; an existing pump house and storage tanks built in the 1960's are adjacent, but outside the banks of the creek. Water

from the creek diversion is pumped east and uphill to an existing reservoir (approximately 12.25-acre-foot capacity) that has historically been used to provide water storage for the greenhouse complex. The project proposes to divert water from the reservoir to the new water storage tank to be reserved as a fire suppression source for the two greenhouses being legalized.

Sewage Disposal: An existing septic system supports onsite breakroom/bathroom facilities for agricultural workers.

Flood Zone: Flood Zone X (area of minimal flood); Community Panel Number 06081C0260E, effective October 16, 2012.

Environmental Evaluation: A Mitigated Negative Declaration was prepared for proposed activities at the project site, which included the subject project scope, as well as the issuance of cannabis cultivation licenses. The Mitigated Negative Declaration was adopted by the County of San Mateo, acting as Lead Agency, on November 15, 2019, at the time the County issued cannabis cultivation licenses. The use of the subject greenhouses, construction of the water tank, and road improvements were evaluated in the adopted Mitigated Negative Declaration.

Setting: The project parcel is approximately 164 acres in size. A majority of the parcel consists of hills that form a relatively flat valley through the center of the parcel where development constructed in the 1960's for agricultural purposes exists, including several greenhouses, metal barn/storage buildings, and warehouses. Additionally, associated roadways, parking areas, irrigation system, and other related infrastructure present on the property have historically been used to grow orchids, ornamental flowers, and cherry trees. All surrounding parcels are designated for agricultural or open space use. The project site is located in a previously disturbed, relatively flat area of the parcel that consists of ruderal grassland and is in close proximity to the other existing development on the property.

Chronology:

<u>Date</u>	<u>Action</u>
August 23, 2018	- Subject project applications submitted for a CDP and PAD Permit to legalize two existing greenhouses, PLN 2018-00330.
October 1, 2018	- Fire Department reviewed project and required a water storage tank for fire suppression to the two greenhouses and roadway improvements to meet Fire Department access standards.
November 15, 2019	- Adoption of a Mitigated Negative Declaration pursuant to the California Environmental Quality Act (CEQA) for proposed activities at the project site.

- March 9, 2020 - Agricultural Advisory Committee public meeting.
- TBD - Planning Commission meeting.

*Will the project be visible from a public road?*

The project, including the proposed roadway improvements, is more than 0.3 miles away from the nearest public roads and approximately 0.67 miles away from Cabrillo Highway. Due to the distance and existing vegetation and topography surrounding the project site, the project will not be visible from any public roads.

*Will any habitat or vegetation need to be removed for the project?*

The two existing greenhouses and adjacent proposed water tank are located in historically disturbed, relatively flat terrain consisting of ruderal grasses. Additionally, the roadway improvements are designed to avoid any sensitive habitats found near the roadway, as confirmed in the biological report prepared by Sol Ecology.

*Is there prime soil on the project site?*

The project site does contain prime soils, as shown in Attachment B. Portions of the two existing greenhouses and the proposed water storage tank are located on Farallone coarse sandy sprouts. While the greenhouses are non-soil dependent and therefore require a PAD permit, they are proposed to house agricultural use (i.e., cannabis cultivation) on the property.

## **DISCUSSION**

### **A. KEY ISSUES**

Planning staff has reviewed the proposal and has concluded the following:

#### **1. Compliance with Planned Agricultural District (PAD) Regulations**

The project complies with the applicable development standards and requirements, discussed below:

##### **a. Development Standards**

As shown in the table below, the project conforms to Sections 6458 and 6359 of the San Mateo County Zoning Regulations, which regulate the height and setbacks of structures.

	PAD Development Standard	Proposed
Minimum Lot Size	N/A	164.23 acres
Minimum Front Setback	30 feet	+ 1,000 feet
Minimum Side Setbacks	20 feet	+ 1,000 feet
Minimum Rear Setback	20 feet	+ 700 feet
Maximum Building Height	36 feet	17'-4" – Greenhouses 10'-5" – Water tank

b. PAD Permit Requirements

The project conforms to the substantive criteria for the issuance of a PAD Permit, as applicable and outlined in Section 6355 of the Zoning Regulations. As proposed and conditioned, the project conforms to the following applicable policies.

(1) General Criteria

- (a) *The encroachment of all development upon land which is suitable for agricultural uses shall be minimized.*

The two greenhouses being legalized and new water storage tank are located on prime agricultural land, according to the County's General Plan (Agricultural Lands map). According to Section 6535.A.4. of the PAD Regulations, non-soil dependent greenhouses may be permitted on prime agricultural land provided there are no alternative building sites on the parcel.

A majority of the project parcel consists of sloped topography creating a relatively flat, elongated valley cutting through the center of the parcel. The valley area is categorized as prime agricultural land according to the County's Agricultural Lands map and composed of prime and non-prime soils. The surrounding hills are predominantly categorized as "other lands" according to the County's Agricultural Lands map. The parcel's topography limits development to the parcel's centrally located valley area, where existing development consisting of greenhouses, metal barn/storage buildings, and warehouses supporting on-site agricultural operations is clustered. The project proposes to legalize two greenhouses and install a new water storage tank in this valley area clustered with other existing development. Furthermore, the greenhouses and water tank are

proposed to facilitate agricultural use (i.e., cannabis cultivation) which cannot reasonably be located on the surrounding steeply sloped hillsides.

- (b) *All development permitted on a site shall be clustered.*

All development on the property is clustered in the relatively flat, centrally located valley running through the property. The project will result in the location of the two greenhouses and water storage tank in this same developed area.

- (c) *Every project shall conform to the Development Review Criteria contained in Chapter 20A.2 of the San Mateo County Ordinance Code.*

The project, as proposed and conditioned, conforms to the following applicable Development Review Criteria of Chapter 20A.2 of the San Mateo County Ordinance Code:

Section 6324.1 (*Environmental Quality Criteria*), Section 6324.2 (*Site Design Criteria*), and Section 6325.2 (*Primary Fish and Wildlife Habitat Areas Criteria*) seek to cluster development, minimize grading and changes in vegetative cover, locate development so that it is subordinate to the pre-existing character of the area, and protect primary wildlife habitat areas. The two greenhouses and water tank will be clustered nearby existing development in the centrally located and relatively flat valley area of the property that is screened by surrounding hills. At maximum height, these structures will reach less than 18-feet, where 36 feet is the maximum height allowed. Minimal grading is necessary for the roadway improvements, approximately 135 cubic yards, and no tree removal is proposed. The greenhouses and water storage tank are located on ruderal grass area and a biological assessment prepared by Sol Ecology has concluded that the project does not pose any impacts to sensitive area, including wildlife habitat areas or riparian vegetation.

Section 6325.3 (*Primary Agricultural Resources Area Criteria*) allows only agricultural and compatible uses on primary agricultural land and agricultural preserve land, and encourages structural uses be located away from prime agricultural soils whenever possible. The project proposes to legalize two greenhouse structures that would be used

for agricultural crop cultivation. The water storage tank and roadway improvements are necessary as a requirement by the Fire Department for legalizing these greenhouse structures. Additionally, see Section

A.1.d(1)(a) above regarding the location of these structures on prime agricultural land.

(2) Water Supply Criteria

*Adequate and sufficient water supplies needed for agricultural production and sensitive habitat protection in the watershed are not diminished.*

The existing in-stream water diversion, which has been in place since 2009, is permitted by water right licenses 6556 and 10827 and an existing California Department of Fish and Wildlife (CDFW) Lake and Streambed Alteration Agreement for use in irrigating an orchid flower farm and fruit orchards on the property for more than 30 years; both licenses were amended by the State Water Resources Control Board in 2012 under the former owner/operator to improve efficiency and reduce long-term maintenance requirements that were detrimental to the stream corridor. Water from the creek (Frenchman's Creek) diversion is pumped east and uphill to an existing reservoir (approximately 12.25-acre-foot capacity) that has historically been used to provide water storage for the greenhouse complex. The total amount of water allowed to be diverted in a single season may not exceed 10.65 acre-feet. As part of the change in ownership and shift in the type of agricultural crops being cultivated onsite by the current owners, the total annual diversion for agricultural crops, including the two greenhouses being legalized, is not expected to exceed 4.0 acre-feet in most years, which is well below the allowable 10.66-acre-feet authorized under the existing state licenses. Furthermore, the new water storage tank will be reserved for fire suppression purposes only.

(3) Criteria for the Conversion of Prime Agricultural Lands

The PAD Regulations allow the conversion of prime agricultural land permitted by a PAD Permit when the following can be demonstrated:

(a) No alternative site exists on the parcel for the use.

Topographic constraints on the parcel limit development to areas of the parcel that are considered prime agricultural lands as these are the relatively flat areas of the parcel that can reasonably support development. The project parcel does support commercially viable agricultural operations and the project proposes to further facilitate agricultural use of the property. Also, see staff's discussion in Section A.1.b(1)(a) above.

- (b) Clearly defined buffer areas are provided between agricultural and non-agricultural uses.

The property has supported commercial agricultural crop operations for over 30 years with most of the supporting buildings constructed in the 1960's. The property will continue to be used for commercial agricultural crop operations, including the reactivation and maintenance of 23,000 sq. ft. of cherry orchards in the western area of the parcel that is relatively flat and categorized as prime agricultural land. The project will allow similar development to be located in relatively close proximity to other non-soil dependent greenhouses and supportive structures used for the same type of crop cultivation (i.e., cannabis). There are no non-agricultural uses on the property.

- (c) The productivity of an adjacent agricultural land will not be diminished.

The project seeks to legalize two greenhouses and a water storage tank in the developed centrally located valley of the parcel. The project will not diminish the agricultural productivity of an adjacent land or parcels as the project area is bordered by hills on both sides that are categorized as "other lands" due to their topography.

- (d) Public services and facility expansions and permitted uses will not impair agricultural viability, including by increased assessment costs or degraded air and water quality.

The two greenhouses proposed for legalization were built around 2002 and have been in operation for agricultural use ever since. The project will allow these structures to be used for agricultural crop cultivation. Additionally, the new water tank will provide for safer use of these structures by providing adequate fire suppression. Therefore, the project

will result in the facilitation of agriculture under safer conditions.

2. Compliance with Local Coastal Program (LCP) Policies

The project complies with the following applicable LCP Policies:

a. Agricultural Component

LCP Policy 5.5.b. conditionally permits non-soil dependent greenhouses on prime agricultural land based on the criteria for conversion of prime agricultural land, as discussed in Section A.1.b(3) above. Furthermore, Policy 5.22 seeks to ensure adequate and sufficient water supplies needed for agricultural production and sensitive habitat protection are not diminished, as discussed in Section A.1.b(2) above.

b. Sensitive Habitats Component

Policy 7.3 seeks to protect sensitive habitats from adverse impacts caused by development. The water tank is approximately 180 feet from the nearest identified sensitive habitat (ephemeral stream channel) with an active existing driveway separating the tank location and the stream channel. Additionally, a biological report prepared by Sol Ecology identified two riparian areas associated with culverted drainages on both sides of the access roadway being improved as part of the project. Proposed turnout areas have been sited away from these features in order to minimize any potential impacts and no road repaving is proposed near these two sensitive areas. While no direct impacts to biotic resources were identified by the biologist, standard Best Management Practices will be incorporated into any entitlement permit conditions of approval issued by the County for the project to minimize impacts to any transient wildlife species.

3. Compliance with the Williamson Act

a. Williamson Act Contract Compliance

The project parcel was placed under Williamson Act contract in 1966 (County File No. AP 66-01) and currently remains under contract. A review of the parcel's compliance with its Williamson Act contract is provided below. Crop income is confidential; review of this criterion is identified only as "Completed".

	<b>Williamson Act Program Requirements</b>	<b>Planning Review</b>	<b>Compliance</b>
<b>Land Use Designation</b>	Open Space or Agriculture	Agriculture	Yes
<b>Zoning<sup>1</sup></b>	PAD, RM, or RM-CZ	PAD	Yes
<b>Parcel Size<sup>2</sup></b>	40 acres	164 acres	Yes
<b>Prime Soils<sup>3</sup></b>	--	10.95 acres	--
<b>Non-Prime Soils</b>	--	153.05 acres	--
<b>Crop Income<sup>4, 5</sup></b>	\$10,000	Completed	Yes
<sup>1</sup> Zoning designations: "PAD" (Planned Agricultural District), "RM" (Resource Management), and "RM-CZ" (Resource Management-Coastal Zone).			
<sup>2</sup> Parcel size taken from the San Mateo County Assessor's Office records.			
<sup>3</sup> Prime soils: Class I or Class II (U.S. Department of Agriculture Soil Conservation Service Land Use Capability Classification), Class III lands capable of growing artichokes or Brussels sprouts, and lands qualifying for an 80-100 Storie Index Rating taken from the Planning and Building Department GIS data.			
<sup>4</sup> Required income calculated per Income Requirements for Crops (Uniform Rule 2.A.6).			
<sup>5</sup> Crop income taken from Assessor's Office Agricultural Preserve Questionnaire response using the highest income of the previous three years for purposes of this review.			

The parcel meets the minimum income requirements for crop utilization based on staff's review.

### *Agricultural Uses*

Past commercial agriculture (within the last 5 years) has included 5-acres of orchid crops. More recently (under a change of property ownership) cannabis cultivation within legal greenhouse structures on the property has commenced under state and locally issued cannabis cultivation licenses. Additionally, the current owners will be reactivating and maintaining the 23,000 sq. ft. of commercial cherry orchards on the property.

### *Existing Development*

Other existing development on the property includes several barns, warehouses and hoop house structures, and a paved road providing access through the property (and to rural land beyond).

### *Determination of Compatibility*

The barns, warehouses and hoop house structures are considered compatible uses as they support agricultural use on the property. For purposes of calculating the maximum allowance of compatible uses,

buildings and structures used to support agricultural use are excluded. Therefore, a Determination of Compatibility is not required.

*Staff Evaluation*

Based on the information submitted by the landowner, the commercial crop production on the property meets the minimum annual gross income requirements for a parcel over 40-acres.

**ATTACHMENTS**

- A. Vicinity Map
- B. Prime Soils Map
- C. Greenhouse and Water Tank Plans
- D. Roadway Improvement Plans

SSB:cmc: - SSBEE0109\_WCU.DOCX



2.28 0 1.14 2.28 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:72,224



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



Map Scale: 1:2,330 if printed on A landscape (11" x 8.5") sheet.

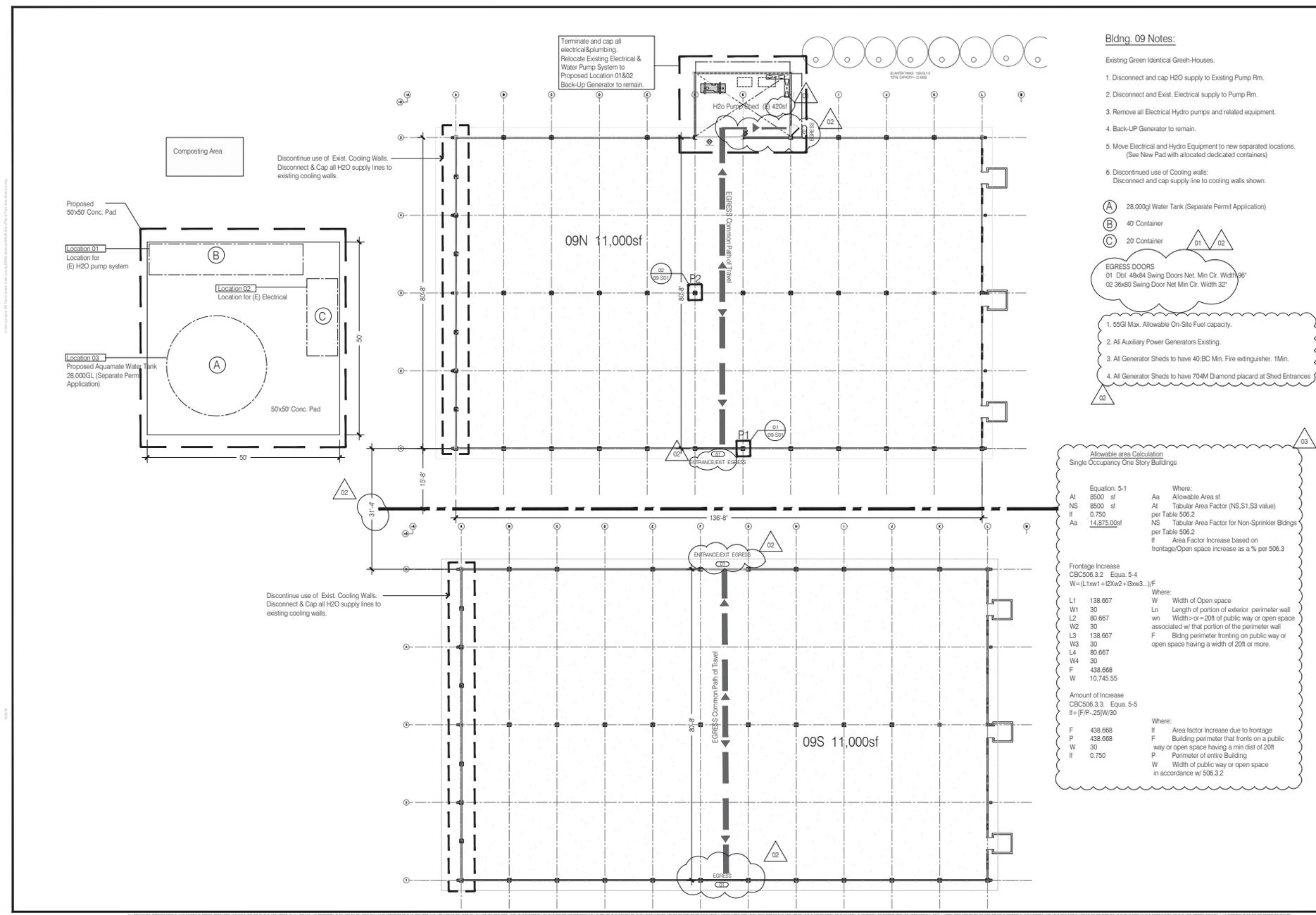


Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 10N WGS84

Prime Soils:  
FcC2 - Farallone coarse sandy loam, sloping, eroded







**Bldg. 09 Notes:**

- Existing Green Identical Green-Houses.
- Disconnect and cap H2O supply to Existing Pump Rm.
- Disconnect and Exist. Electrical supply to Pump Rm.
- Remove all Electrical Hydro pumps and related equipment.
- Back-UP Generator to remain.
- Move Electrical and Hydro Equipment to new separated locations. (See New Pad with allocated dedicated containers)
- Discontinued use of Cooling walls: Disconnect and cap supply line to cooling walls shown.

- (A) 28,000gJ Water Tank (Separate Permit Application)
- (B) 40' Container
- (C) 20' Container

**EGRESS DOORS**  
 01 Dbl. 48x84 Swing Doors Net. Min Cr. Width 66"  
 02 36x80 Swing Door Net Min Cr. Width 32"

- 1.55G Max. Allowable On-Site Fuel capacity.
- All Auxiliary Power Generators Existing.
- All Generator Sheds to have 40-BC Min. Fire extinguisher. 1Mn.
- All Generator Sheds to have 704M Diamond placard at Shed Entrances

**Allowable Area Calculation**  
 Single Occupancy One Story Buildings

Equation 5-1  
 At 8500 sf  
 NS 8500 sf  
 If 0.750  
 Aa 14,875.00sf

Where:  
 Aa Allowable Area sf  
 At Tabular Area Factor (NS,S1,S3 value) per Table 506.2  
 NS Tabular Area Factor for Non-Sprinkler Bldgs per Table 506.2  
 If Area Factor Increase based on frontage/Open space increase as a % per 506.3

Frontage Increase  
 CBC506.3.2. Equa. 5-4  
 $W = (L1w1 + L2w2 + L3w3 + L4w4) / F$

Where:  
 L1 138.667  
 W1 30  
 L2 80.667  
 W2 30  
 L3 138.667  
 W3 30  
 L4 80.667  
 W4 30  
 F 438.668  
 W 10,745.55

Amount of Increase  
 CBC506.3.3. Equa. 5-5  
 $I = [(F/P) - 25] / W / 30$

Where:  
 F 438.668  
 P 438.668  
 W 30  
 If 0.750

Where:  
 If Area factor Increase due to frontage  
 F Building perimeter that fronts on a public way or open space having a min dist of 20ft  
 P Perimeter of entire Building  
 W Width of public way or open space in accordance w/ 506.3.2

REVISIONS

03	CSG	10.01.19
02	CSG/CFD	7.20.19
01	CSG	05.02.19



**Edward C. Love Architect**  
 720 MILL STREET  
 HALF MOON BAY, CA 94019  
 (650) 728-2715  
 edward@eclovearchitect.com

**SKRR LLC**  
 PH01 Existing Conditions  
 37K Frenchman's Creek Rd  
 Halfmoon Bay Ca., 94019

09 Area Plan & Floor Area Overview



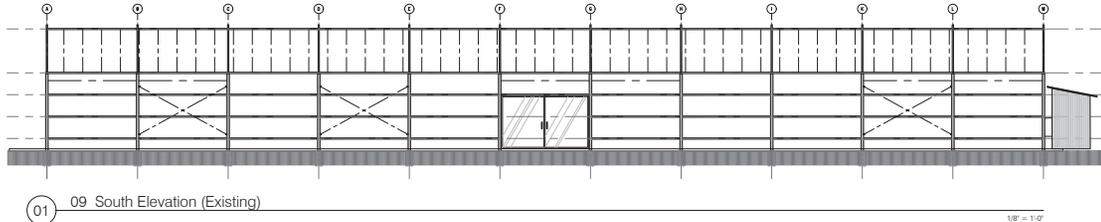
DATE	10/18/19
SCALE	per drawing
DRAWN	Mc
REVIEW	37/cn-ph01
SHEET	

09 G01

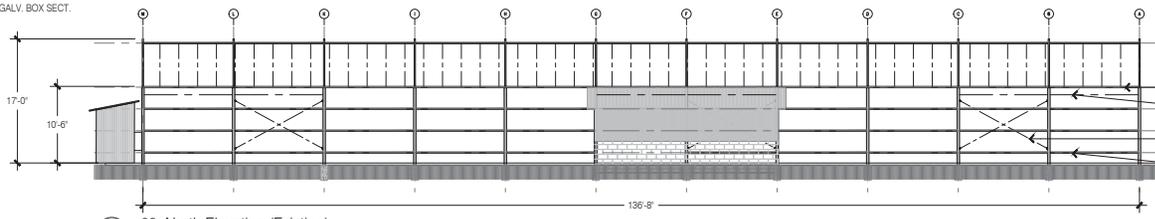
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- 1" Ø HOOP TRUSS
- 5" Ø X-BRACING
- TRUSSES @ ea. GRID STN.
- 4X4 GALV. BOX SECT. COLLUM
- 2X2 GALV. BOX SECT.

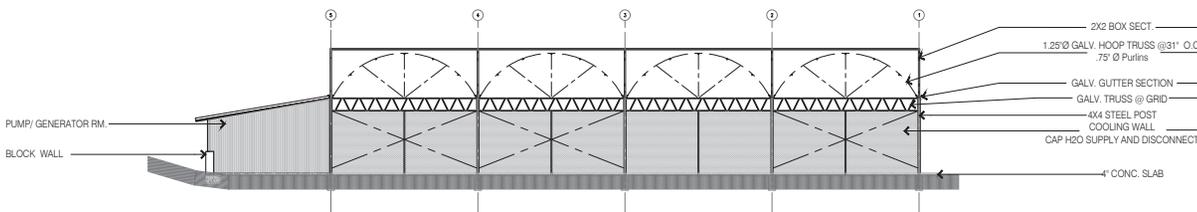


01 09 South Elevation (Existing)



02 09 North Elevation (Existing)

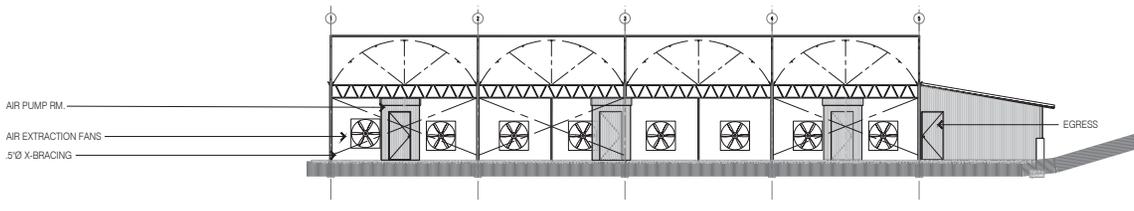
- GUTTER BEAM
- 5" Ø GALV. ROD. HORIZ. X-BRACING
- 5" Ø GALV. ROD. VERT. X-BRACING
- 2X2 GALV. BOX SECT.



03 09 East Elevation (Existing)



- 2X2 BOX SECT.
- 1.25" Ø GALV. HOOP TRUSS @ 31' O.C.
- .75" Ø Purlins
- GALV. GUTTER SECTION
- GALV. TRUSS @ GRID
- 4X4 STEEL POST
- COOLING WALL
- CAP H2O SUPPLY AND DISCONNECT
- 4" CONC. SLAB



04 09 West Elevation (Existing)

- AIR PUMP RM.
- AIR EXTRACTION FANS
- 5" Ø X-BRACING

- AIR EXTRACTION FANS
- AIR PUMPS



REVISIONS		
03	CSG	10.01.19
02	CSG/CFD	7.20.19
01	CSG	05.02.19



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SKRR LLC

PH01 Existing Conditions  
37K Frenchman's Creek Rd  
Halfmoon Bay Ca., 94019

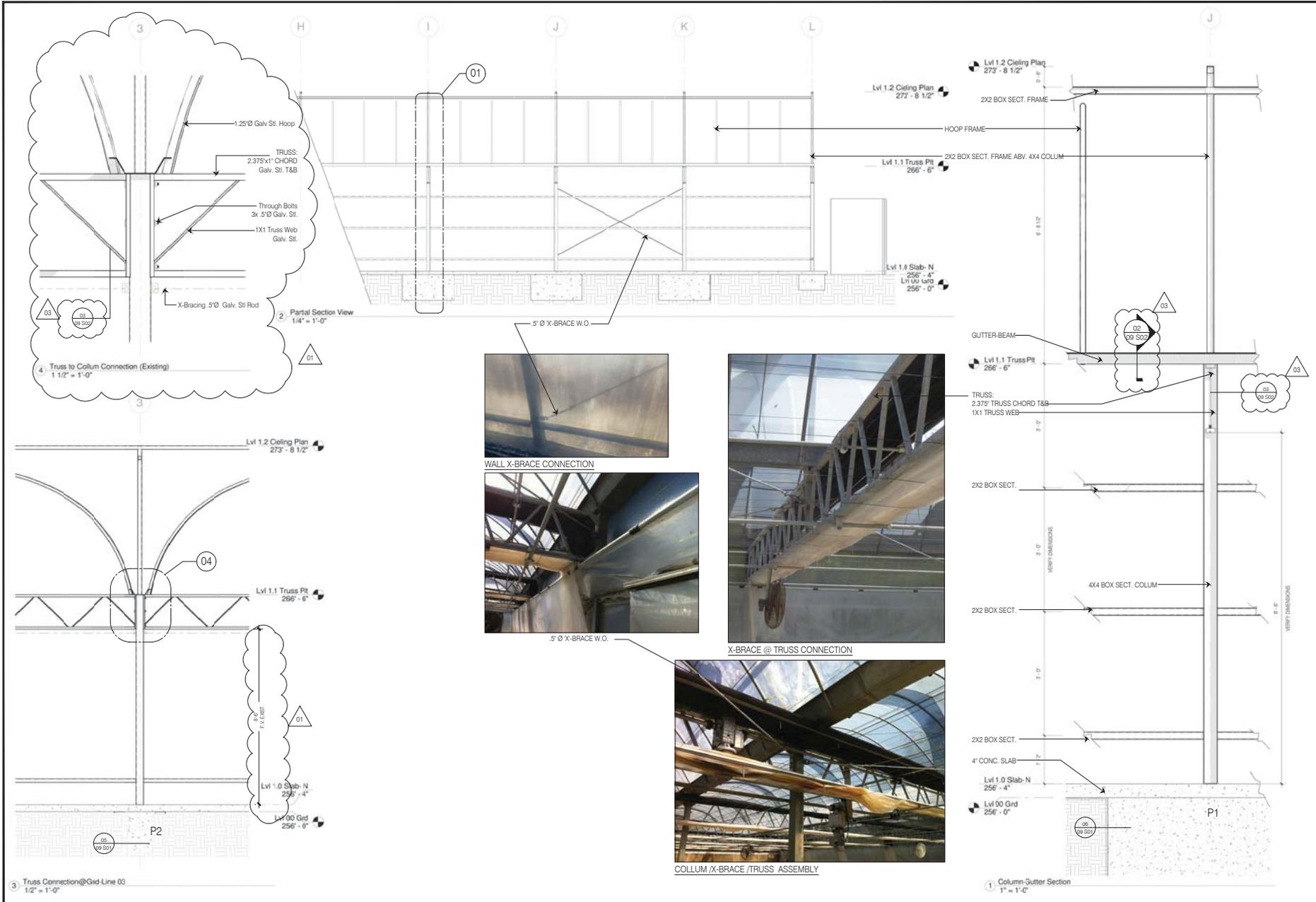
09 Elevations (Existing)



DATE	10/18/19
SCALE	per drawing
DRAWN	Mc
PROJECT	37(m-ph01)
SHEET	

09 A201

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REVISIONS		
03	CSG	10.01.19
02	CSG/CFD	7.20.19
01	CSG	05.02.19



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PH01 Existing Conditions  
37K Frenchmans Creek Rd  
Halfmoon Bay Ca., 94019

09 Section Details (Existing)



DATE	10/18/19
DRAWN	per drawing
DESIGN	Mc
PROJECT	37(m)-ph01
SHEET	

09 A301

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BASIS OF DESIGN	
GOVERNING CODE	2016 CALIFORNIA BUILDING CODE (CBC)
SOIL CRITERIA:	ALLOWABLE BEARING PRESSURE = 1,500 psf
DESIGN LOADS:	GREEN HOUSE ROOF DEAD LOAD = 3 psf GREEN HOUSE ROOF LIVE LOAD = 5 psf GREEN HOUSE FLOOR DEAD LOAD = 50 psf GREEN HOUSE FLOOR LIVE LOAD = 40 psf
WIND DESIGN CRITERIA:	$R = 1.0$
EXPOSURE	02
VULNERABILITY RISK CATEGORY	1
SEISMIC:	$R = 3.25, S_s = 1.867, S_1 = 0.786$
SITE CLASS D	$S_{ds} = 1.245, S_{d1} = 0.786, I = 1.0, p = 1.0$
SEISMIC DESIGN CATEGORY	E
RISK CATEGORY	I
SEISMIC FORCE RESIST SYSTEM	STEEL ORDINARY CONCENTRICALLY BRACED FRAME

Basis of Design

DESIGN LOADS-BUILDING 9		JOB #: 1624
		DATE: 8-19
		SHEET:
<b>GREEN HOUSE ROOF</b>		
LIVE LOAD	5 PSF	(The existing sheet plastic roofing material is akin to a fabric structure supported by a skeleton structure)
DEAD LOADS		
PLASTIC SHEETING	1.5 PSF	
STEEL FRAMING	1.5	
TOTAL	3.0 USE = 3	
TOTAL LOAD	8 PSF	
<b>GREENHOUSE FLOOR</b>		
LIVE LOAD	40 PSF	
DEAD LOADS		
SLAB	50 PSF	
TOTAL	50 USE = 50	
TOTAL LOAD	90 PSF	
EXTERIOR WALLS	5 PSF	
INTERIOR WALLS	5	
GOVERNING CODE	CALIFORNIA BUILDING CODE	2016 EDITION
SEISMIC SITE CLASS		02
EXPOSURE CATEGORY		02
<b>LIMITATIONS:</b> The calculations presented herein, consist of professional opinions, conclusions and recommendations made in accordance with generally accepted Structural Engineering principles and practices. This warranty is in lieu of all other warranties either expressed or implied.		

EXISTING FOOTING NOTES:

- Data:
- Soil min. bearing pressure:
    - 1,500psf
    - 2500psi Conc.
    - No Reinforcing Assumed

Bearing Capacity:

Existing Perimeter Pads (P1)  
Area = 2.5x2.5' = 6.25sf  
Brg. Capacity = 9,375psf

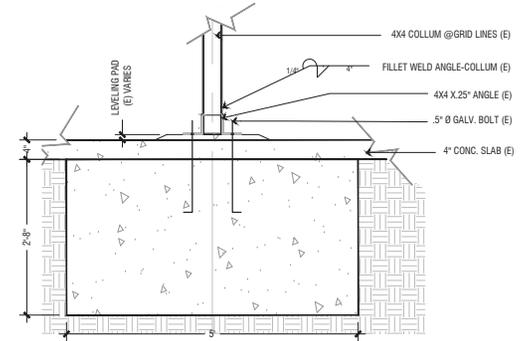
Existing Center-Line Pads/Bm (P2)  
Area = 5x1.5' = 7.5sf  
Brg. Capacity = 11,250psf

Max. Load Allowances:

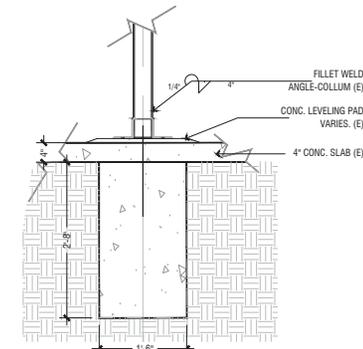
P1: 10#psf x 12x20' = 2,400#  
<9,375 OK

P2: 10#psf 12 x 40' = 4,800#  
<11,250 OK

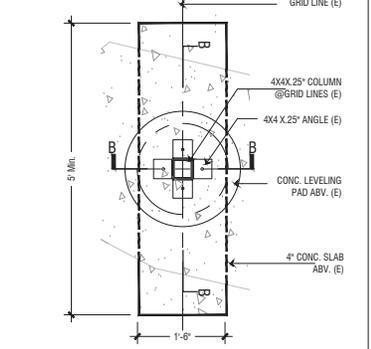
EXISTING CENTER CONC. FOOTING @ GRID-LINE 03 (P2)



04 P2 CONC. FTNG. Existing: scale: 1" = 1'-0"

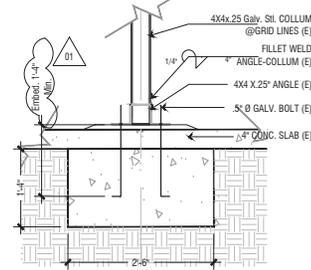


05 P2 SECTION: B-B scale: 1" = 1'-0"

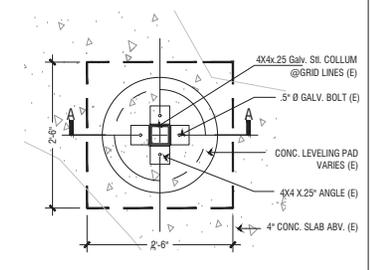


02 P2EXIST. CONC. FTNG. Plan View scale: 1" = 1'-0"

EXISTING PERIMETER CONC. FOOTING GRID-LINES A-L&1-5 (P1)



06 P1 SECTION: A-A scale: 1" = 1'-0"



01 P1 EXIST. CONC. PAD Plan View scale: 1" = 1'-0"

12 STRUCTURAL DATA

REVISION	BY
01	CSG
02	CSG

FILE: 1624-01

BRIAN DOTSON CONSULTING ENGINEER  
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PHONE: (808) 728-5439  
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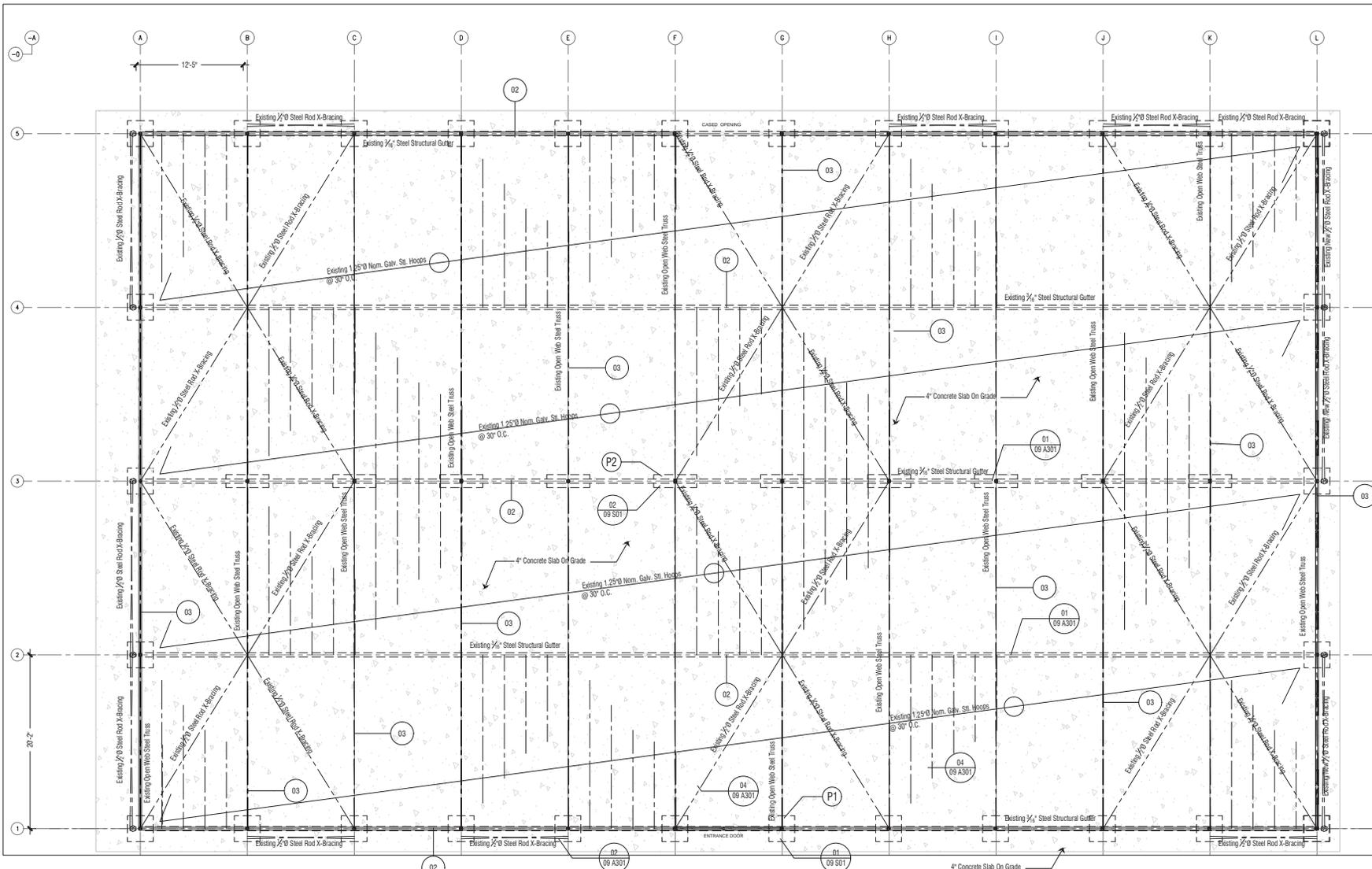


PH 01-Existing Conditions  
37K Frenchmans Creek Rd.  
Half Moon Bay 94019

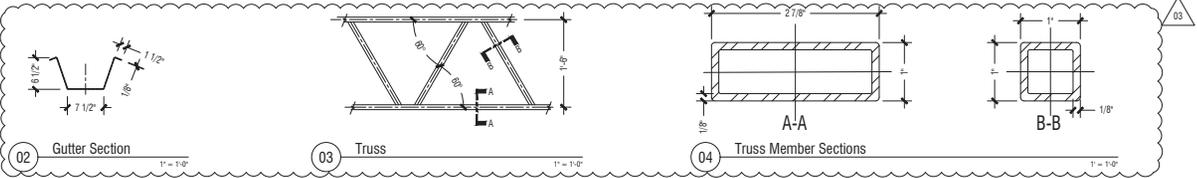
Existing Footings

JOB No: 1000  
DATE: 4/14/15  
SCALE: AS NOTED  
DRAWN BY: mc  
CHECKED BY: BD

09.S01  
OF 6 SHEETS



01 09 Foundation & Framing Plan



Structural Framing Notes:  
-All members A36 Steel

3/16" = 1'-0"

REVISION BY

CSG

FILE: 1624-02

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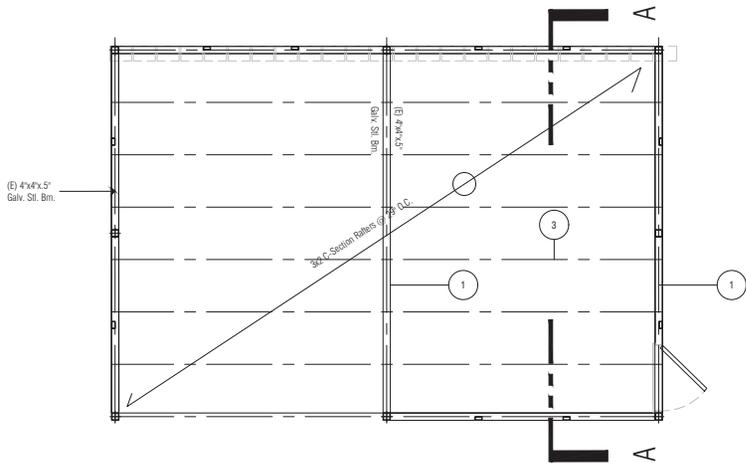
PH 01-Existing Conditions  
37K Frenchmans Creek Rd.  
Half Moon Bay 94019

Existing Foundation & Framing Plan

JOB No: 1000  
DATE: 8/14/15  
SCALE: AS NOTED  
DRAWN BY: mc  
CHECKED BY: BD

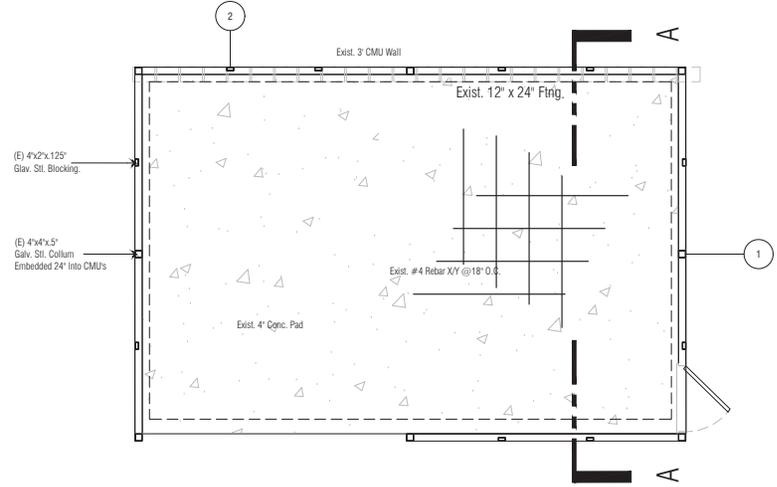
09.S02

OF 6 SHEETS



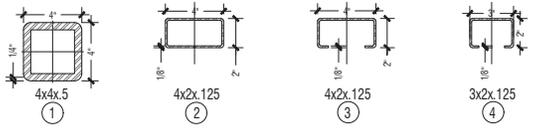
03 Existing Pump Rm. Roof Framing Plan

3/8" = 1'-0"



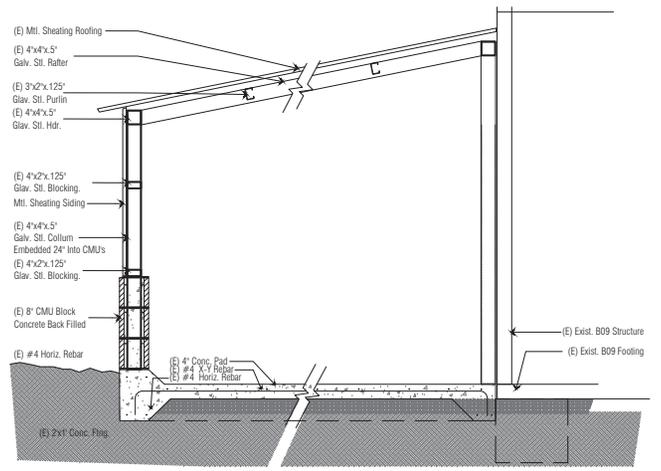
01 09N Existing Pump Shed Foundation Plan

3/8" = 1'-0"



04 Existing Framing Member Sections

3/8" = 1'-0"

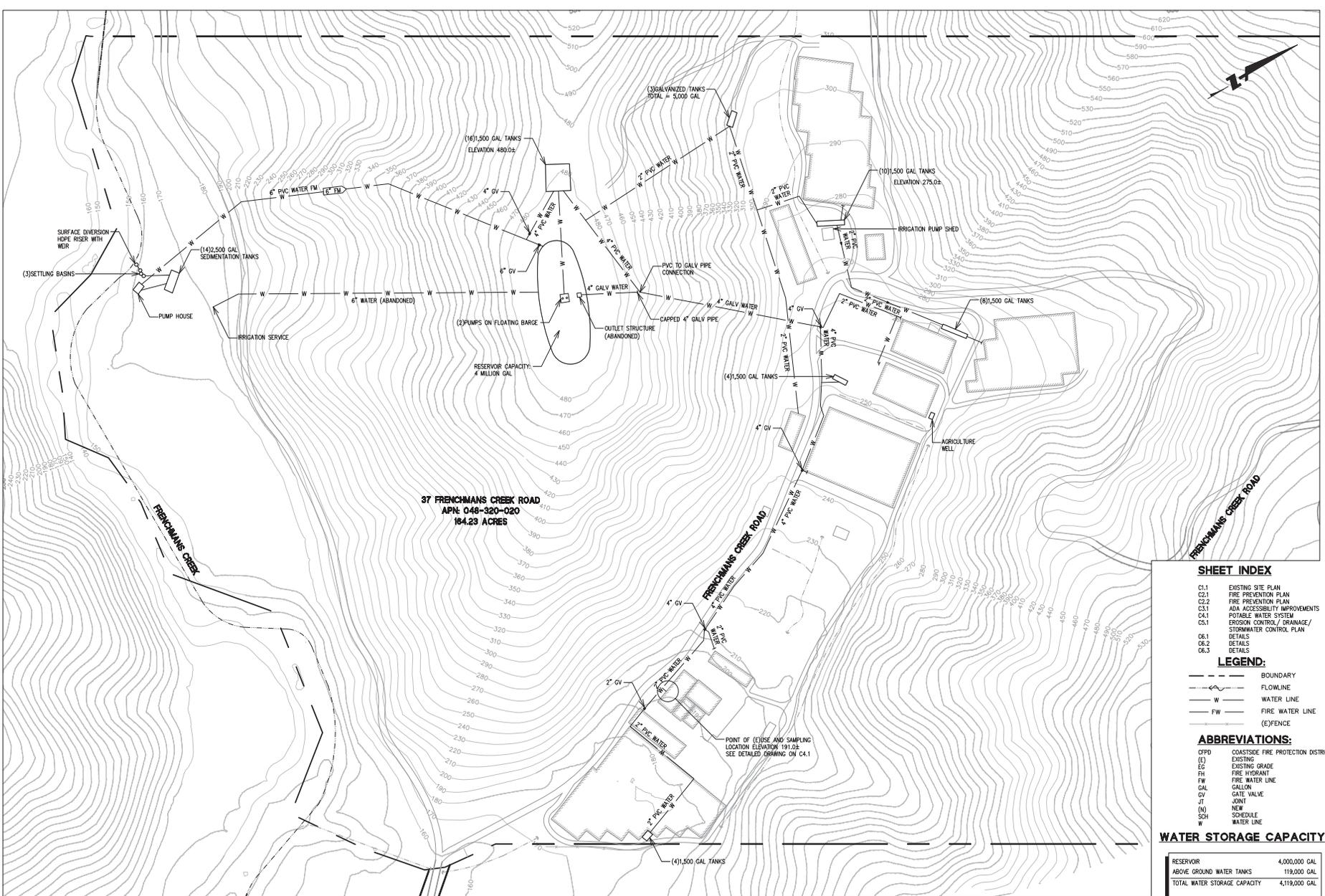


02 Exist. Pump Shed Sect A-A

3/4" = 1'-0"

REVISION	BY
FILE:	1624-D9
BRIAN DOTSON CONSULTING ENGINEERING P.O. BOX 371032 HONOLULU, HAWAII 96807 PHONE: (808) 728-5499 FAX: (808) 728-5499 EMAIL: BDC@BRIANDOTSON.NET	
PH 01-Existing Conditions 37K Frenchmans Creek Rd. Half Moon Bay 94019	
Existing Pump Shed Framing & Foundation Plan	
JOB No:	1000
DATE:	8/14/15
SCALE:	AS NOTED
DRAWN BY:	mc
CHECKED BY:	BD
<b>09.S03</b> OF SHEETS	

Date	Revisions
09/19/2019	EXISTING SITE PLAN - REV 1
11/28/2019	EXISTING SITE PLAN - REV 2



**SHEET INDEX**

- C1.1 EXISTING SITE PLAN
- C2.1 FIRE PREVENTION PLAN
- C2.2 FIRE PREVENTION PLAN
- C3.1 ADA ACCESSIBILITY IMPROVEMENTS
- C4.1 POTABLE WATER SYSTEM
- C5.1 EROSION CONTROL / DRAINAGE / STORMWATER CONTROL PLAN
- 06.1 DETAILS
- 06.2 DETAILS
- 06.3 DETAILS

**LEGEND:**

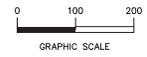
- BOUNDARY
- FLOWLINE
- W- WATER LINE
- FW- FIRE WATER LINE
- (E) FENCE

**ABBREVIATIONS:**

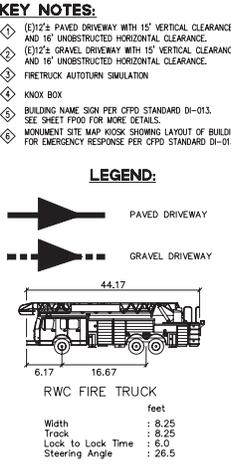
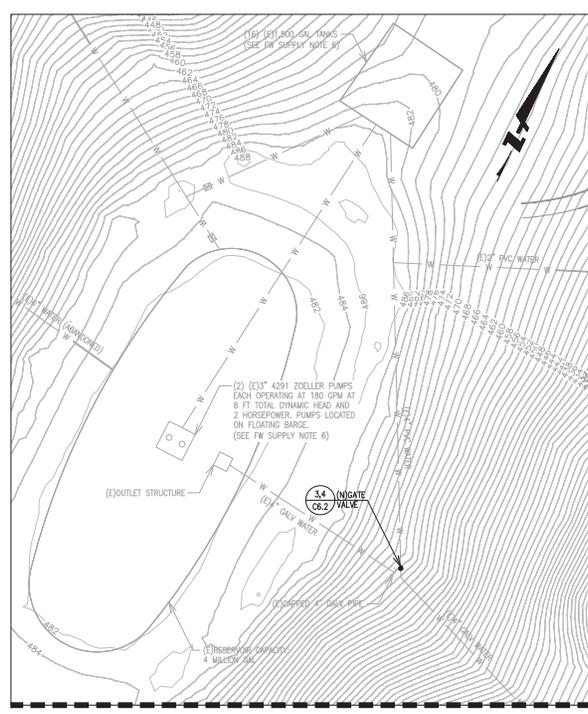
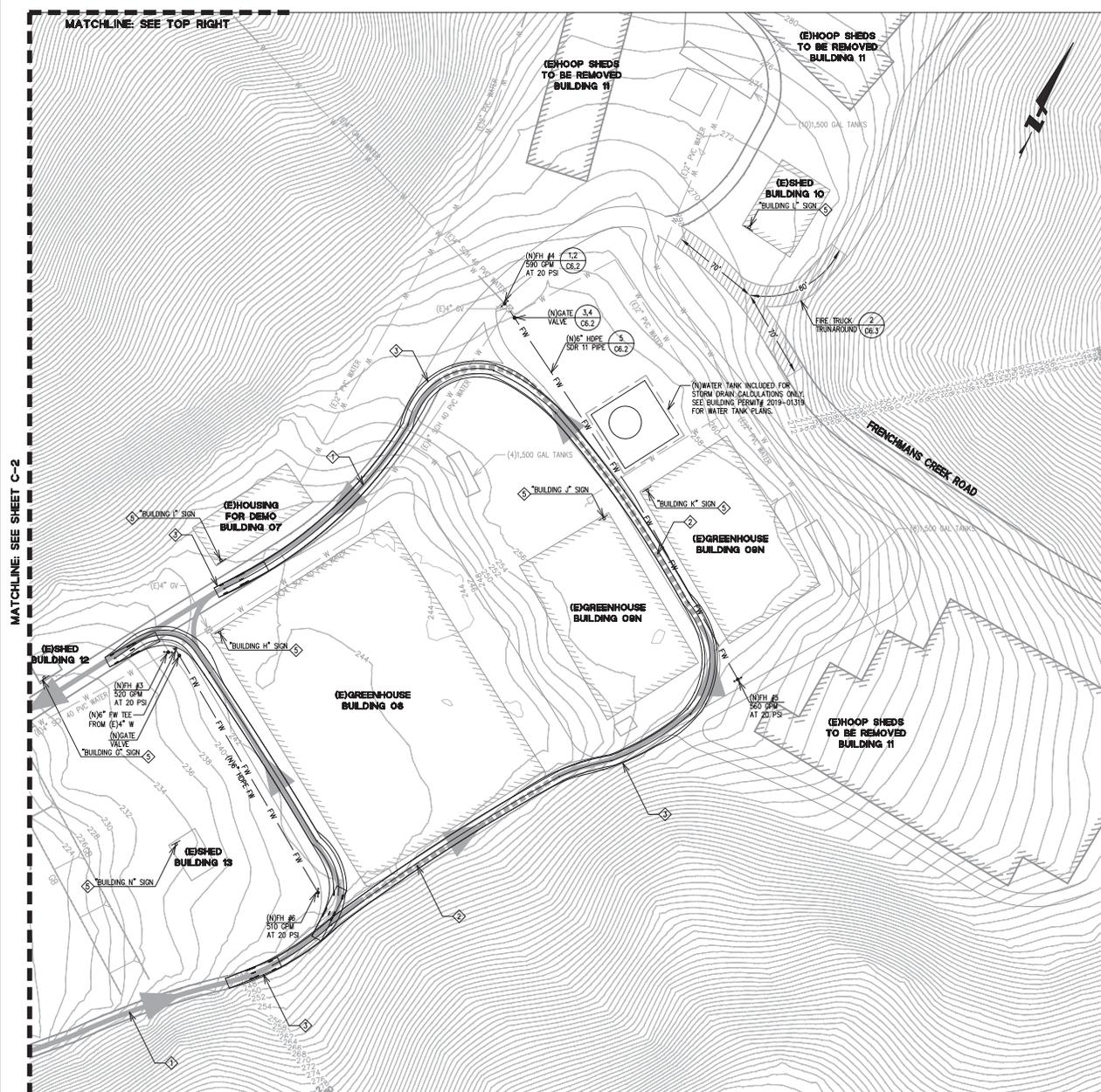
- CFPD COASTSIDE FIRE PROTECTION DISTRICT
- (E) EXISTING
- EG EXISTING GRADE
- FH FIRE HYDRANT
- FW FIRE WATER LINE
- GAL GALLON
- GV GATE VALVE
- JT JOINT
- (N) NEW
- SOH SCHEDULE
- W WATER LINE

**WATER STORAGE CAPACITY**

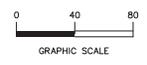
RESERVOIR	4,000,000 GAL
ABOVE GROUND WATER TANKS	119,000 GAL
<b>TOTAL WATER STORAGE CAPACITY</b>	<b>4,119,000 GAL</b>



DRAWING NAME: \\BKF-CG\Users\2017\170335\_37\_Frenchmans\_Creek\ENW\_Building\_Permit\1\cshets.dwg  
PLOT DATE: 02-25-20 PLOTTED BY: pol

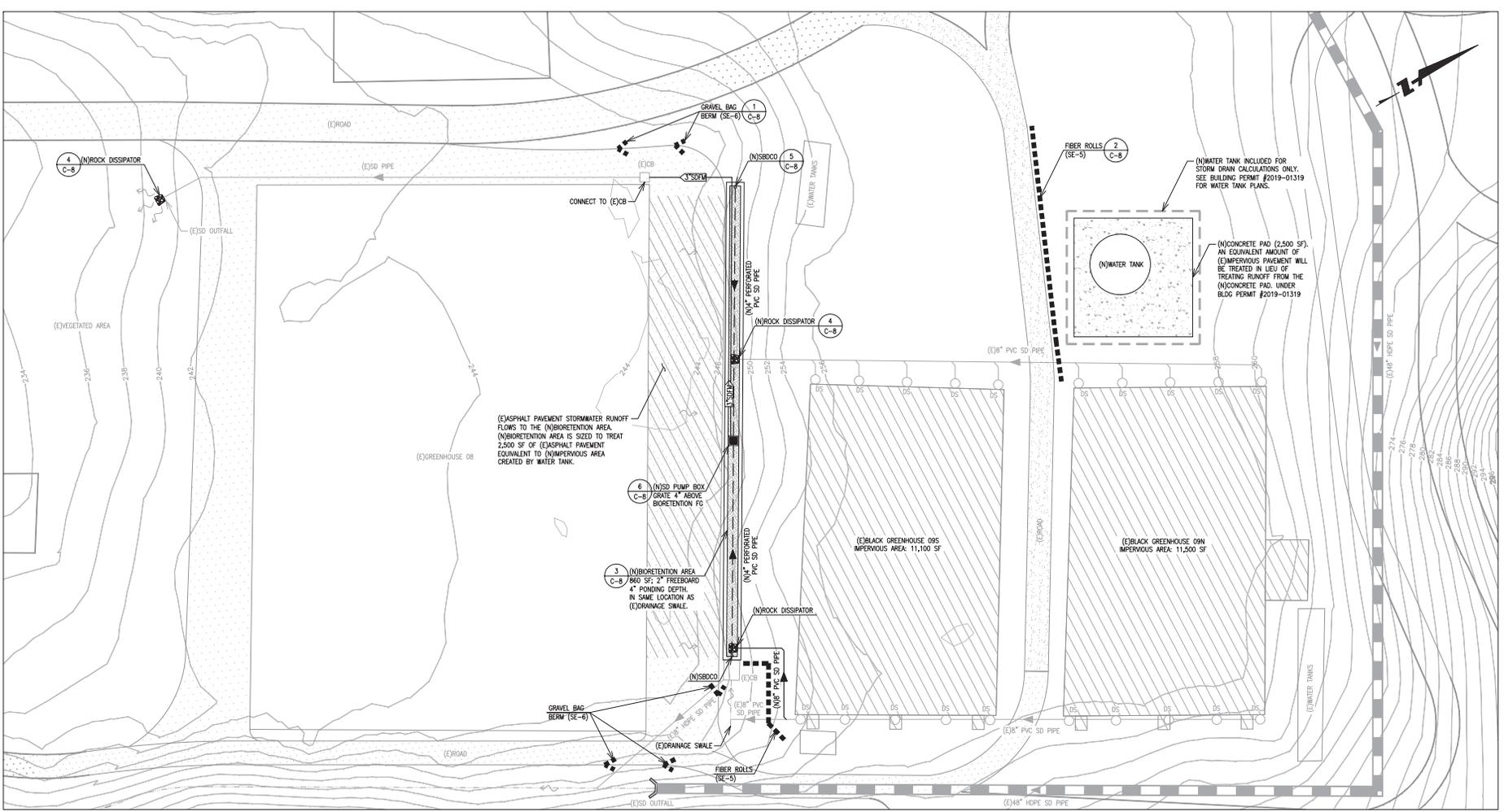


- GENERAL NOTES:**
1. A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES.
  2. TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.
  3. GATES SHALL BE A MINIMUM OF 2 FEET WIDER THAN THE ACCESS ROAD/DRIVEWAY THEY SERVE. OVERHEAD GATE STRUCTURES SHALL HAVE MINIMUM OF 15 FEET OF VERTICAL CLEARANCE. LOCKED GATES SHALL BE PROVIDED WITH A KNOX BOX OR KNOX PADLOCK. ELECTRIC GATES SHALL HAVE A KNOX KEY SWITCH. ELECTRIC GATES SHALL AUTOMATICALLY OPEN DURING POWER FAILURES. CFC 503.6, 506.
- FIRE WATER SUPPLY NOTES:**
1. THE MINIMUM WATER SUPPLY FOR FIRE SUPPRESSION IS 375,000 GAL PER NFPA 1142.
  2. THE PROVIDED WATER SUPPLY FOR FIRE SUPPRESSION IS OVER 4 MILLION GAL BETWEEN THE SURFACE RESERVOIR ON TOP OF THE HILL AND MULTIPLE WATER TANKS LOCATED ACROSS THE SITE. SEE C1.1 FOR WATER SUPPLY LOCATIONS.
  3. 5 (N)FIRE HYDRANTS TO BE INSTALLED FOR EASY ACCESS BY COASTSIDE FIRE PROTECTION DISTRICT PER STANDARD PFE-001 AND PFE-005.
  4. (N)FIRE HYDRANTS TO BE SINGLE 4-INCH WET DRAFT HYDRANTS. HYDRANT SHALL HAVE AT LEAST ONE 4 1/2" OUTLET WITH NATIONAL HOSE THREAD AND SHALL HAVE A REMOVABLE METALLIC CAP UNLESS USING A WHARF HYDRANT THEN A 2 1/2" OUTLET NATIONAL HOSE THREAD. MAXIMUM HYDRANT SPACING SHALL BE 400 FEET.
  5. (N)FIRE WATER PIPES TO BE 6-INCH HDPE SDR 11 PIPE WITH 30-INCH MINIMUM COVER. PIPE TO MEET REQUIREMENTS OF AWWA C906, ASTM F714 AND FM 1613.
  6. WATER FOR FIRE SUPPRESSION IS DRAWN FIRST FROM THE (161,500 GAL TANKS AND SECOND FROM THE 4 MILLION GAL RESERVOIR. A FLOWRATE OF 500 GPM IS AVAILABLE FOR FIRE SUPPRESSION FOR APPROXIMATELY 3 HOURS DRAWING FROM THE TANKS WHILE SIMULTANEOUSLY BEING REPLIED BY THE (2)ZOEGLER PUMPS. AFTER THESE TANKS ARE EMPTY, A FLOWRATE OF 300 GPM IS AVAILABLE AS THE (2)ZOEGLER PUMPS DRAW WATER DIRECTLY FROM THE RESERVOIR.
  7. "NO PARKING - FIRE LANE" SIGNS SHALL BE PROVIDED ON BOTH SIDES OF ROADS 20 TO 26 FEET WIDE AND ON ONE SIDE OF ROADS 26 TO 32 FEET WIDE PER CFC D103.6



**SEE SHEET C1.1 FOR  
LEGEND AND  
ABBREVIATIONS**

DRAWING NAME: \\BKF-C\Users\2017170335\_37\_Frenchmans\_Creek\Bldg\_Permit\Drawings\Drawings.dwg  
PLOT DATE: 09-25-20 PLOTED BY: pol



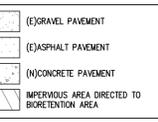
**EROSION AND SEDIMENTATION CONTROL NOTES:**

- CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN. IF PROVIDED, ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF THE EROSION CONTROL SYSTEM SO THAT IT WORKS WITH THE CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS PRIOR TO ANTICIPATED STORMS AND AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
- AS SOON AS PRACTICAL FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
- STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARP/PAULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER.
- PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRADING, OR EXCAVATION, THE CONTRACTOR SHALL NOTIFY THE CLIENT HAS SUBMITTED TO THE STATE WATER RESOURCES CONTROL BOARD A NOTICE OF INTENT (NOI) FOR COVERAGE UNDER THE STATE CONSTRUCTION STORM WATER GENERAL PERMIT, IF REQUIRED BY THE STATE. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE NOI ON THE CONSTRUCTION SITE.
- NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, Dikes, MULCHING OR OTHER MEASURES AS APPROPRIATE.
- CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE CITY/TOWN INSPECTOR. THE ADJACENT STREET SHALL BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. DEVELOPER SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPIILING OF BUILDING MATERIALS WITHIN THE CITY/TOWN'S RIGHT-OF-WAY IS PERMITTED.
- ALL EROSION CONTROL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED.
- PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMES, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES.

**STORM DRAIN NOTES:**

- PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 WHITE PIPE, AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-72 WITH GLEED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS, 45° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- PRIVATE STORM DRAIN LINE 6-INCH THROUGH 12-INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) C900, RATED FOR 150 PSI CLASS PIPE. PROVIDE AND INSTALL "STORM DRAIN" MARKER TAPE FOR THE ENTIRE LENGTH OF PIPE TRENCH IN ACCORDANCE WITH CITY/TOWN STANDARDS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, OBTUSE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
- DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER.

**HATCH LEGEND:**

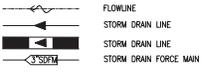


**IMPERVIOUS AREAS:**

NEW / UNPERMITTED IMPERVIOUS AREA	
WATER TANK CONCRETE PAD	2,500 SQ FT
BLACK GREENHOUSE 09N	11,500 SQ FT
BLACK GREENHOUSE 09S	11,100 SQ FT
<b>TOTAL:</b>	<b>25,100 SQ FT</b>
REQUIRED LID TREATMENT AREA <sup>1</sup>	860 SQ FT
PROVIDED LID TREATMENT AREA	860 SQ FT

<sup>1</sup> BIOTREATMENT AREA IS SIZED PER THE COMBINED FLOW AND VOLUME METHOD SPECIFIED IN THE SAN MATEO COUNTY C.3 STORMWATER TECHNICAL GUIDANCE HANDBOOK.

**LEGEND:**

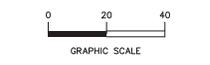


**ABBREVIATIONS:**

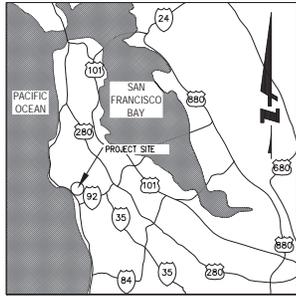
CB	CATCH BASIN
DS	DOWNSPOUT
(E)	EXISTING
(F)	FINISHED GROUND ELEVATION
CALL	GALLON
LF	LINEAR FOOT
(N)	NEW
SD	SUBSURFACE CLENAOUT
SDFM	STORM DRAIN
SF	STORM DRAIN FORCE MAIN
SQ	SQUARE FEET

**GENERAL NOTES:**

- DOUBLE EARTH CONTOURS SHOWN FOR REFERENCE ONLY. ACTUAL GRADES TO BE CONFIRMED BY CONTRACTOR COMPLETING WORK.



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PLOT DATE: 02-25-20 PLOTTED BY: [redacted]



VICINITY MAP  
N.T.S.

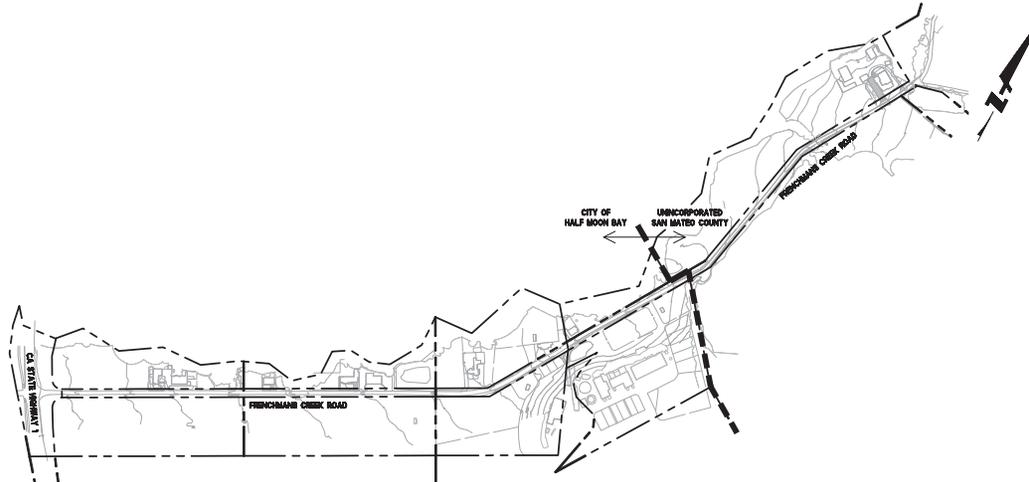
# ROAD REPAIR AND MAINTENANCE PROJECT FRENCHMANS CREEK ROAD HALF MOON BAY, CA



LOCATION MAP  
N.T.S.

**ABBREVIATIONS:**

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
CFPD	COASTSIDE FIRE PROTECTION DISTRICT
CL	CENTER LINE
CONC	CONCRETE
CY	CUBIC YARD
(E)	EXISTING
EG	EXISTING GRADE
FS	FINISHED SURFACE GRADE
GB	GRADE BREAK
JP	JOINT POLE
LF	LINEAR FEET
(N)	NEW
RD	ROAD
ROW	RIGHT OF WAY
S	SLOPE
SF	SQUARE FEET
TYP	TYPICAL



**LEGEND:**

---	BOUNDARY
---	EASEMENT
---	HALF MOON BAY CITY LINE
---	FLYLINE
---	FLYLINE
---	GRADING CONFORM
---	GRADING LIMIT
---	BIOLOGICAL SENSITIVE AREA
---	EXCLUSIONARY FENCING
---	FENCE
---	SIGN
---	DETAIL NUMBER
---	SHEET LOCATION

**SHEET INDEX**

SHEET NO.	DESCRIPTION
C0.0	TITLE SHEET
C0.1	NOTES
C1.1	EXISTING CONDITIONS
C1.2	EXISTING CONDITIONS
C2.1	ROAD PLAN
C2.2	ROAD PLAN
C3.1	TRAFFIC CONTROL PLAN
CA.1	EROSION CONTROL PLAN
CA.2	BEST MANAGEMENT PRACTICES
CS.1	DETAIL SHEET

**PROJECT CONTACT INFO:**

<b>PROJECT CIVIL ENGINEER</b>	BKF ENGINEERS 255 SHORELINE DRIVE, SUITE 200 REDWOOD CITY, CA 94065 TEL 650.482.6300 CONTACT: DALE LEDA, PROJECT MANAGER
<b>PROJECT BIOLOGIST</b>	SOL ECOLOGY PO BOX 5214 PETALUMA, CA 94955 707.396.3373 CONTACT: DANA RIGGS, PRINCIPAL BIOLOGIST
<b>COUNTY</b>	COUNTY OF SAN MATEO 555 COUNTY CENTER, 5TH FLOOR REDWOOD CITY, CA 94063 TEL 650.363.4100
<b>CITY</b>	CITY OF HALF MOON BAY 501 MAIN STREET, HALF MOON BAY, CA 94019 TEL 650.726.8270

**ENGINEER'S STATEMENT**

THIS SITE IMPROVEMENT PLAN SUBMITTAL HAS BEEN PREPARED UNDER MY DIRECTION.

ROLAND N.V. HAGA DATE \_\_\_\_\_  
VICE PRESIDENT  
P.E. #82071  
BKF ENGINEERS

**ENGINEER OF WORK**

I HEREBY DECLARE THAT I AM THE CIVIL ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6705 OF THE STATE OF CALIFORNIA, BUSINESS PROFESSIONAL CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

DALE LEDA DATE \_\_\_\_\_  
PROJECT MANAGER  
P.E. #78436  
BKF ENGINEERS



**PROJECT DESCRIPTION:**

THE PROJECT INCLUDES REPAIR AND IMPROVEMENTS TO SEGMENTS OF FRENCHMANS CREEK ROAD, A PRIVATE ROAD THROUGH LANDS WITHIN THE CITY OF HALF MOON BAY AND UNINCORPORATED SAN MATEO COUNTY.

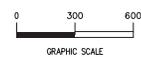
**PHYSICAL DESCRIPTION OF SITE:**  
PROPOSED WORK WILL CONSIST OF SWEEPING THE EXISTING ROAD OF DIRT AND DEBRIS, REMOVING BASECOURSE FROM POTHOLES, FILLING OF EXISTING POTHOLES WITH HOT MIX ASPHALT PATCH TO MATCH EXISTING PAVEMENT EDGES, APPLICATION OF A TACK COAT AND NOMINAL 2" HOT MIX ASPHALT OVERLAY. THE OVERLAY WILL EXTEND TO THE LIMITS OF THE EXISTING COMPACTED BASECOURSE SHOULDER WITH AN UNFINISHED EDGE CONDITION ADJACENT LANDSCAPING AND A FRESH FINISH ADJACENT EXISTING PAVING AND/OR OTHER HARDCAPE IMPROVEMENTS.

**LOCATION:**  
CITY OF HALF MOON BAY AND UNINCORPORATED SAN MATEO COUNTY.

**UTILITIES:**  
STORM DRAINAGE: PRIVATE  
WATER: PRIVATE  
SANITARY SEWER: PRIVATE  
GAS/ELECTRIC: PG&E

**REFERENCES**

TO BE SUPPLEMENTED BY STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD PLANS AND SPECIFICATIONS, 2015 EDITION.



**TITLE SHEET**  
ROAD REPAIR AND MAINTENANCE PROJECT  
FRENCHMANS CREEK ROAD  
HALF MOON BAY  
SAN MATEO COUNTY  
CALIFORNIA



Date	Revisions
07/17/2019	DESIGN REVISIONS
07/02/2019	BUILDING PERMIT - REC 2
02/17/2020	BUILDING PERMIT - REC 3

811  
Know what's below.  
Call before you dig.  
C.O.O.  
OF

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PLOT DATE: 02-17-20 PLOTTED BY: leek

**PROJECT NOTES:**

- THE FOLLOWING NOTES ARE ESTABLISHED MERELY TO GUIDE THE CONTRACTOR AS TO THE GENERAL ITEMS OF WORK INVOLVED AND ARE NOT INTENDED TO COVER COMPLETE SCOPE OF WORK. CONTRACTOR SHALL COMPLETE ALL WORK AS PER CONTRACT DOCUMENTS.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR PERSONS AND PROPERTY; THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- ALL MATERIALS, WORK APPURTENANCES SHALL CONFORM WITH THESE PLANS, THE PROJECT SPECIFICATIONS AND THE LATEST ADOPTED VERSION OF CITY OF HALF MOON BAY AND SAN MATEO COUNTY STANDARD DETAILS.
- THE CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE RULES AND REGULATIONS ESTABLISHED BY CAL-OSHA AND OTHER AGENCIES HAVING JURISDICTION OVER THE WORK.
- THE CONTRACTOR SHALL NOT DESTROY ANY PERMANENT SURVEY POINTS WITHOUT THE CONSENT OF THE COUNTY/CITY. ANY PERMANENT MONUMENTS OR POINTS DESTROYED SHALL BE REPLACED BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING ROADWAYS, SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, CURBS, GUTTERS, SIDEWALKS, GRADING, ETC. AND TO AVOID ANY ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.
- THE LOCATIONS AND TYPES OF EXISTING UTILITIES SHOWN ON THE PLANS ARE BASED ON INFORMATION FURNISHED BY SERVING AGENCIES AND FIELD SURVEY; IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE POSITION AND DEPTH PROTECTION FOR SUCH UTILITIES AND STRUCTURES, WHETHER SHOWN ON THE PLAN OR NOT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IMMEDIATELY NOTIFY THE ENGINEER UPON DISCOVERY OF ANY FIELD CONDITIONS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES DONE WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER.
- ANY DEVIATIONS OR CHANGES IN THESE PLANS WITHOUT WRITTEN APPROVAL OF THE ENGINEER SHALL BE AT THE CONTRACTOR'S OWN RISK.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS SHOWN.
- ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITY CROSSINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID LINES. CONTACT USA AT (800) 442-2444 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION.
- CONTRACTOR SHALL CONFINE HIS OPERATIONS AND ACTIVITIES WITHIN THE PROJECT LIMITS, CONSISTING OF ROAD RIGHT-OF-WAY AND/OR PROJECT CONFORMS, AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL RESTORE ALL DAMAGED, REMOVED OR OTHERWISE DISTURBED WALLS, UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE, DUE TO CONTRACTOR'S WORK. SEPARATE PAYMENT FOR RESTORATION OF EXISTING IMPROVEMENTS TO THEIR ORIGINAL CONDITION WILL NOT BE MADE. COMPENSATION FOR THIS TASK SHALL BE CONSIDERED AS INCLUDED IN THE VARIOUS CONTRACT ITEMS OF WORK INVOLVED.
- ALL PERMANENT MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED BEFORE ACCEPTANCE OF THE IMPROVEMENTS BY THE COUNTY ENGINEER.
- THE CONTRACTOR SHALL GIVE THE CITY OR COUNTY ENGINEER TWO WORKING DAYS ADVANCE NOTICE FOR INSPECTION.
- VEGETATION AND IMPROVEMENTS SHALL BE REMOVED ONLY WHEN DIRECTED IN WRITING BY THE ENGINEER. NO TREES, VEGETATION, OR IMPROVEMENTS (INCLUDING FENCES) SHALL BE REMOVED WITHOUT PRIOR WRITTEN CONSENT AND APPROVAL OF THE ENGINEER.
- CONTINUOUS DUST CONTROL SHALL BE PROVIDED AS REQUIRED BY SECTION 17 "DUST VEIL AND APPLY WATER," OF THE SPECIAL PROVISIONS AND AS DIRECTED BY THE ENGINEER.
- NO TRENCHES OR HOLES SHALL BE LEFT OPEN OVERNIGHT; USE STEEL PLATING OR HOT-MIX ASPHALT AS REQUIRED TO PROTECT OPEN TRENCHES OVERNIGHT, OR AS DIRECTED BY ENGINEER.
- CONTRACTOR SHALL PROVIDE A STAGING PLAN FOR WORK IDENTIFYING STAGING AREAS FOR EQUIPMENT AND MATERIALS STORAGE. STAGING AND MATERIALS STORAGE ON PRIVATE PROPERTY SHALL REQUIRE PRIOR WRITTEN APPROVAL FROM LAND OWNERS PRIOR TO COMMENCEMENT OF WORK.
- ALL REVISIONS TO THIS PLAN MUST BE REVIEWED AND APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE ACCURATE. ALL REVISIONS PLANS STAMPED AND SIGNED BY COUNTY ENGINEER PRIOR TO THE INSTALLATION OF THE IMPROVEMENTS.
- BKF TO REVIEW WORK BEING COMPLETED AND SIGN OFF ON GENERAL CONFORMANCE TO PLANS.

**GENERAL SITE NOTES:**

- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING ON THIS WORK AND CONSIDER THE EXISTING CONDITIONS AND SITE CONSTRAINTS IN THE BID. CONTRACTOR SHALL BE IN THE POSSESSION OF AND FAMILIAR WITH ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS PRIOR TO SUBMITTING OF A BID.
- ALL WORK ON-SITE AND IN THE PRIVATE RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS & SPECIFICATIONS.
- PRIOR TO BEGINNING WORK, AND AFTER INITIAL HORIZONTAL CONTROL STAKING, CONTRACTOR SHALL FIELD CHECK ALL ELEVATIONS MARKED WITH (E) AND REPORT ANY DISCREPANCIES GREATER THAN 0.10' TO PROJECT MANAGER.
- DAMAGE TO ANY EXISTING SITE IMPROVEMENTS, UTILITIES AND/OR SERVICES TO REMAIN SHALL BE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND INDEMNIFY AND HOLD THE CONSULTING ENGINEER, DESIGN PROFESSIONAL AND THE CITY/TOWN HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CLIENT OR THE CONSULTING ENGINEER.

**GENERAL CONSTRUCTION NOTES:**

- INITIALLY, THE PROPOSED IMPROVEMENTS AREAS SHALL BE CLEARED OF OBSTRUCTIONS, INCLUDING EXISTING FLATWORK AND BASECOURSE SECTIONS WHERE INDICATED, UP TO THE EXISTING SUBGRADE LEVELS.
- AFTER CLEARING, THE PROPOSED IMPROVEMENT AREAS SHOULD BE ADEQUATELY STRENGTHENED TO REMOVE SURFACE VEGETATION AND ORGANIC LAYER TOPSOIL. THE STRIPPED MATERIAL SHOULD NOT BE USED AS ENGINEERED FILL, HOWEVER IT MAY BE STOCKPILED AND RE-USED FOR LANDSCAPING PURPOSES.
- ANY REMOVED IMPROVED FILL SHALL BE CALTRANS CLASS II BASECOURSE UNDER THE NEW PAVEMENT SECTION.
- CLASS II AGGREGATE BASECOURSE SHALL BE HOT ASPHALT PAVING SHOULD MEET THE SPECIFICATIONS OUTLINED IN THE CALTRANS STANDARD SPECIFICATIONS, LATEST EDITION.
- ALL REMOVED/DEMOLISHED AC, BASECOURSE AND SOIL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND IS TO BE DISPOSED OFF-SITE PER SAN MATEO COUNTY REQUIREMENTS AT THE CONTRACTOR'S EXPENSE. REFER TO SMOG RECYCLING & WASTE MANAGEMENT ORDINANCES.
- UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE AND RECORD INFORMATION OBTAINED FROM OWNERS AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS; THIS ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZE, DEPTH AND LOCATION BY THE CONTRACTOR PRIOR TO CONSTRUCTION, NO RESPONSIBILITY IS ASSUMED BY THE ENGINEER FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.
- THE CONTRACTOR WILL ENSURE THAT ALL CONSTRUCTION DEBRIS IS REMOVED FROM ALL PROPERTY AND DISPOSED OF PROPERLY AND LEGALLY. IN ADDITION, THE CONTRACTOR WILL RESTORE THE PROJECT SITE TO PRE-CONSTRUCTION CONDITIONS UPON COMPLETION OF HIS WORK AND ARRANGING FOR A POST-CONSTRUCTION SITE INSPECTION BY THE CITY AND/OR COUNTY BUILDING DEPARTMENTS, AS REQUIRED.

**DEMOLITION NOTES :**

- CONTRACTOR IS TO COMPLY WITH ALL GENERAL AND STATE REQUIREMENTS INVOLVING THE REMOVAL AND DISPOSAL OF HAZARDOUS MATERIAL(S).
- CONTRACTOR'S BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THESE DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENGORGMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE DEMOLITION WORK.
- BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES OUTLINED IN THE EROSION CONTROL PLAN & DETAILS.
- THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS FACILITIES AND STRUCTURES WHICH ARE TO REMAIN. ANY ITEMS DAMAGED BY THE CONTRACTOR OR HIS AGENTS OR ANY ITEMS REMOVED FOR HIS USE SHALL BE REPLACED IN EQUAL OR BETTER CONDITION AS APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE.
- COORDINATE WITH ELECTRICAL, MECHANICAL, LANDSCAPING AND ARCHITECTURAL ENGINEER. CONTRACTOR SHALL NOTIFY SERVING AGENCIES OF ANY UTILITIES TO BE SHUT OFF ALL UTILITIES AS NECESSARY PRIOR TO DEMOLITION. CONTRACTOR IS TO COORDINATE SERVICE INTERRUPTIONS WITH THE CLIENT. DO NOT INTERRUPT SERVICES TO ADJACENT OFF-SITE OWNERS. ALSO SEE ARCHITECTURAL PLANS FOR ADDITIONAL DEMOLITION SCOPE OF WORK.
- THIS PLAN IS NOT INTENDED TO BE A COMPLETE CATALOGUE OF ALL EXISTING STRUCTURES AND UTILITIES. THIS PLAN INTENDS TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND TO SHOW THE LIMITS OF THE AREA WHERE WORK WILL BE PERFORMED. THIS PLAN SHOWS THE EXISTING FEATURES TAKEN FROM A FIELD SURVEY, FIELD INVESTIGATIONS AND AVAILABLE INFORMATION. THIS PLAN MAY OR MAY NOT ACCURATELY REFLECT THE TYPE OR EXTENT OF THE ITEMS TO BE ENCOUNTERED AS THEY ACTUALLY EXIST. WHERE EXISTING FEATURES ARE NOT SHOWN, IT IS NOT IMPLIED THAT THEY ARE NOT TO BE DEMOLISHED OR REMOVED. THE CONTRACTOR SHALL PERFORM A THOROUGH FIELD INVESTIGATION AND REVIEW OF THE SITE WITHIN THE LIMIT OF WORK SHOWN IN THIS PLAN SET TO DETERMINE THE TYPE, QUANTITY AND EXTENT OF ANY AND ALL ITEMS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXTENT OF EXISTING STRUCTURES AND UTILITIES AND QUANTITY OF WORK INVOLVED IN REMOVING THESE ITEMS FROM THE SITE.

**CAUTION:**

- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION—PHONE (800) 442-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK ON THIS SITE.

**EXISTING TOPOGRAPHY**

- REFER TO THE EXISTING CONDITIONS SHEETS FOR TOPOGRAPHIC SURVEYING NOTES AND INFO.

**RECORD DRAWINGS:**

- THE CONTRACTOR SHALL KEEP UP-TO-DATE AND ACCURATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVERY CHANGE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXACT FINAL LOCATION, ELEVATION, SIZE, MATERIALS, AND DISPOSITION OF ALL WORK. RECORDS SHALL BE "TREADED" ON A SET OF CONSTRUCTION PLAN DRAWINGS. A COMPLETE SET OF CORRECTED AND UNLIMITED REVISIONS SHALL BE SUBMITTED TO THE CITY/TOWN ENGINEER AND DEVELOPER'S CIVIL ENGINEER PRIOR TO FINAL ACCEPTANCE FOR REVIEW AND APPROVAL BY THE CITY/TOWN ENGINEER.
- WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHERS CANNOT BE INSTALLED, THEN THE TIRKS OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL DEMONSTRATE DUST SUPPRESSION MEASURES, SUCH AS REGULAR WATERING, WHICH SHALL BE IMPLEMENTED TO REDUCE EMISSIONS DURING CONSTRUCTION AND GRADING IN A MANNER MEETING THE APPROVAL OF THE CONSULTING ENGINEER. THIS SHALL ASSIST IN REDUCING SHORT-TERM IMPACTS FROM PARTICLES WHICH COULD RESULT IN NUISANCES THAT ARE PROHIBITED BY RULE 403 (FUGITIVE DUST).
- GRADING OR ANY OTHER OPERATIONS THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DUST CONTROL FOR THE ENTIRE PROJECT SITE IN ACCORDANCE WITH THE PROJECT SPES. AT ALL TIMES, THE SITE SHALL BE SPRINKLED AS NECESSARY TO PREVENT DUST NUISANCE. IN THE EVENT THAT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE CLIENT RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL MEASURES AND FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS.

**TREE/PLANT PROTECTION NOTES:**

- PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
- PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY HARMFUL MATERIAL, AS WELL AS FROM PULPING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY/TOWN ENGINEER/INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS MATERIAL CLEAN UP.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES DESIGNATED TO REMAIN AND FOR MAINTENANCE OF RELOCATED TREES STOCKPILED DURING CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REPLACE TREES THAT DIE DUE TO LACK OF MAINTENANCE.

**BIOLOGIST NOTES:**

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH RECOMMENDATIONS PROVIDED BY THE PROJECT BIOLOGIST, INCLUDING BUT NOT LIMITED TO THOSE INCLUDED IN THE PROJECT BIOLOGICAL ASSESSMENT, DATED 08/09/19.
- IT IS RECOMMENDED THAT ALL WORK SHOULD BE PERFORMED DURING DRY WEATHER AND NO WORK SHOULD OCCUR WITHIN 30 MINUTES OF SUNRISE OR SUNSET, OR DURING THE NIGHT.
- CONTRACTOR SHALL PROVIDE MATERIALS SUBMITTALS TO THE PROJECT ENGINEER AND PROJECT BIOLOGIST FOR WILDLIFE EXCLUSION FENCING AND ANY PROPOSED LANDSCAPING OR EROSION CONTROL MATERIALS (INCLUDING HYDROSEED, HEMLOCK, ETC) AT LEAST 5 BUSINESS DAYS PRIOR TO COMMENCING CONSTRUCTION FOR REVIEW AND APPROVAL.
- CONTRACTOR SHALL CONTACT THE PROJECT BIOLOGIST TO SCHEDULE A PRE-CONSTRUCTION BIOLOGICAL SURVEY OF THE CONSTRUCTION SITE. TO BE CONDUCTED WITHIN 48 HOURS OF COMMENCEMENT OF CONSTRUCTION. BIOLOGICAL MONITOR PERFORMS A PRE-CONSTRUCTION SURVEY TO VERIFY INSTALLATION OF WILDLIFE EXCLUSION FENCING AND FOR SPECIAL STATUS SPECIES OR THEIR HABITAT: SPECIAL STATUS SPECIES OR THEIR HABITAT LOCATED WITHIN THE PROJECT SITE (INCLUDING STAGING AND ACCESS ROUTES). THE BIOLOGICAL MONITOR WILL TAKE THE NECESSARY STEPS TO AVOID IMPACTS TO THESE SPECIES AND HAZARD AND NOTIFY PUBLIC AGENCIES WITH JURISDICTION REGARDING THE DISCOVERY SAID SPECIES AND PROPOSED RESPONSE. CONTRACTOR SHALL NOT PROCEED WITH COMMENCING WORK UNTIL MITIGATION MEASURES HAVE BEEN APPROVED AND IMPLEMENTED.

**HORIZONTAL CONTROL NOTES:**

- ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.

**PAVEMENT SECTION:**

- THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL GRADING, AND ALL UNACCEPTABLE CONCRETE WORK HAS BEEN REMOVED AND REPLACED, UNLESS OTHERWISE APPROVED BY THE CITY/TOWN ENGINEER AND/OR DEVELOPER'S CIVIL ENGINEER.
- ALL PAVING SHALL BE IN CONFORMANCE WITH SECTION 26 "AGGREGATE BASE" AND SECTION 39 "ASPHALT CONCRETE" PER LATEST EDITION OF CALTRANS STANDARD SPECIFICATIONS.

**SITE MAINTENANCE:**

- REMOVE ALL DIRT, GRAVEL, RUBBISH, REFUSE AND GREEN WASTE FROM STREET PAVEMENT AND STORM DRAINS ADJOINING THE SITE. LIMIT CONSTRUCTION ACCESS ROUTES ON THE SITE AND PLACE GRAVEL PADS AT THESE LOCATIONS. DO NOT DRIVE VEHICLES AND EQUIPMENT OFF THE PAVED OR GRAVELLED AREAS DURING WET WEATHER.
- SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJOINING THE PROJECT SITE AND THE ON-SITE PAVED AREAS ON A DAILY BASIS. SCRAPER CARED ON MID AND DIRT FROM THESE AREAS BEFORE SWEEPING. CORNERS AND REACH TO REACH AREAS SHALL BE SWEEP MANUALLY.
- NEVER CLEAN MACHINERY, EQUIPMENT OR TOOLS INTO A STREET, GUTTER OR STORM DRAIN.
- ENSURE THAT GEMENT TRUCKS, PAINTERS, OR STUCCO/PLASTER FINISHING CONTRACTORS DO NOT DISCHARGE WASH WATER FROM EQUIPMENT, TOOLS OR RINSE CONTAINERS INTO GUTTERS OR DRAINS.
- UPON PROJECT COMPLETION THE CLIENT SHALL BE SOLELY RESPONSIBLE TO ROUTINELY INSPECT AND MAINTAIN ALL ON-SITE STORM DRAIN FACILITIES. STORM DRAIN SYSTEM SHALL BE CLEANED AND/OR FLUSHED ON A BIENNIAL BASIS OR AS FOUND NECESSARY.

**DUST CONTROL:**

- WATER TRUCKS SHALL BE PRESENT AND IN USE AT THE CONSTRUCTION SITE. ALL PORTIONS OF THE SITE SUBJECT TO BLOWING DUST SHALL BE WATERED AS OFTEN AS DEEMED NECESSARY BY THE CLIENT/INSPECTOR IN ORDER TO INSURE PROPER CONTROL OF BLOWING DUST FOR THE DURATION OF THE PROJECT.
- ALL PUBLIC STREETS AND MEDIANS SOILED OR UTTERED DUE TO THIS CONSTRUCTION ACTIVITY SHALL BE CLEANED AND SWEEP ON A DAILY BASIS DURING THE WORK WEEK, OR AS OFTEN AS DEEMED NECESSARY BY THE CLIENT/INSPECTOR, OR TO THE SATISFACTION OF THE CITY/TOWN'S DEPARTMENT OF PUBLIC WORKS.
- ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARPALLONS OR OTHER EFFECTIVE COVER.
- WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHERS CANNOT BE INSTALLED, THEN THE TIRKS OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL DEMONSTRATE DUST SUPPRESSION MEASURES, SUCH AS REGULAR WATERING, WHICH SHALL BE IMPLEMENTED TO REDUCE EMISSIONS DURING CONSTRUCTION AND GRADING IN A MANNER MEETING THE APPROVAL OF THE CONSULTING ENGINEER. THIS SHALL ASSIST IN REDUCING SHORT-TERM IMPACTS FROM PARTICLES WHICH COULD RESULT IN NUISANCES THAT ARE PROHIBITED BY RULE 403 (FUGITIVE DUST).
- GRADING OR ANY OTHER OPERATIONS THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DUST CONTROL FOR THE ENTIRE PROJECT SITE IN ACCORDANCE WITH THE PROJECT SPES. AT ALL TIMES, THE SITE SHALL BE SPRINKLED AS NECESSARY TO PREVENT DUST NUISANCE. IN THE EVENT THAT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE CLIENT RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL MEASURES AND FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS.

**NPDES NOTES:**

IN ACCORDANCE WITH THE NPDES PERMIT COMPLIANCE CHECKLIST FOR THE COUNTY OF SAN MATEO, THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING:

- STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING SOLID WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROL OR FILTRATION TO REMOVE SEDIMENT FROM DETAHERING EFFLUENT.
- AVOID CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA IN WHICH RUNOFF IS CONTAINED AND TREATED.
- DEFLEATE CLEARING LINES, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BULKING ZONES, TREES, AND DRAINAGE COURSES WITH FIELD MARKERS, OR OTHER DELINEATOR, AS APPROVED BY THE ENGINEER.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DICES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
- PERFORM CLEANING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.
- LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
- AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE PAVED AREAS AND SIDEWALKS USING APPROPRIATE METHODS.
- PROVIDE DUST CONTROL WITH WATER TRUCK OR EQUIVALENT MEANS THROUGHOUT CONSTRUCTION AS OUTLINED IN THE CASQA BMP HANDBOOK AND PER SAN MATEO COUNTY ORDINANCES.
- ALL CONSTRUCTION ON-OFF-SITE OR ON-SITE IMPROVEMENTS SHALL ADHERE TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE CITY/TOWN OR COUNTY STORM DRAIN SYSTEMS.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SNALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPOSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY. CONSTRUCTION MATERIALS SHALL BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- KEEP ALL SPILLS USING DRY METHODS.
- CLEAN UP ALL GUTTERS AT THE END OF EACH WORKING DAY. GUTTERS SHALL BE KEPT CLEAR AFTER LEAVING CONSTRUCTION SITE.
- CALL 911 IN CASE OF A HAZARDOUS SPILL.
- BMP'S AS OUTLINED IN BUT NOT LIMITED TO, CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY/TOWN INSPECTORS).
- UPON SATISFACTORY COMPLETION OF THE WORK, THE ENTIRE WORK SITE SHALL BE CLEANED BY THE CONTRACTOR AND LEFT WITH A SMOOTH AND NEATLY GRADED SURFACE FREE OF CONSTRUCTION WASTE, RUBBISH, AND DEBRIS OF ANY NATURE.

**TEMPORARY EROSION AND SEDIMENTATION CONTROL NOTES:**

- CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN, IF PROVIDED, ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF THE EROSION CONTROL SYSTEM SO THAT IT WORKS WITH THE CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY. THE EROSION CONTROL FACILITIES AND MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. NECESSARY REPAIRS PRIOR TO ANTICIPATED STORMS AND AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
- AS SOON AS PRACTICAL FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
- STOCKPILED MATERIAL SHALL BE COVERED WITH VSQUEEN OR A TARPAILL UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER.
- PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRADING, OR EXCAVATION, THE CONTRACTOR SHALL VERIFY THAT THE CLIENT HAS SUBMITTED TO THE STATE WATER RESOURCES CONTROL BOARD A NOTICE OF INTENT (NOI) FOR COVERAGE UNDER THE STATE CONSTRUCTION WATER POLLUTION CONTROL ACT. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE NOI ON THE CONSTRUCTION SITE.
- NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENTION LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DICES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
- CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE CITY/TOWN INSPECTOR. THE ADJACENT STREET SHALL BE KEPT CLEAR OF DEBRIS WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. DEVELOPER SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPIILING OF BUILDING MATERIALS WITHIN THE CITY/TOWN'S RIGHT-OF-WAY IS PERMITTED.
- ALL EROSION CONTROL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED.
- PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SNALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES.

**PERMANENT EROSION/SEDIMENT CONTROLS:**

- CONTRACTOR SHALL PROVIDE POST-CONSTRUCTION PERMANENT EROSION/SEDIMENT CONTROL THROUGHOUT THE SITE IN THE FORM OF FINISH LANDSCAPING.
- PERMANENT EROSION CONTROL STRUCTURES SHOULD CONSIST OF VEGETATION OR OTHER MEANS OF STABILIZING ALL DISTURBED AREAS OF THE SITE. SUITABLE EROSION CONTROL INCLUDE TURF, SHRUBS, ESTABLISHED HYDROSEEDING, MULCH, BARK, AND OTHER GROUNDCOVERS.
- ALL DISTURBED GROUND SURFACES SHALL BE STABILIZED UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
- FINAL LANDSCAPING PLAN TO BE DEVELOPED IN COORDINATION WITH THE PROJECT ARCHITECT AND TO BE CONSISTENT WITH EXISTING LANDSCAPING AND TREES TO REMAIN, AND MEET THE APPROVAL OF THE PROJECT ARCHITECT.
- LANDSCAPING PROPOSED SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
- DISTURBED AREAS OF THE SITE SHOULD BE STABILIZED DURING THE RAINY SEASON USING STRAW MULCH (EC-6) OR WOOD MULCHING (EC-8).
- PERMANENT EROSION CONTROL SHALL BE PROVIDED BY LANDSCAPING SUCH AS SHRUBS, SOI OR MULCH. LANDSCAPE DESIGN MAY BE SUBJECT TO CHANGE.

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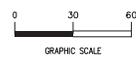
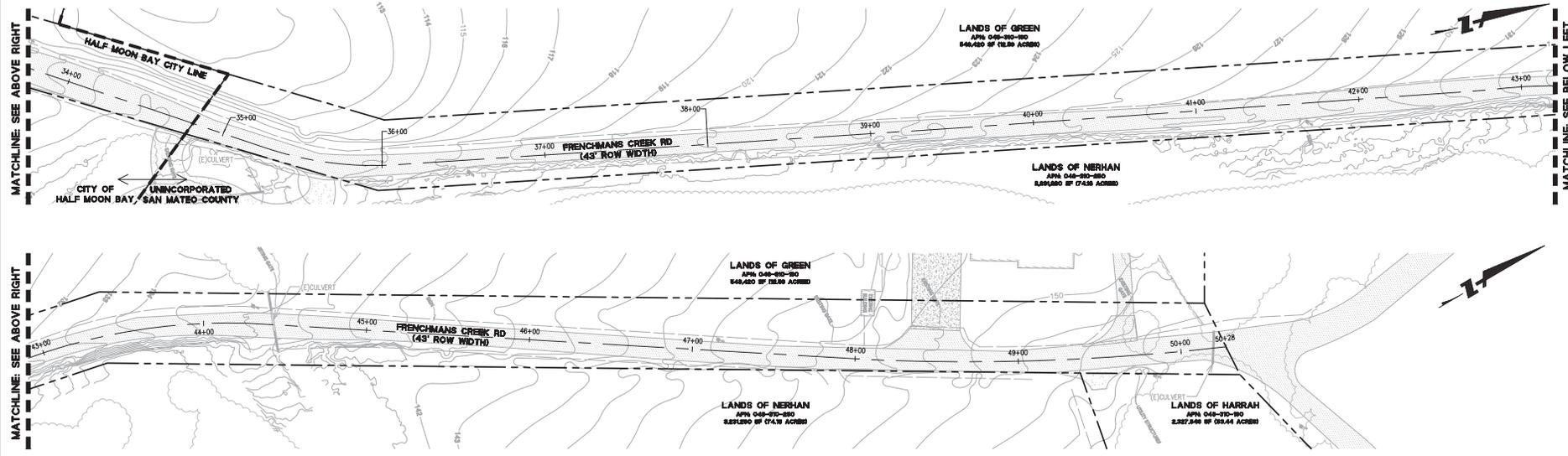
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**NOTES**  
**ROAD REPAIR AND MAINTENANCE PROJECT**  
**FRENCHMANS CREEK ROAD**  
 SAN MATEO COUNTY  
 HALF MOON BAY  
 Date: 10/17/2019  
 Revision: 01/02/2019  
 02/17/2020  
 DESIGN REVISIONS:  
 BUILDING PERMIT - REV 2  
 BUILDING PERMIT - REV 3  
 Scale: NO SCALE  
 Drawing: D.L.  
 User: jh  
 Job No: 20170335-10  
 Drawing Number:  
 Job No: 20170335-10  
**CO.1**  
 OF



Date	Revisions	No.
10/17/2019	DESIGN REVISIONS	1
11/02/2019	BUILDING PERMIT - REV 2	2
02/17/2020	BUILDING PERMIT - REV 3	3

Date: 08/14/2019  
Scale: 1" = 30'  
Design: DUL  
Drawn: BKL  
Job No: 20190335-10

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OF



**SEE SHEET C0.0 FOR  
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ABBREVIATIONS**

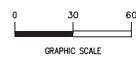
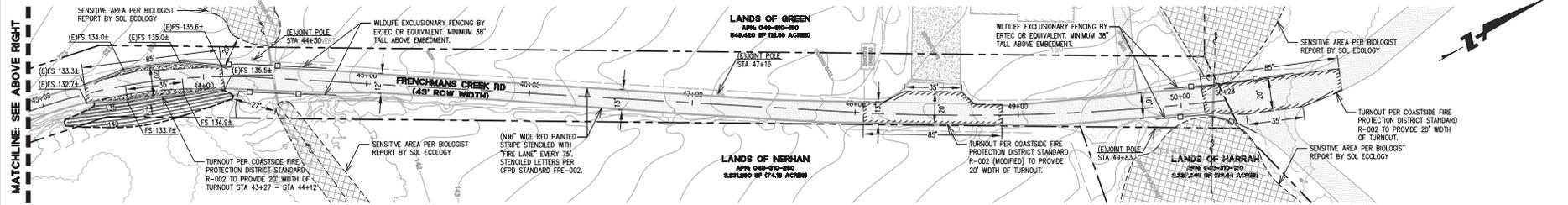
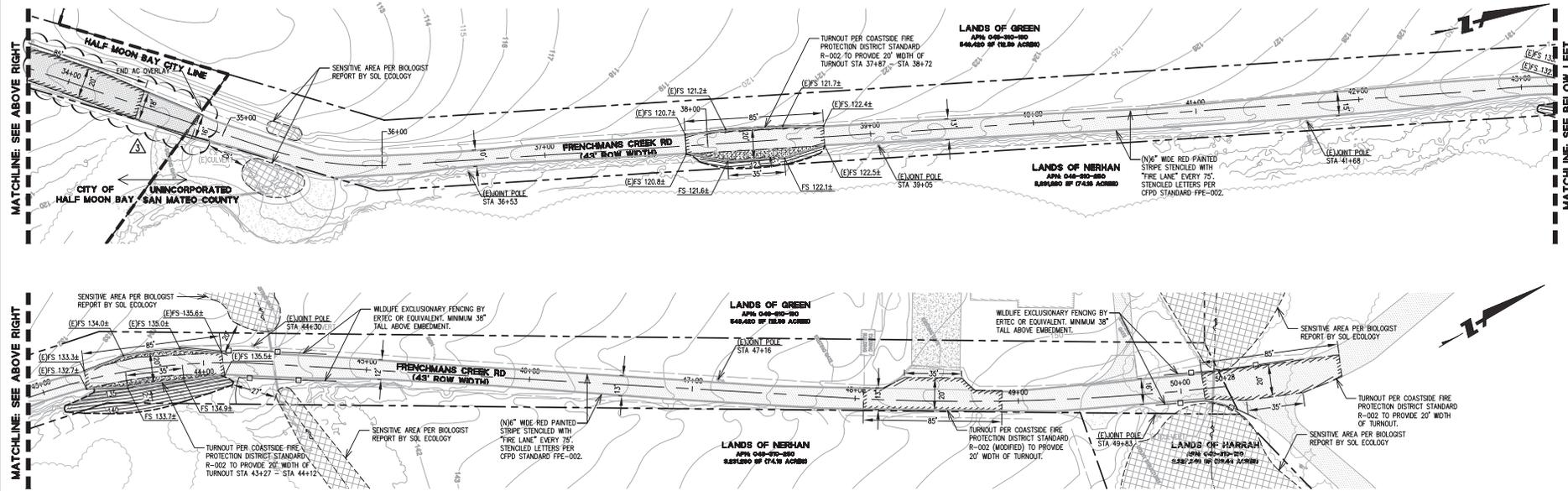




Date	Revisions
10/17/2019	DESIGN REVISIONS
11/02/2019	BUILDING PERMIT - REV 2
02/17/2020	BUILDING PERMIT - REV 3

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Drawn: BKL  
Job No: 20170335-10

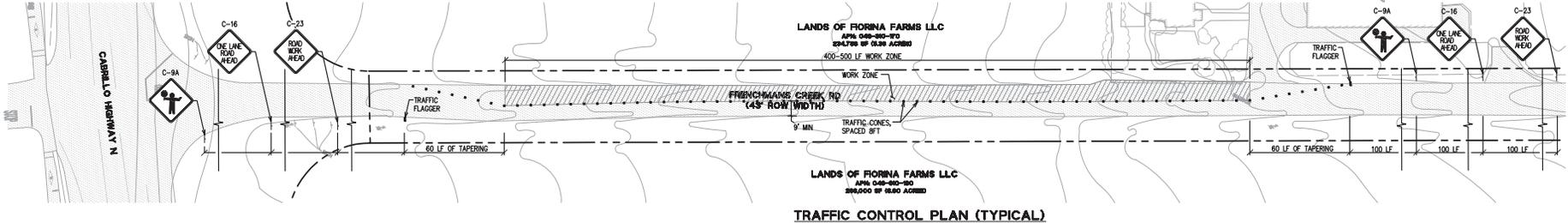
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OF



**SEE SHEET C0.0 FOR  
LEGEND AND  
ABBREVIATIONS**



Date	Revisions	No.
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11/02/2019	BUILDING PERMIT - REV 2	2
02/17/2020	BUILDING PERMIT - REV 3	3
08/14/2019		1
Scale: 1" = 30'	Design: D.L.	
Drawn: M.H.	Checked: B.H.	
Job No: 20170335-10		



**TRAFFIC CONTROL PLAN (TYPICAL)**

California MUTCD 2014 Edition  
 FHWA's MUTCD 2009 Edition including Revisions 1 & 2, as amended for use in California  
 Page 1157

**Notes for Figure 6H-10 6H-10(CA) and 6H-10A(CA) — Typical Application II  
 Lane Closure on a Two-Lane Road Using Flaggers**

**Option**

- For low volume (Refer to Part 5, Section 5A.01) situations with short work zones on straight roadways where the flagger is visible to road users approaching from both directions, a single flagger, positioned so he is visible to road users approaching from both directions, may be used (see Chapter 6E).
- The ROAD WORK AHEAD and the END ROAD WORK signs may be omitted for short-duration operations.
- Flashing warning lights and/or flags may be used to call attention to the advance warning signs.
- A BE PREPARED TO STOP sign may be added to the sign series.

**Guidance**

- The taper space should be extended so that the two-way traffic taper is placed before a horizontal (or crest vertical) curve to provide adequate sight distance for the flagger and a queue of stopped vehicles.

**Standards**

- At night, flagger stations shall be illuminated, except in emergencies.

**Guidance**

- When used, the BE PREPARED TO STOP sign should be located between the flagger sign and the ONE LANE ROAD sign.
- When a grade crossing exists within or upstream of the transition area and it is anticipated that queues resulting from the lane closure might extend through the grade crossing, the TTC zone should be extended so that the transition area precedes the grade crossing.
- When a grade crossing equipped with active warning devices exists within the activity area, provisions should be made for keeping flaggers informed as to the activation status of those warning devices.
- When a grade crossing exists within the activity area, drivers operating on the left hand side of the normal center line should be provided with comparable warning devices as for drivers operating on the right hand side of the normal center line.
- Early coordination with the railroad company or light rail transit agency should occur before work starts.

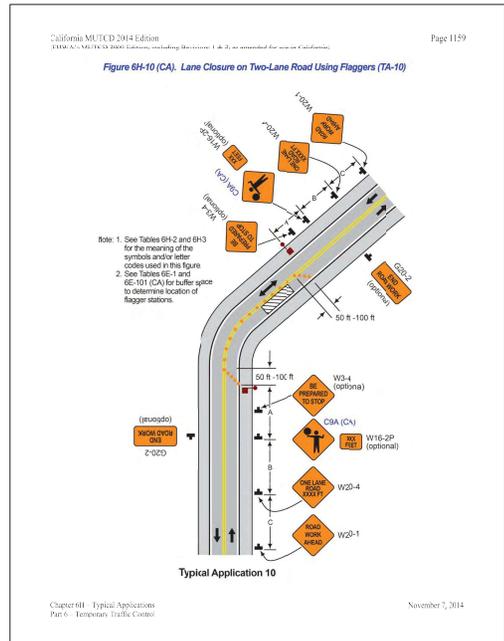
**Option**

- A flagger or a uniformed law enforcement officer may be used at the grade crossing to minimize the probability that vehicles are stopped within 15 feet of the grade crossing, measured from both sides of the outside edge.

**Support**

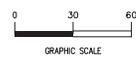
- For State highways, see Caltrans' Standard Plan 113. See Section 1A.11 for information regarding this publication.
- Portable transverse tumbler signs are used for flagging operations, refer to Section 6E.83.

Chapter 6H — Typical Applications  
 Part 6 — Temporary Traffic Control  
 November 2, 2014



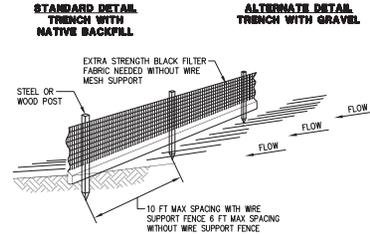
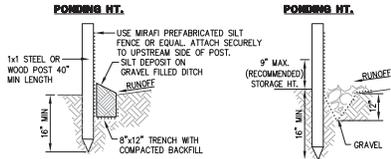
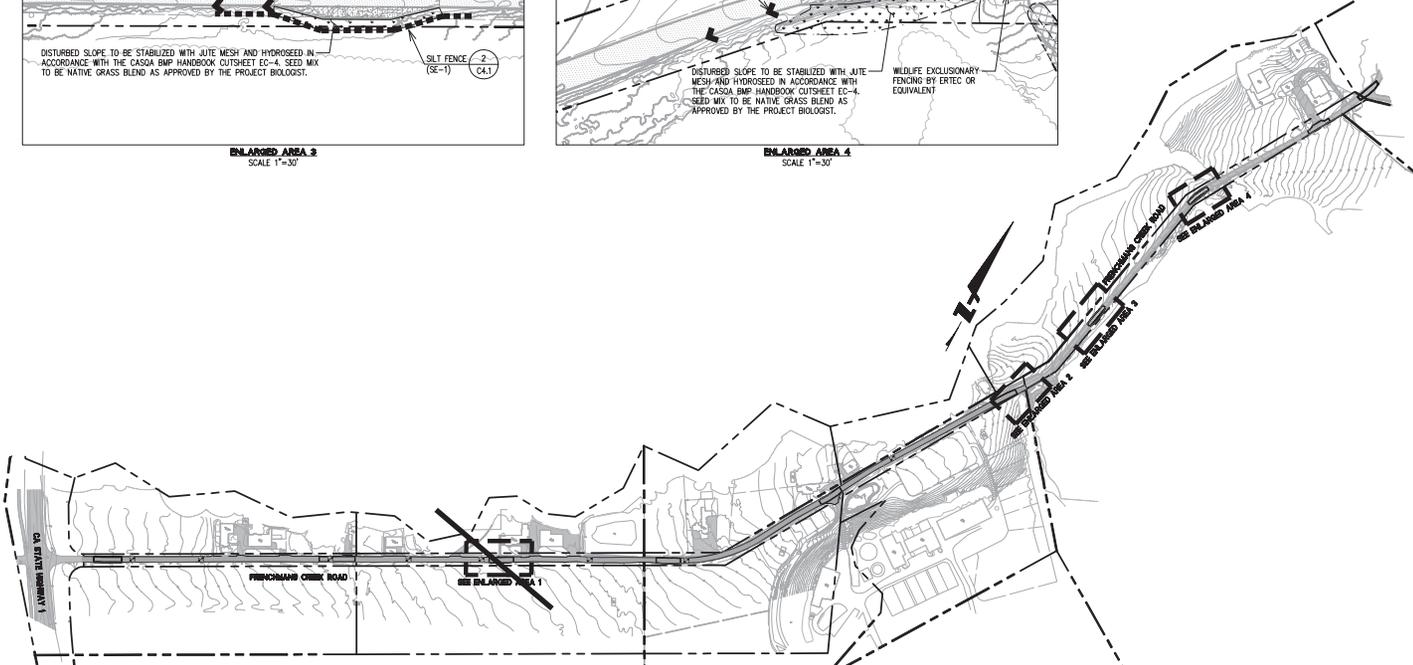
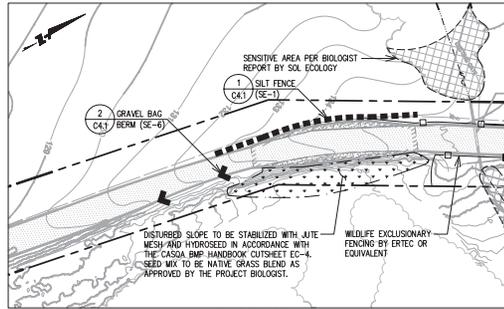
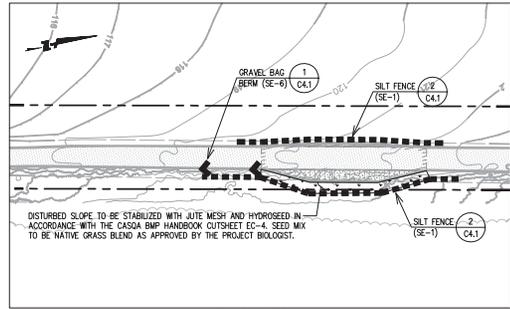
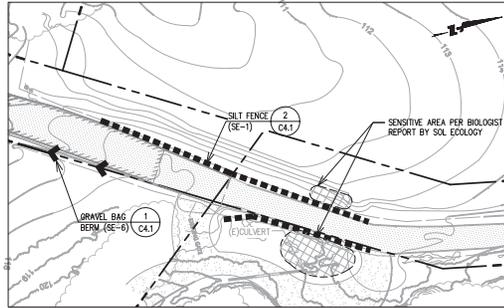
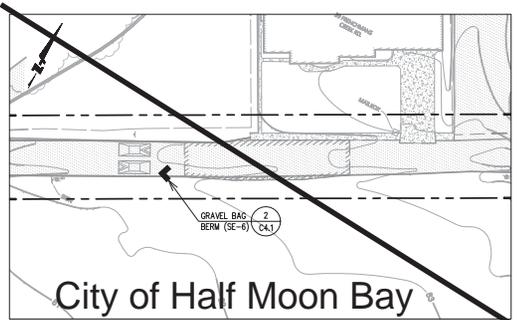
**TRAFFIC CONTROL NOTES:**

- CONTRACTOR SHALL PHASE WORK ALONG FRENCHMANS CREEK ROAD IN 400-500 FT SECTIONS WHILE MAINTAINING A MINIMUM SINGLE LANE ACCESS AT ALL TIMES. THE ABOVE TYPICAL TRAFFIC CONTROL PLAN SHALL BE USED AS REFERENCE AS WORK PROGRESSES ALONG FRENCHMANS CREEK ROAD.
- TYPICAL TRAFFIC CONTROL PLAN IS BASED ON FIGURE 6H-10 "LANE CLOSURE ON A TWO LANE ROAD USING FLAGGERS" IN THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- A MINIMUM SINGLE LANE ACCESS TO DRIVEWAYS/LOTS SHALL BE MAINTAINED AT ALL TIMES BY PHASING WORK. ADDITIONAL FLAGGERS MAY BE NEEDED AT DRIVEWAYS WITH HEAVY TRAFFIC.
- NO STREETS SHALL BE CLOSED WITHOUT AUTHORIZATION FROM CITY ENGINEER.
- TEMPORARY CONSTRUCTION TRAFFIC CONTROL SIGNS REFERENCE THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES UNLESS OTHERWISE NOTED.
- AT LEAST ONE PERSON SHALL BE ASSIGNED TO PROVIDE FULL MAINTENANCE OF TRAFFIC CONTROL DEVICES FOR LANE CLOSURE UNLESS, OTHERWISE DIRECTED BY THE ENGINEER.
- ALL CONES USED FOR LANE CLOSURES DURING THE HOURS OF DARKNESS SHALL BE FITTED WITH RETROREFLECTIVE SHALLS (OR SLEEVES).
- ADVANCED ROADWAY SIGNS SHOULD BE PLACED AS SHOWN IN ADVANCE OF THE BEGINNING OF CONSTRUCTION ZONE.
- THE CONTRACTOR/ENGINEER MAY MODIFY THE TRAFFIC CONTROL SHEET C3.1 TO ACCOMMODATE CONSTRUCTION WORK DURING THE APPLICATION OF AN ENCROACHMENT PERMIT TO THE SATISFACTION OF THE CITY ENGINEER.



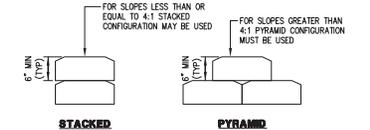
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 LEGEND AND  
 ABBREVIATIONS**





- NOTES**
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
  - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
  - SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

**1 TEMPORARY SILT FENCE**  
NTS



- NOTES**
- INSTALL AT LOCATIONS AS SHOWN ON EROSION CONTROL PLAN, AND IN ADDITION, PROTECT ALL EXISTING AND PROPOSED STORM DRAIN STRUCTURES WITH GRAVEL BAGS.

**2 TEMPORARY GRAVEL BAG BERM**  
NTS

**BEST MANAGEMENT PRACTICES:**

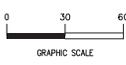
- BEST MANAGEMENT PRACTICES (BMP) SHALL BE UTILIZED WHEN CONSTRUCTION ACTIVITIES OCCUR NEAR WETLANDS AND STREAMS. BMP'S SHALL CONSIST OF TIGHTLY WOVEN FIBER NETTING OR SIMILAR MATERIAL FOR EROSION CONTROL OR OTHER PURPOSES TO ENSURE AMPHIBIAN AND REPTILE SPECIES DO NOT GET TRAPPED. PLASTIC MONO-FILAMENT NETTING (EROSION CONTROL MATTING), ROLLED EROSION CONTROL PRODUCTS, OR SIMILAR MATERIAL, SHALL NOT BE USED.

**TEMPORARY EROSION/SEDIMENT CONTROLS:**

- TEMPORARY EROSION/SEDIMENT CONTROLS SHALL BE INSTALLED PER THE CASQA NEW CONSTRUCTION HANDBOOK AND BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL REMAIN IN PLACE THROUGH COMPLETION.
- UPON COMPLETION OF GRADING, PAVING, AND INSTALLATION OF PERMANENT CONTROLS, CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AND RESTORE THE DISTURBED SITE TO THE PRE-DEVELOPMENT CONDITION.

**PERMANENT EROSION/SEDIMENT CONTROLS:**

- CONTRACTOR SHALL PROVIDE POST-CONSTRUCTION PERMANENT EROSION/SEDIMENT CONTROL THROUGHOUT THE SITE.
- PERMANENT EROSION CONTROLS SHOULD CONSIST OF VEGETATION OR OTHER MEANS OF STABILIZING ALL DISTURBED AREAS OF THE SITE. SUITABLE EROSION CONTROLS INCLUDE TURF, SHRUBS, ESTABLISHED HYDROSEEDING, MULCH, BARK, AND OTHER GROUNDCOVERS.
- ALL DISTURBED GROUND SURFACES SHALL BE STABILIZED UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
- DISTURBED AREAS OF THE SITE SHOULD BE STABILIZED DURING THE RAINY SEASON USING STRAW MULCH (EC-6) OR WOOD MULCHING (EC-8).



**SEE SHEET C0.0 FOR LEGEND AND ABBREVIATIONS**



Date	Revisions
10/17/2019	DESIGN REVISIONS
11/02/2019	BUILDING PERMIT - REC 2
02/17/2020	BUILDING PERMIT - REC 3

Date: 02/17/2019  
Scale: AS SHOWN  
Design: D.U.  
Drawn: J.M.  
Job No: 20170333-10

**C4.1**  
OF

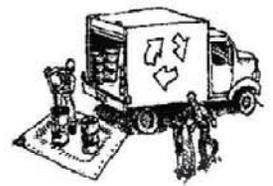
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Revisions	07/17/2019 07/02/2019 02/17/2020
No.	DESIGN REVISIONS
Scale	AS SHOWN
Design	BUILDING PERMIT - REC 2
Drawn	BUILDING PERMIT - REC 3
Job No	18-033335-10



# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



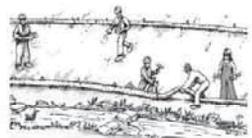
- Non-Hazardous Materials**
- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
  - Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
  - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
  - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
  - Arrange for appropriate disposal of all hazardous wastes.
- Waste Management**
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
  - Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
  - Clean or replace portable toilets, and inspect them frequently for leaks and spills.
  - Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
  - Dispose of liquid residues from paints, thinners, solvents, glass, and cleaning fluids as hazardous waste.
- Construction Entrances and Perimeter**
- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
  - Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



- Maintenance and Parking**
- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
  - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
  - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
  - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
  - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.
- Spill Prevention and Control**
- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
  - Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
  - Clean up spills or leaks immediately and dispose of cleanup materials properly.
  - Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
  - Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
  - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
  - Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
  - Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
  - Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
  - Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
  - Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.
- Contaminated Soils**
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
    - Unusual soil conditions, discoloration, or odor.
    - Abandoned underground tanks.
    - Abandoned wells.
    - Barred barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
  - Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
  - Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
  - Do not use water to wash down fresh asphalt concrete pavement.
- Sawcutting & Asphalt/Concrete Removal**
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
  - Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!)
  - If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



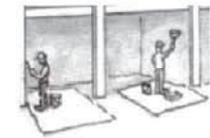
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



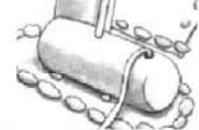
- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bugged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Painting & Paint Removal



- Painting Cleanup and Removal**
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
  - For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
  - For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
  - Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
  - Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering

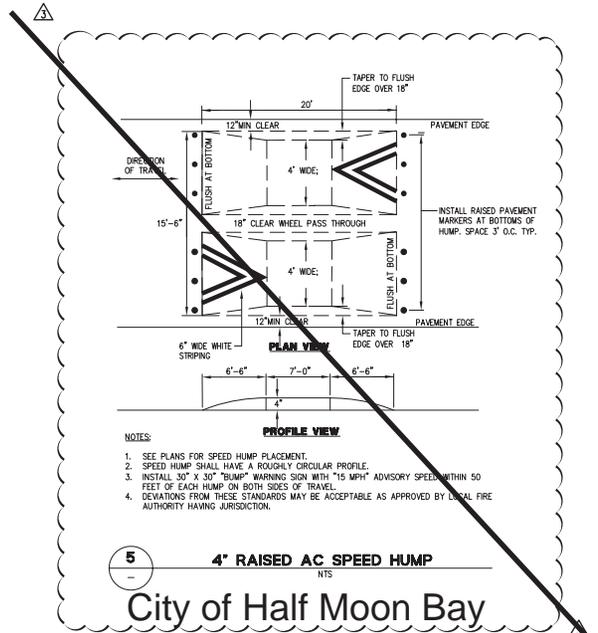
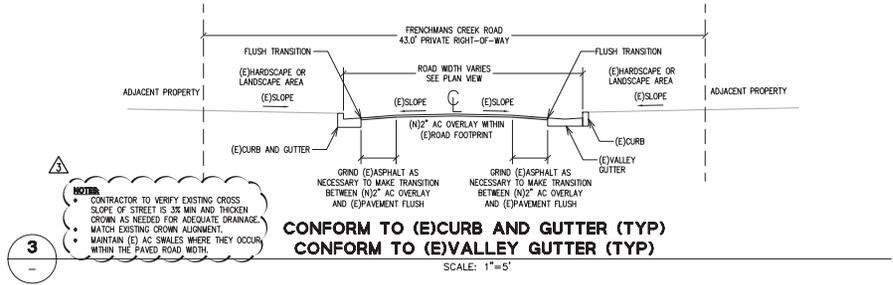
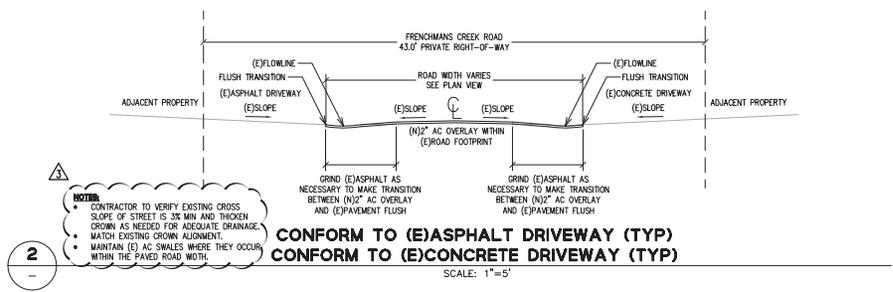
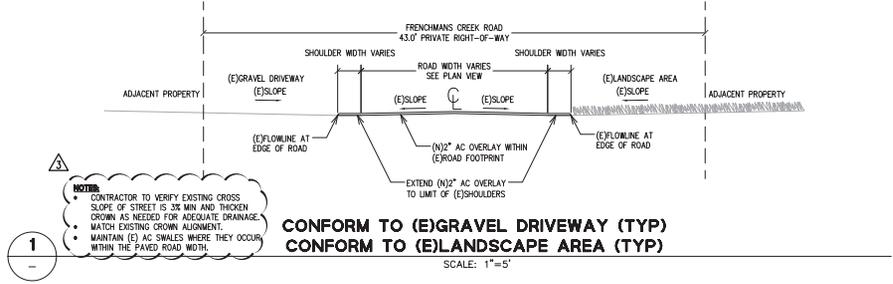


- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

Date	Revisions
10/17/2019	DESIGN REVISIONS
07/02/2019	BUILDING PERMIT - REV 2
02/17/2020	BUILDING PERMIT - REV 3

Date: 08/14/2019  
Scale: AS SHOWN  
Design: D.U.  
Drawn: M.B.H.  
Job No: 20170335-10  
Drawing Number:  
**C5.1**  
OF



DRAWING NAME: K:\2017\170335\_2\Frenchmans-Creek (ENR)\_FOR\_Maintenance\crrsheets\road.dwg  
PLOT DATE: 02-18-20 PLOTTED BY: leek



## County of San Mateo Planning & Building Department Agricultural Advisory Committee

BJ Burns  
Fred Crowder  
Jess Brown  
Jim Howard

John Vars  
Judith Humburg  
Laura Richstone  
Lauren Silberman

Louie Figone  
Margaret Gunn  
Robert Marsh  
Ron Sturgeon

William Cook  
Cynthia Duenas

County Office Building  
455 County Center  
Redwood City, California  
94063  
650/363-1829

### ACTION MINUTES

*Revised Draft*  
Monday December 09, 2019

#### 1. Call to Order

At the Ted Adock Community Center, in the South Day Room, located at 535 Kelly Avenue, Half Moon Bay Chair Marsh called the meeting to order at 7:30 p.m.

#### 2. Roll Call

##### Regular Committee Members Present:

Natalie Sare  
Louie Figone  
Cynthia Duenas  
William Cook  
Peter Marchi  
Robert Marsh  
Lauren Silberman

##### Regular Committee Members Absent

Judith Humburg  
BJ Burns  
John Vars  
Ron Sturgeon

##### Nonvoting Committee Members Present

Fred Crowder, San Mateo County Agricultural Commissioner

##### Nonvoting Committee Members Absent:

Jim Howard, NRCS  
Laura Richstone, Planning Staff Liaison  
Maggie La Rochelle Gunn, UC Co-Op Extension  
Jess Brown, San Mateo County Farm Bureau Executive Director

#### 3. Oral Communications

To allow the public to address the Committee on any matter not on the agenda.

No members of the public raised issues not on the agenda. However, the committee discussed the following items: a growers' continuing education workshop, registering bee hives, and bee diseases in San Mateo County.

**4. Chairperson & Vice-Chairperson Annual Election**

Annual vote of the AAC to elect a new Chairperson and Vice-Chairperson. These positions shall be filled by farmers.

Nominations were presented to retain Bob Marsh and BJ Burns as Vice-Chair. There were also nominations to place other farmers within those roles. Fred Crowder suggested, and the Chair and Committee agreed to postpone the vote until next meeting until more members of the Council were present to vote.

**5. Agritourism Memo**

Members of the committee raised concerns regarding the definition agritourism. Specifically, they believe that educational and/or other tours or educational trips in which no fee is charged or product sold should not be considered agritourism. Members also discussed: a possible future recommendation to amend the definition to be more specific; a request that the County provide a report on the Agritourism Permit review and permit process; a recommendation that the County contact annual agritourism permit applicants to remind them to submit permits; and a request to amend the agritourism application form to include a date on when the permits should be submitted.

**PUBLIC SPEAKERS:**

None

**COMMITTEE ACTION:**

Committee Member Lauren Silberman made a motion to request the County provide instructions on how agritourism permits are submitted and processed. The motion was seconded by Natalie Sare.

**Motion carried 7-0-0.**

**6. Highway 92 Signage Clarification Memo**

Members of the committee wanted to make clear the distinction between signs for farms and signs for agritourism and stated that they endorse signs along Highway 92 that are for non-profits, children oriented programs, and associated community groups.

**PUBLIC SPEAKERS:**

None

**COMMITTEE ACTION:**

No Committee action is required for this informational item.

**7. Consideration of the November 18, 2019 Minutes**

Committee Member Louie Figone moved to approve the minutes as corrected to reflect the accurate date of permit submittal for the agricultural tourism permits. The motion was seconded by Committee Member Peter Marchi.

**Motion carried 7-0-0**

**8. Community Development Director's Report**

No action required.

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**9. Adjournment**

Meeting was adjourned at 8:56 pm

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## County of San Mateo Planning & Building Department Agricultural Advisory Committee

BJ Burns  
Fred Crowder  
Jess Brown  
Jim Howard

John Vars  
Judith Humburg  
Laura Richstone  
Lauren Silberman

Louie Figone  
Margaret Gunn  
Robert Marsh  
Ron Sturgeon

William Cook  
Cynthia Duenas  
Peter Marchi  
Natalie Sare

County Office Building  
455 County Center, 2<sup>nd</sup> Floor  
Redwood City, California 94063  
650/363-1829  
Fax: 650/363-4849

### ACTION MINUTES

*Draft*

Monday January 13, 2020

#### 1. **Call to Order**

At the Ted Adock Community Center, in the South Day Room, located at 535 Kelly Avenue, Half Moon Bay Chair Marsh called the meeting to order at 7:30 p.m.

#### 2. **Roll Call**

##### Regular Committee Members Present:

Judith Humburg  
BJ Burns  
Natalie Sare  
John Vars  
William Cook  
Peter Marchi  
Robert Marsh  
Ron Sturgeon  
Lauren Silberman

##### Regular Committee Members Absent:

Louie Figone  
Cynthia Duenas

##### Nonvoting Committee Members Present:

Igor Lacan UC Co-Op Extension  
Fred Crowder, San Mateo County Agricultural Commissioner

##### Nonvoting Committee Members Absent:

Jim Howard, NRCS  
Laura Richstone, Planning Staff Liaison  
Jess Brown, San Mateo County Farm Bureau Executive Director

#### 3. **Oral Communications**

To allow the public to address the Committee on any matter not on the agenda.

No members of the public raised issues not on the agenda. However, the committee discussed the following items: a request for a Planner to physically staff the AAC meetings, a request for items that do not require a PAD permit but have the potential to impact agriculture to come to the Committee, the accuracy of reports provided by the Planning Department, and the definition of agritourism. UC Co-Op announced that they are hiring a mountain lion advisor and a new administrative director.

**4. Chairperson & Vice-Chairperson Annual Election**

Annual vote of the AAC to elect a new Chairperson and Vice-Chairperson. These positions shall be filled by farmers.

A nomination was presented by BJ Burns to retain Bob Marsh and BJ Burns as Vice-Chair. A roll call vote on this nomination is as follows:

<b>Aye</b>	<b>Absent</b>
John Vars	Cynthia Duenas
William Cook	Louie Figone
Natalie Sare	
Lauren Silberman	
Peter Marchi	
Ron Sturgeon	
BJ Burns	
Robert Marsh	

The nomination passed with a majority vote. These members will serve in their elected rolls for the remainder of the 2020 AAC term. The next vote to elect a Chair and Vice-Chairperson shall occur at the October 2020 meeting.

- 5. Owner: Various**  
**Applicant: MROSD & POST**  
 File Number: PLN 2019-00258  
 Location: PAD and RM Zoned Lands within the Coastal Zone  
 Assessor's Parcel No. Various

Consideration of a series of text amendments to the San Mateo County Zoning and Subdivision Ordinances for consistency with the California Coastal Act Policy 1.2 "Definition of Development" to address future public recreational facility projects on lands owned by the Midpeninsula Open Space District (MROSD) and Peninsula OpenSpace Trust (POST) in the coastal zone. The proposed text amendments would not exempt MROSD or other public agencies from compliance with the General Plan or other applicable Zoning and Subdivision regulations requirements. Please direct any questions to Project Planner Melissa Ross 650-599-1559 or [mross@smcgov.org](mailto:mross@smcgov.org)

**PUBLIC SPEAKERS:**

1. Kerry Burke
2. Chris Giannini

**COMMITTEE ACTION:**

No Committee action required on informational items. However the Committee did discuss the following: When a LCP amendment triggers a County wide vote; if residential housing is allowed on properties with agricultural easements; the types of recreation MROSD and POST is looking to establish; public agencies' ability to enforce affirmative agricultural easements; why the LCP and implementation plan (i.e. zoning and subdivision regulations) are inconsistent with each other; MROSD and POST's plan to lease/sell agricultural lands back to private landowners and the profitability of future agricultural operations on these lands; and the public lands dedication process.

The following concerns and recommendations were also raised by the Committee: a desire to have the same exception available to private landowners proposing recreation; a concern that the project would be removing protections from parcels that are created by a subdivision that are not intended for public recreation; a desire to still see agriculture on parcels designated for public recreation; a suggestion to work within the existing regulations and not amend the LCP; and a recommendation to add specific language to clarify that the exemption is only for public lands that are recreated from a land division. The Committee stated their intent to work on a letter to the County containing their concerns and recommendations.

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**6. Consideration of the December 9, 2019 Minutes**

Committee Member Lauren Silberman moved and Committee Member John Vars seconded to not approve and revise the December minutes to reflect more detail of the discussion that occurred at the meeting. **Motion carried 10-0-0 (Committee Members Duenas and Figone were absent).**

**7. Community Development Director's Report**

No action required.

**8. Adjournment**

Meeting was adjourned at 10:07 pm

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**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** February 27, 2020

**TO:** Agricultural Advisory Committee  
**FROM:** Planning Staff  
**SUBJECT:** Community Development Director's Report

**CONTACT INFORMATION:** Laura Richstone, Planner II, 650-363-1829, [lrichstone@smcgov.org](mailto:lrichstone@smcgov.org)

The following is a list of Planned Agricultural District permits and Coastal Development Exemptions for the rural area of the County that have been received by the Planning Department from February 1, 2020 to February 27, 2020.

**PLANNED AGRICULTURAL DISTRICT PERMIT OUTCOMES**

No PAD permits were heard before the Planning Commission during this time period.

**UPCOMING PLANNED AGRICULTURAL DISTRICT PERMIT PROJECTS**

No PAD permits were submitted during this time.

**COASTAL DEVELOPMENT EXEMPTIONS FOR AGRICULTURAL PROJECTS**

Two rural CDX applications were submitted during this time period. Please see the attached status report regarding the CDX applications. The CDX list includes the description of the projects and status of the permits. Copies of the CDXs are available for public review at the San Mateo County Planning Department Office.

**FEBRUARY MEETING MINUTES**

Minutes for the February and March meetings will be presented for consideration at the April AAC meeting.

**ADDITIONAL ANNOUNCEMENTS**

The next regular meeting of the AAC is scheduled for April 13, 2020. The meeting will be held at the Ted Adcock Community Center – South Day Room 535 Kelly Avenue, Half Moon Bay, CA 94019.

# COUNTY OF SAN MATEO

Count Distinct(RECORD ID)
2

Permit Number	RECORD NAME	DATE OPENED	DESCRIPTION	APN	ADDR FULL LINE1	RECORD STATUS
<a href="#">PLN2020-00065</a>	FUEL BREAK	2/20/2020	CDX for County Parks Department in partnership with CalFire to create a shaded fuel break at the wildland-urban interface between Quarry Park and approximately 100 feet from neighboring residences in El Granada.	047330010	MIRADA SURF WEST COASTAL TRAIL, MIRAMAR, CA null	Approved
<a href="#">PLN2020-00057</a>	SIGN	2/13/2020	CDX for Parks Department for interpretive sign (36" x 24") at Quarry Park, to be located 4 feet from trail and would not involve tree or vegetation removal.	047340040	, CA null	Project Decision