

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** August 25, 2021

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** EXECUTIVE SUMMARY: Consideration of a Resource Management Permit and Fence Height Exception, a Grading Permit, an Architectural Review Permit, and adoption of a Mitigated Negative Declaration to allow the construction of a new 8,109 sq. ft. single-family residence with an attached 1,200 sq. ft. three-car garage, a 466 sq. ft. pool, an 1,152 sq. ft. detached accessory dwelling unit (ADU) over a 1,796 sq. ft. four-car garage/carport/storage building, and a 2,160 sq. ft. horse stable on a 4.79-acre legal parcel located on Heacox Road in the unincorporated South Skyline area of San Mateo County. The project includes 4,580 cubic yards of grading, a 6-foot tall wall/fence along Heacox Road, where 4 feet is the maximum height allowed in a front yard setback, and the removal of 4 trees. The project is located within the Skyline State Scenic Corridor.

County File Number: PLN 2018-00489 (Castonguay/Dawson)

**PROPOSAL**

The applicant is seeking a Resource Management Permit, Grading Permit, Architectural Review Permit, and Fence Height Exception to build a new 8,109 sq. ft. two-story single-family residence with an attached 1,200 sq. ft. three car garage, a 466 sq. ft. pool, an 1,152 sq. ft. detached accessory dwelling unit (ADU) over a 1,796 sq. ft. four-car garage/carport/storage building, a 2,160 sq. ft. horse stable, a 6-foot tall wall/fence along Heacox Road, and associated site improvements including upgrade to an existing domestic well and installation of a new septic system on the legal 4.79 acre property located on Heacox Road. The project involves 4,580 cubic yards (c.y.) of grading, including 3,335 c.y. of cut and 1,245 c.y. of fill, and the removal of four trees (30" bay, 8",10",11" coast live oaks) due to their location within the footprint of proposed development. The project is within the Skyline State Scenic Corridor.

**RECOMMENDATION**

That the Planning Commission adopt the Mitigated Negative Declaration and approve the Resource Management Permit, Grading Permit, Architectural Review Permit, and Fence Height Exception, County File Number PLN 2018-00489, by adopting the

required findings and conditions of approval listed in Attachment A.

## **SUMMARY**

The proposed project has been evaluated and found to be in compliance with applicable General Plan policies with regards to visual quality, urban land use, water and wastewater policies, earthwork operations, and Architectural standards for rural scenic corridors. Grading and tree removal will be the minimum necessary to accommodate development and comply with emergency access requirements.

Staff has reviewed the proposal against the required findings for the issuance of a grading permit and concluded that the project conforms to the criteria for review contained in Section 9296 of the Grading Ordinance (i.e., standards for erosion and sediment controls and submittal of a geotechnical report).

The project site is located within a High Fire Hazard Severity Zone, State Responsibility Area. The project was reviewed by the San Mateo County Fire Department and received conditional approval subject to compliance with Chapter 7A of the California Building Code for ignition resistant construction and materials. Onsite well tests have shown that a well will meet the minimum flow rates and the project is required to add water tanks with at least 7,500 gallons to ensure adequate fire protection.

The project complies with all RM district development standards except for the proposed 6-foot high fence along Heacox Road. The applicant has applied for a fence height exception to allow a 6-foot high fence where 4 feet is the maximum height allowed. The fence height exception has been reviewed by and conditionally approved by the Department of Public Works to ensure there will be no right-of-way or line-of-sight concerns and all required findings can be made for the approval of the fence height exception.

## **ENVIRONMENTAL EVALUATION**

An Initial Study and Mitigated Negative Declaration were prepared for this project and circulated from May 10, 2021 to May 31, 2021. No comments were received during the public comment period. Staff has determined that the project, with the recommended mitigation measures, will not have a significant impact on the environment. Mitigation measures have been included as conditions of approval in Attachment A.

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**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** August 25, 2021

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** Consideration of a Resource Management Permit and Fence Height Exception, pursuant to Sections 6313 and 6412.2 of the Zoning Regulations, respectively, a Grading Permit, pursuant to Section 9283 of the Grading Ordinance, an Architectural Review Permit, pursuant to Section 261 of the California Streets and Highways Code, and adoption of a Mitigated Negative Declaration, pursuant to the California Environmental Quality Act, to allow the construction of a new 8,109 sq. ft. single-family residence with an attached 1,200 sq. ft. three-car garage, a 466 sq. ft. pool, an 1,152 sq. ft. detached accessory dwelling unit (ADU) over a 1,796 sq. ft. four-car garage/carport/storage building, and a 2,160 sq. ft. horse stable on a 4.79-acre legal parcel located on Heacox Road in the unincorporated South Skyline area of San Mateo County. The project includes 4,580 cubic yards of grading, a 6-ft. tall fence along Heacox Road with concrete walls at each entrance, where 4 ft. is the maximum height allowed in a front yard setback, and the removal of 4 trees. The project is located within the Skyline State Scenic Corridor.

County File Number: PLN 2018-00489 (Castonguay/Dawson)

**PROPOSAL**

The applicant is seeking a Resource Management Permit, Grading Permit, Architectural Review Permit, and Fence Height Exception to build a new 8,109 sq. ft. two-story single-family residence with an attached 1,200 sq. ft. three car garage, a 466 sq. ft. pool, an 1,152 sq. ft. detached accessory dwelling unit (ADU) over a 1,796 sq. ft. four-car garage/carport/storage building, a 2,160 sq. ft. horse stable, a 6-ft. tall wall/fence along Heacox Road, and associated site improvements including upgrade to an existing domestic well and installation of a new septic system on the legal 4.79 acre property located on Heacox Road. The project involves 4,580 cubic yards (c.y.) of grading, including 3,335 c.y. of cut and 1,245 c.y. of fill, and the removal of one significant and 3 non-significant trees (30" Bay, 8", 10", 11", Coast live oaks) due to their location within the footprint of proposed development. The project is within the Skyline State Scenic Corridor.

## **RECOMMENDATION**

That the Planning Commission adopt the Mitigated Negative Declaration and approve the Resource Management Permit, Grading Permit, Architectural Review Permit, and Fence Height Exception, County File Number PLN 2018-00489, by adopting the required findings and conditions of approval listed in Attachment A.

## **BACKGROUND**

Report Prepared By: Kanoa Kelley, Planner II, Email: [kkelley@smcgov.org](mailto:kkelley@smcgov.org)

Applicant: Paul Dawson

Owner: Rebecca Castonguay

Location: Heacox Road west of Skyline Boulevard.

APN: 080-110-210

Parcel Size: 4.79 acres

Existing Zoning: RM (Resource Management)

General Plan Designation: Open Space (Rural)

Williamson Act: This parcel is not under a Williamson Act Contract.

Parcel Legality: The parcel has been legalized through the recordation of a Certificate of Compliance (Type B), PLN2012-00015.

Existing Land Use: Vacant

Water Supply: The existing onsite well will be upgraded to serve the proposed development.

Sewage Disposal: New onsite septic system

Flood Zone: The parcel is located within Zone X, areas of minimal flood hazard; FEMA Community Panel 06081C0405E, effective October 16, 2021

Environmental Evaluation: An Initial Study and Mitigated Negative Declaration were prepared for this project and circulated from May 10, 2021 to May 31, 2021. No comments were received during the public review period.

Setting: The legal 4.79-acre project parcel is located along Heacox Road, east of Skyline Boulevard. The parcel is located within a rural residential area with similarly

sized surrounding single-family residentially developed parcels ranging in size between 2 acres to 10 acres. Topography in the area consists of relatively gentle sloped terrains and intermittent pockets of dense tree vegetation.

## **DISCUSSION**

### **A. KEY ISSUES**

#### **1. Conformance with the County General Plan**

Upon review of the applicable provisions of the General Plan, staff has determined that the project complies with all applicable General Plan Policies, including the following:

##### **Vegetative, Water, Fish and Wildlife Resources**

Policy 1.24 (Regulate Location, Density and Design of Development to Protect Vegetative, Water, Fish and Wildlife Resources) calls for the regulation of development to minimize significant adverse impacts and encourage enhancement of vegetative, water, fish and wildlife resources. The subject parcel is located in a wooded area between Heacox Road and Skyline Boulevard. The project includes the removal 4 trees which consist of 3 coast live oak trees from 8 to 11 inches in diameter at breast height (DBH) and one 30-inch DBH bay tree. The RM District regulations prohibit the removal of trees with a DBH of 17.5 inches or greater without the issuance of a RM Permit. Only the bay tree is considered significant under the RM regulations. The trees proposed for removal are the minimum necessary to accommodate the proposed development as these trees are within the footprint of the proposed development (including building, driveway, and utilities). An arborist report was submitted with the application. The arborist report describes the health of 36 trees surrounding the development along with tree protection recommendations. Mitigation measures from the Mitigated Negative Declaration are included as conditions of approval in Attachment A to require 1 to 1 replacement of the trees proposed for removal and implementation of special inspections to ensure tree protection measures are adequately maintained throughout construction.

Furthermore, review of the California Natural Diversity Database shows no special-status plant or animal species identified on the project site or within the immediate vicinity of the project site.

##### **Soil Resources**

Policy 2.17 (*Regulate Development to Minimize Soil Erosion and Sedimentation*) calls for the regulation of development to minimize soil erosion and sedimentation. The project involves 4,580 cubic yards (c.y.) of

grading, including 3,335 c.y. of cut and 1,245 c.y. of fill. Given the topography of the project site, there is a potential for erosion to occur if proper erosion control measures are not implemented. The applicant has developed an erosion control plan that includes straw wattles along the downhill perimeter of construction, a silt fence placed at the perimeter of the site, and a stabilized construction entrance from Heacox Road, as well as incorporating other best management erosion control practices. Additionally, mitigation measures have been added as conditions of approval in Attachment A to ensure proper erosion control.

### Visual Resources

Policy 4.22 (*Scenic Corridors*) calls for the protection and enhancement of the visual quality of scenic corridors by managing the location and appearance of structural development. The subject property is located within the Skyline State Scenic Corridor. The property is buffered from public viewpoints from Skyline Boulevard by existing mature vegetation and site topography as the project sits approximately 240 feet lower in elevation than Skyline Boulevard. Further, the maximum height of the structures will be less than 36 feet and will not extend above the height of the tree canopy. Given that the parcel slopes downward from Skyline Boulevard and the natural visual buffer of the existing vegetation, the proposed development would be minimally visible, if at all.

Policies 4.25 (*Location of Structures*) and 4.26 (*Earthwork Operations*) call for the regulation of the location of development to minimize the impacts of noise, light, glare and odors on adjacent properties and roads. These policies also call for the proposed development to conform to the natural vegetation, landforms, and topography of the existing site while keeping grading or earth-moving operations to a minimum. The proposed driveway modifications and structures are clustered on the parcel and the overall majority of the 4.79-acre parcel remains undisturbed. The proposed grading work is the minimum necessary to accommodate the proposed project scope. The proposed contours attempt to mimic the surrounding natural topography and avoid harsh cutting or terracing of the site.

The Architectural Design standards for Rural Scenic Corridors and Site Planning for Rural Scenic Corridors (policies 4.48-4.69) seek to regulate design location, and appearance of development including but not limited to scale, colors and materials, vegetation removal, roads and driveways, parking, and fences. The project will be designed to conform to the natural topography of the site, which sits below Skyline Boulevard. Due to the natural vegetation and landscape, the project will have minimal impact to the views from the scenic corridor. The size and scale of development will meet RM zoning district standards ensuring compatibility with the surrounding environment. The project will employ the use of natural concrete and raw

cedar planks, the textures and colors will blend in with the surrounding environment. Trees and vegetation may be removed in accordance with existing regulations except removal of 50 percent or more of tree coverage is prohibited. Of the 36 trees surveyed on the site only 4 are proposed for removal to accommodate development, leaving much of the natural tree canopy intact. Roads and driveways will be designed to minimize grading while providing adequate access for emergency vehicle access.

Natural Hazards

Fire Hazard Policies 15.27-15.31 are designed to regulate development in high fire hazard severity zones. The policies address review criteria, road access, water supply, and vegetative clearance, among others. The project site is located within a High Fire Hazard Severity Zone, State Responsibility Area. The project was reviewed by the San Mateo County Fire Department and received conditional approval subject to compliance with Chapter 7A of the California Building Code for ignition resistant construction and materials and acceptable slope and material for the driveway, among other fire prevention requirements. Condition of approval #32 requires that 7,500 gallons of water be available in water tanks to ensure adequate fire protection.

2. Conformance with the RM (Resource Management) District Regulations

a. Setbacks and Height Requirements

As shown in the table below, the proposed structures comply with Sections 6319A and 6319B of the San Mateo County Zoning Regulations, which regulate the height of structures and required setbacks.

	RM Development Standards	Proposed
Minimum Lot Size	N/A	4.79 acres (existing)
Minimum Front Setback	50 feet	50 feet
Minimum Side Setbacks	20 feet	67 feet (right) 51 feet (left)
Minimum Rear Setback	20 feet	238 feet

Maximum Building	36 feet	24 feet 3 inches
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**RM District Development Review Criteria**

Pursuant to Section 6313 and Section 6324 of the Zoning Regulations, all development proposed for parcels with an RM zoning designation are further subject to the Development Review Criteria found in Chapter 20A.2 of the Zoning Regulations. Compliance with the applicable criteria is discussed below:

(1) **Environmental Quality Criteria**

The proposed project adheres to the standards set by this section, as development is designed and located to reduce impacts to the environment. The proposed structures, driveway, and water tanks are to be clustered amongst each other on the site. The project is also in compliance with these criteria, as the proposed residential use does not introduce significant amounts of air pollution, noxious odors, pesticides, or other chemicals.

(2) **Site Design Criteria**

This section addresses site design criteria as well as primary scenic resource area goals. The project is compliant with these criteria, as the proposed development has been located, sited, and designed so that it fits the existing environment, thus resulting in grading which mimics the natural topography and clusters development. The proposed structures are designed so that they will be subordinate to the surrounding forest canopy and will utilize earth-tone colors and natural wood, which blend with the surrounding natural vegetation. While the project site is located within the Skyline State Scenic Corridor, as designed and located, the structures are buffered visually from Skyline Boulevard due to distance, topography, and intervening trees and vegetation.

(3) **Utilities**

With regard to the provision of utilities, the proposed project has been reviewed by the County’s Environmental Health Services Division. This review determined that the proposed septic

system meets the preliminary County requirements to serve the proposed development. The area in which the property is located does not have local municipal water service available. Environmental Health Services has confirmed that there is an existing well on-site and has provided conditional approval for use of the well subject to certification at the building permit stage for domestic use.

(4) Water Resources Criteria

The proposed project includes the installation of on-site drainage measures to ensure that adequate drainage and post-development flows and velocities shall not exceed pre-development levels. These measures were reviewed by the Drainage Section of the Building Department and received conditional approval. Further, the project will be required to utilize best management practices for grading activities. As conditioned, the expected runoff of water on the property is consistent with the requirements that seek to maintain surface water runoff at their current levels. The project, as conditioned, also requires replanting and reseeding of the disturbed areas to provide vegetative cover, which will prevent erosion and sedimentation processes to ensure the stability of slopes.

(5) Cultural Resources Criteria

These criteria require the preservation of archaeological and/or paleontological resources. According to a cultural resources survey report prepared by Basin Research Associates dated February 28, 2019, no archaeological resources were discovered in the project area during site reconnaissance work. While the report identifies that archaeological sensitivity in the project area is low, the discovery of subsurface archaeological materials during grading or construction work is always a possibility. The recommended mitigation measures from the Mitigated Negative Declaration have been included as conditions of approval in Attachment A.

(6) Hazards to Public Safety

There are no identified geological hazards located in the immediate vicinity of the project. However, the applicant is required to comply with all building and fire code requirements to

ensure health and safety of the future occupants. These requirements have been included as conditions of approval in Attachment A.

(7) Primary Scenic Resource Areas Criteria

The criteria of this section specifically apply to properties located within scenic corridors and other primary scenic resource areas. This parcel is located within the Skyline State Scenic Corridor and therefore is subject to review under this section. The project was found to be compliant with these criteria, as the proposed structures are located below the scenic roadway and are designed to follow the topography of the parcel. Further, the structures utilize earth-tone colors and natural materials which help to blend the structures into the natural environment and minimize any visual impacts. Access to the site will be provided off of Heacox Road and there will be no access points off of Skyline Boulevard. In accordance with the criteria of this section, the project has been carefully designed to respect the natural environment while utilizing the existing landscape and required revegetation efforts to provide a visual buffer from the adjacent scenic roadway.

3. Conformance with the Grading Ordinance

The proposed grading activities for this project involve cut and fill activities in order to create a new driveway, to provide compliant emergency access to development on the parcel, and to create the building pads for the proposed structures. In order to complete the site improvements necessary, approximately 4,580 cubic yards of earthwork is required.

Staff has reviewed the required findings for the issuance of a grading permit and concluded that the project conforms to the criteria for review contained in Section 9296 of the Grading Ordinance (i.e., standards for erosion and sediment controls and submittal of a geotechnical report). In order to approve this project, the Planning Commission must make the required findings contained in the grading regulations. Staff concludes that the findings can be made with a discussion of the findings provided below:

**a. That the granting of the permit will not have a significant adverse effect on the environment.**

The project will have a less than significant impact on the environment with the implementation of the mitigation measures

proposed in the Mitigated Negative Declaration on elements identified as having a potential significant impact without mitigation. These potentially significant impacts include aesthetics, air quality, cultural resources, geology and soils, climate change, and noise. The recommended mitigation measures have been included as conditions of approval in Attachment A.

- b. That the project conforms to the criteria of the San Mateo County Grading Ordinance, including the standards referenced in Section 9296, and is consistent with the General Plan.**

The project, as proposed, conforms to the criteria for review contained in the Grading Ordinance. The proposed grading and site impacts associated with this project are consistent with the County General Plan Policies regarding land use compatibility on rural lands and development standards to minimize land use conflicts with the natural environment. The project is also consistent with the intent of the Grading Ordinance, as the project avoids severe cuts or terracing of the site and instead utilizes a grading approach that will mimic the natural topography of the site. As proposed and conditioned, the project also includes revegetation and stabilization of the disturbed areas. In addition, a large majority of the parcel remains undisturbed, development avoids any sensitive habitats (as there are none on the property), and would minimize potential impacts to open space resource lands as the development is clustered.

#### 4. Fence Height Exception

The project includes the installation of a 6-foot high fence along the length of the property adjacent to Heacox Road. At each of the entrances a 6-foot-high concrete wall is proposed. As proposed, the minimum setback of the proposed fence is 25 feet from the property line, where a 50-foot front setback is required unless the fence is 4 feet or less. Due to the size of the parcel and location in a rural area, impacts of the fence on adjacent parcels will be minimal. Staff has reviewed the project and the required Fence Height Exception standards and findings as detailed below.

- a. Written notification of the exception request is sent to all owners of property located within 300-feet of the parcel, and to any member of the public requesting such notification.

Written notification for the August 25<sup>th</sup>, 2021 hearing has been sent to all property owners within 300 feet of the subject property.

- b. Written notification of the exception request is sent to all recognized organizations or associations that have been established to represent the property owners in the neighborhood surrounding the parcel

where the fence or hedge is proposed to be placed, and to any organization or association requesting such notification. An organization or association shall be considered recognized if it has been in existence for at least six months, and has scheduled meetings.

No organization or associations have been established to represent the property owners of this parcel.

- c. No member of the public or organization or association has submitted to the Community Development Director written objection to the exception request.

No written comments objecting to the fence has been received as of the writing of this report.

- d. After consultation with the Department of Public Works, the Community Development Director finds that approving the exception will not jeopardize public safety.

The project has been referred to the department of public works (DPW). DPW has no objections to the design or height of the proposed fence adjacent to Heacox Road. The fence is set back appropriately from the road and will not jeopardize public safety.

- e. After reviewing the parcel where the fence height exception is proposed, the Community Development Director finds that approving the exception will be compatible with the neighborhood surrounding that parcel and will not be detrimental to the public welfare. The community development director has determined that the design and placement of the fence, as conditioned, will be compatible with the surrounding neighborhood.

The proposed 6-foot high fence will be set back a minimum of 25 feet from the front property line. The Public Works Department has reviewed and conditionally approved the location of the fence and access points to ensure public safety in relation to neighboring developed parcels when exiting and entering Heacox Road.

- f. The Community Development Director finds that the proposed fences promote or enhances good design, site relationships and other aesthetic considerations, in accordance with San Mateo County General Plan Policy 4.14.

The fence will be made compatible in design with the single-family home. The single-family home has been designed to blend in with the natural environment and all accessory structures will follow the same standards as required by mitigation measure 1.

B. ARCHITECTURAL REVIEW

Because the project is located adjacent to Skyline Boulevard and within the State designated Skyline Scenic Corridor, the project requires architectural review to ensure compliance with applicable County General Plan Visual Quality Policies and California Streets and Highways Code Sections 154, 227-229.1, and 260-261.

The project, as proposed and conditioned, is consistent with the Standards for Architectural and Site Control within the Skyline Scenic Corridor. Specifically, the proposal accomplishes the following goals and/or meets the following standards

- a. The project is consistent with all General Plan Visual Quality Policies, including the Architectural Design Standards for Rural Scenic Corridors and Site Planning for Rural Scenic Corridors, as discussed in Section A.1 of this report.
- b. The project will meet all grading requirements as discussed in section 3 of this staff report.

C. ENVIRONMENTAL REVIEW

An Initial Study and Mitigated Negative Declaration were prepared for this project and circulated from May 10, 2021 to May 31, 2021. No comments were received during the public comment period.

Staff has determined that the project, with the recommended mitigation measures, will not have a significant impact on the environment. Mitigation measures have been included as conditions of approval in Attachment A.

D. REVIEWING AGENCIES

Building Inspection Section  
Department of Public Works  
Environmental Health Services  
Geotechnical Section  
Drainage Section

San Mateo County Fire Department

**ATTACHMENTS**

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Architectural and Civil Plans
- D. Arborist Report
- E. Initial Study and Mitigated Negative Declaration

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County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN2018-00489      Hearing Date: August 25, 2021

Prepared By:      Kanoa Kelley, Planner For Adoption By: Planning Commission

**RECOMMENDED FINDINGS**

Regarding the Environmental Review, Find:

1. That the Planning Commission does hereby find that the Initial Study and Mitigated Negative Declaration reflect the independent judgment of San Mateo County.
2. That the Initial Study and Mitigated Negative Declaration are complete, correct, and adequate, and prepared in accordance with the California Environmental Quality Act (CEQA) and applicable State and County Guidelines.
3. That, on the basis of the Initial Study, comments received, and testimony presented and considered at the public hearing, there is no substantial evidence that the project will have a significant effect on the environment. The mitigation measures contained in the Mitigated Negative Declaration have been imposed as conditions of approval in this attachment. As proposed and mitigated, the project will not result in any significant environmental impacts.
4. That the mitigation measures in the Mitigated Negative Declaration have been agreed to by the owner and imposed as conditions of project approval.

Regarding the Resource Management Permit, Find:

5. That the project conforms to the Development Review Criteria contained in Chapter 20A.2 of the San Mateo County Zoning Regulations. The project complies with Section 6324.1 and Section 6324.4, which respectively address the potential for environmental impacts and water resources, as the project will not introduce noxious odors, chemical agents, or long-term noise levels. The project also complies with Sections 6324.2 through 6325.1, which address site design criteria, utilities, cultural resources, hazards and primary scenic resource areas, as the project is not located near any sensitive habitats or waterways. The project, as designed and conditioned, preserves the majority of mature trees

and dominant vegetation. While the project is located within the scenic corridor, its design, existing topography and vegetation ensure that the impact from scenic public viewpoints is minimal.

Regarding the Grading Permit, Find:

6. That this project, as conditioned, will not have a significant adverse effect on the environment. The project will have a less than significant impact on the environment with the implementation of the mitigation measures proposed in the Mitigated Negative Declaration on elements identified as having a potential significant impact without mitigation. These potentially significant impacts include aesthetics, air quality, cultural resources, geology and soils, climate change, and noise.
7. That this project, as conditioned, conforms to the criteria of the San Mateo County Grading Ordinance and is consistent with the General Plan. Planning staff, the Geotechnical Section, and the Department of Public Works have reviewed the project and have determined its conformance to the criteria of Chapter 8, Division VII, San Mateo County Ordinance Code, including the standards referenced in Section 9296 and the San Mateo County General Plan.

Regarding the Fence Height Exception, Find:

8. Written notification of the exception request is sent to all owners of property located within 300-feet of the parcel, and to any member of the public requesting such notification.

Written notification for the August 25th, 2021 hearing has been sent to all property owners within 300 feet of the subject property.

9. Written notification of the exception request is sent to all recognized organizations or associations that have been established to represent the property owners in the neighborhood surrounding the parcel where the fence or hedge is proposed to be placed, and to any organization or association requesting such notification. An organization or association shall be considered recognized if it has been in existence for at least six months and has scheduled meetings.

No organization or associations have been established to represent the property owners of this parcel.

10. No member of the public or organization or association has submitted to the Community Development Director written objection to the exception request.

No written comments objecting to the fence has been received as of the writing of this report.

11. After consultation with the Department of Public Works, the Community Development Director finds that approving the exception will not jeopardize public safety.

The project has been referred to the department of public works (DPW). DPW has no objections to the design or height of the proposed fence adjacent to Heacox Road. The fence is set back appropriately from the road and will not jeopardize public safety.

12. After reviewing the parcel where the fence height exception is proposed, the Community Development Director finds that approving the exception will be compatible with the neighborhood surrounding that parcel and will not be detrimental to the public welfare. The community development director has determined that the design and placement of the fence, as conditioned, will be compatible with the surrounding neighborhood.

The proposed 6-foot high fence will be set back a minimum of 25 feet from the front property line. The Public Works Department has reviewed and conditionally approved the location of the fence and access points to ensure public safety in relation to neighboring developed parcels when exiting and entering Heacox Road.

13. The Community Development Director finds that the proposed fences promote or enhances good design, site relationships and other aesthetic considerations, in accordance with San Mateo County General Plan Policy 4.14.

The fence will be made compatible in design with the single-family home. The single-family home has been designed to blend in with the natural environment and all accessory structures will follow the same standards as required by mitigation measure 1.

For the Architectural Review, Find:

14. That the project is consistent with the General Plan Policies for Architectural Design Standards for Rural Scenic Corridors and Standards for Architectural and Site Control within the Skyline Scenic Corridor. The architectural character, earth-tone colors and the use of natural materials, are consistent with the standards for the skyline area. The project will not be visible from the Scenic Corridor and will not extend beyond the existing tree canopy further obscuring it from view and allowing the home to blend in with the natural environment.

## **RECOMMENDED CONDITIONS OF APPROVAL**

### **Current Planning Section**

1. The approval applies only to the proposal as described in this report and materials submitted for review and approval by the Planning Commission on August 25, 2021. The Community Development Director may approve minor revisions or modifications to the project if they are found to be consistent with the intent of and in substantial conformance with this approval.
2. The permits shall be valid for two (2) years from the date of approval by the Planning Commission if no appeal is filed, in which time a building permit shall be issued. Any extension of these permits shall require submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. The Department of Fish and Game has determined that this project is subject to the Department of Fish and Game California Environmental Quality Act filing fees per Fish and Game Section 711.4. The applicant shall pay to the San Mateo County Recorder's Office an amount of \$2,480.25 plus the applicable \$50 recording fee at the time of filing of the Notice of Determination by the County Planning and Building Department staff within four (4) business days of the approval.
4. No site disturbance shall occur, including any vegetation removal or grading, until a building permit and grading permit "hard card" have been issued for the project. The grading permit "hard card" shall only be issued concurrently with the building permit.
5. All new power and telephone utility lines shall be placed underground.
6. Prior to the issuance of a building permit, the applicant shall pay all applicable Affordable Housing Impact Fees, pursuant to San Mateo County Ordinance No. 4758. The impact fees shall be assessed at \$5.00 per sq. ft. over 2,500 sq. ft. of residential floor area.

### **Mitigation Measures**

7. **Mitigation Measure 1:** The development shall employ colors and materials which blend in with, rather than contrast with, the surrounding soil and vegetative cover of the site. Color and material verification shall occur in the field prior to final building inspection.
8. **Mitigation Measure 2:** All proposed lighting shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area. Manufacturer cut sheets for any exterior light fixtures shall be submitted for

review and approval prior to the issuance of a building permit. All exterior fixtures shall be rated dark-sky compliant and designed to minimize light pollution beyond the confines of the subject premises.

9. **Mitigation Measure 3**: Final finishes of all exterior materials and/or colors, including glass windows and/or panels, shall be non-reflective.
  
10. **Mitigation Measure 4**: The applicant shall submit a plan to the Planning and Building Department prior to the issuance of any grading "hard card" that, at a minimum, includes the "Basic Construction Mitigation Measures" as listed in Table 8-2 of the BAAQMD CEQA Guidelines (May 2017). These measures shall be implemented prior to beginning any ground disturbance and shall be maintained for the duration of the project activities.
  - a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access road) shall be watered two times per day.
  - b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
  - c. All visible mud or dirt track-out onto adjacent paved roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
  - d. All vehicle speeds on unpaved roads shall be limited to 15 miles per hour.
  - e. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
  - f. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
  - g. Post a publicly visible sign with the telephone number and person to contact at the County regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Bay Area Air Quality Management District's phone number shall also be visible to ensure compliance with applicable regulations.
  
11. **Mitigation Measure 5**: All regulated trees proposed for removal shall be replaced at a 1:1 ratio, minimum 15-gallon size stock. All proposed replacement trees shall be shown on a Tree Replanting Plan or Landscape Plan and shall include

species, size, and location. Any regulated oak tree species removed shall be replaced with the same species. The Plan shall be submitted to the County Planning and Building Department for review and approval as part of the building permit plan sets.

12. **Mitigation Measure 6:** To ensure tree protection recommendations are effectively maintained throughout the duration of project construction, the following tree inspections shall be conducted and reported (in written report form) by a licensed arborist to the Current Planning Section:
  - a. Quarterly (i.e., every three months post installation) inspections, timeline to be determined upon issuance of a building permit. Quarterly inspections shall focus on the following:
    - 1) Whether tree protection recommendations are being followed.
    - 2) Whether Tree Protection Zones (TPZs) are being maintained intact and are not being encroached upon without prior authorization.
    - 3) Whether there are any unforeseen impacts or tree conflicts encountered above and beyond the assumptions made in the Tree Protection Plan (TPP).
    - 4) Whether any recommended changes to the existing TPP to improve efficacy of the plan or to provide the contractor more flexibility based on site observations and how such observations may impact the landscaping phase of the project.
  - b. Special inspections shall occur and be reported to the Current Planning Section by the licensed arborist during the following stages of construction:
    - 1) Post installation of tree protection measures. A letter shall be submitted that confirms tree protection zones have been installed to plan.
    - 2) Post grading/excavation. A letter shall be submitted that confirms tree protection remains intact, extent of damage to trees along equipment haul route and within proximity of grading/excavation limits. If damage incurred to trees requires mitigation (e.g. pruning, removal, or compaction remediation), an explanation of the proposed mitigation is required.
    - 3) Post utility installation. A letter shall be submitted that confirms the extent of activity was administered to plan and activities remained outside of identified TPZs.
    - 4) Post framing/exterior finishing. A letter shall be submitted that confirms framing of structures occurred without damage to tree

canopies. If pruning of heritage trees is required during the framing/exterior finishes stage, a Heritage Tree pruning permit is required. Pruning of heritage trees without a permit is subject to penalties detailed in Section 11,100 of the Heritage Tree Ordinance.

- 5) Paving/landscaping. A letter shall be submitted that confirms activities are remaining outside of identified TPZs. Alteration to the TPZ plan may require amendment and confirmation that any updates to the landscaping plan were reviewed and approved by the project arborist. Special attention shall be placed on installation of appropriate species and irrigation systems within driplines of California native oaks.
- 6) Prior to obtaining Certificate of Occupancy. A post-project arborist report shall be submitted stating the cumulative impact incurred to trees during the construction process. The report shall include a summary of previous inspections with particular emphasis on TPP/TPZ amendments made throughout the process, unauthorized violation to the TPP/TPZs and necessary remediation measures related to violations to the TPP/TPZ.

All special inspection reports above shall be completed and submitted to the Current Planning Section within five (5) business days of the listed construction stages above.

Failure to submit a required report by the pre-determined deadline may be subject to penalties consistent with Section 12,032.2 (Violations) of the Significant Tree Ordinance or Section 11,103 (Violations) of the Heritage Tree Ordinance. Violations of the TPP, including unauthorized encroachment to the TPZs, will at a minimum incur a stop work notice and may be subject to fiscal penalties consistent with Chapter 4 of the Significant Tree Ordinance (Section 12,030 – 12,032.5) or Chapter 3 of the Heritage Tree Ordinance (Section 11,100 – 11,104) where applicable. Changes in development plans which require pruning of heritage trees' canopy (regardless of relation to the TPZ boundary) or roots (within the identified TPZ) will be subject to approval of a Heritage Tree pruning permit.

13. **Mitigation Measure 7:** In the event that archaeological resources are discovered during construction, work in the immediate vicinity (within 50 feet) of the find must stop until a qualified archaeologist can evaluate the significance of the find. Construction activities may continue in other areas beyond the 50-foot stop work area. A qualified archaeologist is defined as someone who meets the Secretary of the Interior's Professional Qualifications Standards in archaeology. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the archaeologist has recommended appropriate measures, and those measures have been approved by the Current Planning

Section and implemented.

14. **Mitigation Measure 8:** Should any human remains be discovered during construction, all ground disturbing work shall cease and the County Coroner shall be immediately notified, pursuant to Section 7050.5 of the State of California Health and Safety Code. Work must stop until the County Coroner can make a determination of origin and disposition of the remains pursuant to California Public Resources Code Section 5097.98 for the naming of a Most Likely Descendant and the recommendations for disposition.
15. **Mitigation Measure 9:** The applicant shall submit an erosion control plan in compliance with the County's General Erosion and Sediment Control Plan Guidelines Checklist for review and approval as part of the building permit plans submittal.
16. **Mitigation Measure 10:** No grading shall be allowed during the wet weather season (October 1 through April 30) to avoid increased potential soil erosion, unless the applicant applies for an Exception to the Winter Grading Moratorium and the Community Development Director grants the exception. Exceptions will only be granted if dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other determining factors).
17. **Mitigation Measure 11:** An Erosion Control and Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit "hard card" and building permit to ensure the approved erosion control.
18. **Mitigation Measure 12:** In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.
19. **Mitigation Measure 13:** Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

### Building Inspection Section

20. Building permits are required for the proposed project.
21. The property is located within a State Responsibility Area High Fire Hazard Severity Zone and the project shall be designed and constructed according to the minimum code requirements for development located within this zone.

### Geotechnical Section

22. A geotechnical report shall be submitted at the building permit stage, the report shall be updated to the current adopted code. As applicable, significant grading profiles, grading proposals, foundation design recommendations, retaining wall design recommendations, and basement design recommendations shall be provided in the geotechnical report at building permit stage.

### Department of Public Works

23. Prior to the issuance of the building permit, the applicant shall submit a driveway and road "Plan and Profile," to the Department of Public Works, showing the road access from the nearest maintained road and driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20 percent) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
24. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.
25. Heacox Road is a privately maintained roadway. The contractor shall be responsible for any damage to this roadway caused by the contractor's construction equipment. Pre and post video of the roadway shall be submitted to the Department of Public Works before issuance of a building permit and before building permit final sign off, respectively.

### Drainage Section

26. The following will be required at the time of building permit submittal:
  - a. A final Drainage Report stamped and signed by a registered Civil Engineer.

- b. A final Grading and Drainage Plan stamped and signed by a registered Civil Engineer.
- c. An updated C.3 and C.6 Checklist (if changes to the impervious areas have been made during the design phase).
- d. A copy of the NOI/SWPPP for the project under the CA Construction General Permit.

#### San Mateo County Environmental Health Services

27. The following must be completed during the building permit phase:
- a. The applicant shall submit an application and pay appropriate fees directly to Environmental Health for a "permit to operate" for the certified domestic well meeting State drinking water standards. Note: inspection of filtration unit, water storage, and completion of satisfactory qualitative water test must be completed prior to building permit final sign-off.
  - b. Remove note on plans: "Proposed Percolation Testing Locations To Be Performed After Receiving Planning Approval" and "Well To Be Upgraded To San Mateo Standards" on sheets A-1.1, A-1.2, C-3.1, and all other relevant plan sheets. Additional testing may be required in the area of the proposed dispersal area.

#### San Mateo County Fire Department

28. The residence will require an NFPA 13D automatic fire sprinkler system. Add this note to the plans.
29. Add note to the title page that the building will be protected by an automatic fire sprinkler system.
30. Show locations of propane tanks, and any fuel tanks.
31. Provide fire apparatus access to your structure on plans. Fire apparatus access shall be to within 150 ft. of all exterior portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or facility. Access shall be 20 feet wide, all weather surface, and able to support a fire apparatus weighing 75,000 lbs. Where a fire hydrant is located in the access, a minimum of 26 ft. is required for a minimum of 20 feet on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Grades over 15 percent shall be paved and limited to 150 feet in length. No grade shall be over 20 percent. When gravel roads are used, it shall be class 2 base, or equivalent,

compacted to 95 percent. Gravel road access shall be certified by an engineer as to the compaction and weight it will support. Include an engineered section detail with thickness of and type of base and compaction.

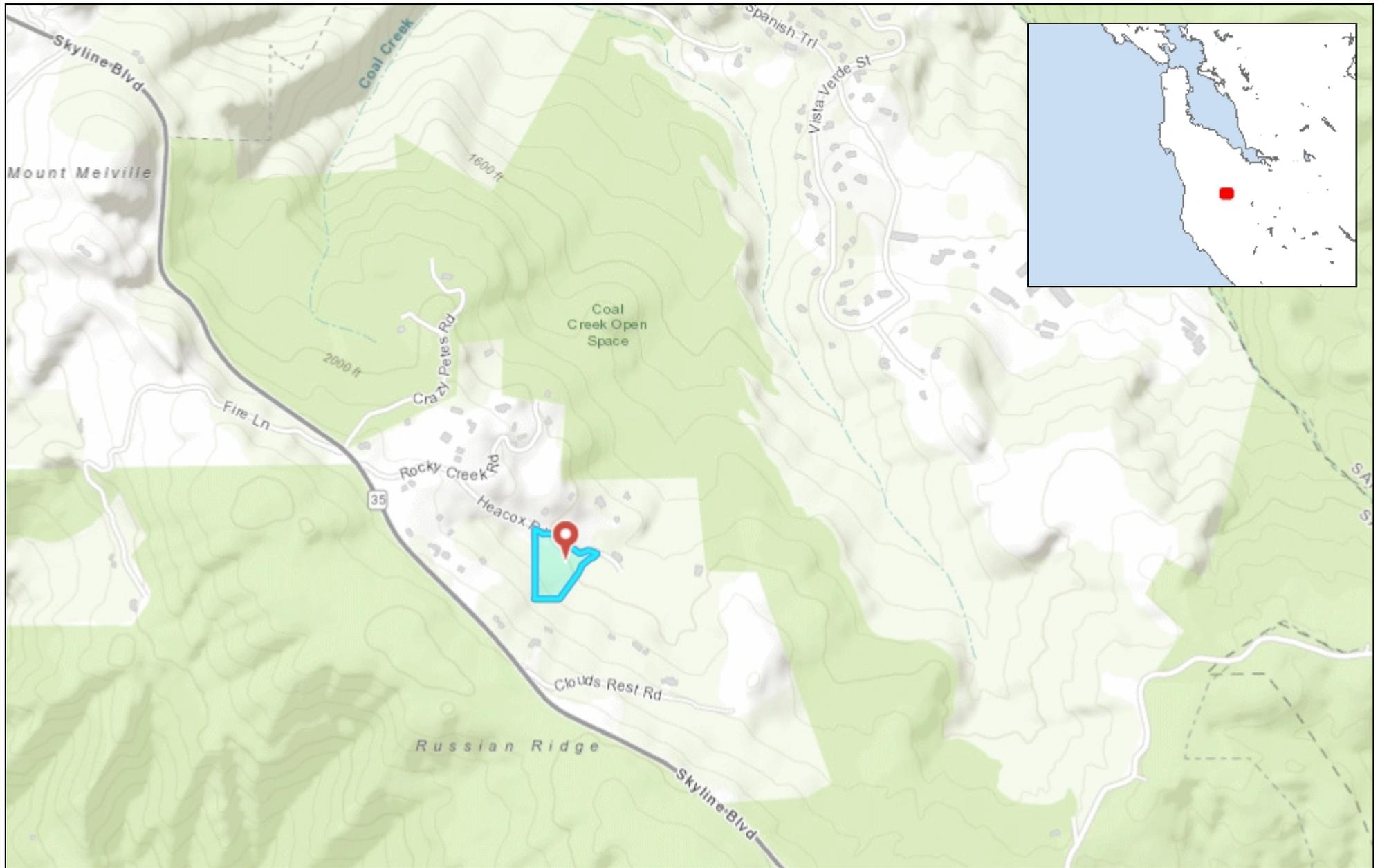
32. Provide cubic footage of the building. This is to be used with NFPA 1142 to determine the amount of fire protection water supply required for your project.
33. The San Mateo County Fire Department has determined that a minimum of 7,500 gallons of fire protection water in water storage tanks will be required, in addition to the required domestic water storage. Plans showing the tank(s) type, size, location and elevation are to be submitted for review and approval. The water storage tank(s) shall be so located as to provide gravity flow to a standpipe/hydrant.
34. A site plan showing all required components of the water system is required to be submitted with the building plans to the San Mateo County Building Department, for review and approval by the San Mateo County Fire Department. Plans shall show the location, elevation and size of the required water storage tanks, the associated piping layout from the tank(s) to the building/structures, the size of and type of pipe, the depth of cover for the pipe, technical data sheets for all pipe/joints/valves/valve indicators, thrust block calculations/joint restraint, the location of the standpipe/hydrant and the location of any required pumps and their size and specifications.
35. The fire engine turnaround and road leading to it shall be designated as fire lanes. Red curbs, and "No Parking, Fire Lane" signs are required throughout the turnaround and access road. Show this on the site plan.
36. The building is in a High Fire Hazard Severity Zone and will require a Class A roof. Add this to the plans.
37. The full open width of the gate needs to be a minimum of 14 ft. Sheet 19 entry gates and posts detail show 14 feet 8 inches from the center of the outside post to side of the inside post. Please correct on plans.
38. This project is located in a State Responsibility Area for wildfire protection. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors and underfloor protection shall meet CRC R327 requirements. Add this note to plans.

KAK:cmc – KAKFF0779\_WCU.DOCX



**County of San Mateo - Planning and Building Department**

# **ATTACHMENT B**



0.57 0 0.28 0.57 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
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1: 18,056



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



0.11 0 0.05 0.11 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
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1:3,357 

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**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



0.42 0 0.21 0.42 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
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1:13,429



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**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



**County of San Mateo - Planning and Building Department**

# **ATTACHMENT C**

# PLANNING PERMIT APPLICATION



**DAWSON & CLINTON**  
GENERAL CONTRACTORS  
PO BOX 410475 - SAN FRANCISCO, CA  
94141-0475 P: 415.359.9991 F: 415.359.9992

**CODE REFERENCES**

CURRENT CODES:

THE 2016 CALIFORNIA BUILDING STANDARDS CODE:  
PART 1 - CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE  
PART 2 - CALIFORNIA BUILDING CODE - VOL. I & II  
PART 3 - CALIFORNIA ELECTRICAL CODE  
PART 4 - CALIFORNIA MECHANICAL CODE  
PART 5 - CALIFORNIA PLUMBING CODE  
PART 6 - CALIFORNIA ENERGY CODE  
PART 7 - NO LONGER PUBLISHED IN TITLE 24; SEE TITLE 8 CCR  
PART 8 - CALIFORNIA HISTORICAL BUILDING CODE  
PART 9 - CALIFORNIA FIRE CODE  
PART 10 - CALIFORNIA EXISTING BUILDING CODE  
PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE  
PART 12 - CALIFORNIA REFERENCE STANDARDS CODE

SECTION 6310, SAN MATEO COUNTY ZONING REGULATIONS; RESOURCE MANAGEMENT DISTRICT (RM)

TITLE 14 CODE OF CALIFORNIA REGULATIONS; DIVISION 1.5, CHAPTER 7, SUBCHAPTER 2, ARTICLES 1-5

AS WELL AS ANY AND ALL OTHER GOVERNING CODES AND ORDINANCES.

IN EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.

**PROJECT DATA**

PROPERTY ADDRESS: 250 HEACOX ROAD (NOT YET ASSIGNED)  
WOODSIDE, CA 94062

ASSESSOR'S PARCEL NUMBER: 080-110-210

PARCEL SIZE: 4.79 ACRES

ZONING: RM

EXISTING STRUCTURE / DEVELOPMENT: NONE

BUILDING TYPE: III

FIRE SPRINKLER: YES, UNDER SEPARATE PERMIT

LANDSCAPE IRRIGATION: NONE PROPOSED

OCCUPANCY TYPE: R3 - RESIDENTIAL

NUMBER OF DWELLING UNITS: 2

NUMBER OF STORIES: MAIN HOUSE: 1 O/ BASEMENT  
GUEST HOUSE: 1 O/ GARAGE  
STABLE 1

BUILDING AREA (GROSS): SINGLE-FAMILY HOME: 8,109  
GARAGE 1,200  
GUEST HOUSE: 2,952  
STABLE 2,160  
PROJECT TOTAL: 14,421 SQ.FT.

BUILDING AREA (CONDITIONED): SINGLE-FAMILY HOME: 8,109  
GARAGE 0  
GUEST HOUSE: 1,152  
STABLE 0  
PROJECT TOTAL: 9,261 SQ.FT.

**PROJECT TEAM**

OWNER:  
PAUL DAWSON  
P.O. BOX 410475  
SAN FRANCISCO, CA 94141  
415.359.9991

DESIGNER:  
DAWSON-CLINTON  
GENERAL CONTRACTORS  
P.O. BOX 410475  
SAN FRANCISCO, CA 94141  
415.359.9991

CONTRACTOR:  
DAWSON-CLINTON GENERAL CONTRACTORS  
LICENSE # 791724  
P.O. BOX 410475  
SAN FRANCISCO, CA 94141  
415.359.9991

SURVEYOR:  
LEA & BRAZE ENGINEERING, INC.  
LICENSE # 7623  
2495 INDUSTRIAL PARKWAY WEST  
HAYWARD, CA 94545  
510.887.4086

STRUCTURAL ENGINEER:  
T.B.D.

GEOTECHNICAL ENGINEER:  
MILSTONE GEOTECHNICAL  
LICENSE # GE2111  
17020 MELODY LANE  
LOS GATOS, CA 95033  
408.353.5528

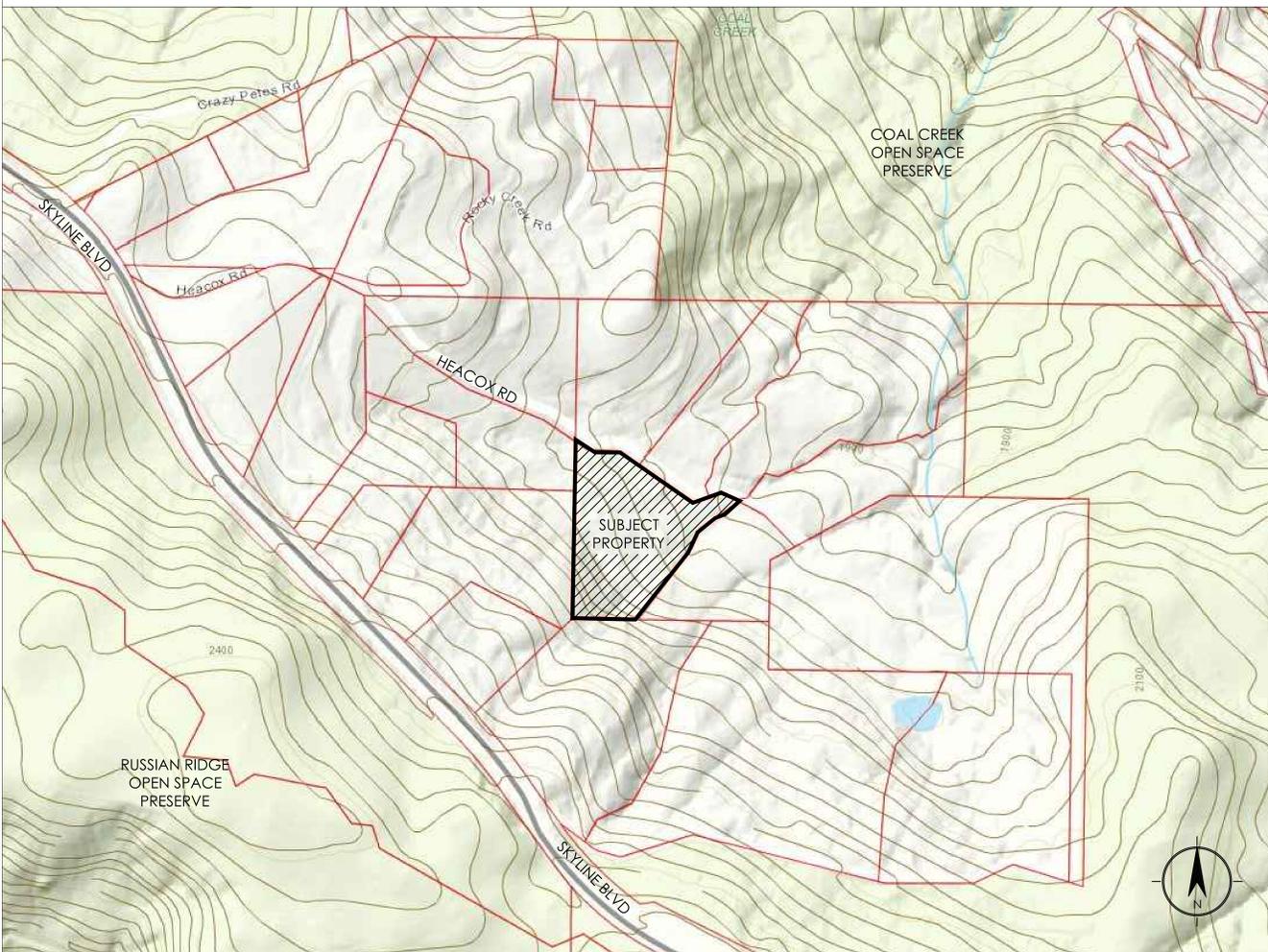
PERCOLATION TESTER:  
LANGLEY HILL QUARRY  
LICENSE # A702033 / TESTER # 98-02  
P.O. BOX 620636  
WOODSIDE, CA 94062  
650.851.0126

WATER WELL TESTER:  
SUPERIOR PUMP CO.  
LICENSE # 880114  
7960 B SOQUEL DRIVE, #293  
APTOS, CA 95003  
831.688.7867

**SHEET INDEX**

A-0.1	TITLE SHEET
A-0.2	PERCOLATION TEST
	WELL CERTIFICATION REPORT
	WATER QUALITY TEST
A-0.3	RENDERINGS
A-0.4	RENDERINGS
SURVEY	BOUNDARY, TOPOGRAPHIC, AND EXISTING TREE PLAN
A-1.1	SITE PLAN - EXISTING
A-1.2	SITE PLAN - PROPOSED
A-2.1	MAIN HOUSE - ENTRY LEVEL FLOOR PLAN
A-2.2	MAIN HOUSE - GARDEN LEVEL FLOOR PLAN
A-2.3	MAIN HOUSE - ROOF PLAN
A-2.4	GUEST HOUSE & STABLE - ENTRY LEVEL FLOOR PLAN
A-2.5	GUEST HOUSE & STABLE - SECOND LEVEL FLOOR PLAN
A-2.6	GUEST HOUSE & STABLE - ROOF PLAN
A-3.1	MAIN HOUSE - ELEVATIONS
A-3.2	MAIN HOUSE - ELEVATIONS
A-3.3	GUEST HOUSE & STABLE - ELEVATIONS
A-3.4	GUEST HOUSE & STABLE - ELEVATIONS
A-4.1	MAIN HOUSE - SECTIONS
A-4.2	MAIN HOUSE - SECTIONS
A-4.3	MAIN HOUSE - SECTIONS
A-4.4	MAIN HOUSE - SECTIONS
A-4.5	GUEST HOUSE & STABLE - SECTIONS
C-1.0	TITLE SHEET
C-2.0	OVERALL SITE PLAN
C-2.1	GRADING & DRAINAGE PLAN
C-2.2	DRIVEWAY PROFILE
C-3.0	OVERALL UTILITY PLAN
C-3.1	UTILITY PLAN
C-4.0	DETAILS
C-5.0	GRADING SPECIFICATIONS
ER-1	EROSION CONTROL PLAN
ER-2	EROSION CONTROL DETAILS
BMP	BEST MANAGEMENT PRACTICES

**VICINITY MAP**



**PROJECT SCOPE**

8,109 SQ.FT. SINGLE-FAMILY HOME  
1,200 SQ.FT. GARAGE  
2,952 SQ.FT. GUEST HOUSE  
2,160 SQ.FT. STABLE  
POOL  
6'-0" HIGH FENCE ALONG HEACOX RD  
(2) GATES, DRIVEWAYS AND CAL-FIRE TURNAROUNDS  
4,200 SQ.FT LEACH FIELD  
REMOVE (4) TREES

NO.	DATE	SUBMISSION
1	30.APR.2020	REVIEW COMMENTS

**PROJECT:**  
**PLANNING PERMIT APPLICATION**

**PROPERTY ADDRESS:**  
**250 Heacox Rd**  
(NOT YET ASSIGNED)

**APN:**  
**080-110-210**

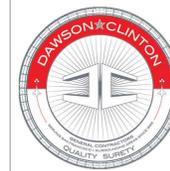
**DRAWING:**  
**TITLE SHEET**

**JOB NUMBER:** 18009

**SCALE:** N/A  
**DATE:** NOVEMBER 3RD, 2020

**SHEET:**  
**A-0.1**





DAWSON & CLINTON  
GENERAL CONTRACTORS  
PO BOX 40475 SAN FRANCISCO, CA  
94141-0475 P: 415.359.9991 F: 415.359.9992



NO.	DATE	SUBMISSION
1	30 APR 2020	REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT  
APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd  
(NOT YET ASSIGNED)**

APN:  
**080-110-210**

DRAWING:  
**RENDERINGS**

JOB NUMBER: 18009

SCALE: N/A  
DATE: NOVEMBER 3RD, 2020

SHEET:  
**A-0.3**



DAWSON & CLINTON  
GENERAL CONTRACTORS  
PO BOX 410475 SAN FRANCISCO, CA  
94114-0475 P: 415.339.9991 F: 415.339.9992

NO. DATE SUBMISSION  
1 30-APR-2020 REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd  
(NOT YET ASSIGNED)**

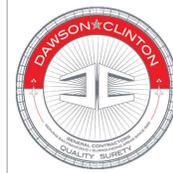
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**080-110-210**

DRAWING:  
**RENDERINGS**

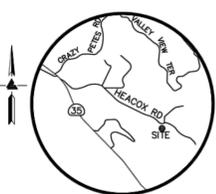
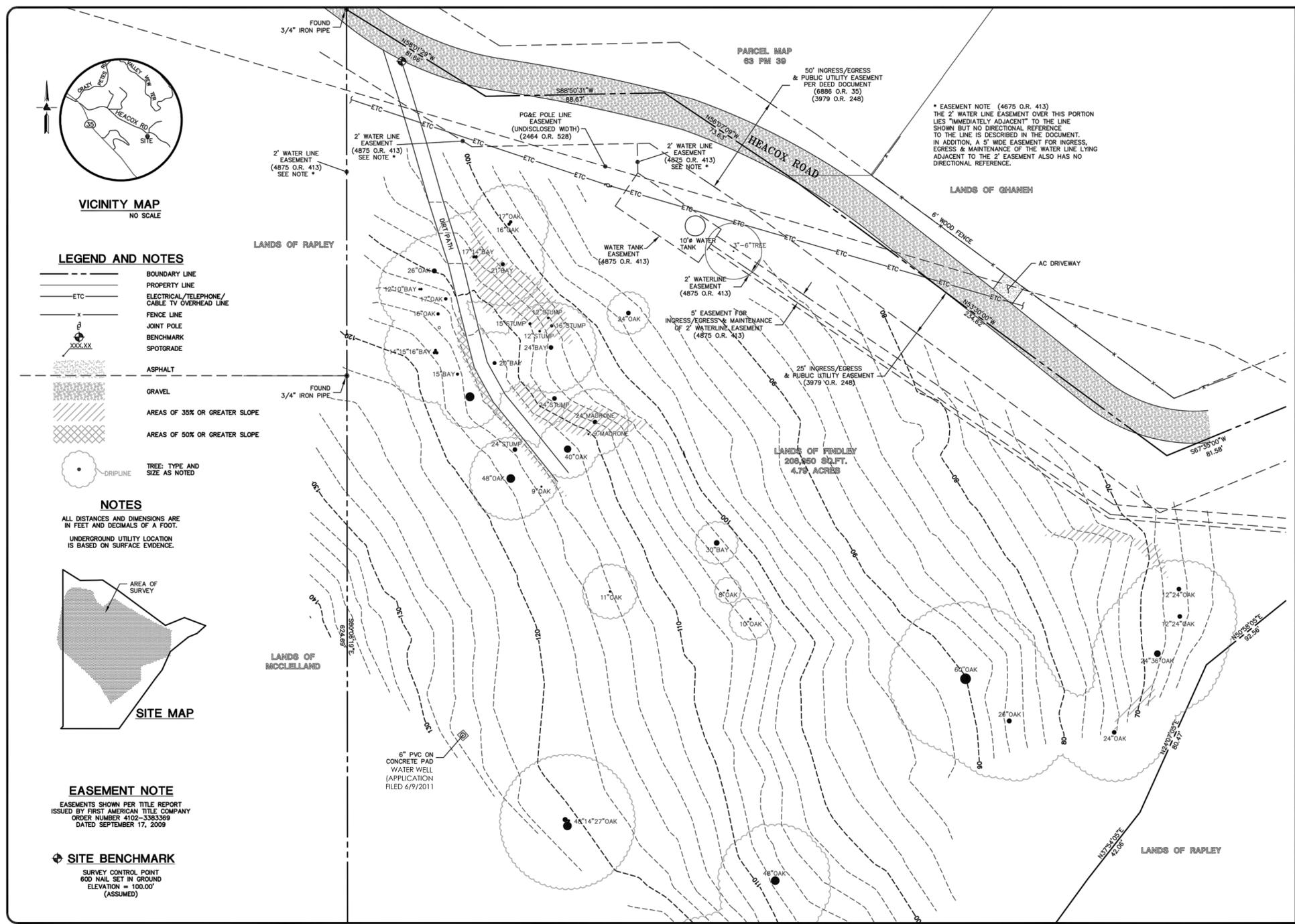
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SCALE: N/A  
DATE: NOVEMBER 3RD, 2020

SHEET:  
**A-0.4**



DAWSON & CLINTON  
GENERAL CONTRACTORS  
PO BOX 40475 SAN FRANCISCO, CA 94140  
PH: 415.389.9991 F: 415.389.9992



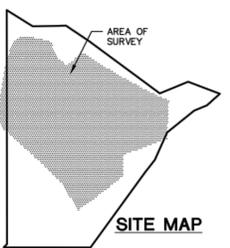
VICINITY MAP  
NO SCALE

LEGEND AND NOTES

- BOUNDARY LINE
- PROPERTY LINE
- - - - - ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- - - - - FENCE LINE
- ⊕ JOINT POLE
- ⊕ BENCHMARK
- ⊕ SPOTGRADE
- ASPHALT
- GRAVEL
- AREAS OF 35% OR GREATER SLOPE
- AREAS OF 50% OR GREATER SLOPE
- DRIPLINE
- TREE: TYPE AND SIZE AS NOTED

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.  
UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.



SITE MAP

EASEMENT NOTE

EASEMENTS SHOWN PER TITLE REPORT ISSUED BY FIRST AMERICAN TITLE COMPANY ORDER NUMBER 4102-3383589 DATED SEPTEMBER 17, 2009

SITE BENCHMARK

SURVEY CONTROL POINT  
600 NAIL SET IN GROUND  
ELEVATION = 100.00'  
(ASSUMED)



LEA & BRAZE ENGINEERING, INC.  
CIVIL ENGINEERS - LAND SURVEYORS  
2075 INDUSTRIAL PARK WEST, SUITE 300  
ROSELILLE, CA 95061  
HAYWARD, CALIFORNIA 94545  
(7) (916) 797-7363  
(7) (916) 897-3019  
WWW.LEABRAZE.COM

HEACOX ROAD  
WOODSIDE, CALIFORNIA  
SAN MATEO COUNTY  
APR. 080-110-210

PARTIAL  
TOPOGRAPHIC SURVEY

NO.	DATE	SUBMISSION
1	30.APR.2020	REVIEW COMMENTS
ADDITIONAL TOPO	7-28-11	MF
TITLE REPORT	7-11-11	MT
REVISIONS		BY
JOB NO.	2110169	
DATE:	06-23-11	
SCALE:	1" = 20'	
DRAWN BY:	JN	
SHEET NO.:		

**SU1**  
01 OF 01 SHEETS

NO.	DATE	SUBMISSION
1	30.APR.2020	REVIEW COMMENTS

PLANNING PERMIT APPLICATION

PROPERTY ADDRESS:  
**250 Heacox Rd**  
(NOT YET ASSIGNED)

APN:  
**080-110-210**

SURVEY

JOB NUMBER: 18009

SCALE: N/A  
DATE: NOVEMBER 3RD, 2020

**SURVEY**



DAWSON & CLINTON  
GENERAL CONTRACTORS  
PO BOX 40473 SAN FRANCISCO, CA  
94141-0473 P: 415.389.9991 F: 415.389.9992

APN # 080-110-220  
(ADJACENT PROPERTY)

APN # 080-110-060  
(ADJACENT PROPERTY)

APN # 080-110-180  
(ADJACENT PROPERTY)

APN # 080-120-080  
(ADJACENT PROPERTY)

APN # 080-110-250  
(ADJACENT PROPERTY)

250 HEACOX RD  
APN # 080-110-210  
(SUBJECT PROPERTY)



NO.	DATE	SUBMISSION
1	30.APR.2020	REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd  
(NOT YET ASSIGNED)**

APN:  
**080-110-210**

DRAWING:  
**SITE PLAN**

JOB NUMBER: 18009

SCALE: 1/16"=1'-0"  
DATE: NOVEMBER 3RD, 2020

SHEET:  
**A-1.1**



DAWSON & CLINTON  
GENERAL CONTRACTORS  
PO BOX 40475 SAN FRANCISCO, CA  
94140-0475 TEL: 415.389.9991 FAX: 415.389.9992

APN # 080-110-220  
(ADJACENT PROPERTY)

APN # 080-110-060  
(ADJACENT PROPERTY)

APN # 080-110-180  
(ADJACENT PROPERTY)

APN # 080-120-080  
(ADJACENT PROPERTY)

250 HEACOX RD  
APN # 080-110-210  
(SUBJECT PROPERTY)

APN # 080-110-250  
(ADJACENT PROPERTY)



NO.	DATE	SUBMISSION
1	30.APR.2020	REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd  
(NOT YET ASSIGNED)**

APN:  
**080-110-210**

DRAWING:  
**SITE PLAN**

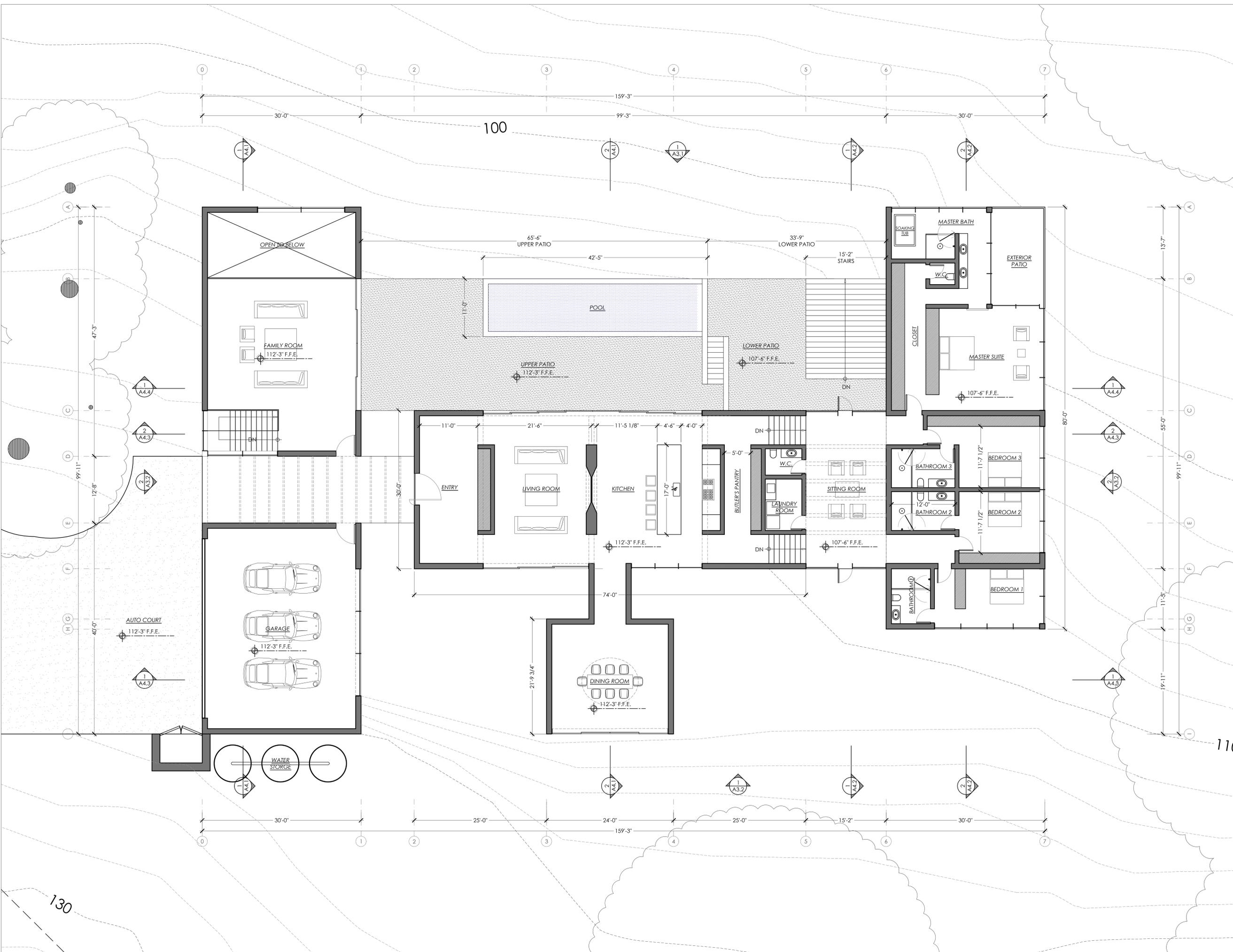
JOB NUMBER: 18009

SCALE: 1/16"=1'-0"  
DATE: NOVEMBER 3RD, 2020

SHEET:  
**A-1.2**



DAWSON & CLINTON  
GENERAL CONTRACTORS  
PO BOX 40475 - SAN FRANCISCO, CA  
94141-0475 - P: 415.359.9991 F: 415.359.9992



NO. DATE SUBMISSION  
1 30 APR 2020 REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd  
(NOT YET ASSIGNED)**

APN:  
**080-110-210**

DRAWING:  
**FLOOR PLANS**

JOB NUMBER: 18009

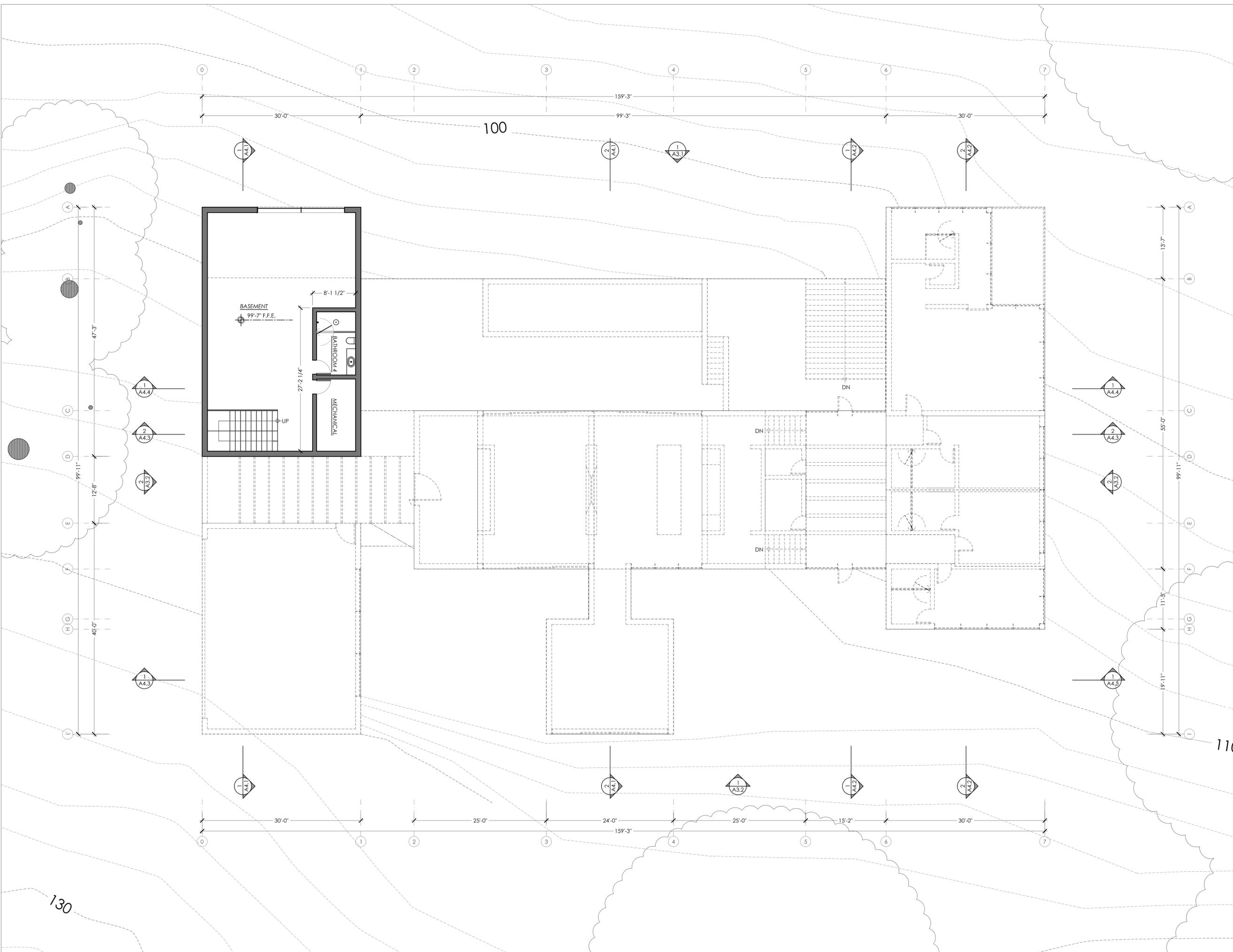
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DATE: NOVEMBER 3RD, 2020

SHEET:  
**A-2.1**

MAIN HOUSE - ENTRY LEVEL FLOOR PLAN



DAWSON & CLINTON  
 GENERAL CONTRACTORS  
 PO BOX 40475 SAN FRANCISCO, CA  
 94141-0475 TEL: 415.389.9991 F: 415.389.9992



NO.	DATE	SUBMISSION
1	30 APR 2020	REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd**  
 (NOT YET ASSIGNED)

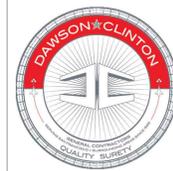
APN:  
**080-110-210**

DRAWING:  
**FLOOR PLANS**

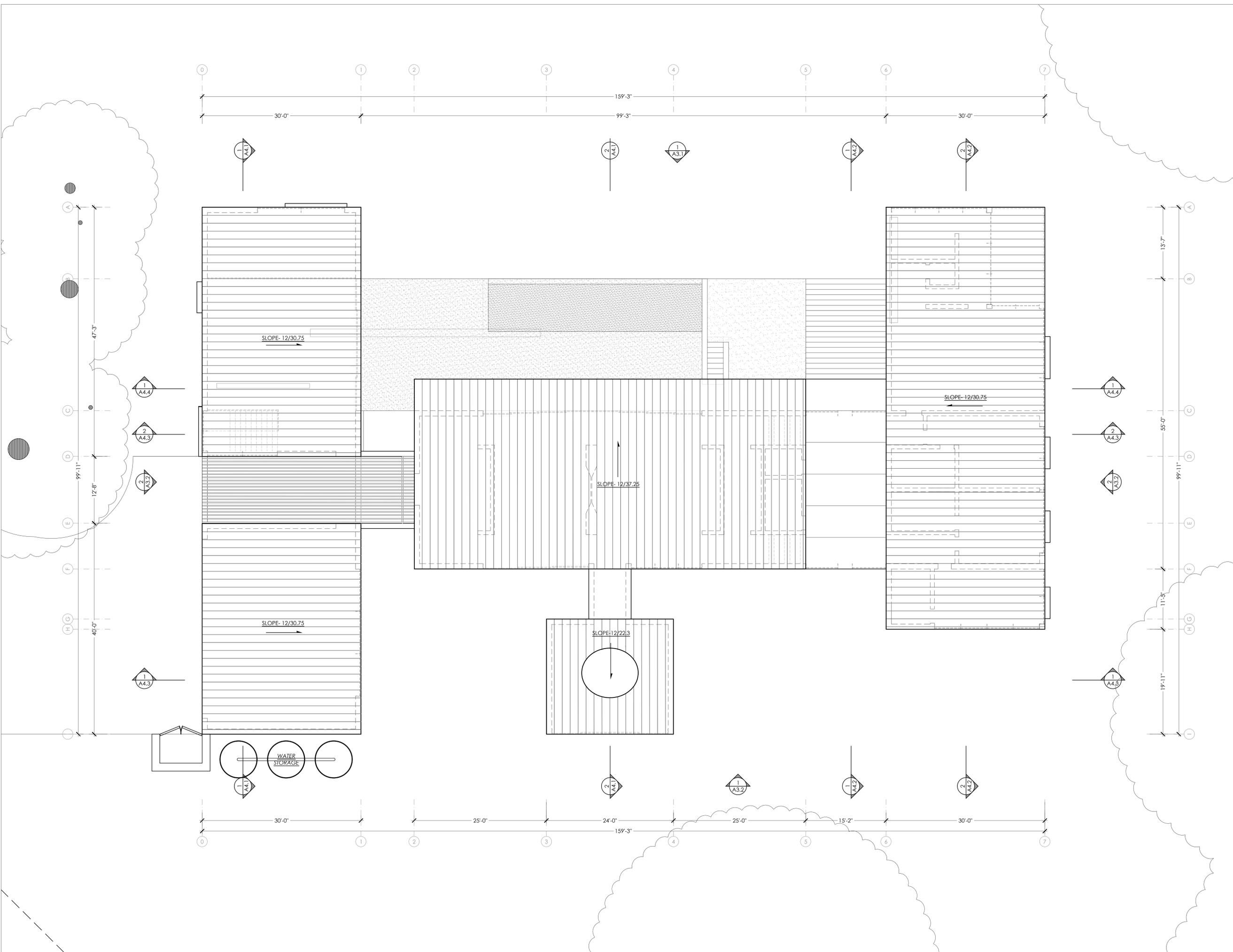
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SCALE: 3/16"=1'-0"  
 DATE: NOVEMBER 3RD, 2020

SHEET:  
**A-2.2**



DAWSON & CLINTON  
 GENERAL CONTRACTORS  
 PO BOX 410475 SAN FRANCISCO, CA  
 94141-0475 P: 415.359.9991 F: 415.359.9992



NO.	DATE	SUBMISSION
1	30-APR-2020	REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd**  
 (NOT YET ASSIGNED)

APN:  
**080-110-210**

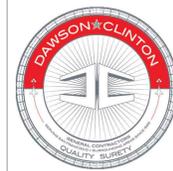
DRAWING:  
**FLOOR PLANS**

JOB NUMBER: 18009

SCALE: 3/16"=1'-0"  
 DATE: NOVEMBER 3RD, 2020

SHEET:  
**A-2.3**

MAIN HOUSE - ROOF PLAN



DAWSON & CLINTON  
GENERAL CONTRACTORS  
PO BOX 410475 SAN FRANCISCO, CA  
94141-0475 PH: 415.359.9991 F: 415.359.9992



80'  
20'-0"  
82  
12'-0"  
57'-6"  
37'-6"  
12'-0"  
12'-0"  
1'-6"

12'-0" 36'-0" 12'-0" 24'-0" 12'-0" 24'-0" 12'-0"  
60'-0" 132'-0" 48'-0"  
1 2 3 4 5 6 7 8

NO.	DATE	SUBMISSION
1	30.APR.2020	REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd  
(NOT YET ASSIGNED)**

APN:  
**080-110-210**

DRAWING:  
**FLOOR PLANS**

JOB NUMBER: 18009

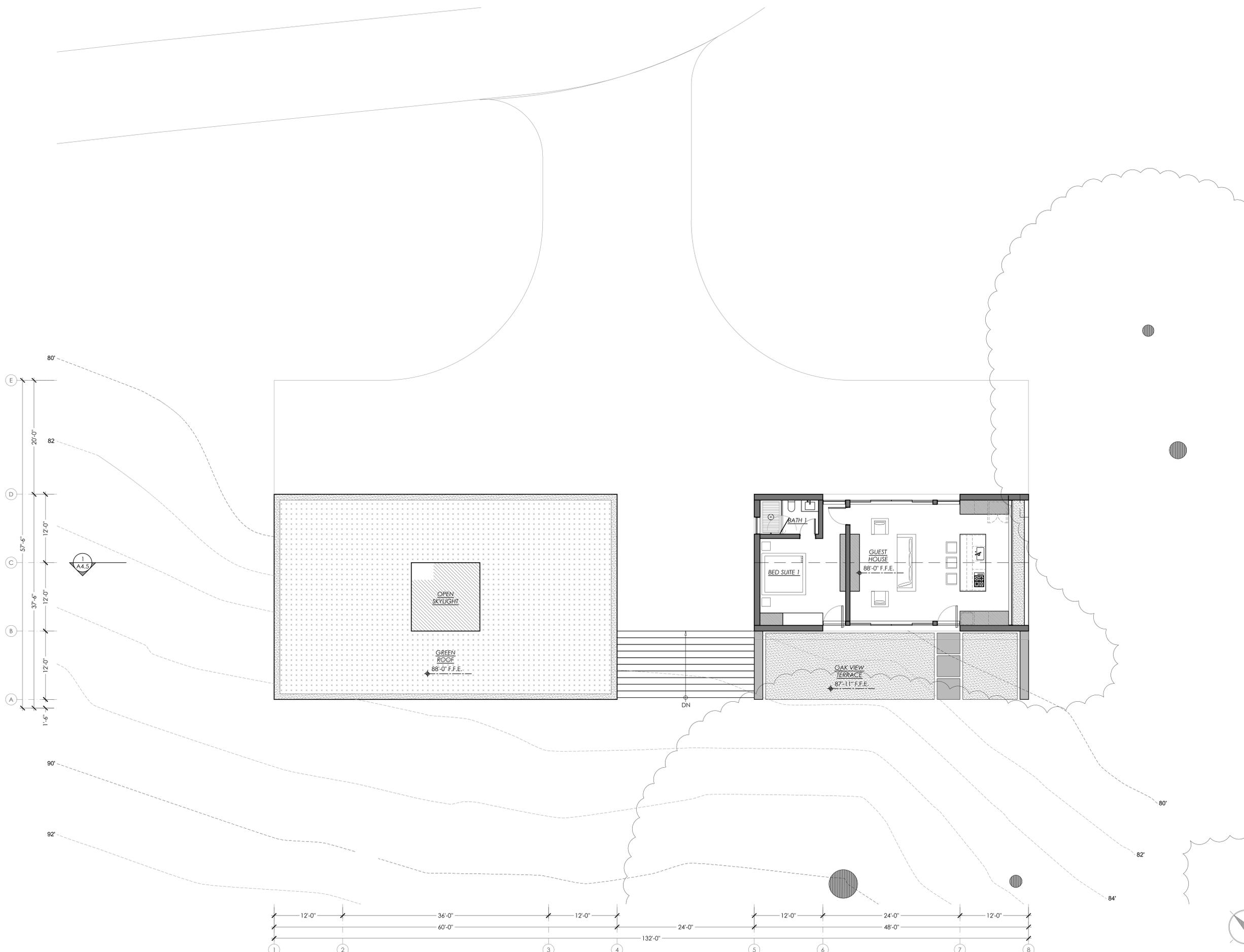
SCALE: 3/16"=1'-0"  
DATE: NOVEMBER 3RD, 2020

SHEET:  
**A-2.4**

GUEST HOUSE & STABLE - ENTRY LEVEL FLOOR PLAN



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 GENERAL CONTRACTORS  
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 94141-0475 P: 415.339.9991 F: 415.339.9992



NO.	DATE	SUBMISSION
1	30 APR 2020	REVIEW COMMENTS

**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd**  
 (NOT YET ASSIGNED)

APN:  
**080-110-210**

**FLOOR PLANS**

JOB NUMBER: 18009

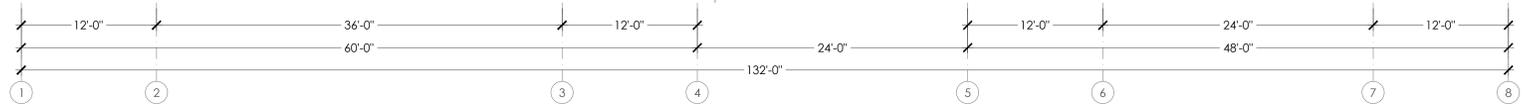
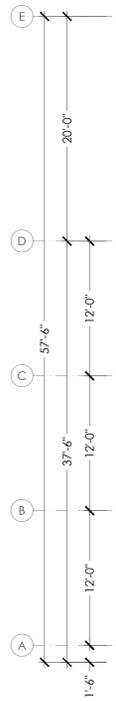
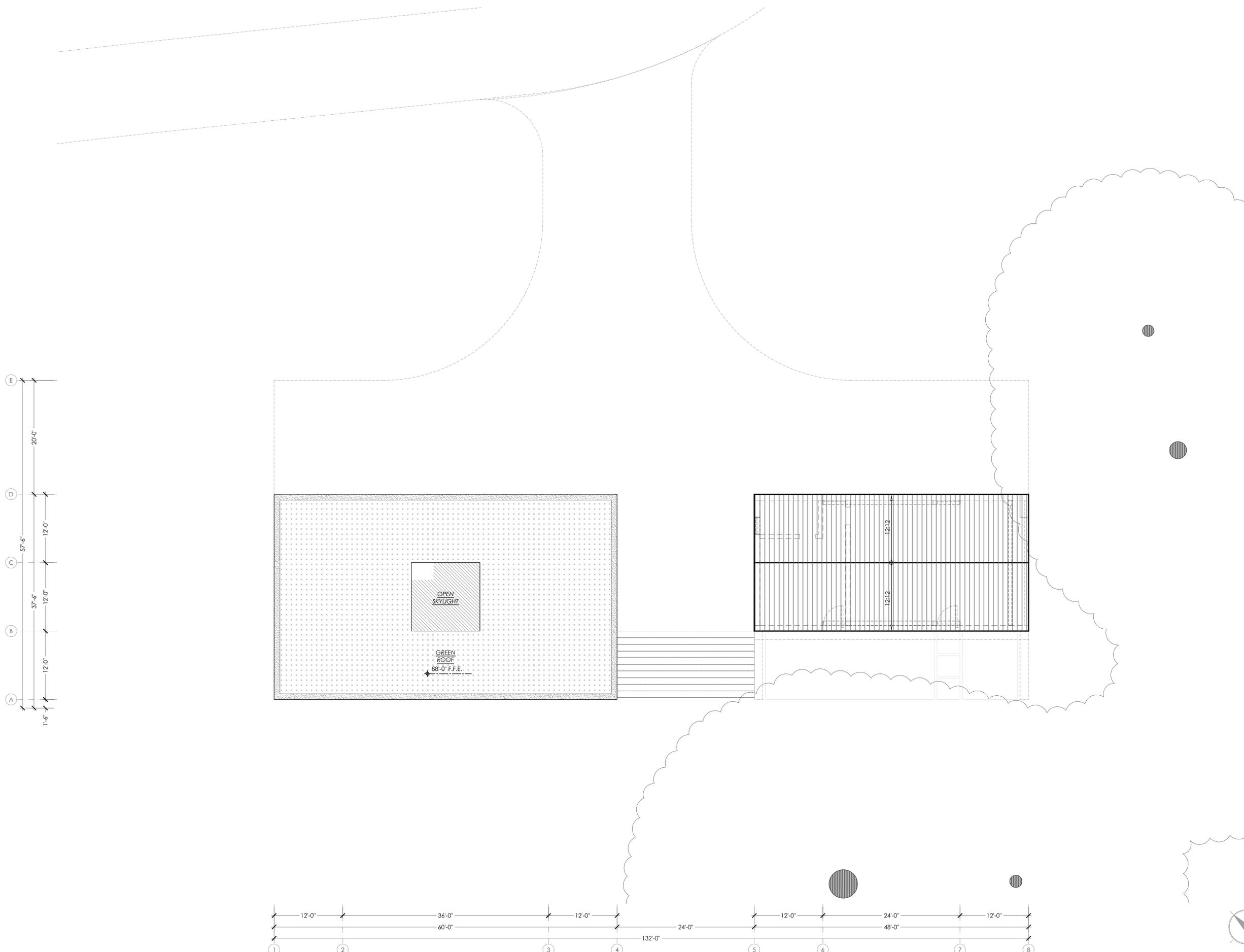
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 DATE: NOVEMBER 3RD, 2020

SHEET:  
**A-2.5**

GUEST HOUSE & STABLE - SECOND LEVEL FLOOR PLAN



DAWSON & CLINTON  
GENERAL CONTRACTORS  
PO BOX 410475 SAN FRANCISCO, CA  
94141-0475 P: 415.339.9991 F: 415.339.9992



NO.	DATE	SUBMISSION
1	30 APR 2020	REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd  
(NOT YET ASSIGNED)**

APN:  
**080-110-210**

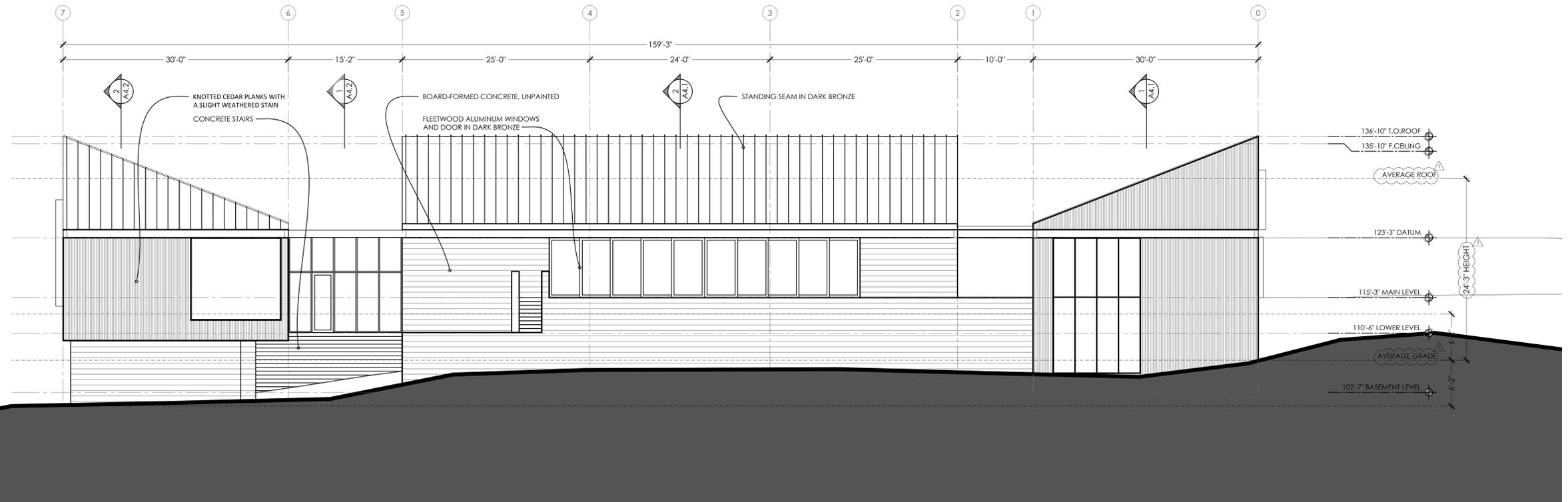
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**FLOOR PLANS**

JOB NUMBER: 18009  
SCALE: 3/16"=1'-0"  
DATE: NOVEMBER 3RD, 2020

SHEET:  
**A-2.6**

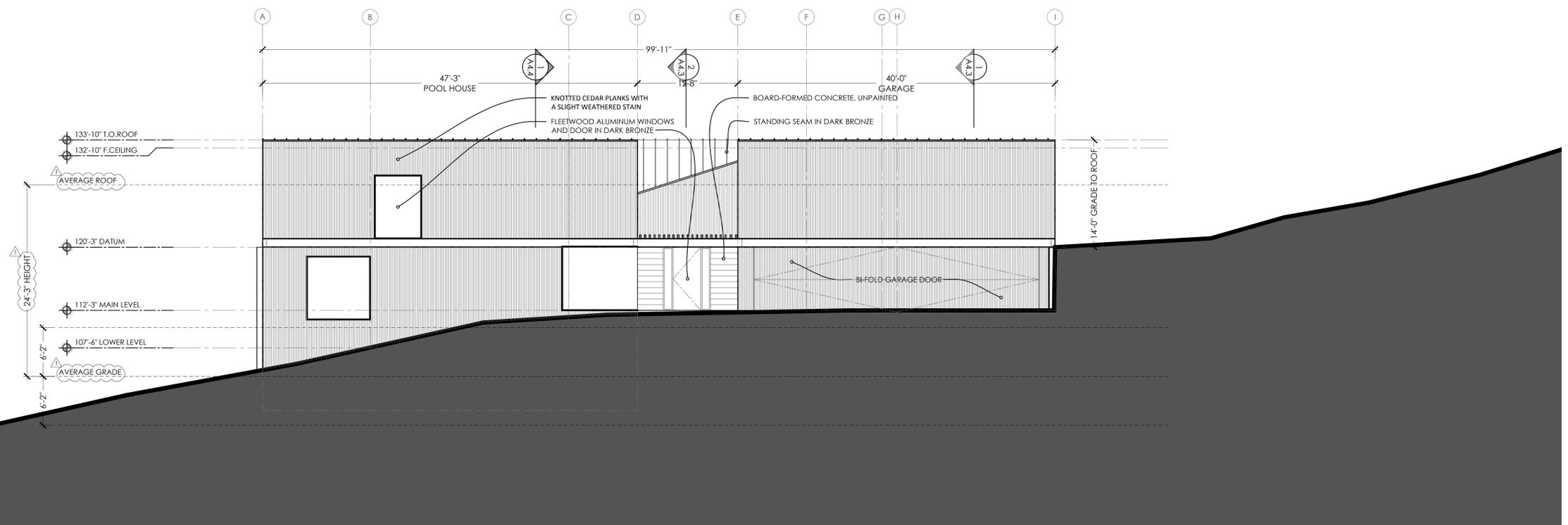


DAWSON & CLINTON  
GENERAL CONTRACTORS  
PO BOX 40475 SAN FRANCISCO, CA  
94141-0475 P: 415.359.9991 F: 415.359.9992



MAIN HOUSE - NORTH-EAST ELEVATION

1



MAIN HOUSE - NORTH-WEST ELEVATION

2

NO.	DATE	SUBMISSION
1	30.APR.2020	REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd  
(NOT YET ASSIGNED)**

APN:  
**080-110-210**

DRAWING:  
**ELEVATIONS**

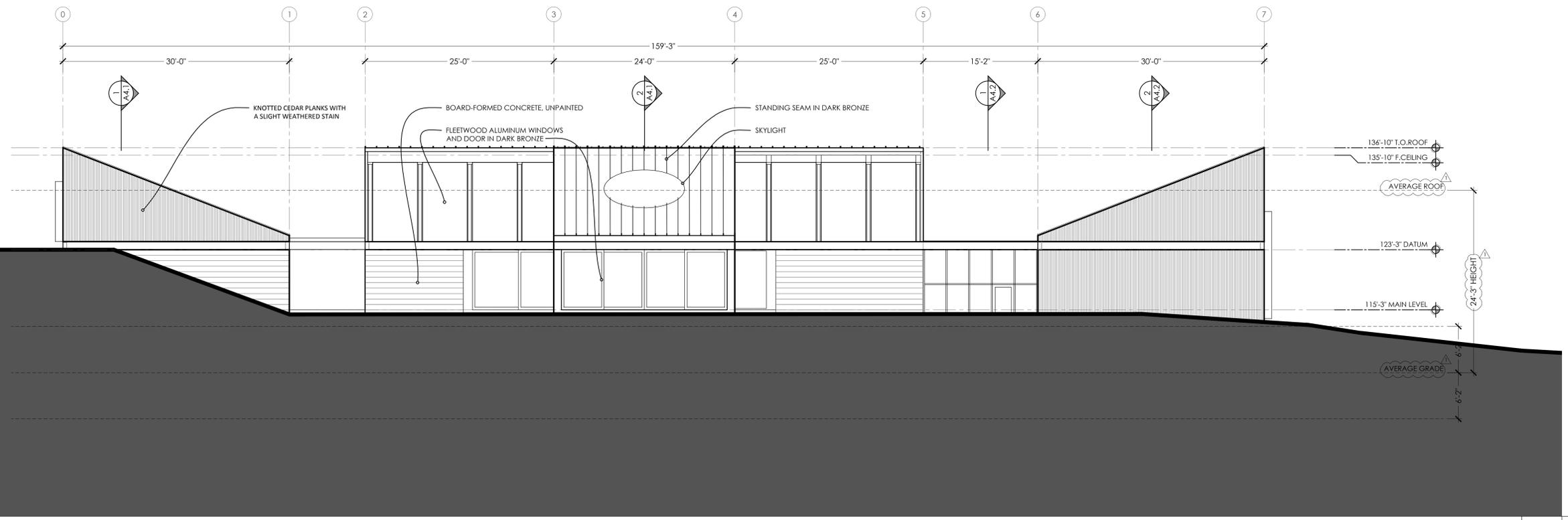
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DATE: NOVEMBER 3RD, 2020

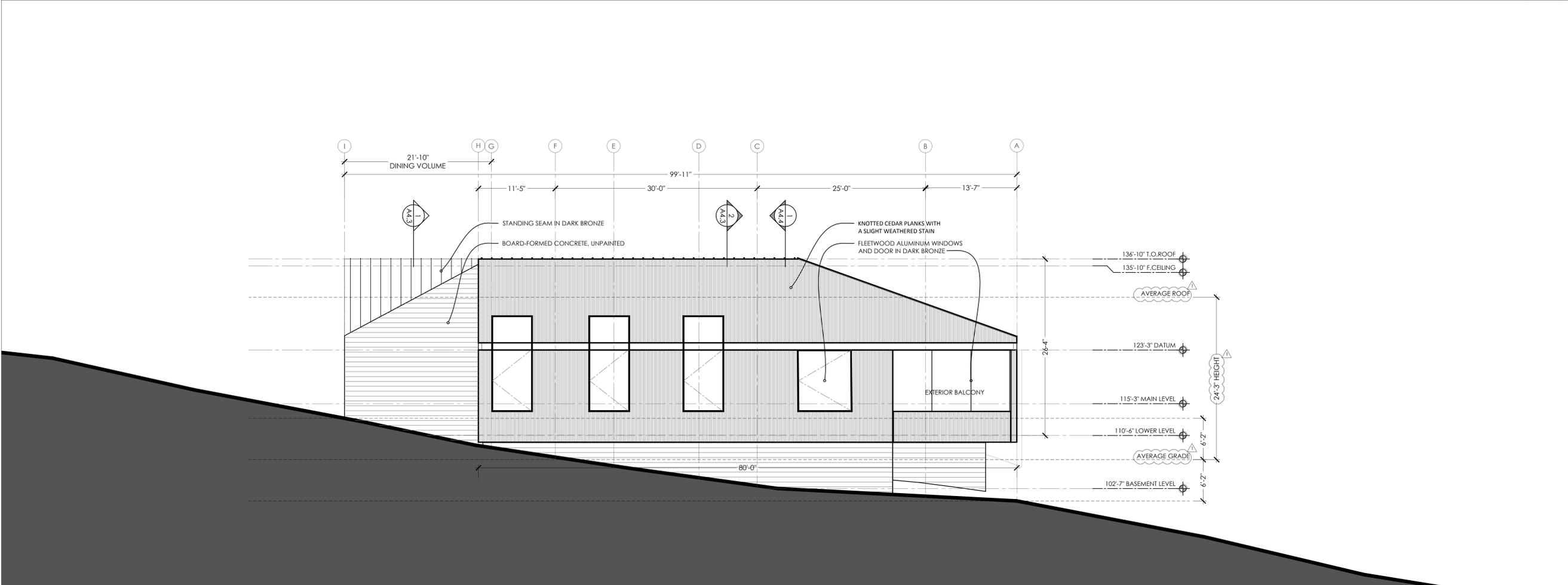
SHEET:  
**A-3.1**



DAWSON & CLINTON  
GENERAL CONTRACTORS  
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94141-0475 PH: 415.359.9991 F: 415.359.9992



MAIN HOUSE - SOUTH-WEST ELEVATION 1



MAIN HOUSE - SOUTH-EAST ELEVATION 2

NO.	DATE	SUBMISSION
1	30 APR 2020	REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd  
(NOT YET ASSIGNED)**

APN:  
**080-110-210**

DRAWING:  
**ELEVATIONS**

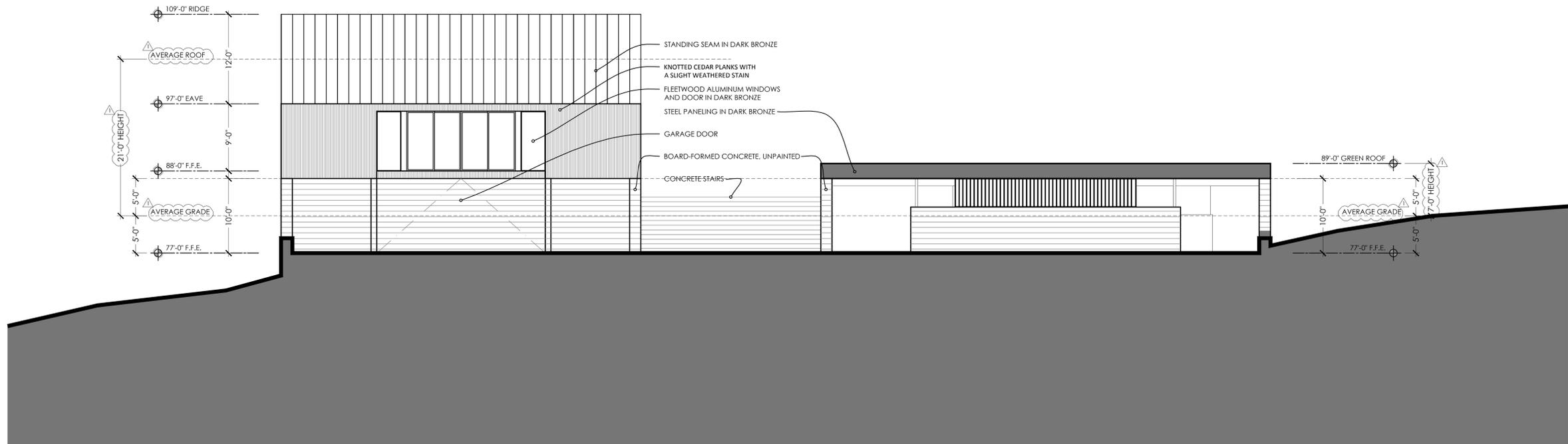
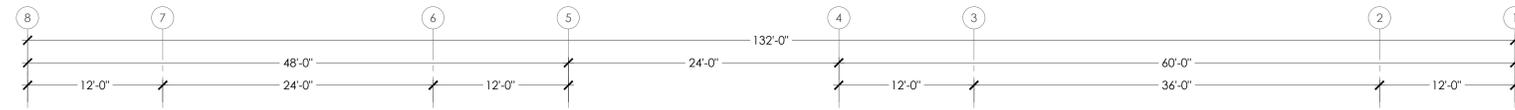
JOB NUMBER: 18009

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DATE: NOVEMBER 3RD, 2020

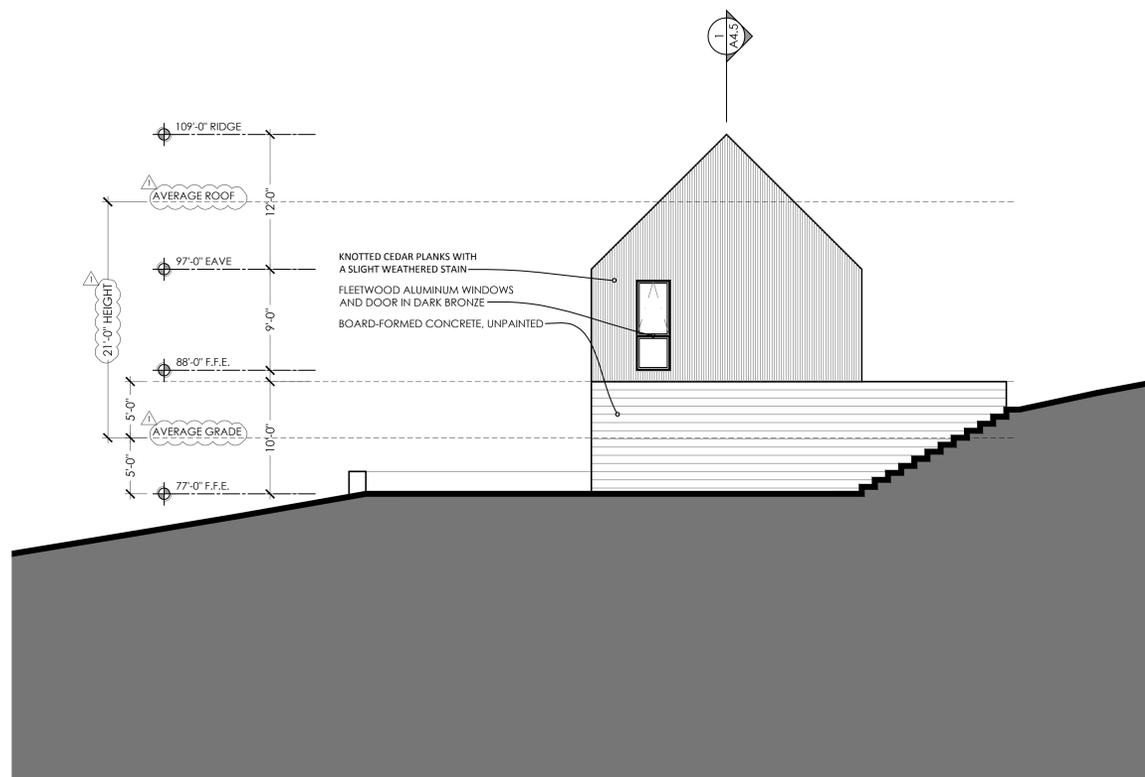
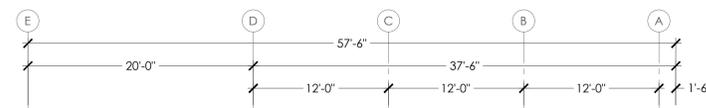
SHEET:  
**A-3.2**



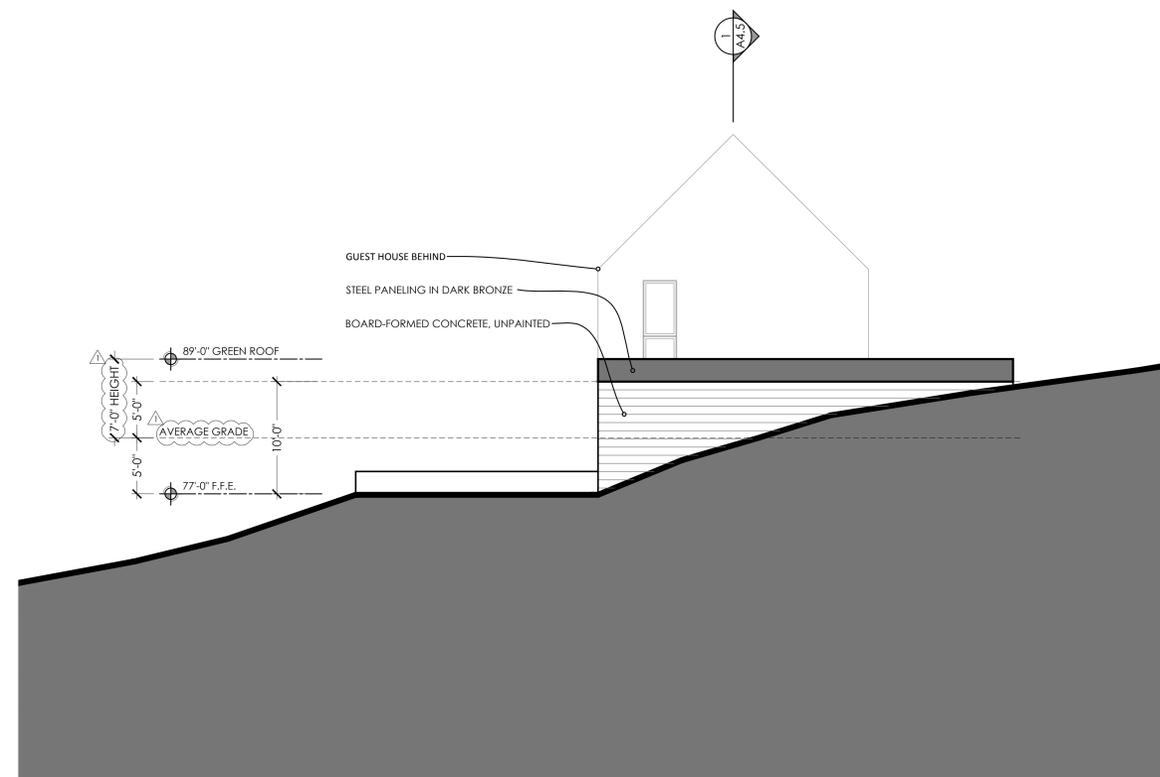
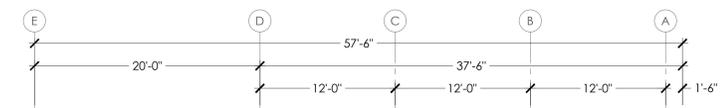
DAWSON & CLINTON  
GENERAL CONTRACTORS  
PO BOX 40475 SAN FRANCISCO, CA  
94141-0475 PH: 415.359.9991 F: 415.359.9992



GUEST HOUSE & STABLE - NORTH-EAST ELEVATION 1



GUEST HOUSE - NORTH-WEST ELEVATION 3



STABLE - NORTH-WEST ELEVATION 2

NO. DATE SUBMISSION  
1 30.APR.2020 REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd  
(NOT YET ASSIGNED)**

APN:  
**080-110-210**

DRAWING:  
**ELEVATIONS**

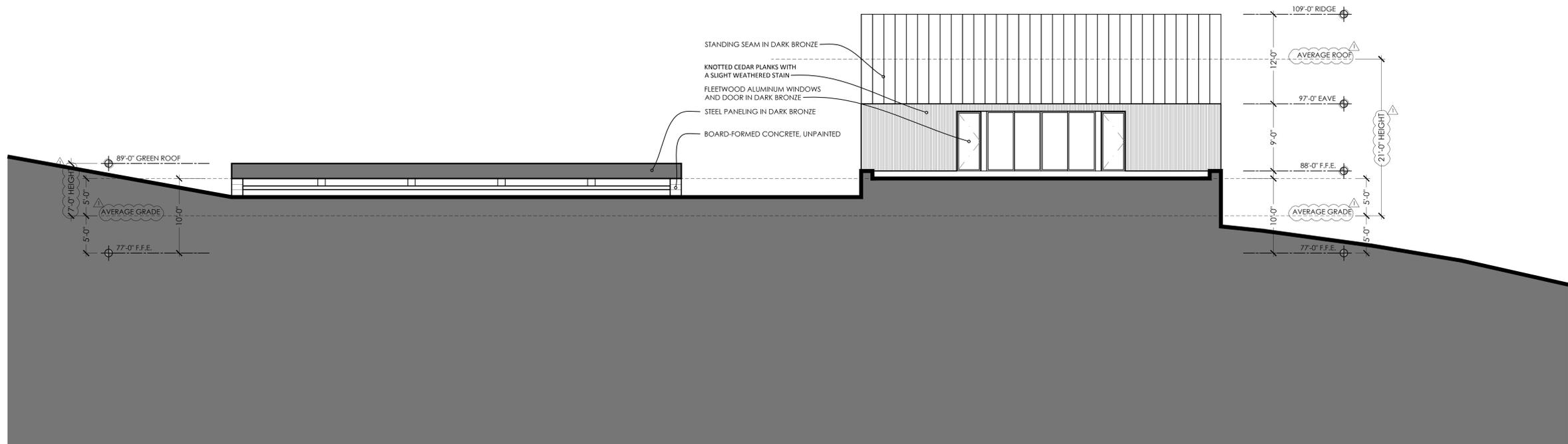
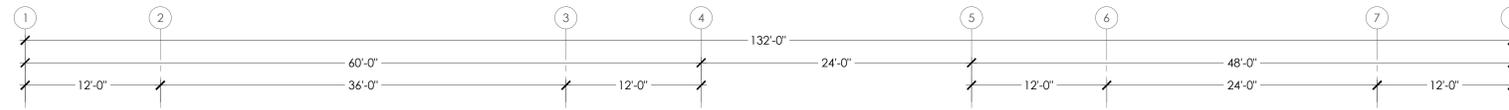
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DATE: NOVEMBER 3RD, 2020

SHEET:  
**A-3.3**

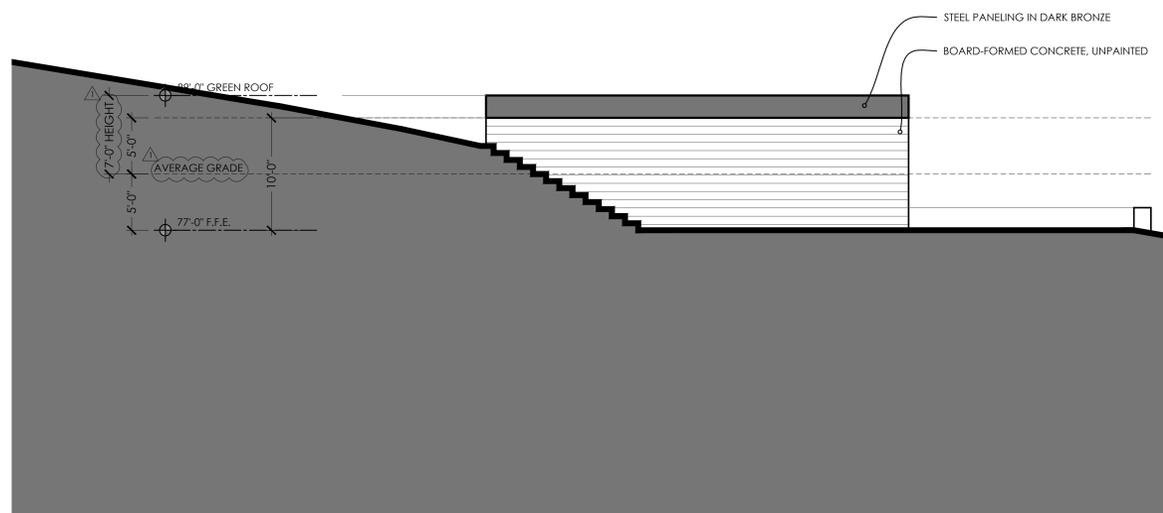
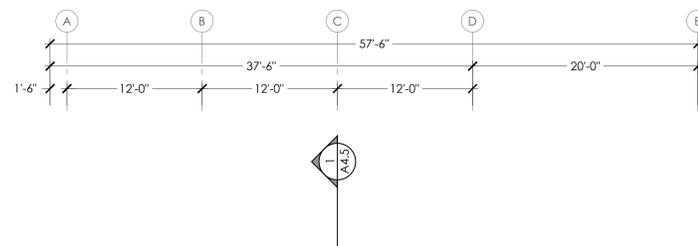


DAWSON & CLINTON  
GENERAL CONTRACTORS  
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94114-0475 P: 415.359.9991 F: 415.359.9992



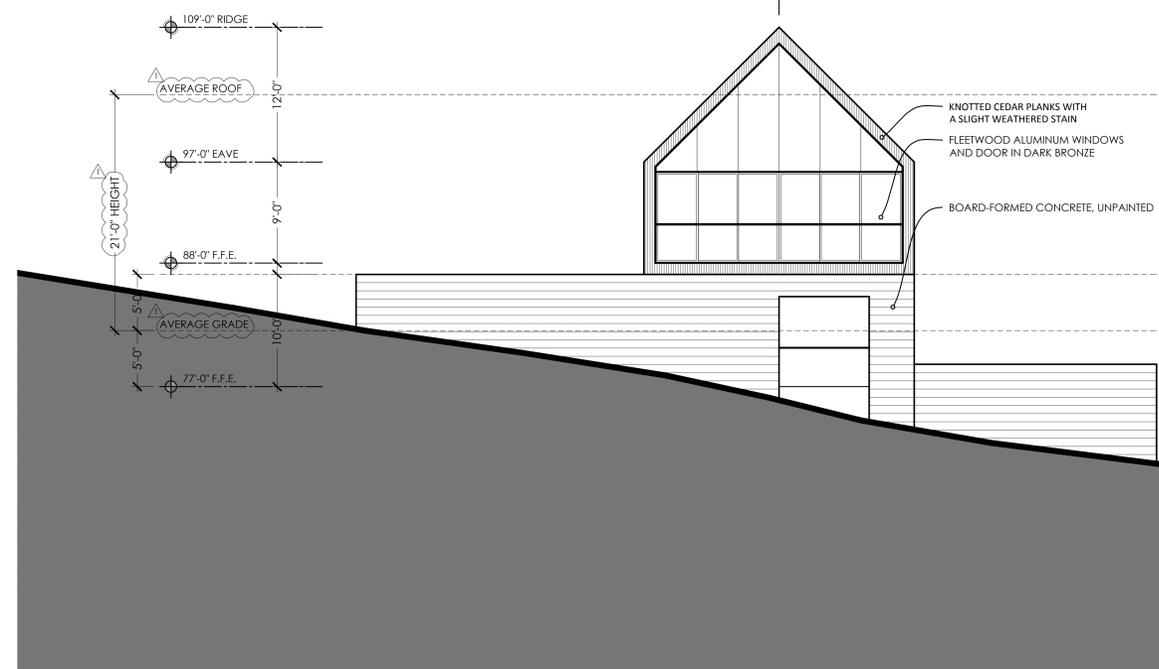
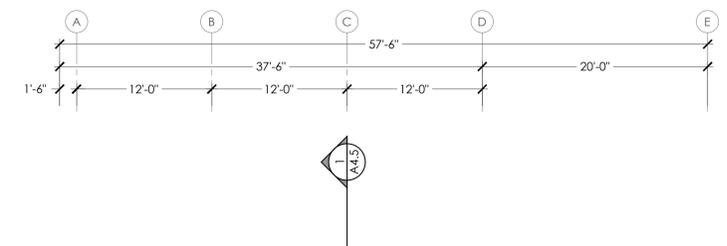
GUEST HOUSE & STABLE - SOUTH-WEST ELEVATION

1



STABLE - SOUTH-EAST ELEVATION

3



GUEST HOUSE - SOUTH-EAST ELEVATION

2

NO.	DATE	SUBMISSION
1	30 APR 2020	REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd  
(NOT YET ASSIGNED)**

APN:  
**080-110-210**

DRAWING:  
**ELEVATIONS**

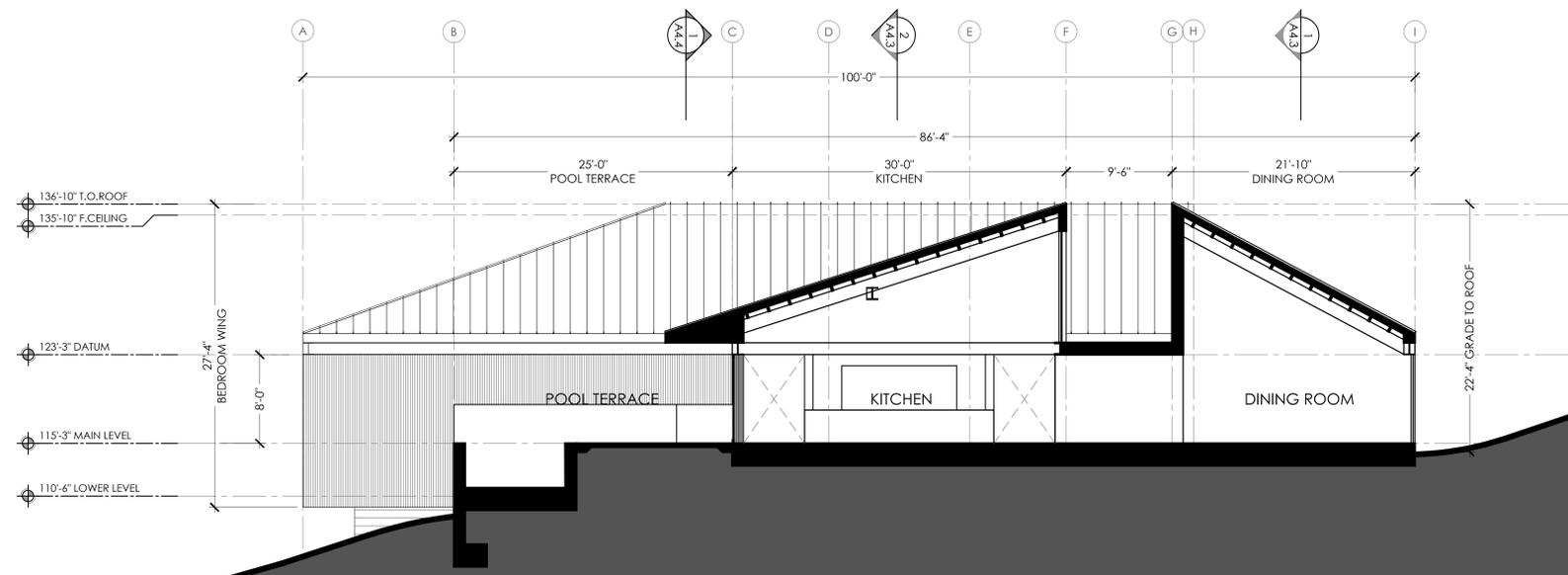
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DATE: NOVEMBER 3RD, 2020

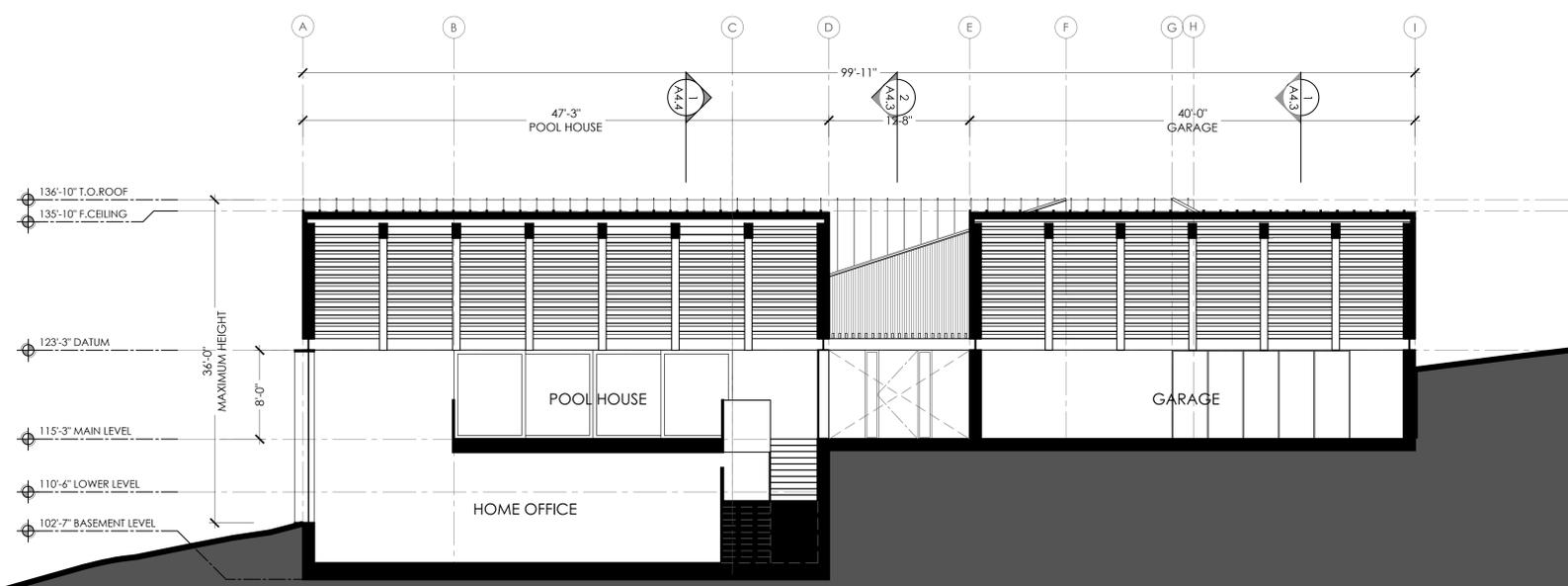
SHEET:  
**A-3.4**



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GENERAL CONTRACTORS  
PO BOX 40475 SAN FRANCISCO, CA  
415.339.9991 F. 415.339.9992



MAIN HOUSE - SECTION @ LIVING / OAK VIEW TERRACE 1



MAIN HOUSE - ELEVATION / SECTION @ POOL / AUTO COURT / GARAGE 2

NO.	DATE	SUBMISSION
1	30 APR 2020	REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd  
(NOT YET ASSIGNED)**

APN:  
**080-110-210**

DRAWING:  
**SECTIONS**

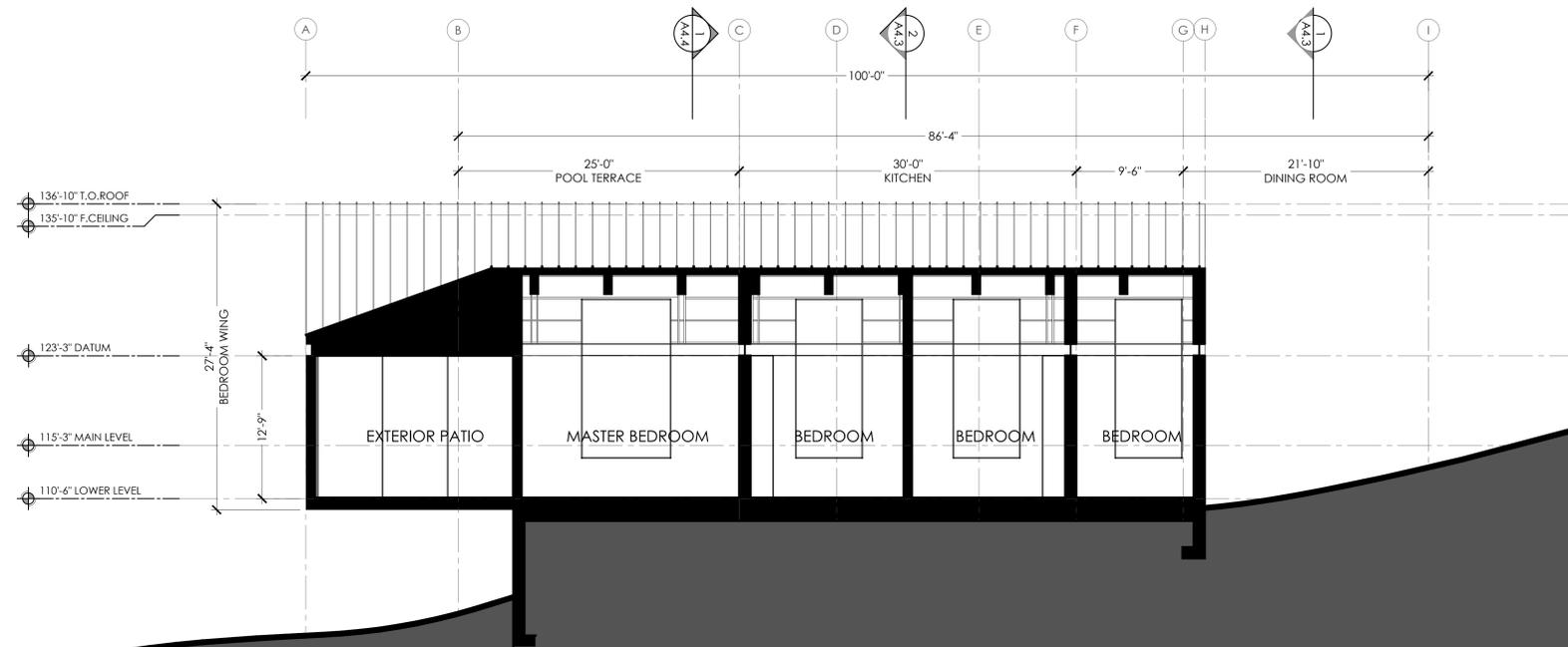
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DATE: NOVEMBER 3RD, 2020

SHEET:  
**A-4.1**

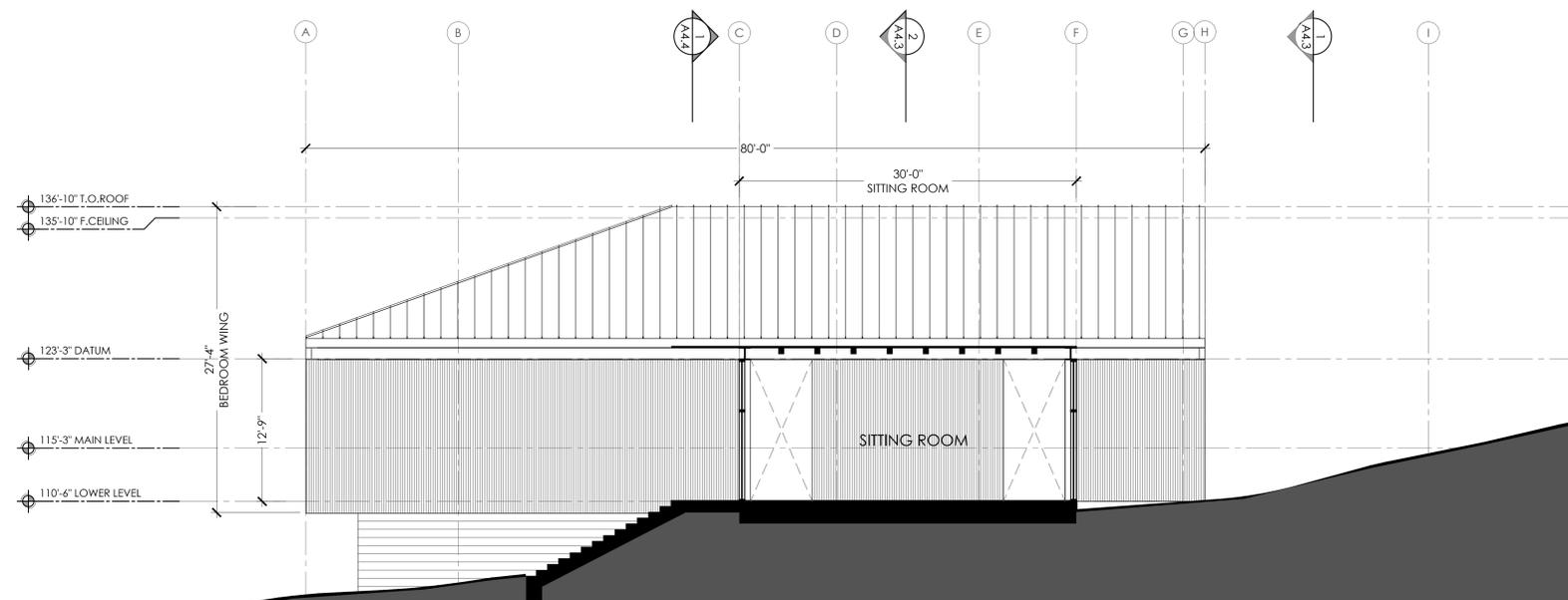


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 94141-0475 PH: 415.359.9991 F: 415.359.9992



MAIN HOUSE - SECTION @ BEDROOMS

1



MAIN HOUSE - SECTION @ STAIRS / BEDROOM HALL

2

NO.	DATE	SUBMISSION
1	30.APR.2020	REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd**  
 (NOT YET ASSIGNED)

APN:  
**080-110-210**

DRAWING:  
**SECTIONS**

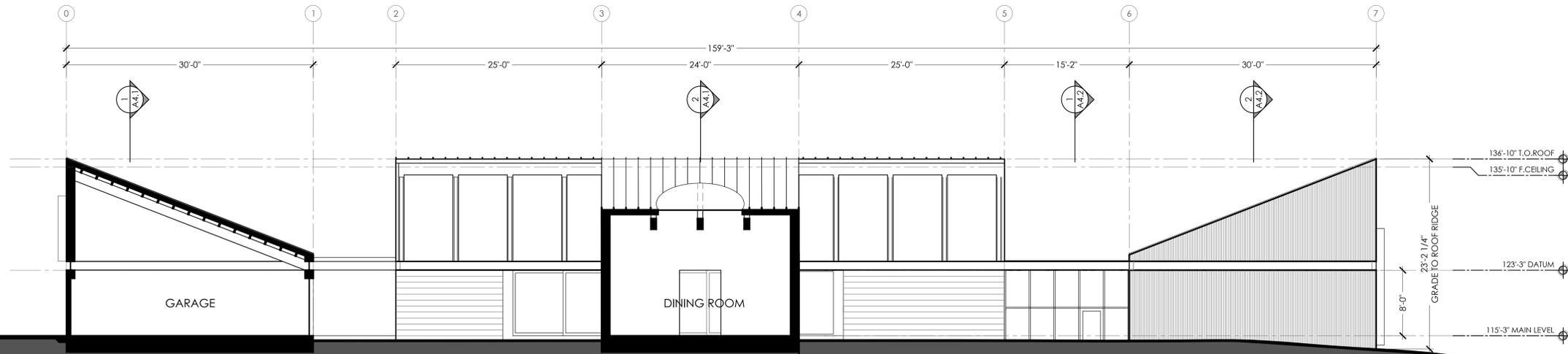
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 DATE: NOVEMBER 3RD, 2020

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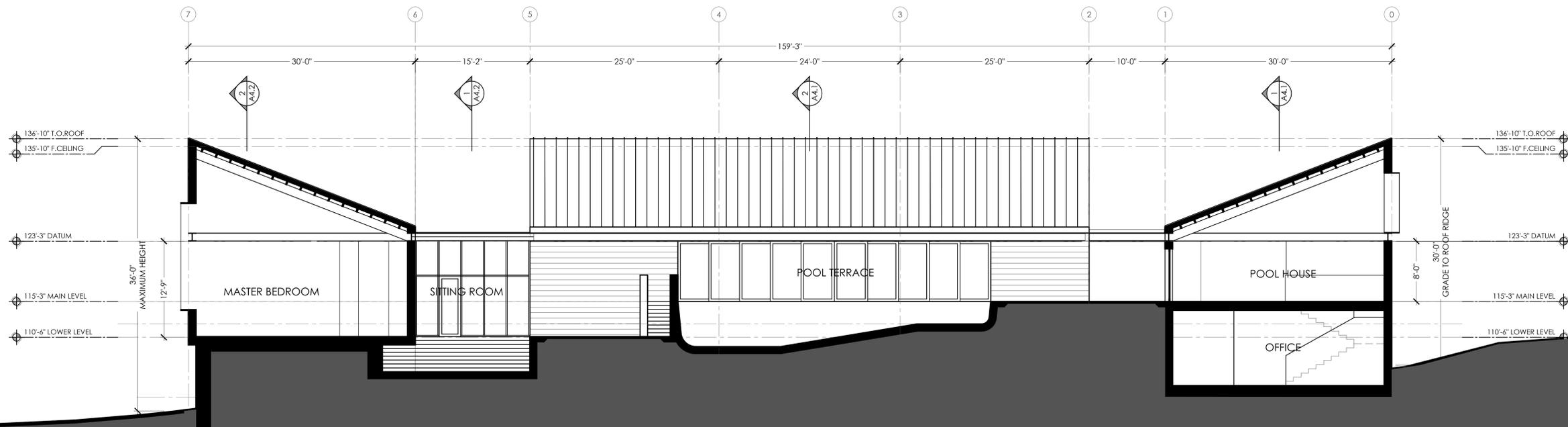


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GENERAL CONTRACTORS  
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94141-0475 P: 415.359.9991 F: 415.359.9992



MAIN HOUSE - SECTION @ DRIVE / OAK VIEW TERRACE / BEDROOMS

1



MAIN HOUSE - SECTION @ CENTRAL HALL

2

NO.	DATE	SUBMISSION
1	30.APR.2020	REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd  
(NOT YET ASSIGNED)**

APN:  
**080-110-210**

DRAWING:  
**SECTIONS**

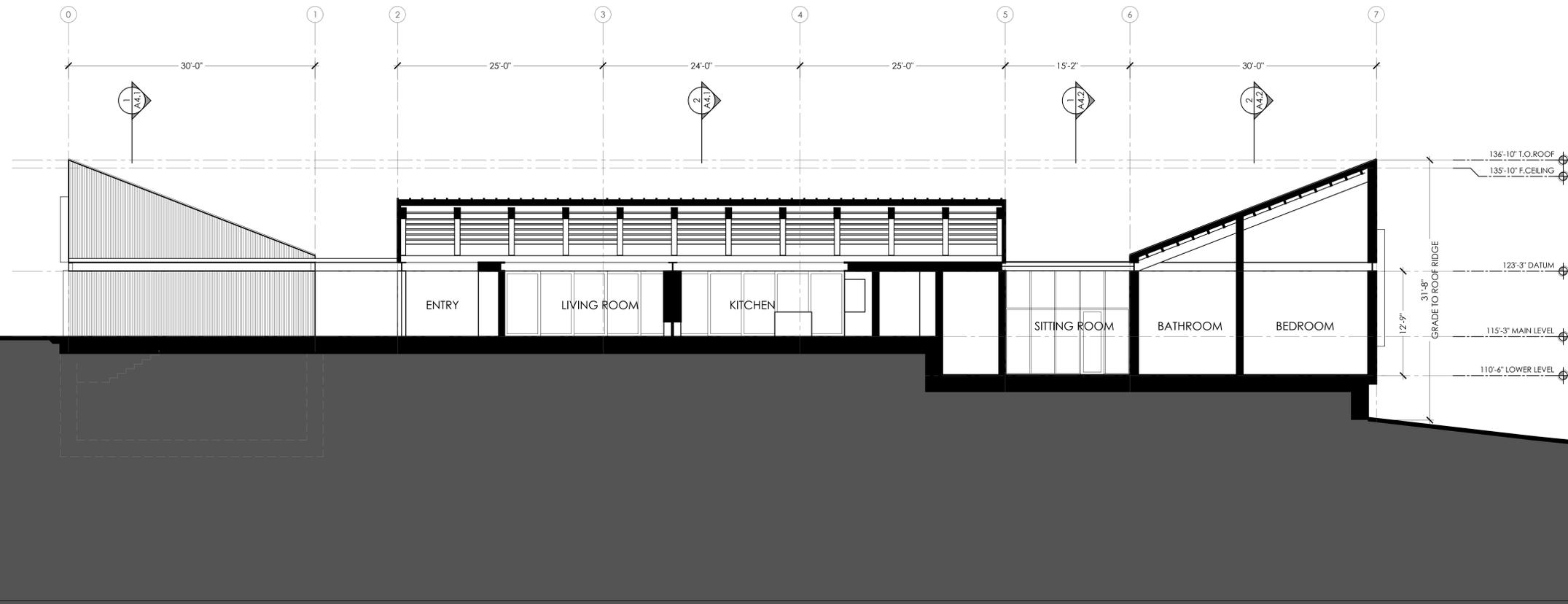
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SCALE: 3/16"=1'-0"  
DATE: NOVEMBER 3RD, 2020

SHEET:  
**A-4.3**



DAWSON & CLINTON  
 GENERAL CONTRACTORS  
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 94141-0475 P: 415.359.9991 F: 415.359.9992



MAIN HOUSE - SECTION @ POOL / LIVING / KITCHEN / OWNERS SUITE

1

NO.	DATE	SUBMISSION
1	30 APR 2020	REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd**  
 (NOT YET ASSIGNED)

APN:  
**080-110-210**

DRAWING:  
**SECTIONS**

JOB NUMBER: 18009

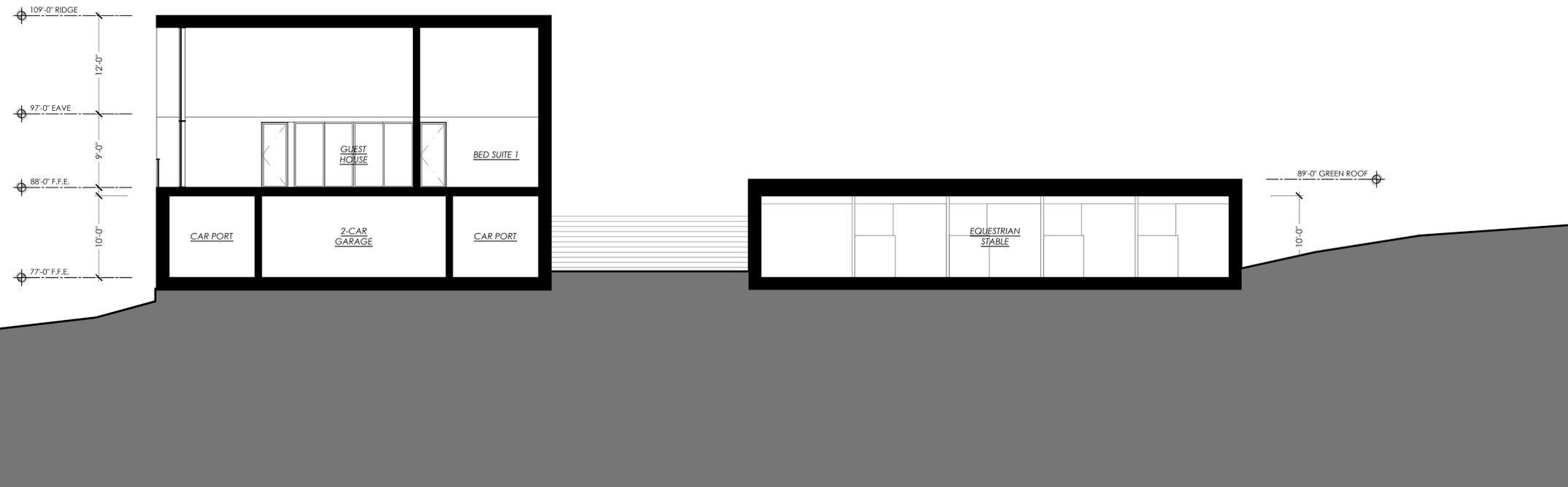
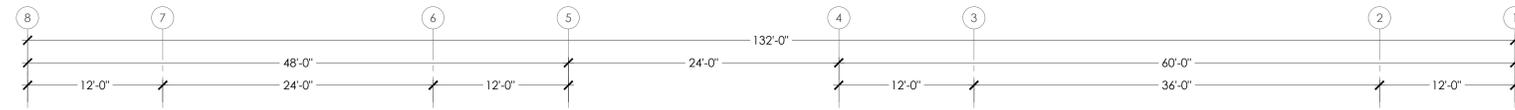
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 DATE: NOVEMBER 3RD, 2020

SHEET:  
**A-4.4**

2



DAWSON & CLINTON  
GENERAL CONTRACTORS  
PO BOX 410475 SAN FRANCISCO, CA  
94141-0475 P: 415.339.9991 F: 415.339.9992



GUEST HOUSE & STABLE - SECTION 1

NO.	DATE	SUBMISSION
1	30 APR 2020	REVIEW COMMENTS

PROJECT:  
**PLANNING PERMIT APPLICATION**

PROPERTY ADDRESS:  
**250 Heacox Rd**  
(NOT YET ASSIGNED)

APN:  
**080-110-210**

DRAWING:  
**SECTIONS**

JOB NUMBER: 18009

SCALE: 3/16"=1'-0"  
DATE: NOVEMBER 3RD, 2020

SHEET:  
**A-4.5**



**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 SACRAMENTO REGION 300  
 BAY AREA REGION 1801 WEST  
 HAYWARD, CALIFORNIA 94545  
 (916) 887-4086 (F) (916) 887-1338  
 (916) 887-4086 (F) (916) 887-1338  
 WWW.LEABRAZE.COM

APR. 08-110-210

**NEW RESIDENCE  
 250 HEACOX ROAD  
 WOODSIDE, CALIFORNIA**

UNINCORPORATED SAN MATEO COUNTY

**TITLE SHEET**

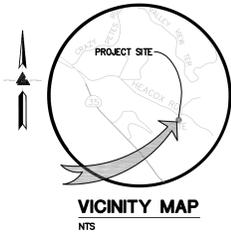
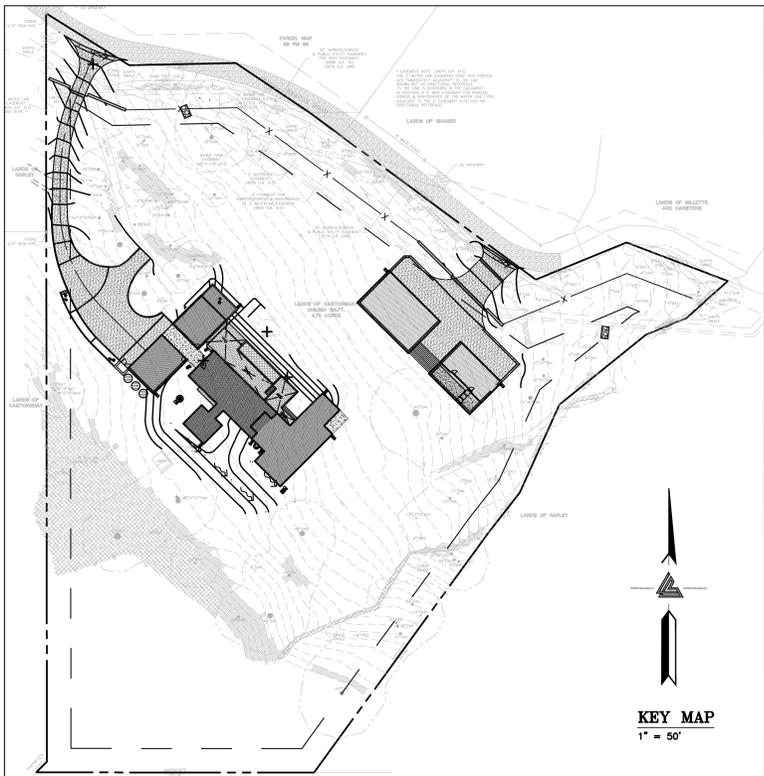
# NEW RESIDENCE 250 HEACOX ROAD WOODSIDE, CALIFORNIA (UNINCORPORATED SAN MATEO COUNTY)

## LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED

## ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	MRO	METERED RELEASE OUTLET
BM	BENCHMARK	(N)	NEW
BUB	BUBBLER BOX	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH GRADE	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/J	OVER
CP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	(PA)	PLANTING AREA
CO	CLEANOUT TO GRADE	PE	PEDESTRIAN
COTG	CLEANOUT TO GRADE	PIV	POST INDICATOR VALVE
CONC	CONCRETE	PUE	PUBLIC UTILITY EASEMENT
CONST	CONSTRUCT - TION	PVC	POLYVINYL CHLORIDE
CONIC COR	CONCRETE CORNER	R	RADIUS
CY	CUBIC YARD	RCP	REINFORCED CONCRETE PIPE
D	DIAMETER	RM	RIM ELEVATION
DI	DROP INLET	RW	RAINWATER
DIP	DUCTILE IRON PIPE	R/W	RIGHT OF WAY
EA	EACH	S	SLOPE
EC	END OF CURVE	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EG	EXISTING GRADE	SAN	SANITARY
EL	ELEVATIONS	SD	STORM DRAIN
EP	EDGE OF PAVEMENT	SDMH	STORM DRAIN MANHOLE
EQ	EQUIPMENT	SHT	SHEET
EW	EACH WAY	S.L.D.	SEE LANDSCAPE DRAWINGS
(E)	EXISTING	SPEC	SPECIFICATION
FC	FACE OF CURB	SS	SANITARY SEWER
FF	FINISHED FLOOR	SSCO	SANITARY SEWER CLEANOUT
FG	FINISHED GRADE	SSMH	SANITARY SEWER MANHOLE
FH	FIRE HYDRANT	ST	STREET
FL	FLOW LINE	STA	STATION
FS	FINISHED SURFACE	STD	STANDARD
G	GAGE OR GAUGE	STRUCT	STRUCTURAL
GA	GRADE BREAK	T	TELEPHONE
GB	GRADE BREAK	TC	TOP OF CURB
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	TOW	TOP OF WALL
HORIZ	HORIZONTAL	TEMP	TEMPORARY
H FT	HIGH POINT	TP	TOP OF PAVEMENT
H&T	HUB & TACK	TW/FG	TOP OF WALL/FINISH GRADE
ID	INSIDE DIAMETER	TYP	TYPICAL
INV	INVERT ELEVATION	VC	VERTICAL CURVE
JB	JUNCTION BOX	VCP	VITRIFIED CLAY PIPE
JT	JOINT TRENCH	VERT	VERTICAL
JP	JOINT UTILITY POLE	W	WITH
L	LENGTH	W, WL	WATER LINE
LNDG	LANDING	WM	WATER METER
		WWF	WELDED WIRE FABRIC



## EASEMENT NOTE

EASEMENTS ARE SHOWN PER PRELIMINARY TITLE REPORT ISSUED BY FIRST AMERICAN TITLE COMPANY, ORDER NUMBER 4102-3383369, DATED AS OF SEPTEMBER 17, 2009

## SITE BENCHMARK

SURVEY CONTROL POINT 600 NAIL SET IN GROUND ELEVATION = 100.00' (ASSUMED)

## OWNER'S INFORMATION

OWNER: C/O PAUL DAWSON  
 DAWSON & CLINTON GC  
 1635 INDIANA ST  
 SAN FRANCISCO, CA 94114

## REFERENCES

1. TOPOGRAPHIC SURVEY BY LEA AND BRAZE, ENTITLED: "PARTIAL TOPOGRAPHIC SURVEY" HEACOX ROAD WOODSIDE, CA DATED: 9-13-18 JOB#2181020
2. SITE PLAN BY RYAN BORMAN 301 UPPER TERRACE SAN FRANCISCO, CA 94117
3. SOIL REPORT BY MURRAY ENGINEERS, INC. ENTITLED: "GEOTECHNICAL & ENGINEERING GEOLOGIC INVESTIGATION" 240 HEACOX SAN MATEO COUNTY, CA JOB# 1602-1R1 DATE: JULY 24, 2013

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

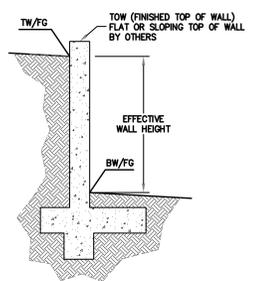
## ESTIMATED EARTHWORK QUANTITIES

	CUBIC YARDS	WITHIN BUILDING FOOTPRINT	OUTSIDE BUILDING FOOTPRINT	TOTAL CUBIC YARDS
CUT	1,260	2,075	3,335	
FILL	875	370	1,245	
EXPORT			2,090	

NOTE: GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PILES, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYSAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

## RETAINING WALL NOTES

1. TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT TOP OF WALL. NOT ACTUAL TOP OF WALL MATERIAL. BW/FG REPRESENTS FINISH EARTHEN GRADE OR PAVEMENT ELEVATION AT BOTTOM OF WALL NOT INCLUDING FILL FOUNDATION. GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT INCLUDING FOOTING, FREEBOARD, ETC.
2. DIMENSIONS SHOWN IN BRACKETS SHOWN AS [X.X'] DENOTE THE EFFECTIVE WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
3. REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, FREEBOARD, AND EMBEDMENT.
4. REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUBDRAINAGE, WATERPROOFING, FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. PROVIDE CURBS OR OTHER MEANS OF SECURING FINISH MATERIALS AS NECESSARY (WET SET INTO THE WALL).
5. ALL RETAINING WALLS SHOULD HAVE A BACK-OFF-WALL SUB-SURFACE DRAINAGE SYSTEM INCLUDING WEHPOLES TO PREVENT HYDROSTATIC PRESSURE.
6. SEE DETAIL SHEET FOR SPECIFIC INFORMATION.
7. PROVIDE GUARDRAIL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.



SCHEMATIC RETAINING WALL PLEASE NOTE THE DETAIL ABOVE IS SCHEMATIC ONLY AND DOES NOT PERTAIN TO ANY SPECIFIC RETAINING WALL LOCATED ON-SITE.

\* BUILDING PAD NOTE: ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE: FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ASAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aasaya@leabraze.com



## SHEET INDEX

- C-1.0 TITLE SHEET
- C-2.0 OVERALL SITE PLAN
- C-2.1 GRADING & DRAINAGE PLAN
- C-2.2 DRIVEWAY PROFILE
- C-3.0 OVERALL UTILITY PLAN
- C-3.1 UTILITY PLAN
- C-4.0 DETAILS
- C-5.0 GRADING SPECIFICATIONS
- ER-1 EROSION CONTROL PLAN
- ER-2 EROSION CONTROL DETAILS
- BMP BEST MANAGEMENT PRACTICES

NO.	DESCRIPTION	DATE	BY
1	PLAN CHECK	05-18-20	MG
2	PLAN CHECK	03-18-20	MG

JOB NO: 2181021  
 DATE: 02-01-19  
 SCALE: AS NOTED  
 DESIGN BY: MG  
 DRAWN BY: MG  
 SHEET NO:





**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 BAY AREA REGION: SACRAMENTO REGION  
 HAYWARD, CALIFORNIA 94545 ROSAVILLE, CA 95067  
 (P) (916) 968-1338 (F) (916) 968-1338  
 (P) (510) 867-4098 (F) (510) 867-4098  
 WWW.LEABRAZE.COM

APR: 088-110-210  
 UNINCORPORATED SAN MATEO COUNTY

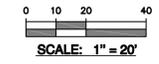
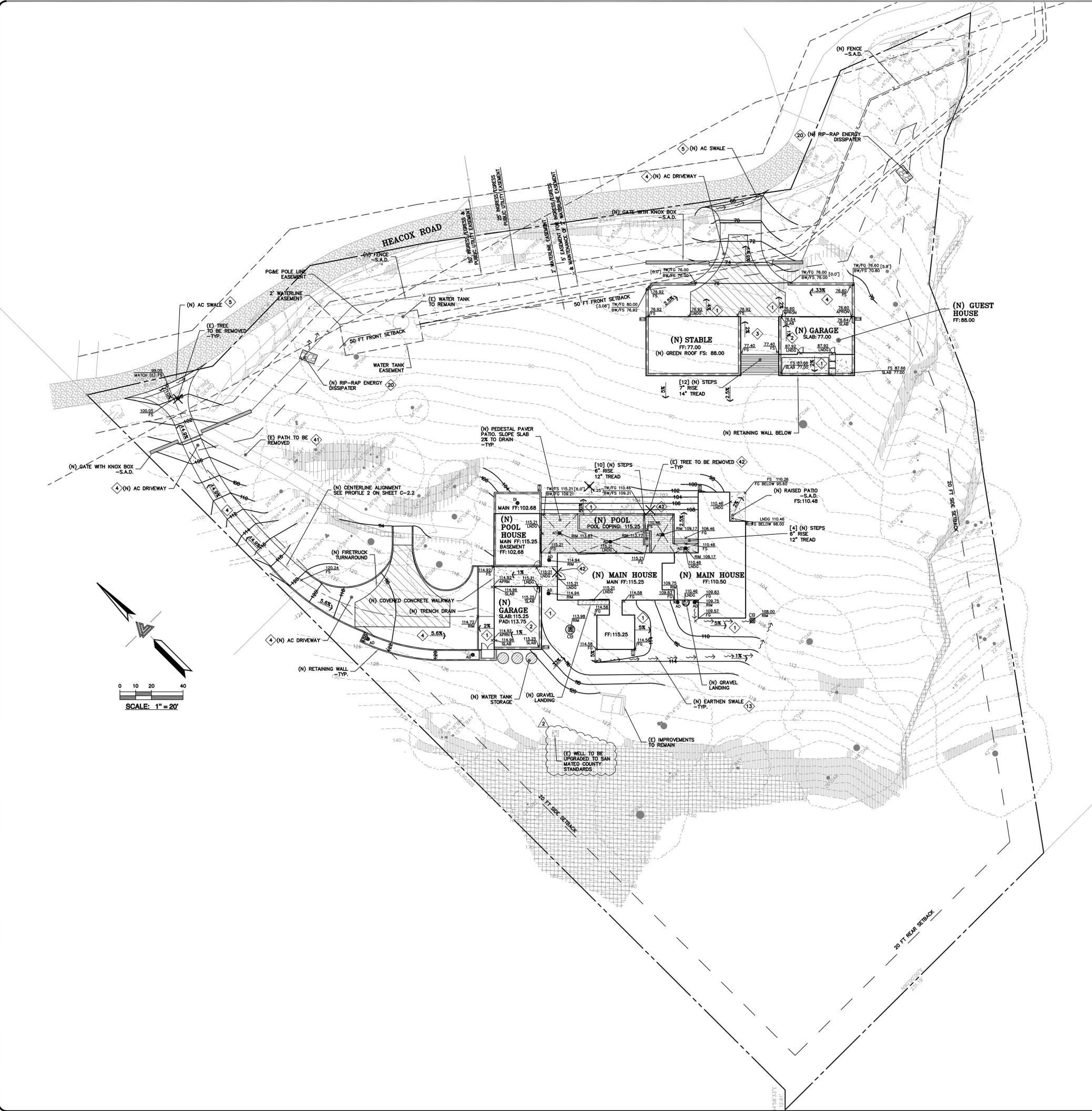
**NEW RESIDENCE  
 250 HEACOX ROAD  
 WOODSIDE, CALIFORNIA**

**GRADING AND  
 DRAINAGE PLAN**

- FLATWORK KEYNOTES 1 TO 5**
- FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.4 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.12.1.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.
  - SLOPE GARAGE SLAB 1% MINIMUM (1/8" PER FOOT) FROM BACK TO FRONT TO ALLOW FOR ADEQUATE DRAINAGE. MAINTAIN 1/2" TO 1" LIP BETWEEN GARAGE SLAB AND DRIVEWAY. SEE PLANS FOR SPECIFIC DROP.
  - PROVIDE 2% SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.
  - (N) AC DRIVEWAY. SEE DETAIL 1 ON SHEET C-4.0.
  - CONSTRUCT (N) AC SWALE SLOPED AT 1% MINIMUM TOWARDS POSITIVE OUTFALL.

- STORM DRAIN KEYNOTES 11 TO 13**
- INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 2% MINIMUM COVER AND SLOPE AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEAN OUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS.
  - INSTALL (N) SUBDRAIN. USE PERFORATED 4" PVC (SDR-35) WITH HOLES DOWN AND SLOPED AT 1% MINIMUM SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILTER FABRIC (MIRAFI 140N). MIRADRAIN OR OTHER LEA & BRAZE PRE-APPROVED DRAINAGE SYSTEM MAY ALSO BE USED. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAXIMUM INTERVALS. SUBDRAIN SHALL REMAIN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN SYSTEM OR OUTFALL AS SHOWN. SEE DETAIL 4 ON SHEET C-4.0.
  - CONSTRUCT (N) EARTHEN SWALE SLOPED AT 1% MINIMUM TOWARDS POSITIVE OUTFALL. SEE DETAIL 7 ON SHEET C-4.0.
  - DIRECT DOWNSPOUTS TO 24" LONG PRECAST CONCRETE SPLASHBLOCKS OR OTHER HARD SURFACE. DIRECT AWAY FROM ANY STRUCTURE AND TOWARDS POSITIVE DRAINAGE. SEE DETAIL 13 ON SHEET C-4.0.
  - INSTALL (N) 4" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE IN LANDSCAPE OR PLANTER AREAS (NDS PART 78 OR 90 FOR 6" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE). SEE DETAIL 3 ON C-4.0.
  - INSTALL (N) CHRISTY V-24 CATCH BASIN W/ CONCRETE BOTTOM FLUSH W/ LOWEST OUTGOING INVERT. PLACE BOX ON 6" CLASS 2 AGGREGATE BASE MATERIAL. SEE DETAIL 8 ON SHEET C-4.0.
  - NOT USED

- DEMOLITION KEYNOTES 41 TO 43**
- DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.
  - REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.
  - PROVIDE TREE PROTECTION AROUND TREES TO REMAIN. SEE DETAIL 6 ON SHEET ER-2.



1	PLAN CHECK	05-15-20	MG
2	PLAN CHECK	03-18-20	MG
REVISIONS:		BY	
JOB NO:		2181021	
DATE:		02-01-19	
SCALE:		1"=20'	
DESIGN BY:		MG	
DRAWN BY:		MG	
SHEET NO:			



**LEA & BRAZE ENGINEERING, INC.**  
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 BAY AREA REGION: 1801 WEST SACRAMENTO REGION 300  
 HAYWARD, CALIFORNIA 94545 ROSA VILLE, CA 95067  
 (P) (510) 887-4088 (F) (916) 966-1338  
 (F) (510) 887-4088 WWW.LEA-BRAZE.COM

APR. 08A-110-010

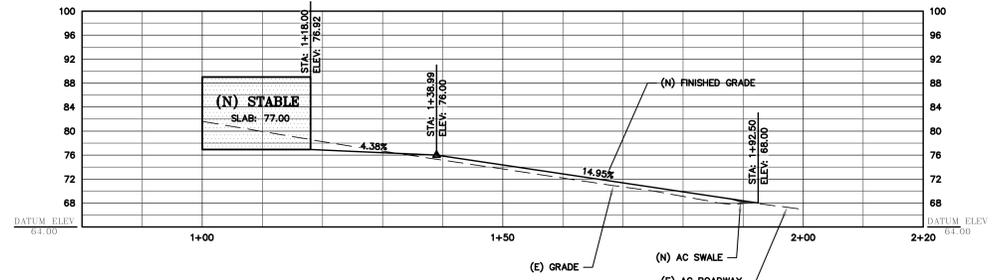
**NEW RESIDENCE**  
**250 HEACOX ROAD**  
**WOODSIDE, CALIFORNIA**

UNINCORPORATED SAN MATEO COUNTY

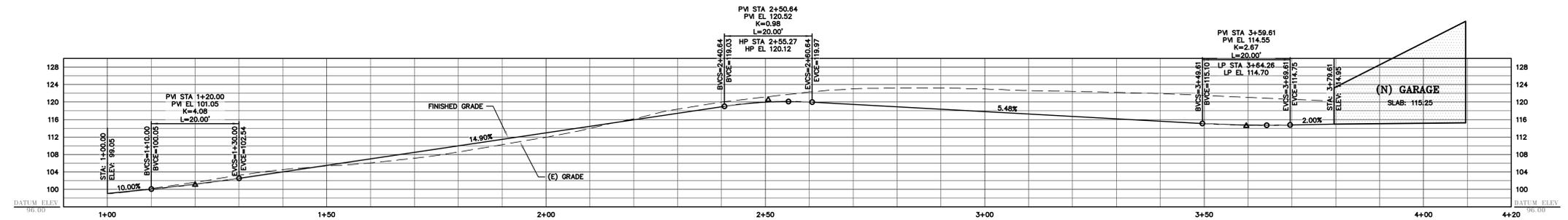
**DRIVEWAY PROFILE**



\* EASEMENT NOTE (4875 O.R. 413)  
 THE 2" WATER LINE EASEMENT OVER THIS PORTION LIES IMMEDIATELY ADJACENT TO THE LINE SHOWN BUT NO DIRECTIONAL REFERENCE TO THE LINE IS DESCRIBED IN THE DOCUMENT. IN ADDITION, A 5' WIDE EASEMENT FOR INGRESS, EGRESS & MAINTENANCE OF THE WATER LINE LYING ADJACENT TO THE 2" EASEMENT ALSO HAS NO DIRECTIONAL REFERENCE.

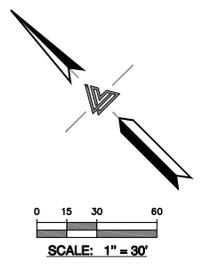
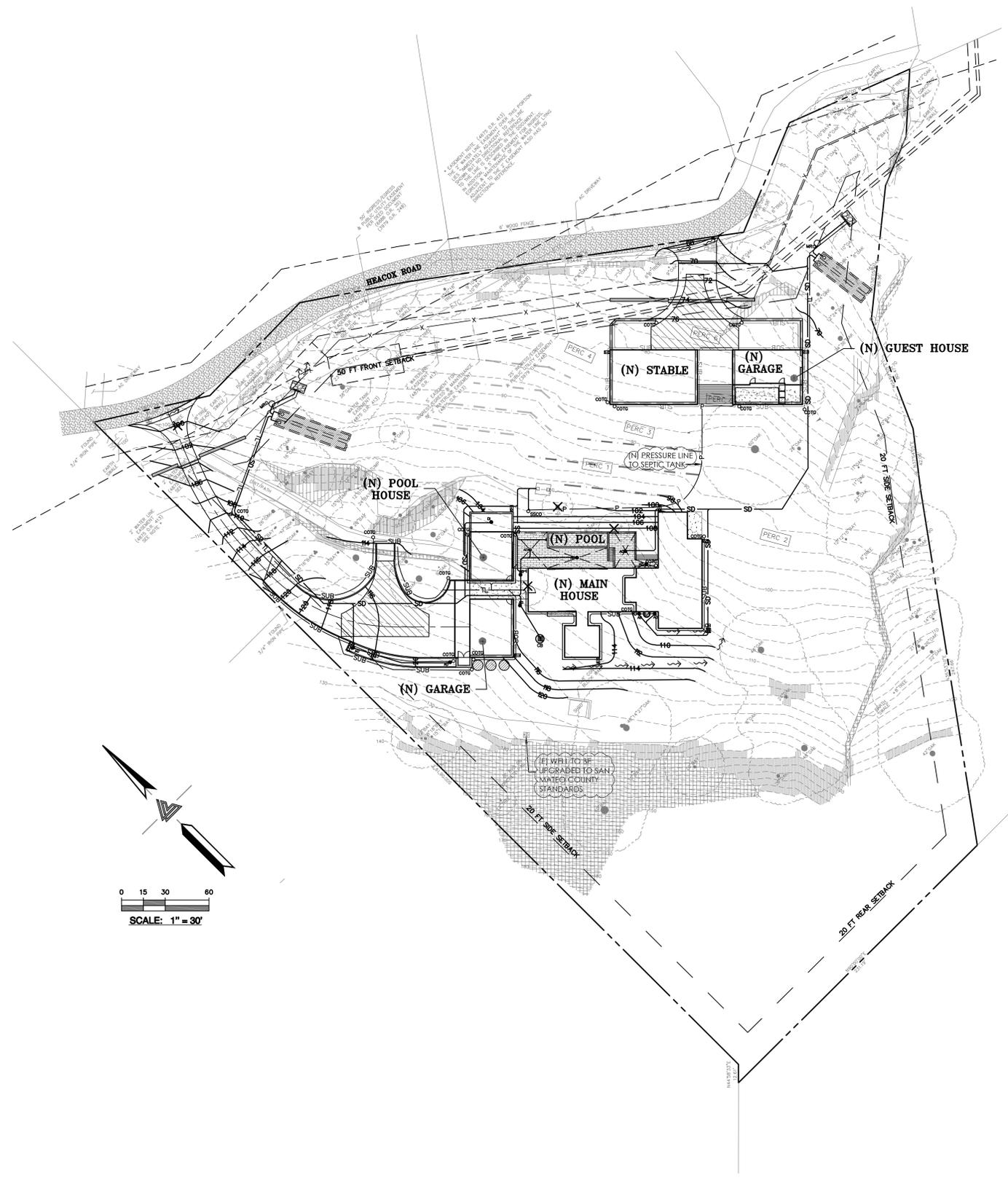


**SECONDARY DRIVEWAY PROFILE**



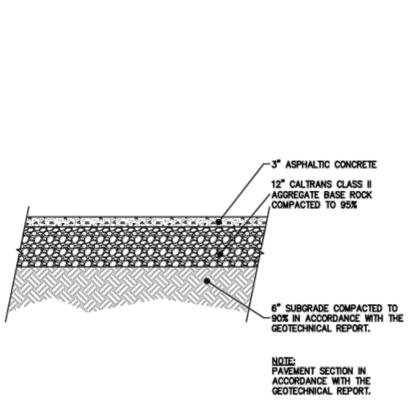
**MAIN HOUSE DRIVEWAY PROFILE**

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	REVISIONS	BY
	JOB NO:	2181021
	DATE:	02-01-19
	SCALE:	AS NOTED
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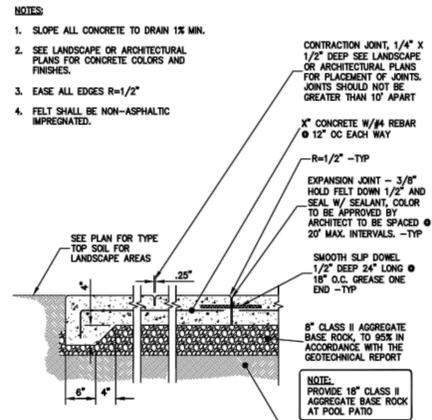


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REVISIONS:		BY
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DATE: 02-01-19		
SCALE: 1" = 30'		
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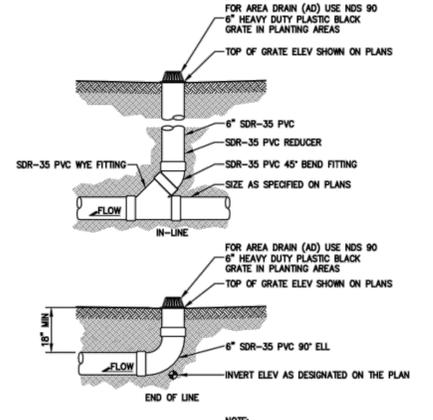




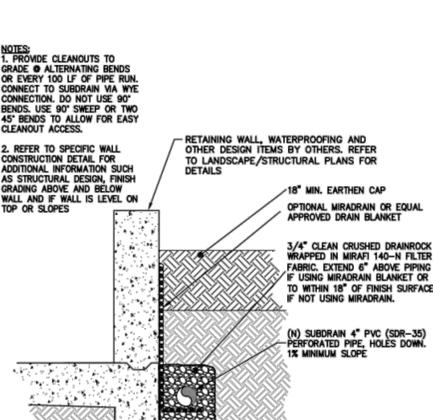
1 ASPHALT DRIVEWAY SECTION  
C-4 NTS



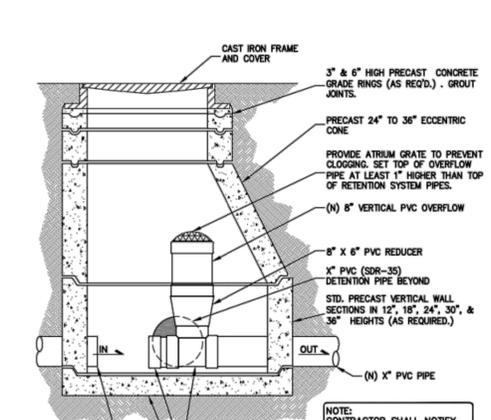
2 CONCRETE PATIO SECTION  
C-4 NTS



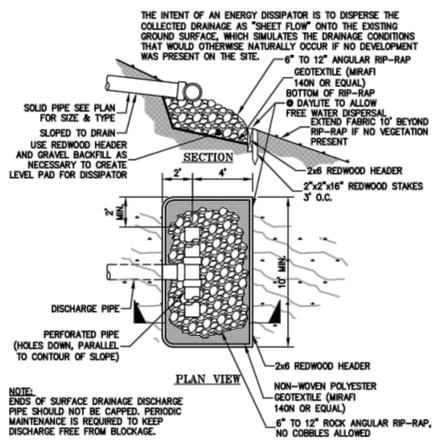
3 AREA DRAIN  
C-4 NTS



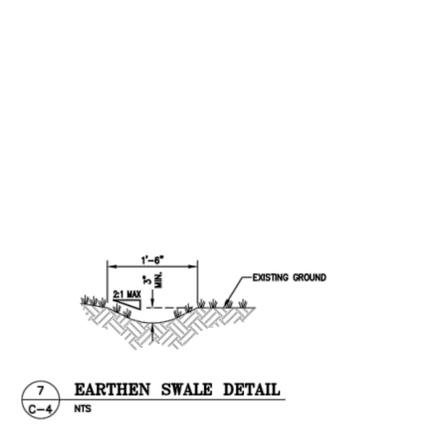
4 SITE RETAINING WALL SUBDRAIN  
C-4 NTS



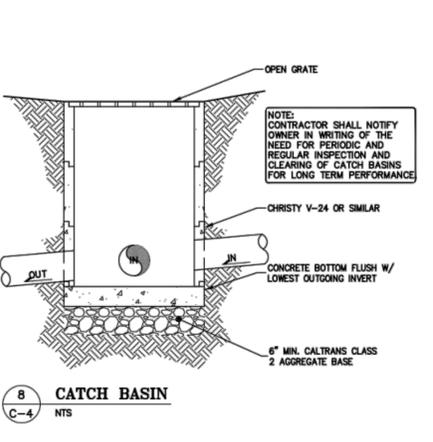
5 METERED RELEASE OUTLET  
C-4 NTS



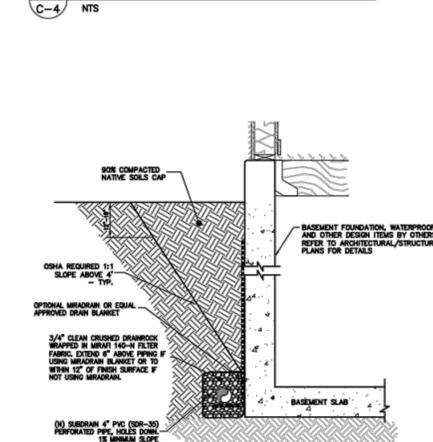
6 ENERGY DISSIPATER DISCHARGE  
C-4 NTS



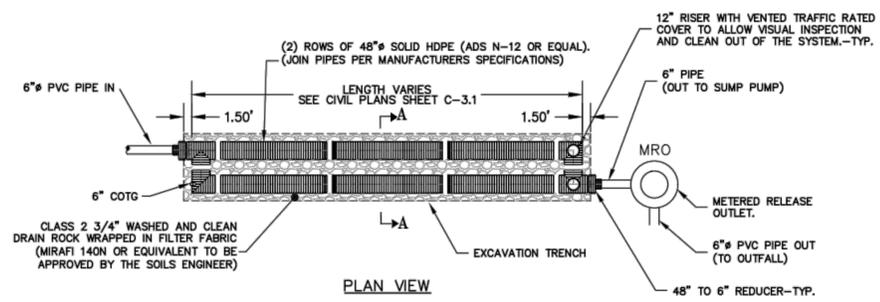
7 EARTHEN SWALE DETAIL  
C-4 NTS



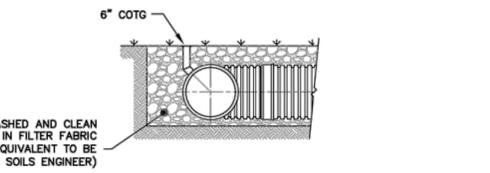
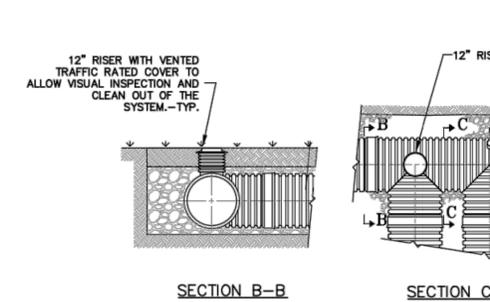
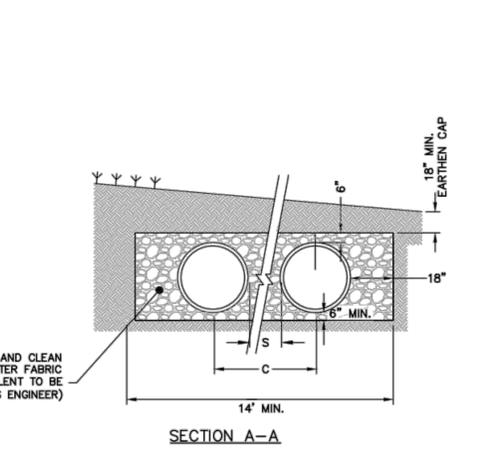
8 CATCH BASIN  
C-4 NTS



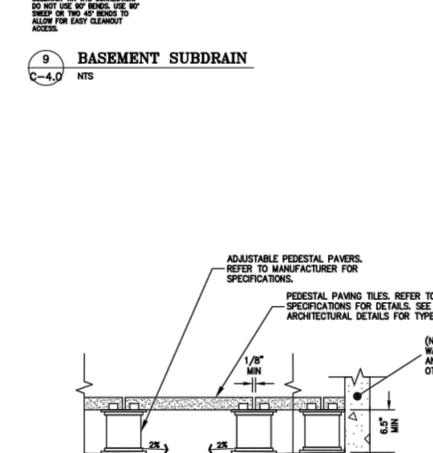
9 BASEMENT SUBDRAIN  
C-4,0 NTS



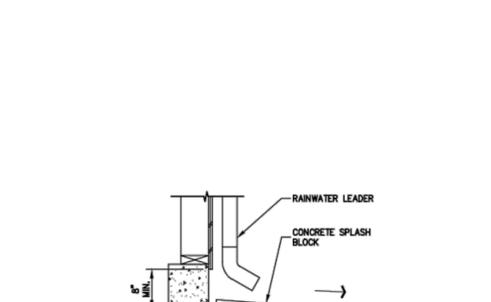
STORAGE PIPE NOMINAL I.D.	NOMINAL O.D.	TYPICAL SPACING "S"	TYPICAL SPACING "C"	MIN. SIDE WALL "X"
48" (1,200 MM)	54" (1,372 MM)	25" (635 MM)	78.5" (1,994 MM)	18" (457 MM)



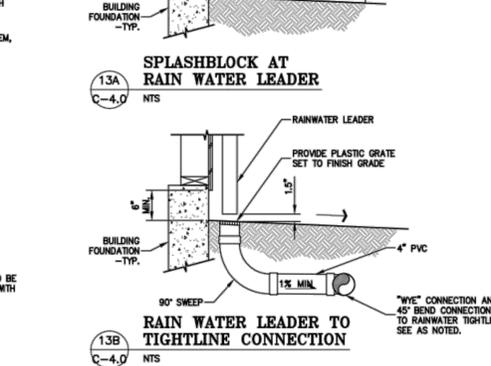
TYPICAL RISER / CLEANOUT DETAIL



12 PEDESTAL PAVING  
C-4,0 NTS



13A SPLASHBLOCK AT RAIN WATER LEADER  
C-4,0 NTS



13B RAIN WATER LEADER TO TIGHTLINE CONNECTION  
C-4,0 NTS

- NOTES:
- ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
  - ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
  - MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D2321.
  - FILTER FABRIC: A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
  - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
  - BEDDINGS: SUITABLE MATERIAL SHALL BE CLASS II\* IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
  - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS II\* IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  - MINIMUM COVER: MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 18" FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 18" UP TO 36" DIAMETER PIPE AND 24" OF COVER FOR 42" - 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
- \* CLASS I BACKFILL REQUIRED AROUND 60" DIAMETER FITTINGS.

11 TYPICAL RETENTION SYSTEM DETAILS  
C-4,0 NTS



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SACRAMENTO REGION  
BAY AREA REGION  
HAYWARD, CALIFORNIA 94545  
(916) 988-1338  
(916) 988-4088  
(916) 988-7979  
WWW.LEABRAZE.COM

NEW RESIDENCE  
250 HEACOX ROAD  
WOODSIDE, CALIFORNIA

UNINCORPORATED SAN MATEO COUNTY

DETAILS

NO.	DATE	BY	REVISIONS
1	05-18-20	MG	PLAN CHECK
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7 OF 11 SHEETS



**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS • LAND SURVEYORS  
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 SACRAMENTO REGION: 1800 WEST  
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 (P) (916) 887-4088 (F) (916) 888-1338  
 (P) (505) 551-0000 (F) (505) 551-0000  
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APN: 085-100-010  
 UNINCORPORATED SAN MATEO COUNTY

NEW RESIDENCE  
 250 HEACOX ROAD  
 WOODSIDE, CALIFORNIA

GRADING  
 SPECIFICATIONS

**GENERAL NOTES**

ALL GENERAL NOTES, SHEET NOTES, AND LEGEND NOTES FOUND IN THESE DOCUMENTS SHALL APPLY TYPICALLY THROUGHOUT. IF INCONSISTENCIES ARE FOUND IN THE VARIOUS NOTATIONS, NOTIFY THE ENGINEER IMMEDIATELY IN WRITING REQUESTING CLARIFICATION.

THESE DRAWINGS AND THEIR CONTENT ARE AND SHALL REMAIN THE PROPERTY OF LEA AND BRAZE ENGINEERING, INC. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY ANY PERSON ON OTHER PROJECTS OR EXTENSIONS OF THE PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ENGINEER.

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK INCLUDING, BUT NOT LIMITED TO, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, CALTRANS STANDARDS AND SPECIFICATIONS, AND ALL APPLICABLE STATE AND/OR LOCAL CODES AND/OR LEGISLATION.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, LINES AND LEVELS INDICATED. PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY NOTIFY THE ENGINEER FOR CORRECTION OR ADJUSTMENT. THE EVENT OF FAILURE TO DO SO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERROR.

ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB BY EACH SUBCONTRACTOR BEFORE HE/SHE BEGINS HIS/HER WORK. ANY ERRORS, OMISSION, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/CONTRACTOR BEFORE CONSTRUCTION BEGINS.

COMMENCEMENT OF WORK BY THE CONTRACTOR AND/OR ANY SUBCONTRACTOR SHALL INDICATE KNOWLEDGE AND ACCEPTANCE OF ALL CONDITIONS DESCRIBED IN THESE CONSTRUCTION DOCUMENTS, OR EXISTING ON SITE, WHICH COULD AFFECT THEIR WORK.

**WORK SEQUENCE**  
 IN THE EVENT ANY SPECIAL SEQUENCING OF THE WORK IS REQUIRED BY THE OWNER OR THE CONTRACTOR, THE CONTRACTOR SHALL ARRANGE A CONFERENCE BEFORE ANY SUCH WORK IS BEGAN. THE CONTRACTOR SHALL ACCEPT THE SITE IN ITS PRESENT CONDITION. ALL EXISTING PUBLIC IMPROVEMENTS SHALL BE PROTECTED. ANY IMPROVEMENTS DAMAGED SHALL BE REPLACED BY THE CONTRACTOR AS DIRECTED BY THE LOCAL JURISDICTION WITH NO EXTRA COMPENSATION.

ALL ABANDONED BUILDINGS AND FOUNDATIONS, TREE (EXCEPT THOSE SPECIFIED TO REMAIN FOR LANDSCAPING PURPOSES), FENCES, VEGETATION AND ANY SURFACE DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF THE SITE BY THE CONTRACTOR.

LEA AND BRAZE ENGINEERING, INC. EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WITHOUT WRITTEN PERMISSION TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF LEA AND BRAZE ENGINEERING, INC. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD HARMLESS LEA AND BRAZE ENGINEERING, INC.

CONSTRUCTION IS ALWAYS LESS THAN PERFECT SINCE PROJECTS REQUIRE THE COORDINATION AND INSTALLATION OF MANY INDIVIDUAL COMPONENTS BY VARIOUS CONSTRUCTION INDUSTRY TRADES. THESE DOCUMENTS CANNOT PORTRAY ALL COMPONENTS OR ASSEMBLIES EXACTLY. IT IS THE INTENTION OF THESE ENGINEERING DOCUMENTS THAT THEY REPRESENT A REASONABLE STANDARD OF CARE IN THEIR CONTENT. IT IS ALSO PRESUMED BY THESE DOCUMENTS THAT CONSTRUCTION REVIEW SERVICES WILL BE PROVIDED BY THE ENGINEER. SHOULD THE OWNER NOT RETAIN THE ENGINEER TO PROVIDE SUCH SERVICES, OR SHOULD HE/SHE RETAIN THE ENGINEER TO PROVIDE ONLY LIMITED SERVICES, THEN IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO FULLY RECONNOITER AND PROVIDE THAT STANDARD OF CARE.

IF THE OWNER OR CONTRACTOR OBSERVES OR OTHERWISE BECOMES AWARE OF ANY FAULT OR DEFECT IN THE PROJECT OR NONCONFORMANCE WITH THE CONTRACT DOCUMENTS, PROMPT WRITTEN NOTICE THEREOF SHALL BE GIVEN BY THE OWNER AND/OR CONTRACTOR TO THE ENGINEER.

THE ENGINEER SHALL NOT HAVE CONTROL OF OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

**SITE PROTECTION**  
 PROTECT ALL LANDSCAPING THAT IS TO REMAIN. ANY DAMAGE OR LOSS RESULTING FROM EXCAVATION, GRADING, OR CONSTRUCTION WORK SHALL BE CORRECTED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING SITE UTILITIES AND SHALL COORDINATE THEIR REMOVAL OR MODIFICATIONS (IF ANY) TO AVOID ANY INTERFERENCE OF SERVICES TO ADJACENT AREAS. THE OWNER/CONTRACTOR SHALL INFORM HIS/HERSELF OF MUNICIPAL REGULATIONS AND CARRY OUT HIS/HER WORK IN COMPLIANCE WITH ALL FEDERAL AND STATE REQUIREMENTS TO REDUCE FIRE HAZARDS AND HARM TO THE PUBLIC.

**STORMWATER POLLUTION PREVENTION NOTES**

- 1) STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- 2) CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING SOLID WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENT, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATER COURSES.
- 3) USE SEDIMENT CONTROL OR FILTRATION TO REMOVE SEDIMENT FROM Dewatering EFFLUENT.
- 4) AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON SITE, EXCEPT IN A DESIGNATED AREA IN WHICH RUNOFF IS CONTAINED AND TREATED.
- 5) DELINEATE CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES AND DISCHARGE COURSE WITH FIELD MARKERS.
- 6) PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OF FILTERS, Dikes, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
- 7) PERFORM CLEARING AND EARTH MOVING ACTIVITIES DURING DRY WEATHER TO THE MAXIMUM EXTENT PRACTICAL.
- 8) LIMIT AND TIME THE APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- 9) LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
- 10) AVOID TRACKING DIRT OR MATERIALS OFF-SITE. CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS TO THE MAXIMUM EXTENT PRACTICAL.

**SUPPLEMENTAL MEASURES**

- A. THE PHRASE "NO DUMPING - DRAINS TO DRY" OR EQUALLY EFFECTIVE PHRASE MUST BE LABELED ON STORM DRAIN INLETS (BY STENCILING, BRANDING, OR PLACED) TO ALERT THE PUBLIC TO THE DESTINATION OF STORM WATER AND TO PREVENT DIRECT DISCHARGE OF POLLUTANTS INTO THE STORM DRAIN.
- B. USING FILTRATION MATERIALS ON STORM DRAIN COVERS TO REMOVE SEDIMENT FROM Dewatering EFFLUENT.
- C. STABILIZING ALL DENuded AREAS AND MAINTAINING EROSION CONTROL MEASURES CONTINUOUSLY FROM OCTOBER 15 AND APRIL 15.
- D. REMOVING SPILLS PROMPTLY, AND AVOID STOCKPILING OF FILL MATERIALS, WHEN RAIN IS FORECAST. IF RAIN THREATENS STOCKPILED SOILS AND OTHER MATERIALS SHALL BE COVERED WITH A TAUP OR OTHER WATERPROOF MATERIAL.
- E. STORING, HANDLING, AND DISPOSING OF CONSTRUCTION MATERIALS AND WASTES SO AS TO AVOID THEIR ENTRY TO THE STORM DRAIN SYSTEMS OR WATER BODY.
- F. AVOIDING CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN AN AREA DESIGNATED TO CONTAIN AND TREAT RUNOFF.

**GRADING & DRAINAGE NOTES:**

**1. SCOPE OF WORK**

THESE SPECIFICATIONS AND APPLICABLE PLANS PERTAIN TO AND INCLUDE ALL SITE GRADING AND EARTHWORK ASSOCIATED WITH THE PROJECT INCLUDING, BUT NOT LIMITED TO THE FURNISHING OF ALL LABOR, TOOLS AND EQUIPMENT NECESSARY FOR SITE CLEARING AND GRUBBING, SITE PREPARATION, DISPOSAL OF EXCESS OR UNSUITABLE MATERIAL, STRIPPING, BENCHING, EXCAVATION, OVER EXCAVATION, RECOMPACT PREPARATION FOR SOIL RECEIVING FILL, PAVEMENT, FOUNDATION OF SLABS, EXCAVATION, IMPORTATION OF ANY REQUIRED FILL MATERIAL, PROCESSING, PLACEMENT AND COMPACTION OF FILL AND SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADING AND SLOPE SHOWN ON THE PROJECT GRADING PLANS.

**2. GENERAL**

- A. ALL SITE GRADING AND EARTHWORK SHALL CONFORM TO THE RECOMMENDATIONS OF THESE SPECIFICATIONS, THE SOILS REPORT BY MURRAY ENGINEERS, AND THE COUNTY OF SAN MATEO.
- B. ALL FILL MATERIALS SHALL BE DESIGNED SO AS TO PRODUCE A DENSITY NOT LESS THAN 90% RELATIVE COMPACTION BASED UPON ASTM TEST DESIGNATION D1557. FIELD DENSITY TEST WILL BE PERFORMED IN ACCORDANCE WITH ASTM TEST DESIGNATION 2922 AND 2017. THE LOCATION AND FREQUENCY OF THE FIELD DENSITY TEST WILL BE AS DETERMINED BY THE SOIL ENGINEER. THE RESULTS OF THESE TESTS AND COMPLIANCE WITH THE SPECIFICATIONS WILL BE THE BASIS UPON WHICH SATISFACTORY COMPLETION OF THE WORK WILL BE ADDED BY THE SOIL ENGINEER. ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED AS SHOWN ON PLANS, BUT NO STEEPER THAN TWO (2) HORIZONTAL TO ONE (1) VERTICAL.
- C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL THE EARTHWORK IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. NO DEVIATION FROM THESE SPECIFICATIONS SHALL BE MADE EXCEPT UPON WRITTEN APPROVAL BY THE SOIL ENGINEER. BOTH CUT AND FILL AREAS SHALL BE SURFACE COMPLETED TO THE SATISFACTION OF THE SOILS ENGINEER AT THE CONCLUSION OF ALL GRADING OPERATIONS AND PRIOR TO FINAL ACCEPTANCE. THE CONTRACTOR SHALL NOTIFY THE SOILS ENGINEER AT LEAST TWO (2) WORKING DAYS PRIOR TO DOING ANY SITE GRADING AND EARTHWORK INCLUDING CLEARING.

**3. CLEARING AND GRUBBING**

- A. THE CONTRACTOR SHALL ACCEPT THE SITE IN ITS PRESENT CONDITION. ALL EXISTING PUBLIC IMPROVEMENTS SHALL BE PROTECTED. ANY IMPROVEMENTS DAMAGED SHALL BE REPLACED BY THE CONTRACTOR AS DIRECTED BY THE LOCAL JURISDICTION WITH NO EXTRA COMPENSATION.
- B. ALL ABANDONED BUILDINGS AND FOUNDATIONS, TREE (EXCEPT THOSE SPECIFIED TO REMAIN FOR LANDSCAPING PURPOSES), FENCES, VEGETATION AND ANY SURFACE DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF THE SITE BY THE CONTRACTOR.
- C. ALL ABANDONED SEPTIC TANKS AND ANY OTHER SUBSURFACE STRUCTURES EXISTING IN PROPOSED DEVELOPMENT AREAS SHALL BE REMOVED PRIOR TO ANY GRADING OR FILL OPERATION. ALL APPURTENANT DRAIN FIELDS AND OTHER CONNECTING LINES MUST ALSO BE TOTALLY REMOVED.
- D. ALL ABANDONED UNDERGROUND IRRIGATION OR UTILITY LINES SHALL BE REMOVED OR DEMOLISHED. THE APPROPRIATE FINAL DISPOSITION OF SUCH LINES DEPENDS UPON THEIR DEPTH AND LOCATION AND THE METHOD OF REMOVAL OR DEMOLITION SHALL BE DETERMINED BY THE SOILS ENGINEER. ONE OF THE FOLLOWING METHODS WILL BE USED:
  - (1) EXCAVATE AND TOTALLY REMOVE THE UTILITY LINE FROM THE TRENCH.
  - (2) EXCAVATE AND CRUSH THE UTILITY LINE IN THE TRENCH.
  - (3) CAP THE ENDS OF THE UTILITY LINE WITH CONCRETE TO PREVENT THE ENTRANCE OF WATER. THE LOCATIONS AT WHICH UTILITY LINE WILL BE CAPPED WILL BE DETERMINED BY THE UTILITY DISTRICT ENGINEER. THE LENGTH OF THE CAP SHALL NOT BE LESS THAN FIVE FEET, AND THE CONCRETE MIX EMPLOYED SHALL HAVE MINIMUM STRENGTH.

**4. SITE PREPARATION AND STRIPPING**

- A. ALL SURFACE ORGANICS SHALL BE STRIPPED AND REMOVED FROM BUILDING PADS, AREAS TO RECEIVE COMPACTED FILL AND PAVEMENT AREAS.
- B. UPON THE COMPLETION OF THE ORGANIC STRIPPING OPERATION, THE GROUND SURFACE (NATIVE SOIL SUBGRADE) OVER THE ENTIRE AREA OF ALL BUILDING PADS, STREET AND PAVEMENT AREAS AND ALL AREAS TO RECEIVE COMPACTED FILL SHALL BE FLOODED OR SCARIFIED UNTIL THE SURFACE IS FREE OF ROOTS, HUMMOCKS OR OTHER UNDESIRED FEATURES WHICH MAY HINDER UNIFORM SOIL COMPACTION. THE GROUND SURFACE SHALL THEN BE DESSED OR BLEADED TO A DEPTH OF AT LEAST 6 INCHES. UPON ENGINEER'S SATISFACTION, THE NEW SURFACE SHALL BE WATER CONDITIONED AND RECOMPACTED PER REQUIREMENTS FOR COMPACTING FILL MATERIAL.

**5. EXCAVATION**

- A. UPON COMPLETION OF THE CLEARING AND GRUBBING, SITE PREPARATION AND STRIPPING, THE CONTRACTOR SHALL MAKE EXCAVATIONS TO LINES AND GRADES NOTED ON THE PLAN, WHERE REQUIRED BY THE SOILS ENGINEER. UNSUITABLE NATIVE SOILS OR UNDESIGNED FILL SHALL BE OVER EXCAVATED BELOW THE DESIGN GRADE. SEE PROJECT SOILS REPORT FOR DISCUSSION OF OVER EXCAVATION OF THE UNSUITABLE MATERIAL. RESULTING GROUND LINE SHALL BE SCARIFIED, MOISTURE-CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS. COMPACTED FILL MATERIAL SHALL BE PLACED TO BRING GROUND LEVEL BACK TO DESIGN GRADE.
- B. EXCAVATED MATERIALS SUITABLE FOR COMPACTED FILL MATERIAL SHALL BE UTILIZED IN MAKING THE REQUIRED COMPACTED FILL. THOSE NATIVE MATERIALS CONSIDERED UNSUITABLE BY THE SOILS ENGINEER SHALL BE DISPOSED OF OFF THE SITE BY THE CONTRACTOR.

**6. PLACING, SPREADING AND COMPACTING FILL MATERIAL**

**A. FILL MATERIALS**  
 THE MATERIALS PROPOSED FOR USE AS COMPACTED FILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE COMMENCEMENT OF GRADING OPERATIONS. THE NATIVE MATERIAL IS CONSIDERED SUITABLE FOR FILL; HOWEVER, ANY NATIVE MATERIAL IDENTIFIED UNSUITABLE BY THE SOILS ENGINEER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. ANY IMPORTED MATERIAL SHALL BE APPROVED FOR USE BY THE SOILS ENGINEER. IN WRITING, BEFORE BEING IMPORTED TO THE SITE AND SHALL POSSESS SUFFICIENT FINES TO PROVIDE A COMPETENT SOIL MATRIX AND SHALL BE FREE OF VEGETATIVE AND ORGANIC MATTER AND OTHER DELETERIOUS MATERIALS. ALL FILL VOLUMES SHALL BE FILLED AND PROPERLY COMPACTED. NO ROCKS LARGER THAN THREE INCHES IN DIAMETER SHALL BE PERMITTED.

**B. FILL CONSTRUCTION**  
 THE SOILS ENGINEER SHALL APPROVE THE NATIVE SOIL SUBGRADE BEFORE PLACEMENT OF ANY COMPACTED FILL MATERIAL. UNSUITABLE NATIVE SOIL SHALL BE REMOVED AS DIRECTED BY THE SOILS ENGINEER. THE RESULTING GROUND LINE SHALL BE SCARIFIED MOISTURE CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS. COMPACTED FILL MATERIAL SHALL BE PLACED TO BRING GROUND LEVEL BACK TO DESIGN GRADE. GROUND PREPARATION SHALL BE FOLLOWED CLOSELY BY FILL PLACEMENT TO PREVENT SETTLING OUT OF THE SUBSOIL BEFORE PLACEMENT OF THE FILL.

THE APPROVED FILL MATERIALS SHALL BE PLACED IN UNIFORM HORIZONTAL LAYERS NO THICKER THAN 8" IN LOOSE THICKNESS. LAYERS SHALL BE SPREAD EVENLY AND SHALL BE THOROUGHLY BLEND MIXED DURING THE SPREADING TO ENSURE UNIFORMITY OF MATERIAL. IN EACH LAYER, THE SCARIFIED SUBGRADE AND FILL MATERIALS SHALL BE MOISTURE CONDITIONED TO AT LEAST OPTIMAL MOISTURE. WHEN THE MOISTURE CONTENT OF THE FILL IS BELOW THAT SPECIFIED, WATER SHALL BE ADDED UNTIL THE MOISTURE DURING THE COMPACTION PROCESS. WHEN THE MOISTURE CONTENT OF THE FILL IS ABOVE THAT SPECIFIED, THE FILL MATERIAL SHALL BE AERATED BY BLOWING OR OTHER SATISFACTORY METHODS UNTIL THE MOISTURE CONTENT IS AS SPECIFIED.

AFTER EACH LAYER HAS BEEN PLACED, MIXED, SPREAD EVENLY AND MOISTURE CONDITIONED, IT SHALL BE COMPACTED TO AT LEAST THE SPECIFIED DENSITY.

THE FILL OPERATION SHALL BE CONTINUED IN COMPACTED LAYERS AS SPECIFIED ABOVE UNTIL THE FILL HAS BEEN BROUGHT TO THE FINISHED SLOPES AND GRADES AS SHOWN ON THE PLANS. NO LAYER SHALL BE ALLOWED TO DRY OUT BEFORE SUBSEQUENT LAYERS ARE PLACED.

COMPACTION EQUIPMENT SHALL BE OF SUCH DESIGN THAT IT WILL BE ABLE TO COMPACT THE FILL TO THE SPECIFIED MINIMUM COMPACTION WITHIN THE SPECIFIED MOISTURE CONTENT RANGE. COMPACTION OF EACH LAYER SHALL BE CONTINUOUS OVER ITS ENTIRE AREA UNTIL THE REQUIRED MINIMUM DENSITY HAS BEEN OBTAINED.

**7. CUT OR FILL SLOPES**

ALL CONSTRUCTED SLOPES, BOTH CUT AND FILL, SHALL BE NO STEEPER THAN 2 TO 1 (HORIZONTAL TO VERTICAL). DURING THE GRADING OPERATION, COMPACTED FILL SLOPES SHALL BE OVERLAPPED BY AT LEAST ONE FOOT HORIZONTALLY AT THE COMPLETION OF THE GRADING OPERATIONS. THE EXCESS FILL EXISTING ON THE SLOPES SHALL BE BLEADED OFF TO CREATE THE FINISHED SLOPE GRADIENT. ALL CUT AND FILL SLOPES SHALL BE TRACK WALLED AFTER BEING BROUGHT TO FINISH GRADE, AND THEN BE PLANTED WITH EROSION CONTROL. SLOPE PLANTING, THE SOILS ENGINEER SHALL REVIEW ALL CUT SLOPES TO DETERMINE IF ANY ADVERSE GEOLOGIC CONDITIONS ARE EXPOSED. IF SUCH CONDITIONS DO OCCUR, THE SOILS ENGINEER SHALL RECOMMEND THE APPROPRIATE MITIGATION MEASURES AT THE TIME OF THEIR DETECTION.

**8. SEASONAL LIMITS AND DRAINAGE CONTROL**

FILL MATERIALS SHALL NOT BE PLACED, SPREAD OR COMPACTED WHILE IT IS AT AN UNSUITABLY HIGH MOISTURE CONTENT OR DURING OTHERWISE UNFAVORABLE CONDITIONS. WHEN THE WORK IS INTERRUPTED FOR ANY REASON THE FILL OPERATIONS SHALL NOT BE RESUMED UNTIL FIELD TEST PERFORMED BY THE SOILS ENGINEER INDICATE THAT THE MOISTURE CONDITIONS IN AREAS TO BE FILLED ARE AS PREVIOUSLY SPECIFIED. ALL EARTH MOVING AND WORKING OPERATIONS SHALL BE PROMPTLY REMOVED AND THE SITE KEPT DRY.

**9. DUST CONTROL**

THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY FOR THE ALLEVIATION OR PREVENTION OF ANY DUST NUISANCE ON OR ABOUT THE SITE CAUSED BY THE CONTRACTOR'S OPERATION EITHER DURING THE PERFORMANCE OF THE GRADING OR RESULTING FROM THE CONDITION IN WHICH THE CONTRACTOR LEAVES THE SITE. THE CONTRACTOR SHALL ASSUME ALL LIABILITY INCLUDING COURT COST OF CO-DEFENDERS FOR ALL CLAIMS RELATED TO DUST OR HIGH-LOW MATERIALS ATTRIBUTABLE TO HIS WORK. COSTS FOR THIS ITEM OF WORK IS TO BE INCLUDED IN THE EXCAVATION ITEM AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

**10. INDEMNITY**

THE CONTRACTOR WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ENGINEER, THE OWNER AND HIS CONSULTANTS AND EACH OF THEIR OFFICES AND EMPLOYEES AND AGENTS, FROM ANY AND ALL LIABILITY CLAIMS, LOSSES OR DAMAGE ARISING OR ALLEGED TO ARISE, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, THE ARCHITECT, THE ENGINEER AND HIS CONSULTANTS AND EACH OF THEIR OFFICES AND EMPLOYEES AND AGENTS.

**11. SAFETY**

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DUTY OF THE ENGINEERS TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

**12. GUARANTEE**

NEITHER THE FINAL PAYMENT, NOR THE PROVISIONS IN THE CONTRACT, NOR PARTIAL, NOR ENTIRE USE OR OCCUPANCY OF THE PREMISES BY THE OWNER SHALL CONSTITUTE AN ACCEPTANCE OF THE WORK NOT DONE IN ACCORDANCE WITH THE CONTRACT OR RELIEVES THE CONTRACTOR OF LIABILITY IN RESPECT TO ANY EXPRESS WARRANTIES OR RESPONSIBILITY FOR FAULTY MATERIAL OR WORKMANSHIP.

THE CONTRACTOR SHALL REMEDY ANY DEFECTS IN WORK AND PAY FOR ANY DAMAGE TO OTHER WORK RESULTING THEREFROM WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK.

**13. TRENCH BACKFILL**

EITHER THE ON-SITE INORGANIC SOIL OR APPROVED IMPORTED SOIL MAY BE USED AS TRENCH BACKFILL. THE BACKFILL MATERIAL SHALL BE MOISTURE CONDITIONED PER THESE SPECIFICATIONS AND SHALL BE PLACED IN LIFTS OF NOT MORE THAN SIX INCHES IN HORIZONTAL UNCOMPACTED LAYERS AND BE COMPACTED BY MECHANICAL MEANS TO A MINIMUM OF 90% RELATIVE COMPACTION. IMPORTED SAND MAY BE USED FOR TRENCH BACKFILL MATERIAL PROVIDED IT IS COMPACTED TO AT LEAST 90% RELATIVE COMPACTION. WATER ACTING ASSOCIATED WITH COMPACTION USING VIBRATORY EQUIPMENT WILL BE PERMITTED ONLY WITH IMPORTED SAND BACKFILL WITH THE APPROVAL OF THE SOILS ENGINEER. ALL PIPES SHALL BE BEDDED WITH SAND EXTENDING FROM THE TRENCH BOTTOM TO TWELVE INCHES ABOVE THE PIPE. SAND BEDDING IS TO BE COMPACTED AS SPECIFIED ABOVE FOR SAND BACKFILL.

**14. EROSION CONTROL**

- A. ALL GRADING, EROSION AND SEDIMENT CONTROL, AND RELATED WORK UNDERSTANDEN ON THIS SITE IS SUBJECT TO ALL TERMS AND CONDITIONS OF THE COUNTY GRADING ORDINANCE AND MADE A PART HEREOF BY REFERENCE.
- B. THE CONTRACTOR WILL BE LIABLE FOR ANY AND ALL DAMAGES TO ANY PUBLICLY OWNED AND MAINTAINED ROAD CAUSED BY THE FORESAID CONTRACTOR'S GRADING ACTIVITIES, AND SHALL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SPILLED ON ANY PUBLIC ROAD ON THE HAUL ROUTE.
- C. THE EROSION CONTROL MEASURES ARE TO BE OPERABLE DURING THE RAINY SEASON, GENERALLY FROM OCTOBER FIRST TO APRIL FIFTEENTH. EROSION CONTROL PLANTING IS TO BE COMPLETED BY OCTOBER FIRST. NO GRADING OR UTILITY TRENCHING SHALL OCCUR BETWEEN OCTOBER FIRST AND APRIL FIFTEENTH UNLESS AUTHORIZED BY THE LOCAL JURISDICTION.
- D. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE SOILS ENGINEER.
- E. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
- F. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON.
- G. WHEN NO LONGER NECESSARY AND PRIOR TO FINAL ACCEPTANCE OF DEVELOPMENT, SEDIMENT BASINS SHALL BE REMOVED OR OTHERWISE DEACTIVATED AS REQUIRED BY THE LOCAL JURISDICTION.
- H. A CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ANY POINT OF EGRESS FROM THE SITE TO ROADWAY. A CONSTRUCTION ENTRANCE SHALL BE COMPOSED OF COARSE DRAIN ROCK (6" TO 7") MINIMUM DIAMETER) AT LEAST EIGHT INCHES THICK BY FIFTY (50) FEET LONG BY TWENTY (20) FEET WIDE UNLESS SHOWN OTHERWISE ON PLAN AND SHALL BE MAINTAINED UNTIL THE SITE IS PAVED.

L. ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE NOZZLE PLANTED WITH STABILIZATION MATERIAL CONSISTING OF FIBER, SEED, FERTILIZER AND WATER, MIXED AND APPLIED IN THE FOLLOWING PROPORTIONS:

- FIBER, 2000 LBS/ACRE
- SEED, 200 LBS/ACRE (SEE NOTE J BELOW)
- FERTILIZER (11-4-4), 500 LBS/ACRE
- WATER, AS REQUIRED FOR APPLICATION

J. SEED MIX SHALL BE PER CALTRANS STANDARDS.

K. WATER UTILIZED IN THE STABILIZATION MATERIAL SHALL BE OF SUCH QUALITY THAT IT WILL PROMOTE GERMINATION AND STIMULATE GROWTH OF PLANTS. IT SHALL BE FREE OF POLLUTANT MATERIALS AND NEST SEED.

L. HYDROSEEDING SHALL CONFORM TO THE PROVISIONS OF SECTION 20, EROSION CONTROL AND HIGHWAY PLANTING, OF THE STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED.

M. A DISPERSING AGENT MAY BE ADDED TO THE HYDROSEEDING MATERIAL, PROVIDED THAT THE CONTRACTOR FURNISHES SUFFICIENT EVIDENCE THAT THE AGENT WILL NOT ADVERSELY AFFECT THE PERFORMANCE OF THE SEEDING MATERIAL.

N. STABILIZATION MATERIALS SHALL BE APPLIED AS SOON AS PRACTICABLE AFTER COMPLETION OF GRADING OPERATIONS AND PRIOR TO THE ONSET OF WINTER RAINS, OR AT SUCH OTHER TIME AS DIRECTED BY THE COUNTY ENGINEER. THE MATERIAL SHALL BE APPLIED BEFORE INSTALLATION OF OTHER LANDSCAPING MATERIALS SUCH AS TREES, SHRUBS AND GROUND COVERS.

O. THE STABILIZATION MATERIAL SHALL BE APPLIED WITHIN 4-HOURS AFTER MOIST MIXED MATERIAL NOT USED WITHIN 4-HOURS SHALL BE REMOVED FROM THE SITE.

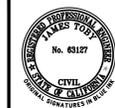
P. THE CONTRACTOR SHALL MAINTAIN THE SOIL STABILIZATION MATERIAL AFTER PLACEMENT. THE COUNTY ENGINEER MAY REQUIRE SPRAY APPLICATION OF WATER OR OTHER MAINTENANCE ACTIVITIES TO ASSURE THE EFFECTIVENESS OF THE STABILIZATION PROCESS. APPLICATION OF WATER SHALL BE ACCOMPLISHED USING NOZZLES THAT PRODUCE A SPRAY THAT DOES NOT CONCENTRATE OR WASH AWAY THE STABILIZATION MATERIALS.

**15. CLEANUP**

THE CONTRACTOR MUST MAINTAIN THE SITE CLEAN, SAFE AND IN USABLE CONDITION. ANY SPILLS OF SOIL, ROCK OR CONSTRUCTION MATERIAL MUST BE REMOVED FROM THE SITE BY THE CONTRACTOR DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. COST FOR THIS ITEM OF WORK SHALL BE INCLUDED IN THE EXCAVATION AND COMPACTION ITEM AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

NOTE:  
 THESE NOTES ARE INTENDED TO BE USED AS A GENERAL GUIDELINE. THE REFERENCED SOILS REPORT FOR THE PROJECT AND GOVERNING AGENCY GRADING ORDINANCE SHALL SUPERSEDE THESE NOTES. THE SOILS ENGINEER WILL MAKE ON-SITE RECOMMENDATIONS DURING GRADING OPERATIONS.

1			
2	PLAN CHECK	MG	
3	PLAN CHECK	MG	
4	REVISIONS	BY	
JOB NO: 2181021			
DATE: 02-01-19			
SCALE: NO SCALE			
DESIGN BY: MG			
DRAWN BY: MG			
SHEET NO:			



**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 SACRAMENTO REGION  
 BAY AREA REGION - WEST  
 HAYWARD, CALIFORNIA 94545  
 (P) (916) 887-4088  
 (F) (916) 887-4088  
 (T) (916) 887-4088  
 WWW.LEABRAZE.COM

APR. 08B-110-210

**NEW RESIDENCE**  
**250 HEACOX ROAD**  
**WOODSIDE, CALIFORNIA**

UNINCORPORATED SAN MATEO COUNTY

**EROSION CONTROL PLAN**

1	PLAN CHECK	MG
2	05-18-20	MG
1	03-18-20	MG
REVISIONS BY		

JOB NO: 2181021  
 DATE: 02-01-19  
 SCALE: 1"=30'  
 DESIGN BY: MG  
 DRAWN BY: MG  
 SHEET NO:

**ER-1**  
 9 OF 11 SHEETS

**PURPOSE:**

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

**EROSION CONTROL NOTES:**

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF ACCUMULATED DEBRIS BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 1 THROUGH APRIL 30, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT ("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ON-SITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION. METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INCEPTION OF ANY WORK ON-SITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH FERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND

**EROSION CONTROL NOTES CONTINUED:**

- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

**REFERENCES:**

- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

**PERIODIC MAINTENANCE:**

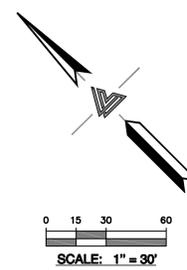
- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
  - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1' FOOT.
  - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED, WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELLED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION

**EROSION CONTROL MEASURES:**

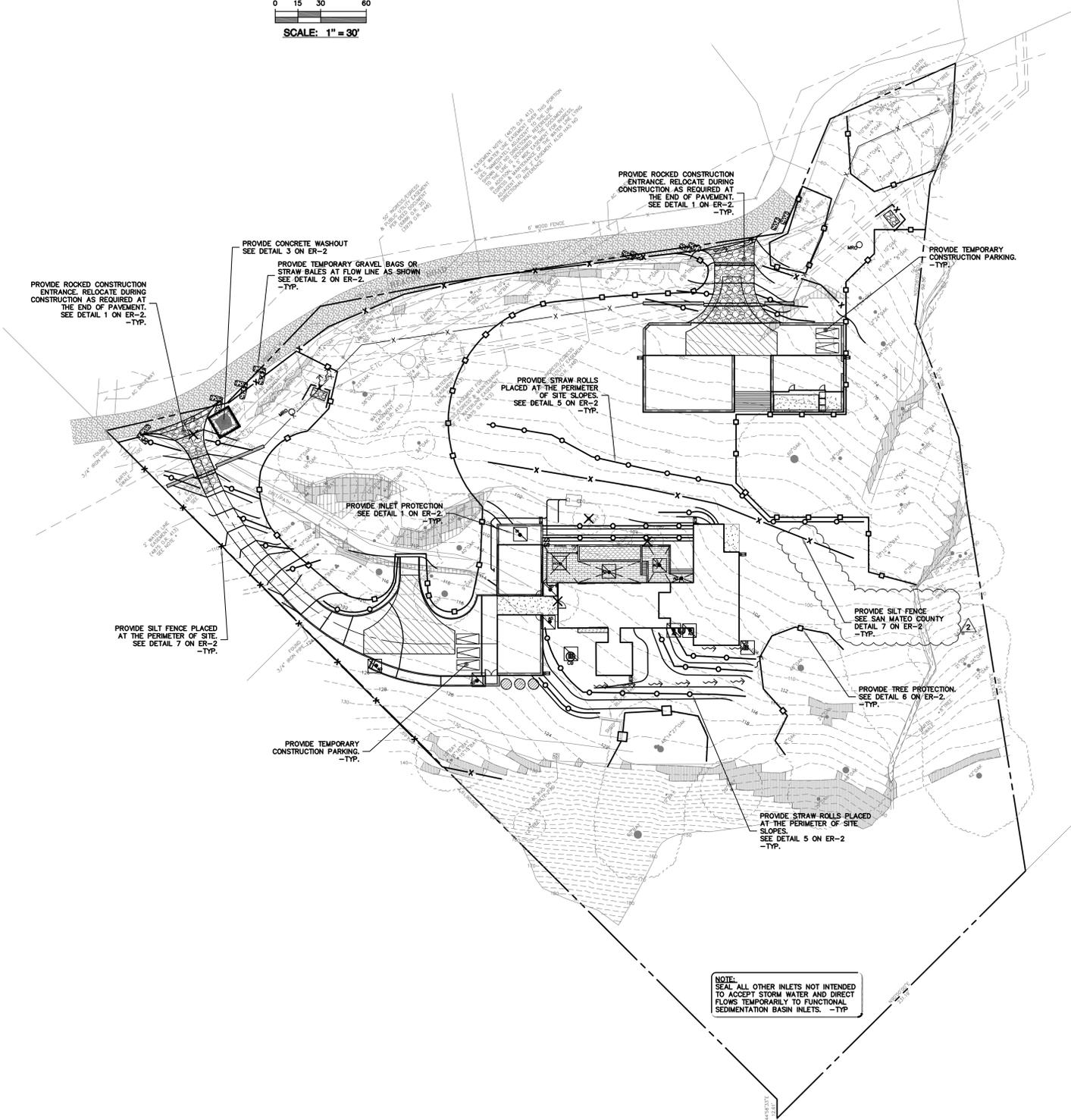
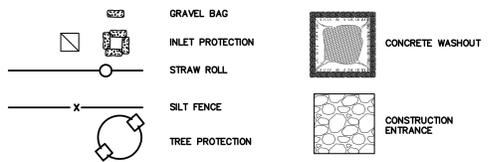
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFTS.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEEDDED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 207 EROSION CONTROL AND HIGHWAY PLANTING OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.

**EROSION CONTROL MEASURES CONTINUED:**

- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLLS SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURER'S SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.



**EROSION CONTROL LEGEND**



**NOTE:**  
 SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS. -TYP.



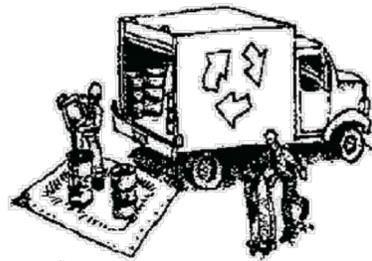


SAN MATEO COUNTYWIDE  
**Water Pollution  
 Prevention Program**  
 Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



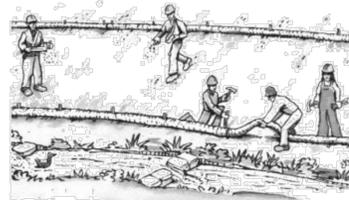
### Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



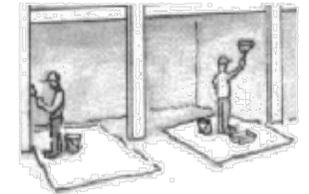
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

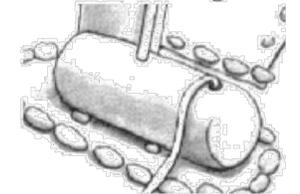
## Painting & Paint Removal



### Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**



**County of San Mateo - Planning and Building Department**

# **ATTACHMENT D**

**8/31/2020**

**Revised 11/2/2020**

Paul Dawson  
250 Heacox Rd.  
Redwood City, CA 94062

Re: City Arborist Comment Response

To Whom It May Concern:

### **Assignment**

It was my assignment to meet the contractor on site, tag and map the trees, and write a Tree Protection Report. This letter serves as an update to the previous letter dated 8/29/18.

### **Summary**

There is a total of 36 trees included in this report. Three of the trees may be located off property (#34 - #36) but are close enough to be included. Pruning Coast live oak (*Quercus agrifolia*) tree #7 will not need to be necessary to allow the development to proceed.

### **Observations/ Existing Conditions**

The subject trees are located on a sloped rural lot that has been somewhat cleared in the past. The trees have not received regular care, and many are quite beautiful, but have major structural faults with old torn limbs and decay. There are signs of Sudden Oak Death on site.



### **Methods**

All the trees surveyed were examined and then rated based on their individual health and structure according to the table below. For example, a tree may be rated "good" under the health column for excellent/vigorous appearance and growth, while the same tree may be rated "fair/poor" in the structure column if structural mitigation is needed.

<b>KEY</b>	<b>Health</b>	<b>Structure</b>
<b>Good</b>	excellent/vigorous	flawless
<b>Fair/Good</b>	healthy	very stable
<b>Fair</b>	healthy but showing initial or temporary disease	routine maintenance needed such as pruning or end weight reduction as tree grows, minor structural corrections needed
<b>Fair/Poor</b>	declining	significant structural weakness(es), mitigation needed, mitigation may or may not preserve the tree
<b>Poor</b>	dead or near dead	hazard

The complete list of trees and all relevant information, including their health and structure ratings, their “protected” status, and recommendations for their care can be found in the data table that accompanies this report.

The trunks of the trees are measured using an arborist’s diameter tape at 48” above soil grade. The canopy height and spread are estimated using visual references only. In cases of a very large tree, a standard measuring tape may be used.

The condition of each tree is assessed by visual observation from a standing position (without climbing or using aerial equipment). No invasive equipment is used. Consequently, it is possible that individual tree(s) may have internal (or underground) health problems or structural defects, which are not detectable by visual inspection. In cases where it is thought further investigation is warranted, a “full hazard assessment” is recommended. This assessment would consist of drilling or using sonar equipment to detect internal decay and may include climbing or the use of aerial equipment.

### **Tree Health Ratings**

The health of an individual tree is rated based on leaf color and size, canopy density, new shoot growth and the absence or presence of pests or disease.

### **Tree Structure Ratings**

Individual tree structure is rated based on the growth pattern of the tree (including whether it is leaning); the presence or absence of poor limb attachments (such as co-dominant leaders); the length and weight of limbs and the extent and location of apparent decay. For each tree, a structural rating of fair or above indicates that the structure can be maintained with routine pruning such as removing dead branches and reducing end weight as the tree grows. A fair/poor rating indicates that the tree has significant structural weaknesses and corrective

action is warranted. The notes section for that tree will then recommend a strategy/technique to improve the structure or mitigate structural stresses. A poor structural rating indicates that the tree or portions of the tree are likely to fail and that there is little that can constructively be done about the problem other than removal of the tree or large portions of the tree. Very large trees that are rated Fair/Poor for structure AND that are near structures or in an area frequently traveled by cars or people, receive an additional **\*\*CONSIDER REMOVAL**" notation under recommendations. This is included because structural mitigation techniques do not guarantee against structural failure, especially in very large trees. Property owners may or may not choose to remove this type of tree but should be aware that if a very large tree experiences a major structural failure, the danger to nearby people or property is significant.

### **Tree Health in the Survey Area**

Trees mostly appear healthy for this location, but there are some with signs of, what looks to be, Sudden Oak Death. I recommend a prevention plan for these trees.

### **Tree Structure in the Survey Area**

Ideally, trees are pruned for structure when young and are properly maintained to reduce end-weight as they grow. This was not done at this site. There have been several large limb failures on several trees, and these have rendered many of the trees unstable, even if their appearance is not such. I recommend that they have end weight reduction completed for trees that will remain. End weight reduction pruning mean reducing the length of multiple long, heavy leaders or limbs. This technique reduces structural forces at leader and limb junctions and helps to prevent leader or limb failures. This type of pruning can be completed very aesthetically. Please see the data sheet for specific recommendations on individual trees.

### **Local Regulations Governing Trees**

#### **THE SIGNIFICANT TREE ORDINANCE OF SAN MATEO COUNTY**

Project is located in RM lands. Trees greater than 17.5" DBH measured at 54" above natural grade are deemed significant.

### **Recommendations**

#### **Tree Protection Recommendations During Construction**

Besides health and structure-related issues, the trees at this site could be at risk of damage by construction or construction procedures that are common to most construction sites. These procedures may include the dumping or the stockpiling of materials over root systems; the trenching across the root zones for utilities or for landscape irrigation; or the routing of construction traffic across the root system resulting in soil compaction and root dieback. It is therefore essential that tree protection be used as follows:

- 1) Tree protection fencing for Coast live oak (*Quercus agrifolia*) trees #6 and #7 will be as called out in bullet point 2) and must be installed at the edge of the foundation.
- 2) Protective fencing is required to be provided during the construction period to protect trees to be preserved. This fencing must protect enough portion of the root zone to be effective. Fencing is recommended to be located 8 to 10 X the diameter at breast height (DBH) in all directions from the tree. DBH for each tree is shown in the attached data table. The minimum recommendation for tree protection fencing location is 6 X the DBH, where a larger distance is not possible. There are areas where we will amend this distance based upon tree condition and proposed construction. In my experience, the protective fencing must:
  - a. Consist of chain link fencing and having a minimum height of 6 feet.
  - b. Be mounted on steel posts driven approximately 2 feet into the soil.
  - c. Fencing posts must be located a maximum of 10 feet on center.
  - d. Protective fencing must be installed prior to the arrival of materials, vehicles, or equipment.
  - e. Protective fencing must not be moved, even temporarily, and must remain in place until all construction is completed, unless approved by a certified arborist.
  - f. Tree Protection Signage shall be mounted to all individual tree protection fences.
- 3) Mulch should cover all bare soils. This material must be 6-8 inches in depth after spreading, which must be done by hand. We prefer coarse wood chips because they are organic and decompose naturally over time.
- 4) Loose soil and mulch must not be allowed to slide down slope to cover the root zones or the root collars of protected trees.
- 5) Materials must not be stored, stockpiled, dumped, or buried inside the driplines of protected trees.
- 6) There must be no grading, trenching, or surface scraping inside the driplines of protected trees, unless specifically approved by a Certified Arborist.
- 7) Trenches for any underground utilities (gas, electricity, water, phone, TV cable, etc.) must be located outside the driplines of protected trees, unless approved by a Certified Arborist. Alternative methods of installation may be suggested.
- 8) Any roots exposed during construction activities that are larger than 2 inches in diameter should not be cut or damaged until the Project Arborist has an opportunity to assess the impact that removing these roots could have on the trees.
- 9) A Certified Arborist should supervise any excavation activities within the tree protection zone of these trees.
- 10) Excavated soil must not be piled or dumped, even temporarily, inside the driplines of protected trees.
- 11) Any pruning must be done by a Company with an Arborist Certified by the ISA (International Society of Arboriculture) and according to ISA, Western Chapter Standards, 1998.
- 12) Repair of existing, or any future, landscape irrigation trenches must be a minimum distance of 10 times the trunk diameter from the trunks of protected trees unless otherwise noted and approved by the Arborist.

- 13) Repair of existing, or any future, landscape irrigation trenches must be designed to avoid water striking the trunks of trees, especially oak trees.
- 14) Landscape materials (cobbles, decorative bark, stones, fencing, etc.) must not be installed directly in contact with the bark of trees because of the risk of serious disease infection.
- 15) Any plants that are planted inside the driplines of oak trees must be of species that are compatible with the environmental and cultural requirements of oak trees. A publication detailing plants compatible with California native oaks can be obtained from The California Oak Foundation's 1991 publication "Compatible Plants Under & Around Oaks" details plants compatible with California native oaks and is currently available online at:  
<http://californiaoaks.org/wp-content/uploads/2016/04/CompatiblePlantsUnderAroundOaks.pdf> .

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I certify that the information contained in this report is correct to the best of my knowledge and that this report was prepared in good faith. Please call me if you have questions or if I can be of further assistance.

Respectfully,



Michael P. Young

Date: 28-Aug-18  
 Address: 250 Heacox, Redwood City

TREE NO.	SPECIES	DIAMETER	HEIGHT/WIDTH	HEALTH	STRUCTURE	NOTES						
1	Canyon Oak	36"/66"	90'/70'	Good	Fair-Poor/Poor	Internal decay. Codominants						
2	Bay	20	60/35	Good	Fair-Poor	Codominants						
3	Coast Live Oak	23	30/28	Fair-Good	Fair-Poor	Codominants						
4	Valley Oak	29	65/70	Fair	Fair-Poor	Codominants						
5	Coast Live Oak	39	50/55	Fair-Poor	Fair	Diseased trunk. May have SOD.						
6	Coast Live Oak	8.5	16/16	Good	Fair							
7	Coast Live Oak	51	50/60	Fair-Good	Fair-Poor	Codominants. Large old limb failures						
8	Coast Live Oak	31	45/40	Fair	Fair-Poor	Leans						
9	Coast Live Oak	40	45/45	Fair	Poor	1/2 dead trunk and double leader						
10	Coast Live Oak	14	15/20	Fair-Poor	Poor	Leans RR (recommend removal)						
11	Valley Oak	27	45/45	Good	Fair-Poor	Leans						
12	Coast Live Oak	15.5	20/22	Fair-Poor	Fair	SOD (Sudden Oak Death) symptoms, RR						
13	Coast Live Oak	12	18/16	Fair-Poor	Fair	SOD (Sudden Oak Death) symptoms, RR						
14	Bay	18/21	20/20	Poor	Poor	RR Rotten Trunk						
15	Coast Live Oak	12/18	20/28	Fair	Fair-Poor	Codominat with tear						
16	Madrone	33	38/35	Poor	Fair-Poor	RR						
17	Madrone	9	25/12	Fair-Poor	Fair							
18	Coast Live Oak	49	25/25	Fair	Poor	Hollow trunks, tears						
19	Coast Live Oak	11	12/10	Fair	Fair							
20	Coast Live Oak	50	60/60	Good	Poor	Rotten Trunks, tears						
21	Canyon Oak	27/49	60/70	Good	Fair-Poor	Codominants						
22	Canyon Oak	19	50/18	Fair	Poor	Rotten Trunks, RR						
23	Canyon Oak	16/18/21	50/50	Good	Fair	Codominants						
24	Coast Live Oak	16	55/25	Good	Fair	Top Heavy						
25	Coast Live Oak	20	50/50	Fair	Fair-Poor	Top Heavy, Codominants						
26	Coast Live Oak	22	55/35	Fair	Fair-Poor	Top Heavy						
27	Coast Live Oak	16/16	55/45	Fair	Fair-Poor	Leans						
28	Coast Live Oak	25/28	60/55	Fair	Fair-Poor	Codominants						
29	Coast Live Oak	23	55/35	Fair-Poor	Fair-Poor	SOD Beetles in trunk RR						
30	Coast Live Oak	34	60/65	Fair	Fair-Poor	Codominants, old tear						
31	Canyon Oak	16/26	50/55	Fair-Poor	Fair-Poor	Codominants, leans						
32	Canyon Oak	23	30/50	Fair-Poor	Fair-Poor	Thin, leans						
33	Canyon Oak	24	45/45	Fair	Fair-Poor	Leans, 1 sided						
34	Coast Live Oak	45	25/50	Fair	Poor	Topped under power lines						
35	Coast Live Oak	19	25/30	Fair	Poor	Leans						
36	Coast Live Oak	9/10	25/25	Fair	Fair-Poor	Codominants						

<b>RATINGS</b>	<b>health</b>	<b>structure</b>
<b>good</b>	excellent/vigorous	flawless
<b>fair/good</b>	healthy	very stable
<b>fair</b>	fair	routine maintenance needed
<b>fair/poor</b>	declining	mitigation needed
<b>poor</b>	dead or near dead	hazard

**Codominants = Limbs with narrow angles of attachment, prone to failure.**

#### **TREE NAMES**

<b>Common Name</b>	<b>Latin Name</b>
Canyon Oak	<i>Quercus chrysolepis</i>
Bay	<i>Umbellularia californica</i>
Coast Live Oak	<i>Quercus agrifolia</i>
Valley Oak	<i>Quercus lobata</i>
Madrone	<i>Arbutus menziesii</i>



**County of San Mateo - Planning and Building Department**

# **ATTACHMENT E**

County of San Mateo  
Planning and Building Department

**INITIAL STUDY  
ENVIRONMENTAL EVALUATION CHECKLIST**  
(To Be Completed by Planning Department)

1. **Project Title:** New Single-family Dwelling with Accessory Dwelling Unit
2. **County File Number:** PLN2018-00489
3. **Lead Agency Name and Address:**  
County of San Mateo Planning and Building Department  
455 County Center, 2nd Floor  
Redwood City, CA 94063
4. **Contact Person and Phone Number:** Kanoa Kelley; Kkelley@smcgov.org
5. **Project Location:** 250 Heacox Road, South Skyline
6. **Assessor's Parcel Number and Size of Parcel:** 080-110-210; 4.79 acres
7. **Project Sponsor's Name and Address:**  
Paul Dawson  
20365 Skyline Boulevard  
Woodside, CA 94062
8. **Name of Person Undertaking the Project or Receiving the Project Approval (if different from Project Sponsor):** n/a
9. **General Plan Designation:** Open Space Rural
10. **Zoning:** RM (Resource Management)
11. **Description of the Project:** The applicant is seeking a Resource Management Permit, Grading Permit, Architectural Review Permit, and Fence Height Exception to build a new 8,109 sq. ft. two-story single-family residence with an attached 1,200 sq. ft. three car garage and 466 sq. ft. pool, a 1,152 sq. ft. detached accessory dwelling unit (ADU) over a 1,796 sq. ft. four-car garage/carport/storage building, a 2,160 sq. ft. horse stable, a 6-ft. tall wall/fence along Heacox Rd., and associated site improvements including upgrade to an existing domestic well and installation of a new septic system on the legal 4.79 acre property. The project involves 4,580 cubic yards (c.y.) of grading, including 3,335 c.y. of cut and 1,245 c.y. of fill, and the removal of four trees (30" bay , 11" oak, 10" oak, 8" oak) due to their location within the footprint of proposed development. The project is within the Skyline State Scenic Corridor.
12. **Surrounding Land Uses and Setting:** The legal 4.79-acre project parcel is located along Heacox Road, east of Skyline Boulevard. The parcel is located within a rural residential area with similarly sized surrounding single-family residentially developed parcels ranging in size between 2 acres to 10 acres. Topography in the area consists of relatively gentle sloped terrains and intermittent pockets of dense tree vegetation.

13. **Other Public Agencies Whose Approval is Required:** None
14. **Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code Section 21080.3.1? If so, is there a plan for consultation that includes, for example, the determination of significance of impacts to tribal cultural resources, procedures regarding confidentiality, etc.?:**

This project is not subject to Assembly Bill 52, as the County of San Mateo has no records of requests for formal notification of proposed projects within the County from any traditionally or culturally affiliated California Native American Tribes. However, the County seeks to satisfy the Native American Heritage Commission’s best practices and has referred this project to all tribes within San Mateo County. A list of local tribes was obtained from the Native American Heritage Commission (NAHC). A request for consultation was sent to all tribes on the list provided by the NAHC on February 15, 2019. As of the date of this report, no tribes have contacted the County requesting formal consultation on this project.

**ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED**

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a “Potentially Significant Impact” or “Significant Unless Mitigated” as indicated by the checklist on the following pages.

X	Aesthetics		Energy		Public Services
	Agricultural and Forest Resources		Hazards and Hazardous Materials		Recreation
X	Air Quality		Hydrology/Water Quality		Transportation
X	Biological Resources		Land Use/Planning	X	Tribal Cultural Resources
	Climate Change		Mineral Resources		Utilities/Service Systems
X	Cultural Resources		Noise		Wildfire
X	Geology/Soils		Population/Housing		Mandatory Findings of Significance

**EVALUATION OF ENVIRONMENTAL IMPACTS**

1. A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).

2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an Environmental Impact Report (EIR) is required.
4. "Negative Declaration: Less Than Significant with Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from "Earlier Analyses," as described in 5. below, may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other California Environmental Quality Act (CEQA) process, an effect has been adequately analyzed in an earlier EIR or negative declaration (Section 15063(c)(3)(D)). In this case, a brief discussion should identify the following:
  - a. Earlier Analysis Used. Identify and state where they are available for review.
  - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - c. Mitigation Measures. For effects that are "Less Than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
7. Supporting Information Sources. Sources used or individuals contacted should be cited in the discussion.

<b>1. AESTHETICS.</b> Except as provided in Public Resources Code Section 21099, would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
1.a. Have a substantial adverse effect on a scenic vista, views from existing residen-		X		

tial areas, public lands, water bodies, or roads?				
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**Discussion:** The project parcel sits approximately 240 ft. lower in elevation than Skyline Boulevard which is designated a State scenic road. The parcel is approximately 500 ft. from Skyline Boulevard, while the project site area is an estimated 850 ft. from Skyline Boulevard. The project includes the construction of a single-family residence with an attached garage, a stable with separate garage and accessory dwelling unit (ADU), a pool, the removal of four significant trees (diameter at breast height of 12” or greater), and approximately 4,580 cubic yards (c.y.) of grading on an undeveloped, partially wooded property.

The closest proposed structure would be located approximately 75 ft. from the front property line on Heacox Rd. The proposed development would be accessed from Heacox Rd. via two separate driveways.

The house, stable and ADU would be constructed with exposed unpainted concrete and cedar planks. The body of the house will be raw unpainted grey concrete that is board-formed to leave behind the shape and grain of the boards, and the building on both ends of the main central structure will be clad in a lightly stained knotted cedar plank. The roofing material throughout will be a standing seam metal roof in the color of “dark bronze” to match the dark bronze windows. The proposed finished materials and colors would help the structure to blend in with the natural rural environment.

The rear portion of the parcel, closest to Skyline Boulevard, has the most tree cover. These trees are proposed to remain. The proposed residence is a two-story structure which will be 28 feet in height and would not exceed the height of the tree canopy (average height of 40 ft.). The proposed residence would not be visible from Skyline Boulevard as sloping terrain and existing tree canopy would screen the proposed residence from Skyline Boulevard. Additionally, surrounding residential developments are further setback from Heacox Road providing distance from the proposed project.

While the project is substantially protected from public views from Skyline Boulevard and surrounding areas as a result of topography and vegetation, the following mitigation measure has been added to ensure the proposed development blends into the natural rural environment:

**Mitigation Measure 1:** The development shall employ colors and materials which blend in with, rather than contrast with, the surrounding soil and vegetative cover of the site.

**Source:** Project Plans, Project Location, San Mateo County Zoning Regulations.

1.b. Substantially damage or destroy scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?			X	
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**Discussion:** There are no historic buildings or rock outcroppings located on the site, and therefore they would not be affected. Four (4) trees are proposed for removal (30" bay, 11" oak, 10" oak, 8" oak) with all other trees within the construction area to be protected as required by the arborist report recommendations and County tree protection standards. The removal of these four trees will not significantly destroy the scenic rural area. See Section 4.e. for tree protection mitigation measures.

**Source:** Project Plans, Project Location.

<p>1.c. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings, such as significant change in topography or ground surface relief features, and/or development on a ridgeline? (Public views are those that are experienced from publicly accessible vantage point.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?</p>			X	
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**Discussion:** The project site is relatively flat with an average 19% slope and is not on a ridgeline. The project involves grading but will not create a significant change in topography. The road frontage for the parcel is approximately 560 feet in length along Heacox Road and has an appearance similar to that of adjacent and surrounding parcel frontages. Proposed development would be setback to meet the minimum 50-ft. zoning setback with the exception of two new private driveways.

**Source:** Project Plans, Project Location.

<p>1.d. Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?</p>		X		
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**Discussion:** New light sources and glare from the proposed development has the potential to generate adverse impacts on day and nighttime views. The project is proposed to include substantial outdoor useable space including a pool and patios. The following mitigation measures are recommended to minimize any adverse daytime or nighttime view impacts from light or glare that the project may introduce to the area:

**Mitigation Measure 2:** All proposed lighting shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area. Manufacturer cut sheets for any exterior light fixtures shall be submitted for review and approval prior to the issuance of a building permit. All exterior fixtures shall be rated dark-sky compliant and be designed to minimize light pollution beyond the confines of the subject premises.

**Mitigation Measure 3:** Final finishes of all exterior materials and/or colors, including glass windows and/or panels, shall be non-reflective.

**Source:** Project Plans, Project Location.

<p>1.e. Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?</p>		X		
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**Discussion:** See discussion in response to 1.a.

**Source:** Project Location, Project Plans.

1.f.	If within a Design Review District, conflict with applicable General Plan or Zoning Ordinance provisions?				X
<p><b>Discussion:</b> The project site is not located within a Design Review District.</p> <p><b>Source:</b> San Mateo County Zoning Regulations, San Mateo County General Plan, Project Location.</p>					
1.g.	Visually intrude into an area having natural scenic qualities?		X		
<p><b>Discussion:</b> See staff's discussion in Section 1.a. - 1.d. above.</p> <p><b>Source:</b> Project Plans, Project Location.</p>					

<p><b>2. AGRICULTURAL AND FOREST RESOURCES.</b> In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:</p>					
		<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
2.a.	For lands outside the Coastal Zone, convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				X
<p><b>Discussion:</b> According to the California Department of Conservation Farmland Mapping and Monitoring Program, the project site is designated "Other Land" and therefore is not Prime Farmland, Unique Farmland, or Farmland of Statewide Importance.</p> <p><b>Source:</b> California Department of Conservation Farmland Mapping and Monitoring Program (2017).</p>					
2.b.	Conflict with existing zoning for agricultural use, an existing Open Space Easement, or a Williamson Act contract?				X

<p><b>Discussion:</b> The project parcel is zoned Resource Management (RM), which permits agricultural and residential uses. Furthermore, the parcel is not protected by an existing Open Space Easement or Williamson Act contract.</p> <p><b>Source:</b> San Mateo County Zoning Regulations, San Mateo County Agricultural Preserves Map, Project Plans.</p>					
2.c.	Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forestland to non-forest use?			X	
<p><b>Discussion:</b> The project parcel is not located in an area identified as Farmland or suitable for agricultural activities. Heacox Rd. is developed with larger rural residential properties. While the property could support 10% native tree cover of any species, it does not allow for management of one or more forest resources. The project site is an undeveloped, privately-owned 4.79-acre parcel.</p> <p><b>Source:</b> California Department of Conservation, Farmland Mapping and Monitoring Program Map (2017); Public Resources Code Section 12220(g); Project Location.</p>					
2.d.	For lands within the Coastal Zone, convert or divide lands identified as Class I or Class II Agriculture Soils and Class III Soils rated good or very good for artichokes or Brussels sprouts?				X
<p><b>Discussion:</b> The project site is not located within the Coastal Zone.</p> <p><b>Source:</b> Project Location.</p>					
2.e.	Result in damage to soil capability or loss of agricultural land?			X	
<p><b>Discussion:</b> The project parcel is located in an area of productive soil resources with timber capabilities, based on the San Mateo County General Plan Productive Soil Resources Map. No timber-growing activities are being conducted on-site, and the project area is an open area on the parcel near Heacox Rd.</p> <p><b>Source:</b> San Mateo County General Plan, Productive Soil Resources Map.</p>					
2.f.	Conflict with existing zoning for, or cause rezoning of, forestland (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?				X
<p><i>Note to reader: This question seeks to address the economic impact of converting forestland to a non-timber harvesting use.</i></p>					

**Discussion:** The property is zoned Resource Management (RM). Residential uses are allowed in the RM Zoning District subject to an RM permit, which the applicant is seeking as part of the subject project. No proposed zoning changes are included as part of this project. Also, see staff's discussion in Section 2.e. above.

**Source:** Project Plans, San Mateo County Zoning Regulations.

**3. AIR QUALITY.** Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
3.a. Conflict with or obstruct implementation of the applicable air quality plan?			X	

**Discussion:** The Bay Area 2017 Clean Air Plan (CAP), developed by the Bay Area Air Quality Management District (BAAQMD), is the current regulating air quality plan for San Mateo County. The CAP was created to improve Bay Area air quality and to protect public health and the climate.

The project will not conflict with or obstruct the implementation of the BAAQMD's 2017 CAP. During project implementation, air emissions would be generated from site grading, equipment, and work vehicles; however, any such grading-related emissions would be temporary and localized. Once constructed, use of the development as a single-family residence would have minimal impacts to the air quality standards set forth for the region by the BAAQMD.

**Source:** BAAQMD 2017 Clean Air Plan, Project Plans.

3.b. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable Federal or State ambient air quality standard?		X		
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**Discussion:** The San Francisco Bay Area is in non-attainment for ozone and particulate matter (PM), including PM 10 (state status) and PM 2.5 (state status), including the 24-hour PM 2.5 national standard. Therefore, any increase in these criteria pollutants is significant.

Implementation of the project will generate temporary increases in these criteria pollutants due to construction vehicle emissions and dust generated from earthwork activities. Mitigation Measure 4 below will minimize increases in non-attainment criteria pollutants generated from project construction to a less than significant level. Furthermore, the California Air Resources Board (CARB) provides regulation over vehicles of residents in the State of California, including the operation of any vehicles that would be associated with the proposed single-family residence, to ensure vehicle operating emissions are minimized in the effort towards reaching attainment for ozone, among other goals. The current project is not expected to generate a significant change.

**Mitigation measure 4:** The applicant shall require construction contractors to implement all the Bay Area Air Quality Management District's Basic Construction Mitigation Measures, listed below:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent paved roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. All vehicle speeds on unpaved roads shall be limited to 15 miles per hour.
- e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- f. All construction equipment shall be maintained and properly tuned in accordance with manufacturers' specifications. All equipment shall be checked by a certified visible emissions evaluator.
- g. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of the California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- h. Post a publicly visible sign with the telephone number and person to contact at the project site regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Bay Area Air Quality Management District's phone number shall also be visible to ensure compliance with applicable regulations.

**Source:** Bay Area Air Quality Management District, Project Plans.

3.c. Expose sensitive receptors to substantial pollutant concentrations, as defined by the Bay Area Air Quality Management District?		X		
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**Discussion:** Any pollutant emissions generated from the project will primarily be temporary in nature. The project site is in a rural area with few sensitive receptors (i.e., single-family residences) located within the nearby project vicinity. Additionally, the surrounding tree canopy and vegetation will help to insulate the project area from nearby sensitive receptors. Furthermore, Mitigation Measure 4 will minimize any potential significant exposure to nearby sensitive receptors to a less than significant level.

**Source:** Project Plans, Project Location.

3.d. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?			X	
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**Discussion:** Once operational, the proposed project will not result in adverse emissions. The project has the potential to generate emissions during construction such as noise and odor. However, any such odors will be temporary and are expected to be minimal.

**Source:** Project Plans.

<b>4. BIOLOGICAL RESOURCES.</b> Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
4.a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?				X
<p><b>Discussion:</b> According to review of the California Natural Diversity Database (CNDDDB), there are no special-status plant or animal species identified on the project site or within the immediate vicinity of the project site.</p> <p><b>Source:</b> California Natural Diversity Database, San Mateo County General Plan.</p>				
4.b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?			X	
<p><b>Discussion:</b> There are no riparian habitats or other sensitive natural communities located on the project site. See staff's discussion in Section 4.a. above.</p> <p><b>Source:</b> San Mateo County General Plan; Project Plans.</p>				
4.c. Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?				X
<p><b>Discussion:</b> According to the National Wetlands Inventory there are no wetlands located within the project area.</p> <p><b>Source:</b> U.S. Fish and Wildlife Service, Wetland Mapper; Project Plans.</p>				
4.d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or				X

impede the use of native wildlife nursery sites?				
<p><b>Discussion:</b> According to review of the California Natural Diversity Database (CNDDDB), there are no special-status plant or animal species identified on the project site or within the immediate vicinity of the project site.</p> <p><b>Source:</b> California Natural Diversity Database, Project Plans.</p>				
4.e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance (including the County Heritage and Significant Tree Ordinances)?		X		
<p><b>Discussion:</b> The trees proposed for removal are the minimum necessary to accommodate the proposed development as these trees are within the footprint of the proposed development (including building, driveway, and utilities). The Development Review Criteria of the Resource Management (RM) District Regulations prohibits the removal of trees with a trunk circumference of more than 55 inches measured at 4.5 feet above the average surface of the ground (or more than 17.5 inches dbh), except as may be required for development permitted under the Zoning Regulations, among other reasons. The RM District allows single-family residences subject to the issuance of an RM Permit. Of the 4 trees proposed for removal, one is of a size falling under regulation by the RM District Development Review Criteria and, therefore, requires an RM Permit for which the applicant is seeking. As mentioned, removal of these trees are necessary to accommodate the proposed single-family residential development. <u>Mitigation measure 6 has been added to mitigate any damage to significant or heritage trees within the construction zone, including monitoring and reporting at all stages of development.</u></p> <p><b>Mitigation Measure 5:</b> All regulated trees proposed for removal shall be replaced at a 1:1 ratio, minimum 15-gallon size stock. All proposed replacement trees shall be shown on a Tree Replanting Plan or Landscape Plan and shall include species, size, and location. Any regulated oak tree species removed shall be replaced with the same species. The Plan shall be submitted to the County Planning and Building Department for review and approval as part of the building permit plan sets. Approved plantings shall be implemented and verified by Planning staff prior to final building inspection.</p> <p><b>Mitigation Measure 6:</b> To ensure tree protection recommendations are effectively maintained throughout the duration of project construction, the following tree inspections shall be conducted and reported (in written report form) by a licensed arborist to the Current Planning Section:</p> <p>a. Quarterly (i.e., every three months post installation) inspections, timeline to be determined upon issuance of a building permit Quarterly inspections shall focus on the following:</p> <ol style="list-style-type: none"> <li>1) Whether tree protection recommendations are being followed.</li> <li>2) Whether Tree Protection Zones (TPZs) are being maintained intact and are not being encroached upon without prior authorization.</li> <li>3) Whether there are any unforeseen impacts or tree conflicts encountered above and beyond the assumptions made in the Tree Protection Plan (TPP).</li> <li>4) Whether any recommended changes to the existing TPP to improve efficacy of the plan or to provide the contractor more flexibility based on site observations and how such observations may impact the landscaping phase of the project.</li> </ol>				

- b. Special inspections shall occur and be reported to the Current Planning Section by the licensed arborist during the following stages of construction:
- 1) Post installation of tree protection measures. A letter shall be submitted that confirms tree protection zones have been installed to plan.
  - 2) Post grading/excavation. A letter shall be submitted that confirms tree protection remains intact, extent of damage to trees along equipment haul route and within proximity of grading/excavation limits. If damage incurred to trees requires mitigation (e.g. pruning, removal, or compaction remediation), an explanation of the proposed mitigation is required.
  - 3) Post utility installation. A letter shall be submitted that confirms the extent of activity was administered to plan and activities remained outside of identified TPZs.
  - 4) Post framing/exterior finishing. A letter shall be submitted that confirms framing of structures occurred without damage to tree canopies. If pruning of heritage trees is required during the framing/exterior finishes stage, a Heritage Tree pruning permit is required. Pruning of heritage trees without a permit is subject to penalties detailed in Section 11,100 of the Heritage Tree Ordinance.
  - 5) Paving/landscaping. A letter shall be submitted that confirms activities are remaining outside of identified TPZs. Alteration to the TPZ plan may require amendment and confirmation that any updates to the landscaping plan were reviewed and approved by the project arborist. Special attention shall be placed on installation of appropriate species and irrigation systems within driplines of California native oaks.
  - 6) Prior to obtaining Certificate of Occupancy. A post-project arborist report shall be submitted stating the cumulative impact incurred to trees during the construction process. The report shall include a summary of previous inspections with particular emphasis on TPP/TPZ amendments made throughout the process, unauthorized violation to the TPP/TPZs and necessary remediation measures related to violations to the TPP/TPZ.

All special inspection reports above shall be completed and submitted to the Current Planning Section within five (5) business days of the listed construction stages above.

Failure to submit a required report by the pre-determined deadline may be subject to penalties consistent with Section 12,032.2 (Violations) of the Significant Tree Ordinance or Section 11,103 (Violations) of the Heritage Tree Ordinance. Violations of the TPP, including unauthorized encroachment to the TPZs, will at a minimum incur a stop work notice and may be subject to fiscal penalties consistent with Chapter 4 of the Significant Tree Ordinance (Section 12,030 – 12,032.5) or Chapter 3 of the Heritage Tree Ordinance (Section 11,100 – 11,104) where applicable. Changes in development plans which require pruning of heritage trees' canopy (regardless of relation to the TPZ boundary) or roots (within the identified TPZ) will be subject to approval of a Heritage Tree pruning permit.

**Source:** Project Plans, San Mateo County Zoning Regulations, San Mateo County Significant Tree Ordinance, San Mateo County Heritage Tree Ordinance.

4.f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, other approved local, regional, or state habitat conservation plan?				X
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**Discussion:** There are no adopted Habitat Conservation Plans, Natural Conservation Community Plans or other approved local, regional, or State habitat conservation plans for the project site.

**Source:** California Department of Fish and Wildlife, Habitat Conservation Planning, California Regional Conservation Plans Map.

4.g. Be located inside or within 200 feet of a marine or wildlife reserve?				X
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**Discussion:** The project site is not located inside or within 200 feet of a marine or wildlife reserve.

**Source:** U.S. Fish and Wildlife Services, National Wildlife Refuge System Locator.

4.h. Result in loss of oak woodlands or other non-timber woodlands?				X
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**Discussion:** State Senate Concurrent Resolution No. 17 requires state agencies to preserve and protect native oak woodlands to the maximum extent feasible or provide replacement plantings when oak woodlands are removed. For the purposes of the measure, "oak woodlands" means a five-acre circular area containing five or more oak trees per acre. The project parcel is smaller than the defined five-acre circular area under the State Senate Resolution. Nonetheless, the project does propose to remove non-timber woodlands consisting of a total of three significant oak trees and one bay tree. Replacement plantings are required for the regulated trees proposed for removal. See staff's discussion in Section 4.e above.

**Source:** State Senate Concurrent Resolution No. 17, Project Location.

**5. CULTURAL RESOURCES.** Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
5.a. Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5?				X

**Discussion:** According to a cultural resources survey report prepared by consultants, the project site does not contain any historical resources.

**Source:** Archaeological Review, prepared by Basin Research Associates, dated February 2019.

5.b. Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Section 15064.5?		X		
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**Discussion:** According to a cultural resources survey report prepared by consultants, no archaeological resources were discovered in the project area during site reconnaissance work. While the report identifies that archaeological sensitivity in the project area is low due to the steep topography, the discovery of subsurface archaeological materials during grading or construction work is always a possibility. Therefore, the following mitigation measure is recommended:

**Mitigation Measure 7:** In the event that archaeological resources are inadvertently discovered during construction, work in the immediate vicinity (within 50 feet) of the find must stop until a qualified archaeologist can evaluate the significance of the find. Construction activities may continue in other areas beyond the 50-foot stop work area. A qualified archaeologist is defined as someone who meets the Secretary of the Interior's Professional Qualifications Standards in archaeology. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the archaeologist has recommended appropriate measures, and those measures have been approved by the Current Planning Section and implemented.

**Source:** Archaeological Review, prepared by Basin Research Associates, dated February 2019.

5.c. Disturb any human remains, including those interred outside of formal cemeteries?		X		
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**Discussion:** In the inadvertent event that human remains are discovered during ground disturbance and/or construction related activities, the following mitigation measure is recommended:

**Mitigation Measure 8:** Should any human remains be discovered during construction, all ground disturbing work shall cease and the County Coroner shall be immediately notified, pursuant to Section 7050.5 of the State of California Health and Safety Code. Work must stop until the County Coroner can make a determination of origin and disposition of the remains pursuant to California Public Resources Code Section 5097.98 for the naming of a Most Likely Descendant and the recommendations for disposition.

**Source:** Archaeological Review, prepared by Basin Research Associates, dated February 2019.

**6. ENERGY.** Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
6.a. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?			X	

**Discussion:** Energy conservation standards for new residential and nonresidential buildings were adopted by the California Energy Resources Conservation and Development Commission (now the California Energy Commission) in June 1977 and are updated every 3 years (Title 24, Part 6, of the California Code of Regulations). Title 24 requires the design of building shells and building components to conserve energy. The standards are updated periodically to allow for consideration and possible incorporation of new energy efficiency technologies and methods. On May 9, 2018, the CEC adopted the 2019 Building Energy Efficiency Standards, which went into effect on January 1, 2020. Under the 2019 Standards, residential buildings are 28 percent more energy efficient and nonresidential buildings are 5 percent more energy efficient than under the previous 2013 Standards. The proposed project would comply with the 2019 Building Energy Efficiency Standards which would be verified by the San Mateo County Building Department prior to the issuance of the building permit. The project would also be required adhere to the provisions of CAL Green, which establishes planning and design standards for sustainable site development, energy efficiency (in

excess of the California Energy Code requirements), water conservation, material conservation, and internal air contaminants.

**Construction**

The construction of the project would require the consumption of nonrenewable energy resources, primarily in the form of fossil fuels (e.g., fuel oil, natural gas, and gasoline) for automobiles (transportation) and construction equipment. Transportation energy use during construction would come from the transport and use of construction equipment, delivery vehicles and haul trucks, and construction employee vehicles that would use diesel fuel and/or gasoline. The use of energy resources by these vehicles would fluctuate according to the phase of construction and would be temporary and would not require expanded energy supplies or the construction of new infrastructure. Most construction equipment during demolition and grading would be gas-powered or diesel-powered, and the later construction phases would require electricity-powered equipment.

**Operation**

During operations, energy consumption would be associated with resident and visitor vehicle trips and delivery and supply trucks. The project is a residential development project near Highway 35 served by existing road infrastructure. Pacific Gas and Electric (PG&E) provides electricity to the project area. Currently, the existing site does not use any electricity because it is an undeveloped parcel. Therefore, project implementation would result in a permanent increase in electricity over existing conditions. However, such an increase to serve a single-family residence and second unit would represent an insignificant percent increase compared to overall demand in PG&E's service area. The nominal increased demand is expected to be adequately served by the existing PG&E electrical facilities and the projected electrical demand would not significantly impact PG&E's level of service. No natural gas distribution lines exist within the project vicinity. As is typical in this area of San Mateo County, natural gas is stored on-site in tanks and provided by private third-party entities on a needs basis. The natural gas demands for a single-family residence and second unit are nominal and are not expected to result in a significant impact due to wasteful, inefficient, or unnecessary consumption of energy resources. It is expected that nonrenewable energy resources would be used efficiently during operation and construction of the project given the financial implication of the inefficient use of such resources. As such, the proposed project would not result in wasteful, inefficient, or unnecessary consumption of energy resources.

**Source:** California Building Code, California Energy Commission, Project Plans, Project Location.

6.b. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency.			X	
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**Discussion:** The scope of the project (i.e. a new residence, driveway, and associated accessory structures) is not expected to conflict with or obstruct any state or local plan for renewable energy or energy efficiency and the development is not expected to cause inefficient, wasteful, and/or unnecessary energy consumption. Furthermore, the project would be required to comply with all State and local building energy efficiency standards, appliance efficiency regulations, and green building standards.

**Source:** Project Plans.

7. <b>GEOLOGY AND SOILS.</b> Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
7.a. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving the following, or create a situation that results in:				
i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?  <i>Note: Refer to Division of Mines and Geology Special Publication 42 and the County Geotechnical Hazards Synthesis Map.</i>			X	
<p><b>Discussion:</b> The project site is located 5,500 ft. from the Alquist-Priolo Fault zone and the San Andreas fault. The project is located 3,500 ft. from the Pilarcitos fault, which is considered possibly active. The submitted geotechnical report concluded that rupture of a fault on the property is unlikely. All development is subject to the issuance of a building permit and all work shall be completed in accordance with the California Building Code and subject to recommendations made by the applicant's geotechnical engineer to ensure the health and safety of occupants.</p> <p><b>Source:</b> Project Location; Association of Bay Area Governments Resilience Program Map; Murray Engineers Inc, July 2013.</p>				
ii. Strong seismic ground shaking?			X	
<p><b>Discussion:</b> The project site is subject to violent shaking from the San Andreas fault. A soils report and a geotechnical investigation were submitted as part of the project's review and received conditional approval by the County's Geotechnical Section. All development will be subject to the issuance of a building permit and all work shall be completed in accordance with the California Building Code and subject to recommendations made by the applicant's engineer to ensure the health and safety of occupants.</p> <p><b>Source:</b> San Mateo County Earthquake Shaking Fault Maps (San Andreas Fault); Murray Engineers Inc, July 2013.</p>				
iii. Seismic-related ground failure, including liquefaction and differential settling?				X
<p><b>Discussion:</b> The project site is an area with low susceptibility for liquefaction.</p> <p><b>Source:</b> Association of Bay Area Governments Resilience Program; Murray Engineers Inc, July 2013.</p>				

iv. Landslides?			X	
<p><b>Discussion:</b> The project site is within an area that is susceptible for earthquake-induced landslides. The project is required to comply with the current Building Code (CBC) and at the time of building permit is required to submit an updated geotechnical report in compliance with CBC 2019 and follow all design recommendations outlined in the geotechnical report to mitigate any potential seismic related landslide.</p> <p><b>Source:</b> California Geological Survey; Association of Bay Area Governments Resilience Program; Murray Engineers Inc, July 2013.</p>				
v. Coastal cliff/bluff instability or erosion?  <i>Note to reader: This question is looking at instability under current conditions. Future, potential instability is looked at in Section 7 (Climate Change).</i>				X
<p><b>Discussion:</b> The project site is not located on a coastal cliff or bluff.</p> <p><b>Source:</b> Project location.</p>				
7.b. Result in substantial soil erosion or the loss of topsoil?		X		
<p><b>Discussion:</b> The project proposes 4,580 cubic yards (c.y.) of grading, including 3,335 c.y. of cut and 1,245 c.y. of fill. Given the topography of the project site, there is a potential for erosion to occur if proper erosion control measures are not implemented. The applicant has developed an erosion control plan that includes straw wattles along the downhill perimeter of construction, a silt fence placed at the perimeter of the site, and a stabilized construction entrance from Heacox Road, as well as other best management erosion control practices. Furthermore, staff is recommending the following mitigation measures to further minimize erosion and runoff from the project area and to ensure that grading and erosion control measures are implemented appropriately:</p> <p><b>Mitigation Measure 9:</b> The applicant shall submit an erosion control plan in compliance with the County's General Erosion and Sediment Control Plan Guidelines Checklist for review and approval as part of the building permit plans submittal.</p> <p><b>Mitigation Measure 10:</b> No grading shall be allowed during the wet weather season (October 1 through April 30) to avoid increased potential soil erosion, unless the applicant applies for an Exception to the Winter Grading Moratorium and the Community Development Director grants the exception. Exceptions will only be granted if dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other determining factors).</p> <p><b>Mitigation Measure 11:</b> An Erosion Control and Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit "hard card" and building permit to ensure the approved erosion control.</p> <p><b>Source:</b> Project Plans, County of San Mateo Grading Ordinance, San Mateo County Wide Stormwater Pollution Prevention Program.</p>				
7.c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and		X		

potentially result in on- or off-site landslide, lateral spreading, subsidence, severe erosion, liquefaction or collapse?				
<p><b>Discussion:</b> While liquification, lateral spreading, subsidence, and collapse are not identified as potentially significant impacts to the project, there is a moderate potential for significant erosion from project construction and risks of landslides during earthquake events. Mitigation Measure 4 will ensure erosion from construction activities is minimized.</p> <p><b>Source:</b> Project Plans, Murray Engineers Inc, July 2013</p>				
7.d. Be located on expansive soil, as defined in Table 18-1-B of Uniform Building Code, creating substantial direct or indirect risks to life or property?			X	
<p><b>Discussion:</b> The submitted geotechnical report notes that there are moderate expansive soils present on the project parcel but states that the proposed project is feasible from a geotechnical perspective. In order to address the presence of expansive soils the report includes specific recommendations for the design of the structures which include the type of foundation and depth of piers to be utilized. These recommendations shall be incorporated into building permits when submitted. Therefore, there are no significant impacts associated with the presence of expansive soils.</p> <p><b>Source:</b> Project Location; Murray Engineers Inc, July 2013.</p>				
7.e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?			X	
<p><b>Discussion:</b> The project has been preliminarily reviewed by the County of San Mateo Environmental Health Division and has received conditional approval for the location of a septic system capable to serve the proposed residential development.</p> <p><b>Source:</b> Project Plans, County of San Mateo Environmental Health Division.</p>				
7.f. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?				X
<p><b>Discussion:</b> There are no mapped unique paleontological resources or geological features on the project parcel. The project location consists of Tmos (Sedimentary rocks (Miocene and (or) Oligocene)) and Tmov (Volcanic rocks (Miocene and/or Oligocene)) which is commonly found throughout San Mateo County.</p> <p><b>Source:</b> Project Location; U.S. Geological Survey Geologic Map of the San Francisco Bay Region, 2006.</p>				

<b>8. CLIMATE CHANGE.</b> Would the project:
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	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
8.a. Generate greenhouse gas (GHG) emissions (including methane), either directly or indirectly, that may have a significant impact on the environment?		X		
<p><b>Discussion:</b> The project includes the removal of four trees (three coast live oaks and one bay) ranging in size from 12" dbh to 21" dbh to accommodate the proposed development. In context to the surrounding forested area, the removal of trees will not release significant amounts of GHG emissions or significantly reduce GHG sequestering in the area. Furthermore, new trees will be planted to replace the regulated trees proposed for removal.</p> <p>Grading and construction activities associated with the project will result in the temporary generation of GHG emissions primarily from construction-related vehicles and equipment. Any such potential increase in GHG emission levels will be minimal and temporary.</p> <p>The project introduces a new single-family residential use to the area. Any increase in GHG emissions associated with a new single-family residential use are not expected to be significant as residential use does not generate a high demand for traffic.</p> <p>The County has identified Energy Efficient Climate Action Plan (EECAP) goals which can be implemented in new development projects. Per Mitigation Measure 4, the project is required to incorporate applicable measures from the County's EECAP Development Checklist and BAAQMD Best Management Practices (BMPs) that, once implemented, will reduce the project's generation of greenhouse gas emissions.</p> <p><b>Source:</b> California Air Resources Board, San Mateo County Energy Efficiency Climate Action Plan.</p>				
8.b. Conflict with an applicable plan (including a local climate action plan), policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?		X		
<p><b>Discussion:</b> The project does not conflict with the San Mateo County Energy Efficiency Climate Action Plan provided that the measures outline in Mitigation Measure 4 are implemented.</p> <p><b>Source:</b> San Mateo County Energy Efficiency Climate Action Plan.</p>				
8.c. Result in the loss of forestland or conversion of forestland to non-forest use, such that it would release significant amounts of GHG emissions, or significantly reduce GHG sequestering?			X	
<p><b>Discussion:</b> As defined by Public Resources Code Section 12220(g), forestland is land that can support 10% native tree cover of any species, including hardwoods, under natural conditions, and that allows for management of one or more forest resources, including timber, aesthetics, fish and wildlife, biodiversity, water quality, recreation, and other public benefits. While the 4.79-acre project parcel contains more than 10% native tree cover in its current natural condition, the project site is in an area that is relatively absent of trees. While a total of four trees are proposed for removal, the</p>				

tree loss is insignificant when compared to the dense tree coverage of the parcel and surrounding vicinity. Thus, the proposed tree removals will not release significant amounts of GHG emissions or significantly reduce GHG sequestering in the area. Furthermore, new trees will be planted to replace the regulated trees proposed for removal.

**Source:** Public Resources Code, Section 12220(g); San Mateo County Energy Efficiency Climate Action Plan (EECAP); Project Plans.

8.d. Expose new or existing structures and/or infrastructure (e.g., leach fields) to accelerated coastal cliff/bluff erosion due to rising sea levels?				X
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**Discussion:** The project is not located on or adjacent to a coastal cliff or bluff.

**Source:** Project location.

8.e. Expose people or structures to a significant risk of loss, injury or death involving sea level rise?				X
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**Discussion:** The project is not located on or adjacent to the San Francisco Bay or Pacific Ocean.

**Source:** Project location.

8.f. Place structures within an anticipated 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X
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**Discussion:** The subject parcel is located in Flood Zone X (Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level), per FEMA Panel No. 06081C0405E, effective October 16, 2012.

**Source:** FEMA Panel No. 06081C0405E, effective October 16, 2012.

8.g. Place within an anticipated 100-year flood hazard area structures that would impede or redirect flood flows?				X
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**Discussion:** The subject parcel is located in Flood Zone X (Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level), per FEMA Panel No. 06081C0405E, effective October 16, 2012.

**Source:** FEMA Panel No. 06081C0405E, effective October 16, 2012.

**9. HAZARDS AND HAZARDOUS MATERIALS.** Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
9.a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials (e.g., pesticides, herbicides, other toxic substances, or radioactive material)?				X
<p><b>Discussion:</b> Neither the construction nor associated grading would result in a significant impact involving the transport, use, or disposal of hazardous material or toxic substances.</p> <p><b>Source:</b> Project Scope.</p>				
9.b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?				X
<p><b>Discussion:</b> No significant use of hazardous materials is proposed. The project involves earthwork and construction of residential uses.</p> <p><b>Source:</b> Project Scope.</p>				
9.c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?				X
<p><b>Discussion:</b> No use involving significant emission of or handling of hazardous materials or waste is proposed. The project involves earthwork and construction of residential uses.</p> <p><b>Source:</b> Project Scope.</p>				
9.d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?				X
<p><b>Discussion:</b> The project site is not a listed hazardous materials site.</p> <p><b>Source:</b> California Department of Toxic Substances Control, Hazardous Waste and Substances Site List (2019).</p>				

9.e. For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, result in a safety hazard or excessive noise for people residing or working in the project area?				X
<p><b>Discussion:</b> The site is not located within an area regulated by an airport land use plan nor is it located within 2 miles of a public airport or public use airport.</p> <p><b>Source:</b> Project Location.</p>				
9.f. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?				X
<p><b>Discussion:</b> The project involves the construction of residential structures and would not permanently or significantly impede access on existing public roads. The plan has been reviewed and conditionally approved by San Mateo County Fire Department for emergency vehicle access.</p> <p><b>Source:</b> Project Location, Project Plans, San Mateo County Fire Department.</p>				
9.g. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?			X	
<p><b>Discussion:</b> The project site is located within a High Fire Hazard Severity Zone, State Responsibility Area. The project was reviewed by the San Mateo County Fire Department and received conditional approval subject to compliance with Chapter 7A of the California Building Code for ignition resistant construction and materials and acceptable slope and material for the driveway, among other fire prevention requirements. No further mitigation, beyond compliance with the standards and requirements of the San Mateo County Fire Department, is necessary.</p> <p><b>Source:</b> CalFire, Fire Hazard Severity Zones Maps; San Mateo County Fire Department.</p>				
9.h. Place housing within an existing 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X
<p><b>Discussion:</b> The subject parcel is located in Flood Zone X (Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level), per FEMA Panel No. 06081C0405E, effective October 16, 2012.</p> <p><b>Source:</b> FEMA Panel No. 06081C0405E, effective October 16, 2012.</p>				

9.i. Place within an existing 100-year flood hazard area structures that would impede or redirect flood flows?				X
<p><b>Discussion:</b> The subject parcel is located in Flood Zone X (Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level), per FEMA Panel No. 06081C0405E, effective October 16, 2012.</p> <p><b>Source:</b> FEMA Panel No. 06081C0405E, effective October 16, 2012.</p>				
9.j. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?				X
<p><b>Discussion:</b> The project parcel is not located in an area that would be impacted by failure of a dam or levee as the project site is located in the rural North Skyline area of the County away from such hazard areas.</p> <p><b>Source:</b> Project Location, San Mateo County General Plan Hazards Map.</p>				
9.k. Inundation by seiche, tsunami, or mudflow?				X
<p><b>Discussion:</b> Risk of inundation by seiche, tsunami, or mudflow is considered nil, as the project site is not located near any large bodies of water.</p> <p><b>Source:</b> Project Location.</p>				

<b>10. HYDROLOGY AND WATER QUALITY.</b> Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
10.a. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality (consider water quality parameters such as temperature, dissolved oxygen, turbidity and other typical stormwater pollutants (e.g., heavy metals, pathogens, petroleum derivatives, synthetic organics, sediment, nutrients, oxygen-demanding substances, and trash))?		X		
<p><b>Discussion:</b> The project has the potential to generate polluted stormwater runoff during site grading and construction-related activities. However, these impacts would be reduced to a less than significant level with the implementation of Mitigation Measures 9 - 11.</p>				

<p>The permanent project will be required to comply with the County's Drainage Policy requiring post-construction stormwater flows to be at, or below, pre-construction flow rates. Additionally, the project must include Low Impact Development (LID) site design measures in compliance with Provision C.3.i. of the County's Municipal Regional Stormwater Permit as the project will introduce 27,721 sq. ft. of new impervious surface. These guiding standards will ensure that post-construction water runoff does not violate any water quality standard as the project proposes to direct roof, driveway, and patio runoff to vegetated areas. Furthermore, the proposed septic system has been preliminarily reviewed and conditionally approved by the County Environmental Health Division.</p> <p><b>Source:</b> Project Plans; C.3/C.6 Development Review Checklist; County of San Mateo Drainage Policy; San Mateo County Municipal Regional Stormwater Permit; County of San Mateo Environmental Health Division.</p>				
10.b. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?				X
<p><b>Discussion:</b> The project is not expected to deplete any groundwater supplies or interfere with groundwater recharge. The project proposes to utilize an existing on-site well for domestic water use. Pump tests for the well resulted in a flow rate of 14 gallons per minute (gpm), which meets the minimum standard of 2.5 gpm for domestic use by the Environmental Health Division. There is no evidence that use of the well would interfere with groundwater supplies of other wells in the area.</p> <p><b>Source:</b> Superior Pump Co, Well Flow Test, dated July 26, 2011; San Mateo County Environmental Health Services.</p>				
10.c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner that would:				
i. Result in substantial erosion or siltation on- or off-site;			X	
<p><b>Discussion:</b> The project does not involve the alteration of the course of a stream or river. Existing drainage patterns, consisting of sheet flow, will be altered by proposed grading and development of the property. An erosion and sediment control plan has been prepared by Lea &amp; Braze Engineering to reduce stormwater-related erosion and sediment from the project site during construction. Additionally, the project has been preliminarily reviewed and conditionally approved by the County's Drainage Review Section for drainage compliance. Furthermore, see staff's discussion in Section 7.b. above.</p> <p><b>Source:</b> Project Plans; County of San Mateo Drainage Review Section.</p>				
ii. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site;			X	

<p><b>Discussion:</b> The project will introduce a significant amount of new impervious surfaces to the site, however, required compliance with the County's Drainage Policy and Provision C.3.i. of the County's Municipal Regional Stormwater Permit will ensure that any increased runoff is captured and released on-site through appropriate measures (i.e., detention system). Furthermore, see staff's discussion in Section 10.a. and 10.c. above.</p> <p><b>Source:</b> Project Plans, County Drainage Policy, County Municipal Regional Stormwater Permit.</p>				
iii. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or			X	
<p><b>Discussion:</b> Compliance with the County's Drainage Policy and Provision C.3.i of the San Francisco Bay Region Municipal Regional Permit is mandatory and would prevent the creation of significant additional sources of polluted runoff.</p> <p><b>Source:</b> San Mateo County Drainage Policy; San Mateo County Municipal Regional Stormwater Permit.</p>				
iv. Impede or redirect flood flows?				X
<p><b>Discussion:</b> The subject parcel is located in Flood Zone X (Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level), per FEMA Panel No. 06081C0405E, effective October 16, 2012. The proposed development will not impede or redirect flood flows.</p> <p><b>Source:</b> FEMA Panel No. 06081C0405E, effective October 16, 2012, Project Location.</p>				
10.d. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?				X
<p><b>Discussion:</b> The project parcel is not located in a flood hazard, tsunami, or seiche zone.</p> <p><b>Source:</b> Project Location; San Mateo County General Plan Hazards Map.</p>				
10.e. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?				X
<p><b>Discussion:</b> The proposed residential development is in a rural area of the County and will not obstruct implementation of a water control plan or sustainable groundwater management plan.</p> <p><b>Source:</b> Project Location.</p>				
10.f. Significantly degrade surface or ground-water water quality?		X		
<p><b>Discussion:</b> The project is required to comply with the County's Drainage Policy and Provision C.3.i. of the County's Municipal Regional Stormwater Permit which will prevent significant degradation of surface water quality after construction. Mitigation Measures 9 - 11 will reduce</p>				

construction-related stormwater impacts to a less than significant level. The applicant proposes to utilize an existing water well on the property, for which the Environmental Health Services has reviewed and conditionally approved. Furthermore, the well will be required to meet quality and quantity standards set forth by the Environmental Health Division

**Source:** Project Plans, County Drainage Policy, County Municipal Regional Stormwater Permit, County Environmental Health Services.

10.g. Result in increased impervious surfaces and associated increased runoff?		X		
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**Discussion:** The project will result in increased impervious surfaces and associated increased runoff. The implementation of Mitigation Measures 9 - 11 will reduce project-related impacts to a less than significant level. No further mitigation measures are necessary.

**Source:** Project Plans.

**11. LAND USE AND PLANNING.** Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
11.a. Physically divide an established community?				X

**Discussion:** The project does not involve a land division or development that would result in the division of an established community. The project proposes a new single-family residence on a 4.79-acre parcel located in a rural area of the County that will be among other single-family developments on similarly sized rural parcels.

**Source:** Project Plans; Project Location.

11.b. Cause a significant environmental impact due to a conflict with any land use plan, policy or regulation adopted for the purpose of avoiding or mitigating an environmental effect?			X	
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**Discussion:** The project includes the construction of a 6-ft. tall wall/fence in the front 50-ft. setback on the uphill side of the new upslope driveway, where 4-ft. is the maximum allowed height. However, the applicant is seeking a fence height exception as part of the subject project application.

**Source:** Project Plans, San Mateo County Zoning Ordinance.

11.c. Serve to encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas (examples include the introduction of new or expanded public utilities, new industry,				X
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commercial facilities or recreation activities)?				
<p><b>Discussion:</b> The project proposes improvements to serve only the subject property. These improvements are completely within the parcel boundaries of the subject property and do not serve to encourage off-site development of undeveloped areas or increase the development intensity of surrounding developed areas.</p> <p><b>Source:</b> Project Plans.</p>				

<b>12. MINERAL RESOURCES.</b> Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
12.a. Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?				X
<p><b>Discussion:</b> There are no known mineral resources identified on the project parcel.</p> <p><b>Source:</b> Project Location, San Mateo County General Plan.</p>				
12.b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				X
<p><b>Discussion:</b> There are no identified locally important mineral resource recovery site(s) delineated on the County's General Plan, any specific plan, or any other land use plan.</p> <p><b>Source:</b> Project Location, San Mateo County General Plan.</p>				

<b>13. NOISE.</b> Would the project result in:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
13.a. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?			X	

<p><b>Discussion:</b> During project grading and construction, excessive noise could be generated on a temporary basis. However, such temporary noise is regulated by Section 4.88.360 (Exemptions) of the County Ordinance Code for Noise Control. Once construction is complete, the project is not expected to generate significant amounts of noise.</p> <p><b>Source:</b> Project Plans, San Mateo County Noise Ordinance.</p>				
13.b. Generation of excessive ground-borne vibration or ground-borne noise levels?			X	
<p><b>Discussion:</b> The project would generate short-term ground-borne vibration from construction and grading activities; however, any such increase would be temporary and localized to the project site. No mitigation is necessary.</p> <p><b>Source:</b> Project Plans.</p>				
13.c. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, exposure to people residing or working in the project area to excessive noise levels?				X
<p><b>Discussion:</b> The project is not located within an area regulated by an airport land use plan or within 2 miles of a public airport.</p> <p><b>Source:</b> Project location.</p>				

<b>14. POPULATION AND HOUSING.</b> Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
14.a. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?				X
<p><b>Discussion:</b> All improvements associated with the proposed project are completely within the subject parcel's boundaries and are only sufficient to serve the future single-family residence.</p> <p><b>Source:</b> Project Plans.</p>				
14.b. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?				X

**Discussion:** The project does not propose to displace existing housing as the proposes to create a new single-family dwelling with second unit.

**Source:** Project scope.

**15. PUBLIC SERVICES.** Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities, the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
15.a. Fire protection?				X
15.b. Police protection?				X
15.c. Schools?				X
15.d. Parks?				X
15.e. Other public facilities or utilities (e.g., hospitals, or electrical/natural gas supply systems)?				X

**Discussion:** The project is limited to a new single-family residential use and, therefore, will not involve new or physically altered government facilities or increase the need for new or physically altered government facilities. Additionally, the project will not affect service ratios, response times, or other performance objectives for any of the public services in the area.

**Source:** Project Plans.

**16. RECREATION.** Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
16.a. Increase the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?				X

**Discussion:** The project will not increase the use of existing neighborhood or regional parks or other recreational facilities such that significant physical deterioration of the facility will occur or be accelerated.

<b>Source:</b> Project Plans.				
16.b. Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?				X
<b>Discussion:</b> The project does not include any recreational facilities as proposed development is limited to a single-family residential use.				
<b>Source:</b> Project Plans.				

<b>17. TRANSPORTATION.</b> Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
17.a. Conflict with a program plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities, and parking?			X	
<b>Discussion:</b> Proposed project improvements include the construction of two new private driveways off of Heacox Road to serve the proposed single-family residence. The project has been reviewed and conditionally approved by the San Mateo County Fire Department and the County Department of Public Works for emergency access and traffic safety. The grading work and construction associated with the new residences will result in a temporary increase in traffic levels and a negligible permanent increase in traffic levels after construction. Additionally, traffic generated from a single-family residence is minimal. Therefore, the project is not expected to conflict with any plan, ordinance, or policy establishing measures of effectiveness for the performance of the circulation system.				
<b>Source:</b> Project Scope, San Mateo County Department of Public Works, San Mateo County Fire Department.				
17.b. Would the project conflict or be inconsistent with CEQA Guidelines Section 15064.3, Subdivision (b) <i>Criteria for Analyzing Transportation Impacts</i> ?  <i>Note to reader: Section 15064.3 refers to land use and transportation projects, qualitative analysis, and methodology.</i>			X	
<b>Discussion:</b> The project is screened from the requirement for a Vehicle Miles Traveled (VMT) analysis pursuant to Senate Bill (SB) 743 and Section 15064.3 of the CEQA Guidelines as a “small project” based on the State of California Governor’s Office of Planning and Research’s (OPR) December 2018 Technical Advisory for Evaluating Transportation Impacts in CEQA to achieve compliance with SB 743 as the single-family residence would generate less than 110 daily trips, is				

consistent with the General Plan, and suggests no evidence indicating a potentially significant level of VMT would result.

**Source:** Project proposal; State of California Governor’s OPR December 2018 Technical Advisory; San Mateo County Department of Public Works, Board of Supervisors Members Memo, dated September 23, 2020 for Change to Vehicle Miles Traveled as Metric to Determine Transportation Impacts under CEQA Analysis; Caltrans Transportation Impact Study Guide, dated May 20, 2020.

17.c. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?				X
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**Discussion:** The project proposes to construct two new driveways off of Heacox Road for single-family residential use. The project has been reviewed and conditionally approved by the County Department of Public Works for traffic safety of the proposed driveways onto Heacox Road.

**Source:** Project Plans; County Department of Public Works.

17.d. Result in inadequate emergency access?				X
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**Discussion:** The project has been reviewed and approved with conditions by San Mateo County Fire Department, and therefore would not result in inadequate emergency access.

**Source:** San Mateo County Fire Department.

**18. TRIBAL CULTURAL RESOURCES.** Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
18.a. Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place or cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:				
i. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k)				X

**Discussion:** The project site is not listed or eligible for listing in the California Register of Historical Resources. Furthermore, the project is not listed in a local register of historical resources, pursuant to any local ordinance or resolution as defined in Public Resources Code Section 5020.1(k).

**Source:** Project Location; State Parks, Office of Historic Preservation, Listed California Historical Resources; County General Plan, Background, Historical and Archaeological Resources Appendices.

<p>ii. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in Subdivision (c) of Public Resources Code Section 5024.1. (In applying the criteria set forth in Subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)</p>		X		
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**Discussion:** Staff requested a Sacred Lands file search of the project vicinity, which was conducted by the Native American Heritage Council (NAHC) and resulted in no found records. While the project parcel is currently largely undeveloped, the site of the proposed residential development is adjacent to existing residential development in the immediate project vicinity. Previous development in the project vicinity did not encounter any resources which could be considered significant to a California Native American tribe. Additionally, the archeological report prepared by Basin Research associates dated Feb 28, 2019 concluded that no Native American villages, traditional use areas or contemporary use area or other features of significance have been identified in or adjacent to the project site. Therefore, the project is not expected to cause a substantial adverse change to any potential tribal cultural resources.

The project is not subject to Assembly Bill 52 for California Native American tribal consultation requirements, as no traditionally or culturally affiliated tribe has requested, in writing, to the County to be informed of proposed projects in the geographic project area. However, in following the NAHC's recommended best practices, the following mitigation measures are recommended to minimize any potential significant impacts to unknown tribal cultural resources.

**Mitigation Measure 12:** In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.

**Mitigation Measure 13:** Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

**Source:** Project Plans; Project Location; Native American Heritage Council, California Assembly Bill 52, Archaeological Review, prepared by Basin Research Associates, dated February 28, 2019

<b>19. UTILITIES AND SERVICE SYSTEMS.</b> Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
19.a. Require or result in the relocation or construction of new or expanded water, wastewater treatment or stormwater drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?			X	
<p><b>Discussion:</b> The project involves the upgrade of an existing private well and installation of a new septic system, both of which have been reviewed and conditionally approved by the County's Environmental Health Division. No new or expanded water or wastewater treatment facilities are necessary to serve the proposed project. In order to comply with San Mateo County's drainage policies, on-site stormwater measures would be installed in association with the proposed project. On-site stormwater measures were designed by a licensed civil engineer and have been reviewed and preliminarily approved by the San Mateo County Drainage Review Section. There is no indication that the installation of these measures will cause any significant environmental effects.</p> <p><b>Source:</b> Project Plans.</p>				
19.b. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?				X
<p><b>Discussion:</b> The project proposes to utilize an existing on-site well for domestic water use. According to pump tests preliminarily approved by the County's Environmental Health Services, the well flow rate was documented at 14 gallons per minute (gpm), which exceeds the County's minimum requirement of 2.5 gpm for domestic well water sources.</p> <p><b>Source:</b> San Mateo County Environmental Health Division; Superior Pump Co., Well Flow Test, dated July 26, 2011.</p>				
19.c. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?				X
<p><b>Discussion:</b> See Question 19.a</p> <p><b>Source:</b> Project Plans.</p>				
19.d. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or				X

otherwise impair the attainment of solid waste reduction goals?				
<p><b>Discussion:</b> The project consists of construction of a single-family development which would have a negligible impact on the capacity of local landfills.</p> <p><b>Source:</b> Project Scope</p>				
19.e. Comply with Federal, State, and local management and reduction statutes and regulations related to solid waste?				X
<p><b>Discussion:</b> The project involves one single-family residences within an existing rural residential community and will result in a negligible increase in solid waste disposal needs. All elements of the project will comply with regulations related to solid waste.</p> <p><b>Source:</b> Project Scope</p>				

<p><b>20. WILDFIRE.</b> If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:</p>				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
20.a. Substantially impair an adopted emergency response plan or emergency evacuation plan?				X
<p><b>Discussion:</b> No revisions to the adopted Emergency Operations Plan would be required as a result of the proposed project. The nearest public fire service is the San Mateo County Fire Department Station 58 located approximately 5.9 miles northwest of the project site and would not be impacted because primary access to all major roads would be maintained during construction and habitation of the residence. As discussed in Section 9 (Hazards and Hazardous Materials), the proposed project has been reviewed and conditionally approved by the San Mateo County Fire Department; and would not impair or physically interfere with an adopted emergency response or evacuation plan. Therefore, impacts would be less than significant, and no mitigation is required.</p> <p><b>Source:</b> Project Plans; Project Location; San Mateo County Fire Department.</p>				
20.b. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?			X	
<p><b>Discussion:</b> Wildland Urban Interface fires occur where combustible vegetation meets combustible structures, combining the hazards associated with wildfires and structure fires. The project is located in a High Fire Severity State Responsibility Area as identified by the County's GIS maps. The new residential structure constructed as part of the proposed project would include fire resistant features that conform to modern fire and building codes, as well as fire detection or extinguishing systems. The likelihood that a major structural fire will expand into a wildland fire before it can be</p>				

brought under control is therefore significantly reduced. Similarly, wildfires will be less able to burn the building because of the preventative measures in place. Further, due to the proximity of the project site to San Mateo County Fire Station 58 and the very short expected response time to reported fires, the likelihood of injuries or pollutant emissions due to a wildfire is minimal. Therefore, the proposed project would not exacerbate wildfire risks or expose occupants to pollutant concentrations from a wildfire, or to the uncontrolled spread of wildfire.

**Source:** Project Plans; Project Location; San Mateo County GIS.

20.c. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?				X
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**Discussion:** The proposed project to construct a single-family residence on a parcel which adjoins other single-family rural residential development does not require the installation of new roads, fuel breaks, or power lines. The project includes the construction of a fire truck turnaround that has been reviewed and conditionally approved by the San Mateo County Fire Department. No further mitigation is necessary.

**Source:** Project Plans, San Mateo County Fire Department.

20.d. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?				X
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**Discussion:** While the house site itself is generally level, the overall parcel moderately slopes downward toward the east. The proposed on-site drainage facilities have been sized and appropriately placed to retain the stormwater on-site and would allow the stormwater to percolate into the ground as determined by the review of the County’s Drainage Section. As the project would not increase the risk of wildfire or the severity of wildfires, the project would not expose the proposed structure to significant risk from flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes.

**Source:** Project Plans.

**21. MANDATORY FINDINGS OF SIGNIFICANCE.**

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
21.a. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below				X

<p>self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?</p>				
<p><b>Discussion:</b> According to review of the California Natural Diversity Database (CNDDDB), there are no special-status plant or animal species identified on the project site or within the immediate vicinity of the project site.</p> <p><b>Source:</b> California Natural Diversity Database; San Mateo County General Plan, Sensitive Habitats Map; Amended Project Plans; Project Location.</p>				
<p>21.b. Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)</p>			<p>X</p>	
<p><b>Discussion:</b> The majority of the parcels along Heacox Road are developed with single-family residences. It is not likely that the incremental effects of this project are considerable when viewed in conjunction with the effects of past, current, and probably future private or public projects in this area. The project site is located in a rural area where the rate and intensity of development is low. While the project will potentially result in site specific impacts as discussed in this document, incorporation of the recommended mitigation measures will reduce these impacts to a less than significant level. Currently, no other new residential development is proposed in the area. Furthermore, any future development in the area will be subject to review under the California Environmental Quality Act.</p> <p><b>Source:</b> Subject Document; Project Plans.</p>				
<p>21.c. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?</p>		<p>X</p>		
<p><b>Discussion:</b> The project could result in environmental impacts that could both directly and indirectly cause impacts on human beings, including the introduction of new sources of light and glare, temporary air quality impacts from construction-related emissions, and temporary greenhouse gas emissions from construction-related activities, as discussed within this document. However, the implementation of the recommended mitigation measures included in this document, and mitigation measures proposed in the project plans, will adequately reduce any potential impacts to a less than significant level.</p> <p><b>Source:</b> Subject Document; Project Plans.</p>				

**RESPONSIBLE AGENCIES.** Check what agency has permit authority or other approval for the project.

AGENCY	YES	NO	TYPE OF APPROVAL
Bay Area Air Quality Management District		X	
Caltrans		X	
City		X	
California Coastal Commission		X	
County Airport Land Use Commission (ALUC)		X	
Other: _____		X	
Regional Water Quality Control Board		X	
San Francisco Bay Conservation and Development Commission (BCDC)		X	
Sewer/Water District:		X	
State Department of Fish and Wildlife		X	
State Department of Public Health		X	
State Water Resources Control Board		X	
U.S. Army Corps of Engineers (CE)		X	
U.S. Environmental Protection Agency (EPA)		X	
U.S. Fish and Wildlife Service		X	

<b><u>MITIGATION MEASURES</u></b>		
	<u>Yes</u>	<u>No</u>
Mitigation measures have been proposed in project application.	X	
Other mitigation measures are needed.	X	
<p>The following measures are included in the project plans or proposals pursuant to Section 15070(b)(1) of the State CEQA Guidelines:</p> <p><b>Mitigation Measure 1:</b> The development shall employ colors and materials which blend in with, rather than contrast with, the surrounding soil and vegetative cover of the site.</p> <p><b>Mitigation Measure 2:</b> All proposed lighting shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area. Manufacturer cut sheets for any exterior light fixtures shall be submitted for review and approval prior to the issuance of a building permit. All exterior fixtures shall be rated dark-sky compliant and designed to minimize light pollution beyond the confines of the subject premises.</p>		

**Mitigation Measure 3:** Final finishes of all exterior materials and/or colors, including glass windows and/or panels, shall be non-reflective.

**Mitigation Measure 4:** The applicant shall submit a plan to the Planning and Building Department prior to the issuance of any grading "hard card" that, at a minimum, includes the "Basic Construction Mitigation Measures" as listed in Table 8-2 of the BAAQMD CEQA Guidelines (May 2017). These measures shall be implemented prior to beginning any ground disturbance and shall be maintained for the duration of the project activities:

- a) All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access road) shall be watered two times per day.
- b) All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c) All visible mud or dirt track-out onto adjacent paved roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d) All vehicle speeds on unpaved roads shall be limited to 15 miles per hour.
- e) Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- f) All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- g) Post a publicly visible sign with the telephone number and person to contact at the County regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Bay Area Air Quality Management District's phone number shall also be visible to ensure compliance with applicable regulations.

**Mitigation Measure 5:** All regulated trees proposed for removal shall be replaced at a 1:1 ratio, minimum 15-gallon size stock. All proposed replacement trees shall be shown on a Tree Replanting Plan or Landscape Plan and shall include species, size, and location. Any regulated oak tree species removed shall be replaced with the same species. The Plan shall be submitted to the County Planning and Building Department for review and approval as part of the building permit plan sets.

**Mitigation Measure 6:** To ensure tree protection recommendations are effectively maintained throughout the duration of project construction, the following tree inspections shall be conducted and reported (in written report form) by a licensed arborist to the Current Planning Section:

- a. Quarterly (i.e., every three months post installation) inspections, timeline to be determined upon issuance of a building permit Quarterly inspections shall focus on the following:
  - 1) Whether tree protection recommendations are being followed.
  - 2) Whether Tree Protection Zones (TPZs) are being maintained intact and are not being encroached upon without prior authorization.
  - 3) Whether there are any unforeseen impacts or tree conflicts encountered above and beyond the assumptions made in the Tree Protection Plan (TPP).
  - 4) Whether any recommended changes to the existing TPP to improve efficacy of the plan or to provide the contractor more flexibility based on site observations and how such observations may impact the landscaping phase of the project.

b. Special inspections shall occur and be reported to the Current Planning Section by the licensed arborist during the following stages of construction:

- 1) Post installation of tree protection measures. A letter shall be submitted that confirms tree protection zones have been installed to plan.
- 2) Post grading/excavation. A letter shall be submitted that confirms tree protection remains intact, extent of damage to trees along equipment haul route and within proximity of grading/excavation limits. If damage incurred to trees requires mitigation (e.g. pruning, removal, or compaction remediation), an explanation of the proposed mitigation is required.
- 3) Post utility installation. A letter shall be submitted that confirms the extent of activity was administered to plan and activities remained outside of identified TPZs.
- 4) Post framing/exterior finishing. A letter shall be submitted that confirms framing of structures occurred without damage to tree canopies. If pruning of heritage trees is required during the framing/exterior finishes stage, a Heritage Tree pruning permit is required. Pruning of heritage trees without a permit is subject to penalties detailed in Section 11,100 of the Heritage Tree Ordinance.
- 5) Paving/landscaping. A letter shall be submitted that confirms activities are remaining outside of identified TPZs. Alteration to the TPZ plan may require amendment and confirmation that any updates to the landscaping plan were reviewed and approved by the project arborist. Special attention shall be placed on installation of appropriate species and irrigation systems within driplines of California native oaks.
- 6) Prior to obtaining Certificate of Occupancy. A post-project arborist report shall be submitted stating the cumulative impact incurred to trees during the construction process. The report shall include a summary of previous inspections with particular emphasis on TPP/TPZ amendments made throughout the process, unauthorized violation to the TPP/TPZs and necessary remediation measures related to violations to the TPP/TPZ.

All special inspection reports above shall be completed and submitted to the Current Planning Section within five (5) business days of the listed construction stages above.

Failure to submit a required report by the pre-determined deadline may be subject to penalties consistent with Section 12,032.2 (Violations) of the Significant Tree Ordinance or Section 11,103 (Violations) of the Heritage Tree Ordinance. Violations of the TPP, including unauthorized encroachment to the TPZs, will at a minimum incur a stop work notice and may be subject to fiscal penalties consistent with Chapter 4 of the Significant Tree Ordinance (Section 12,030 – 12,032.5) or Chapter 3 of the Heritage Tree Ordinance (Section 11,100 – 11,104) where applicable. Changes in development plans which require pruning of heritage trees' canopy (regardless of relation to the TPZ boundary) or roots (within the identified TPZ) will be subject to approval of a Heritage Tree pruning permit.

**Mitigation Measure 7:** In the event that archaeological resources are inadvertently discovered during construction, work in the immediate vicinity (within 50 feet) of the find must stop until a qualified archaeologist can evaluate the significance of the find. Construction activities may continue in other areas beyond the 50-foot stop work area. A qualified archaeologist is defined as someone who meets the Secretary of the Interior's Professional Qualifications Standards in archaeology. The Current Planning Section shall be notified of such findings, and no additional work shall be done in the stop work area until the archaeologist has recommended appropriate

measures, and those measures have been approved by the Current Planning Section and implemented.

**Mitigation Measure 8:** Should any human remains be discovered during construction, all ground disturbing work shall cease and the County Coroner shall be immediately notified, pursuant to Section 7050.5 of the State of California Health and Safety Code. Work must stop until the County Coroner can make a determination of origin and disposition of the remains pursuant to California Public Resources Code Section 5097.98 for the naming of a Most Likely Descendant and the recommendations for disposition.

**Mitigation Measure 9:** The applicant shall submit an erosion control plan in compliance with the County's General Erosion and Sediment Control Plan Guidelines Checklist for review and approval as part of the building permit plans submittal.

**Mitigation Measure 10:** No grading shall be allowed during the wet weather season (October 1 through April 30) to avoid increased potential soil erosion, unless the applicant applies for an Exception to the Winter Grading Moratorium and the Community Development Director grants the exception. Exceptions will only be granted if dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other determining factors).

**Mitigation Measure 111:** An Erosion Control and Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit "hard card" and building permit to ensure the approved erosion control.

**Mitigation Measure 12:** The applicant shall implement the following basic construction measures at all times:

- a) Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxic Control Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- b) All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
- c) Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person, or his/her designee, shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

**Mitigation Measure 13:** Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo Ordinance Code Section 4.88.360).

**Mitigation Measure 14:** Should any traditionally or culturally affiliated Native American tribe respond to the County's issued notification for consultation, such process shall be completed and any resulting agreed upon measures for avoidance and preservation of identified resources be taken prior to implementation of the project.

**Mitigation Measure 15:** In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.

**Mitigation Measure 16:** Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

**DETERMINATION** (to be completed by the Lead Agency).

On the basis of this initial evaluation:

I find the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared by the Planning Department.

X I find that although the proposed project could have a significant effect on the environment, there WILL NOT be a significant effect in this case because of the mitigation measures in the discussion have been included as part of the proposed project. A MITIGATED NEGATIVE DECLARATION will be prepared.

I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.



(Signature)

Associate Planner

(Title)

05/10/2021

Date

\_ND - Initial Study Checklist (04-10-19).dotx

ATTACHMENTS

- A. Vicinity/Project Location Map
- B. Project Plans