

Planning Permit Application Form

455 County Center, 2nd Floor • Redwood City CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849
www.co.sanmateo.ca.us/planning

PLN: PLN2020-00201

BLD: _____

Applicant: Edward C Love, Architect

Mailing Address: 720 Mill St

Half Moon Bay, CA

Zip: 94019

Phone, W: 6507287615

H: _____

E-mail Address: edwardclovearch@gmail.com

FAX: _____

Name of Owner (1): Stephen & Rita Semprevivo

Mailing Address: 245 Medio Ave

Half Moon Bay, CA

Zip: 94019

Phone, W: 3109943020

H: _____

E-mail Address: rita@semprevivoproperties

Name of Owner (2): _____

Mailing Address: _____

Zip: _____

Phone, W: _____

H: _____

E-mail Address: _____

Project Location (address): _____

3rd Ave, Miramar, CA 94019

Assessor's Parcel Numbers: 48 — 42 — 290

Zoning: R-1/S-17/DR/CD

Parcel/lot size: 5,150

SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

Construction of new stick frame single family dwelling w/ attached garage w/ an ADU over garage.

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

Vacant lot w/ weeds and dead trees. Arroya de en Medio creek runs behind the property and has a riparian buffer that encroaches into the back yard.

Describe Existing Structures and/or Development:

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: _____

[Handwritten Signature] 7/13/2020

Owner's signature: _____

Applicant's signature: _____

[Handwritten Signature]

Environmental Information Disclosure Form

PLN PLN2020-00201

BLD _____

Project Address: 3rd Avenue
Miramar, CA 94019

Assessor's Parcel No.: 48 — 42 — 290

Zoning District: R-1/S-17/DR/CD

Name of Owner: Stephen & Rita Semprevivo

Address: 245 Medio Ave

Half Moon Bay, CA Phone: 3109943020

Name of Applicant: Edward C Love, Architect

Address: 720 Mill St, Half Moon Bay, CA

94019 Phone: 6507287615

Existing Site Conditions

Parcel size: 5150

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). Vacant lot with weeds and dead trees. Arroya de en Medio creek runs behind the property and has a riparian

Vacant lot with weeds and dead trees. Arroya de en Medio creek runs behind the property and has a riparian buffer that encroaches into the back yard.

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>120</u> c.y. Fill: _____ c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

Construction of a single family dwelling that is 2686 sqft. Some grading is required.

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

Arroya de en Medio creek runs behind the property

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:



Date: 13 Jul 2020

(Applicant may sign)

Application for a Coastal Development Permit

455 County Center , 2nd Floor • Redwood City, CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Companion Page

Applicant's Name: Edward C Love, Architect

Primary Permit #: PLN2020-00201

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

Does the owner or applicant own any adjacent property not listed?

Yes No

If yes, list Assessor's Parcel Number(s):

48 - 42 - 280
- -
- -

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes No

If yes, explain (include date and application file numbers).

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	<u>Hardie Lap Siding & Stucco</u>	<u>Slate Gray Lap & White Stucco</u>	<input type="checkbox"/>
b. Trim	<u>Hardie Trim</u>	<u>Bronze/Dark Gray</u>	<input type="checkbox"/>
c. Roof	<u>Certainteed Landmark</u>	<u>Thunderstorm Gray</u>	<input type="checkbox"/>
d. Chimneys	_____	_____	<input type="checkbox"/>
e. Accessory Buildings	_____	_____	<input type="checkbox"/>
f. Decks/Stairs	<u>Redwood Deck, Cable Rail</u>	<u>Natural</u>	<input type="checkbox"/>
g. Retaining Walls	_____	_____	<input type="checkbox"/>
h. Fences	<u>Redwood</u>	<u>Natural</u>	<input type="checkbox"/>
i. Storage Tanks	_____	_____	<input type="checkbox"/>

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|---|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| j. Grading or alteration of landforms? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| k. Landscaping? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

1. A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
 Yes No
2. Construction or grading within 100 feet of a stream or wetland?
 Yes No
3. A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
 Yes No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

- | | | |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

B. Arroya de en Medio creek runs behind the property.

J. Some grading is required

K. Landscaping to comply w/ county guidelines

M. Underground utilities

Commission; a public hearing is always required.

B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

Yes No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: _____

Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650.363.4161 ■ FAX 650.363.4849

Permit #: PLN PLN2020-00201

Other Permit #: _____

Applicant:

Name: Edward C Love, Architect

Address: 720 Mill St

Half Moon Bay, CA Zip: 94019

Phone,W: 6507287615 H: _____

Email: edwardclovearch@gmail.com

Owner (if different from Applicant):

Name: Stephen & Rita Semprevivo

Address: 245 Medio Ave

Half Moon Bay, CA Zip: 94019

Phone,W: 3109943020 H: _____

Email: rita@semprevivoproperties.com

Architect or Designer (if different from Applicant):

Name: _____

Address: _____ Zip: 94019

Phone,W: _____ H: _____ Email: _____

Project location:

APN: 48042290

Address: 3rd Ave

Miramar, CA Zip: 94019

Zoning: R-1/S-17/DR/CD

Parcel/lot size: 5150 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):

Project:

- New Single Family Residence: 2686 sq. ft
- Addition to Residence: _____ sq. ft
- Other: _____

Describe Project:

Construction of new stick frame single family dwelling w/ attached garage w/ an ADU over garage

Additional Permits Required:

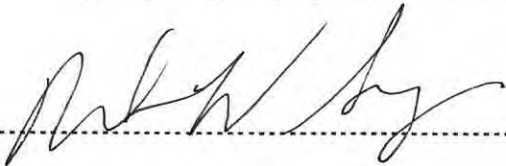
- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	Hardie Lap Siding & Stucco	Slate Gray Lap, White Stucco	<input type="checkbox"/>
b. Trim	Hardie Trim	Bronze/Dark Gray	<input type="checkbox"/>
c. Windows	Milgard Vinyl	Bronze	<input type="checkbox"/>
d. Doors		Dark Gray	<input type="checkbox"/>
e. Roof	Certainteed Landmark	Thunderstorm Gray	<input type="checkbox"/>
f. Chimneys			<input type="checkbox"/>
g. Decks & railings	Redwood Deck, Cable Rail	Natural	<input type="checkbox"/>
h. Stairs			<input type="checkbox"/>
i. Retaining walls			<input type="checkbox"/>
j. Fences	Redwood	Natural	<input type="checkbox"/>
k. Accessory buildings			<input type="checkbox"/>
l. Garage/Carport			<input type="checkbox"/>

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: 

Applicant: 

Date: 7/13/2020

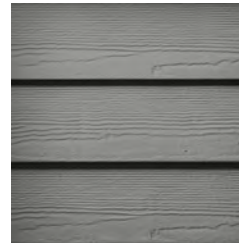
Date: JULY 13, 2020



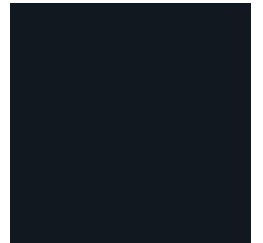
STUCCO
SMOOTH WHITE



ELDORADO STONE VENEER
STACKED STONE, NANTUCKET



HARDIEPLANK LAP SIDING
GRAY SLATE



MILGARD VINYL
BRONZE



EDWARD C. LOVE, ARCHITECT

Edward C. Love
Architect

720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence for
Stephen & Rita
Semprevivo
3rd Avenue
Miramar, CA

Color Board



SITE DATA:

APN: 048-042-290
 ZONING: R-1/5-17(DR/CD)
 OCCUPANCY GROUP: R-3/U
 TYPE OF CONSTRUCTION: V-B
 PRE-APP: 2020-00026
 PLN: 2020-00201
 BLD:

APPLICABLE CODES:
 SAN MATEO COUNTY

SAN MATEO COUNTY ZONING & BUILDING ORDINANCES
 2019 CALIFORNIA RESIDENTIAL CODE
 2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA ENERGY CODE
 2019 CALIFORNIA FIRE CODE
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

OWNER:
 STEPHEN & RITA SEMPREVIVO
 245 MEDIO AVE
 HALF MOON BAY, CA 94019

ARCHITECT:
 EDWARD C. LOVE, ARCHITECT
 720 MILL ST
 HALF MOON BAY, CA 94019

STRUCTURAL ENGINEER:
 BRIAN DOTSON, CE
 POBOX 371022
 MONTARA, CA 94037

GEOTECHNICAL ENGINEER:
 SIGMA PRIME GEOSCIENCES, INC
 332 PRINCETON AVE
 HALF MOON BAY, CA 94019

TITLE 24:
 ENERGY CALC COMPANY
 45 MITCHELL BLVD, STE 116
 SAN RAFAEL, CA 94903

GENERAL CONTRACTOR:
 DREAMHOUSE CONSTRUCTION
 758 VASQUEZ DR
 HALF MOON BAY, CA 94019

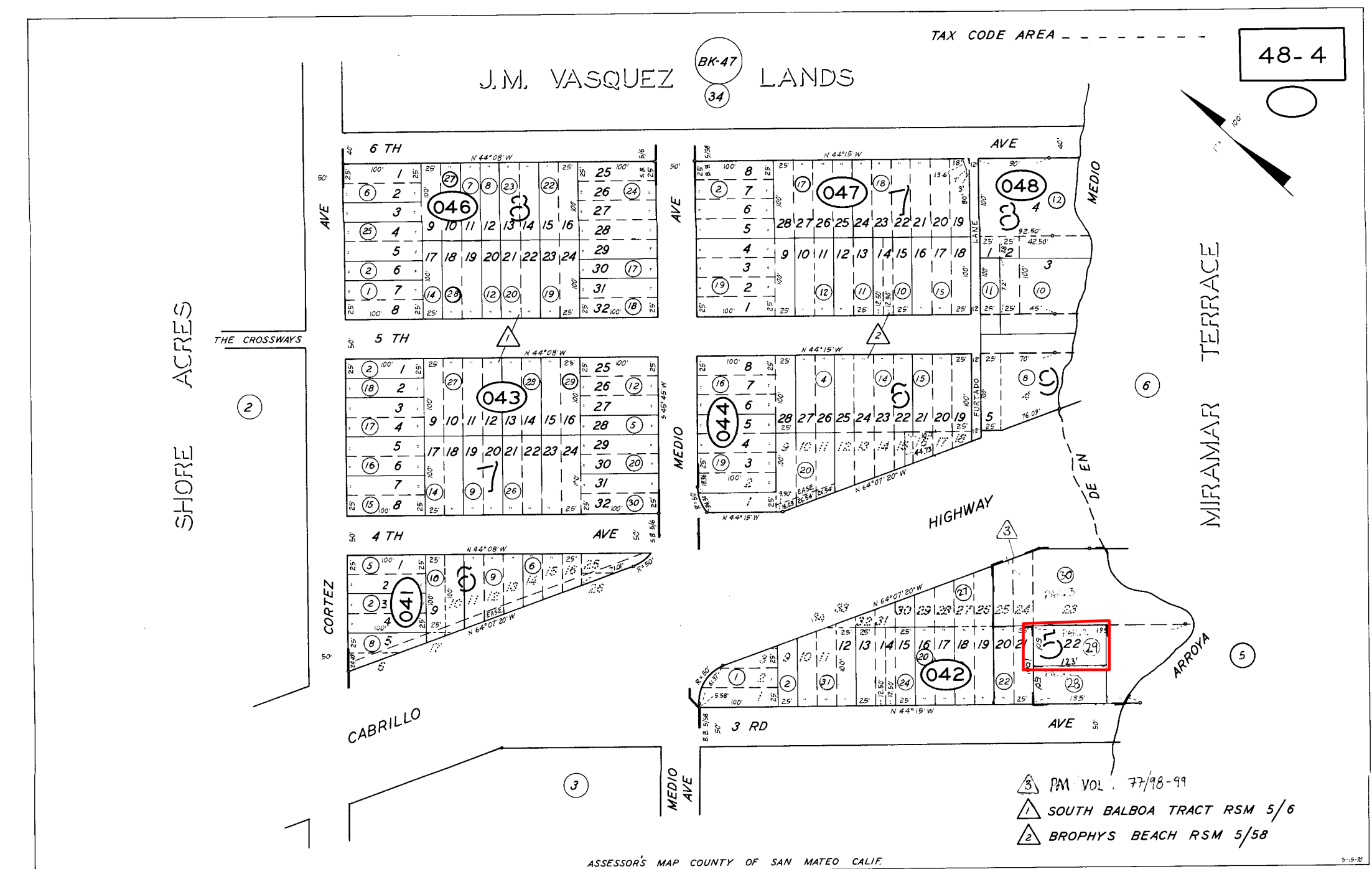
	EXISTING		PROPOSED		TOTAL		ALLOWED				
	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%			
LOT AREA	5150										
LOT COVERAGE	0	0.0	1688	32.8	1688	32.8	1802	35.0			
FLOOR AREA			FIRST FLR SECOND FLR GARAGE ADU	770 937 429 550							
Total	0	0.0	Total	2686	52.2	Total	2686	52.2	Total	2730	53.0

SCOPE OF WORK:

CONSTRUCTION OF NEW SINGLE FAMILY DWELLING W/ ATTACHED GARAGE WITH ADU OVER GARAGE

Sheet List - DD

Sheet Number	Sheet Name
A0.01	Cover Sheet
A0.02	Additional Notes
SU.1	Survey
A0.03	Site Plan
C.1	Grading & Drainage
C.2	Erosion Control Plan
C.3	Best Management Practices
A1.01	First Floor Plan
A1.02	Second Floor Plan
A1.03	ADU Floor Plan
A1.04	Roof Plan
A1.05	Floor Area Ratio
A2.01	Elevation - North & West
A2.02	Elevation - South & East
A3.01	Section Views
A5.01	Details - Products
L1.01	Landscape Plans



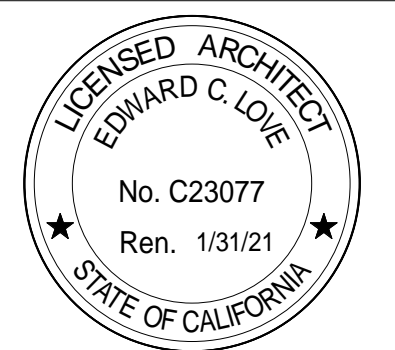
REVISIONS



Edward C. Love
 Architect
 720 MILL STREET
 HALF MOON BAY, CA 94019
 (650) 728-7615
 edwardclovearch@gmail.com

New Residence for
 Stephen & Rita Semprevivo
 3rd Avenue
 Miramar, CA

Cover Sheet



DATE: 07/13/20
 SCALE:
 DRAWN: GMH
 JOB: 3RD AVE EAST
 SHEET:
A0.01
 OF SHEETS

C:\Users\gmh\OneDrive\WorkFiles\3rd Ave - Lot 2\Rev\3rdAve.rvt

GENERAL NOTES

- BEFORE SUBMITTING A PROPOSAL FOR THIS WORK, THE BIDDER SHALL VISIT THE SITE AND LEARN THE EXISTING CONDITIONS. HE SHALL EXAMINE THE PLANS AND SPECIFICATIONS AND BASE HIS BID ON THEM. DURING CONSTRUCTION, NO CHANGES FROM PLANS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND OWNER. STRUCTURAL CHANGES MUST BE APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER.
- THE GENERAL CONTRACTOR (G.C.) SHALL OBTAIN AND PAY FOR ALL PERMITS (EXCEPT THOSE PAID FOR BY THE OWNER) AND LICENSES AND SHALL GIVE ALL NOTICES. THE G.C. IS REQUIRED TO COMPLY WITH ALL CURRENT CODES, ORDINANCES, & REGULATIONS RELATED TO THIS PROJECT. ANY CONFLICT BETWEEN DRAWINGS, SPECIFICATIONS AND ORDINANCES SHALL BE IMMEDIATELY REFERRED TO THE ARCHITECT IN WRITING. THE G.C. FOR THIS WORK SHALL BE CURRENTLY LICENSED BY THE STATE OF CALIFORNIA. THE EMPLOYEES AND SUBCONTRACTORS USED BY THE G.C. TO CONSTRUCT AND FINISH THE WORK SHOWN ON THE PLANS MUST ALL BE SKILLED WORKMEN UNDER THE DIRECTIONS OF A COMPETENT FOREMAN. THE G.C. SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF ALL WORK FROM DAMAGE AND SHALL PROTECT THE OWNER'S PROPERTY AND ADJACENT PROPERTY FROM INJURY, DAMAGE, OR LOSS ARISING FROM THIS CONTRACT. SALES TAX SHALL BE PAID BY THE G.C. AND INCLUDED IN THE BID.
- THE G.C. SHALL, AT ALL TIMES, KEEP THE PREMISES AND STREETS FREE OF WASTE AND RUBBISH CAUSED BY THE WORK, AND AT COMPLETION, SHALL REMOVE ALL RUBBISH, SURPLUS MATERIALS AND EQUIPMENT AND LEAVE THE WORK 'BROOM CLEAN'. THE G.C. SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND SHALL MAINTAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE, ALL EXISTING UTILITIES AND CITY SERVICES DURING CONSTRUCTION. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED, OR CAPPED AS REQUIRED BY CODE AND/OR SOUND CONSTRUCTION PRACTICES. G.C. TO PROVIDE AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO OCCUPANT OR OWNER PER SECTION 4.410.1.
- THE OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO, OR DEDUCTING FROM THE WORK. THE CONTRACT SUM SHALL BE ADJUSTED ACCORDINGLY AND ADEQUATE RECORDS SHALL BE KEPT BY THE G.C. TO SUBSTANTIATE ANY ADDITIONAL CHARGES. ALL SUCH WORK SHALL BE EXECUTED UNDER THE CONDITIONS OF THE ORIGINAL CONTRACT DOCUMENTS.
- THE OWNER SHALL NOT BE LIABLE OR RESPONSIBLE FOR ANY ACCIDENT, LOSS, INJURY, OR DAMAGES HAPPENING OR ACCRUING DURING THE TERM OF THE PERFORMANCE OF THE WORK AND IN CONNECTION THEREWITH, TO PERSONS AND/OR PROPERTY. THE G.C. SHALL HAVE IN FULL FORCE AND EFFECT DURING THE LIFE OF THIS CONTRACT, FULL COVERAGE LIABILITY AND WORKMEN'S COMPENSATION INSURANCE, WHICH SHALL COMPLY WITH CALIFORNIA LAWS AND WILL NOT BE CANCELED OR CHANGED DURING THE TERM OF THIS CONTRACT WITHOUT NOTICE BEING GIVEN TO THE OWNER, AND SHALL REQUIRE ALL INTERMEDIATE AND SUBCONTRACTORS TO TAKE OUT AND MAINTAIN SIMILAR POLICIES OF INSURANCE. ALL SUCH POLICIES SHALL BE WITH INSURANCE COMPANIES ACCEPTABLE TO THE OWNER. UNLESS EXPRESSLY STATED OTHERWISE, THE OWNER WILL TAKE OUT AND CARRY A COMPREHENSIVE INSURANCE POLICY INCLUDING FIRE, EXTENDED COVERAGE, VANDALISM AND MALICIOUS MISCHIEF PROTECTING BOTH HIS INTEREST AND THAT OF THE G.C.
- IN ADDITION TO GUARANTEES CALLED FOR ELSEWHERE IN THESE SPECIFICATIONS, THE G.C. SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE (1) YEAR AFTER NOTICE OF COMPLETION IS FILED, AGAINST DEFECTIVE MATERIALS OR FAULTY WORKMANSHIP, THAT IS DISCOVERED AND REPORTED WITHIN THAT PERIOD.
- IN GENERAL THE DRAWINGS WILL INDICATE DIMENSIONS, POSITION, TYPE OF CONSTRUCTION, SPECIFICATIONS, QUALITIES AND METHODS. ANY WORK INDICATED ON THE DRAWINGS, AND NOT MENTIONED IN THE SPECIFICATIONS, OR VICE VERSA, SHALL BE FURNISHED AS THOUGH FULLY SET FORTH IN BOTH. WORK NOT PARTICULARLY DETAILED, MARKED, OR SPECIFIED SHALL BE THE SAME AS SIMILAR PARTS THAT ARE DETAILED, MARKED OR SPECIFIED. THE LARGER THE SCALE OF THE DRAWING, THE MORE PRECEDENT, I.E.: 3 INCHES PER FOOT SCALE GOVERNS 1/4 INCH PER FOOT SCALE. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. WRITTEN DIMENSIONS ARE APPROXIMATE AND MUST BE VERIFIED BY G.C. THE G.C. SHALL VERIFY, AND BE RESPONSIBLE FOR ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO, AND DURING, ALL PHASES OF WORK.
- IF ANY SUBCONTRACTOR FINDS ANY LACK OF INFORMATION, DISCREPANCY, AND/OR OMISSIONS IN THESE DRAWINGS, OR IF THE SUBCONTRACTOR IS UNCLEAR AS TO THE DRAWINGS' MEANING AND/OR INTENT, THE SUBCONTRACTOR SHALL CONTACT THE G.C., WHO SHALL THEN CONTACT THE ARCHITECT AT ONCE FOR INTERPRETATION AND/OR CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- THE G.C. SHALL PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING- AND WALL-MOUNTED EQUIPMENT, HARDWARE, FIXTURES, AND ACCESSORIES.
- ALL PRODUCTS LISTED IN THESE DRAWINGS BY ICBO/NER NUMBER SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTION FOR PRODUCTS LISTED SHALL ALSO HAVE AN ICBO/NER-APPROVED WRITTEN EVALUATION REPORT AND BE APPROVED AND LISTED BY OTHER NATIONALLY-RECOGNIZED TESTING AGENCIES.
- EXTERIOR OPENABLE WINDOWS AND DOORS SHALL BE WEATHERSTRIPPED. ALL OPEN JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, AND/OR WEATHERSTRIPPED TO LIMIT, OR ELIMINATE, AIR LEAKAGE.
- SEE STRUCTURAL SHEETS FOR STRUCTURAL MATERIALS, DIMENSIONS AND DETAILS.
- SEE ATTACHED TITLE 24 FORMS AND/OR CALCULATION FOR PROJECT ENERGY EFFICIENCY REQUIREMENTS.
- A CAPILLARY BREAK SHALL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BAS OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER SECTION 4.505.2 AND R506.2.3.
- UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THE RELEVANT CODES MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING OFFICIAL WHICH SHOW SUBSTANTIAL CONFORMANCE.

- CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED PER CALGREEN 4.408.2 (OR IN ACCORDANCE WITH LOCAL ORDINANCE). MINIMUM OF 65% OF CONSTRUCTION WASTE SHALL BE DIVERTED FOR RECYCLING OR SALVAGE PER CALGREEN 4.408.1
- OPERATIONS & MAINTENANCE MANUALS SHALL BE PROVIDED TO BUILDING OWNER ADDRESSING ITEMS 1 - 10 IN CALGREEN 4.410.1
- DUCT SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPED PER CALGREEN 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
- BATHROOM EXHAUST FANS SHALL COMPLY WITH CALGREEN 4.506.1. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN AND MUST BE CONTROLLED BY A HUMIDITY SENSOR.
- PROTECT ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (CALGREEN 4.406.1)
- COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (CALGREEN 4.504.1)
- ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (CALGREEN 4.504.2.1)
- PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (CALGREEN 4.504.2.2)
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND TOXIC COMPOUNDS (CALGREEN 4.504.2.3). VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (CALGREEN 4.504.3)
- MINIMUM OF 80" FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH CALGREEN 4.504.4
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (CALGREEN 4.504.5)
- INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (CALLGREEN 4.505.2)
- CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (CALGREEN 4.505.3)

HERS INSPECTION ITEMS

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building components tables below.

- Building-level Verifications:
- High quality insulation installation (QII)
 - IAQ mechanical ventilation

- Cooling System Verifications:
- None --

- HVAC Distribution System Verifications:
- Duct Sealing

- Domestic Hot Water System Verifications:
- None --

Smoke Detectors

As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2019-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to exterior of the smoke alarm and will be checked at final.

Smoke alarm/detector are to be hard wired, interconnected, or with battery back up. Smoke alarms to be installed per manufacturers instruction and NFPA 72.

Windows

Escape or rescue windows shall have a minimum net clear openable area of 5.7 square ft (sqft), 5.0 sqft allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall not be more than 44 inches above the finished floor (CFC 1030).

Address Markers

New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. The letters/numerals for permanent address signs shall be 4 inches in height with a minimum of 1/2 inch stroke. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, an additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective numbers/letters similar to Hy-Ko 911 or equivalent. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).

Roofing

As per Coastside Fire District Ordinance 2019-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current addition of the California Building Code.

Vegetation Management (LRA)

The Coastside Fire District Ordinance 2019-03, the 2019 California Fire Code 304.1.2:

A fuel break of defensible space shall be required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. this is neither a requirement nor an authorization for the removal of living trees.

Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.

Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.

Fire Access Roads

The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The city of Half Moon Bay Department of Public Works, San Mateo County Department of Public Works, the Coastside Fire District Ordinance 2019-03, and the California Fire Code shall set road standards. As per the 2019 CFC, Dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire District specifications. As per the 2019 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed of the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20 foot road) and on-street parking is desired, an additional improved area shall be developed for that use.

Fire Hydrant

As per 2019 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2019 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.

Automatic Fire Sprinkler System (Fire Sprinkler plans will require a separate permit)

As per San Mateo County Building Standards and Coastside Fire District Ordinance 2019-03, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on metal upright. Sprinkler coverage shall be provided throughout the residence to include all bathrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division or the City of HMB. A building permit will not be issued until plans are received, reviewed, and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire District for review.

Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open. Please call Coastside Fire District to schedule an inspection. Fees shall be paid prior to plan review.

An exterior bell and interior horn/strobe are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe, and flow switch, along with the garage door opener, are to be wired into a separate circuit breaker at the main electrical panel and labeled.

Solar Photovoltaic Systems

These systems shall meet the requirements of the 2019 CFC Section 605.11.

REVISIONS

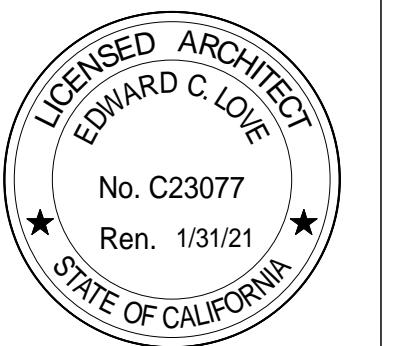


EDWARD C. LOVE, ARCHITECT

Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence for
Stephen & Rita Semprevio
3rd Avenue
Miramar, CA

Additional Notes



DATE: 07/13/20

SCALE:

DRAWN: GMH

JOB: 3RD AVE EAST

SHEET:

A0.02

OF SHEETS

BASIS OF BEARINGS

BEARINGS SHOWN HEREON TAKEN FROM "PARCEL MAP P-1060," WHICH WAS FILED FOR RECORD IN VOLUME 77 OF PARCEL MAPS PAGES 98-99, SAN MATEO COUNTY RECORDS.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 DATUM ("MEAN SEA LEVEL"). TBM TO USE FOR SITING IS THE CENTER OF THE SEWER MANHOLE LID WITH AN ELEVATION OF 56.06 FEET.

NOTES:

BGT DID NOT RECEIVE A TITLE REPORT COVERING THE SUBJECT PROPERTY; THEREFORE ALL EASEMENTS AFFECTING IT MAY NOT BE PLOTTED HEREON. EASEMENTS SHOWN ARE ONLY THOSE SHOWN ON THE RECORD PARCEL MAP (77 PM 98-99) ONLY.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtlandsurveying.com

DATE OF FIELD SURVEY: JULY, 2014
JOB NUMBER: 14-140

LEGEND

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- CPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION LINE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GND GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- HCR HANDICAP RAMP
- HVE HIGH-VOLT ELECTRIC
- INV. INVERT
- IP IRON PIPE
- JP JOINT POLE
- KV KILOVOLT
- LAT. LATERAL
- LG LIP OF GUTTER
- MH MH (TYPE UNKNOWN)
- MON-MON MONUMENT TO MONUMENT DISTANCE
- PBV FACELL/SSC VAULT
- PGE PG&E VAULT
- PIV POST INDICATOR VALVE
- PP POWER POLE
- SDMH STORM DRAIN MANHOLE
- SL STREET LIGHT
- SLB STREET LIGHT BOX
- SLV STREET LIGHT VAULT
- SSMH SANITARY SEWER MANHOLE
- SSV SANITARY SEWER VAULT
- TBC TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- TS TRAFFIC SIGNAL
- TSB TRAFFIC SIGNAL BOX
- UNK UNKNOWN TYPE
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- T- TELEPHONE LINE
- W- WATER LINE

LOT 21
BLOCK 5

BOOK 5 MAPS 58

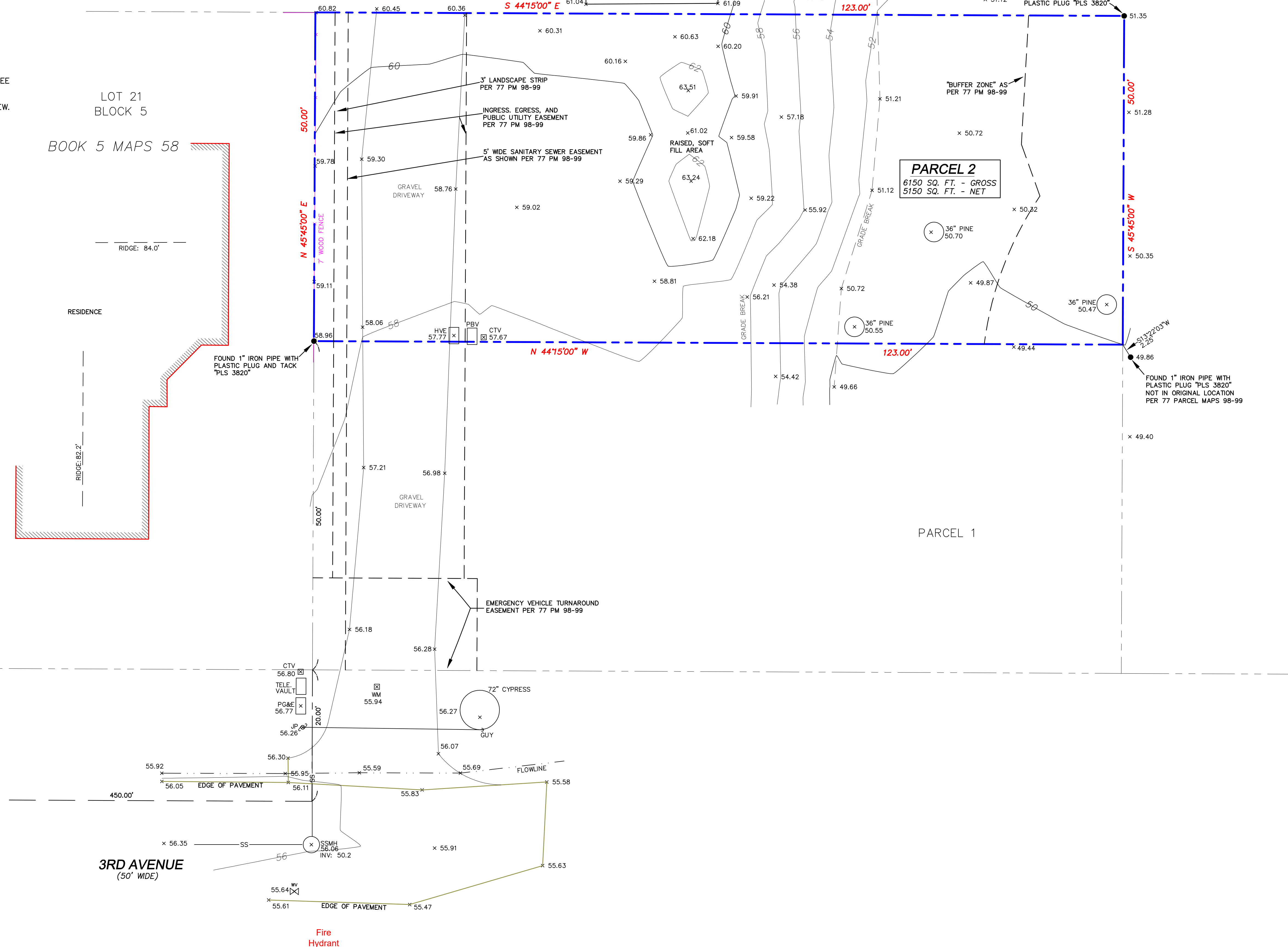
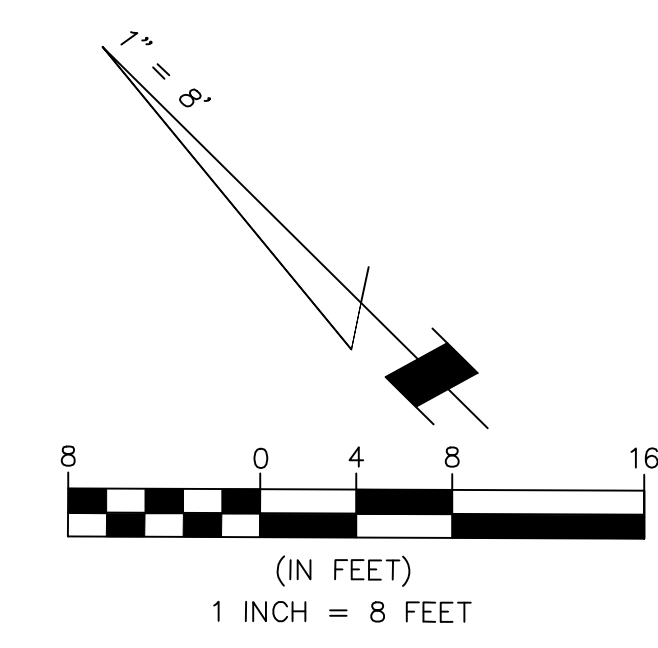
RESIDENCE

77 PARCEL MAPS 98-99
PARCEL 3

BUILDING

CONCRETE WALK

RIDGE: 74.3'



www.bgtlandsurveying.com

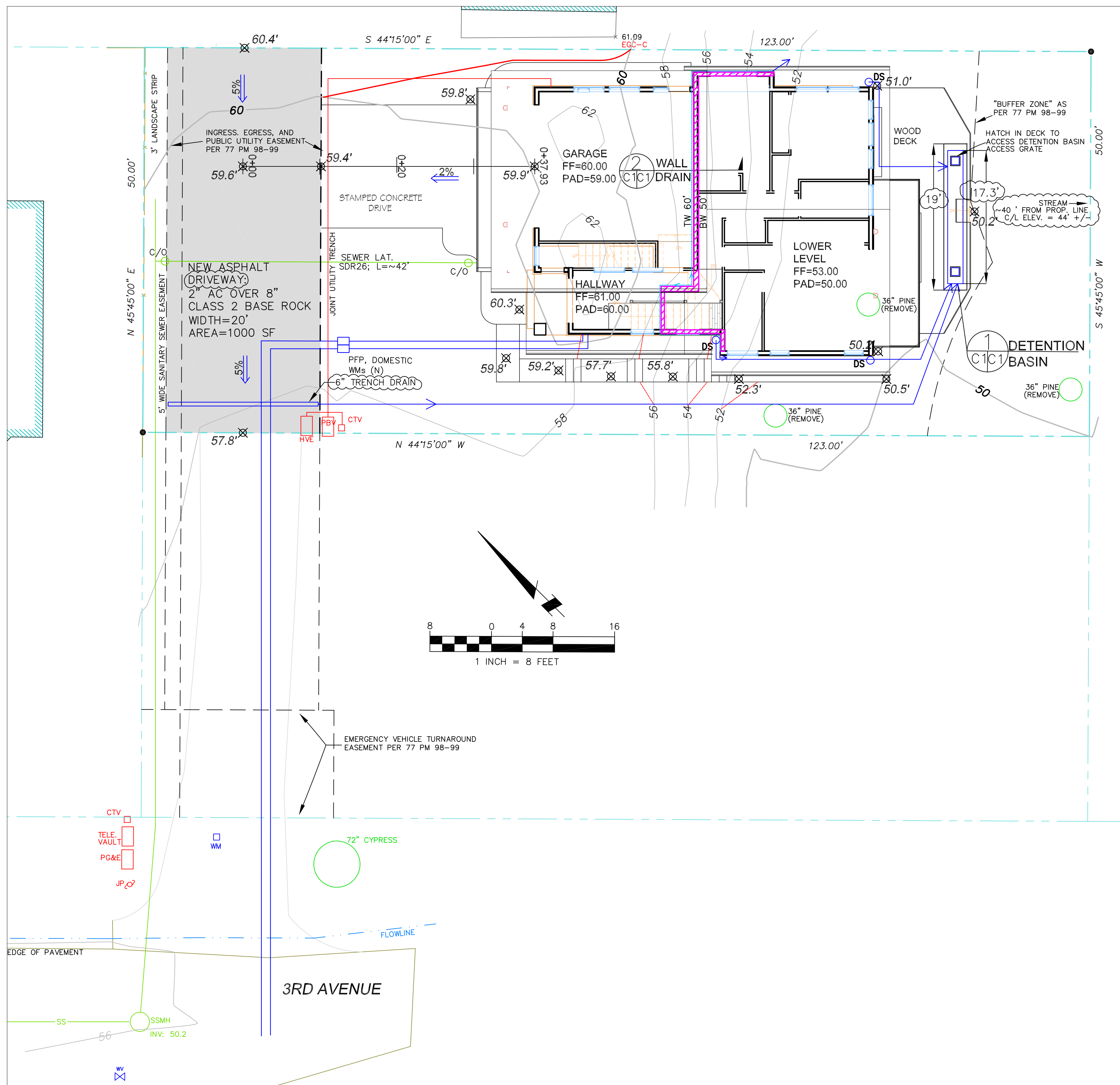
BGT LAND SURVEYING
1720 S. Arroyo Blvd., Suite 205 - San Mateo, CA 94402
Main (650) 212-1080 bgtinfo@bgtlandsurveying.com

Assessor Parcel Number:
048-042-290

Prepared For:
FRANK VELLA
758 Vasquez Drive
Half Moon Bay, CA 94019

BOUNDARY AND TOPOGRAPHIC SURVEY
PARCEL 2 - "PARCEL MAP P-1060" (VOLUME 77 PM 98-99)
VACANT, 3RD AVENUE
MIRAMAR (UNINCORPORATED), SAN MATEO COUNTY, CALIFORNIA

Date: JULY, 2014
Scale: 1" = 8'
Contour Interval: 2'
Drawn: LHL
Drawing Number:
SU-1
SHEET 1 OF 1
Job No. 14-140



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- DOWNSPOUT
- DIRECTION OF SURFACE DRAINAGE
- 4" MIN. SOLID PLASTIC DRAIN PIPE, SDR 35 @ 2% MINIMUM SLOPE.
- 4" PERFORATED PLASTIC DRAIN PIPE
- PROPOSED RETAINING WALL

GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: RITA SEMPREVIVO, OWNER
2. SURVEY AND TOPOGRAPHY BY BGT LAND SURVEYING, JULY, 2014
3. ELEVATION DATUM NGVD 1929.
4. THIS IS NOT A BOUNDARY SURVEY.

GRADING NOTES

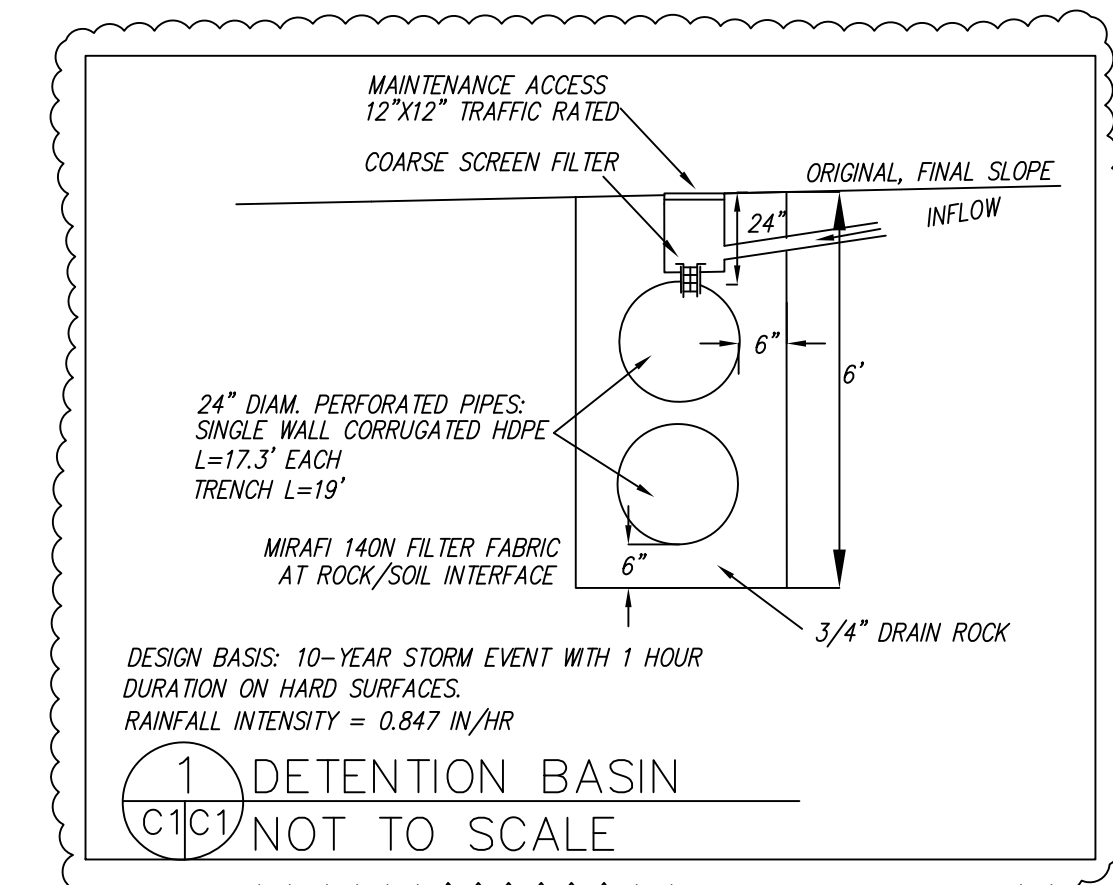
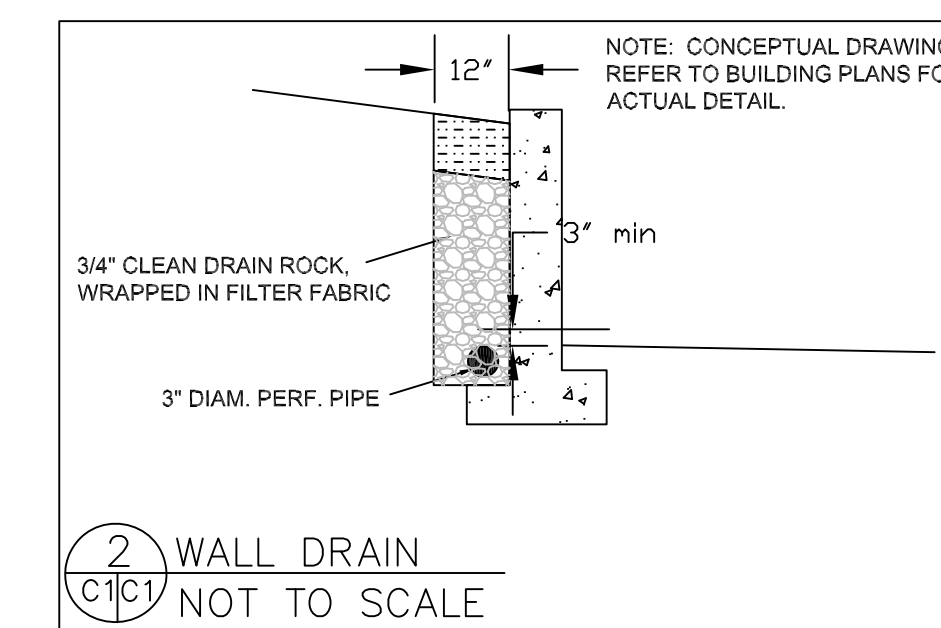
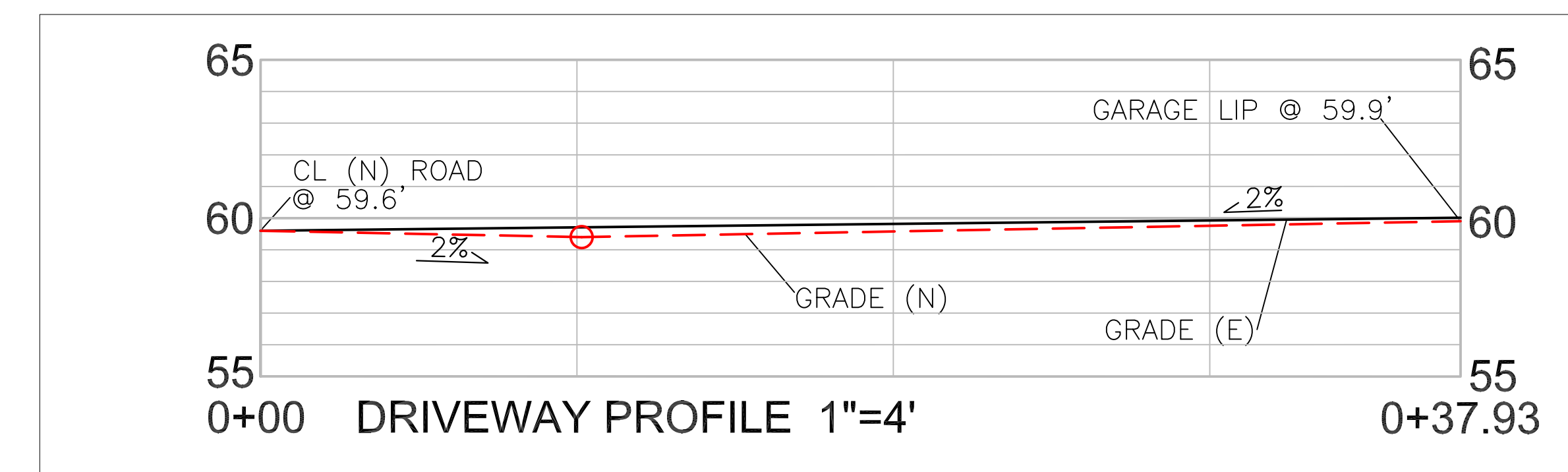
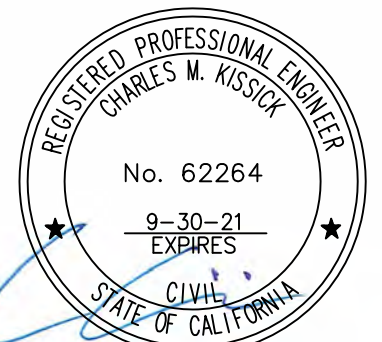
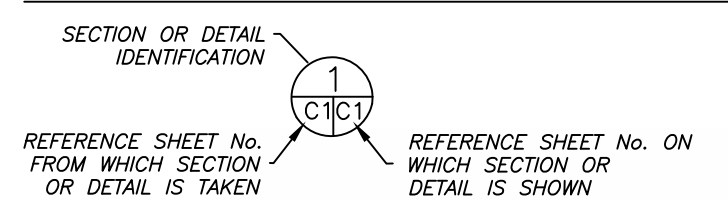
CUT VOLUME: 120 CY
FILL VOLUME: 0 CY

1. ABOVE VOLUMES ARE APPROXIMATE.
2. MAXIMUM GRADIENT OF ANY MODIFIED SLOPES SHALL BE 2:1 (H:V).
3. ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
4. ALL TRENCHES IN PROPOSED LANDSCAPE AREAS SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
2. ALL ROOF DRAIN LINE PIPES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
3. ALL SOLID DRAINAGE PIPES SHALL BE MINIMUM 4" DIAMETER SOLID PIPE, SLOPED AT 2% MINIMUM.
4. IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE DRAINAGE SYSTEM. THE DETENTION BASINS SHALL BE CHECKED EVERY FALL AND CLEARED OF DEBRIS.

SECTION AND DETAIL CONVENTION



GRADING AND DRAINAGE PLAN

Sigma Prime Geosciences, Inc.
SIGNAL PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593

DATE: 7-8-20
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE: 12-30-20
REV. DATE:
REV. DATE:

SEMPREVIVO PROPERTY
3RD AVENUE, MIRAMAR
APN 048-042-290

GENERAL EROSION AND SEDIMENT CONTROL NOTES

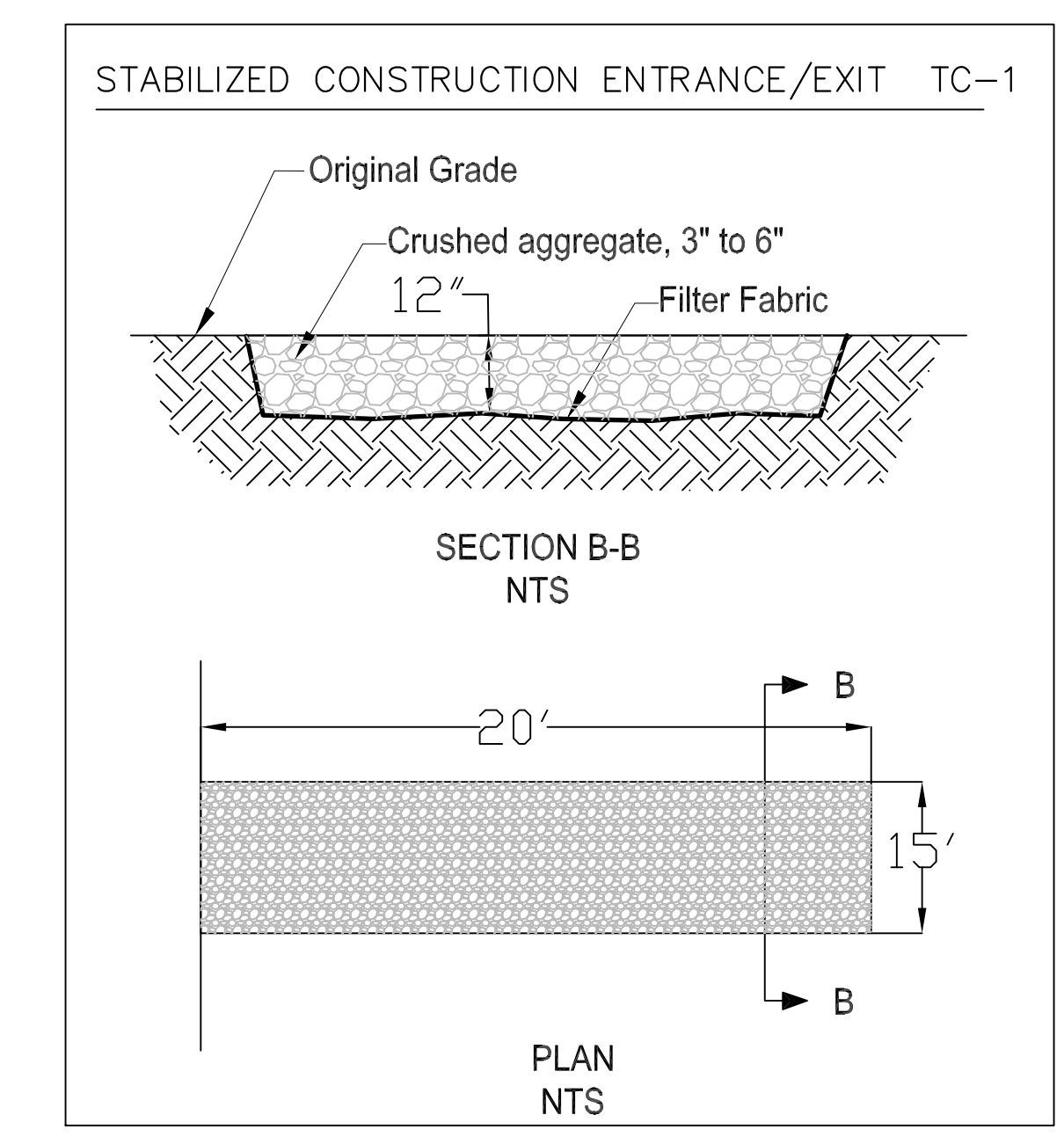
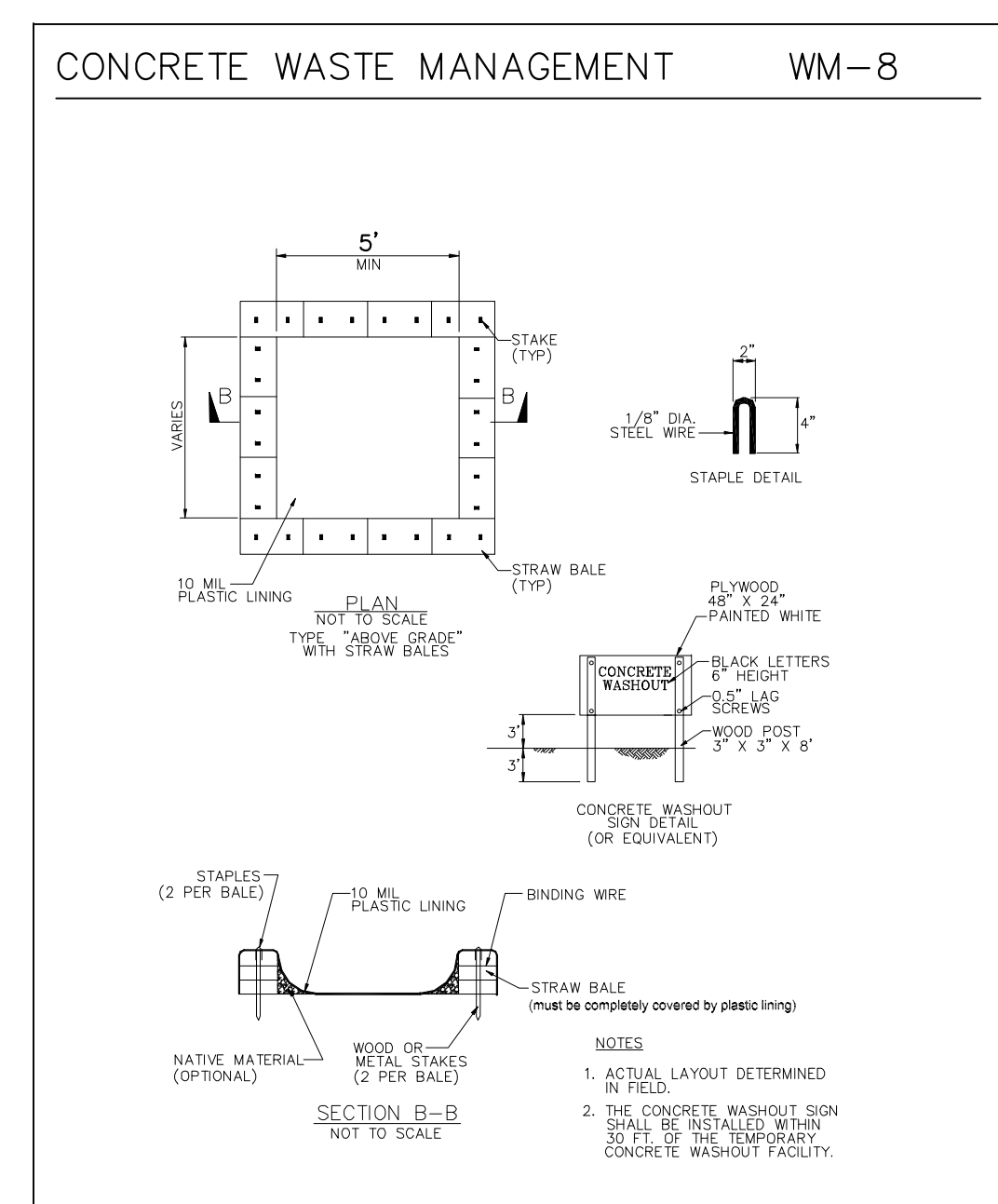
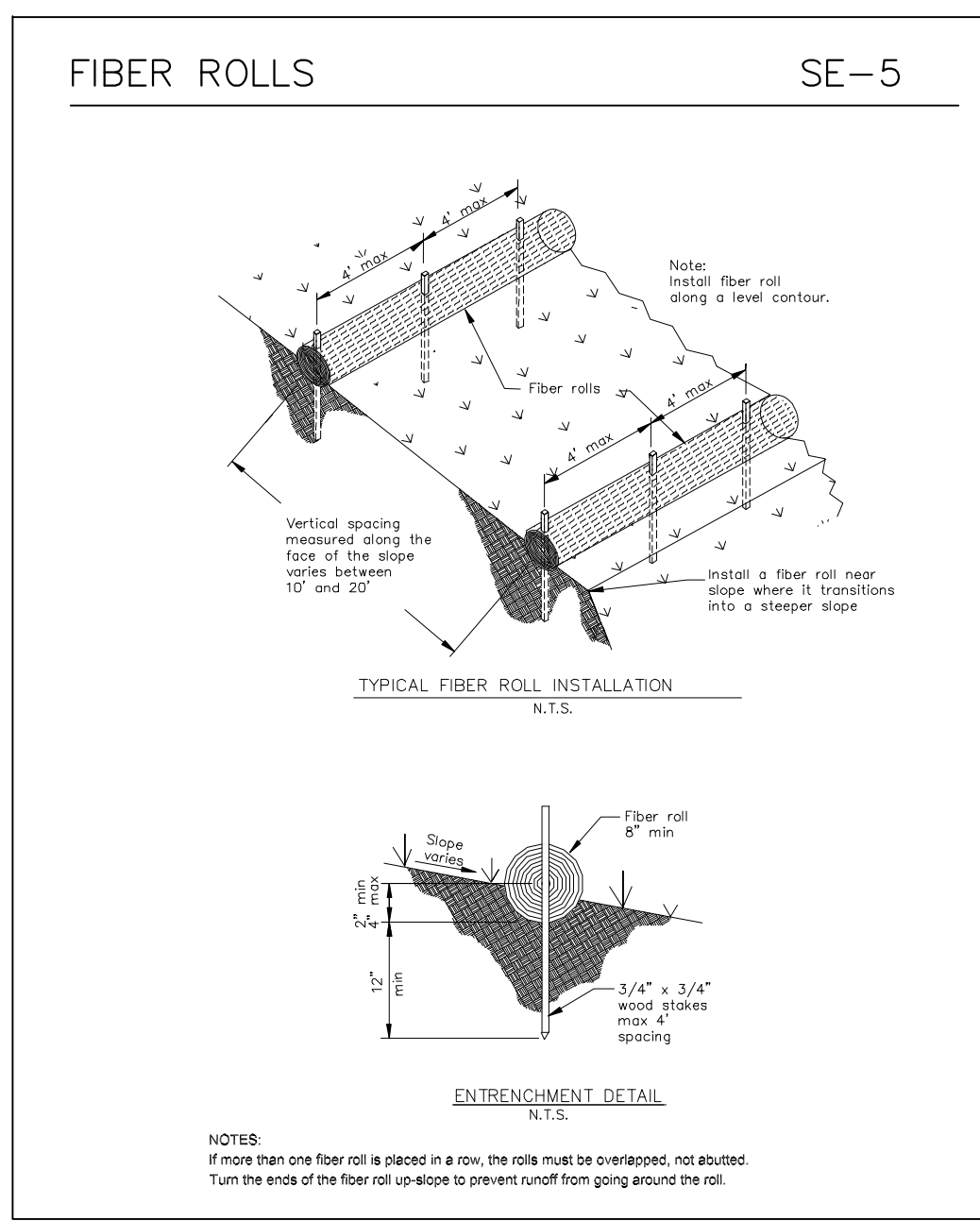
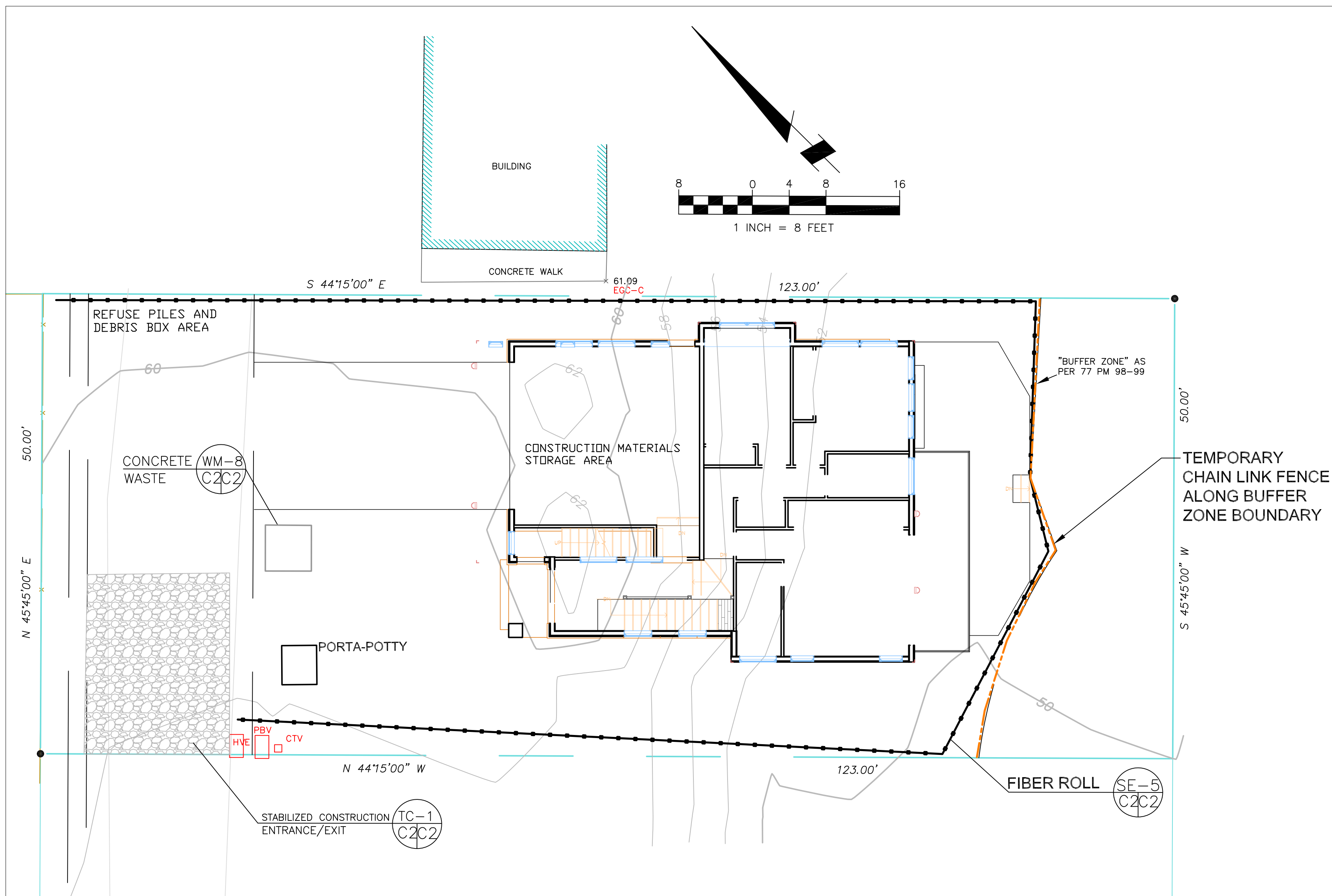
FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- The tree protection shall be in place before any grading, excavating or grubbing is started.

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: FRANK VELLA
TITLE/QUALIFICATION: BUILDER
PHONE: 650-504-0733
PHONE:
E-MAIL: frankvella@sbcglobal.net



Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593

DATE: 7-8-20
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE:
REV. DATE:
REV. DATE:

EROSION AND SEDIMENT CONTROL PLAN

SEMPREVITO PROPERTY
3RD AVENUE, MIRAMAR
APN 048-042-290

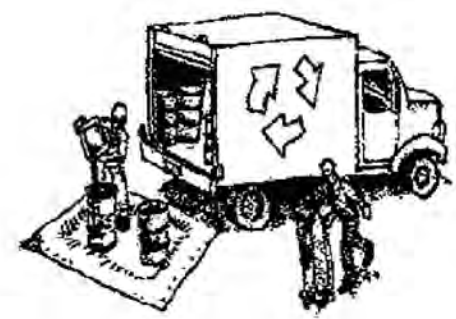
SHEET
C-2



Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Burn and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



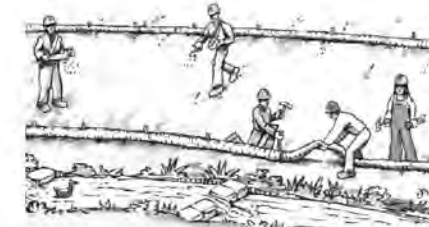
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number; 2) Call the Governor's Office of Emergency Services' Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainages courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tick coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.



Requirements for Architectural Copper

Protect water quality during installation, cleaning, treating, and washing!

Copper from Buildings May Harm Aquatic Life

Copper can harm aquatic life in San Francisco Bay. Water that comes into contact with architectural copper may contribute to impacts, especially during installation, cleaning, treating, or washing. Patination solutions that are used to obtain the desired shade of green or brown typically contain acids. After treatment, when the copper is rinsed to remove these acids, the rinse water is a source of pollutants. Municipalities prohibit discharges to the storm drain of water used in the installation, cleaning, treating and washing of architectural copper.



Building with copper flashing, gutter and drainpipe.

Use Best Management Practices (BMPs)

The following Best Management Practices (BMPs) must be implemented to prevent prohibited discharges to storm drains.

During Installation

- If possible, purchase copper materials that have been pre-patinated at the factory.

- If patination is done on-site, implement one or more of the following BMPs:
 - Discharge the rinse water to landscaping. Ensure that the rinse water does not flow to the street or storm drain. Block off storm drain inlet if needed.
 - Collect rinse water in a tank and pump to the sanitary sewer. Contact your local sanitary sewer agency before discharging to the sanitary sewer.
 - Collect the rinse water in a tank and haul off-site for proper disposal.



Storm drain inlet is blocked to prevent prohibited discharge. The water must be pumped and disposed of properly.

During Maintenance

Implement the following BMPs during routine maintenance activities, such as power washing the roof, re-patination or re-application of impervious coating:

- Block storm drain inlets as needed to prevent runoff from entering storm drains.
- Discharge the wash water to landscaping or to the sanitary sewer (with permission from the local sanitary sewer agency). If this is not an option, haul the wash water off-site for proper disposal.

Protect the Bay/Ocean and yourself!

If you are responsible for a discharge to the storm drain of non-stormwater generated by installing, cleaning, treating or washing copper architectural features, you are in violation of the municipal stormwater ordinance and may be subject to a fine.



Photo credit: Don Edwards National Wildlife Sanctuary

Contact Information

The San Mateo Countywide Water Pollution Prevention Program lists municipal stormwater contacts at www.flowstobay.org (click on "Business", then "New Development", then "local permitting agency").

FINAL February 29, 2012

REVISIONS

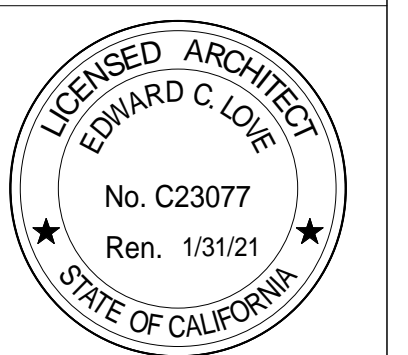


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Best Management
Practices



DATE: 07/13/20

SCALE:

DRAWN: GMH

JOB: 3RD AVE EAST

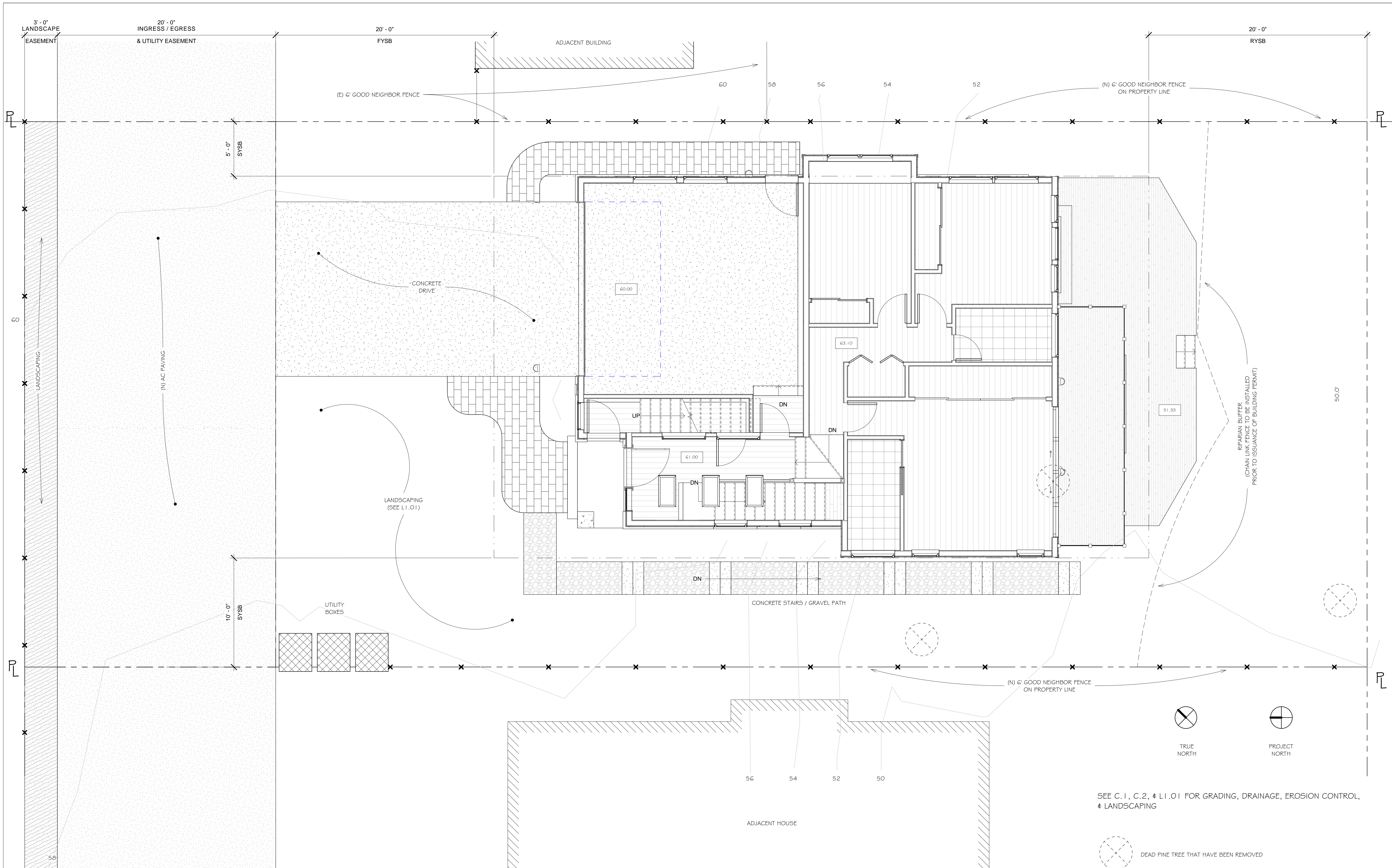
SHEET:

C.3

OF SHEETS

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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1 Site - DD
1/4" = 1'-0"

NOTE:

INSTALLATION OF UNDERGROUND SPRINKLER PIPE SHALL BE FLUSHED AND VISUALLY INSPECTED BY FIRE DISTRICT PRIOR TO HOOK-UP TO RISER. ANY SLODERED FITTINGS MUST BE PRESSURE TESTED WITH TRENCH OPEN. **PVC IS NOT ALLOWED FOR UNDERGROUND SERVICE.** PLEASE CALL COASTSIDE FIRE DISTRICT TO SCHEDULE AN INSPECTION. FEES SHALL BE PAID PRIOR TO PLAN REVIEW.

SEE C.1, C.2, # LI.01 FOR GRADING, DRAINAGE, EROSION CONTROL, # LANDSCAPING

DEAD PINE TREE THAT HAVE BEEN REMOVED

THIS SITE PLAN IS BASED ON BOUNDARY AND TOPOGRAPHIC SURVEY BY BGT LAND SURVEYING DATED JULY 2014

REVISIONS

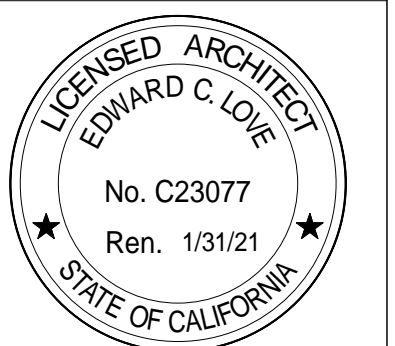


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Site Plan



DATE: 07/13/20

SCALE: 1/4" = 1'-0"

DRAWN: GMH

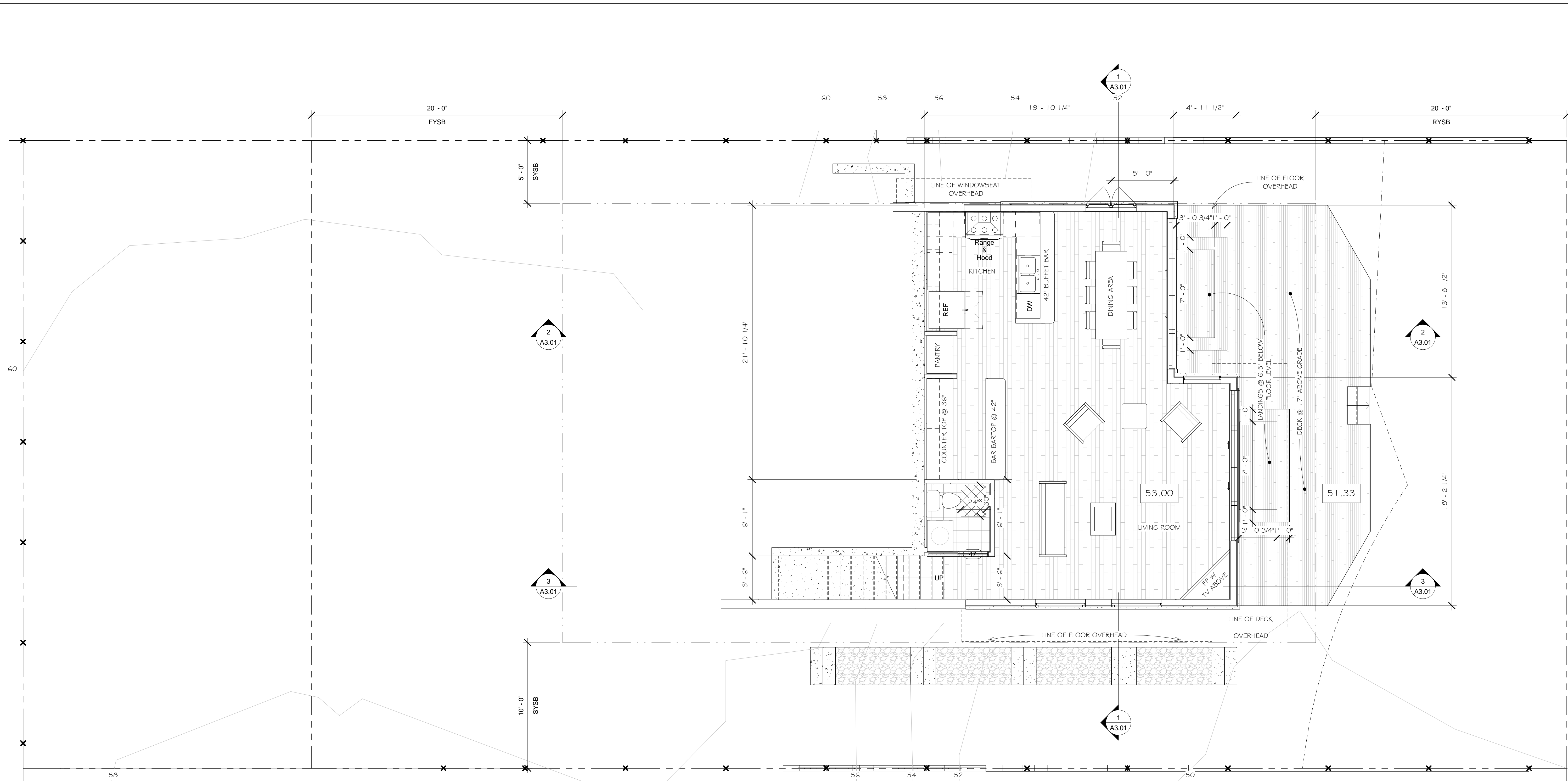
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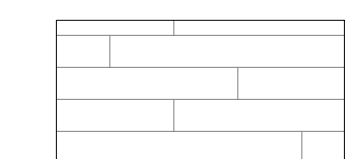
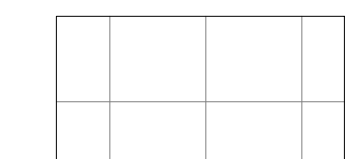
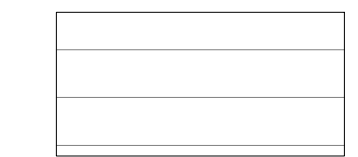
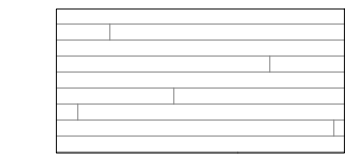
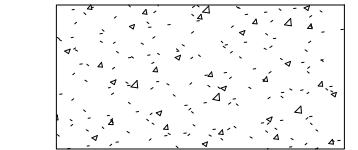
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OF SHEETS

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① Lvl 01 - First SF - DD
 1/4" = 1'-0"

-  VINYL PLANK FLOORING
-  VINYL FLOORING, TILE
-  HARDWOOD FLOORING
-  REDWOOD OR TREX DECKING
-  CONCRETE

REVISIONS

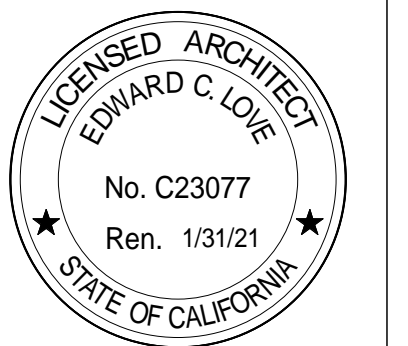


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First Floor Plan



DATE: 07/13/20

SCALE: As indicated

DRAWN: GMH

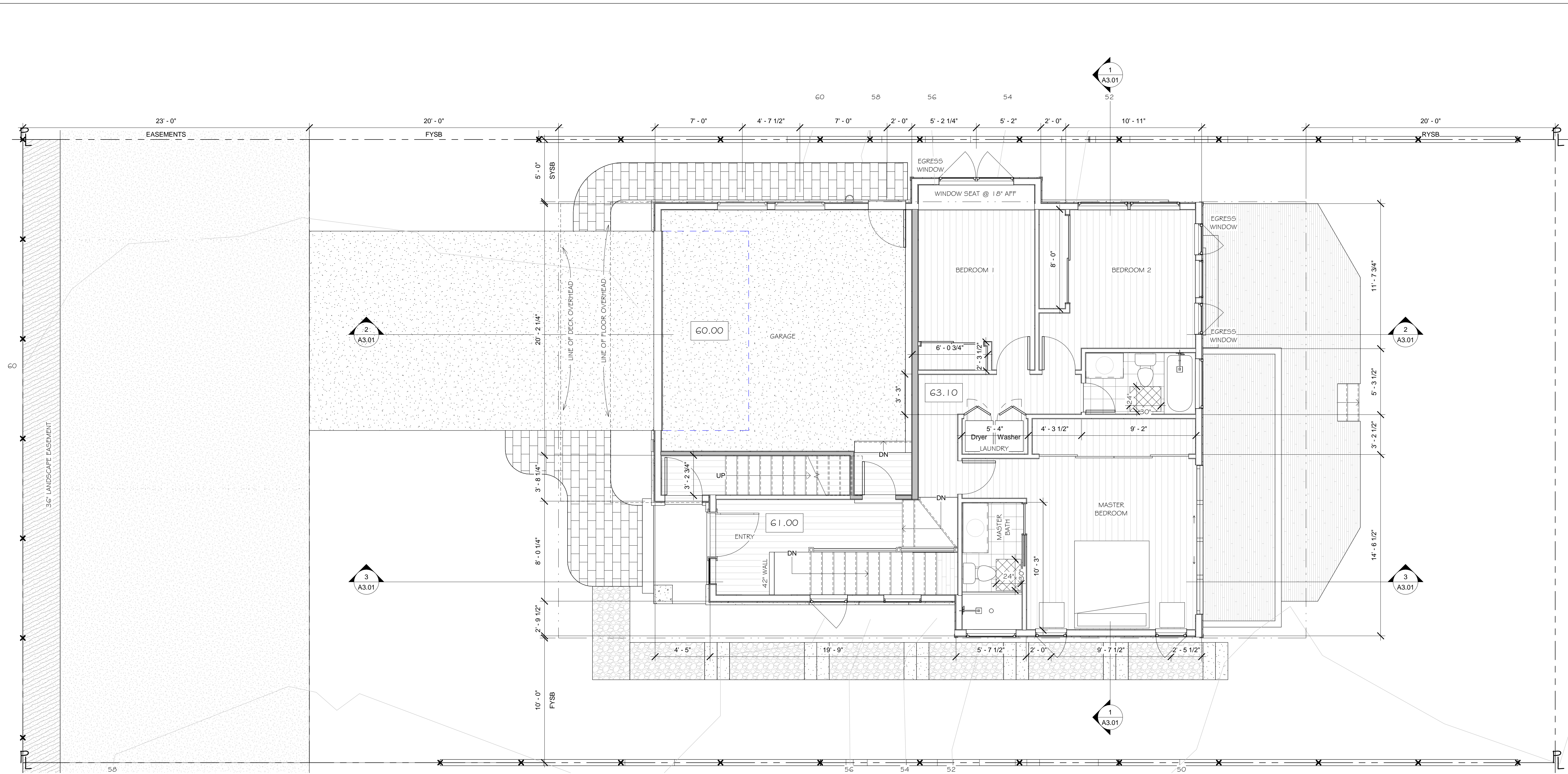
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SHEET:

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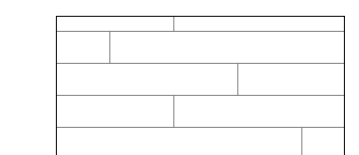
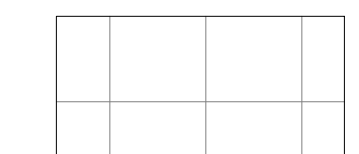
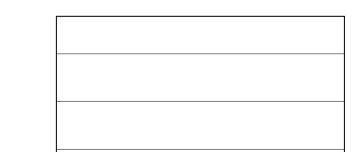
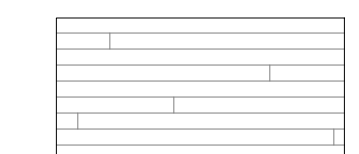
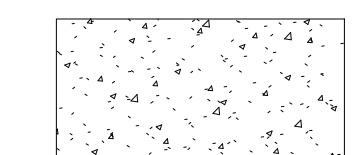
OF SHEETS

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1 Lvl 02 - Second SF - DD
1/4" = 1'-0"

NOTE:
NEW ATTACHED GARAGE AND ADU TO MEED OCCUPANCY SEPARATION REQUIREMENTS.

-  VINYL PLANK FLOORING
-  VINYL FLOORING, TILE
-  HARDWOOD FLOORING
-  REDWOOD OR TREX DECKING
-  CONCRETE

REVISIONS

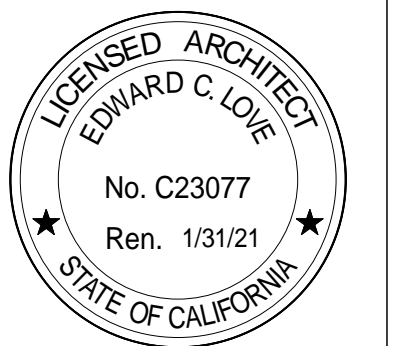


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Second Floor Plan

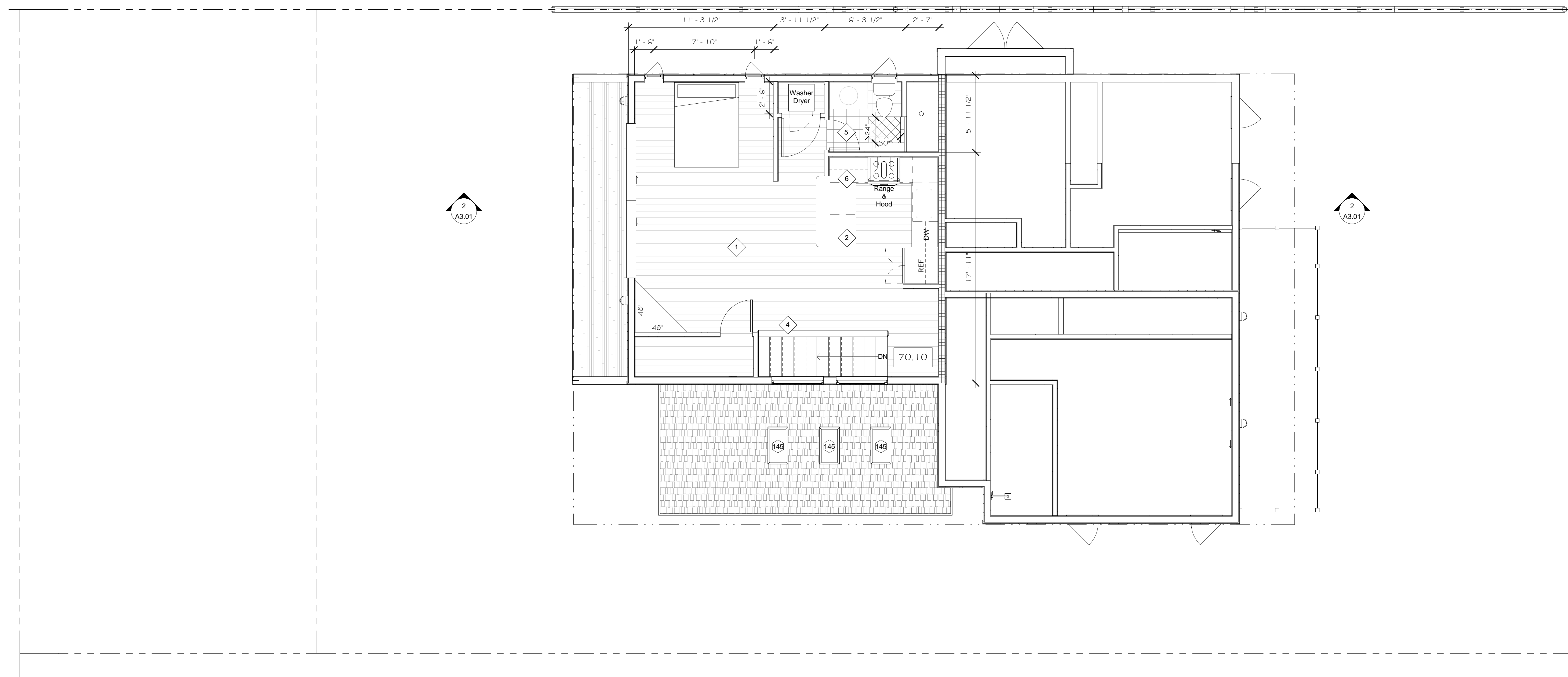


DATE: 07/13/20
SCALE: As indicated
DRAWN: GMH
JOB: 3RD AVE EAST
SHEET:

A1.02

OF SHEETS

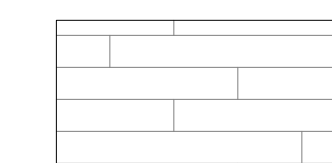
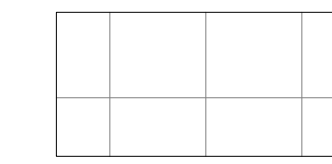
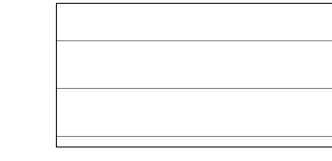


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① Lvl 03 - 2nd Unit SF - DD
1/4" = 1'-0"

NOTE:

NEW ATTACHED GARAGE AND ADU TO MEED OCCUPANCY SEPARATION REQUIREMENTS.

-  VINYL PLANK FLOORING
-  VINYL FLOORING, TILE
-  HARDWOOD FLOORING
-  REDWOOD OR TREX DECKING
-  CONCRETE

REVISIONS

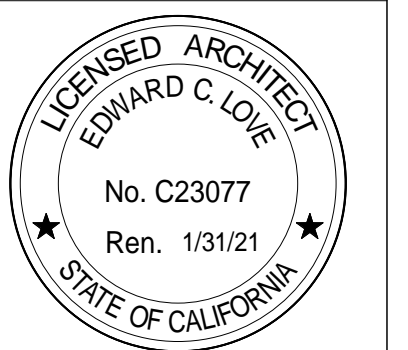


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ADU Floor Plan



DATE: 07/13/20

SCALE: As indicated

DRAWN: GMH

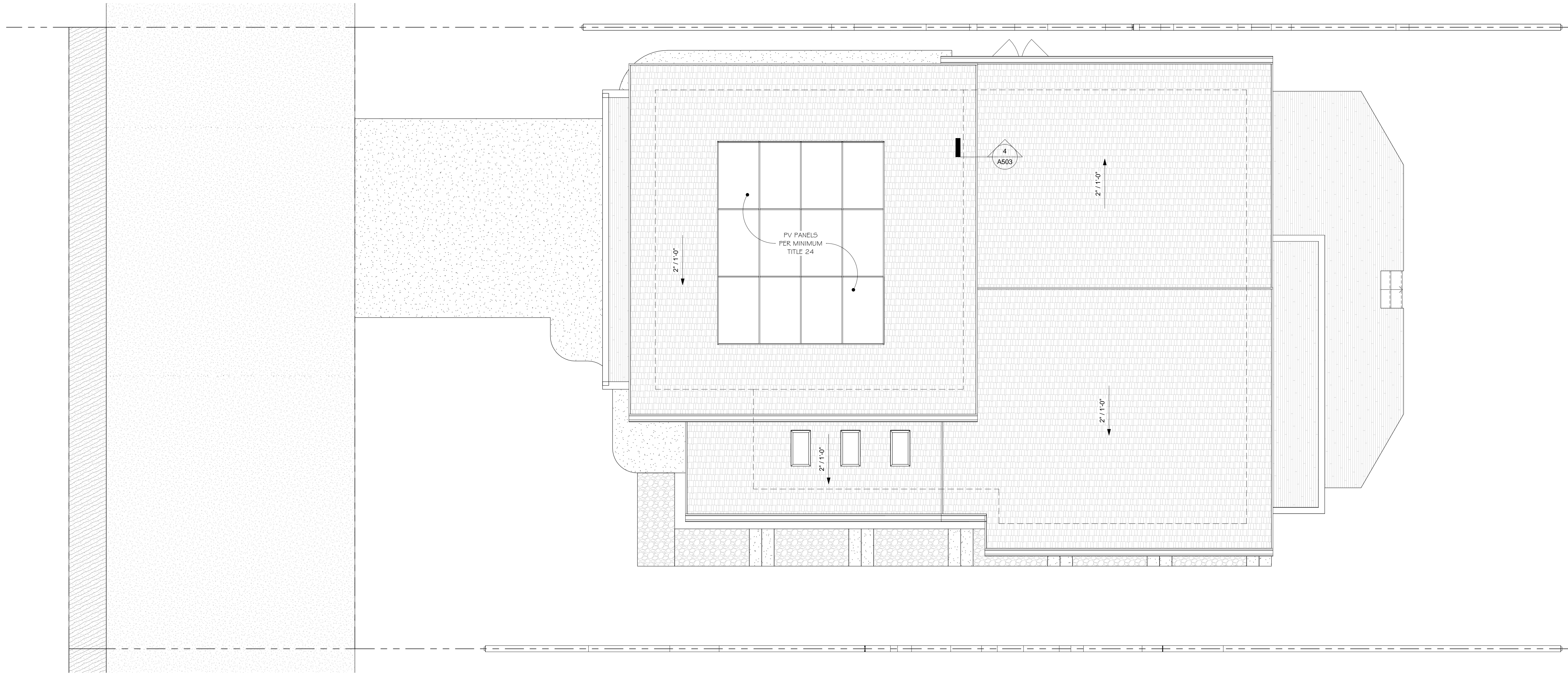
JOB: 3RD AVE EAST

SHEET:

A1.03

OF SHEETS

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① Lvl 04 - Ridge
1/4" = 1'-0"

REVISIONS

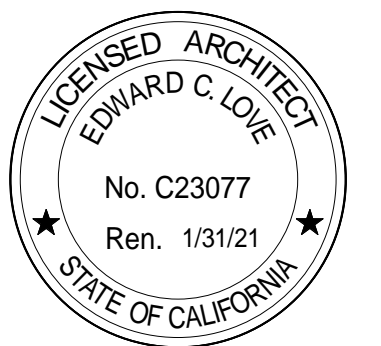


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Miramar, CA

Roof Plan



DATE: 07/13/20

SCALE: 1/4" = 1'-0"

DRAWN: GMH

JOB: 3RD AVE EAST

SHEET:

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OF SHEETS

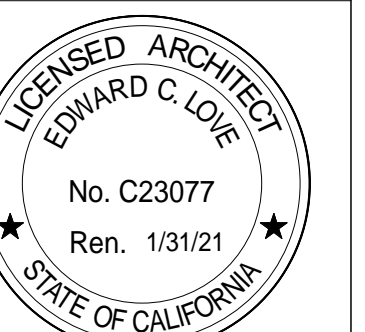


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Miramar, CA

Floor Area Ratio



DATE: 07/13/20

SCALE: 1/4" = 1'-0"

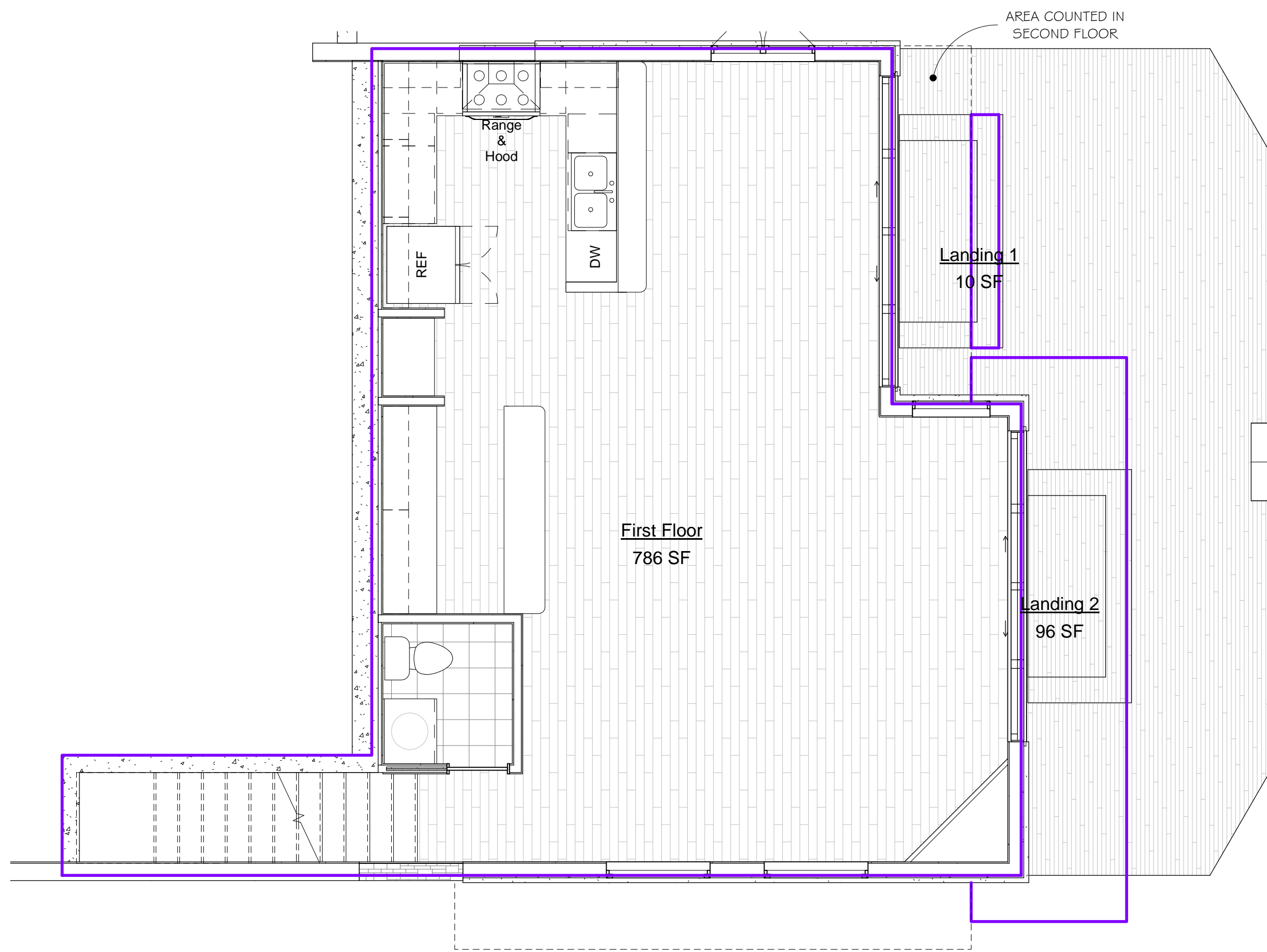
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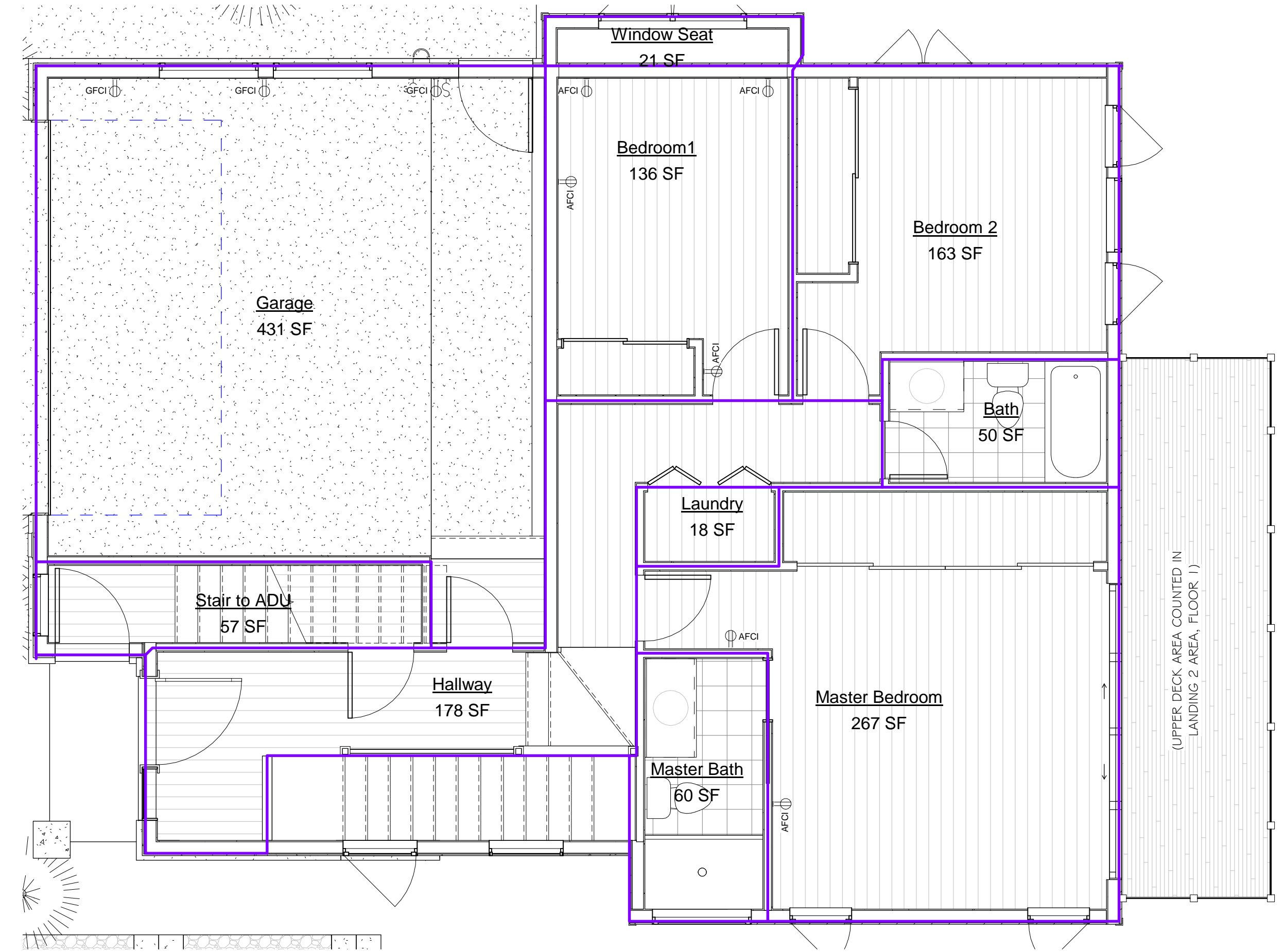
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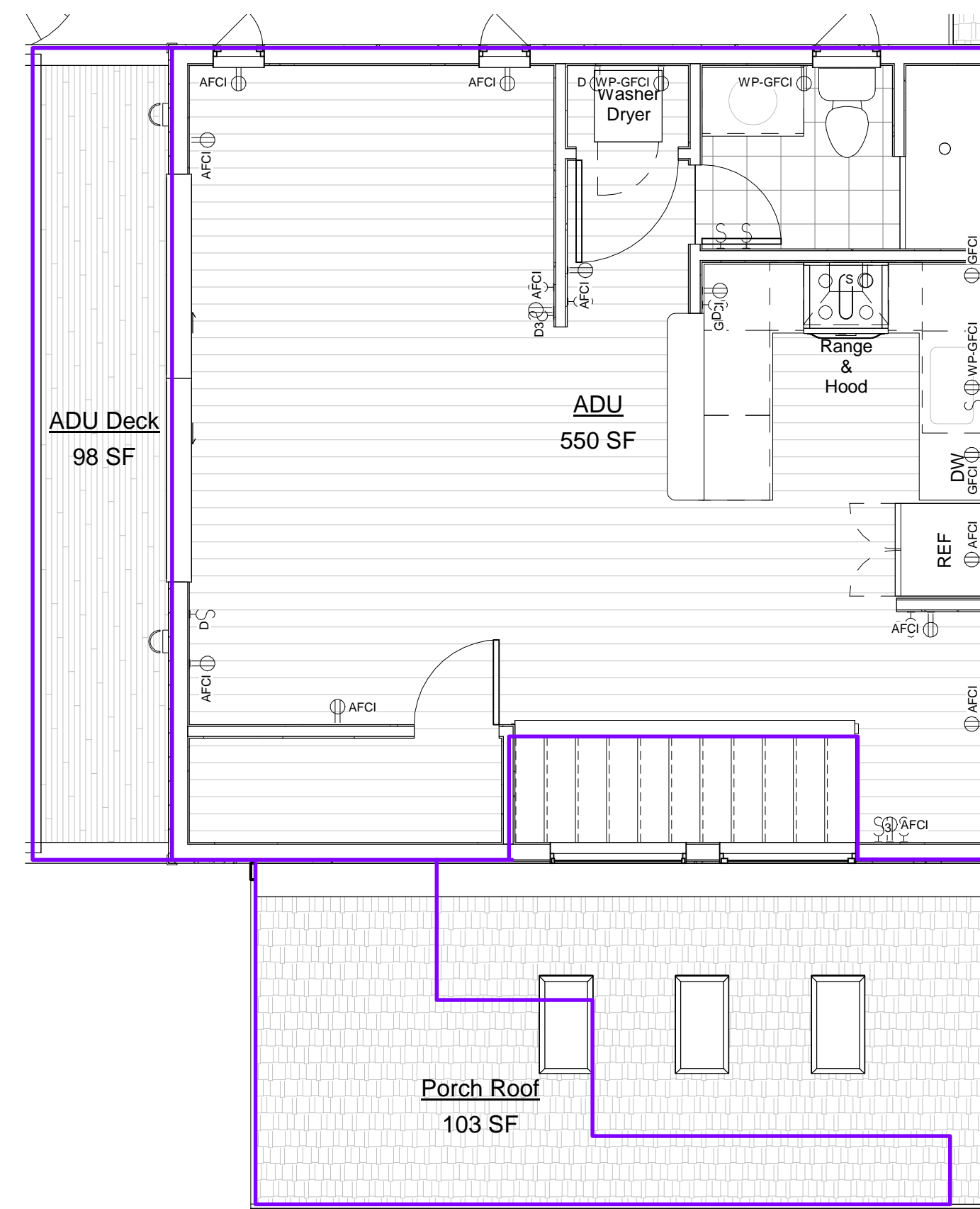
OF SHEETS



1 Lvl 01 - First SF - DD
1/4" = 1'-0"



2 Lvl 02 - Entry Level - DD
1/4" = 1'-0"



3 Lvl 03 - 2nd Unit SF - DD
1/4" = 1'-0"

Area Schedule (Rentable)			
Name	Area	Floor Area	Lot Coverage

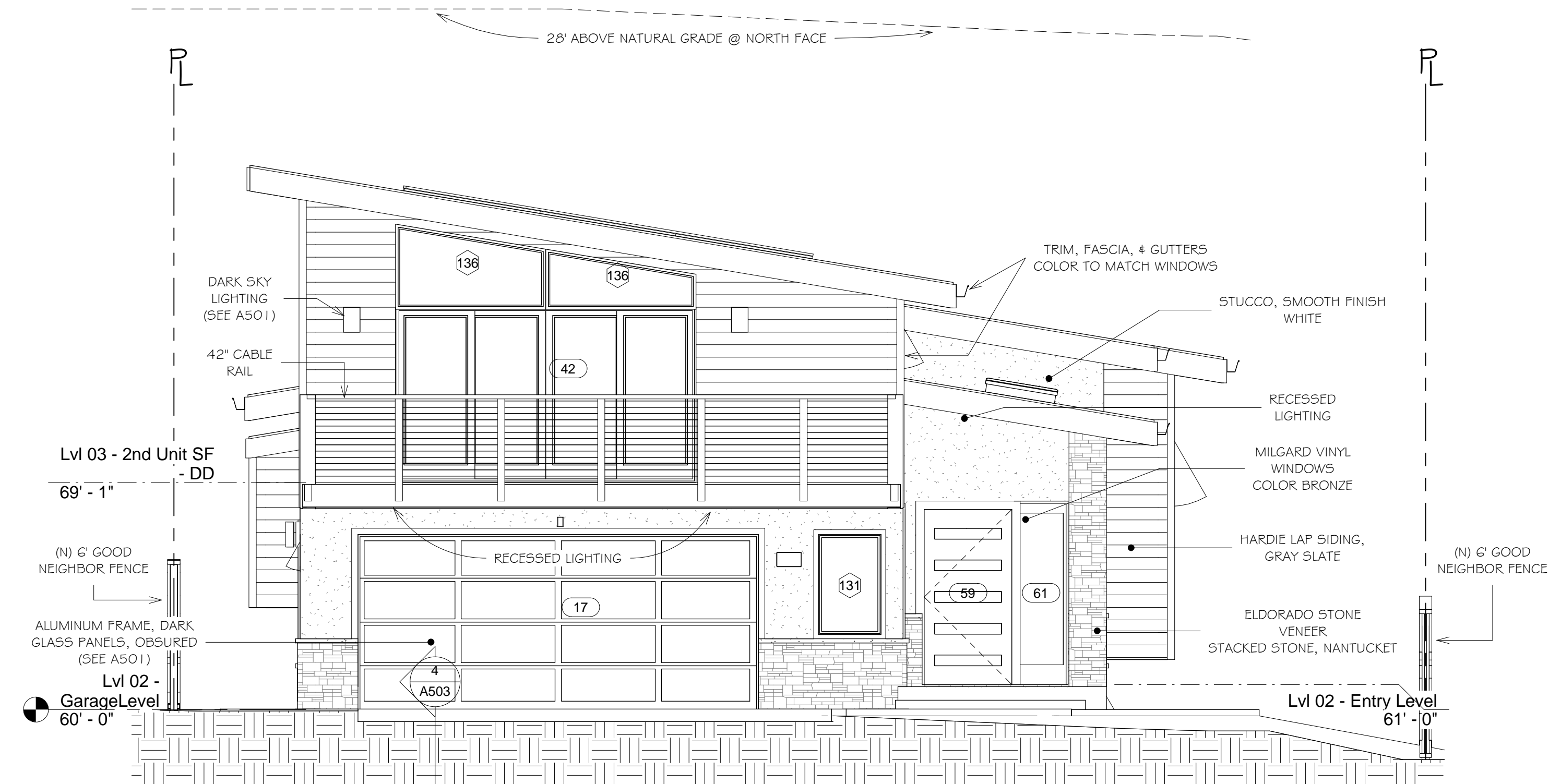
Lvl 01 - First SF - DD			
First Floor	786 SF	Yes	No
Landing 1	10 SF	No	Yes
Landing 2	96 SF	No	Yes

Lvl 02 - Entry Level			
Bath	50 SF	Yes	Yes
Bedroom1	136 SF	Yes	Yes
Bedroom 2	163 SF	Yes	Yes
Garage	431 SF	Yes	Yes
Hallway	178 SF	Yes	Yes
Laundry	18 SF	Yes	Yes
Master Bath	60 SF	Yes	Yes
Master Bedroom	267 SF	Yes	Yes
Stair to ADU	57 SF	Yes	Yes
Window Seat	21 SF	No	Yes

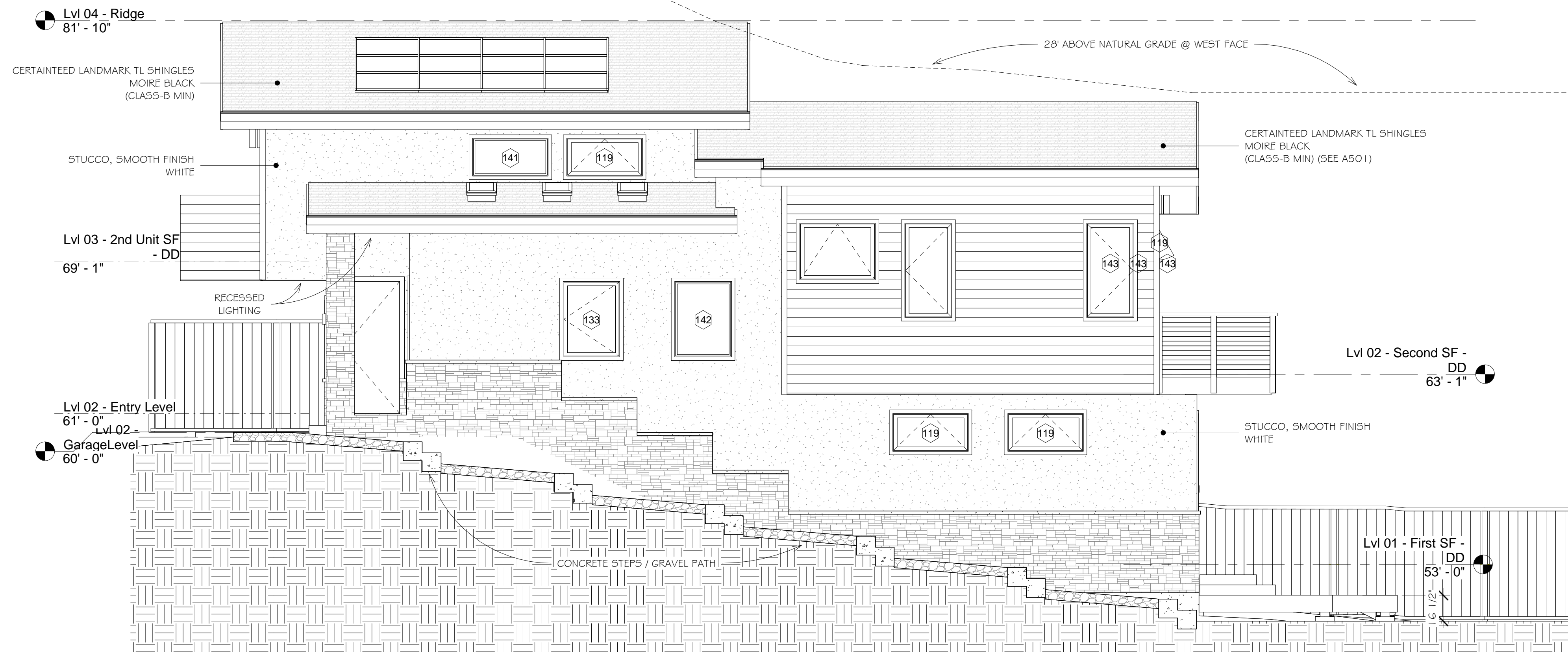
Lvl 03 - 2nd Unit SF - DD			
ADU	550 SF	Yes	No
ADU Deck	98 SF	No	Yes
Porch Roof	103 SF	No	Yes

TOTAL	2685	1688	
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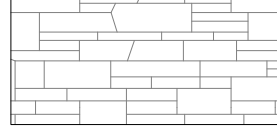
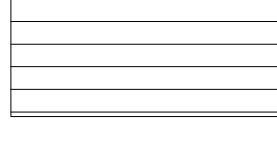
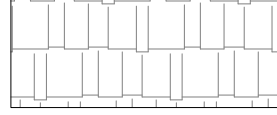
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1 North (Front)
1/4" = 1'-0"



2 West (Right)
1/4" = 1'-0"

-  STUCCO, SMOOTH FINISH WHITE
-  ELDORADO STONE VENEER, STACKED STONE, NANTUCKET
-  WOODTONE LAP SIDING, GRAY SLATE
-  ROOF MATERIAL TBD

Legend - Wall Hatch
1/2" = 1'-0"

REVISIONS

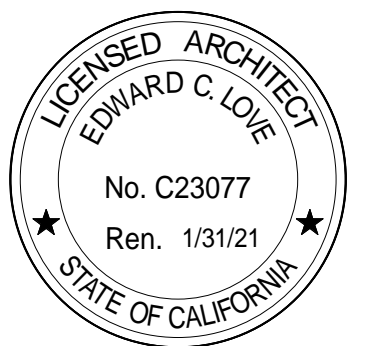


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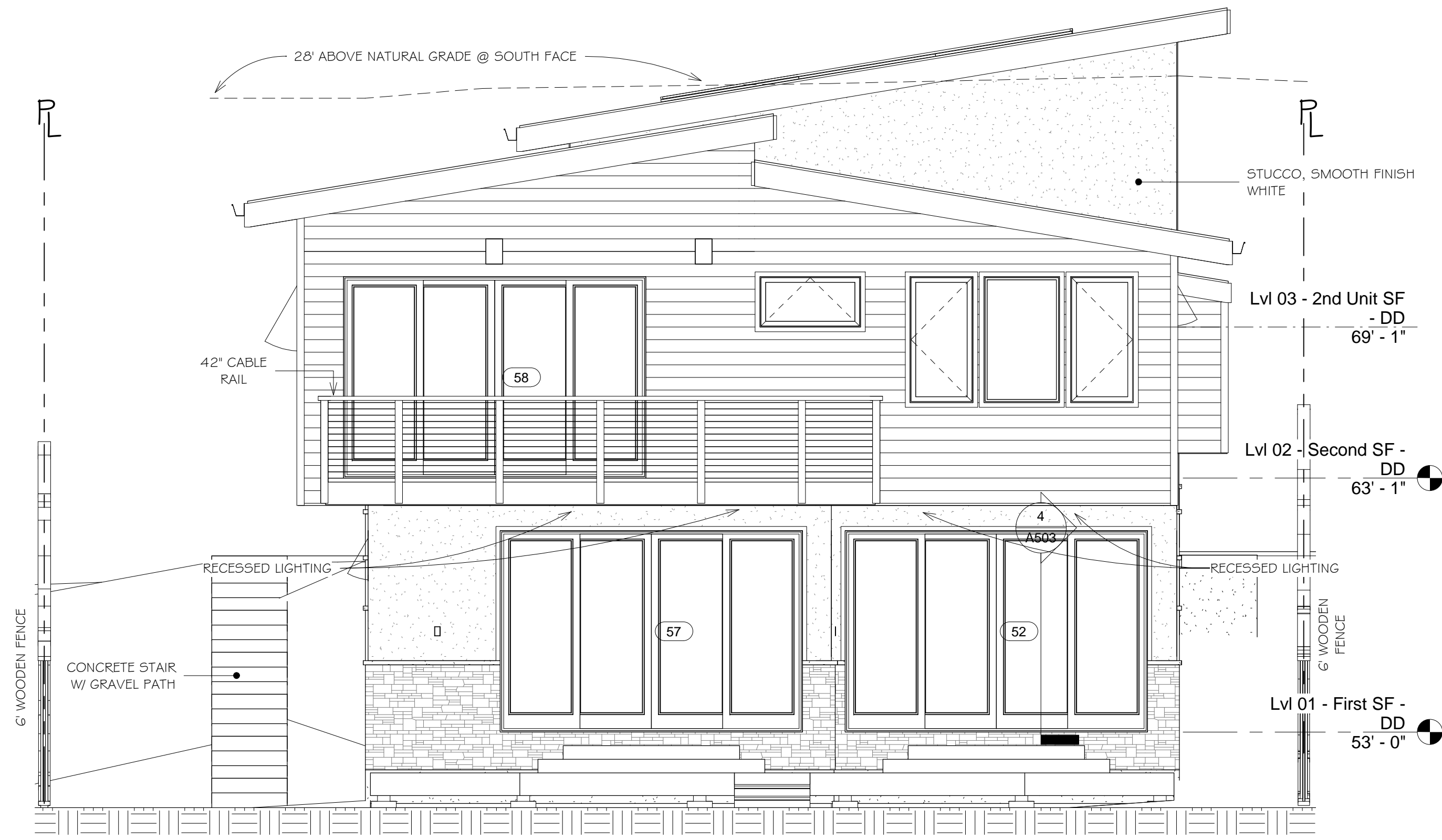
Elevation - North &
West



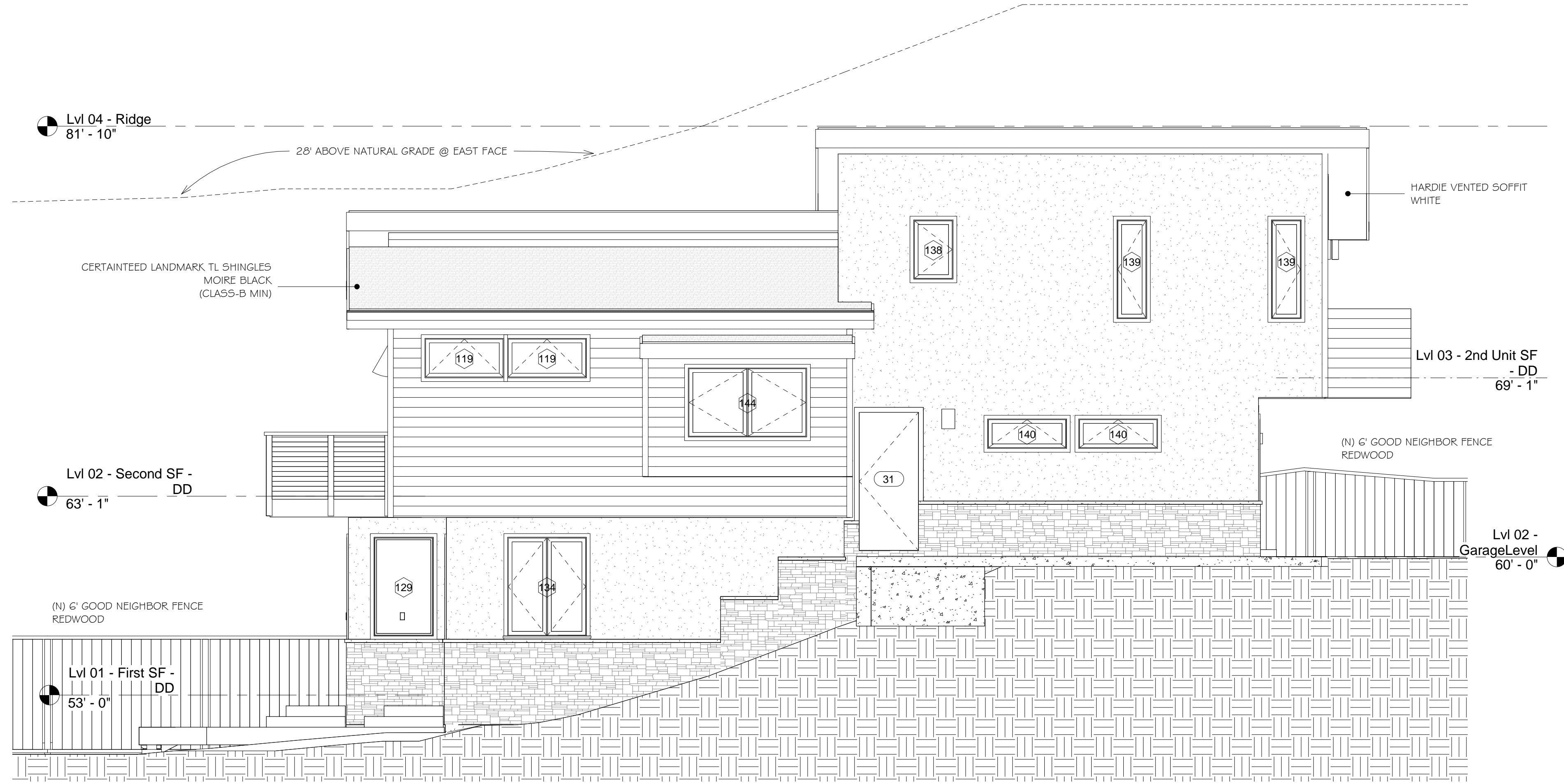
DATE: 07/13/20
SCALE: As indicated
DRAWN: Author
JOB: 3RD AVE EAST

SHEET:
A2.01
OF SHEETS

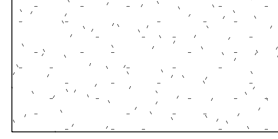
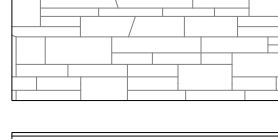

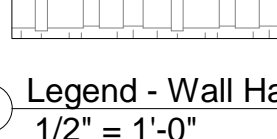
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① South (Rear)
1/4" = 1'-0"



② East (Left)
1/4" = 1'-0"

-  STUCCO, SMOOTH FINISH WHITE
-  ELDERADO STONE VENEER, STACKED STONE, NANTUCKET
-  WOODTONE LAP SIDING, GRAY SLATE
-  ROOF MATERIAL TBD

○ Legend - Wall Hatch
1/2" = 1'-0"

REVISIONS

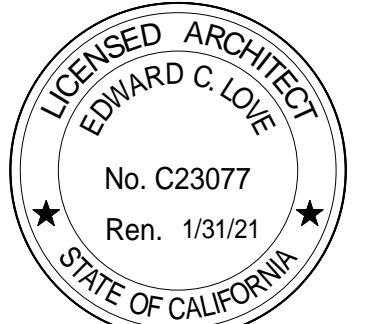


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Miramar, CA

Elevation - South &
East



DATE: 07/13/20
SCALE: As indicated
DRAWN: Author
JOB: 3RD AVE EAST

SHEET:

A2.02

OF SHEETS

REVISIONS

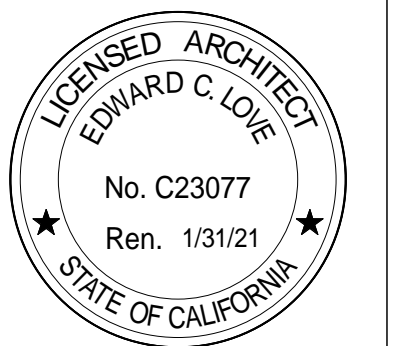


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Miramar, CA

Section Views



DATE: 07/13/20

SCALE: 1/4" = 1'-0"

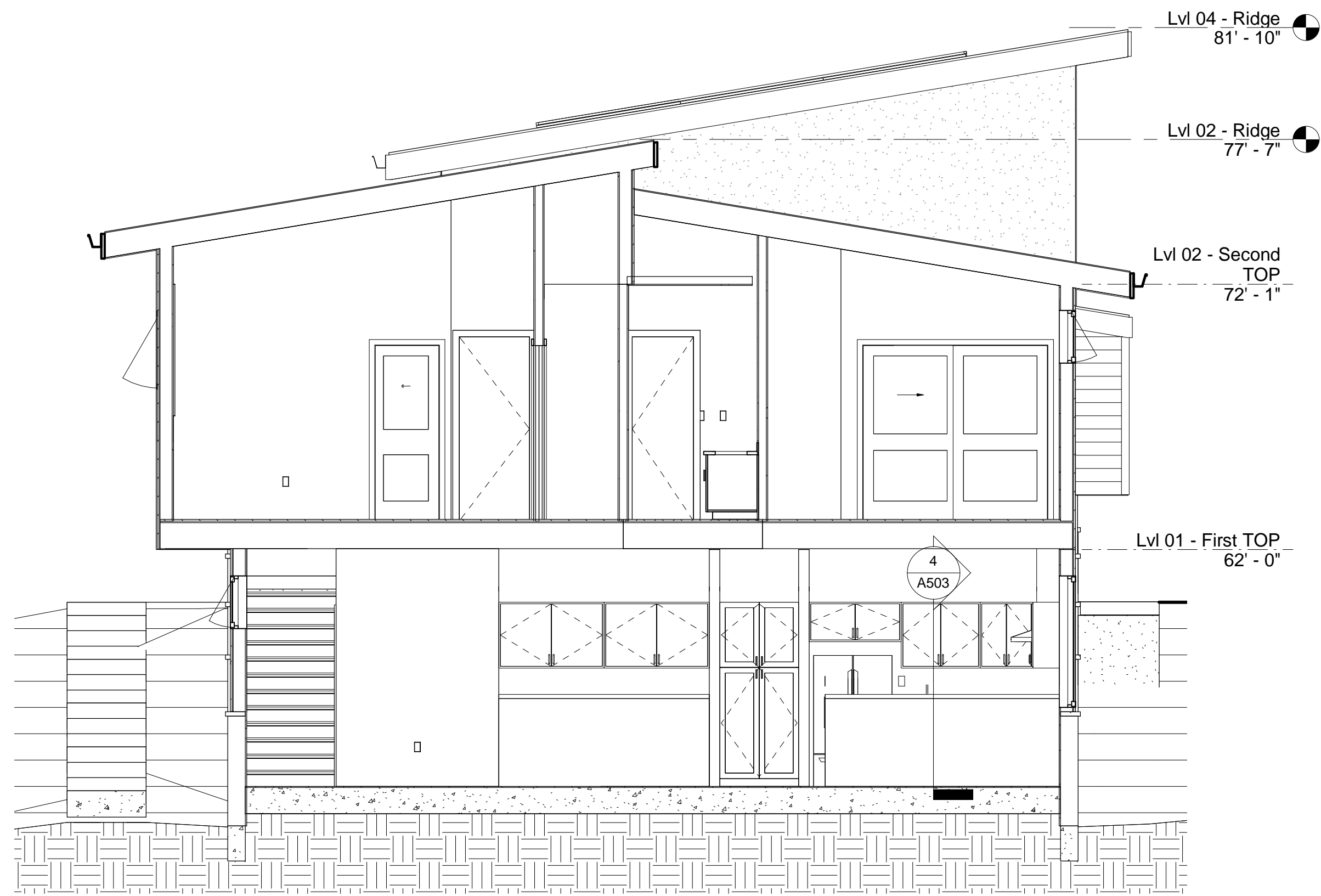
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JOB: 3RD AVE EAST

SHEET:

A3.01

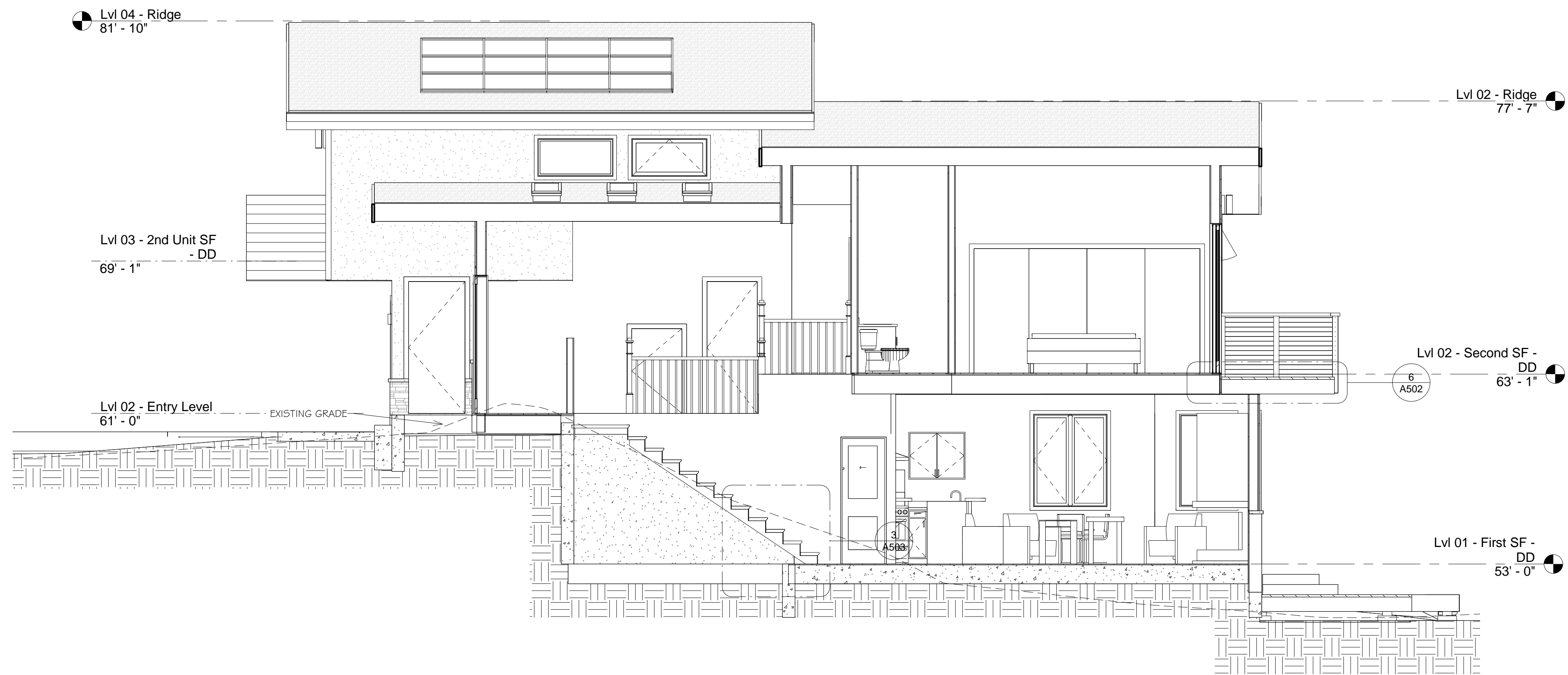
OF SHEETS



1 Section View - East West 01
1/4" = 1'-0"



2 Section View - North South Sect 01
1/4" = 1'-0"



3 Section View - North South Sect 02
1/4" = 1'-0"



MODERN design meets Asian INSPIRATION

Aluminum and glass combine to create a sleek, contemporary look. Many window options are available to control the degree of light transmission and privacy.

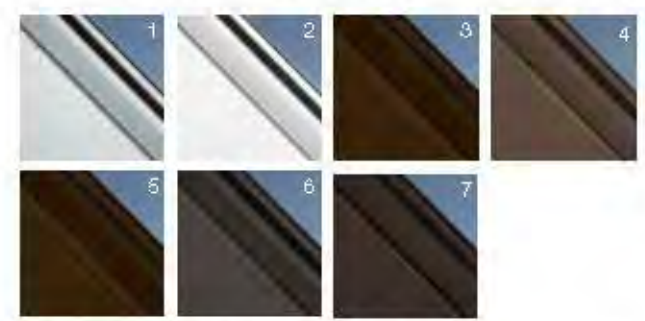
STYLE AND CONSTRUCTION



- Aluminum frame provides a virtually maintenance-free, long-lasting door.
- Tempered glass, acrylic or solid aluminum panel options. Insulated glass is also available for increased energy efficiency.
- Integral reinforcing tin provides increased strength and longevity.
- Heavy-duty steel ball bearing rollers with nylon tires provide quiet operation.

See your [Display Dealer](#) for [video](#) availability.

FRAME/SOLID PANEL COLOR OPTIONS



- Clear Aluminum (Anodized)
- Standard White
- Bronze (Painted)
- Chocolate (Painted)
- Bronze (Anodized)
- Black (Anodized)
- Dark Bronze (Anodized)

Due to the anodizing process, color variations may occur. The use of "Standard Painted" is recommended for a more consistent bronze finish color. Custom colors available.

Everything You Need

- Minimal and even sightlines across all operating styles provide a clean look that is visually appealing.
- Our remanaged contemporary look to the SmartTouch™ window lock on single hung and sliders practically disappears from view when closed.
- Worry-free vinyl construction that won't corrode and does not need to be painted.
- Eight premium exterior vinyl finishes to choose from.
- Windows made to custom specifications with 2-7/8" jamb depth, perfect for 2" blinds.
- Suitable for new construction and replacement window projects.
- ENERGY STAR® packages designed for your specific climate.
- WeeCo hole covers and pull rail screens come standard to help your windows continue to perform their best.



Even Sightlines

All Triax™ Series windows come with even sightlines, from top to bottom, and across operating styles.

This provides a streamlined and aesthetically pleasing effect throughout your home, no matter which window operating style you choose.



© Milgard.com

Built for Performance

Windows and Doors for the Energy-Conscious Homeowner

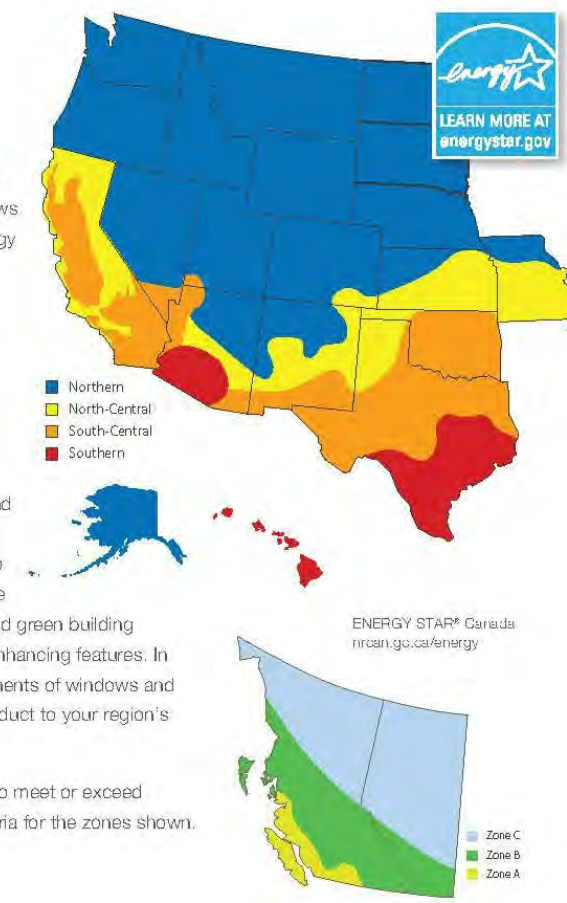
At Milgard, we help homeowners make an impact on their energy consumption through our energy-efficient windows and patio doors. Leaky and inefficient windows and doors account for poor insulation and higher energy usage in households. Energy loss can happen in two ways and a lot depends on where you live:

- Cold climates lose energy in the form of heat.
- Hot climates lose energy in the form of cooling.

Tested and Built for Your Climate

All Milgard windows and patio doors are designed to meet tough thermal and solar requirements of state and local jurisdictions. We conduct thermal simulations to improve energy performance in our windows and patio doors so our consumers can enjoy a more comfortable home. We make it easy to meet local energy codes and green building efficiency standards with a selection of performance enhancing features. In fact, Milgard has options available to tailor the components of windows and doors to specific climates—perfectly matching the product to your region's energy needs.

Milgard adheres to ENERGY STAR® v6 requirements to meet or exceed U-Factor and Solar Heat Gain Coefficient (SHGC) criteria for the zones shown.



ENERGY STAR® Requirements			
Zone	U-Factor	SHGC	Your energy efficient windows could include one or more of the following features based on your climate:
ENERGY STAR v6 Northern	0.27	-	SunCoat® or SunCoatMAX® EdgeGardMAX® Argon or Krypton Triple Surface
ENERGY STAR v6 North-Central	0.30	0.43	
ENERGY STAR v6 South-Central	0.30	0.35	
ENERGY STAR v6 Southern	0.43	0.35	

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Milgard Energy Performance Options

Zone	U-Factor	SHGC
ENERGY STAR v6 Northern	0.27	-
ENERGY STAR v6 North-Central	0.3	0.4
ENERGY STAR v6 South-Central	0.3	0.25
ENERGY STAR v6 Southern	0.4	0.25
R5	0.20	

Your energy efficient windows could include one or more of the following features based on your climate:

SunCoat® or SunCoatMAX® Low-e coatings

EdgeGardMAX® spacers

Argon or Krypton gas-filled

4th Surface

Triple Glaze

Product Overview

The outdoor LED wall lantern is uniquely designed with a contemporary feel. Its durable aluminum construction with hand painted black finish and frosted glass gives a sophisticated look.

This uniquely designed fixture is the choice of discriminating yet value conscious homeowners who want to enrich their home.

Darksy certified
Light color is 3000K (bright white)
360 Lumens
80 CRI and uses only 5.5-Watt



Specifications

Dimensions		Product Height (in.)	
Product Depth (in.)	5.91	Product Height (in.)	8.01
Product Length (in.)	8.01	Product Width (in.)	4.49
Details			
Actual Color Temperature (K)	3000	Color Rendering Index	80
Color Temperature	Bright White		
Exterior Lighting Product Type			
Product Type	Cylinder Lights	Fixture Color/Finish	Black
Fixture Material	Aluminum	Glass/Lens Type	Frosted
Light Bulb Type Included			
Light Bulb Type Included	Integrated LED	Light Output (lumens)	360
Maximum Wattage (watts)	0	Number of Bulbs Required	0
Watt Equivalence	60		
Outdoor Lighting Features			
Outdoor Lighting Features	Dark Sky, Weather Resistant, Weather Resistant		
Power Type			
Power Type	Hardwired		
Product Weight (lb.)	2.29lb		
Style			
Style	Modern		

REVISIONS

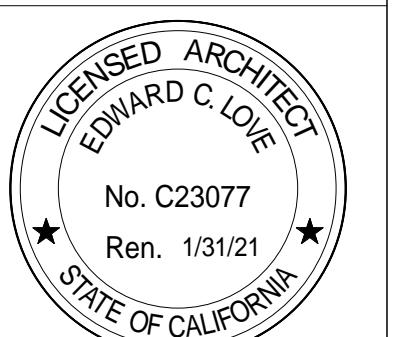


EDWARD C. LOVE, ARCHITECT

Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
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New Residence for
Stephen & Rita Semprevio
3rd Avenue
Miramar, CA

Details - Products



DATE: 07/13/20

SCALE:

DRAWN: GMH

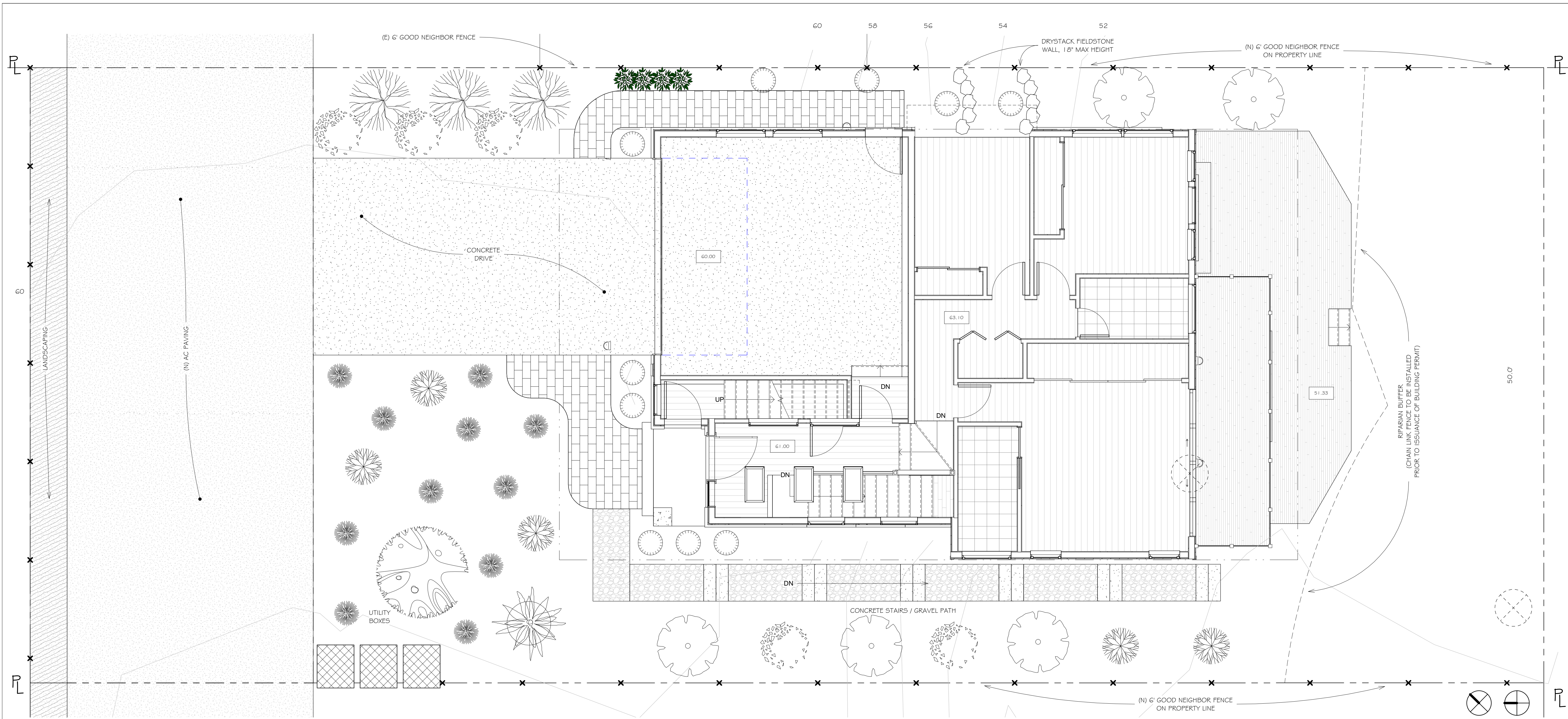
JOB: 3RD AVE EAST

SHEET:

A5.01

OF SHEETS

C:\Users\gmh\Desktop\WorkFiles\3rd Ave - Lot 2\Revit\3rdAve.rvt



1 Site - Landscaping
1/4" = 1'-0"

NAME	COMMON NAME	QTY/SIZE	W	TYPE
ARBUSUS UNEDO	STRAWBERRY TREE	1 - 15 GAL	L	TREE
LEPTOSPERMUM LAEVIGATUM	AUSTRALIAN TEA TREE	5 - 5 GAL	L	SHRUB
WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 - 5 GAL	L	SHRUB
AGONIS FLEXUOSA	PEPPERMINT TREE	1 - 5 GAL	L	TREE
HAKEA SUAVEOLENS	SWEET HAKEA	3 - 5 GAL	L	SHRUB
AZARA MICROPHYLLA	BOXLEAF AZARA	1 - 5 GAL	L	SHRUB
COTONEASTER LOW FAST	COTONEASTER 'LOW FAST'	11 - 1 GAL	L	GROUND COVER
SOLLYA HETEROPHYLLA	AUSTRALIAN BLUEBELL	10 - 1 GAL	L	GROUND COVER
MYOPORUM PARVIFOLIUM	CREEPING BOOBIALLA	5 - 1 GAL	L	GROUND COVER

TOTAL PLANTS :
2 - 15 GAL
15 - 5 GAL
26 - 1 GAL

PLANTING NOTES

- INCORPORATE COMPOST AT A RATE OF AT LEAST 4 CUFT PER 1,000 SQFT TO A DEPTH OF 6" INTO LANDSCAPE AREA
- A MINIMUM OF A 3" LAYER OF MULCH SHOULD BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT IN AREAS OF CREEPING GROUND COVER OR TURF

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE MWELO PER APPENDIX D

SIGNATURE : *J. Alan Whiting* DATE : 06/24/2020

- ALL PLANTINGS TO BE HAND WATERED
- MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) SHORT FORM PRESCRIPTIVE COMPLIANCE

MWELO APPLICANT: JERRY ALAN WHITING
FLORA FARM
340 PURISSIMA ST
HALF MOON BAY, CA 94019
LIC #549103
650.678.5801
florafarmmb@yahoo.com

THIS PROJECT INCORPORATES LANDSCAPING EQUAL TO OR LESS THAN 2500 SQFT AND WILL BE USING THIS FORM TO IDENTIFY PRESCRIPTIVE REQUIREMENTS WHICH WILL BE INCLUDED AS PART OF THE LANDSCAPE PROJECT.

TOTAL LANDSCAPE AREA : 1,890 SQFT
SPECIAL LANDSCAPE AREA : N/A
WATER TYPE : POTABLE
WATER PURVEYOR : MWSO

SIGNATURE : *J. Alan Whiting*

REVISIONS



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New Residence for
Stephen & Rita Semprevivo
3rd Avenue
Miramar, CA

Landscape Plan

FOR REVIEW ONLY

DATE: 05/19/20

SCALE: 1/4" = 1'-0"

DRAWN: GMH

JOB: 3RD AVE EAST

SHEET:

LI.01

OF SHEETS