

Planning and Building Department

455 County Center, 2nd Floor ■ Redwood City CA 94063
Mail Drop: PLN 122 ■ TEL (650) 363-4161 ■ FAX (650) 363-4849
www.co.sanmateo.ca.us/planning

Planning Permit Application Form

PLN: _____

BLD: _____

Applicant/Owner Information

Applicant: Clay and Jennifer Collins

Mailing Address: 26860 Canyon End Rd
Canyon Country, CA Zip: 91387

Phone,W: 6262550616 H: _____

E-mail Address: CCollins@fiskcorp.com FAX: _____

Name of Owner (1): same as applicant

Name of Owner (2): _____

Mailing Address: _____

Mailing Address: _____

Zip: _____

Zip: _____

Phone,W: _____

Phone,W: _____

H: _____

H: _____

E-mail Address: _____

E-mail Address: _____

Project Information

Project Location (address): _____

Assessor's Parcel Numbers: 036 — 055 — 240

Zoning: S-17, R-1

Parcel/lot size: 5,500 SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

New two-story single family residence with new driveway and landscaping.

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

Vacant sloped parcel with existing vegetation.

Describe Existing Structures and/or Development:

No existing structures on vacant parcel.

Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: _____

Owner's signature: _____

Applicant's signature: [Handwritten Signature] 4/28/20

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
 Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN _____

Other Permit #: _____

1. Basic Information

Applicant:

Name: Clay and Jennifer Collins
 Address: 26860 Canyon End Rd
Canyon Country, CA Zip: 91387
 Phone,W: 6262550616 H: _____
 Email: CCollins@fiskcorp.com

Owner (if different from Applicant):

Name: _____
 Address: _____
 _____ Zip: _____
 Phone,W: _____ H: _____
 Email: _____

Architect or Designer (if different from Applicant):

Name: Richard Terrones
 Address: 1103 Juanita Ave Burlingame, CA Zip: 94010
 Phone,W: 6506961200 H: _____ Email: rt@dtaanf.com

2. Project Site Information

Project location:

APN: 036055240
 Address: _____
 _____ Zip: _____
 Zoning: Residential R-1
 Parcel/lot size: 5500 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):

3. Project Description

Project:

- New Single Family Residence: 2,210.25 sq. ft
- Addition to Residence: _____ sq. ft
- Other: _____

Describe Project:

New two-story single family residence

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish	Check if matches existing
		(If different from existing, attach sample)	
a. Exterior walls	<u>Stucco, Wood siding, Concrete</u>	<u>Match siding, concrete</u>	<input type="checkbox"/>
b. Trim	<u>Wood fascia - painted</u>	<u>KM Balsamic Reduction</u>	<input type="checkbox"/>
c. Windows	<u>Aluminum clad</u>	<u>Pella "French Roast"</u>	<input type="checkbox"/>
d. Doors	<u>Wood, Aluminum Clad</u>	<u>Pella "French Roast"</u>	<input type="checkbox"/>
e. Roof	<u>Standing Seam Metal Roof</u>	<u>MS "Dark Brown"</u>	<input type="checkbox"/>
f. Chimneys	<u>_____</u>	<u>_____</u>	<input type="checkbox"/>
g. Decks & railings	<u>Tile, Cable Railing</u>	<u>Slate Grey, painted rails</u>	<input type="checkbox"/>
h. Stairs	<u>Concrete</u>	<u>Concrete w/ lamp black</u>	<input type="checkbox"/>
i. Retaining walls	<u>Concrete</u>	<u>Concrete w/ lamp black</u>	<input type="checkbox"/>
j. Fences	<u>_____</u>	<u>_____</u>	<input type="checkbox"/>
k. Accessory buildings	<u>_____</u>	<u>_____</u>	<input type="checkbox"/>
l. Garage/Carport	<u>Concrete w/ wood siding door</u>	<u>Concrete, wood siding</u>	<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

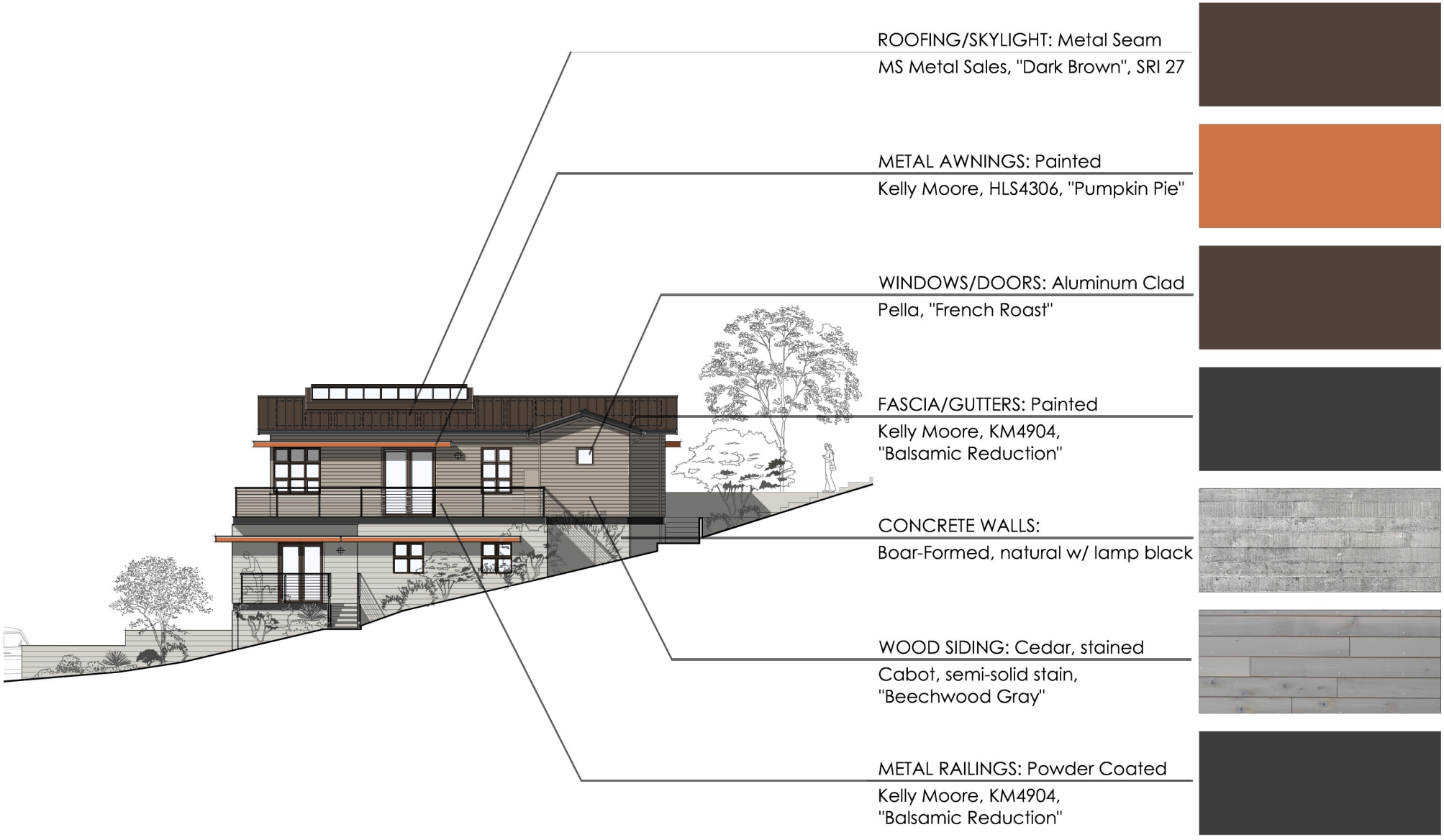
- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: _____ Applicant: 

Date: _____ Date: 



ROOFING/SKYLIGHT: Metal Seam
MS Metal Sales, "Dark Brown", SRI 27



METAL AWNINGS: Painted
Kelly Moore, HLS4306, "Pumpkin Pie"



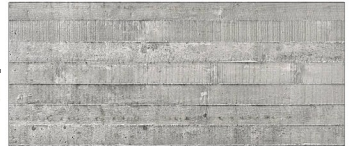
WINDOWS/DOORS: Aluminum Clad
Pella, "French Roast"



FASCIA/GUTTERS: Painted
Kelly Moore, KM4904, "Balsamic Reduction"



CONCRETE WALLS:
Boar-Formed, natural w/ lamp black



WOOD SIDING: Cedar, stained
Cabot, semi-solid stain, "Beechwood Gray"



METAL RAILINGS: Powder Coated
Kelly Moore, KM4904, "Balsamic Reduction"



Abbreviations

A.B. Anchor Bolt	FTG. Footing	S.B. Solid Blocking
A.C. Asphalt Concrete	FUT. Future	S.C. Solid Core
ADJ. Adjustable	G.I. Galvanized Iron	S.O.V. Shut Off Valve
ALUM. Aluminum	GA. Gauge	S.S. Sewer System
ANCH. Anchor	GALV. Galvanized	SH. Schedule
APPROX. Approximately	GL. Glass	SEC. Section
ARCH. Architectural	GR. Grade	SHT. Sheet
ASPH. Asphalt	H.B. Hose Bib	SHTG. Sheathing
B.U. Built-Up	H.C. Hollow Core	SPEC. Specification
BD. Board	H.M. Hollow Metal	SPL. Splash
BLDG. Building	HR. Hour	STA. Station
BLK. Block	HT. Height	STD. Standard
BLKG. Blocking	I.D. Inside Diameter	STRUC. Structural
BM. Beam	I.D.F. Intermed. Dist. Frame	SUSP. Suspended
BOT. Bottom	I.E. Invert Elevation	T.O.C. Top Of Concrete
C. Conduit	INSUL. Insulation	T.O.P. Top Of Pavement
C.B. Catch Basin	INT. Interior	T.O.S. Top Of Sidewalk
C.I. Cast Iron	INV. Invert	T.O.W. Top Of Wall
C.J. Construction Joint	J.H. Joist Hanger	U.O.N. Unless Otherwise Noted
C.O.T.G. Clean Out To Grade	JAN. Janitor	W. Waste
CAB. Cabinet	JT. Joint	W.C. Water Closet
CEM. Cement	LAM. Laminate	W/ With
CLG. Ceiling	LAV. Lavatory	W/O Without
CL.O. Closet	LT. Light	WD. Wood
CLR. Clear	MAX. Maximum	WP. Waterproof
COL. Column	M.D.F. Main Dist. Frame	WT. Weight
COMP. Composition	MEMB. Membrane	
CONC. Concrete	MFR. Manufacturer	
CONST. Construction	MIN. Minimum	
CONT. Continuous	MIR. Mirror	
CORR. Corridor	M.O. Masonry Opening	
CTR. Center	MTD. Mounted	
CTSK. Countersink	MTL. Metal	
CW. Cold Water	MUL. Mullion	
D.S. Downspout	N. North	
D.S.P. Dry Standpipe	N.I.C. Not In Contract	
DBL. Double	NOM. Nominal	
DEPT. Department	N.T.S. Not To Scale	
DET. Detail	O.C. On Center	
DIA. Diameter	O.H. Overhang	
DIM. Dimension	OPG. Opening	
DN. Down	OPP. Opposite	
DWG. Drawing	P.LAM. Plastic Laminate Plate	
E.F. Exhaust Fan	PL. Plate	
E.J. Expansion Joint	PLAS. Plaster	
E.P. Electrical Panel	PLWD. Plywood	
EA. Each	PR. Pair	
ELEC. Electrical	PTDF. Pressure Treated Douglas Fir	
ELEV. Elevation	R.O. Rough Opening	
EMER. Emergency	R.W.L. Rain Water Leader	
E.N. End Nailing	REF. Refer To:	
ENCL. Enclosure	REINF. Reinforced	
EQ. Equal	REQD. Required	
EQUIP. Equipment	RESIL. Resilient	
F.A. Fire Alarm	RM. Room	
F.D. Floor Drain	RWD. Redwood	
F.E. Fire Extinguisher		
F.P. Fireproof		
FDN. Foundation		
FIN. Finish		
F.O.C. Face Of Conc		
F.O.F. Face Of Finish		
F.O.S. Face Of Stud		
FRMG. Framing		

New Single Family Residence Collins Residence

Montara, California

APN # 036-055-240

DTA
Dreiling Terrones Architecture Inc.
Architecture
Infrastructure
Environments

1103 Juanita Avenue
Burlingame, California
94010
650.696.1200

314 Center Street #220
Healdsburg, California
65448
707.431.1305

General Notes

These Drawings and their content are and shall remain the property of Dreiling Terrones Architecture whether the project for which they were prepared is executed or not. They are not to be used by any person other than the Owner or for any other project or extension to this project except by agreement in writing with the Architect.

The Architect expressly reserves his common law copyright and other property rights relating to these Drawings and their content. These Drawings are not to be reproduced, altered or otherwise modified in any manner whatsoever except by the Architect. These Drawings and their content may not be assigned to a third party without written consent of the Architect. In the event of unauthorized use of these Drawings by a third party, the third party shall hold harmless and indemnify the Architect.

These Drawings are an instrument of services performed by the Architect for the benefit of the Owner. They are intended for use in a negotiated construction contract and, therefore, may not detail or specify all materials, manufacturers or assemblies. Details, assemblies and products commonly known to be industry standard for any given trade may not be fully detailed or specified. Where necessary, the Contractor shall provide samples, data, product literature as required to assist the Owner or the Owner's agent in making selections. For the purpose of estimating items not fully detailed the Contractor shall provide an allowance amount and so condition such estimates. The Owner and/or Contractor shall submit to the Architect, in writing, any requests for modifications to the plans or specifications by means of shop drawings, samples or other means as appropriate. Shop drawings that are submitted to the Architect for review do not constitute "in writing" unless it is brought to the attention of the Architect that specific changes are being suggested.

No guarantee for quality of construction is implied or intended by these Documents. The Contractor shall assume full responsibility for any construction deficiencies.

The Owner and Contractor shall hold harmless, indemnify and defend the Architect from any action initiated by the initial Owner, or any subsequent owner, for construction deficiencies, modifications, substitutions, maintenance or any such condition which is beyond the control of the Architect.

All Contract Documents described in the Construction Contract shall be considered one document and are intended to be used as one document. Contractor and all sub-contractors shall review all documents prior to bidding. Sub-contractors are responsible for any information pertaining to their work no matter where it may occur in these Documents.

It is the intent of these Documents to provide for the construction of a moisture proof enclosure of interior space. If the Owner, Contractor or any Sub-contractors become aware of any assembly or condition, either shown in the Drawings or constructed on-site, which does not, in their opinion, satisfy this intent, it is their responsibility to notify the Architect within a reasonable amount of time so that the condition or assembly can be reviewed, and, if necessary, modifications can be made to the Documents or to the Work without impacting the progress of the Work.

All information pertaining to the site shall be, and shall remain, the Owner's responsibility. This information shall include legal description, deed restrictions, easements, site survey, topographic survey, location of existing improvements, soils report, and all related data.

Code Compliance
All work shall comply with applicable codes and trade standards including but not limited to the latest adopted edition of the following:
2019 California Building Codes, 2019 Residential Building Code (where applicable), 2019 California Mechanical Code, 2019 California Electrical Code, 2019 California Plumbing Code, including all amendments as adopted in Ordinance 1989, and 2019 California Energy Efficiency Standards (Title 24), including Cool Roof requirements.

Contractor shall submit recycling and waste reduction form, and it must be approved prior to issuance of building permit.

All applicable state and local codes, ordinances, legislation, as adopted by the County of San Mateo at time of permit application.

It is the Contractors responsibility to identify and familiarize himself with current codes and ordinances including local variations on national or regional codes Requirements of adopted codes shall supersede any conflicting requirements defined in these Documents. When a conflict is suspected the Contractor shall so advise the Architect in writing within a reasonable time so that the conflict, if it exists, can be resolved without impacting the progress of the Work.

Sheet Index

The Contractor shall include and implement all pertinent requirements of this project as set forth in any conditions of approval attached to the project by governing agencies. These conditions shall become a part of the Contract Documents.

Site Examination
The Contractor shall thoroughly examine the site and satisfy himself as to the conditions under which the Work is to be performed. The Contractor shall verify at the site all measurements and conditions affecting his work and shall be responsible for same unless brought to the attention of the Owner or his agent prior to proceeding with the Work.

Dimension Control
It is the responsibility of the Contractor to check and verify all conditions, dimensions, lines and levels alignments indicated; proper fit and attachment of all parts is required. Should there be any differences between the Documents and the actual conditions, the Contractor shall notify the Owner or his agent in writing for clarification and/or adjustment. In the event of failure to do so, the Contractor shall be responsible for corrections required or subsequent changes occurring as a result of these differences.

Note to Subcontractors: Location of many items or assemblies is critical for alignment of other assemblies which may be installed by other trades and which may not be installed at the time of installation of your work. All Sub-contractors shall review the manner in which their work fits, aligns or comes into contact with work of other trades. The Contractor and each Sub-contractor shall review all Documents and will be responsible for information contained at any location within the Documents which pertains to their work. Deficiencies resulting from failure to do so will be removed and corrected at Contractors expense.

All dimensions and conditions shall be checked and verified, both in the Documents and on the job, by each Sub-contractor before they proceed with their work. Any errors, omissions, discrepancies or deficiencies shall be brought to the attention of the General Contractor prior to proceeding with the Work. The Contractor shall notify the Owner in writing for resolution.

Commencement of work by any Sub-contractor shall indicate a knowledge and acceptance of all conditions described in the Documents or existing on site which could affect their work.

All dimensions take precedent over scale. Where dimensions are not entirely clear the Contractor shall notify the Architect and request clarification.

DRAWINGS SHALL NOT BE SCALED.

Moisture Protection During Construction
Should any special situations or climatic conditions occur during construction the Owner, Contractor and Sub-contractors shall so notice and implement any measures required to assure the protection of materials and assemblies.
The Contractor shall take all necessary measures to protect new or existing construction and materials from damage due to weather or any other adverse conditions.

Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further County approvals.

Any recycling containers, debris boxes or dumpsters for the construction project shall be placed upon the private property, if feasible, as determined by the Community Development Director.

The project shall comply with the Construction and Demolition Debris Recycling Ordinance which requires affected demolition, new construction and alteration projects to submit a Waste Reduction plan and meet recycling requirements; any partial or full demolition of a structure, interior or exterior, shall require a demolition permit.

Prior to scheduling the framing inspection the project architect or residential designer, or another architect or residential design professional, shall provide an architectural certification that the architectural details shown in the approved design which should be evident at framing, such as window locations and bays, are built as shown on the approved plans; architectural certification documenting framing compliance with approved design shall be submitted to the Building Division before the final framing inspection shall be scheduled.

Prior to final inspection, Planning Division staff will inspect and note compliance of the architectural details (trim materials, window type, etc.) to verify that the project has been built according to the approved Planning and Building plans.

Architectural	Directory, Vicinity Map, Abbreviations
A0.0	General Notes, Index
A1.0	Site Plan, Project Data
A1.1	Site Utility Plan
A2.1	Floor Plan: First Floor
A2.2	Floor Plan: Lower Floor
A2.3	Floor Plan: Garage Floor
A2.4	Floor Area Calculations
A3.1	Roof Plan
A4.1	Exterior Elevation: Front
A4.2	Exterior Elevation: Left Side
A4.3	Exterior Elevation: Rear
A4.4	Exterior Elevation: Right Side
A5.1	Section
A5.2	Section
Civil Drawings	
C1	Topographic Survey
C2	Grading and Drainage Plan
C3	Erosion Control Plan
C3	Detail Sheet
Landscape Drawings	
L1.1	Landscape Plan
L1.2	Plant Type Pictures
L1.3	MWELQ Forms
L2.1	Irrigation Plan
Erosion Control	
ERT.1	Best Management Practices

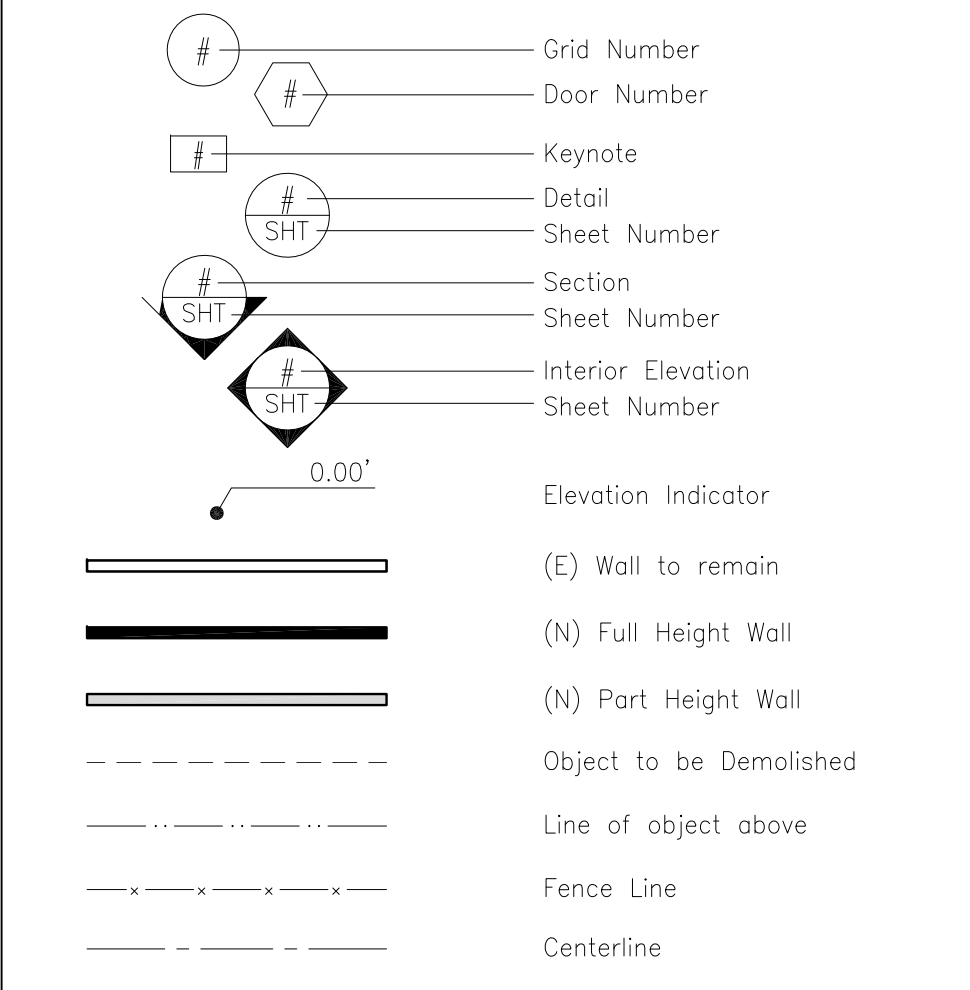
Project Directory

Owner
Clay and Jennifer Collins
26860 Canyon End Road
Canyon Country, California 91387
Voice: (626) 255-0616

Architect
Richard Terrones, Architect
Dreiling Terrones Architecture Inc.
1103 Juanita Avenue
Burlingame, California 94010
Voice: (650) 696-1200
Cell: (650) 759-1211
Fax: (650) 343-9685

Alicia Adler, Project Manager
Voice: (650) 696-1200
Cell: (408) 930-6364
Fax: (650) 343-9685

Legend



Project Description

- New two-story single family residence
- New landscaping

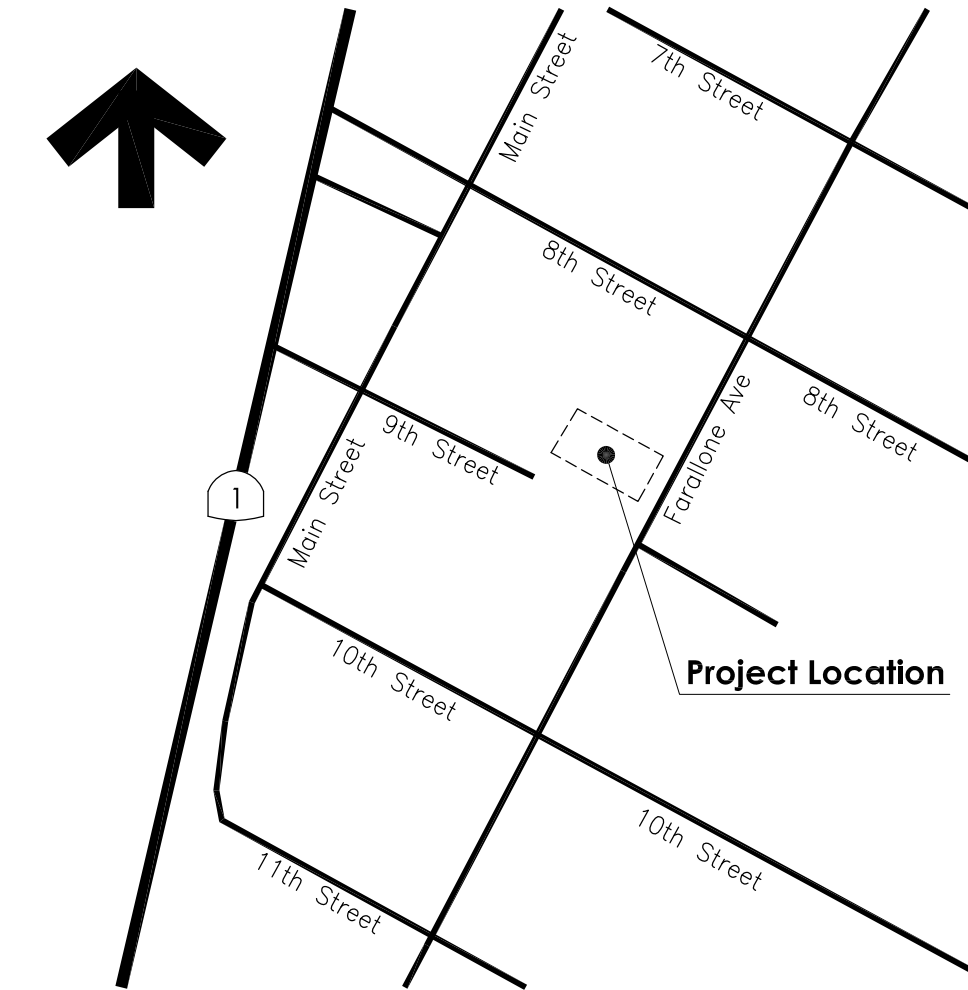
Construction Hours

No person shall erect (including excavation and grading), demolish, alter, or repair any building or structure other than between the following hours except in the case of urgent necessity in the interest of public health and safety, and then only with prior written approval from the Building Official, which approval shall be granted for a period not to exceed three days. Holidays are Thanksgiving and Christmas Day.

Construction hours per the County of San Mateo

Monday through Friday: 7AM to 6PM
Saturdays: 9AM to 5PM
Sundays and Holidays: No work

Vicinity Map



New Single Family Residence Collins Residence

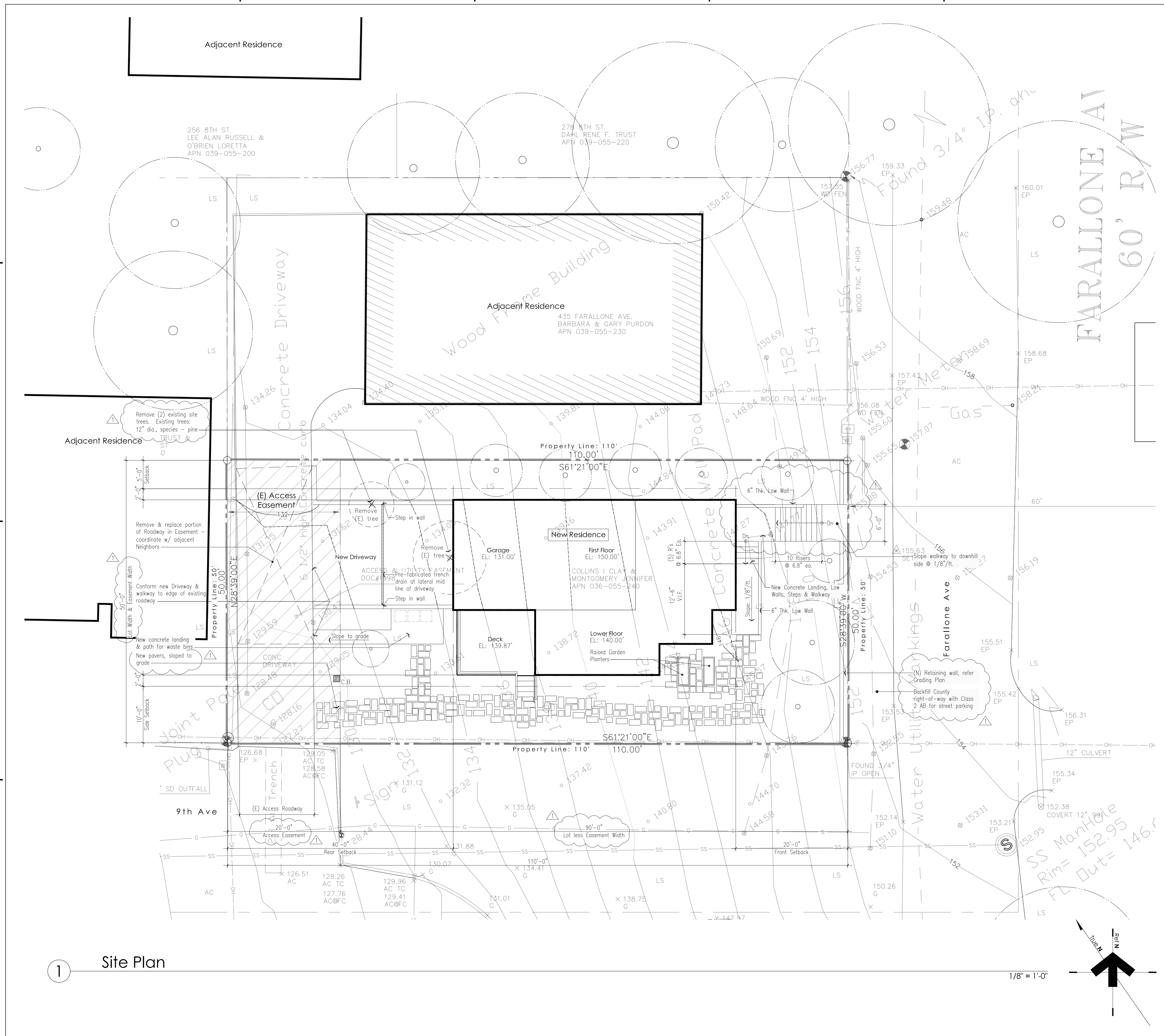
Montara, CA

APN: 036-055-240

Planning Submittal: 28 April 2020
Planning Resubmittal: 25 November 2020

Directory, Vicinity Map,
Abbreviations,
General Notes, Index

A0.0



Project Data

Zoning	S-17
Occupancy	R-1
Building Code	2019 CBC
Existing Lot Area (50' x 110')	5,500 sf
Access Easement Area	1,000 sf
Total Area for Calculations	4,500 sf
Parcel Coverage	
Max Parcel Coverage Allowed:	1,575 sf (35%)
House footprint	1,284 sf
Lower Level Deck	159 sf
Steps & Stoop	61 sf Greater than 18" AFG
Total	1,504 sf
Parcel Coverage Proposed	
1,504 sf / 4,500 sf	33.4%
Building Floor Area	
Max Building Area Allowed:	2,385.00 sf (53%)
.53 x 4,500 =	
First Floor	947.25 sf
Lower Floor	1,045.25 sf
Garage Floor (non-Basement)	217.75 sf Utility Rm exempt (basement)
Total	2,210.25 sf (49%)

- ### Site Notes
- Topographic information used for design and contained in these Documents is derived from incidental measurements prepared by Architect and Civil Engineer. Contractor shall verify all grades during layout and coordinate discrepancies in conjunction with Architect and Civil Engineer.
 - All finished grades shall slope away from structure at 1/4" per foot, for a min. 18" distance.
 - Drainage systems are to be built per Sheet C.1. Drainage system components shown are schematic only. Contractor shall size all pipe, fittings, components to match plan.
 - Refer Building Floor Plans and Sections for all dimensional information.
 - Refer Foundation Plans for foundation dimensions and vertical controls.
 - Existing finish grades shall be restored upon completion of construction unless changes are specified in the Drawings.
 - Remove excess subgrade debris in work zone. Debris may include broken concrete, rocks, utilities and misc. submerged debris.
 - Roadways shall be maintained clear of construction equipment or materials at all times. Debris shall be removed from roadways and sidewalk immediately. Contractor shall sweep or wash road surfaces after operations that generate debris.
 - Dust control measures shall be implemented as necessary. Provide watering during excavation and backfill to prevent dust from crossing property lines.
 - All backfill slopes shall be compacted to 90% min.
 - Refer to Geotechnical Report for any required over-excavation and re-compaction.
 - All exterior bearing walls less than five feet from the property line will be built of one hour fire-rated construction.
 - Addresses and Numbers shall contrast with their background, shall be a min. of 1/2" stroke by 4" high. The power of such illumination shall not be normally switchable.

Soils Engineer: Paul Grishaber, PE
 PG Soils, Inc.
 901 Rose Court
 Burlingame, CA
 (650) 347-3934

Soils Engineer shall inspect and approve the following in writing.

- Establish that subsurface conditions are compatible with those used in the analysis and design.
- Observe compliance with the design concepts, specifications and recommendations.
- Allow design changes in the event that subsurface conditions differ from those anticipated. The recommendations in this report are based on a limited number of borings. The nature and extent of variation across the site may not become evident until construction. If variations are then exposed, it will be necessary to reevaluate the recommendations.

Foundation excavation, earthwork and site drainage shall be performed in accordance with the geotechnical report prepared by Soils Engineer. Soils Engineer shall be notified at least 48 hours in advance of any earthwork operations, and shall observe and test the earthwork and foundation installation phases of the project as recommended in the geotechnical report.

Legend

- 12" x 12" Catch Basin
- Sand-Set Pavers: 2"x12"x12" & 2"x12"x24"
- Indicates area of Access Easement

For grade elevations, refer to Grading Plan - Sheet C.1

1103 Juanita Avenue
 Burlingame, California
 94010
 650.696.1200

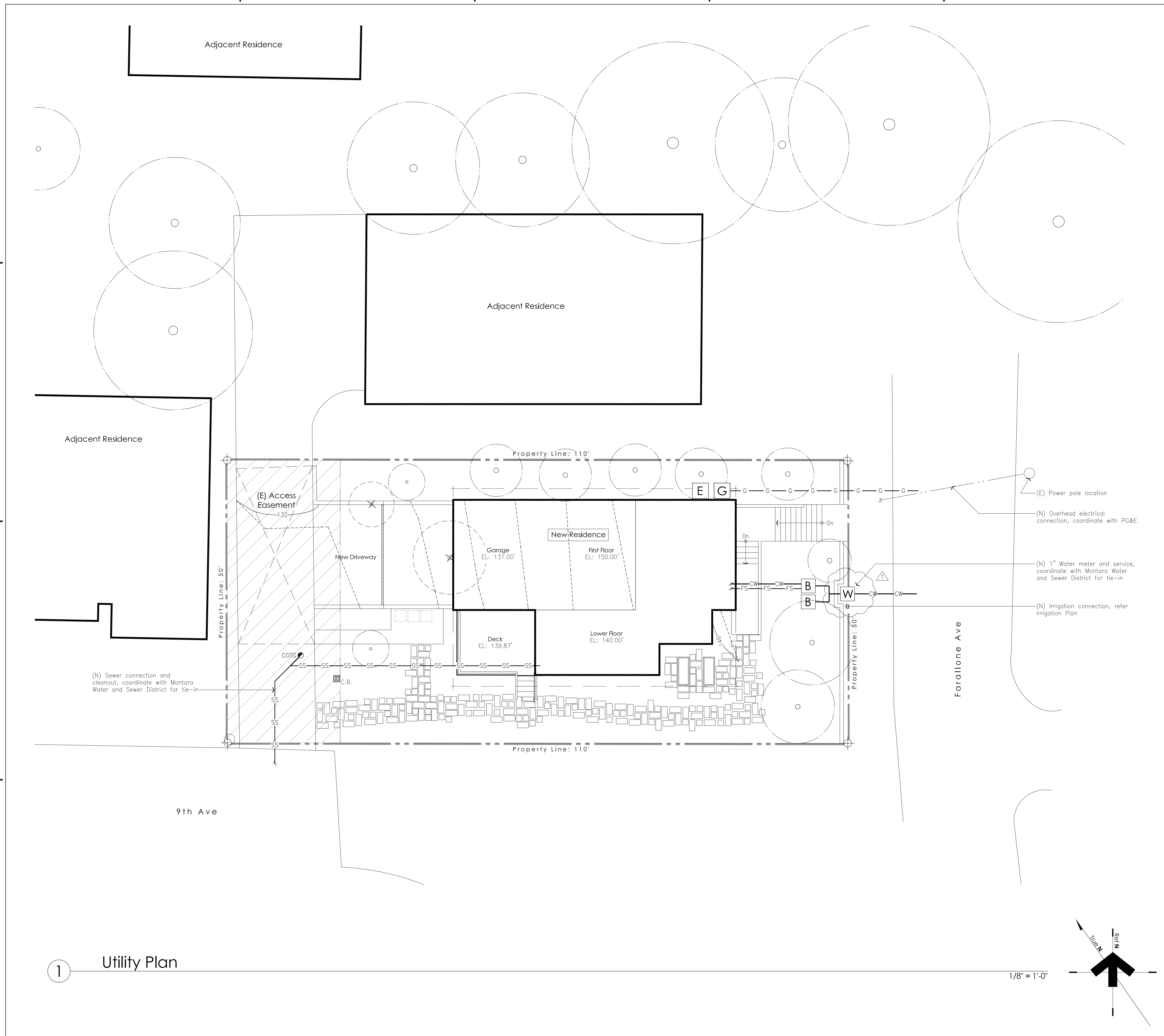
314 Center Street #220
 Healdsburg, California
 65448
 707.431.1305

DTA
 Dreiling Terrones Architecture Inc.
 Architecture
 Infrastructure
 Environments

New Single Family Residence
Collins Residence
 Montara, CA
 APN: 036-055-240

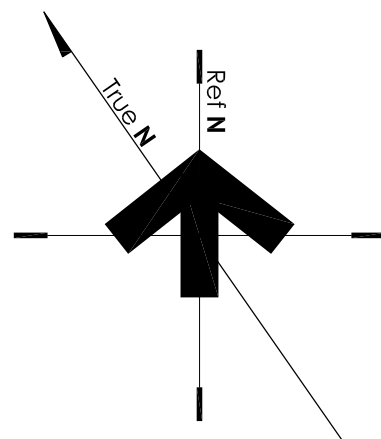
Planning Submittal: 28 April 2020
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Site Plan
A1.0
 1916



1 Utility Plan

1/8" = 1'-0"



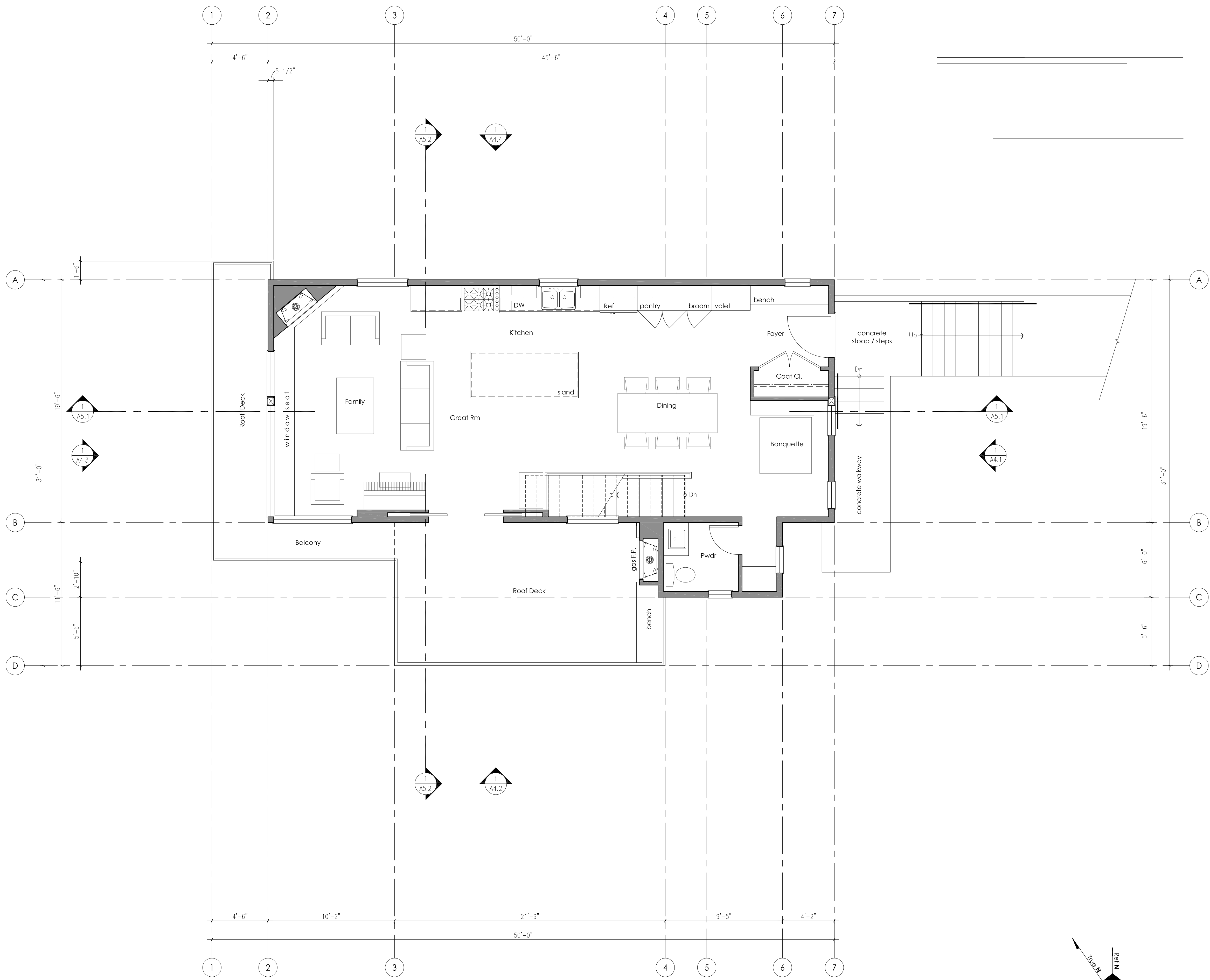
Legend

- W** Water Meter
- B** Backflow Preventer, Febco 825YA, 1" Size
- E** Electric meter
- G** Gas meter
- CW** Cold water line
- FS** Fire sprinkler line
- SS** Sanitary Sewer line
- G** Gas line
- Cleanout to grade (COTG)

Note:
Refer to Drainage Plan for storm water catchment and dispersal on site.

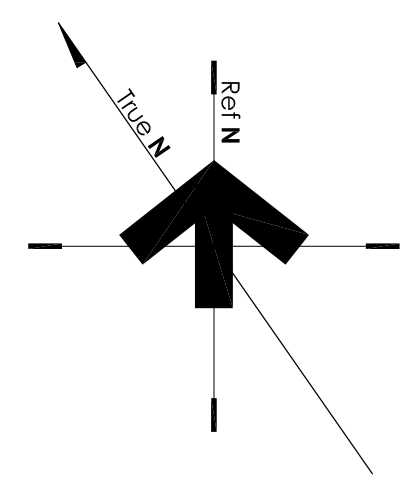
- (E) Power pole location
- (N) Overhead electrical connection, coordinate with PG&E
- (N) 1" Water meter and service, coordinate with Monterey Water and Sewer District for tie-in
- (N) Irrigation connection, refer Irrigation Plan

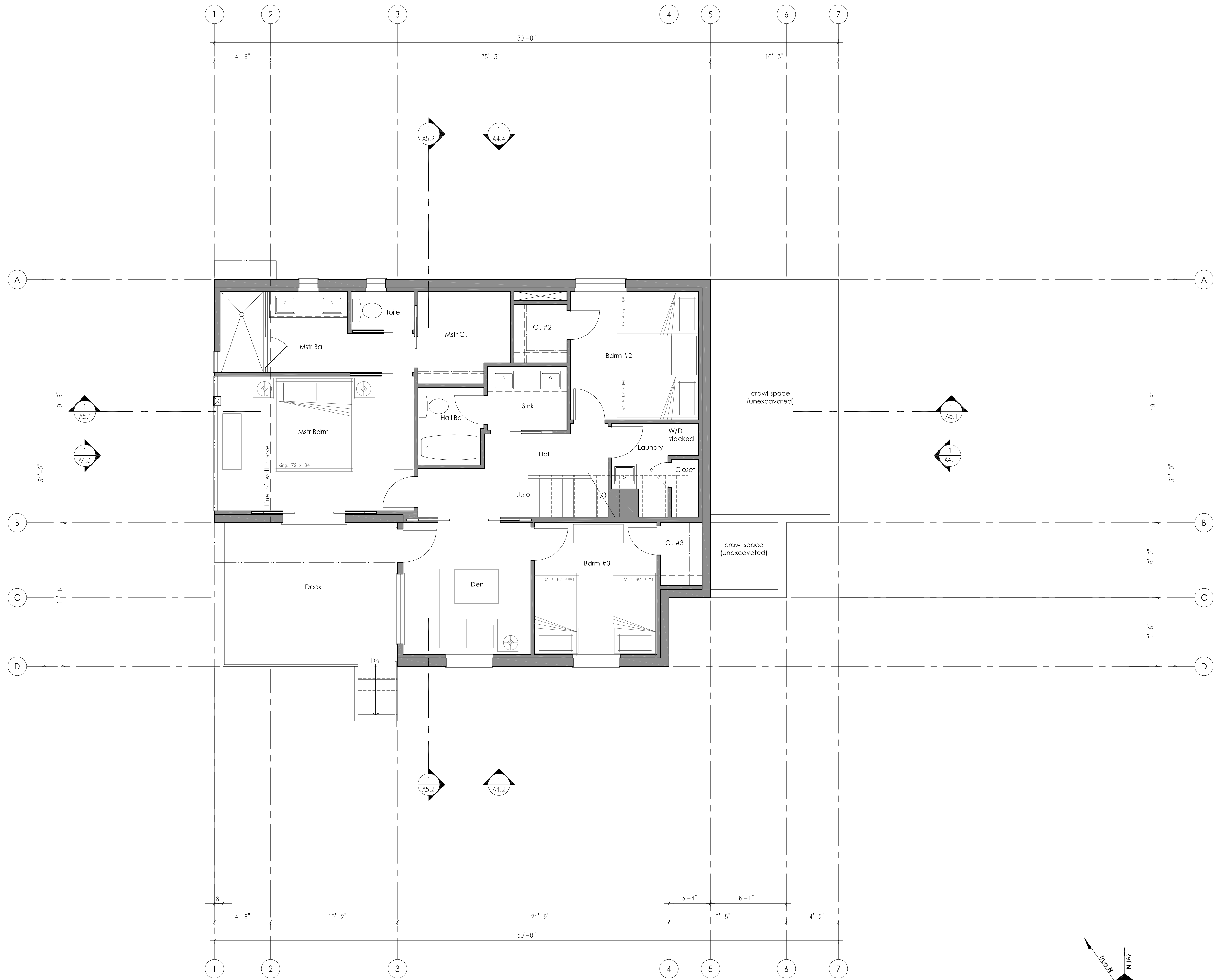
(N) Sewer connection and cleanout, coordinate with Monterey Water and Sewer District for tie-in



1 Floor Plan: First Floor

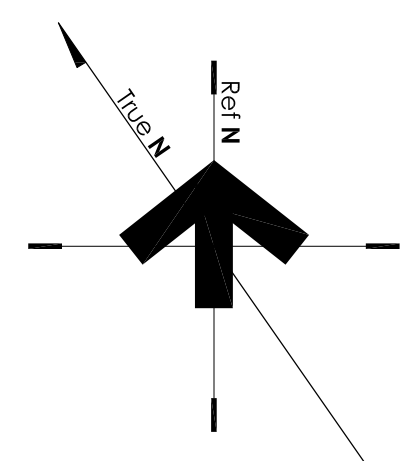
1/4" = 1'-0"





1 Floor Plan: Lower Floor

1/4" = 1'-0"



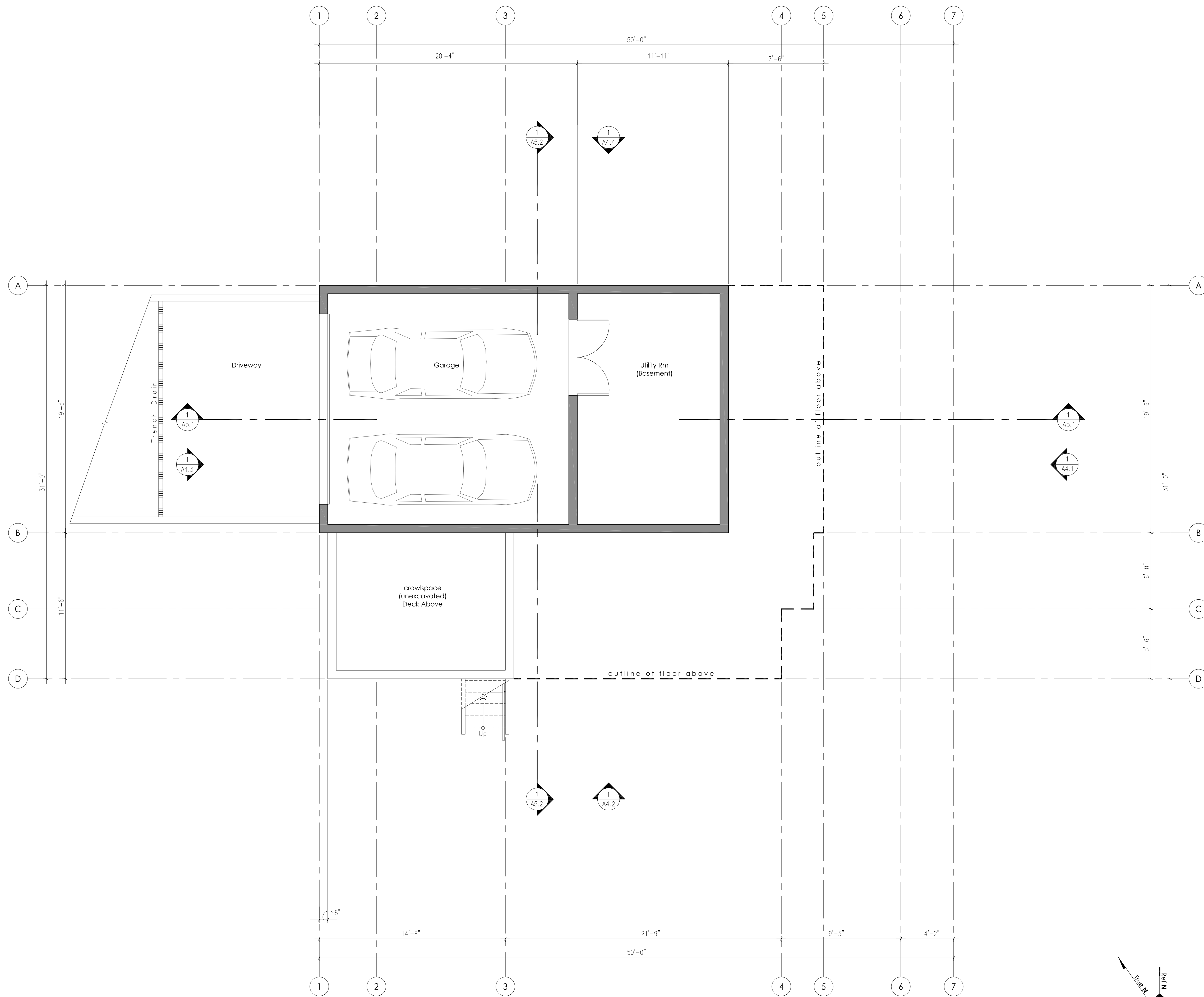
New Single Family Residence
Collins Residence

Montara, CA
 APN: 036-055-240

Planning Submittal: 28 April 2020
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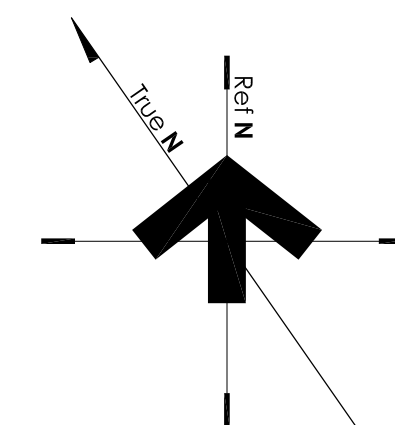
Floor Plan:
 Lower Floor

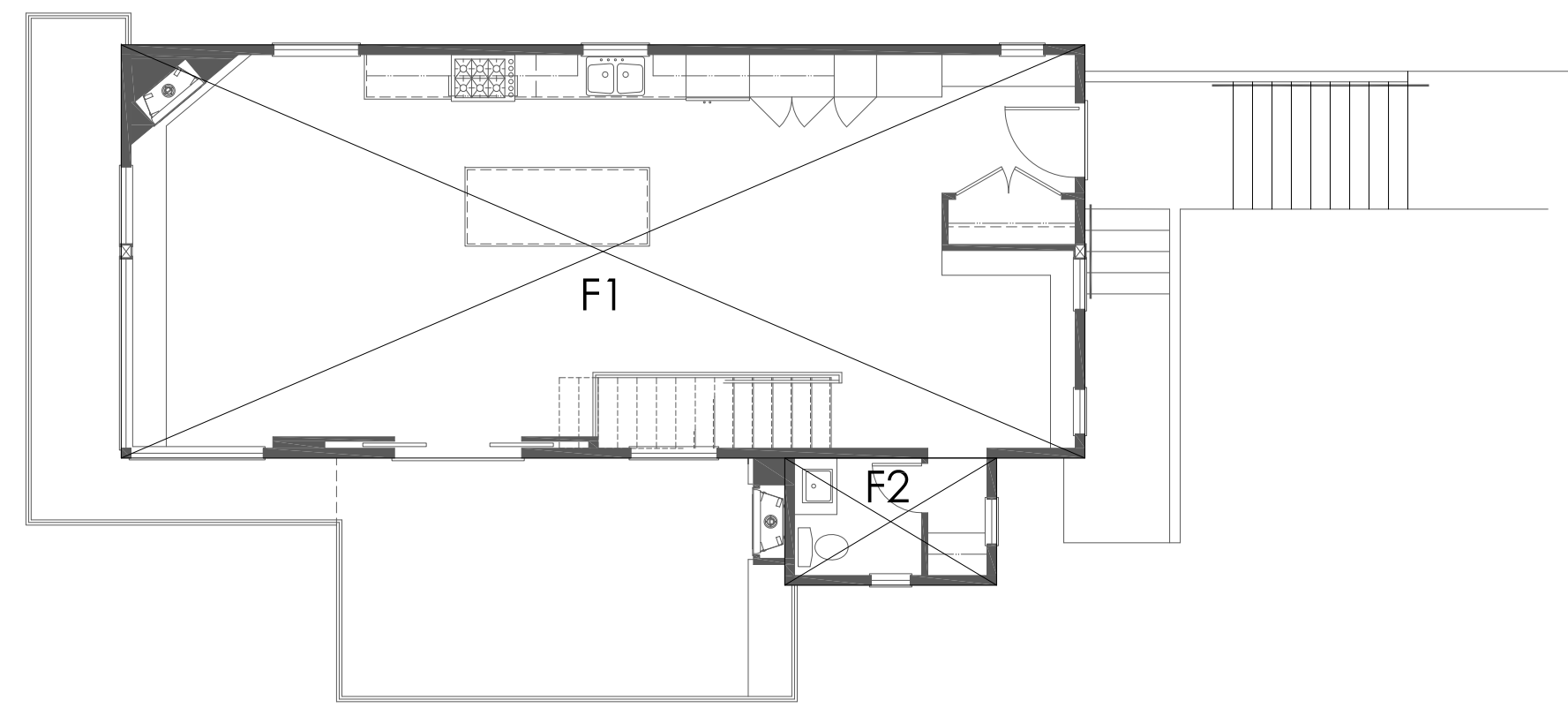
A2.2



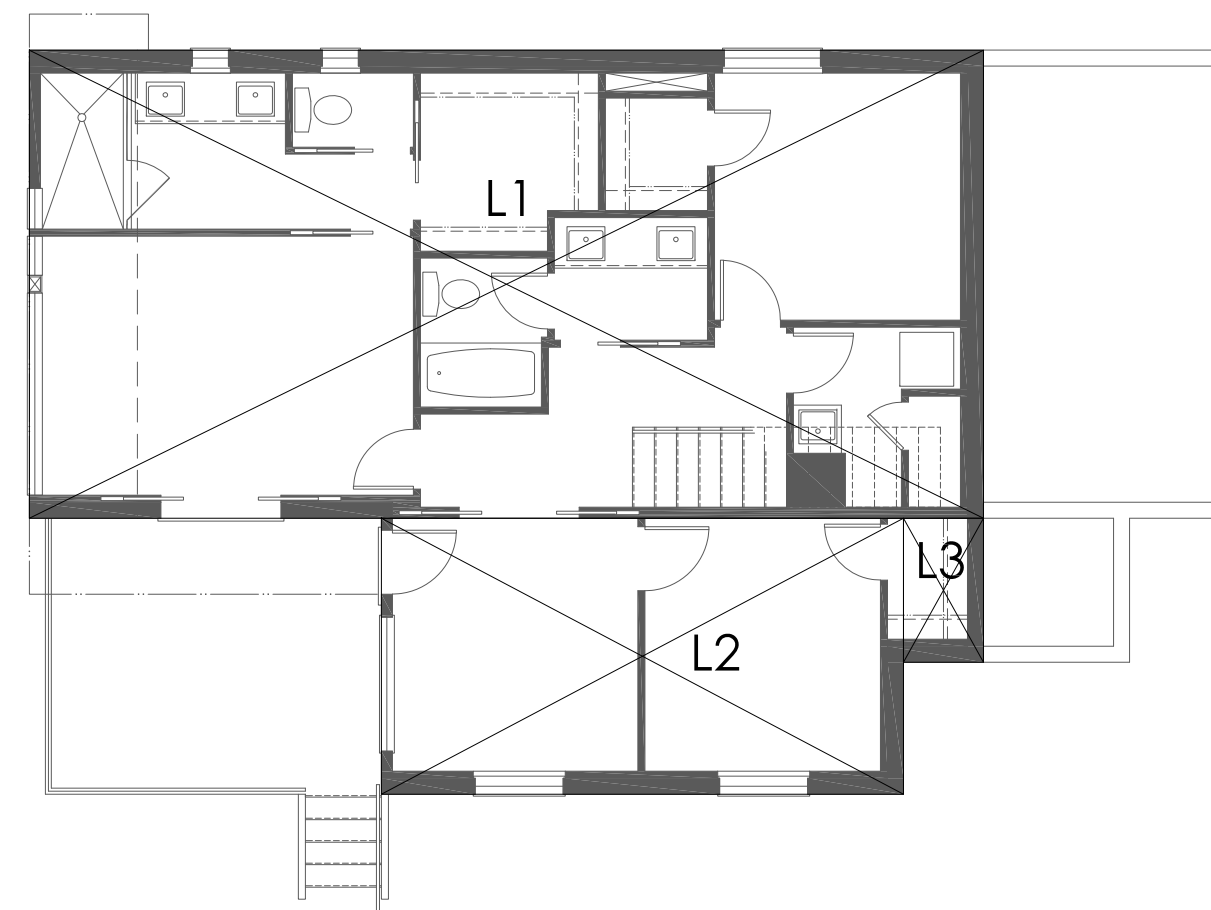
1 Floor Plan: Garage Floor

1/4" = 1'-0"

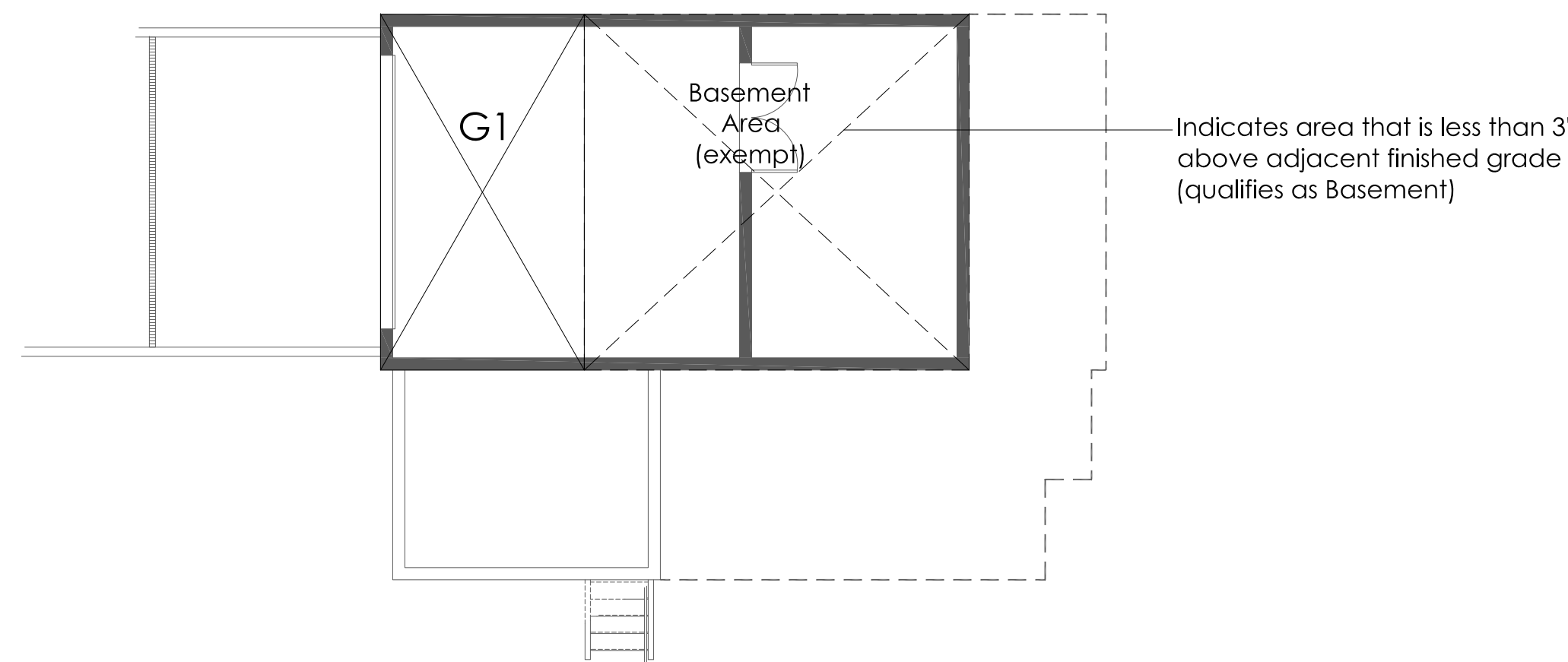




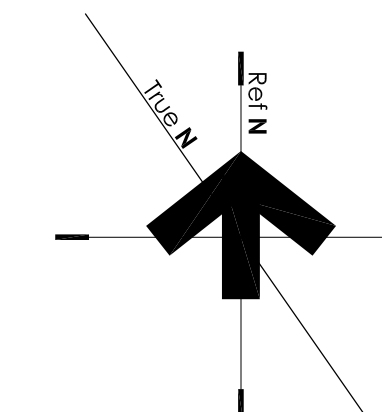
1 First Floor 1/8" = 1'-0"



2 Lower Floor 1/8" = 1'-0"



3 Garage Floor 1/8" = 1'-0"



Floor Areas

Label	Description	Area
F1	Great Room	887.25 sf
F2	Powder Room	60.00 sf
First Floor Subtotal		947.25 sf
L1	Mstr / Hall / BR #2	775.125 sf
L2	Den / BR #3	250.125 sf
L3	BR #3 Closet	20.00 sf
Lower Floor Subtotal		1,045.25 sf
G1	Garage - non-basement (portion >3' above grade)	217.75 sf
Garage Floor Subtotal		217.75 sf
Total Area		2,210.25 sf
Floor Area Allowed		2,385.00 sf

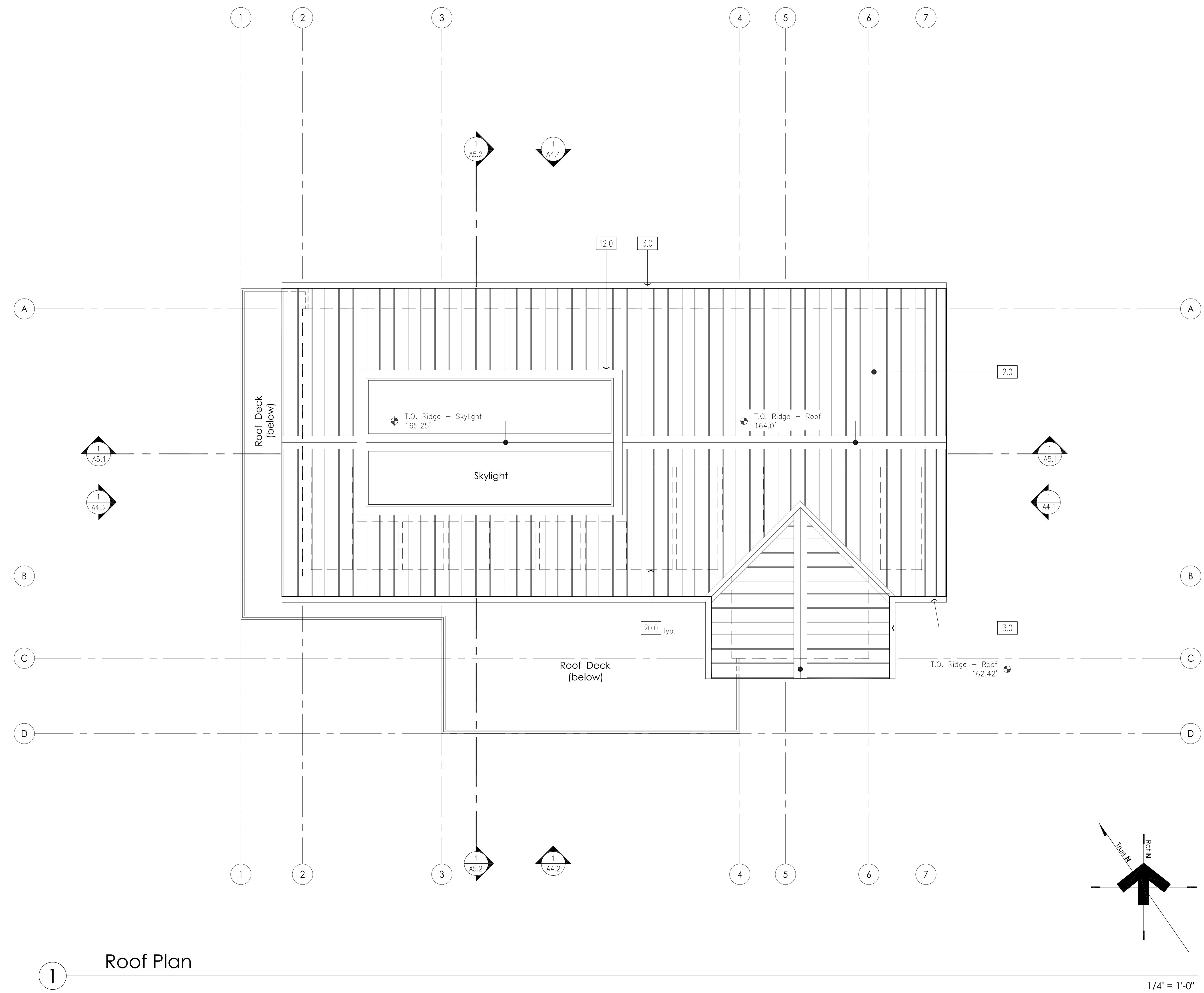
DTA
Dreiling Terrones Architecture Inc.
Architecture
Infrastructure
Environments

1103 Juanita Avenue
Burlingame, California
94010
650.696.1200

314 Center Street #220
Hayward, California
65448
707.431.1305

New Single Family Residence
Collins Residence
Montara, CA
APN: 036-055-240

Planning Submittal: 28 April 2020
Planning Resubmittal: 25 November 2020



1 Roof Plan

1/4" = 1'-0"

Keynotes

Mark	Description
1.0	Finished Grade
2.0	Standing Seam Metal Roof - max. mid-20's Solar Reflectance Index
3.0	CSM Gutter, painted to match fascia
4.0	CSM Downspout, painted to match fascia & gutter
5.0	Cedar siding, shiplap joint, smooth finish, semi-solid stain, 3"-4" exposure
6.0	3-coat, Exterior Cement Plaster (stucco), painted to match wood siding
7.0	Board-formed concrete retaining wall / exterior wall
8.0	Metal Awning finish, painted
9.0	Wood Fascio, painted
10.0	Wood Trim, semi-solid stain to match cedar siding
11.0	Metal Belly Band, painted
12.0	Aluminum Clad Skylight
13.0	Aluminum Clad Windows w/ simulated true divided lite (where occurs)
14.0	Aluminum Clad Patio Door
15.0	Painted Wood Entry Door
16.0	Garage Door w/ Cedar Siding to match horizontal wood siding
17.0	Metal Rolling, powder coated
18.0	Concrete Steps / Walkway
19.0	Exterior Light Fixture - downcast light, max. output shall be equiv. to 40W incandescent, color temperature shall be max. 3,000 kelvin
20.0	Solar Panels (dashed)

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New Single Family Residence
Collins Residence
 Monterey, CA

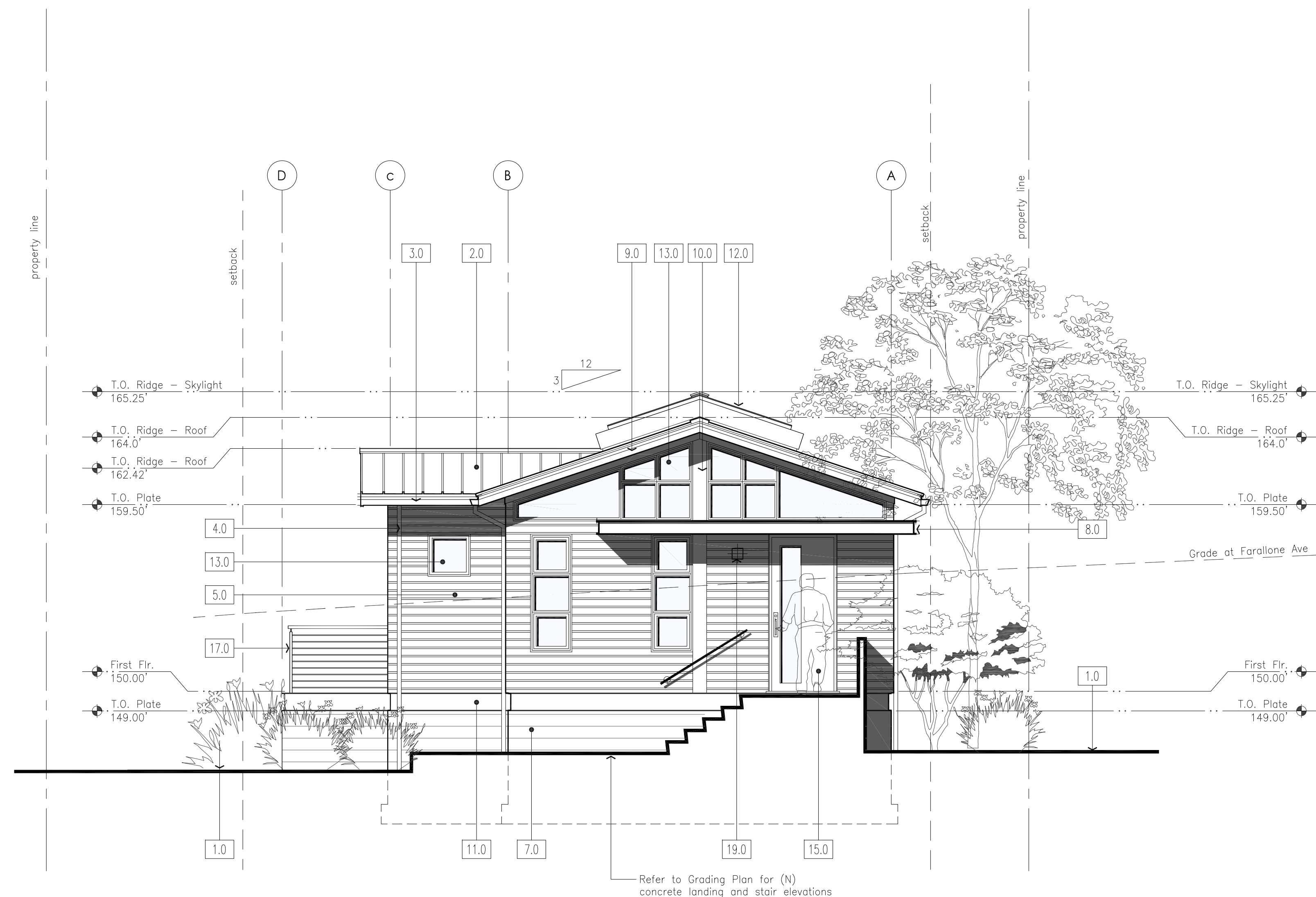
Planning Submittal: 28 April 2020
 Planning Resubmittal: 25 November 2020

Roof Plan
A3.1

1103 Juanita Avenue
 Burlingame, California
 94010
 650.696.1200

314 Center Street #220
 Healdsburg, California
 65448
 707.431.1305

APN: 036-055-240



1

Exterior Elevation: East (Front)

1/4" = 1'-0"

Keynotes

Mark	Description
1.0	Finished Grade
2.0	Standing Seam Metal Roof - max. mid-20's Solar Reflectance Index
3.0	GSM Gutter, painted to match fascia
4.0	GSM Downspout, painted to match fascia & gutter
5.0	Cedar siding, shiplap joint, smooth finish, semi-solid stain, 3"-4" exposure
6.0	3-coat, Exterior Cement Plaster (stucco), painted to match wood siding
7.0	Board-formed concrete retaining wall / exterior wall
8.0	Metal Awning finish, painted
9.0	Wood Fascio, painted
10.0	Wood Trim, semi-solid stain to match cedar siding
11.0	Metal Belly Band, painted
12.0	Aluminum Clad Skylight
13.0	Aluminum Clad Windows w/ simulated true divided lite (where occurs)
14.0	Aluminum Clad Patio Door
15.0	Painted Wood Entry Door
16.0	Garage Door w/ Cedar Siding to match horizontal wood siding
17.0	Metal Rolling, powder coated
18.0	Concrete Steps / Walkway
19.0	Exterior Light Fixture - downcast light, max. output shall be equiv. to 40W incandescent, color temperature shall be max. 3,000 kelvin
20.0	Solar Panels (dashed)

**Facade Articulation (9b) per S-17 District Regulations in the County of San Mateo Zoning Regulations

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1103 Juanita Avenue
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 Heidelberg, California
 65448
 707.431.1305

New Single Family Residence
Collins Residence

Montara, CA
 APN: 036-055-240

Planning Submittal: 28 April 2020
 Planning Resubmittal: 25 November 2020

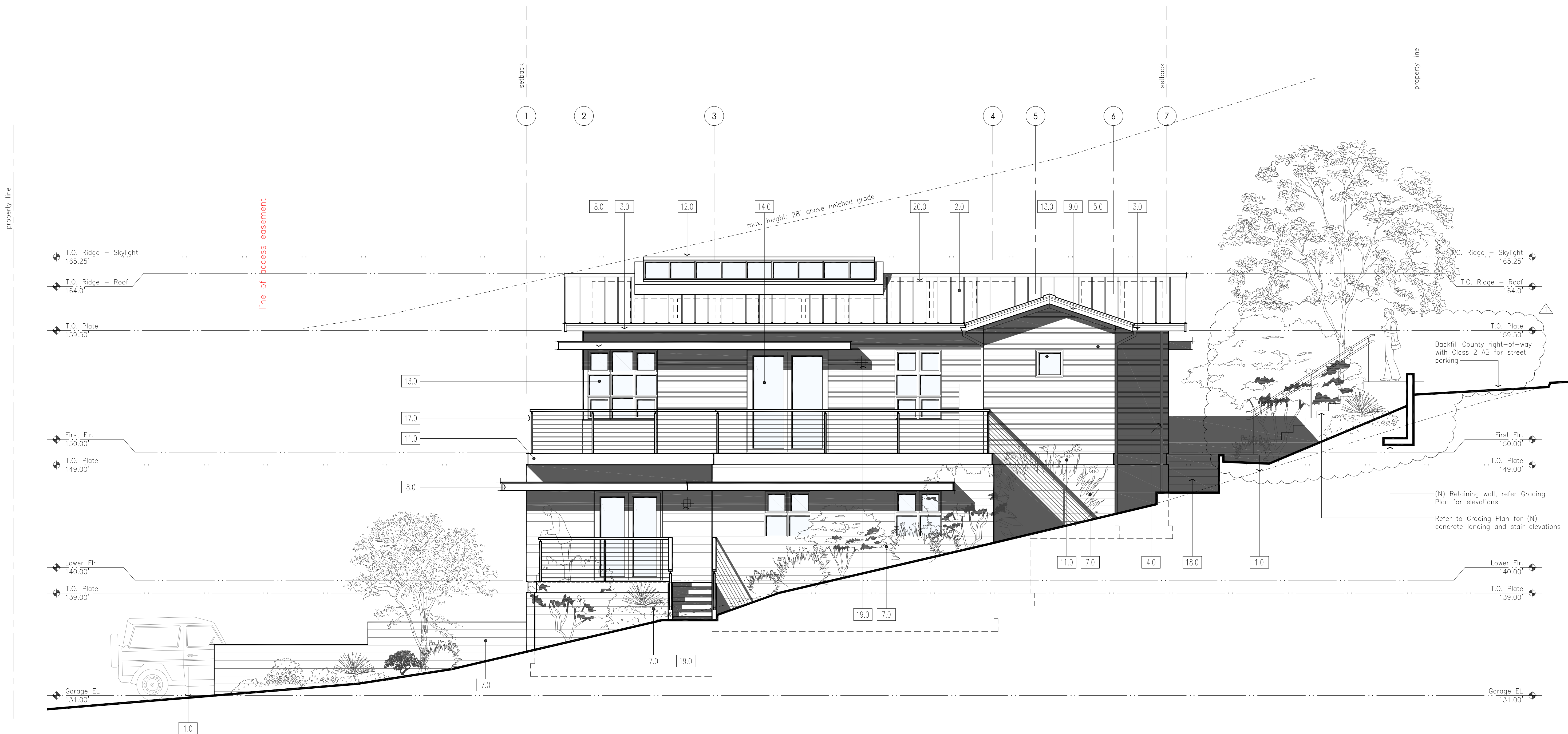
Exterior Elevation:
 East (Front)

A4.1

Keynotes

Mark	Description
1.0	Finished Grade
2.0	Standing Seam Metal Roof - max. mid-20's Solar Reflectance Index
3.0	CSM Gutter, painted to match fascia
4.0	CSM Downspout, painted to match fascia & gutter
5.0	Cedar siding, shiplap joint, smooth finish, semi-solid stain, 3"-4" exposure
6.0	J-coat, Exterior Cement Plaster (stucco), painted to match wood siding
7.0	Board-formed concrete retaining wall / exterior wall
8.0	Metal Awning finish, painted
9.0	Wood Fascio, painted
10.0	Wood Trim, semi-solid stain to match cedar siding
11.0	Metal Belly Band, painted
12.0	Aluminum Clad Skylight
13.0	Aluminum Clad Windows w/ simulated true divided tile (where occurs)
14.0	Aluminum Clad Patio Door
15.0	Painted Wood Entry Door
16.0	Garage Door w/ Cedar Siding to match horizontal wood siding
17.0	Metal Railing, powder coated
18.0	Concrete Steps / Walkway
19.0	Exterior Light Fixture - downcast light, max. output shall be equiv. to 40W incandescent, color temperature shall be max. 3,000 kelvin
20.0	Solar Panels (dashed)

**Facade Articulation (9b) per S-17 District Regulations in the County of San Mateo Zoning Regulations



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314 Center Street #220
Headlands, California
65448
707.431.1305

New Single Family Residence
Collins Residence
Montara, CA
APN: 036-055-240

Planning Submittal: 28 April 2020
Planning Resubmittal: 25 November 2020

1 Exterior Elevation: South (Left Side)

1/4" = 1'-0"

Exterior Elevation:
South (Left Side)

A4.2

Keynotes

Mark	Description
1.0	Finished Grade
2.0	Standing Seam Metal Roof – max. mid-20's Solar Reflectance Index
3.0	CSM Gutter, painted to match fascia
4.0	CSM Downspout, painted to match fascia & gutter
5.0	Cedar siding, shiplap joint, smooth finish, semi-solid stain, 3"-4" exposure
6.0	3-coat, Exterior Cement Plaster (stucco), painted to match wood siding
7.0	Board-formed concrete retaining wall / exterior wall
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9.0	Wood Fascio, painted
10.0	Wood Trim, semi-solid stain to match cedar siding
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12.0	Aluminum Clad Skylight
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15.0	Painted Wood Entry Door
16.0	Garage Door w/ Cedar Siding to match horizontal wood siding
17.0	Metal Railing, powder coated
18.0	Concrete Steps / Walkway
19.0	Exterior Light Fixture – downcast light, max. output shall be equiv. to 40W incandescent, color temperature shall be max. 3,000 kelvin
20.0	Solar Panels (dashed)

**Facade Articulation (9b) per S-17 District Regulations in the County of San Mateo Zoning Regulations



1 Exterior Elevation: West (Rear)

1/4" = 1'-0"

DTA
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1103 Juanita Avenue
Burlingame, California
94010
650.696.1200

314 Center Street #220
Healdsburg, California
65448
707.431.1305

New Single Family Residence
Collins Residence
Menlo Park, CA

APN: 036-055-240

Planning Submittal: 28 April 2020
Planning Resubmittal: 25 November 2020

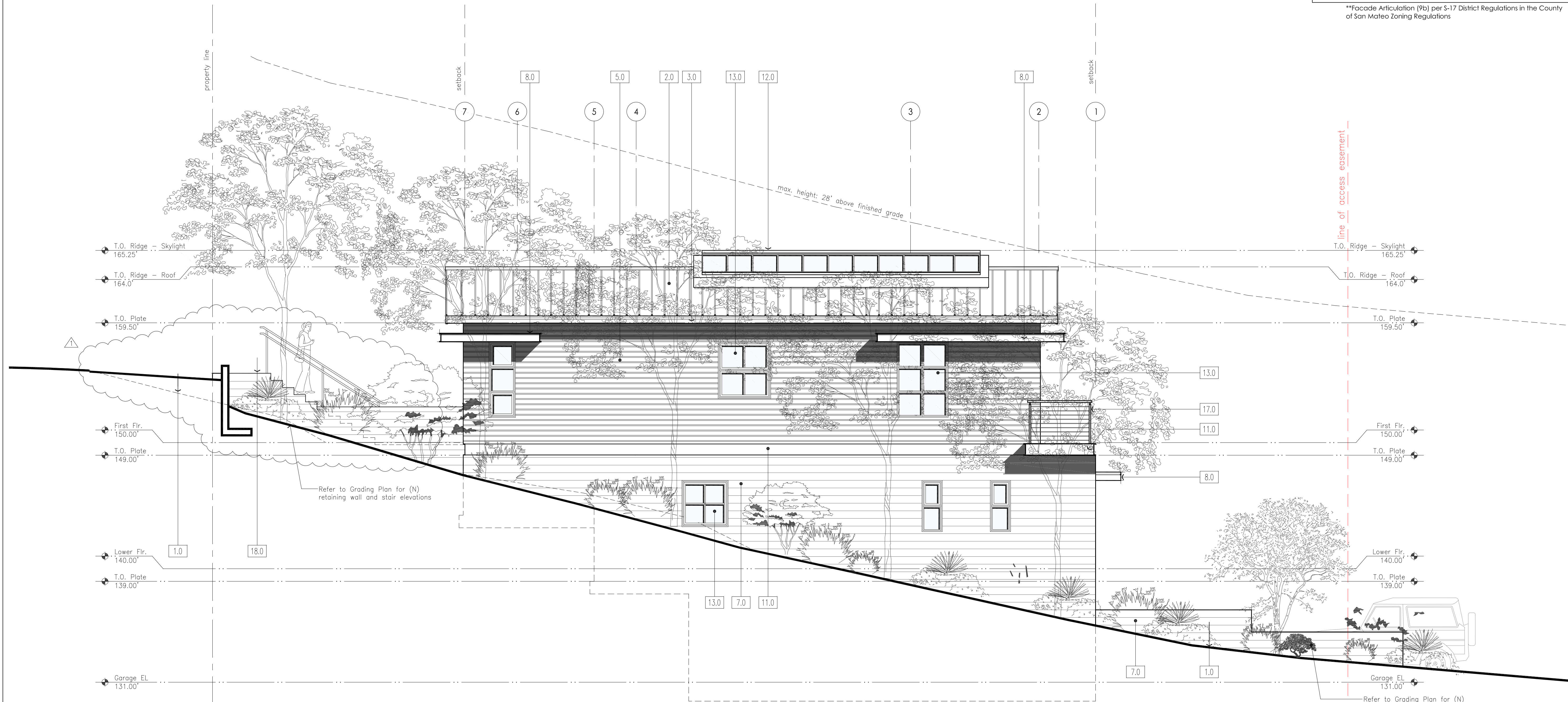
Exterior Elevation:
West (Rear)

A4.3

Keynotes

Mark	Description
1.0	Finished Grade
2.0	Standing Seam Metal Roof - max. mid-20's Solar Reflectance Index
3.0	GSM Gutter, painted to match fascia
4.0	GSM Downspout, painted to match fascia & gutter
5.0	Cedar siding, shiplap joint, smooth finish, semi-solid stain, 3"-4" exposure
6.0	3-coat, Exterior Cement Plaster (stucco), painted to match wood siding
7.0	Board-formed concrete retaining wall / exterior wall
8.0	Metal Awning finish, painted
9.0	Wood Fascio, painted
10.0	Wood Trim, semi-solid stain to match cedar siding
11.0	Metal Belly Band, painted
12.0	Aluminum Clad Skylight
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16.0	Garage Door w/ Cedar Siding to match horizontal wood siding
17.0	Metal Railing, powder coated
18.0	Concrete Steps / Walkway
19.0	Exterior Light Fixture - downcast light, max. output shall be equiv. to 40W incandescent, color temperature shall be max. 3,000 kelvin
20.0	Solar Panels (dashed)

**Facade Articulation (9b) per S-17 District Regulations in the County of San Mateo Zoning Regulations



1 Exterior Elevation: North (Right Side)

1/8" = 1'-0"

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314 Center Street #220
Healdsburg, California
65448
707.431.1305

New Single Family Residence
Collins Residence
Montara, CA
APN: 036-055-240

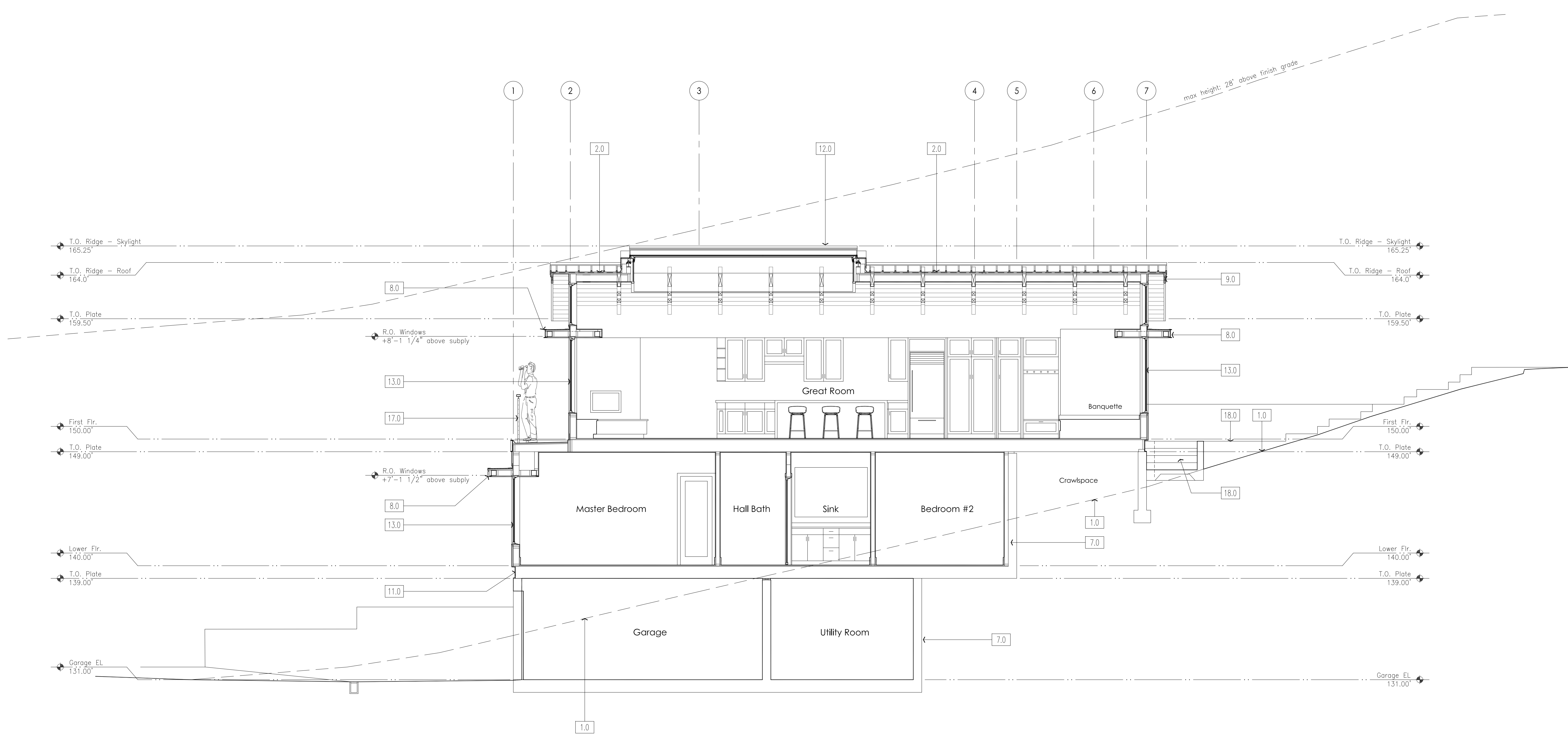
Planning Submittal: 28 April 2020
Planning Resubmittal: 25 November 2020

Exterior Elevation:
North (Right Side)

A4.4

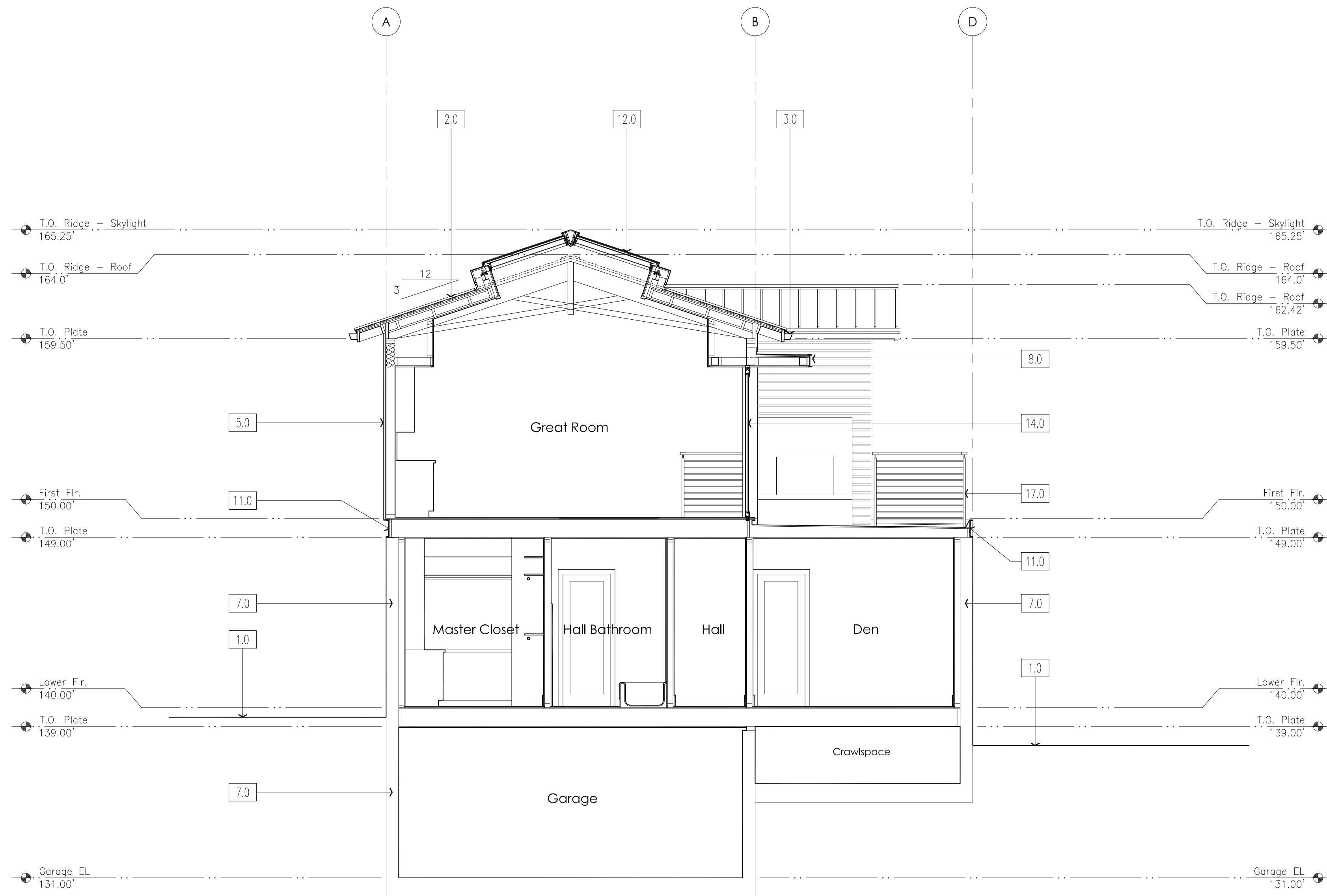
Keynotes

Mark	Description
1.0	Finished Grade
2.0	Standing Seam Metal Roof - max. mid-20's Solar Reflectance Index
3.0	CSM Gutter, painted to match fascia
4.0	CSM Downspout, painted to match fascia & gutter
5.0	Cedar siding, shiplap joint, smooth finish, semi-solid stain, 3"-4" exposure
6.0	3-coat, Exterior Cement Plaster (stucco), painted to match wood siding
7.0	Board-formed concrete retaining wall / exterior wall
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9.0	Wood Fascio, painted
10.0	Wood Trim, semi-solid stain to match cedar siding
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12.0	Aluminum Clad Skylight
13.0	Aluminum Clad Windows w/ simulated true divided lite (where occurs)
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16.0	Garage Door w/ Cedar Siding to match horizontal wood siding
17.0	Metal Rolling, powder coated
18.0	Concrete Steps / Walkway
19.0	Exterior Light Fixture - downcast light, max. output shall be equiv. to 40W incandescent, color temperature shall be max. 3,000 kelvin
20.0	Solar Panels (dashed)



1 Section

1/4" = 1'-0"



1 Section

1/4" = 1'-0"

Keynotes

Mark	Description
1.0	Finished Grade
2.0	Standing Seam Metal Roof - max. mid-20's Solar Reflectance Index
3.0	CSM Gutter, painted to match fascia
4.0	CSM Downspout, painted to match fascia & gutter
5.0	Cedar siding, shiplap joint, smooth finish, semi-solid stain, 3"-4" exposure
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7.0	Board-formed concrete retaining wall / exterior wall
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19.0	Exterior Light Fixture - downcast light, max. output shall be equiv. to 40W incandescent, color temperature shall be max. 3,000 kelvin
20.0	Solar Panels (dashed)

DTA
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1103 Juanita Avenue
 Burlingame, California
 94010
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314 Center Street #220
 Healdsburg, California
 65448
 707.431.1305

New Single Family Residence
Collins Residence

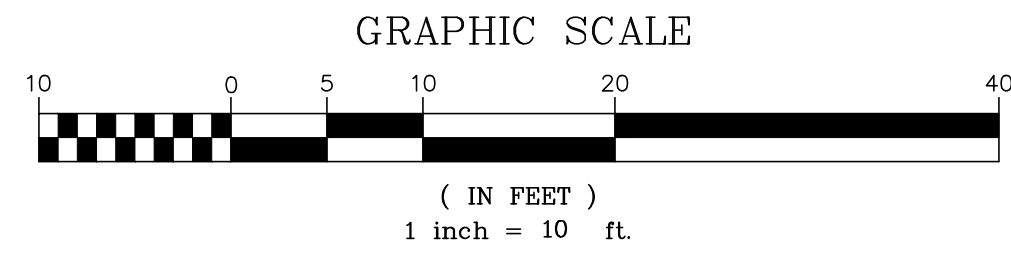
Montara, CA

APN: 036-055-240

Planning Submittal: 28 April 2020
 Planning Resubmittal: 25 November 2020

Sections

A5.2



256 8TH ST.
LEE ALAN RUSSELL &
O'BRIEN LORETTA
APN 039-055-200

278 8TH ST.
DAHL RENE F. TRUST
APN 039-055-220

LEGEND			
AC ASPHALT CONCRETE	SD STORM DRAIN LINE	CB CATCH BASIN	△ SURVEY CONTROL POINT
BLDG COR BUILDING CORNER	SS SANITARY SEWER LINE	○ SSMH SANITARY SEWER MAINTENANCE HOLE	● IRON PIPE FOUND
C/CONC CONCRETE	W WATER LINE	○ CO CLEAN OUT	⊙ MONUMENT FOUND
EC CATCH BASIN	G GAS LINE	○ WM WATER METER	×100.00 SPOT ELEVATION WITH DESCRIPTION
EP EDGE OF CONCRETE	OH OVERHEAD UTILITIES	⊙ WV WATER VALVE	—100— INDEX ELEVATION CONTOUR
FC FACE OF CURB	ADJ ADJOINING PROPERTY LINE	—99— INTERMEDIATE ELEVATION CONTOUR	
FL FLOW LINE	BOUNDARY LINE		
FNC FENCE	— — — CENTER LINE		
G GROUND	— — — EASEMENT LINE		
IP IRON PIPE	— — — FLOW LINE		
LS LANDSCAPING	— — — FENCE LINE		
MH MAINTENANCE HOLE			
MON MONUMENT			
POC POINT ON CURVE			
TC TOP OF CURB			

SURVEY NOTE: THIS SURVEY MAP WAS COMPILED FROM A TOPOGRAPHIC SURVEY DONE IN SEPTEMBER, 2020, BY UNDERWOOD AND ROSENBLUM, INC.. UNDERWOOD & ROSENBLUM TAKES NO RESPONSIBILITY FOR THE LOT SURVEY THAT WAS DONE BY DC SURVEYS THAT WAS DONE AT AN EARLIER TIME.

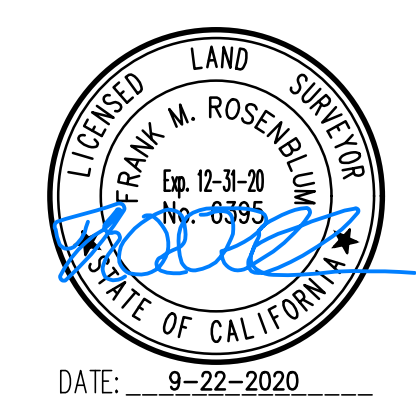
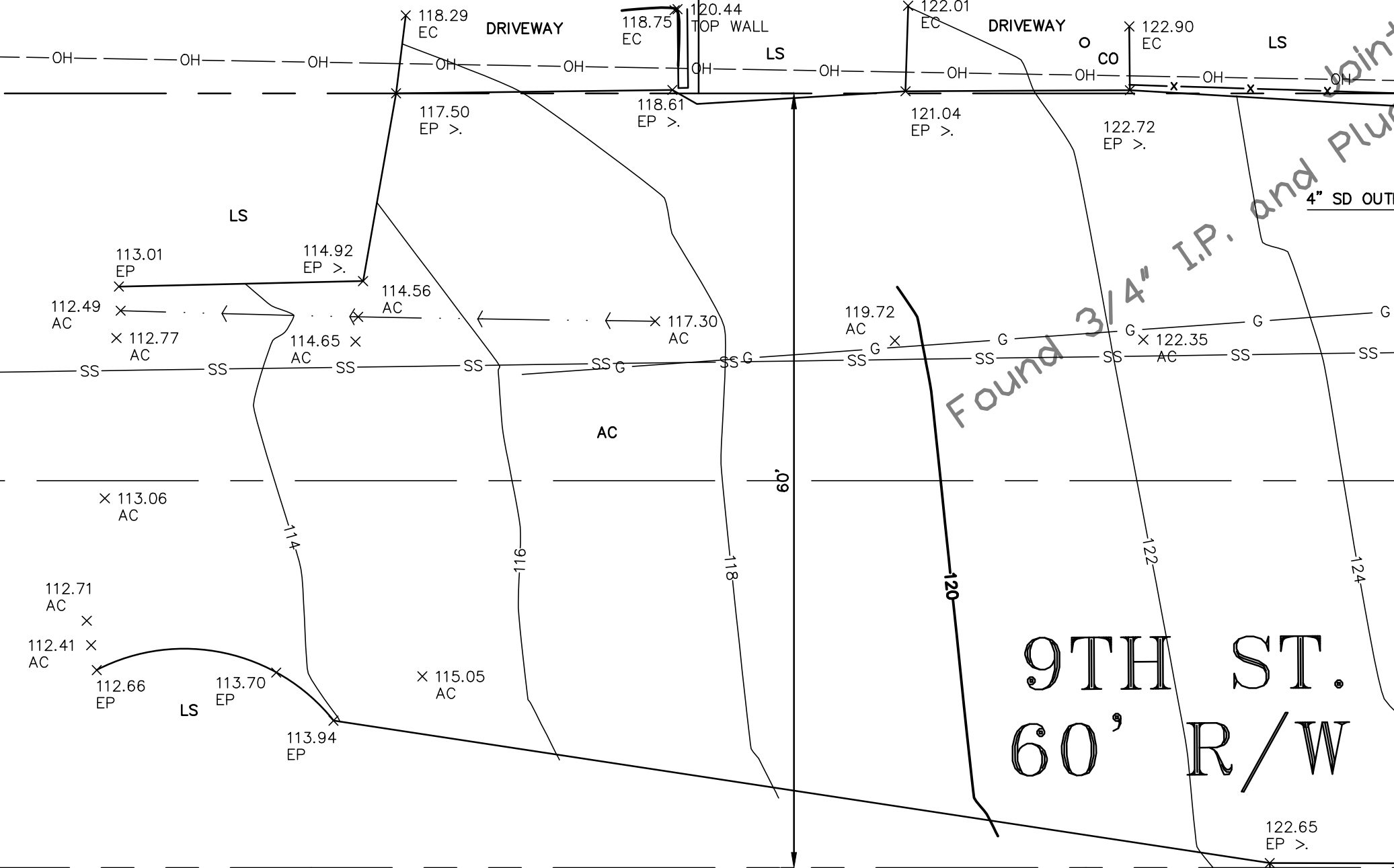
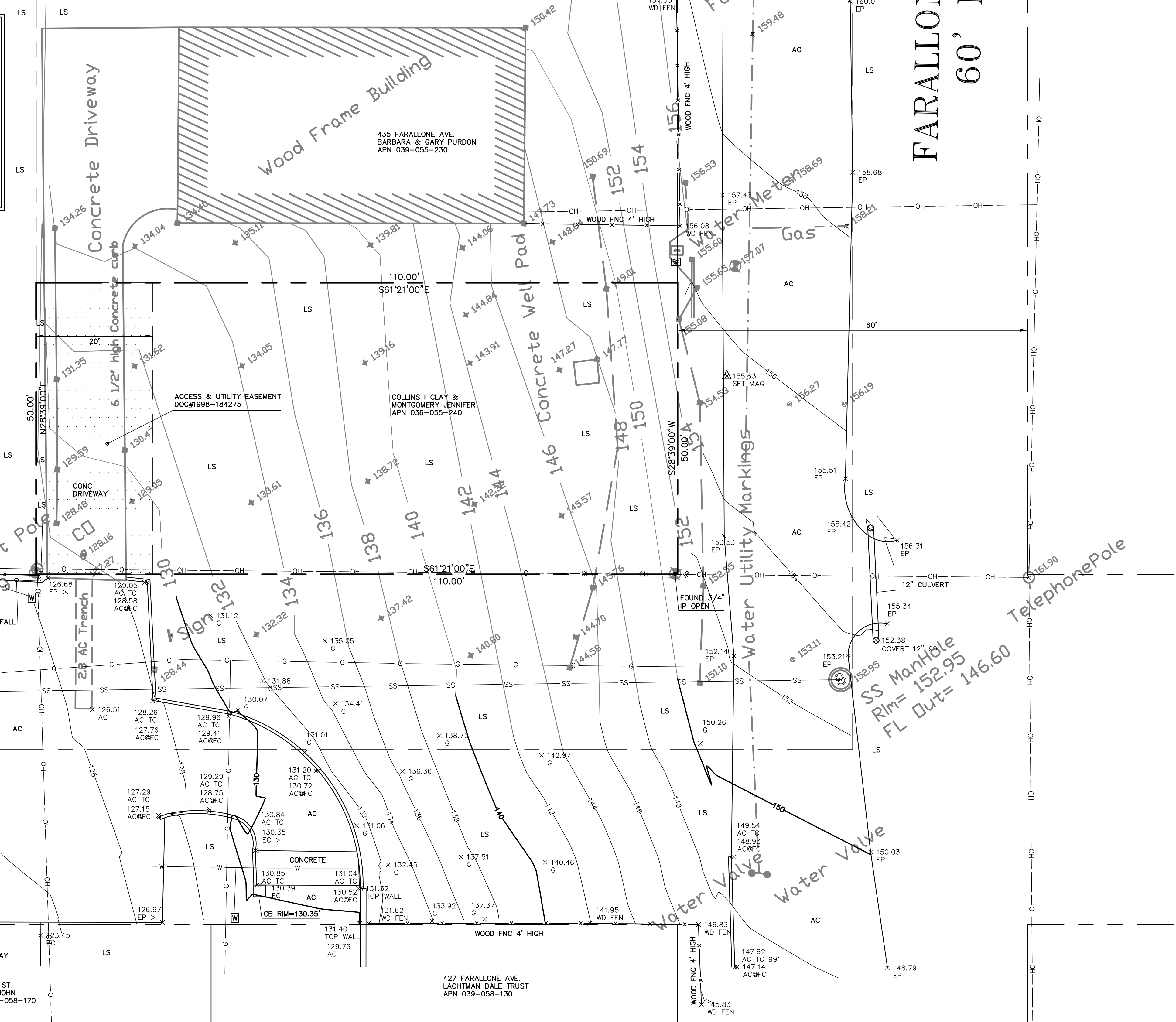
UTILITY NOTE: THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP WAS OBTAINED BY OLD UTILITY MARKINGS FOUND. UNDERGROUND UTILITIES ARE SOMETIMES NOT DETECTED OR INACCURATELY MAPPED BY OTHERS. POT-HOLING IS REQUIRED TO VERIFY THE LOCATION OR EXISTENCE OF AN UNDERGROUND UTILITY.

BASIS OF BEARINGS: THE BEARING OF N28°39'00"E SHOWN AS THE CENTERLINE OF MAIN ST. ON THE RECORD OF SURVEY MAP RECORDED IN VOLUME 29 OF MAPS AT PAGE 40 WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK: SSMH AT INTERSECTION OF 9TH ST. AND MAIN ST. FROM TOPOGRAPHIC SURVEY PROVIDED BY DC SURVEYS. EL=102.97'

CONTOUR INTERVAL: 2 FOOT

247 9TH ST.
LANGAN PAUL J. TRUST &
LANGAN GERI TRUST
APN 039-055-040



DATE: 9-22-2020

#		DESC.	REVISIONS	DATE
1				

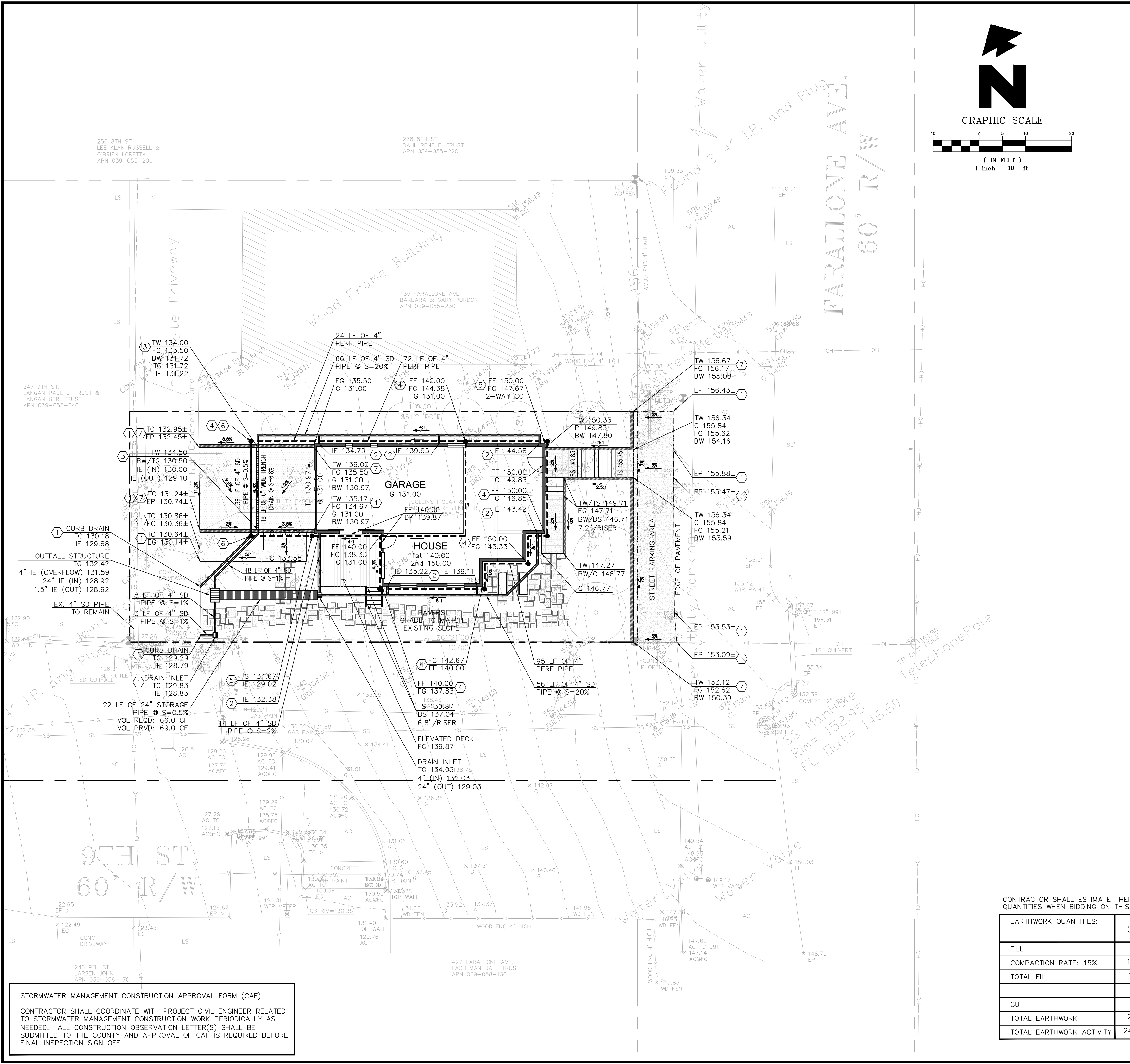
UNDERWOOD & ROSENBLUM, INC.
civil engineers and surveyors
1839 Oakland Road, Suite A114, San Jose, CA 95131
(408) 455-1222
www.uandr.com

U&R

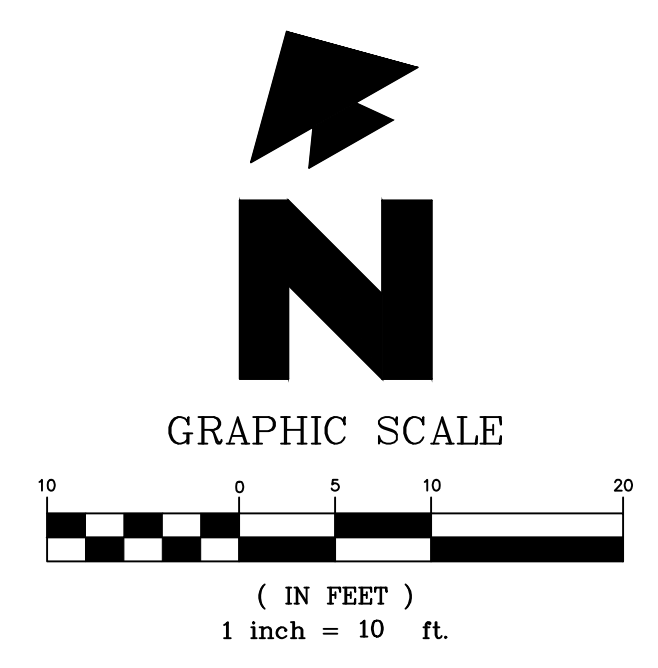
COLLINS-MONTGOMERY PROPERTY
9TH ST. & FARALLONE AVE.
MONTARA CALIFORNIA

TOPOGRAPHIC SURVEY

Date 9-22-2020
Scale 1"=10'
Drawn: BD
Checked: CR
Job J20066
Sheet
1



- GENERAL NOTES:**
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
 - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINETS & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
 - CONTRACTOR SHALL REFER TO ARCH. PLANS FOR EXACT LOCATIONS OF UTILITIES SERVICES TO NEW BUILDING. COORDINATE WITH LOCAL UTILITIES COMPANIES FOR SERVICE CONNECTIONS.
 - STORM DRAIN PIPE BEDDING & TRENCH BACKFILL SHALL BE INSTALLED PER DETAIL #1/C/3



- LEGEND**
- = PROPERTY LINE
 - = STREET CENTER LINE
 - = EX. ROLLED CURB
 - = EX. SPOT ELEVATION
 - = FLOW DIRECTION
 - = GRADE BREAK
 - = FLOW LINE
 - = INFILTRATION DEVICE
 - = BUBBLE UP DRAIN
 - = STORM DRAIN PIPE

- APN = ASSESSOR PARCEL NUMBER
 BS = BOTTOM OF STEP ELEVATION
 BW = BACK OF SIDEWALK
 C = CONCRETE
 EG = EXISTING GRADE
 EX = EXISTING
 FF = FINISH FLOOR ELEVATION
 FG = FINISH GRADE ELEVATION
 FL = FLOWLINE
 G = GARAGE
 IE = INVERT ELEVATION
 L = LAWN
 LF = LINEAL FEET
 L.O.W. = LIMIT OF WORK
 N = NEW
 P = PORCH OR PATIO
 R.O.W. = RIGHT OF WAY
 S = SLOPE
 SD = STORM DRAIN
 SR = STRAW ROLL
 TC = TOP OF CURB
 TG = TOP OF GRATE
 TS = TOP OF STEP ELEVATION
 TYP = TYPICAL

- GRADING NOTES**
- MATCH EXISTING GRADE
 - RAIN WATER LEADER. SEE ARCH. PLANS FOR EXACT LOCATION.
 - BEGIN/END 6" WIDE PREFABRICATED TRENCH DRAIN
 - STORM DRAIN CLEANOUT
 - BEGIN/END 4" PERFORATED PIPE AT BUILDING FOUNDATION. SEE STRUCTURAL PLANS FOR EXACT PLACEMENT.
 - END 4" PERFORATED PIPE. BEGIN 4" STORM DRAIN PIPE
 - BEGIN/END SITE RETAINING WALL

CONTRACTOR SHALL ESTIMATE THEIR EARTHWORK QUANTITIES WHEN BIDDING ON THIS PROJECT.

EARTHWORK QUANTITIES:	VOLUME (CUBIC YARD)
FILL	10
COMPACTION RATE: 15%	10 x 0.15 = 1.5
TOTAL FILL	12 (ROUND UP)
CUT	235
TOTAL EARTHWORK	223 (HAUL OFF)
TOTAL EARTHWORK ACTIVITY	247 CY < 250 CY

PRE & POST DEVELOPMENT PERVIOUS/IMPERVIOUS AREAS:

AREA TYPE	EXISTING	PROPOSED
LOT AREA	5,500 SF	5,500 SF
HOUSE	0	1,422 (*)
DRIVEWAY	676	1,118
HARDSCAPE	0	800
TOTAL IMPERVIOUS AREA	676	3,340
WOOD DECK	0	131
PERVIOUS AREA	4,824	2,029
TOTAL PERVIOUS AREA	4,824	2,160

* INCLUDES ROOF OVERHANG

STORMWATER MANAGEMENT CONSTRUCTION APPROVAL FORM (CAF)
 CONTRACTOR SHALL COORDINATE WITH PROJECT CIVIL ENGINEER RELATED TO STORMWATER MANAGEMENT CONSTRUCTION WORK PERIODICALLY AS NEEDED. ALL CONSTRUCTION OBSERVATION LETTER(S) SHALL BE SUBMITTED TO THE COUNTY AND APPROVAL OF CAF IS REQUIRED BEFORE FINAL INSPECTION SIGN OFF.

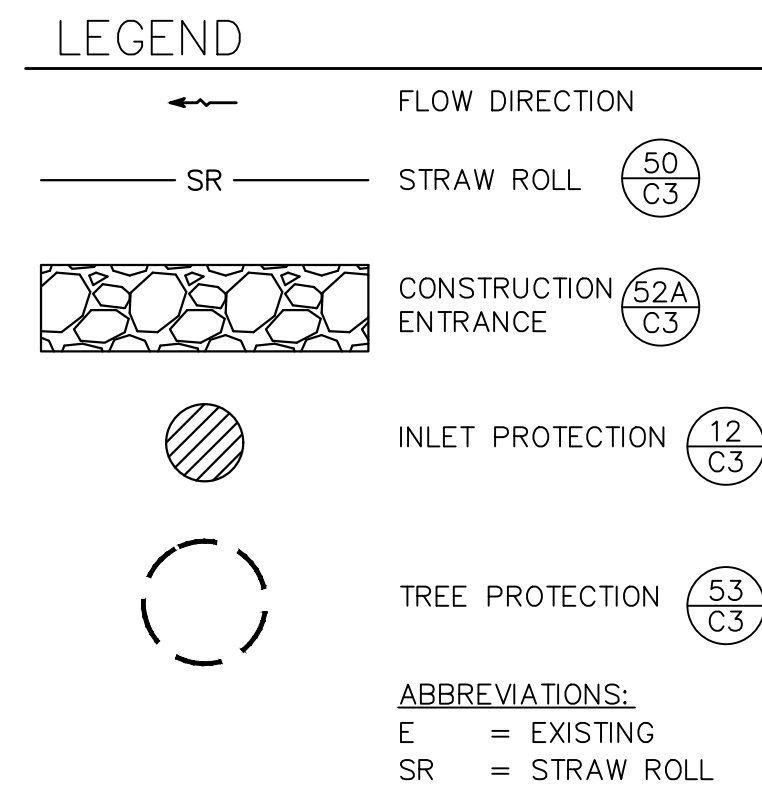
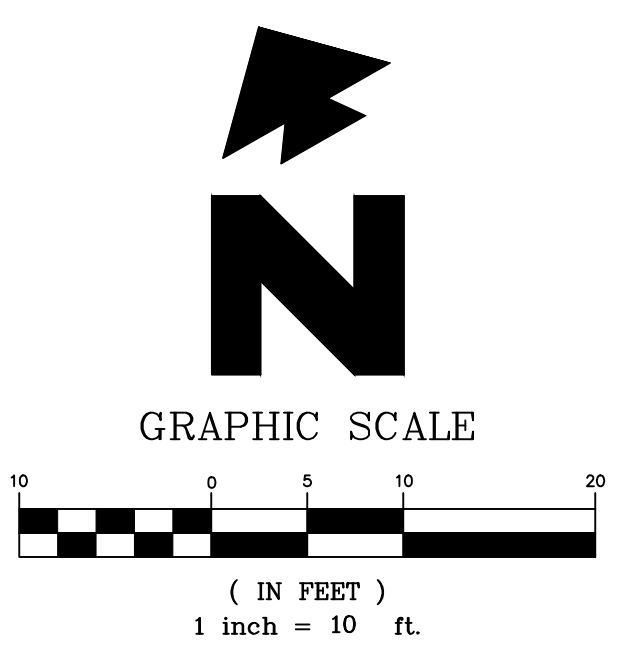
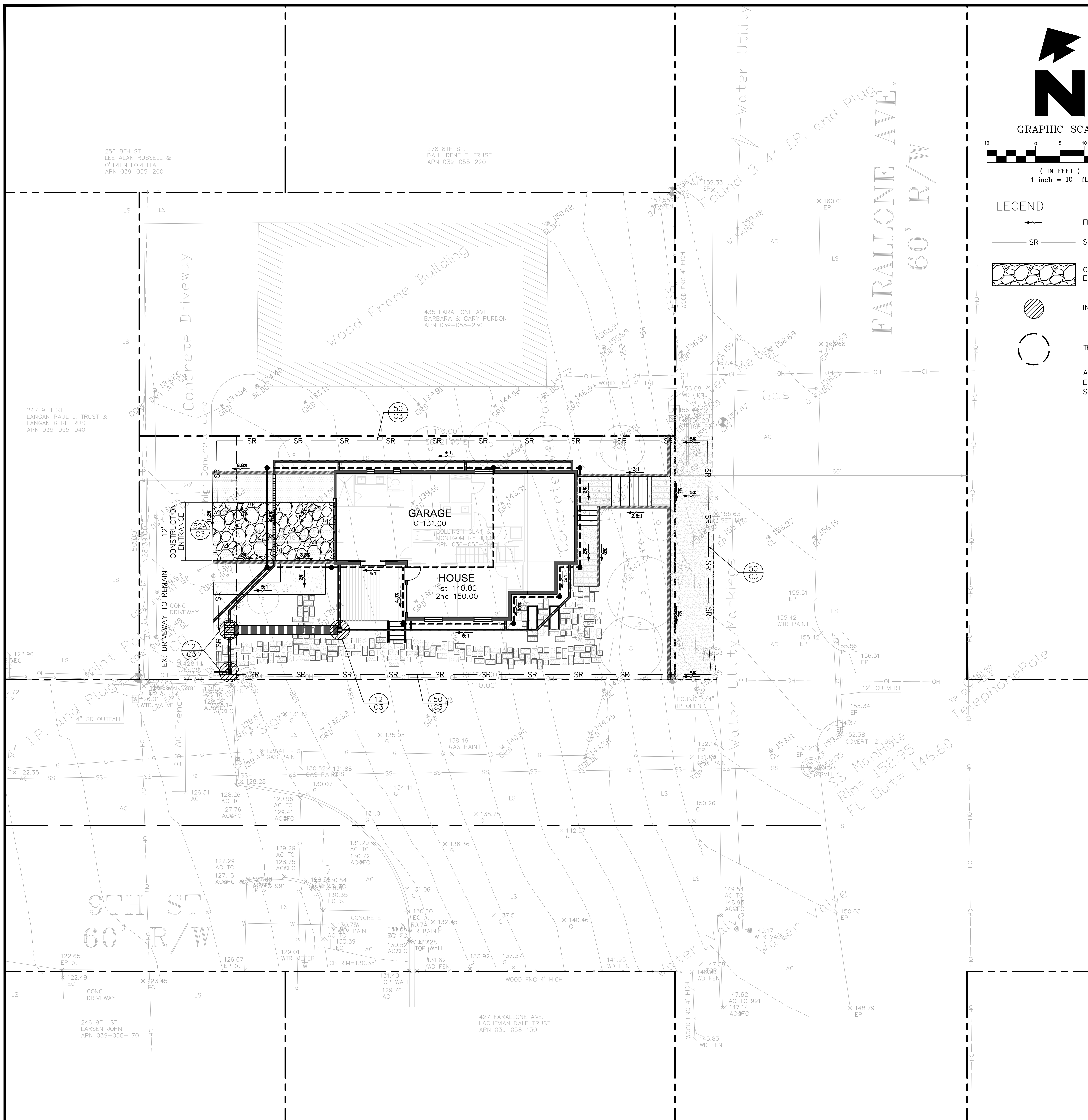
GRADING & DRAINAGE PLAN
COLLINS RESIDENCE
9TH & FARALLONE AVE
MONTARA, CA 94037

GREEN
 CIVIL ENGINEERING, INC.
 INFO@GREEN-CE.COM
 1900 S. NORFOLK ST. SUITE #350
 SAN MATEO, CA 94403

SCALE
 VERTICAL: 1"= AS SHOWN
 HORIZONTAL: 1"= AS SHOWN

DATE: 03/25/2020
 DESIGNED: HCL
 DRAWN: HCL
 REVIEWED: HCL
 JOB NO.: 20200015

SHEET
C1
 1 OF 3 SHEET



EROSION AND SEDIMENT CONTROL NOTES AND MEASURES:

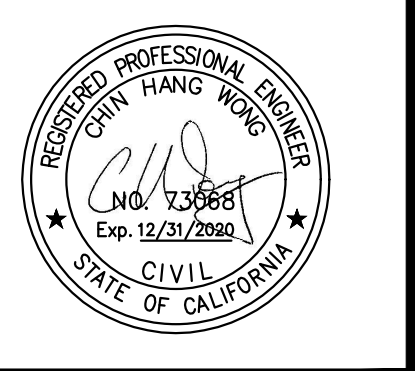
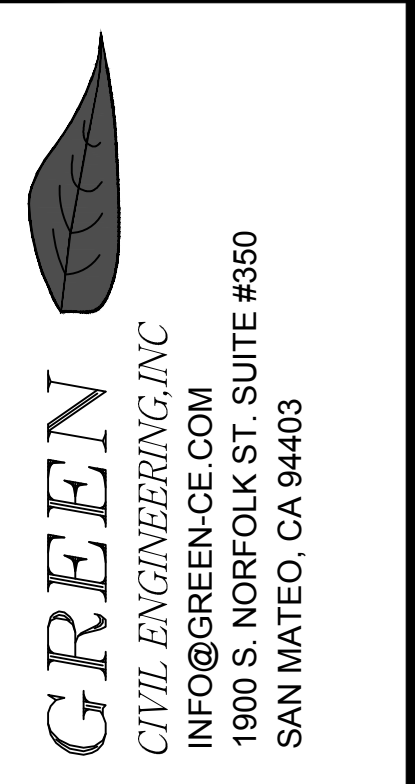
1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 30. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON, WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER.
3. IF HYDROSEEDING IS NOT USED, THEN OTHER METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF: 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. CONTACT TOWN OF PORTOLA VALLEY FOR APPROVED SEED MIX. UTILIZE EROSION FABRIC ON DISTURBED SLOPES GREATER THAN 2:1.
4. DURING WINTER MONTHS, ALL DISTURBED SLOPES GREATER THAN 2:1 SHALL HAVE MANDATORY EROSION CONTROL FABRIC.
5. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
6. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.
7. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS OF FUTURE CONSTRUCTION.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL PRIOR, DURING, AND AFTER STORM EVENTS.
9. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATELY REMEDY SHALL OCCUR.
10. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
11. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
12. DEMOLITION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
13. CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
14. WITH THE APPROVAL OF THE CITY INSPECTOR, EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.
15. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH MOVING ACTIVITIES AND CONSTRUCTION.
16. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR ROUND. STABILIZE ALL DENUDE AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
17. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
18. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
19. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
20. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WAS WATER IS CONTAINED AND TREATED.
21. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
22. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINT.
23. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
24. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
25. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
26. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
27. DUST CONTROL IS REQUIRED YEAR-ROUND.
28. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
29. PLACEMENT OF EROSION MATERIALS IS REQUIRED ON WEEKENDS DURING THE WET SEASON AND DURING RAIN EVENTS.
30. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
31. THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING OR GRUBBING IS STARTED.

MAINTENANCE NOTES:

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAPS RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE FOOT.
 - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND GULLIES MUST BE REPAIRED.

REV.	DATE	DESCRIPTION

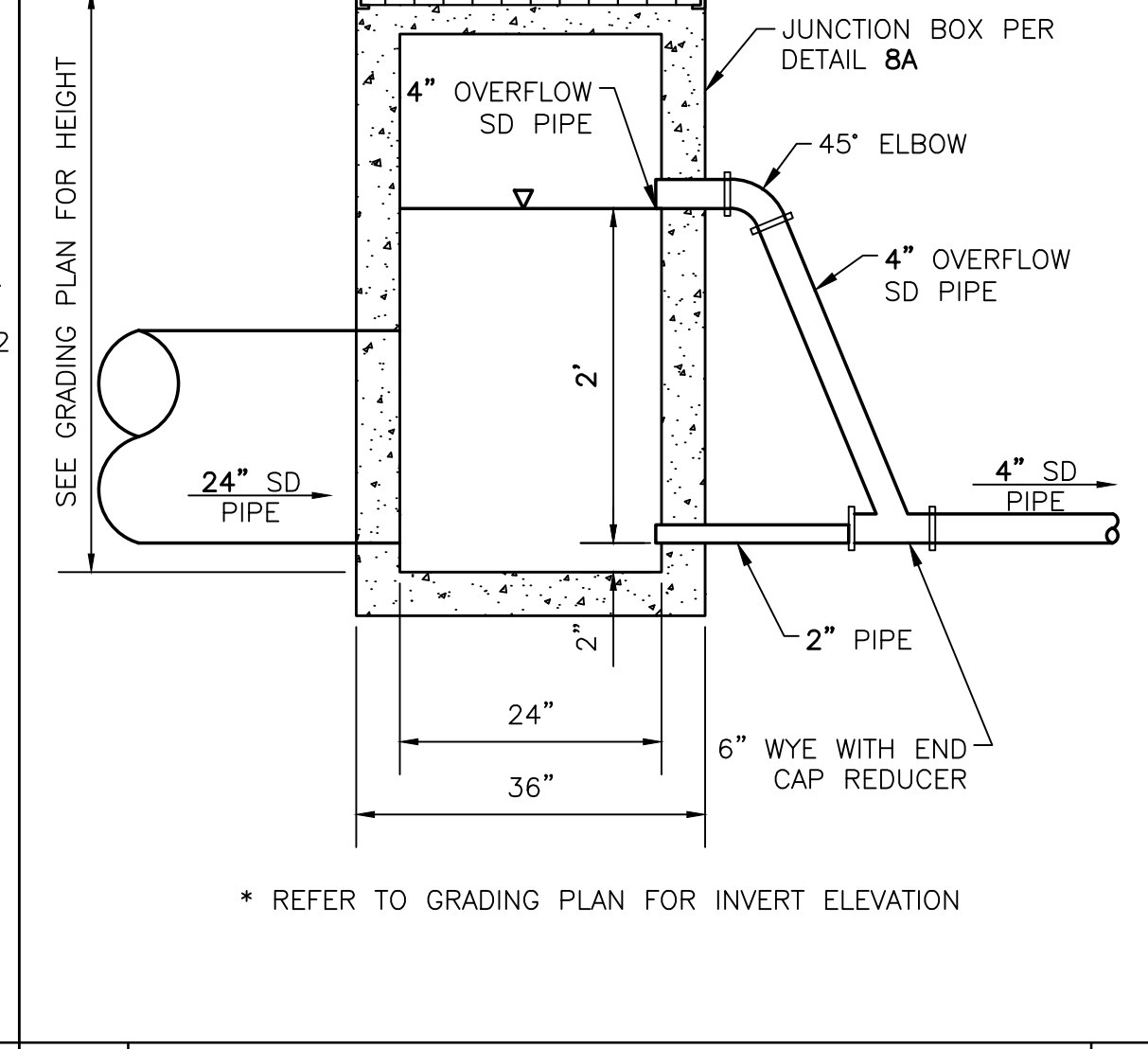
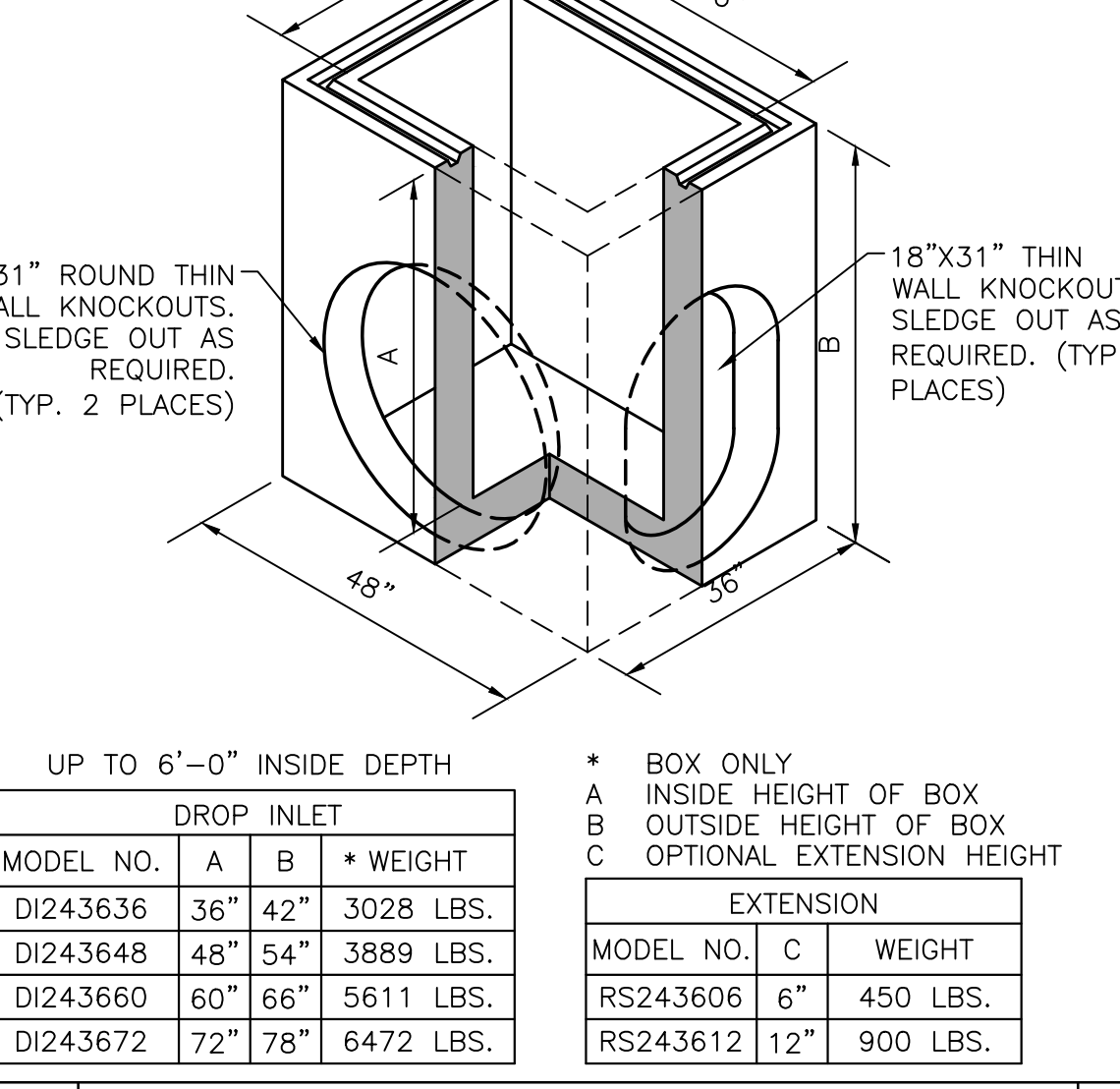
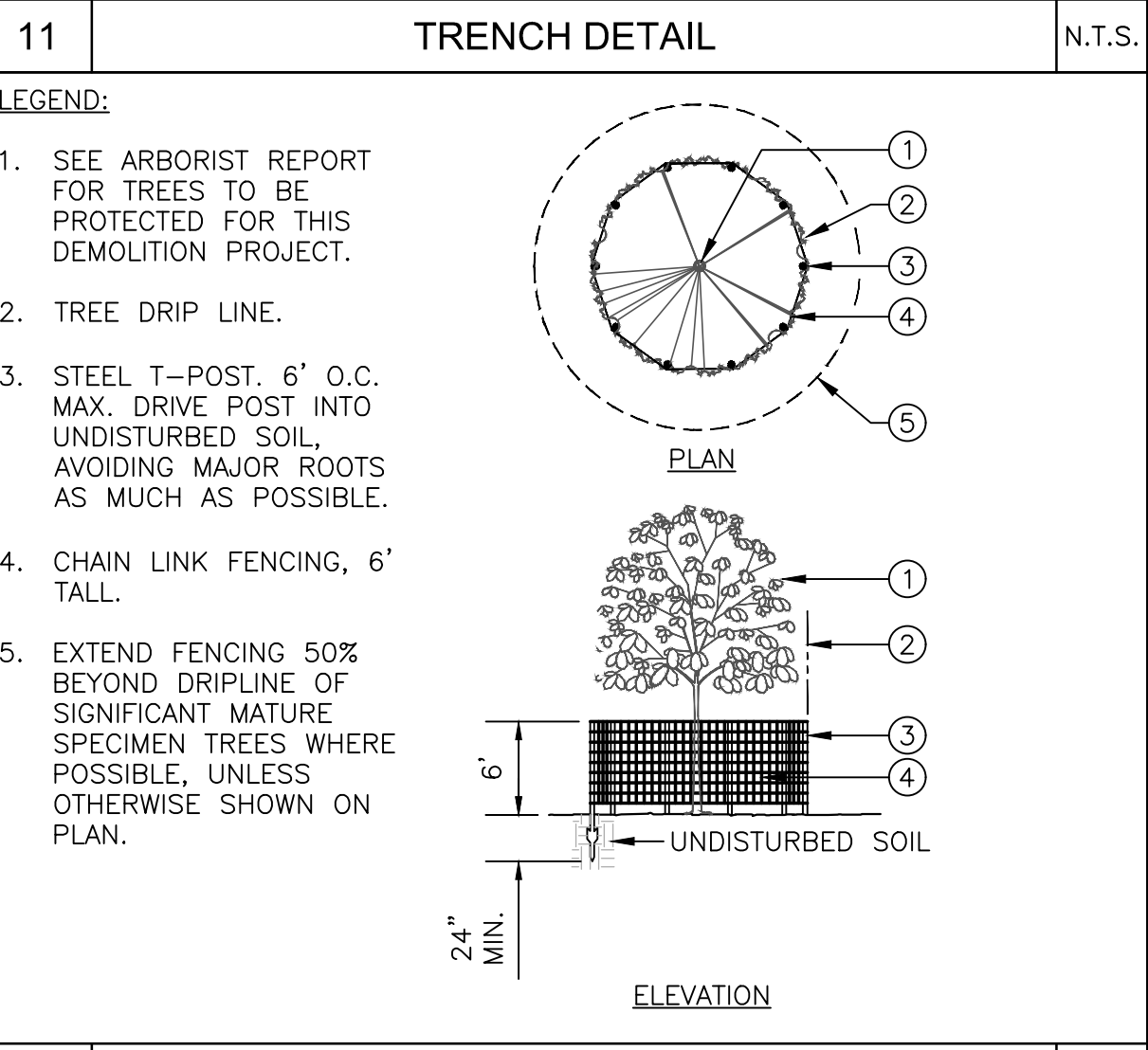
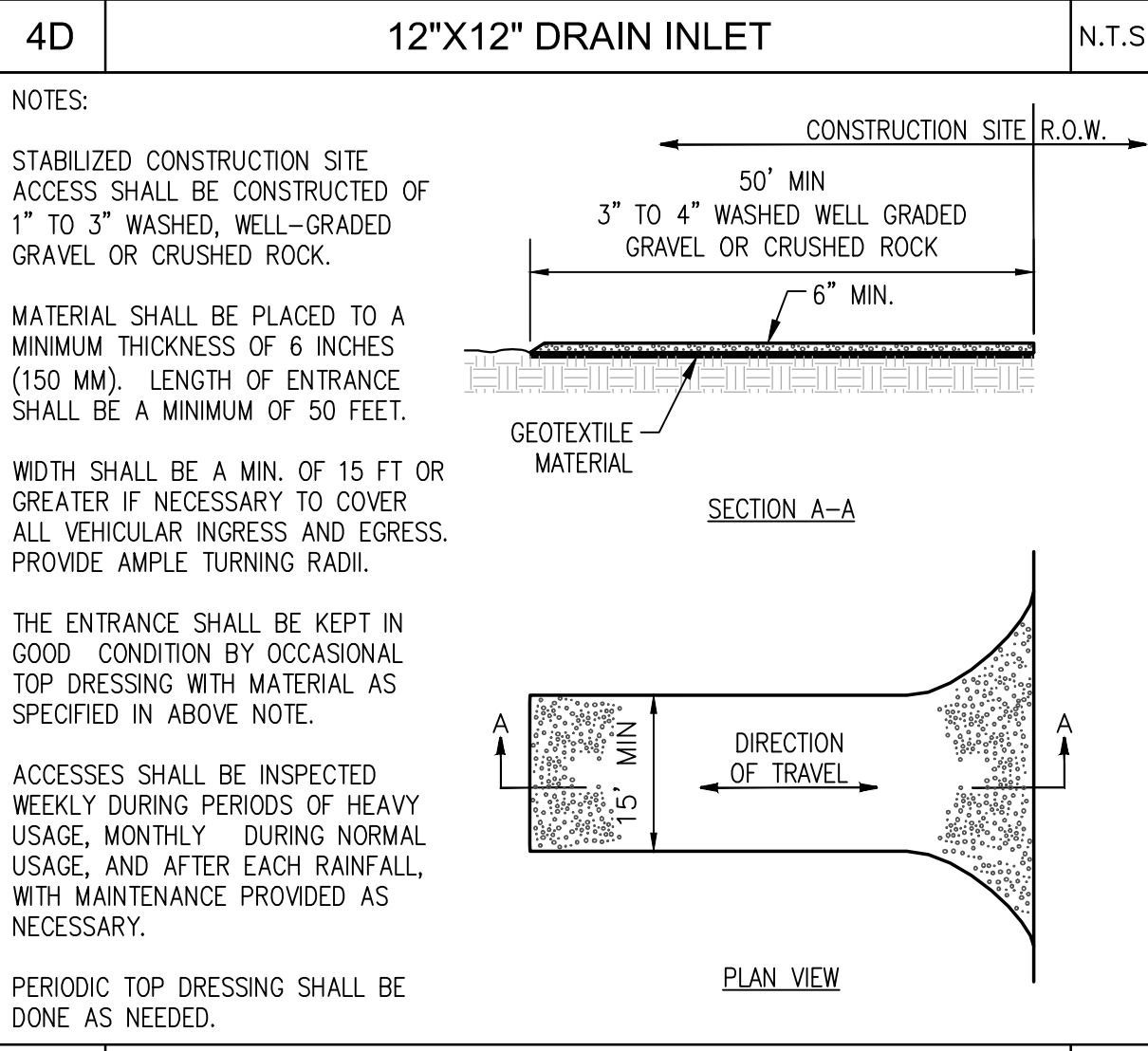
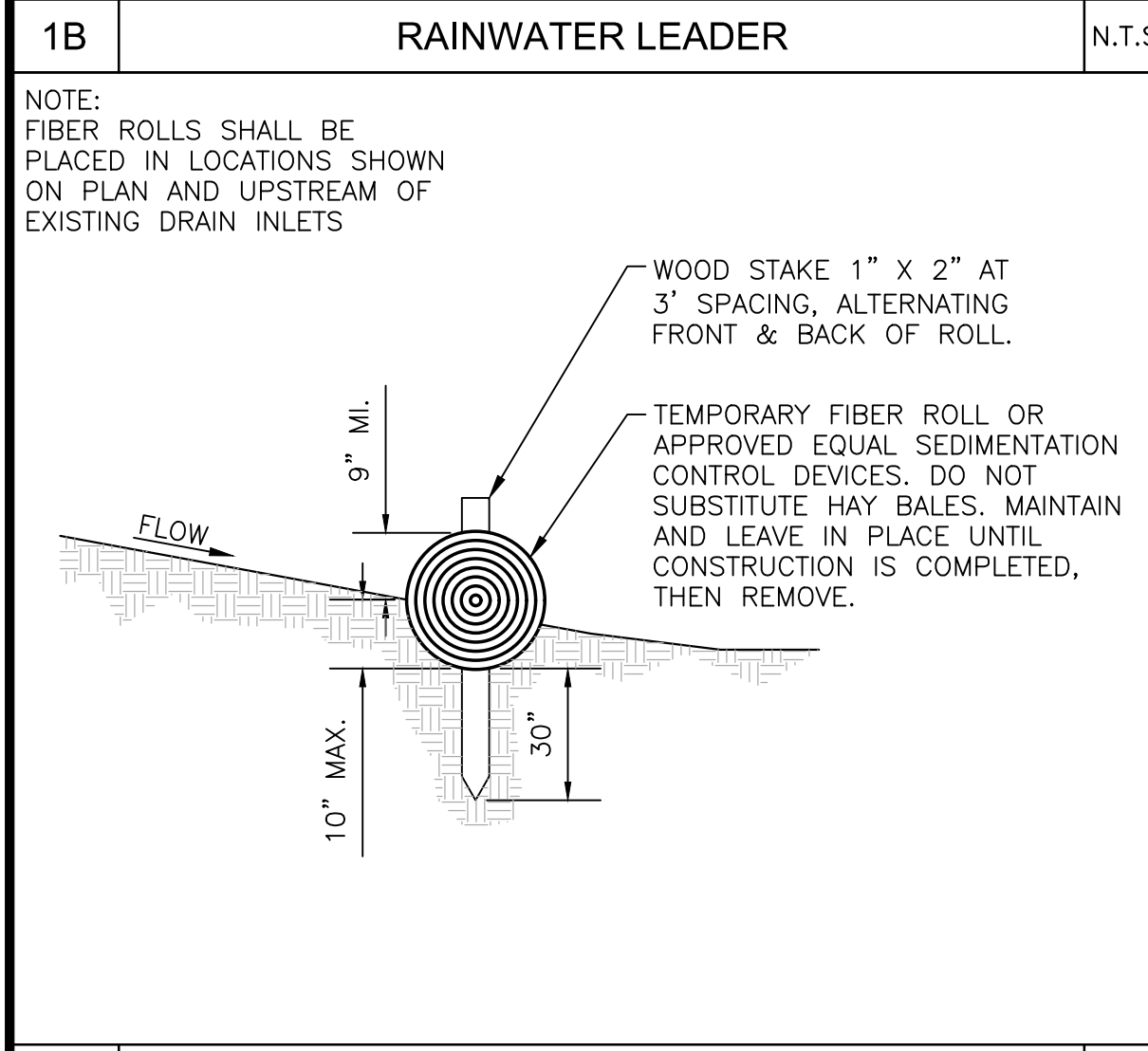
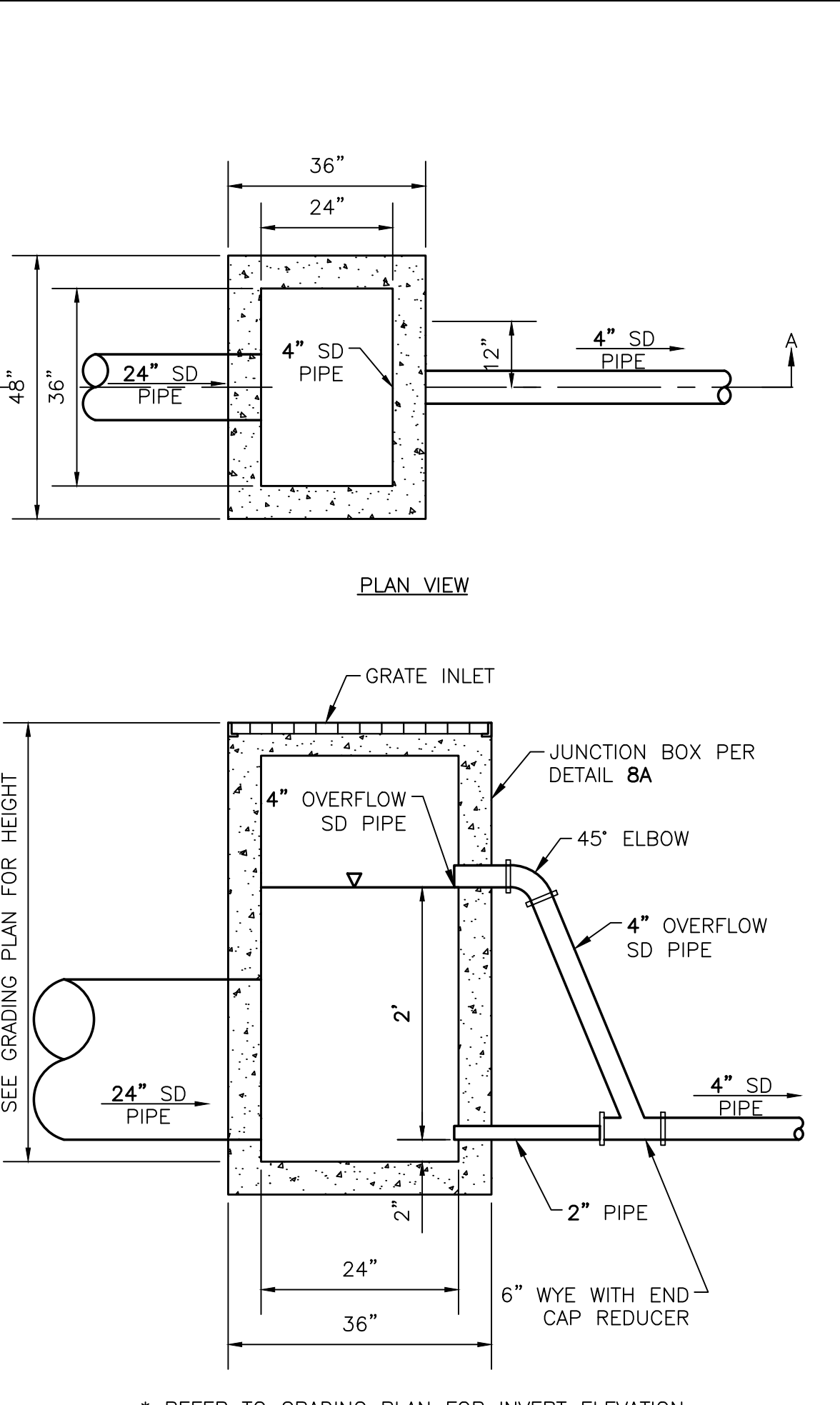
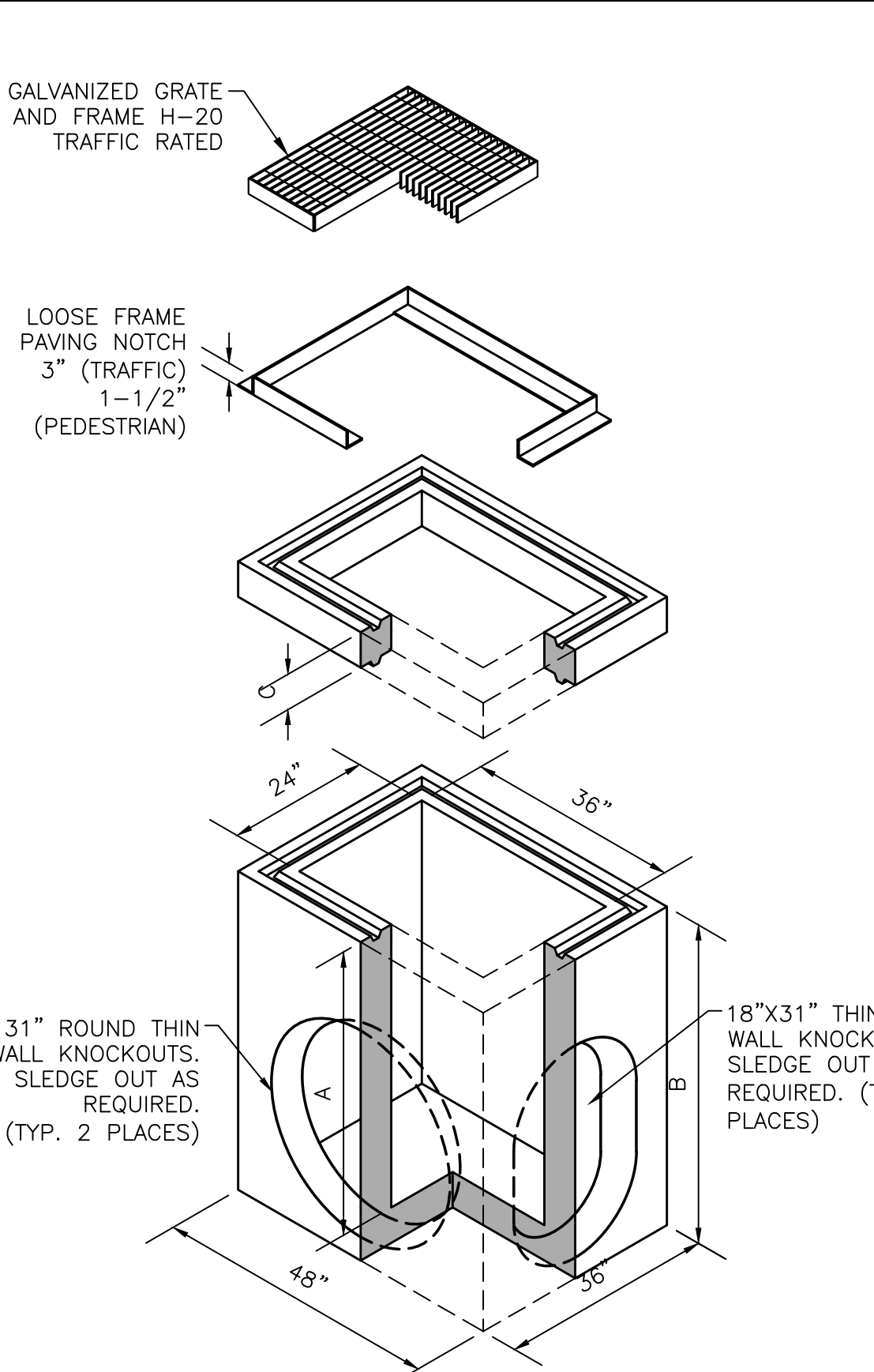
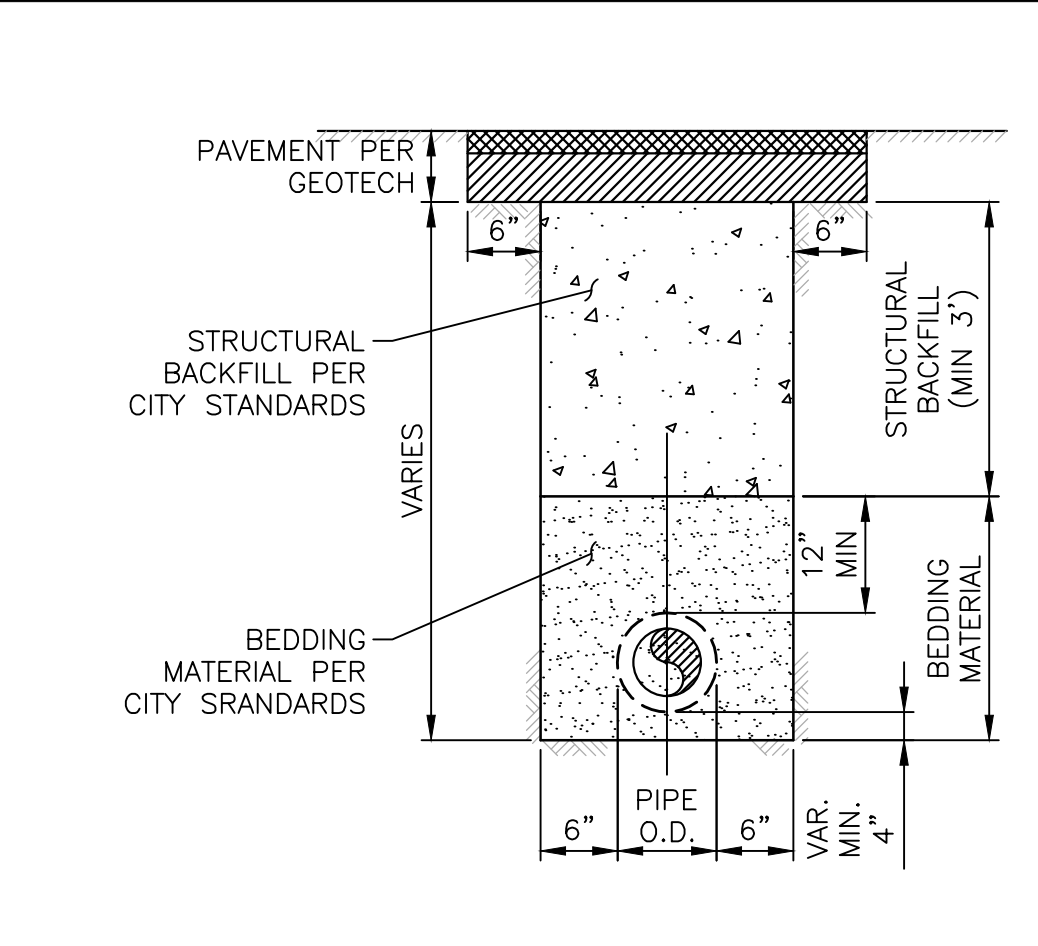
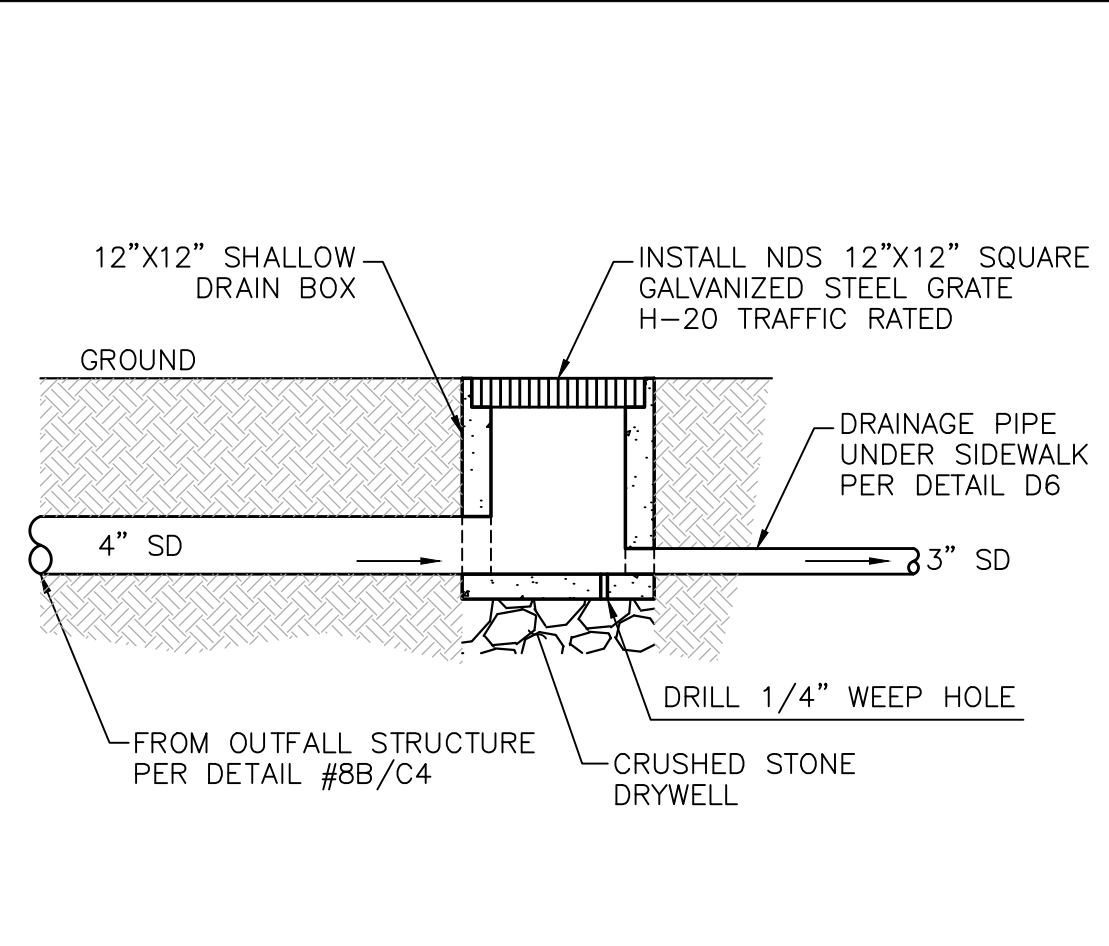
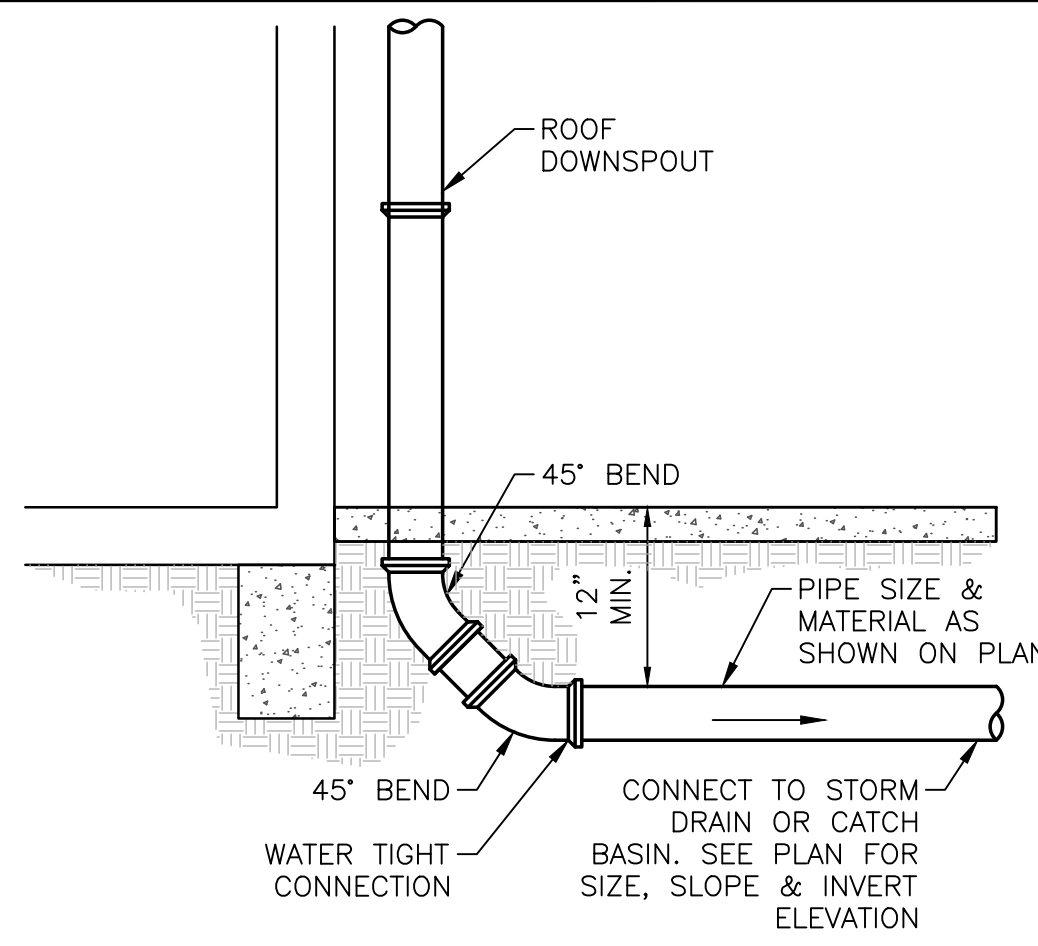
EROSION CONTROL PLAN
COLLINS RESIDENCE
9TH & FARALLONE AVE
MONTARA, CA 94037



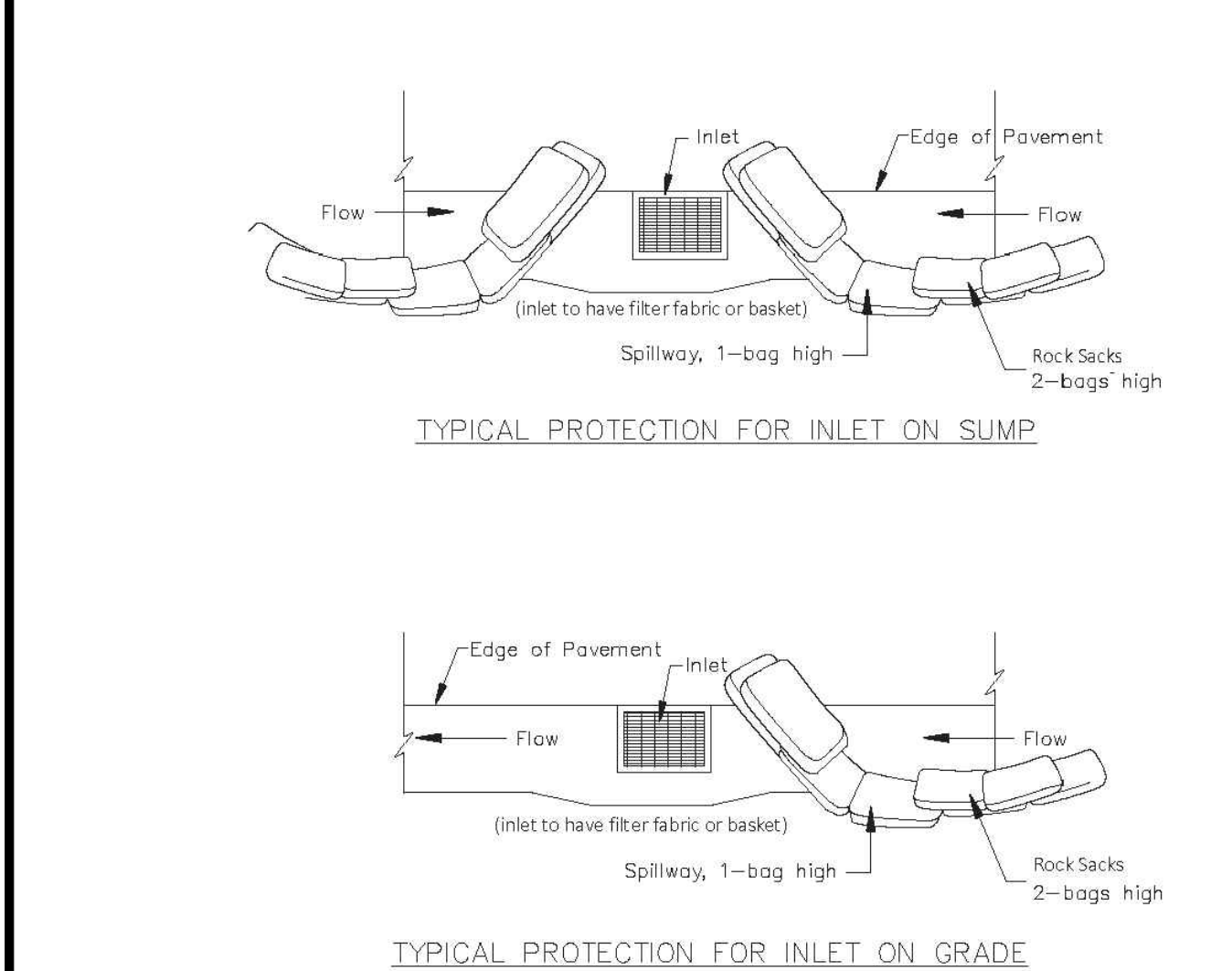
SCALE

VERTICAL: 1" = AS SHOWN
 HORIZONTAL: 1" = AS SHOWN

DATE:	03/25/2020
DESIGNED:	HCL
DRAWN:	HCL
REVIEWED:	HCL
JOB NO.:	20200015

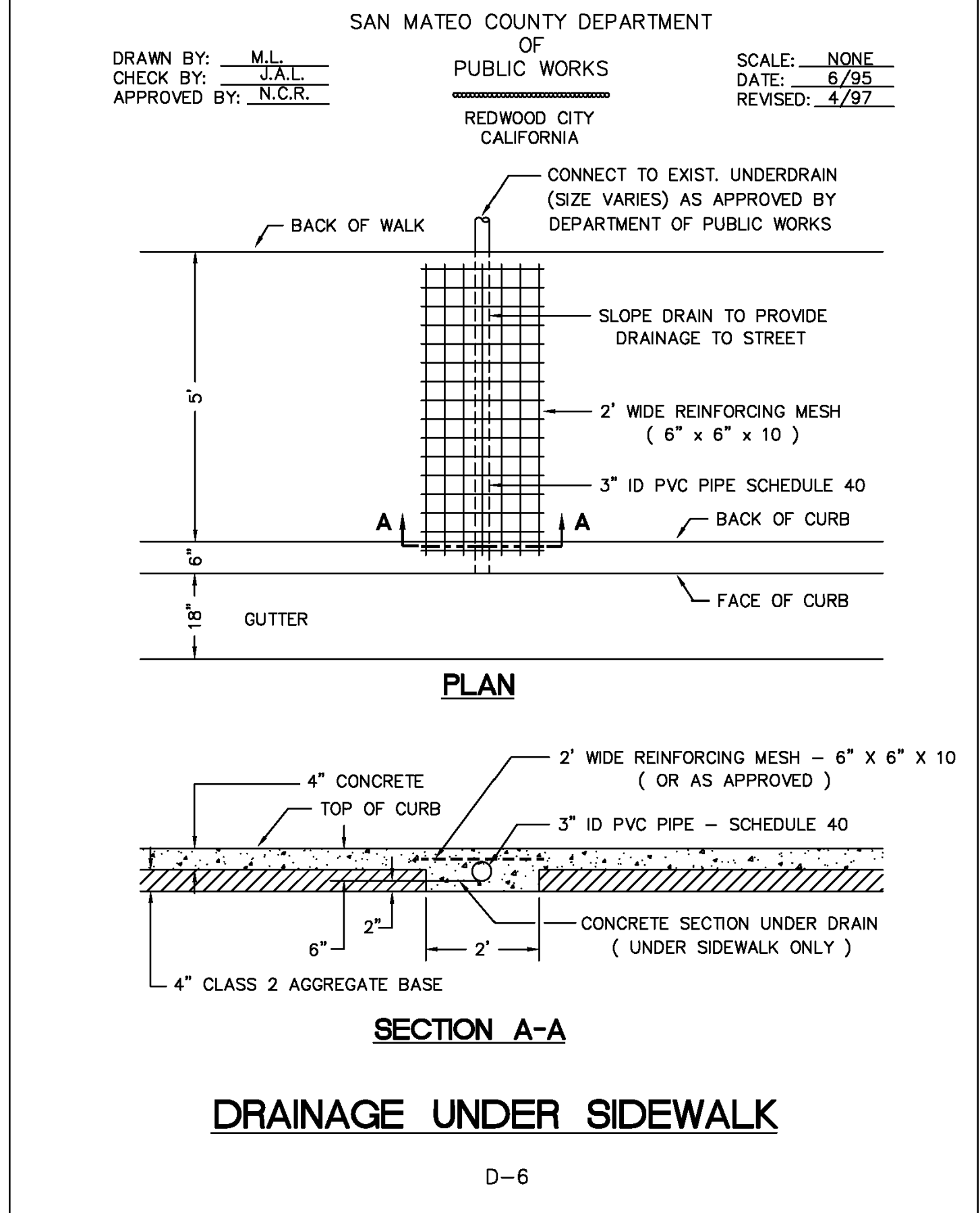


Storm Drain Inlet Protection SE-10



- NOTES:
1. Intended for short-term use.
 2. Use to inhibit non-storm water flow.
 3. Allow for proper maintenance and cleanup.
 4. Bags must be removed after adjacent operation is completed.
 5. Not applicable in areas with high silts and clays without filter fabric.
 6. Protection can be effective even if it is not immediately adjacent to the inlet provided that the inlet is protected from potential sources of pollution.

INLET PROTECTION
N.T.S.



SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS
DRAWN BY: M.L.
CHECK BY: J.A.L.
APPROVED BY: N.C.R.
SCALE: NONE
DATE: 8/95
REVISED: 4/97
REDWOOD CITY CALIFORNIA
CONNECT TO EXIST. UNDERDRAIN (SIZE VARIES) AS APPROVED BY DEPARTMENT OF PUBLIC WORKS
BACK OF WALK
SLOPE DRAIN TO PROVIDE DRAINAGE TO STREET
2' WIDE REINFORCING MESH (6" x 6" x 10)
3" ID PVC PIPE SCHEDULE 40
BACK OF CURB
FACE OF CURB
GUTTER
PLAN
4" CONCRETE TOP OF CURB
2' WIDE REINFORCING MESH - 6" x 6" x 10 (OR AS APPROVED)
3" ID PVC PIPE - SCHEDULE 40
CONCRETE SECTION UNDER DRAIN (UNDER SIDEWALK ONLY)
4" CLASS 2 AGGREGATE BASE
SECTION A-A
DRAINAGE UNDER SIDEWALK
D-6

REV.	DATE	DESCRIPTION

DETAIL SHEET
COLLINS RESIDENCE
9TH & FARALLONE AVE
MONTARA, CA 94037

GREEN
CIVIL ENGINEERING, INC.
INFO@GREEN-CE.COM
1900 S. NORFOLK ST. SUITE #350
SAN MATEO, CA 94403



SCALE

VERTICAL: 1"= AS SHOWN
HORIZONTAL: 1"= AS SHOWN

DATE: 03/25/2020
DESIGNED: HCL
DRAWN: HCL
REVIEWED: HCL
JOB NO.: 20200015

Notes

All landscaping shall be drought-tolerant, and either native or non-invasive plant species.

Water supply: Domestic w/ backflow. Refer to Sheet L2.1 for location and zones.

Landscaped Area (within property lines; excluding street landscape)

- Total: 1,910 sf
- New: 1,910 sf
- Plants and Trees: 1,910 sf
- Turf: 0 sf

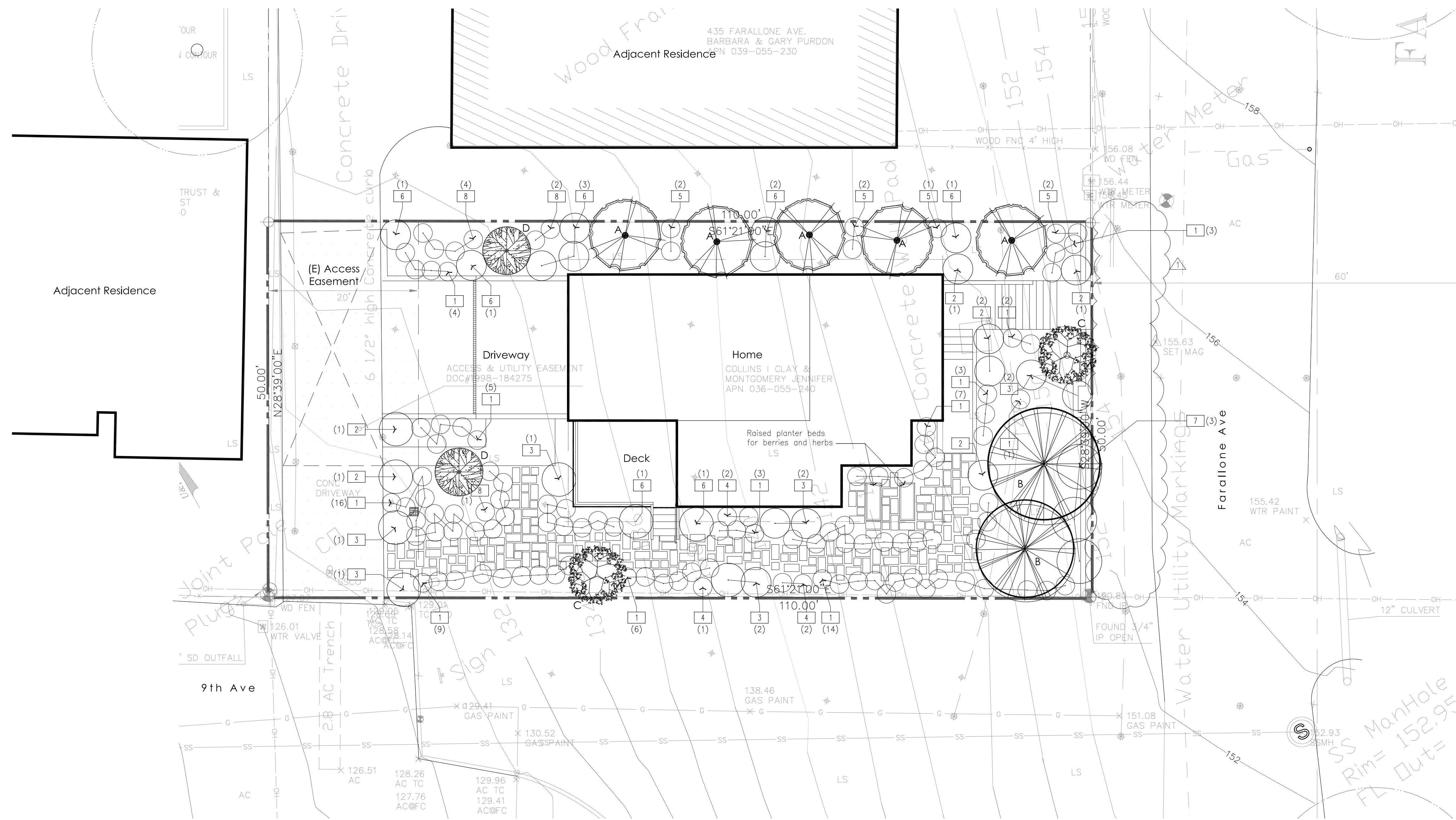
Unless contradicted by a soils test, compost at a rate of a minimum of four (4) cubic yards per 1,000 sf of permeable area shall be incorporated to a depth of 6 inches into the soil.

Install climate adapted plants that require occasional, little, or no summer water (average WUCOLS plant factor of 0.3) for 75% of the plant area excluding edibles and areas using recycled water.

A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping / rooting ground covers.

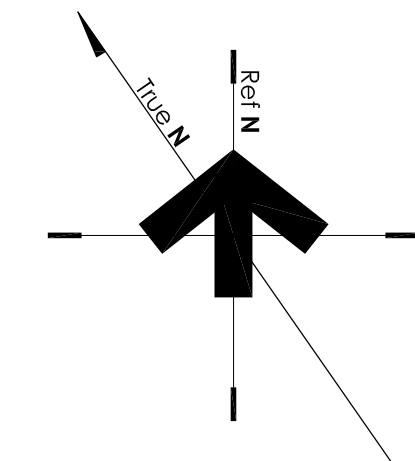
Plant List

Symbol	Trees	Common Name	Botanical Name	Size	Sunset Zone	WUCOLS Factor	Plants & Shrubs	Common Name	Botanical Name	Size	Sunset Zone	WUCOLS Factor
	A	Chinese Pistache H: 25' W:25'	Pistacia chinensis	24" Box	4-23	0.2	1	Coyote Brush	Baccharis pilularis	1 gal.	5, 7-9, 14-24	0.2
	B	Monterey Cypress H: 40' W:30'	Cupressus macrocarpa	24" Box	17	0.5	2	Bigleaf Hydrangea	Hydrangea macrophylla	5 gal.	3b-9, 14-24	0.5
	C	Western Dogwood H:16' W:15'	Cornus sericea	24" Box	4-9, 14-24	0.85	3	Gazania	Gazania	5 gal.	H1, H2, 8-24	0.5
	D	Western Redbud H: 15" W:10"	Cercis occidentalis	24" Box	2-24	0.1	4	African Iris	Diets iridiodes	5 gal.	8-9, 12-24	0.2
							5	Blue Eyed Grass	Sisyrinchium bellum	5 gal.	4, 9, 14-24	0.1
							6	McMinn Manzanita	Arctostaphylos viridissima	5 gal.	7-9, 14-24	0.2
							7	Breath of Heaven	Coleonema pulchellum	5 gal.	7-9, 14-24	0.5
							8	Purple Three Awn	Aristida purpurea	5 gal.	3b-24	0.2



1 Site Plan

1/8" = 1'-0"





 **Chinese Pistache**
Pistacia chinensis A



 **Monterey Cypress**
Cupressus macrocarpa B



 **Western Dogwood**
Cornus sericea C



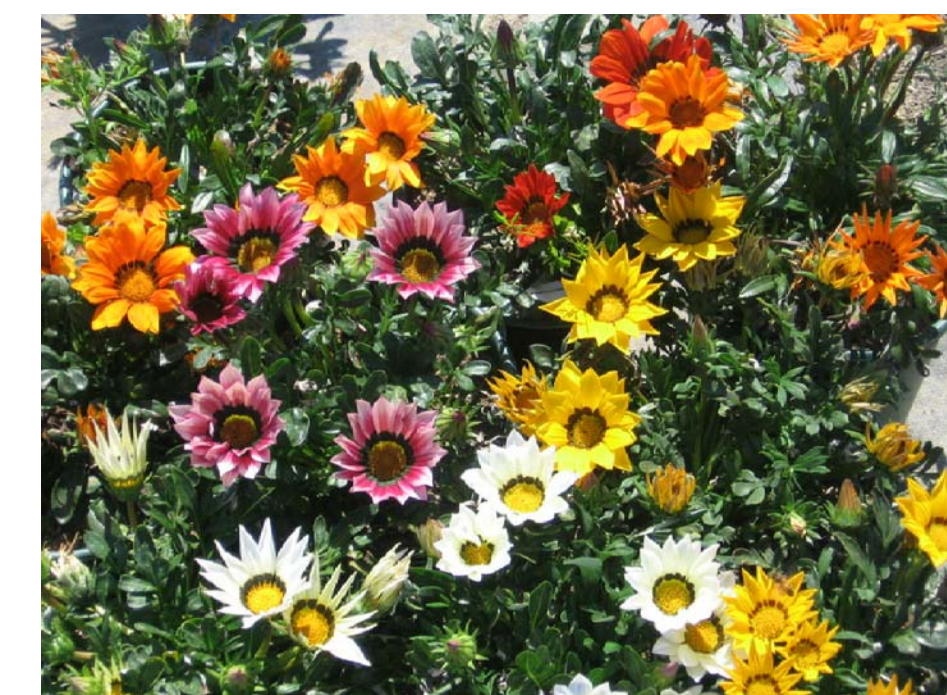
 **Western Redbud**
Cercis occidentalis D



 **Coyote Brush**
Baccharis pilularis



 **Bigleaf Hydrangea**
Hydrangea macrophylla



 **Gazania**
Gazania



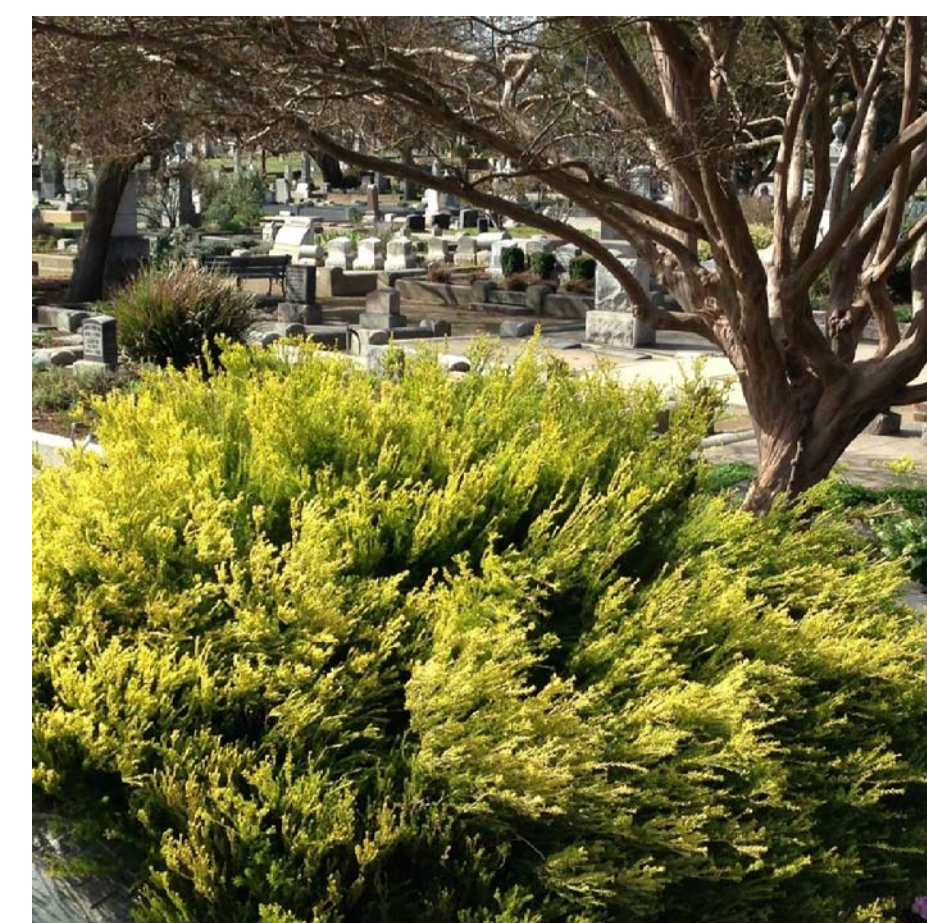
 **African Iris**
Iris iridioides



 **Blue Eyed Grass**
Sisyrinchium bellum



 **McMinn Manzanita**
Arctostaphylos viridissima



 **Breath of Heaven**
Coleonema pulchellum



 **Purple Three Awn**
Aristida purpurea

**MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO)
SHORT FORM PRESCRIPTIVE COMPLIANCE**

Applicant Information:

Name: Clay and Jennifer Collins
 Phone: 626-255-0616
 Address: 26860 Canyon End Rd Canyon Country, CA 91387
 Email: CCollins@fiskcorp.com

Project

Site Address: 036-055-240 (APN)
 Project Type (*new dwelling, commercial, or rehab*): New Dwelling

This project does incorporate landscaping equal to or less than 2500 sq ft and will be using this form to identify prescriptive requirements which will be included as part of the landscape project. (Please provide the information below specific to the landscape area and identify the location on the plans each design measure can be found using the LANDSCAPE WATER EFFICIENCY (MWELO) APPENDIX - D CHECKLIST on page two):

Total Landscape Area (sq. ft.): 1,910 Turf Area (sq. ft.): 0

Non-Turf Plan Area (sq. ft.): 1,910 (landscape) Special Landscape Area (sq. ft.): 0

Water Type (*potable, recycled, well*): Domestic

Name of water purveyor (*If not served by private well*): Montara Water and Sewer District

Signature

I certify the above information is correct and agree to comply with the requirements of the MWELO.

[Signature] 11-25-20
 Signature of property owner or authorized representative Date

**LANDSCAPE WATER EFFICIENCY (MWELO) APPENDIX - D CHECKLIST
(Can only be used when aggregate landscape areas are 2,500 square feet or less)**

Landscape Parameter	Design Measures	Location on Plans
Compost	Incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).	L1.1
Plant Water Use	Residential: Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water. Non-residential: Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water.	L1.1
Mulch	A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.	L1.1
Turf	Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects. Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.	N/A
Irrigation System	Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor. Irrigation controller programming data will not be lost due to an interruption in the primary power source. Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff. A private landscape submeter is installed at non-residential landscape areas of 1,000 sq. ft. or more.	L2.1

Signature

I agree to comply with the requirements of the prescriptive compliance option of the MWELO per Appendix D.

[Signature] 11-25-20
 Signature of property owner or authorized representative Date

Note

For the purposes of this for landscape area includes all the planting areas, turf areas, and water features in a landscape design plan subject to the Maximum Applied Water Allowance calculation. The landscape area does not include footprints of buildings or structures, sidewalks, driveways, parking lots, decks, patios, gravel or stone walks, other pervious or non-pervious hardscapes, and other non-irrigated areas designated for non-development (e.g., open spaces and existing native vegetation).

1 MWELO Short Form Prescriptive Compliance

**PRESCRIPTIVE APPROACH
(For 500 - 2,500 sq ft of new landscape area or aggregate new and rehabilitated landscape area OR 2,500 sq ft of rehabilitated landscape area)**

Plant Material (Title 23, Chapter 2.7, Appendix D (b) (3))

- For residential areas, 75% of landscape, excluding edibles and areas using recycled water, shall consist of plants that average a WUCOLS plant factor of 0.3. WUCOLS plants database can be found online at: <http://ucanr.edu/sites/WUCOLS/>
- For non-residential areas, 100% of the plants, excluding edibles and areas using recycled water, shall consist of plants that average a WUCOLS plant factor of 0.3.
- Pools and water features are included in landscape square footage for one-family and two-family dwellings
- The following WUCOLS plant factors shall be used in calculating the average WUCOLS plant factor:
 - Very low = .1
 - Low = .2
 - Moderate = .5
 - High = .85
- The following formula shall be used to calculate the average WUCOLS factor:

$$[(\# \text{ of Very low water use plants} \times 0.1) + (\# \text{ of Low water use plants} \times 0.2) + (\# \text{ of Moderate water use plants} \times 0.5) + (\# \text{ of High water use plants} \times 0.85)] / \text{Total number of plants} = \text{WUCOLS average for project}$$
- Include a landscape and irrigation design plan.
- Include square footages of new landscaping and rehabilitated landscaping.
- Include a plant list on the landscape plan that identifies all plant material by botanical names and common names, WUCOLS factor, Sunset and/or USDA Hardiness zone, and the total quantity of each plant.
- The average spread of each tree shall be noted on the plant list.
- Add note to plans: "A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated."

Turf (Title 23, Chapter 2.7, Appendix D (b) (4))

- Turf is considered living plant material. MWELO regulations do not apply to artificial turf.
- Note areas of existing turf and new turf and the square footage of each.
- Add note to plans: "Turf shall not exceed 25% of the landscape area in residential areas."
- Add note to plans: "No turf permitted in non-residential areas."
- Add note to plans: "Turf not permitted on slopes greater than 25%."
- Add note to plans: "Turf is prohibited in parkways less than 10 feet wide."

Irrigation (Title 23, Chapter 2.7, Appendix D (b) (5))

- The irrigation plans, at a minimum, shall contain the following:
 - Location and size of water meters for landscape (if a separate water meter is installed)
 - Location, type, and size of all components of the irrigation system, including, at a minimum, main and lateral lines
- Add note to plans: "Automatic weather-based or soil-moisture based irrigation controllers shall be installed on the irrigation system."
- Add note to plans: "Pressure regulators shall be installed on the irrigation system to ensure dynamic pressure of the system is within the manufacturer's recommended pressure range."

- Add note to plans: "Manual-shut-off valves shall be installed as close as possible to the point of connection of the water supply."
- Add note to plans: "Areas less than 10-feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray."
- Add note to plans: "For non-residential projects with landscape areas of 1,000 sq.ft. or more, private sub-meter(s) to measure landscape water use shall be installed."
- Add note to plans: "At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance."
- Add note to plans: "Unless contradicted by a soils test, compost at a rate of a minimum of four cubic yards per 1,000 sq. ft. of permeable area shall be incorporated to a depth of six inches into the soil."

2 MWELO Prescriptive Submittal Checklist

Notes

In MWELO Prescriptive Submittal Checklist, the section titled "Turf (Title 23, Chapter 2.7, Appendix D (b) (4))" is not filled out as the landscaping does not include any turf, existing or new.

DTA
 Dreiling Terrones Architecture Inc.
 Architecture
 Infrastructure
 Environments

1103 Juanita Avenue
 Burlingame, California
 94010
 650.696.1200

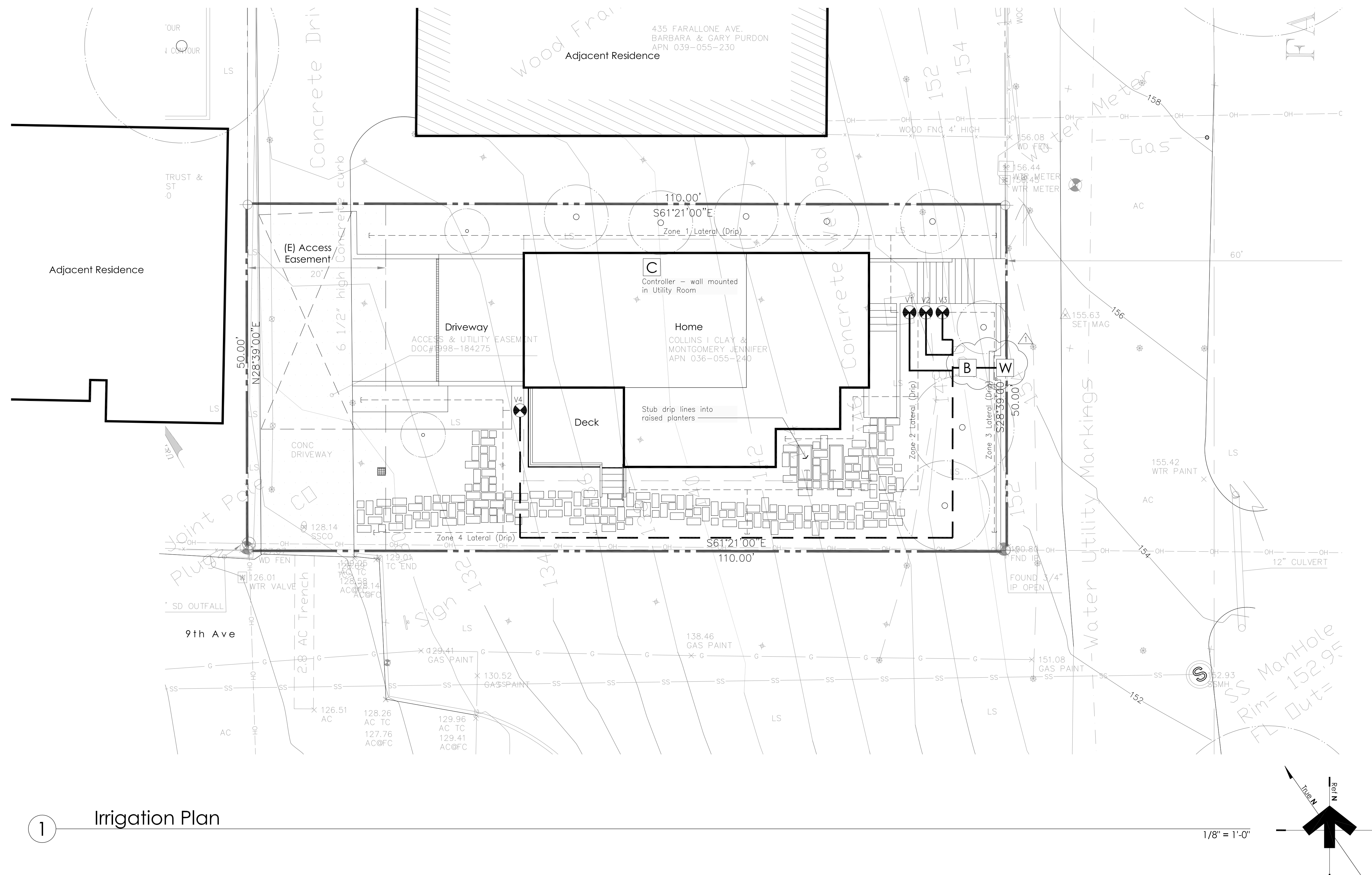
314 Center Street #220
 Heidelberg, California
 65448
 707.431.1305

New Single Family Residence
Collins Residence

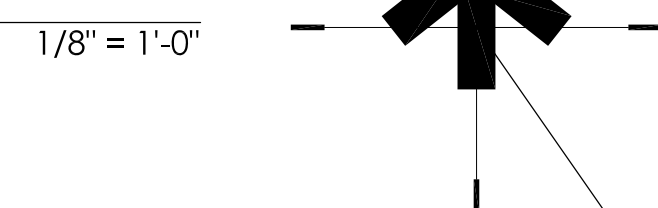
Montara, CA
 APN: 036-055-240

Planning Submittal: 28 April 2020
 Planning Resubmittal: 25 November 2020

MWELO Forms
L1.3
 1916



1 Irrigation Plan



Irrigation Notes

- Irrigation System:**
- Irrigation system shall be installed and fully functional prior to installation of any planting.
 - Automatic irrigation controllers that utilize either evapotranspiration or soil moisture sensor data for irrigation scheduling will be installed.
 - Pressure regulators shall be installed on the irrigation system to ensure dynamic pressure of the system is within the manufacturer's recommended pressure range.
 - Manual-shut-off valves shall be installed as close as possible to the point of connection of the water supply.
 - Areas less than 10-feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray.
 - For non-residential projects with landscape areas of 1,000 sq.ft. or more, private submeter(s) to measure landscape water use shall be installed.
 - At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance.
 - Sensors, either integral or auxiliary, that suspend or alter irrigation operation during unfavorable weather conditions will be installed.
 - The irrigation system will be designed to prevent runoff, low head drainage, overspray, or other similar conditions.
 - In areas with slope greater than 25% and within 24-inches of a non-permeable surface, or in narrow or odd shaped areas that are less than eight feet in width, low volume irrigation will be installed in mulched areas.
 - Irrigation systems shall be designed, maintained, and managed to meet an average landscape irrigation efficiency of 70% or more.
 - Irrigation shall be scheduled between 8:00 p.m. and 10:00 a.m.
 - Install all piping and valves in common trenches where feasible and inside planting areas whenever possible. All valves shall be located in groundcover or shrub areas.
 - Install irrigation in accordance with local codes and manufacturers specifications. Notify Architect of any conflicts prior to installation.
 - Connect backflow assembly with the point of connection using brass fittings.
 - Install sleeves at the necessary depths prior to pavement installation. Sleeving shall extend 1'-0" from edge of pavement into planting areas.
 - Install controller per drawings and fasten securely to wall. All above grade conduit either low voltage or line voltage, shall be rigid steel and securely fastened to structure and controller.
 - The automatic irrigation system controllers shall be weather-based to conform with all CALGreen requirements.
 - Irrigation controller programming data will not be lost due to an interruption in the primary power source.
- Hydrozone:**
- Each valve will irrigate a hydrozone with similar site, slope, sun exposure, soil conditions, and plant materials with similar water use.
 - Sprinkler heads and other emission devices will be selected based on what is appropriate for the plant type within that hydrozone.
 - Where feasible, trees will be placed on separate valves from shrubs, groundcovers and turf.

Irrigation Legend

- M Water Meter
- B Backflow Preventer
- C Irrigation Controller
- V# Irrigation Valve, w/ Valve # (Indicates Zone)
- Mainline (PVC) - 2" schedule 40
- - - Lateral (PVC) - 3/4" schedule 40

DTA
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 Architecture
 Infrastructure
 Environments

New Single Family Residence
Collins Residence

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Montara, CA
 APN: 036-055-240

Planning Submittal: 28 April 2020
 Planning Resubmittal: 25 November 2020

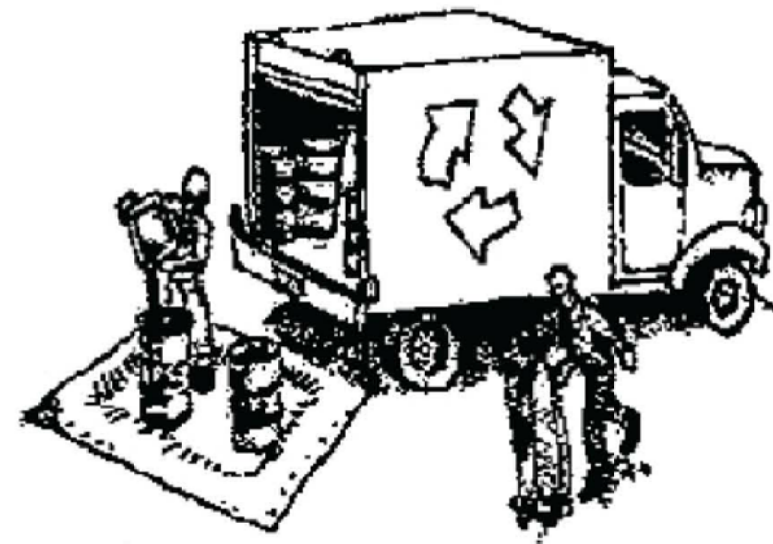
Irrigation Plan

L2.1

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



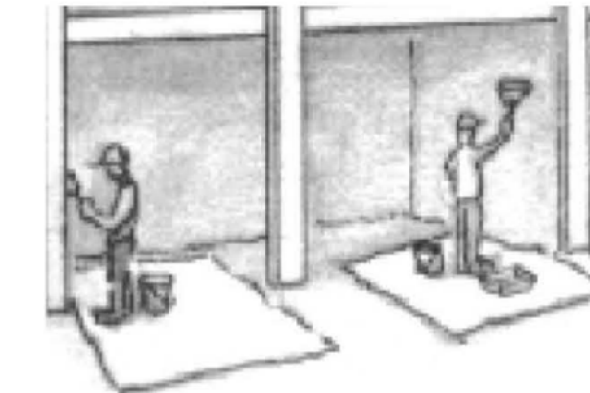
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

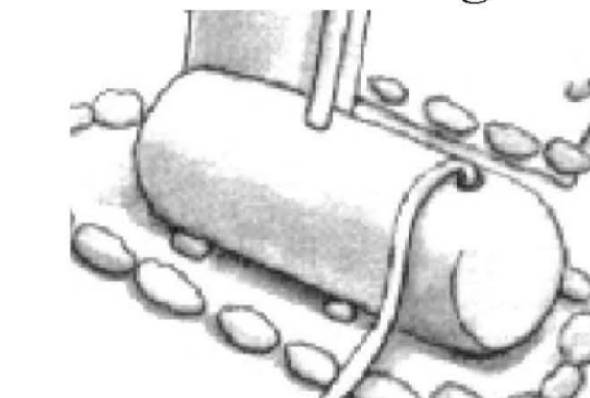
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!