



PROJECT TEAM INFO:

Developer
Thomas James Homes
 255 Shoreline Dr Suite 428
 Redwood City, CA 94065
 Tel: (408) 402-3024

Landscape
Roach & Campbell
 111 Scripps Drive
 Sacramento, CA 95825
 Tel: (916) 945-8003
 Contact: Aimee Hendrie
 aimee@roachcampbell.com

Architect
Dahlin Group
 5865 Owens Drive
 Pleasanton, CA 94588
 Tel: (925) 251-7200
 Contact: Jaime Matheron
 jaime.matheron@dahlingroup.com

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DEVELOPMENT SUMMARY

LOCATION 411 CREST DR.
 ASSESSOR'S PARCEL NUMBER 057-203-050
 PARCEL AREA - GROSS 8,000 SF 0.18 AC
 ZONING DESIGNATION RH/DR
 OCCUPANCY GROUP R-3
 CONSTRUCTION TYPE V-B

MAX. FLOOR AREA RATIO 2,400 SF
 PROPOSED FLOOR AREA 2,393 SF

MAX. LOT COVERAGE 2,000 SF
 PROPOSED LOT COVERAGE 2,426 SF
 (INCLUDING 590 SF ADU)

MAX. BUILDING HEIGHT 28'
 (NO DAYLIGHT PLANE IN RH DISTRICT)
 PROPOSED BUILDING HEIGHT 27'-6"

REQUIRED SETBACKS:

FRONT - STREET (FT) 20'
 SIDE (FT) 7'-6"
 (20' SIDE YARD COMBINED)
 REAR (FT) 20'

PROPOSED SETBACKS:

FRONT - STREET (FT) 20'
 SIDE - RIGHT (FT) 12'-7"
 SIDE - LEFT (FT) 12'-7"
 REAR (FT) 22'-6"

PARKING REQUIRED:
 4 TOTAL SPACES (2 MUST BE IN A GARAGE)
 MIN. GARGE DIMENSIONS: 9'X19' PER SPACE

EXISTING USE: ONE SINGLE FAMILY DETACHED RESIDENCE OF APPROX. 968 SF TO BE DEMOLISHED.

PROPOSED USE: ONE NEW SINGLE FAMILY DETACHED RESIDENCE OF 2,393 SF.

CODES AND REGULATIONS GOVERNING THE PROJECT: CURRENT 2019 CALIFORNIA CODES

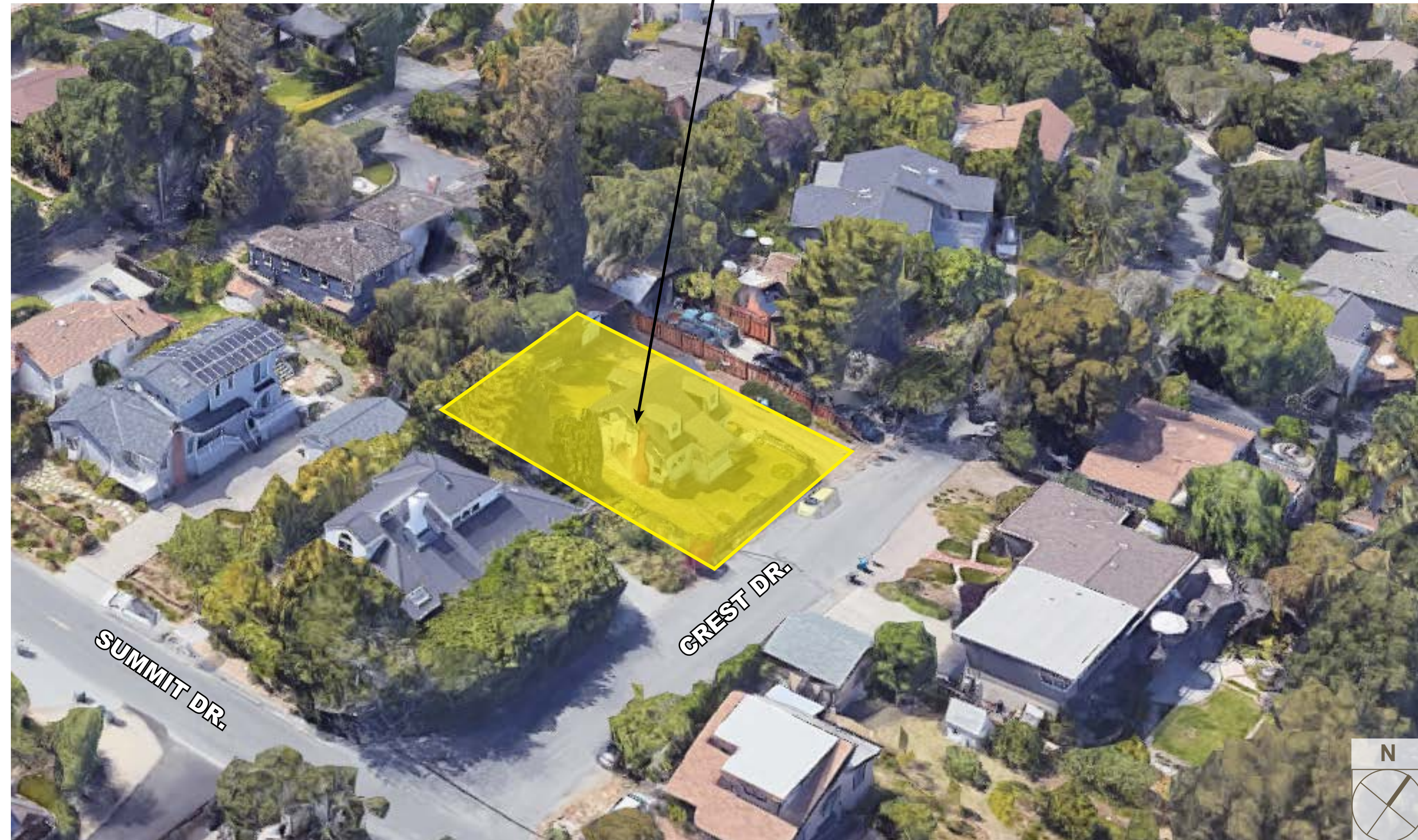
FRONTAGE IMPROVEMENTS

ALL EXISTING CRACKED OR DAMAGED FEATURES ALONG THE PROPERTY FRONTAGE MUST BE REPAIRED IN KIND. ADDITIONALLY, ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.

ANY ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING UTILITY LATERALS, IN THE PUBLIC RIGHT OF WAY.

VICINITY MAP:

PROJECT LOCATION



NOT TO SCALE

3 BEDROOMS / 2.5 BATH +
 1 BEDROOM / 1 BATH ADU

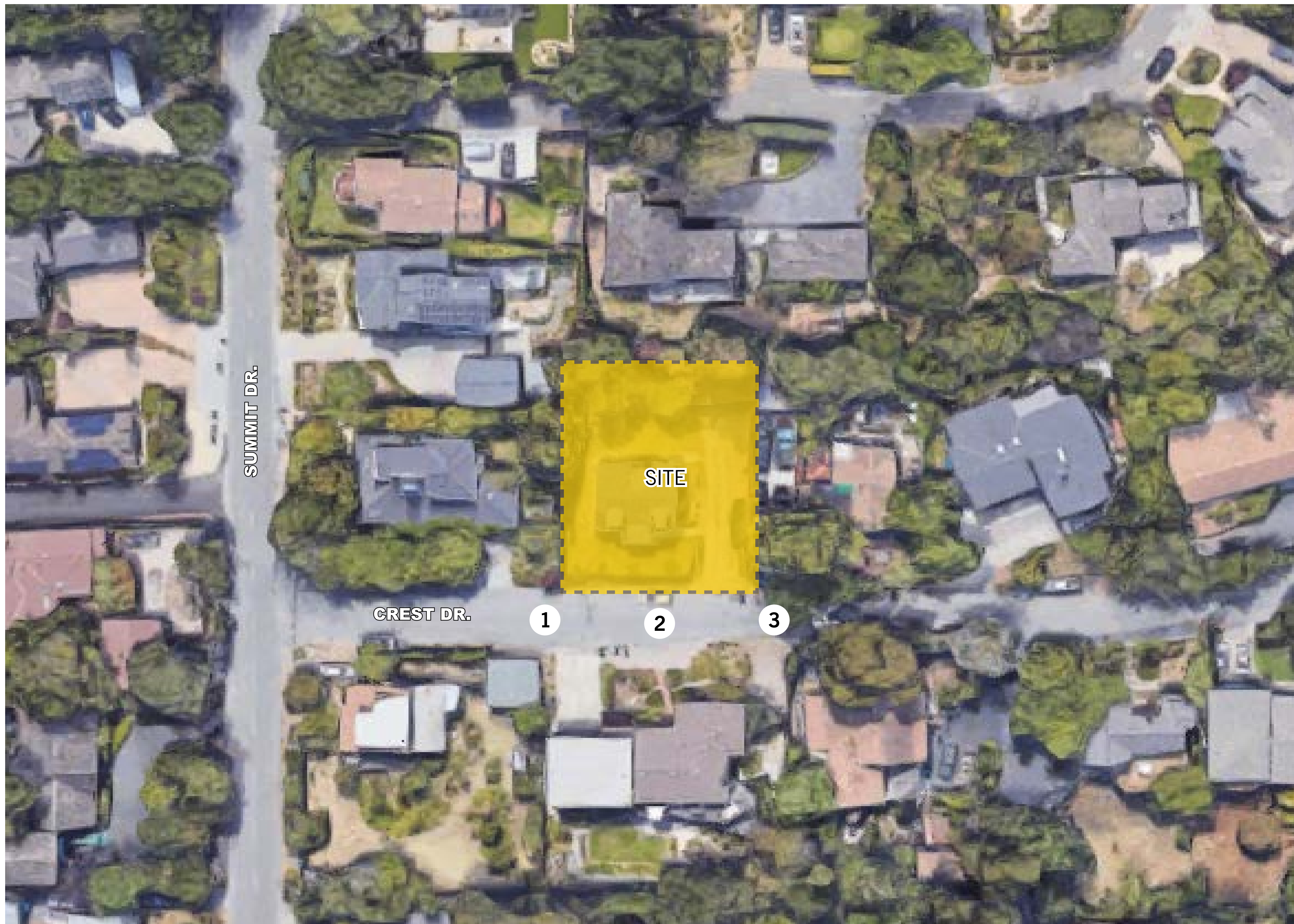
FLOOR AREA	
FIRST FLOOR	925 SQ. FT.
SECOND FLOOR	1088 SQ. FT.
TOTAL LIVING	2013 SQ. FT.
ADU	590 SQ. FT.
FAR: (LIVING + GARAGE)	2013 SQ. FT.
MAX. FAR	2400 SQ. FT.
THOMAS JAMES HOMES STANDARD: LIVING SQ. FT. (LIVING + ADU + 18)	2605 SQ. FT.

LOT COVERAGE	
FIRST FLOOR	925 SQ. FT.
GARAGE	381 SQ. FT.
ADU*	590 SQ. FT.
PORCH (UNCOVERED)	66 SQ. FT.
LANAI	464 SQ. FT.
TOTAL:	2426 SQ. FT.
MAX LOT COVERAGE	2000 SQ. FT.
PARCEL AREA	9088 SQ. FT.

* AS PER THE SAN MATEO COUNTY ZONING REGULATIONS (SECTION 6429.1.6 LOT COVERAGE) ACCESSORY DWELLING UNITS SHALL COUNT AGAINST THE ALLOWED LOT COVERAGE ON A PARCEL, EXCEPT THAT NO LOT COVERAGE RESTRICTIONS SHALL PRECLUDE CREATION OF AN ATTACHED OR DETACHED ACCESSORY DWELLING UNIT OF AT LEAST 800 SQ. FT. IN SIZE THAT MEETS ALL OTHER RELEVANT STANDARDS.

TITLE SHEET





NOT TO SCALE

SITE AERIAL & PHOTOS

411 CREST DRIVE, EMERALD HILLS
D26A MODERN

THOMAS JAMES HOMES

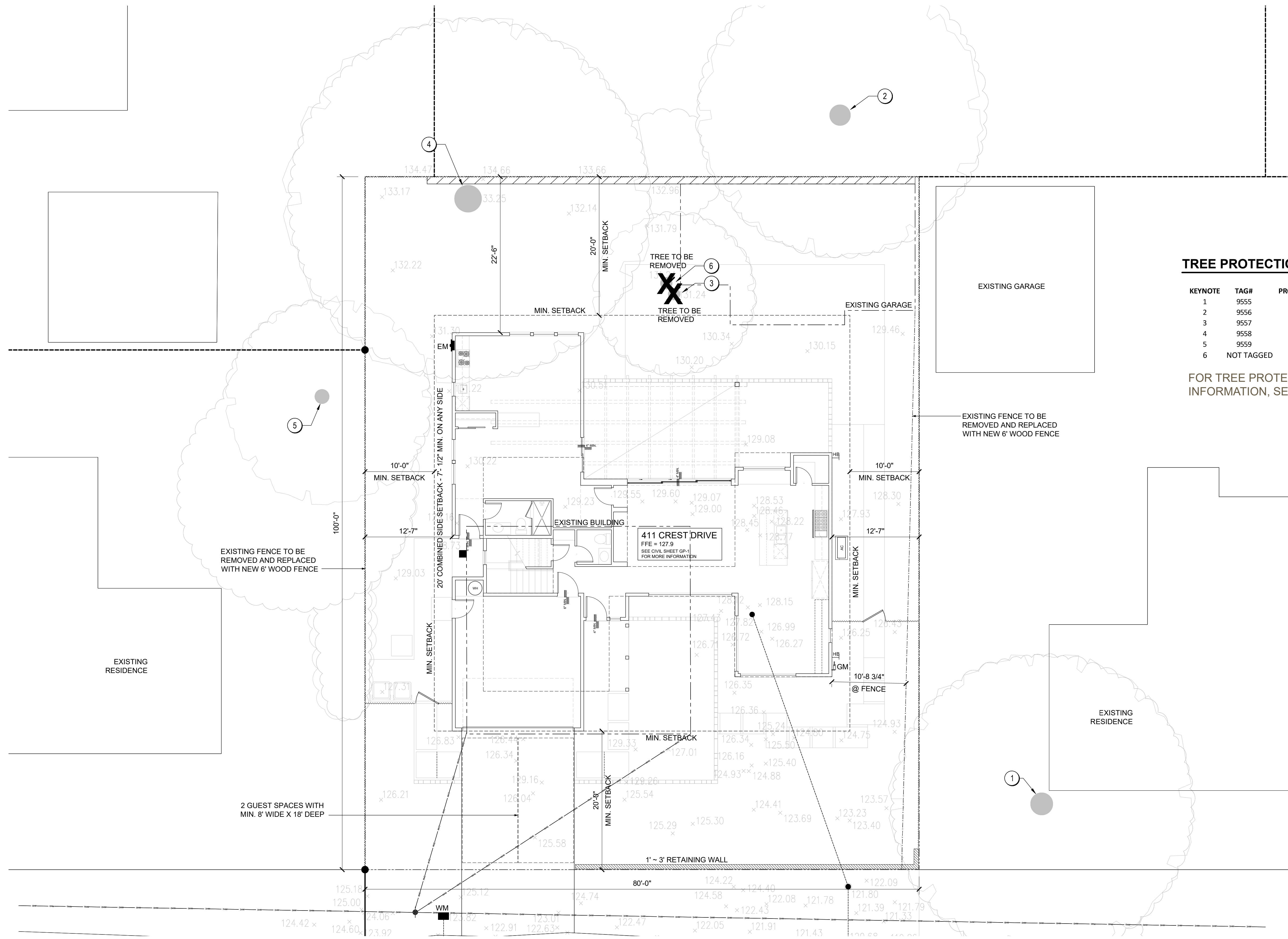


DATE 12-14-2021
JOB NO. 1641.005



5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.1



TREE PROTECTION CHART

KEYNOTE	TAG#	PROTECTED TREE	DBH	SCIENTIFIC NAME	COMMON NAME	STATUS
1	9555	YES	24"	PINUS RADIATA	MONTEREY PINE	RETAIN AND PROTECT
2	9556	YES	47"	SEQUOIA SEMPERVIRENS	COAST REDWOOD	RETAIN AND PROTECT
3	9557	YES	18"	OLEA EUROPAEA	OLIVE	REMOVE
4	9558	YES	33"	SHINUS MOLLE	CALIFORNIA PEPPER	RETAIN AND PROTECT
5	9559	YES	16"	SEQUOIA SEMPERVIRENS	COAST REDWOOD	RETAIN AND PROTECT
6	NOT TAGGED	NO	6"	OLEA EUROPAEA	OLIVE	REMOVE

FOR TREE PROTECTION AND REMOVAL INFORMATION, SEE LANDSCAPE SHEETS

3 BEDROOMS / 2.5 BATH +
1 BEDROOM / 1 BATH ADU

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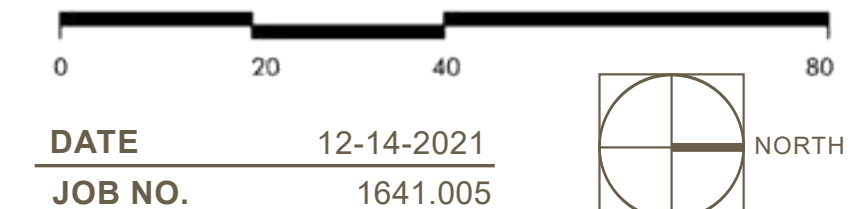
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SITE PLAN

411 CREST DRIVE, EMERALD HILLS
D26A MODERN

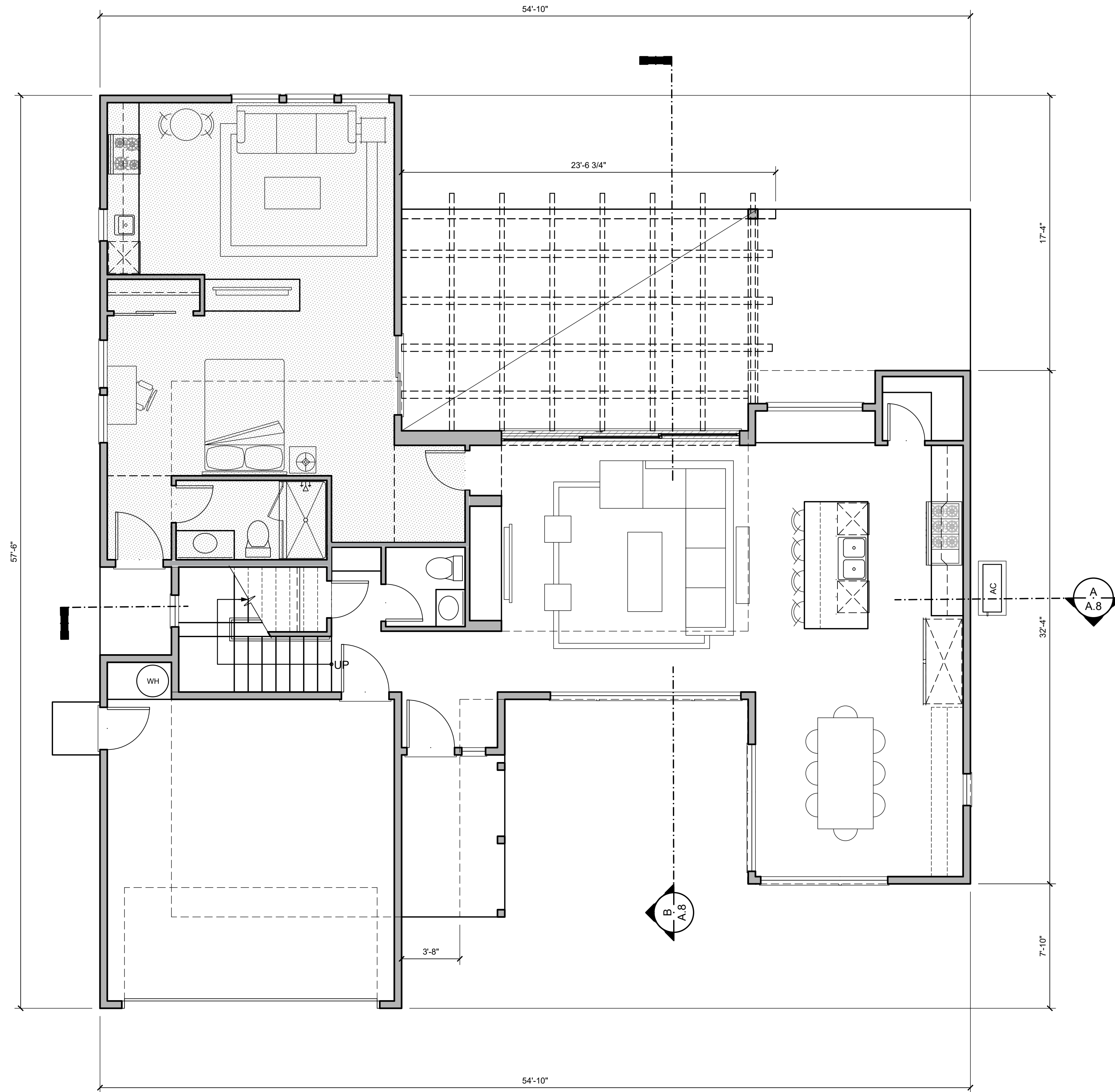
THOMAS JAMES HOMES



DATE 12-14-2021
JOB NO. 1641.005

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925-251-7200

A.2



3 BEDROOMS / 2.5 BATH +
1 BEDROOM / 1 BATH ADU

FLOOR AREA	
FIRST FLOOR	925 SQ. FT.
SECOND FLOOR	1088 SQ. FT.
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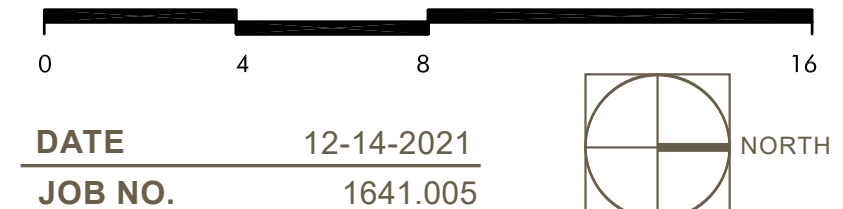
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FLOOR PLAN 1

411 CREST DRIVE, EMERALD HILLS
D26A MODERN

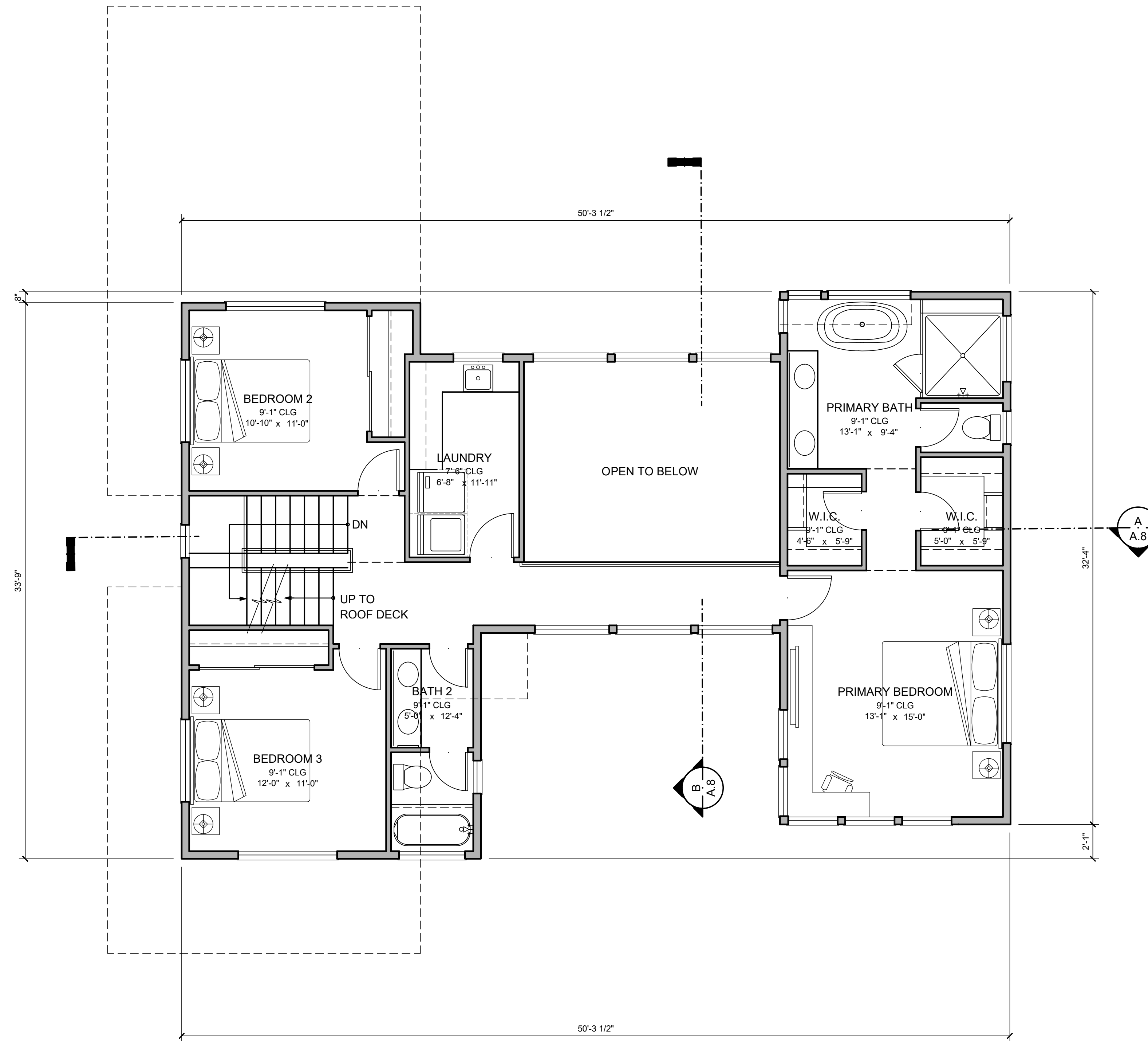
THOMAS JAMES HOMES



DATE 12-14-2021
JOB NO. 1641.005

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925-251-7200

A.3



3 BEDROOMS / 2.5 BATH +
1 BEDROOM / 1 BATH ADU

FLOOR AREA	
FIRST FLOOR	925 SQ. FT.
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TOTAL LIVING	2013 SQ. FT.
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FAR: (LIVING + GARAGE)	2013 SQ. FT.
MAX. FAR	2400 SQ. FT.
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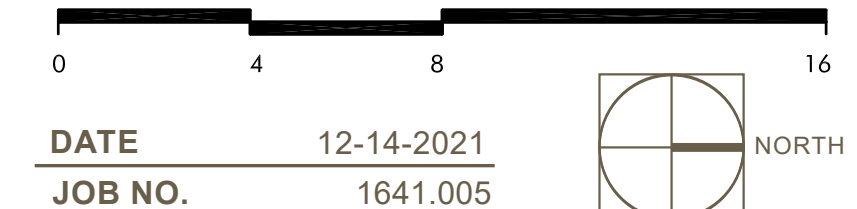
LOT COVERAGE	
FIRST FLOOR	925 SQ. FT.
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FLOOR PLAN 2

411 CREST DRIVE, EMERALD HILLS
D26A MODERN

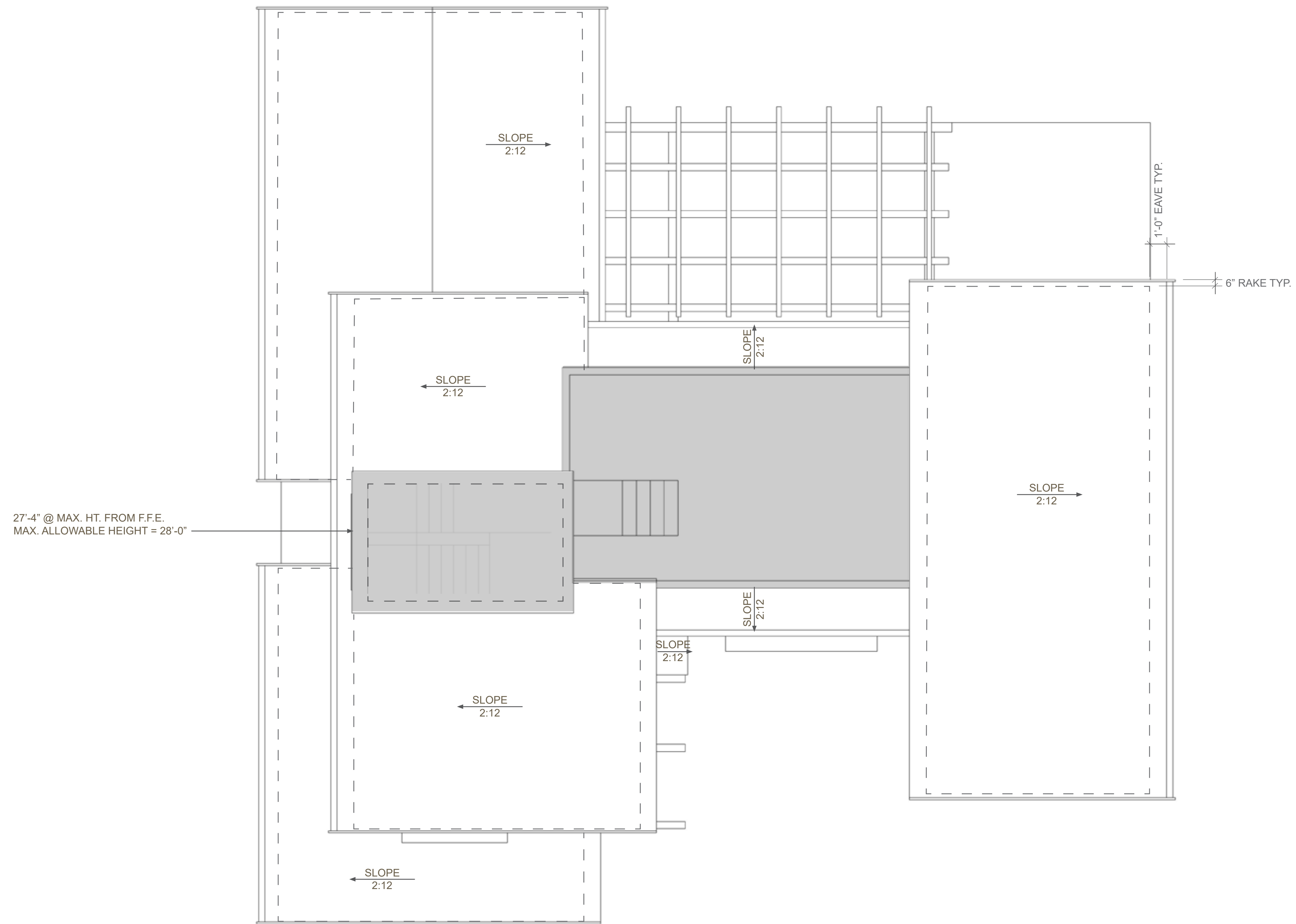
THOMAS JAMES HOMES



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JOB NO. 1641.005

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A.4



FLAT ROOF LOCATIONS
FLAT ROOFS < 50% OF
TOTAL ROOF AREA

ROOF PLAN

411 CREST DRIVE, EMERALD HILLS
D26A MODERN

THOMAS JAMES HOMES



0 4 8 16

DATE 12-14-2021
JOB NO. 1641.005

NORTH

5865 Owens Drive
Pleasanton, CA 94588
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A.5

ROOF MATERIAL
COMPOSITION SHINGLE

ACCENT MATERIAL
ROOF TRIM

BODY COLOR 2
SMOOTH STUCCO

ACCENT MATERIAL
CEDAR SIDING

BODY COLOR 1
SMOOTH STUCCO

ACCENT MATERIAL
FRONT DOOR



27'-4"

F.F.E. = +/- 127.9

NATURAL GRADE

1/4" = 1'-0"

FRONT ELEVATION

ROOF MATERIAL
COMPOSITION SHINGLE

ACCENT MATERIAL
ROOF TRIM

BODY COLOR 1
SMOOTH STUCCO

ACCENT MATERIAL
CEDAR SIDING

BODY COLOR 2
SMOOTH STUCCO



27'-4"

NATURAL GRADE

F.F.E. = +/- 127.9

1/4" = 1'-0"

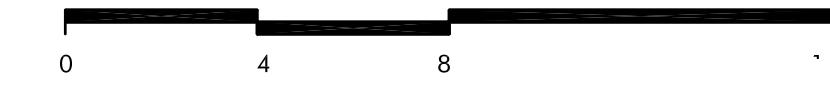
REAR ELEVATION

WINDOWS
MARVIN ESSENTIAL ALL ULTREX
WINDOWS TYP. - NO GRIDS OR
SPACE BARS

ELEVATIONS

411 CREST DRIVE, EMERALD HILLS
D26A MODERN

THOMAS JAMES HOMES



DATE 12-14-2021
JOB NO. 1641.005

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925-251-7200

A.6

ROOF MATERIAL
COMPOSITION SHINGLE
 ACCENT MATERIAL
ROOF TRIM

BODY COLOR 2
SMOOTH STUCCO

ACCENT MATERIAL
CEDAR SIDING
 ACCENT MATERIAL
METAL POSTS



ROOF MATERIAL
COMPOSITION SHINGLE
 ACCENT MATERIAL
ROOF TRIM

ACCENT MATERIAL
CEDAR SIDING

BODY COLOR 2
SMOOTH STUCCO



WINDOWS
MARVIN ESSENTIAL ALL ULTREX
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ELEVATIONS

411 CREST DRIVE, EMERALD HILLS
 D26A MODERN

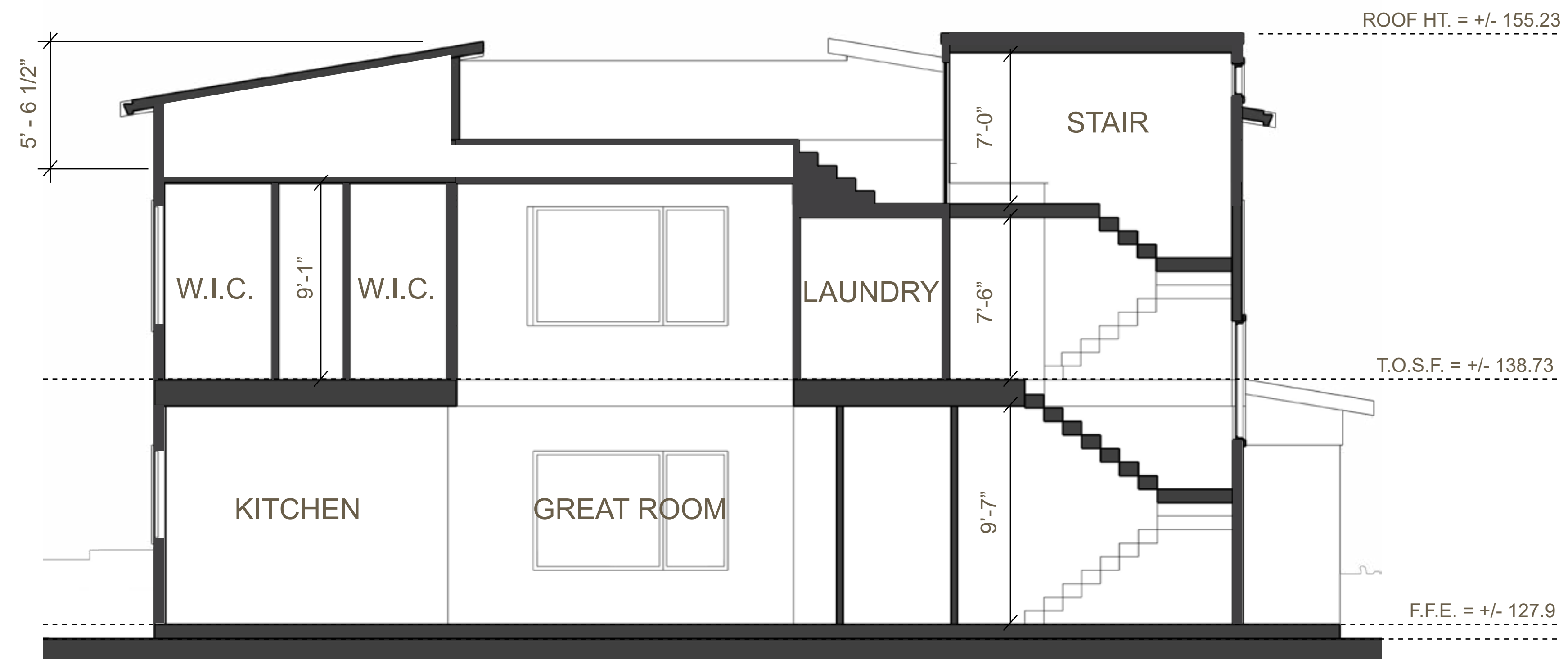
THOMAS JAMES HOMES



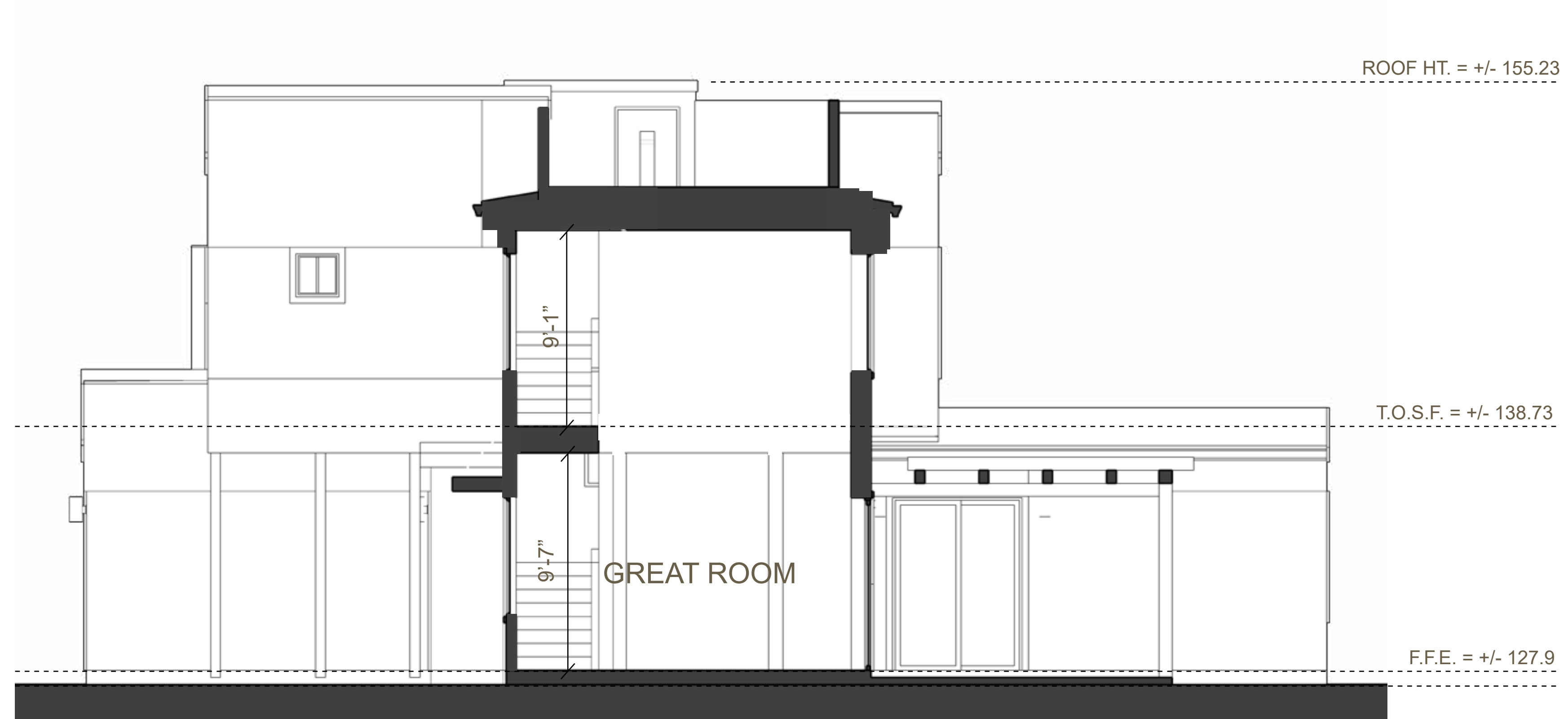
DATE 12-14-2021
 JOB NO. 1641.005

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 925-251-7200

A.7



PLAN 1 - SECTION - A 1/4" = 1'-0"

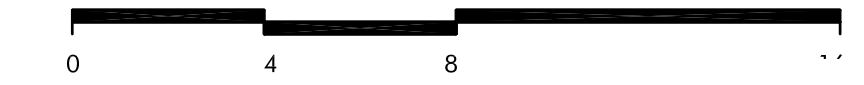


PLAN 1 - SECTION - B 1/4" = 1'-0"

SECTIONS

411 CREST DRIVE, EMERALD HILLS
D26A MODERN

THOMAS JAMES HOMES



DATE 12-14-2021
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A.8



PERSPECTIVE VIEW

411 CREST DRIVE, EMERALD HILLS
D26A MODERN

THOMAS JAMES HOMES



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A.9



STREEL LEVEL PERSPECTIVE VIEWS

411 CREST DRIVE, EMERALD HILLS
D26A MODERN

THOMAS JAMES HOMES



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5865 Owens Drive
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A.10



P5675-31 - Cylinder - Two Light wall bracket in Modern style - 5 Inches wide by 14 Inches high by Progress Lighting

Specs	
Width/Diameter (in):	5.00"
Height:	14.00"
Depth/Extension:	7.88"
Back Plate Length:	4.50"
Back Plate Width:	4.50"
Height from Center:	7.00"
Weight:	2.80 lbs.
Wire Length:	6.00"
# of Bulbs:	2
Standard Wattage:	75 Watts
Bulb Type:	PAR-30/BR-30
Design Style:	Modern/Transitional
Voltage Rating:	120 V
Material:	Porcelain/Cast Aluminum

EXTEIOR LIGHTING



BODY COLOR 1
SMOOTH STUCCO



BODY COLOR 2
SMOOTH STUCCO



ACCENT MATERIAL
WOOD SIDING



ACCENT COLOR
DOORS/METAL ACCENTS



ROOF MATERIAL
COMPOSITION SHINGLE



EXTERIOR LIGHTING

PROGRESS LIGHTING
Outdoor Up/Down Wall Cylinder
Model # P5675-31
Black

GARAGE DOOR

CLOPAY MODERN STEEL
GL-SOL-SOL-SOL
Frosted Glass

COLORS & MATERIALS

411 CREST DRIVE, EMERALD HILLS
D26A MODERN

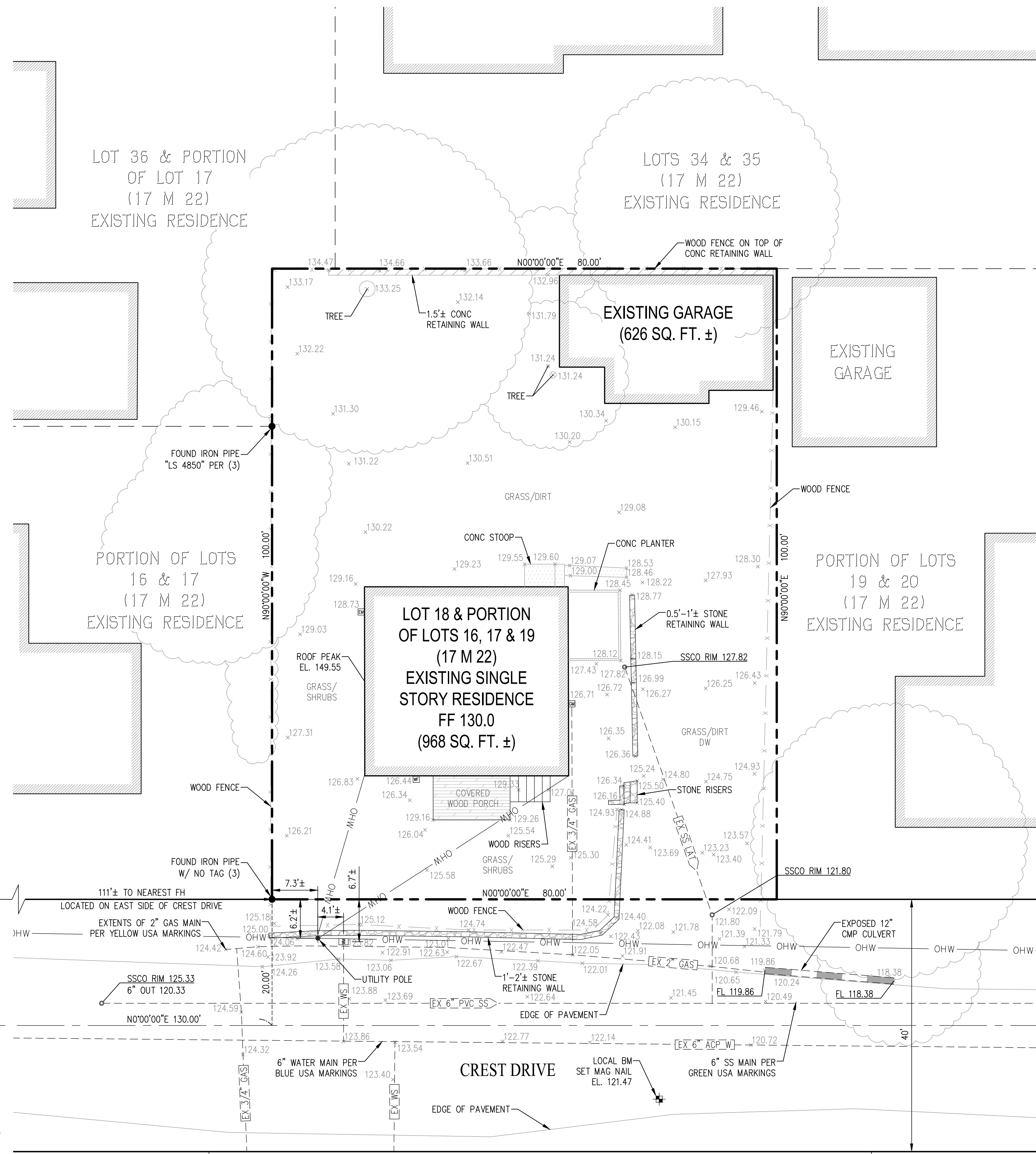
THOMAS JAMES HOMES



DATE 12-14-2021
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5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.11



TITLE REPORT

FIDELITY NATIONAL TITLE COMPANY
 TITLE NO. FSMO-1082100553-BD
 DATED MARCH 4, 2021

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA IN COUNTY OF SAN MATEO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

THE NORTHERLY 10 FEET MEASURED AT RIGHT ANGLES SOUTHERLY FROM THE MOST NORTHERLY LINE OF LOTS 16 AND 17 AND ALL OF LOT 18 AND THE SOUTHERLY 10 FEET FRONT AND REAR MEASUREMENTS OF LOT 19, AS SHOWN ON THAT CERTAIN MAP ENTITLED "OAK KNOLL HEIGHTS NEAR REDWOOD CITY, CALIFORNIA", WHICH MAP WAS FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON SEPTEMBER 17, 1928 IN BOOK 17 OF MAPS, PAGES 22 AND 23, PURSUANT TO NOTICE OF LOT MERGER RECORDED DECEMBER 5, 1979 IN BOOK 7920, PAGE 835 OF OFFICIAL RECORDS.

EXCEPTIONS AND EXCLUSIONS:

- (#) INDICATES TITLE REPORT ITEM NUMBER
- ITEMS (1) THROUGH (5) RELATE TO TAXES, LIENS, COVENANTS, CONDITIONS, RESTRICTIONS, AND THE TITLE, AND CANNOT BE PLOTTED.
- ITEMS (6) THROUGH (8) RELATE TO AN INSPECTION AND ALTA, AND DEEDS OF TRUST, AND CANNOT BE PLOTTED.

BENCHMARK:

BENCHMARK ID: LOCAL BENCHMARK
 DESCRIPTION: SET MAG NAIL IN THE STREET OF CREST DRIVE.
 ELEVATION: 121.47' (ASSUMED)

BASIS OF BEARINGS:

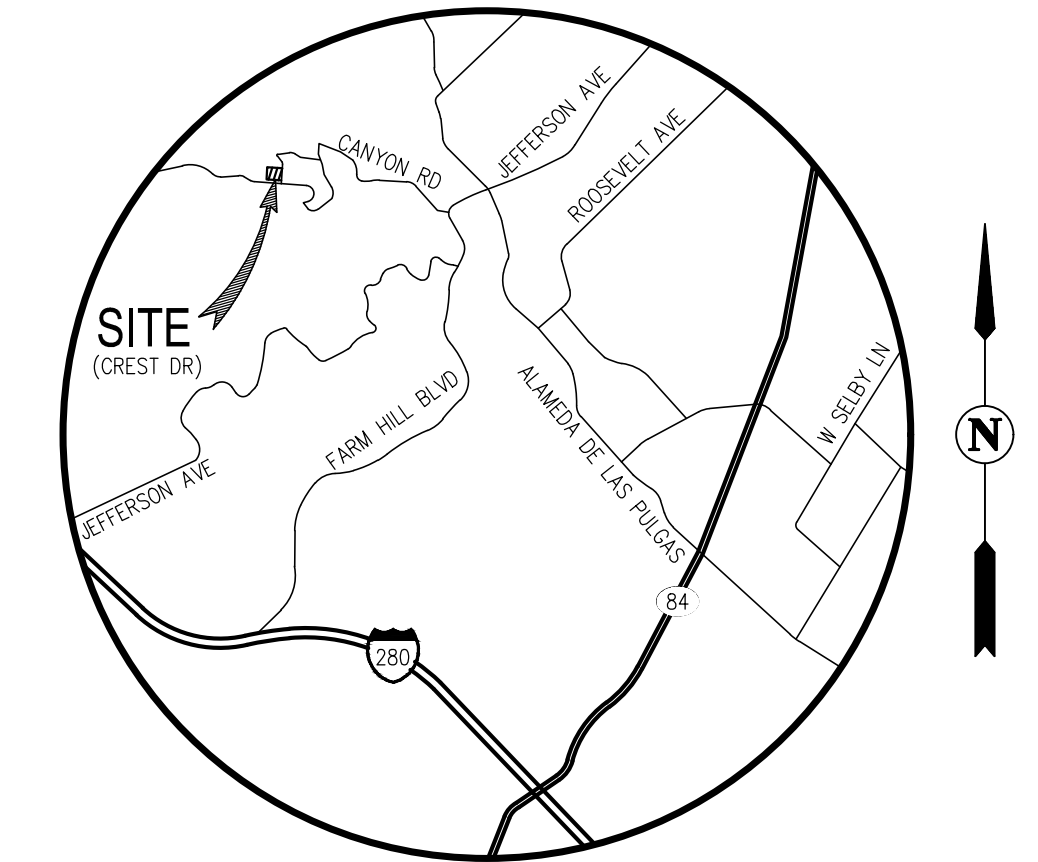
THE BASIS OF BEARING FOR THIS SURVEY IS THE CENTERLINE OF SUMMIT DRIVE, BEING N90°00'00"W PER "OAK KNOLL HEIGHTS NEAR REDWOOD CITY, CALIFORNIA" (17 LLS 22).

ASSESSOR'S PARCEL NUMBER:

057-203-050

LEGEND & ABBREVIATIONS

	PROPERTY BOUNDARY LINE		FOUND STREET MONUMENT
	EXISTING RIGHT OF WAY		EXISTING SANITARY SEWER MANHOLE
	EXISTING CENTERLINE		LOCAL BENCHMARK
	TIE LINE	BM	BENCHMARK
	EXISTING UTILITY LINE	CONC	CONCRETE
	ADJACENT PROPERTY BOUNDARY LINE	DW	DRIVEWAY
	EXISTING STRUCTURE	EL	ELEVATION
	FENCE LINE	FL	FLOW LINE
	EXISTING ELECTRIC METER	FF	FINISHED FLOOR
	EXISTING GAS METER	FH	FIRE HYDRANT
	EXISTING WATER FAUCET	OHW	OVERHEAD WIRES
	GROUND ELEVATION	SS	SANITARY SEWER
	EXISTING FIRE HYDRANT	SSCO	SANITARY SEWER CLEANOUT
	FOUND MONUMENT AS NOTED	W	WATER
		WS	WATER SERVICE



VICINITY MAP
 NOT TO SCALE

NOTES:

- 1) RECORD INFORMATION AND PROPERTY DESCRIPTION ARE PER TITLE REPORT AND MAPS LISTED HEREON. THIS IS NOT A BOUNDARY SURVEY.
- 2) UTILITIES SHOWN ARE BASED ON OBSERVED EVIDENCE AT THE TIME OF THE FIELD SURVEY. ADDITIONAL RESEARCH AND INVESTIGATION WOULD BE REQUIRED TO DETERMINE THE EXACT LOCATIONS OF UNDERGROUND UTILITIES. DO NOT RELY ON THIS SURVEY FOR SUCH LOCATIONS. SOME UTILITIES COULD BE COVERED BY STRUCTURES OR OBJECTS SUCH AS AUTOMOBILES, TRUCKS, CONTAINERS, ETC.
- 3) ALL DISTANCES SHOWN ARE FEET AND DECIMALS THEREOF.
- 4) ALL TIES SHOWN HEREON ARE PERPENDICULAR UNLESS OTHERWISE NOTED.

REFERENCES:

- (#) INDICATES REFERENCE NUMBER
- (1) OAK KNOLL HEIGHTS (17 M 22)
- (2) TRACT NO. S 927 (133 M 9)
- (3) RECORD OF SURVEY (10 LLS 78)
- (4) TRACT NO. 913 (121 M 16)

FLOOD ZONE:

ZONE X: AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP, MAP NUMBER 06081C0282E

DATED: OCTOBER 16, 2012

AREA:

8,000 SQ. FT. MORE OR LESS.

411 CREST DRIVE TOPOGRAPHIC SURVEY

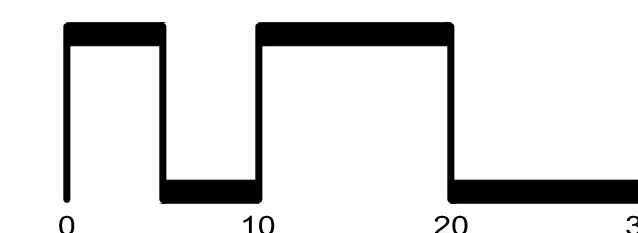
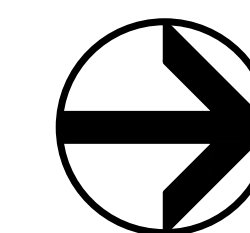
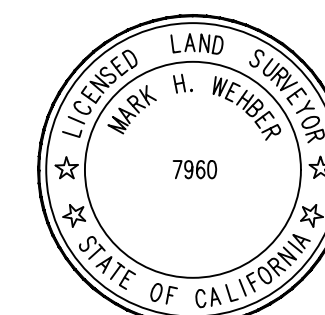
SAN MATEO COUNTY CALIFORNIA
 SCALE: 1" = 10' DATE: MARCH 25, 2021

SURVEYOR'S STATEMENT:

THIS TOPOGRAPHIC SURVEY REPRESENTS A SURVEY BY ME OR UNDER MY DIRECTION.

MARK H. WEHBER
 REGISTERED L.S. NO. 7960

3/25/21
 DATE

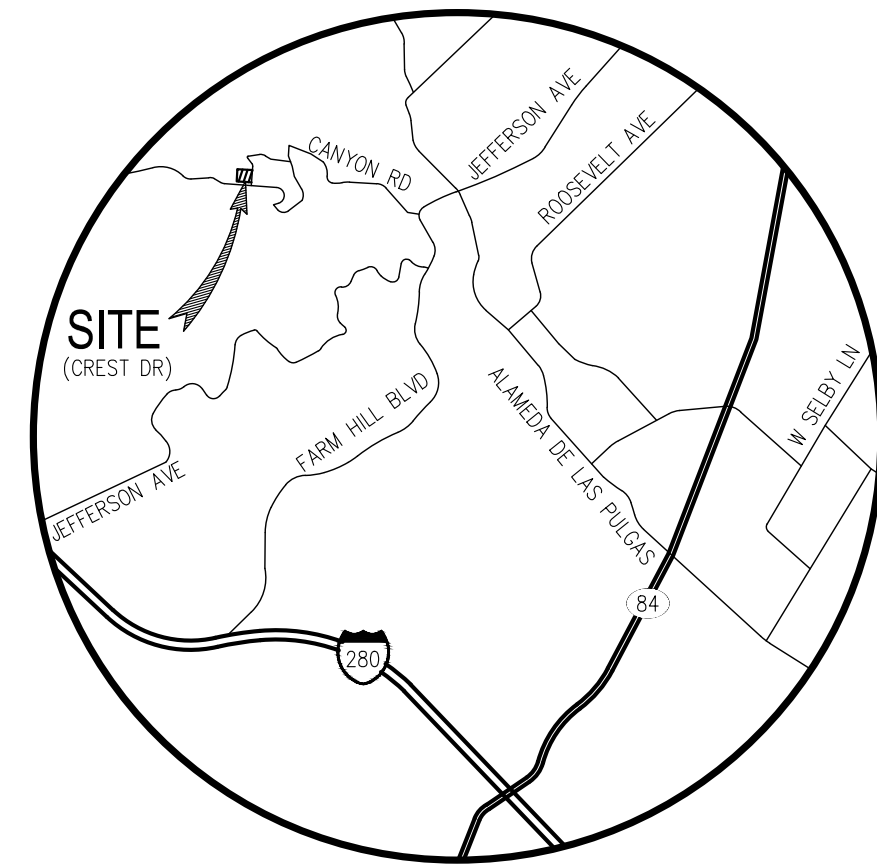


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CIVIL ENGINEERS • SURVEYORS • PLANNERS

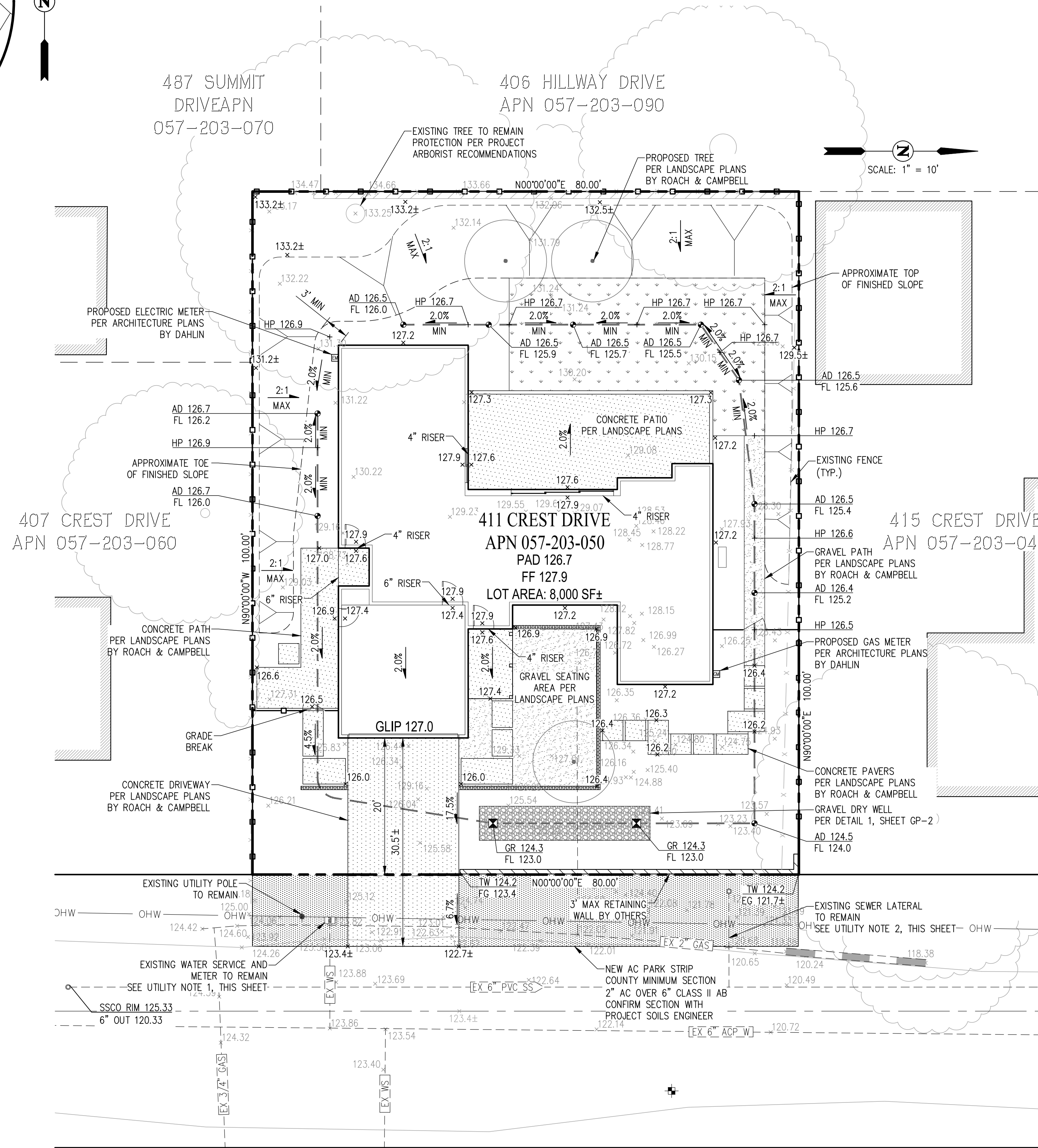
SHEET NO.
1
 OF 1 SHEETS



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- SITE ADDRESS: 411 CREST DRIVE, REDWOOD CITY, CA 94062
- OWNER: THOMAS JAMES HOMES, 255 SHORELINE DRIVE, SUITE 428, REDWOOD CITY, CA 94065, (650) 434-7966, KEN KING
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC., 2633 CAMINO RAMON, SUITE 350, SAN RAMON, CA 94583, (925) 866-0322, JUSTIN R. DEKNOBLOUGH, R.C.E. 79604
- SOILS ENGINEER: MID PACIFIC ENGINEERING, INC., 840 EMBARCADEOR DRIVE, SUITE 20, WEST SACRAMENTO, CA 95605, (916) 927-7000, TROY KAMISKY, R.C.E. 68350
- ARCHITECT: DAHLIN, 5865 OWENS DRIVE, PLEASANTON, CA 94588, (925) 251-7304, JAIME MATHERON
- LANDSCAPE ARCHITECT: ROACH AND CAMPBELL, 111 SCRIPPS DRIVE, SACRAMENTO, CA 95825, (916) 945-8003, AIMEE HENDRIE
- THIS PLAN IS PRELIMINARY AND FOR DESIGN REVIEW PURPOSES ONLY. THE INFORMATION INCLUDING BUT NOT LIMITED TO GRADING, DRAINAGE AND UTILITIES, IS SUBJECT TO CHANGE DURING DESIGN REVIEW PROCESS. THE PLAN WAS PREPARED WITH OUT THE BENEFIT OF STRUCTURAL OR MEP PLANS.
- CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES, AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, OSHA, AND INDUSTRIAL ACCIDENT COMMISSION RELATING TO THE SAFETY AND CHARACTER OF WORK, EQUIPMENT, AND LABOR PERSONNEL.
- THE CONTRACTOR SHALL CONTACT CARLSON, BARBEE AND GIBSON, INC. AT (925) 866-0322 IF DISCREPANCIES EXIST ON THESE PLANS OR IF THE WORK TO BE DONE, OR ANY MATTER RELATED THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS.
- THE GEOTECHNICAL REPORT, NAMED GEOTECHNICAL ENGINEERING REPORT (MPE PROJECT NO. 05313-01), APRIL 14, 2021 SHALL BE RETAINED ON THE CONSTRUCTION SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL GEOTECHNICAL RECOMMENDATIONS DURING, DEMOLITION AND GRADING OPERATIONS.
- ROOF DOWNSPOUTS SHALL BE CONNECTED TO THE ON-SITE UNDERDRAIN SYSTEM. AT THE TIME OF THIS PLAN'S PRODUCTION, A ROOF PLAN WITH DOWNSPOUT LOCATIONS WAS NOT AVAILABLE.
- EARTHWORK QUANTITIES ARE PRELIMINARY AND SUBJECT TO CHANGE DEPENDING ON SITE CONDITIONS AND FINAL PLANS.



LEGEND & ABBREVIATIONS

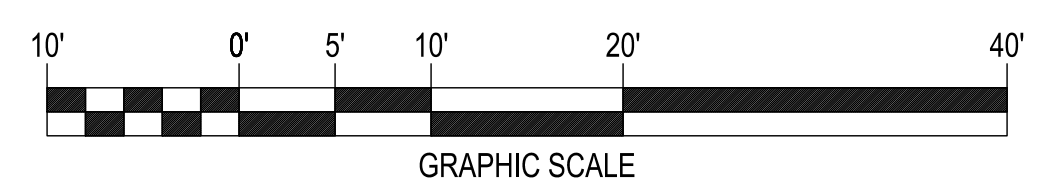
- PROPERTY BOUNDARY
- - - ADJOINER PROPERTY
- CENTERLINE
- PROPOSED BUILDING
- PROPOSED FENCE TO REPLACE EXISTING FENCE
- OHW --- EXISTING OVERHEAD ELECTRICAL WIRE
- AREA DRAIN PIPE
- PROPOSED ASPHALT/CONCRETE FLATWORK
- EXISTING PAVEMENT
- DECORATIVE GRAVEL (SEE LANDSCAPE PLANS)
- TURF (SEE LANDSCAPE PLANS)
- PROPOSED AREA DRAIN
- PROPOSED TREE (SEE LANDSCAPE PLANS)
- PROPOSED FIELD INLET
- PROPOSED BUBBLE UP
- EXISTING WATER METER
- PROPOSED SPOT GRADE
- EXISTING SPOT GRADE
- EXISTING TREE
- EXISTING STRUCTURE ON ADJOINER LOT
- PROPOSED SANITARY SEWER LATERAL
- EXISTING UTILITY AS NOTED
- PROPOSED ELECTRIC METER (SEE PLANS BY DAHLIN)
- PROPOSED DOWNSPOUT (SEE PLANS BY DAHLIN)
- AIR CONDITIONING
- AD AREA DRAIN
- BU BUBBLE UP
- EX EXISTING
- FF FINISHED FLOOR ELEVATION
- FL FLOWLINE
- GLIP GARAGE LIP
- GPAD GARAGE PAD
- GR GRATE
- HP HIGH POINT
- INV INVERT
- LAT LATERAL
- MIN MINIMUM
- OHW OVERHEAD WIRE
- SD STORM DRAIN
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- TC TOP OF CURB
- W WATER
- WS WATER SERVICE

UTILITY NOTES

- EXISTING WATER SERVICE LATERAL TO REMAIN. WATER METER TO BE RELOCATED OUTSIDE OF NEW SIDEWALK AND INTO LANDSCAPE STRIP. IF EXISTING METER IS LESS THAN 1" METER, EXISTING METER IS TO BE REMOVED AND REPLACED WITH 1" WATER METER PER CALIFORNIA WATER SERVICE STANDARD DRAWING CW-555R14. WATER PROVIDER TO DETERMINE IF EXISTING SERVICE LATERAL IS SUITABLE FOR PROJECT FLOWS. IF WATER METER IS WITHIN DRIVEWAY OR AC PARKING STRIP, THE METER BOX AND LID MUST BE UPGRADED TO A TRAFFIC RATED BOX AND LID. THE WATER METER LAYOUT FROM THE BACK OF METER TO THE HOUSE IS SHOWN FOR REFERENCE ONLY AND SHALL BE CONSTRUCTED PER MEP PLANS BY GOUVIS ENGINEERING.
- EXISTING SANITARY SEWER LATERAL TO REMAIN. A NEW PROPERTY LINE CLEANOUT SHALL BE INSTALLED PER SAN MATEO COUNTY STANDARD DETAIL C-3. IF THE EXISTING SEWER LATERAL IS INSPECTED AND DETERMINED UNSUITABLE FOR REUSE, A NEW LATERAL SHALL BE INSTALLED PER SAN MATEO COUNTY STANDARD DETAIL C-5. REFER TO SHEETS GP-3 AND GP-4 FOR ADDITIONAL SEWER NOTES AND DETAILS. THE MATERIAL OF THE EXISTING SANITARY SEWER MAN IS BASED ON FIELD OBSERVATION. CONTRACTOR SHALL VERIFY DEPTHS AND MATERIAL PRIOR TO CONSTRUCTION AND NOTE ANY DISCREPANCIES. THE ALIGNMENT OF THE SANITARY SEWER LATERAL FROM THE CLEANOUT TO THE HOUSE IS SHOWN FOR REFERENCE ONLY AND SHALL BE CONSTRUCTED PER APPROVED PLUMBING PLANS BY GOUVIS ENGINEERING.
- THE EXISTING GAS SERVICE LATERAL WILL BE ABANDONED. THE LOCATION OF THE EXISTING GAS MAIN IS UNKNOWN AND SHALL BE VERIFIED PRIOR TO ANY WORK AFFECTING GAS LINE. THIS PLAN DOES NOT COVER ABANDONMENT OF THE EXISTING GAS LATERAL.
- NEW DRY UTILITY SERVICE CONNECTIONS TO FOLLOW PLAN BY DRY UTILITY CONSULTANT.
- THE LOCATIONS OF THE UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY WORK AFFECTING EXISTING UTILITY LINES TO DETERMINE IF CONFLICTS EXIST.

EARTHWORK SUMMARY

CUT	250 CY
FILL	200 CY
NET	50 CY (CUT)



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

DATE: DEC 2021
DRAWN BY: REN
PROJECT: REN
PROJ. MGR: JRD

REG. OFFERED PROFESSIONAL ENGINEER
JUSTIN R. DEKNOBLOUGH
79604
CIVIL
STATE OF CALIFORNIA

cbg
CIVIL ENGINEERS

411 CREST DRIVE
SACRAMENTO, CA 95825
WWW.CBANDG.COM

THOMAS JAMES HOMES
GRADING, DRAINAGE & UTILITY PLAN
SAN MATEO COUNTY
CALIFORNIA

SHEET NUMBER
GP-1
OF 4
JOB NUMBER
3085-00



COUNTY GENERAL NOTES

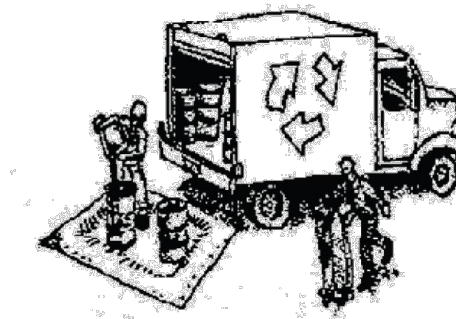
- ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITY CROSSINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID LINES. CONTACT USA AT 811 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION.
- ALL APPLICABLE WORK AND MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE SAN MATEO COUNTY STANDARDS.
- THE CONTRACTOR SHALL RESTORE ALL DAMAGED, REMOVED OR OTHERWISE DISTURBED WALLS, FENCES, SERVICES, UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE, DUE TO CONTRACTOR'S WORK.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE INSTALLATION OF FACILITIES BY PC&E, PACIFIC BELL, AND CABLE TV INSTALLATION. VALVE BOXES AND MANHOLES, AND STRUCTURES TO BE SET TO GRADE IN CONCRETE AFTER PAVING.
- ALL STREET MONUMENTS AND OTHER PERMANENT MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED BEFORE ACCEPTANCE OF THE IMPROVEMENTS BY THE COUNTY ENGINEER.
- FOR LANE CLOSURES, THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN AND OBTAIN APPROVAL OF THE CITY ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE FLAGMEN, CONES OR BARRICADES, AS NECESSARY TO CONTROL TRAFFIC AND PREVENT HAZARDOUS CONDITIONS PER THE CALIFORNIA STANDARD PLANS, SPECIFICATIONS, AND MANUAL ON TRAFFIC CONTROL DEVICES, LATEST EDITION.
- NO TRENCHES OR HOLES SHALL BE LEFT OPEN OVERNIGHT; USE STEEL PLATING OR HOT-MIX ASPHALT AS REQUIRED TO PROTECT OPEN TRENCHES OVERNIGHT.
- THE CONTRACTOR SHALL CONTROL DUST AT ALL TIMES AND SWEET STREETS AS OFTEN AS NECESSARY DURING CONSTRUCTION AS REQUIRED BY THE COUNTY ENGINEER.
- ALL REVISIONS TO THIS PLAN MUST BE REVIEWED AND APPROVED BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS STAMPED AND SIGNED BY CITY COUNTY ENGINEER PRIOR TO THE INSTALLATION OF THE IMPROVEMENTS.
- ALL CONSTRUCTION STAKING FOR CURB, GUTTER, SIDEWALK, SANITARY SEWERS, STORM DRAINS, WATER LINES, FIRE HYDRANTS, ELECTROLERS, ETC., SHALL BE DONE BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.
- THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD. THE GEOTECHNICAL ENGINEER OF RECORD SHALL FOLLOW CBC2019 FOR ALL CONSTRUCTION OBSERVATION REQUIREMENTS.



Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



- Non-Hazardous Materials**
- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
 - Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
 - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
 - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
 - Arrange for appropriate disposal of all hazardous wastes.

- Waste Management**
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
 - Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
 - Clean or replace portable toilets, and inspect them frequently for leaks and spills.
 - Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipe, etc.).
 - Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

- Construction Entrances and Perimeter**
- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
 - Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

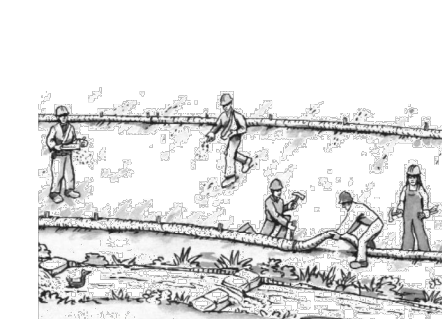
Equipment Management & Spill Control



- Maintenance and Parking**
- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
 - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
 - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
 - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
 - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

- Spill Prevention and Control**
- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
 - Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
 - Clean up spills or leaks immediately and dispose of cleanup materials properly.
 - Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
 - Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
 - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
 - Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

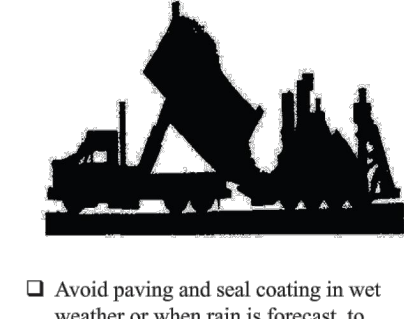
Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

- Contaminated Soils**
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

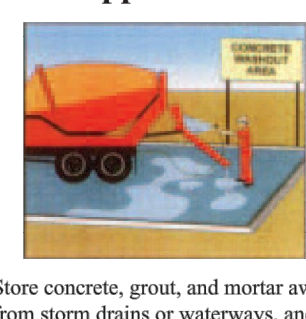


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



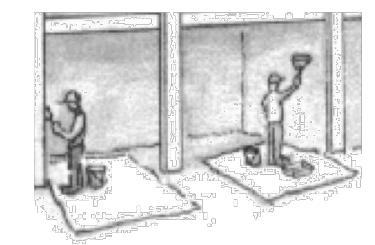
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



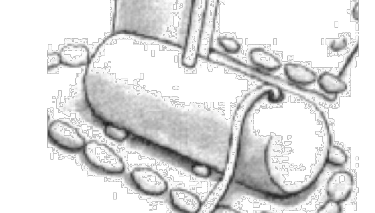
- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



- Painting Cleanup and Removal**
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
 - For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
 - For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
 - Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
 - Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

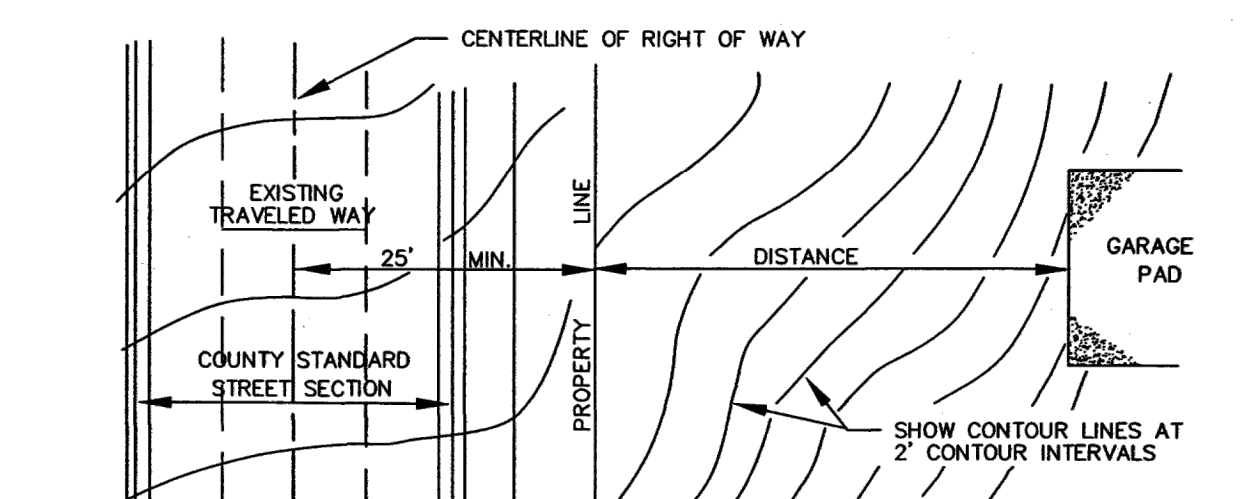
Dewatering



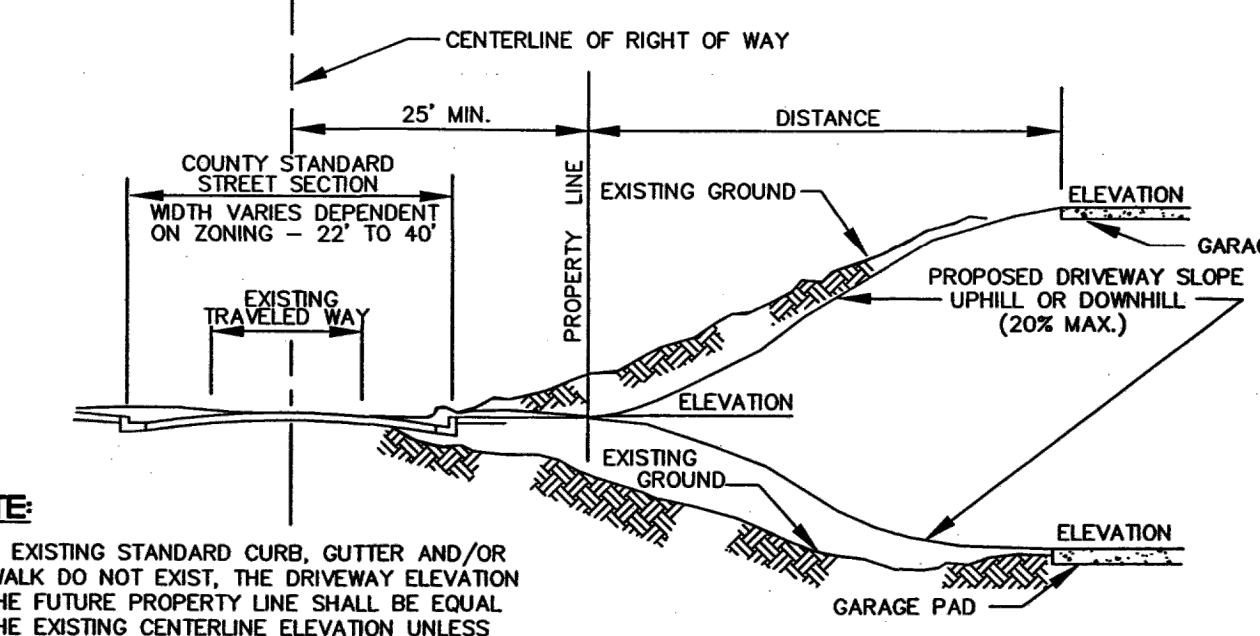
- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS
 DRAWN BY: N.M.A. SCALE: NONE
 CHECK BY: J.A.L. DATE: 6/95
 APPROVED BY: N.R.C. REVISED:

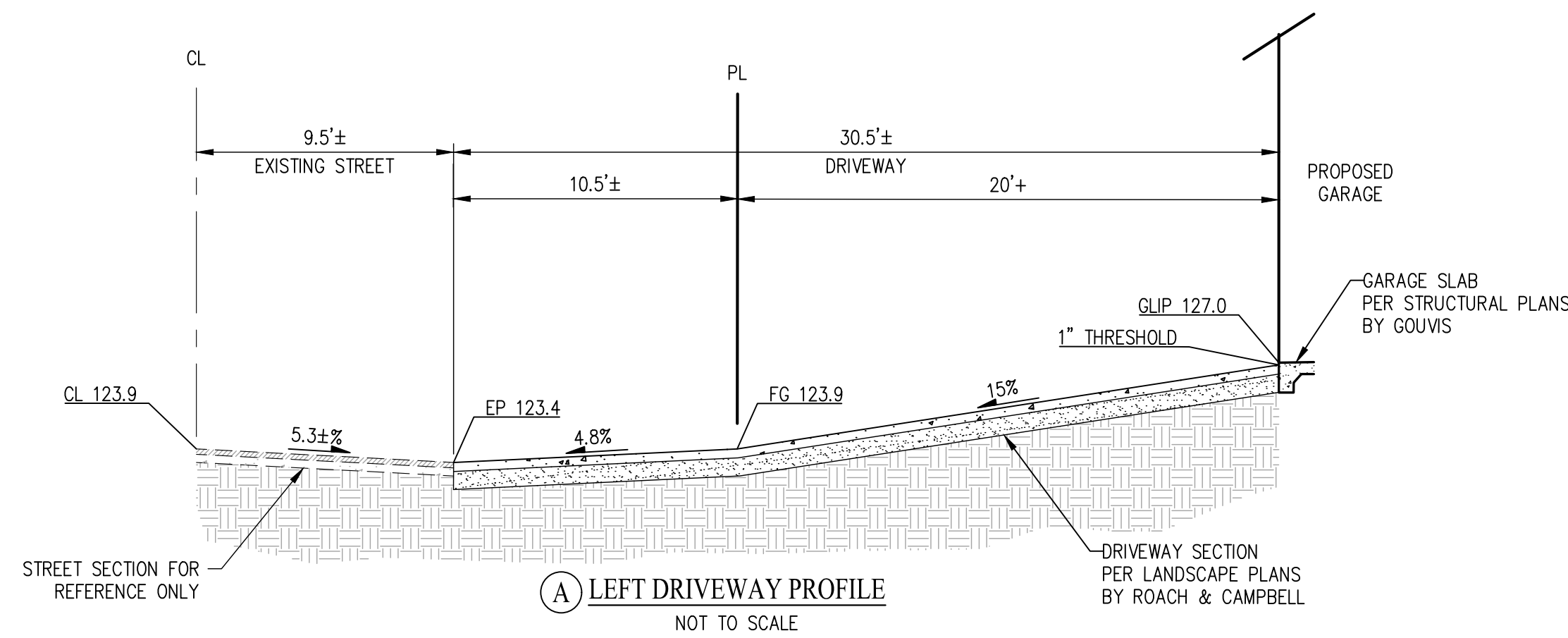


DRIVEWAY PLAN VIEW

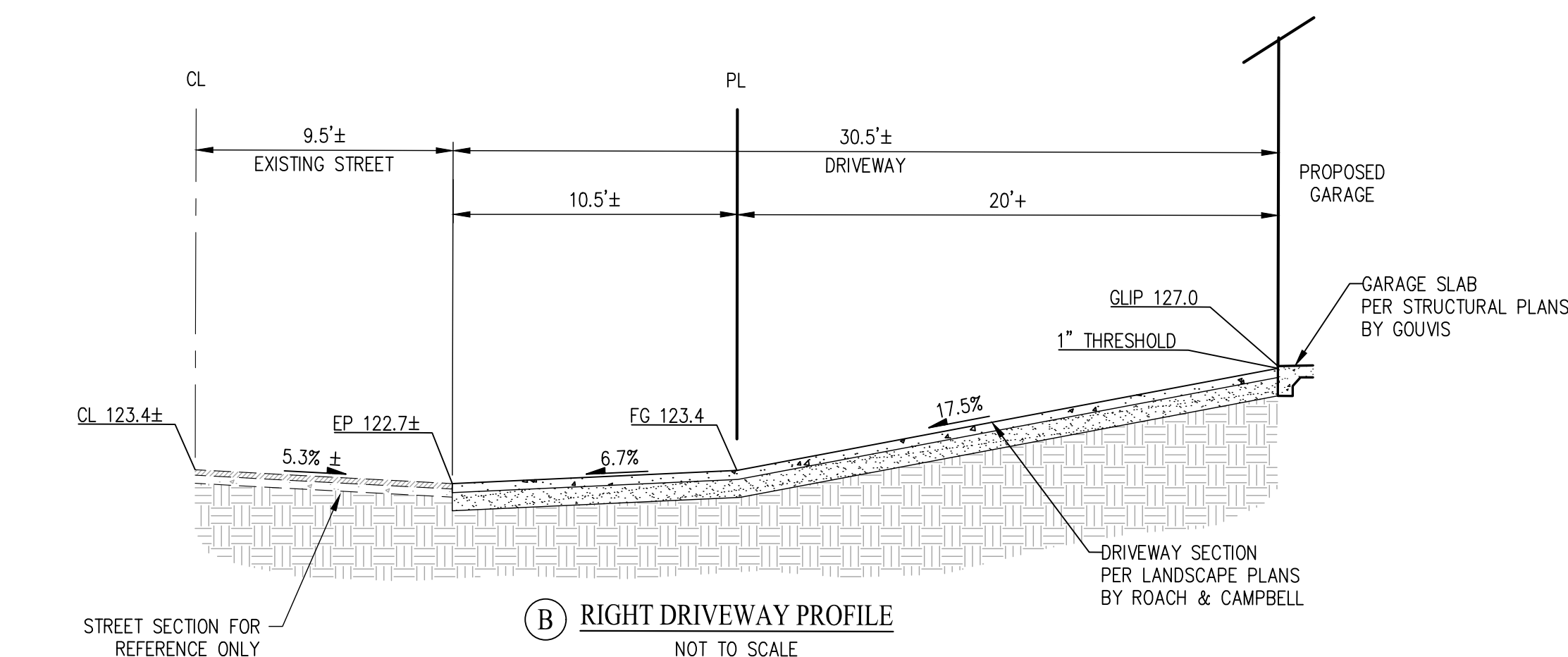


DRIVEWAY PROFILE VIEW

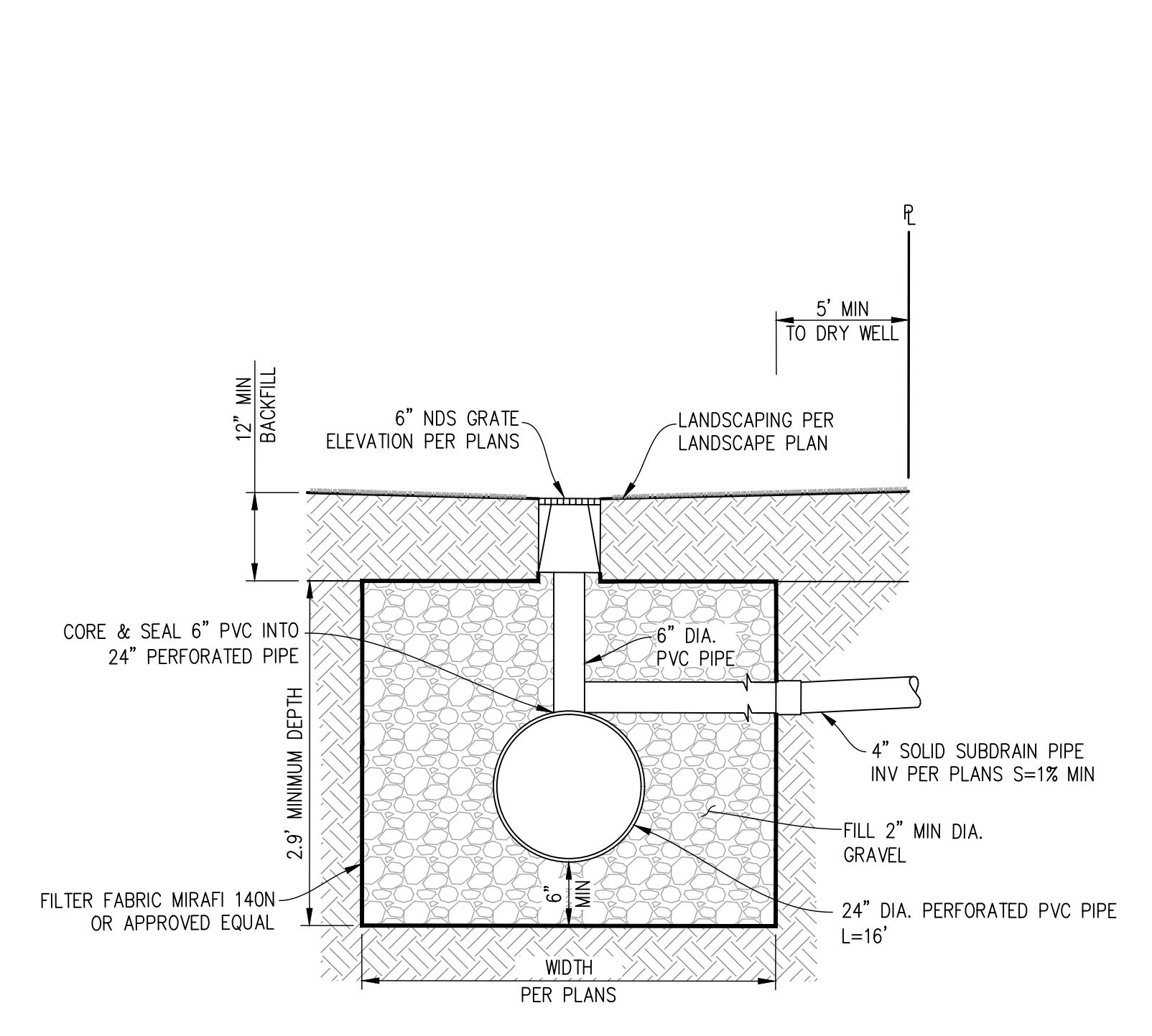
D-7



LEFT DRIVEWAY PROFILE NOT TO SCALE



RIGHT DRIVEWAY PROFILE NOT TO SCALE



DRY WELL 1 SECTION DETAIL NOT TO SCALE

NOTES:

- THE SOIL UNDER THE DRY WELL SHALL BE OVER-EXCAVATED TO AT LEAST ONE FOOT IN DEPTH. THE SOIL SHALL BE RE-PLACED UNIFORMLY WITHOUT COMPACTION, OR AMENDED WITH 15-30% OF COARSE SAND AND REPLACED WITHOUT COMPACTION.
- DRY WELL TO BE CONSTRUCTED PER COUNTY OF SAN MATEO DRAINAGE MANUAL SECTION 4.0.
- DRY WELLS SHALL BE SETBACK A MINIMUM 5' FROM PROPERTY LINES.

PRELIMINARY PLANS NOT FOR CONSTRUCTION

DATE: DEC 2021
 DRAWN BY: REN
 PROJECT: REN
 PROJ. MGR: JRD



SAN RAMON (925) 866-0322
 SACRAMENTO (916) 375-1877
 WWW.CB9ENGINEERS.COM
 CIVIL ENGINEERS SURVEYORS PLANNERS



4111 CREST DRIVE
 THOMAS JAMES HOMES
 COUNTY GENERAL NOTES,
 DETAILS & CONSTRUCTION BMPs
 SAN MATEO COUNTY CALIFORNIA

SHEET NUMBER
GP-2
 OF 4
 JOB NUMBER
 3085-00

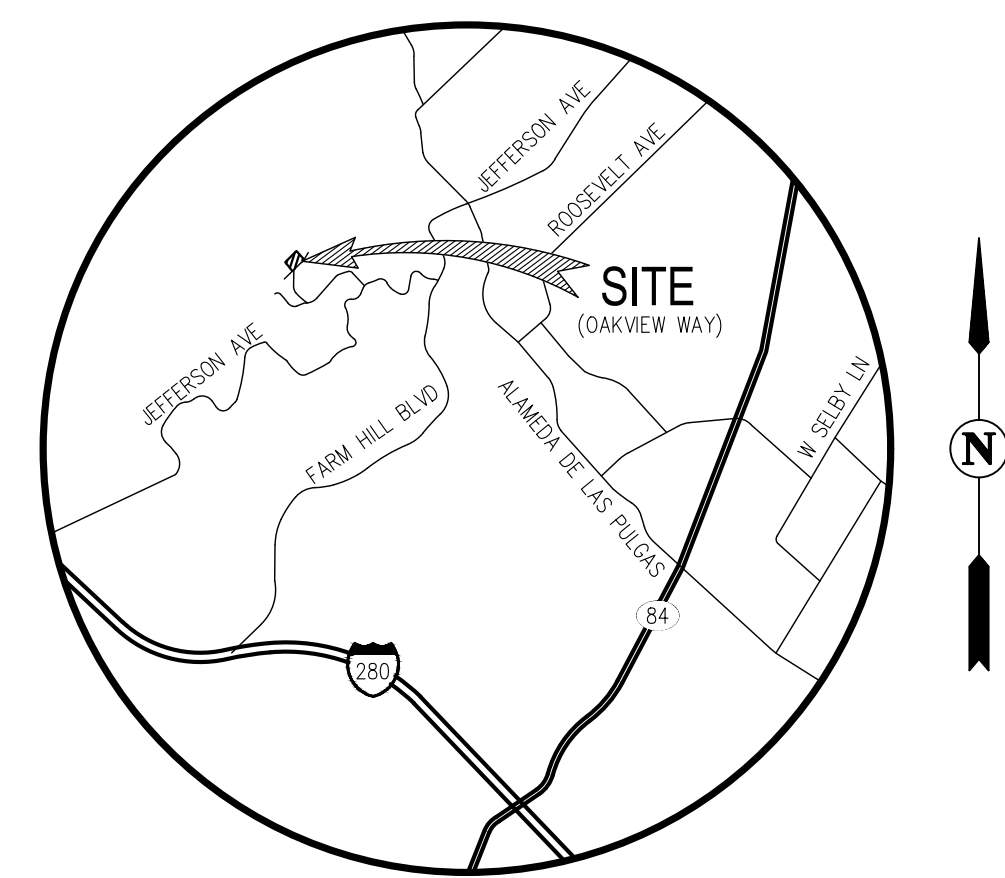
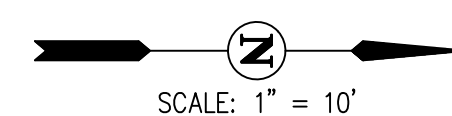
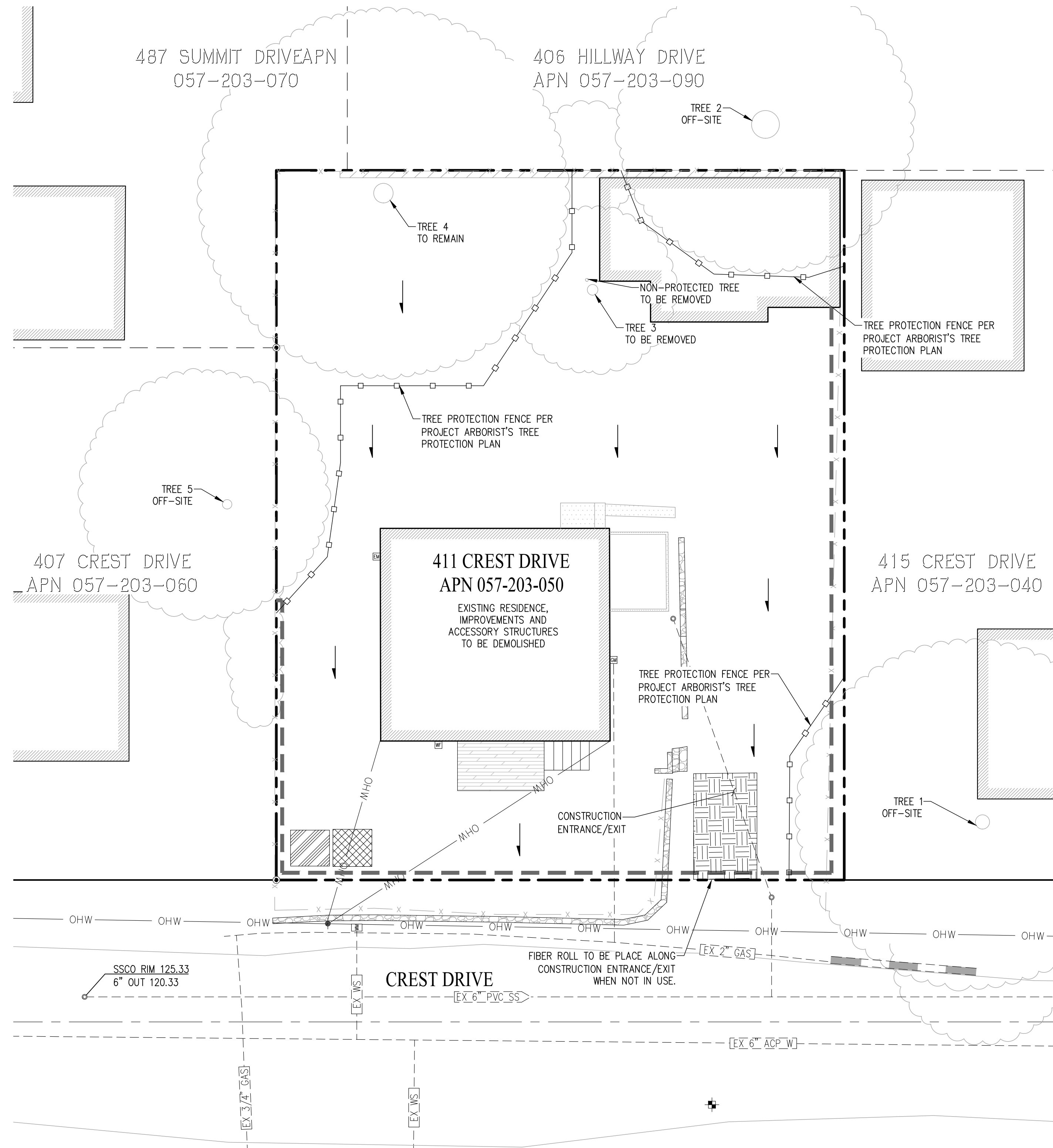


GENERAL NOTES:

1. SITE ADDRESS: 411 CREST DRIVE
REDWOOD CITY, CA 94062
2. OWNER/DEVELOPER: THOMAS JAMES HOMES, LLC
255 SHORELINE DRIVE SUITE 428
REDWOOD CITY, CA 94065
(650) 434-7966
KEN KING
3. CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
(925) 866-0322
JUSTIN R. DEKNOBLOUGH, R.C.E. 79604

BEST MANAGEMENT PRACTICE NOTES:

1. IT SHALL BE THE OWNER'S DUTY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO ENSURE THE ENTIRE SITE IS IN COMPLIANCE WITH LOCAL ORDINANCES PROTECTION THE CASQA CONSTRUCTION BMP GUIDANCE HANDBOOK.
2. THIS PLAN IS INTENDED TO BE UTILIZED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE UTILIZED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
3. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN AS NECESSARY IN THE FIELD. DOCUMENT AND REPORT ANY FIELD CHANGES AND NOTIFY THE CITY OR COUNTY REPRESENTATIVE OF THE FIELD CHANGES.
4. ALL MAINTENANCE AND OPERATION REQUIREMENTS SHALL FOLLOW THE CASQA CONSTRUCTION BMP GUIDANCE HANDBOOK.
5. THE CONTRACTOR OR OWNER SHALL EFFECT AND MAINTAIN PRECAUTIONARY MEASURES NECESSARY TO PROTECT ADJACENT WATERCOURSES AND PUBLIC OR PRIVATE PROPERTY FROM DAMAGE BY EROSION, FLOODING AND DEPOSITION OF MUD OR DEBRIS ORIGINATING FROM THE SITE.
6. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
7. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
8. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
9. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
10. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
11. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
12. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
13. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
14. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
15. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
16. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
17. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
18. DUST CONTROL IS REQUIRED YEAR-ROUND.
19. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
20. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
21. TREE PROTECTION SHALL BE IN PLACE BEFORE ANY DEMOLITION, GRADING, EXCAVATING OR GRUBBING IS STARTED. TREE PROTECTION FENCING IS PLACED AROUND TREES TO CREATE A TREE PROTECTION ZONE. TREE PROTECTION SHOWN IS FOR REFERENCE ONLY AND SHALL BE PLACE ACCORDING TO TREE PROTECTION PLAN BY ROACH AND CAMPBELL AND RECOMMENDATIONS SET FORTH IN THE PROJECT'S ARBORIST REPORT.



VICINITY MAP
NOT TO SCALE

LEGEND

- PROJECT BOUNDARY
- ADJOINER PROPERTY LINE
- EXISTING FENCE
- TREE PROTECTION FENCE
- FIBER ROLL - (SE-5)
- TEMPORARY INLET PROTECTION (SE-10)
- STABILIZED CONSTRUCTION ENTRANCE/EXIT - (TC-1)
- DIRECTION OF FLOW

PROJECT SUPERINTENDENT TO MARK KNOWN LOCATIONS*

- MATERIALS AND EQUIPMENT STORAGE AREA (WM-1 - WM-3**)
- SANITARY FACILITY (WM-9**)

NOTE:

- * THE MATERIALS AND EQUIPMENT STORAGE AREA, SANITARY FACILITY, AND CONCRETE/WASTE WASHOUT ARE ASSUMED LOCATIONS AND ARE SUBJECT TO CHANGE AT THE PROJECT SUPERINTENDENT'S DISCRETION OR DUE TO FIELD CONDITIONS.
- ** DENOTES SECTION RELATED TO BMP IN THE CASQA BMP HANDBOOK.

CURRENT CASQA STORMWATER BMP CONSTRUCTION HANDBOOK DETAILS

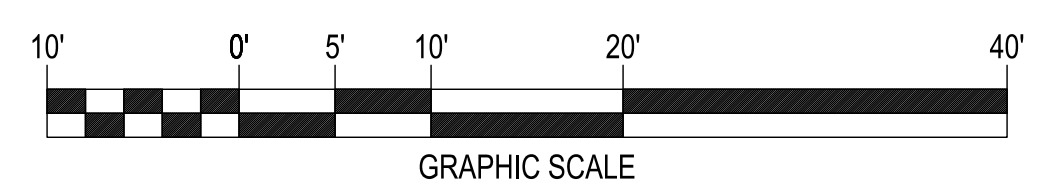
- EC-1 SCHEDULING
- NS-1 WATER CONSERVATION PRACTICES
- NS-8 VEHICLE & EQUIPMENT CLEANING
- NS-9 VEHICLE & EQUIPMENT FUELING
- NS-10 VEHICLE & EQUIPMENT MAINTENANCE
- NS-12 CONCRETE CURING
- NS-13 CONCRETE FINISHING
- SE-1 SILT FENCE
- SE-5 FIBER ROLLS
- SE-10 STORM DRAIN INLET PROTECTION
- TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
- WE-1 WIND EROSION CONTROL
- WM-1 MATERIAL DELIVERY & STORAGE
- WM-2 MATERIAL USE
- WM-3 STOCKPILE MANAGEMENT
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

NOTE:

NOT ALL DETAILS LISTED MAY BE APPLICABLE FOR THIS SITE.

SHEET INDEX

- ECP-1 EROSION CONTROL PLAN
- ECP-2 EROSION CONTROL DETAILS
- ECP-3 EROSION CONTROL & CONSTRUCTION BMP

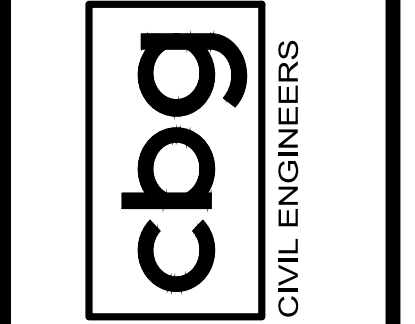


PRELIMINARY PLANS
NOT FOR CONSTRUCTION

DATE: DEC 2021
DRAWN BY: REN
PROJECT ENGR: REN
PROJ. MGR: JRD



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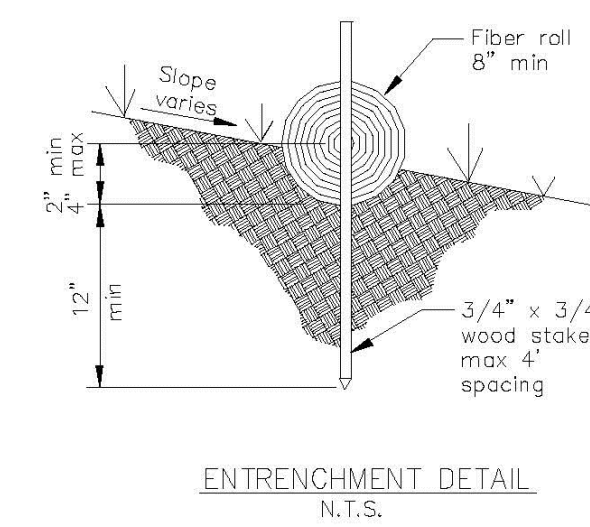
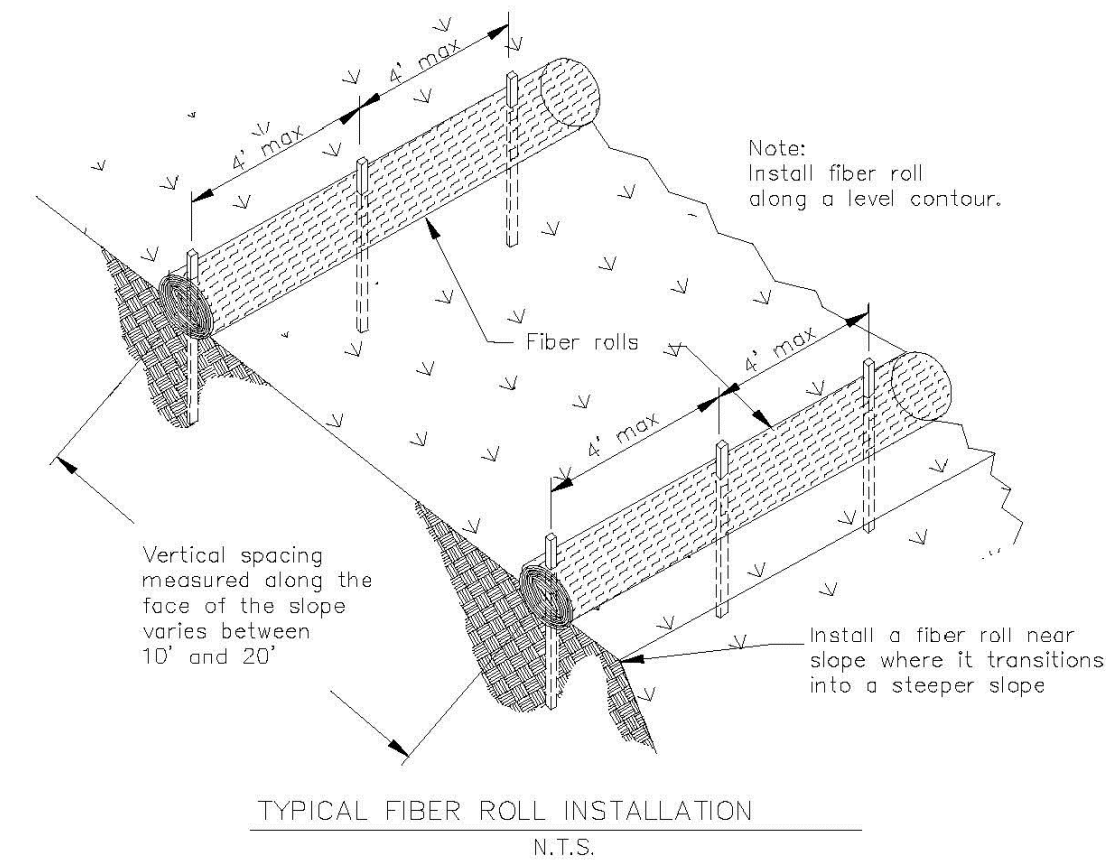


4111 CREST DRIVE
CALIFORNIA

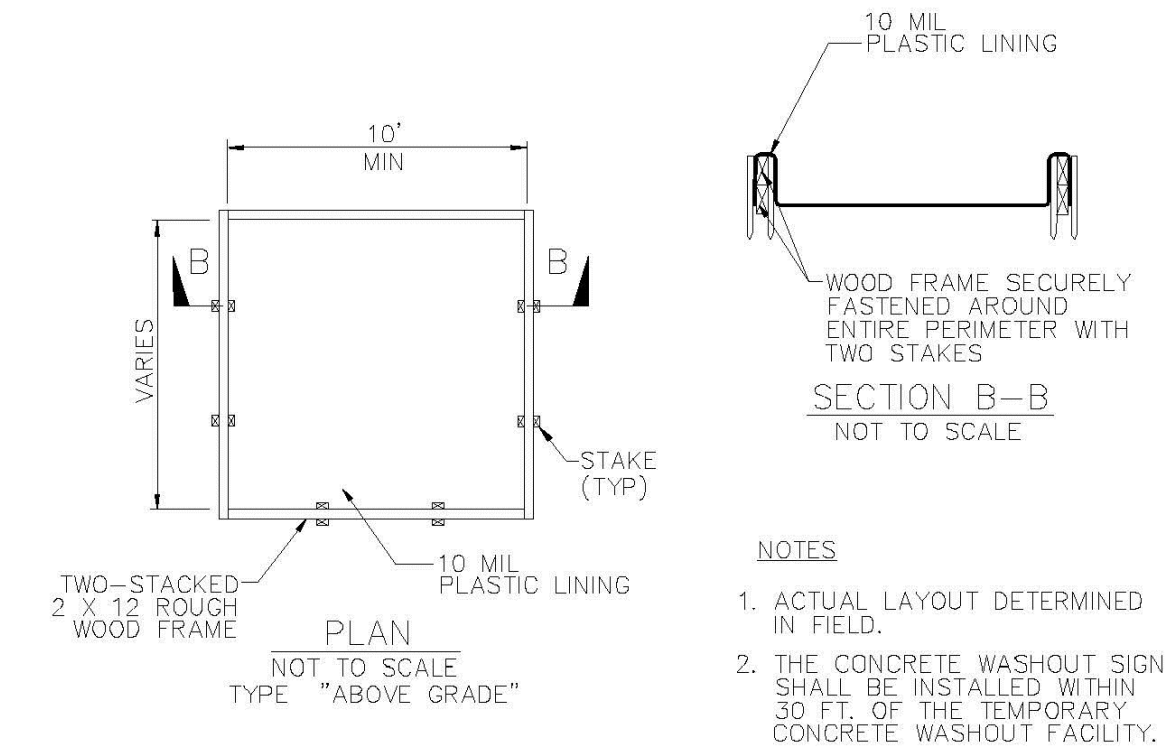
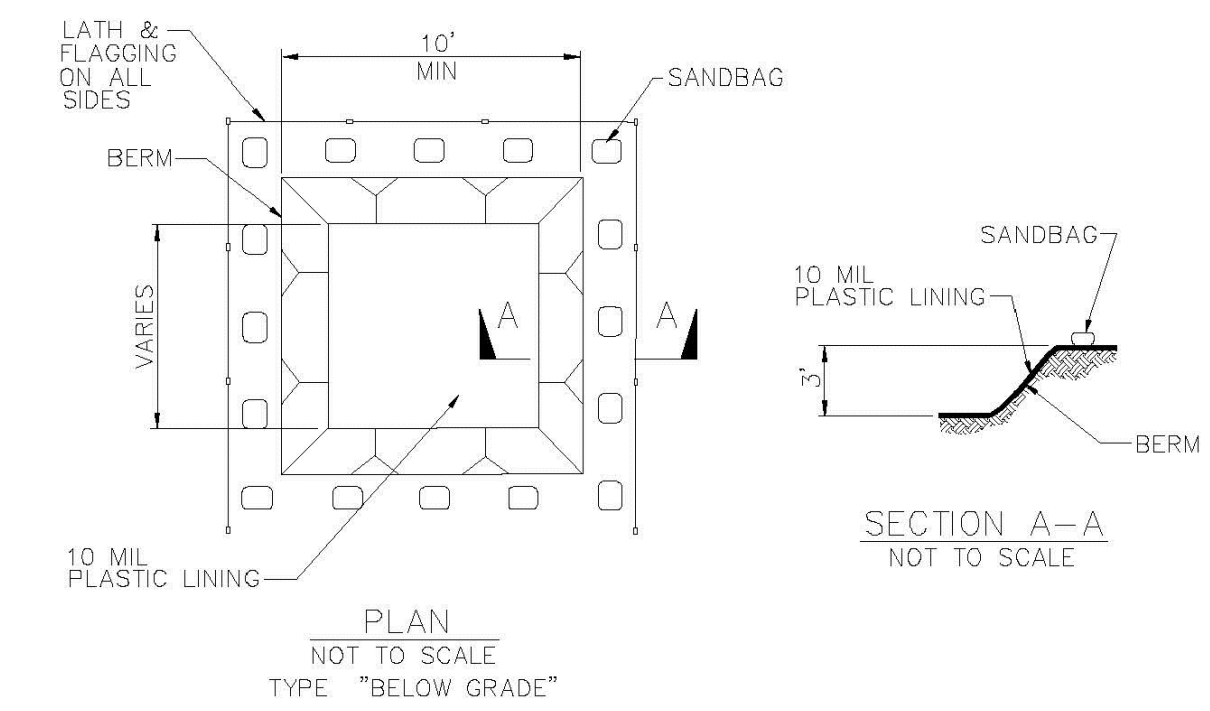
THOMAS JAMES HOMES
EROSION CONTROL PLAN
SAN MATEO COUNTY

SHEET NUMBER
ECP-1
OF 3
JOB NUMBER
3085-000

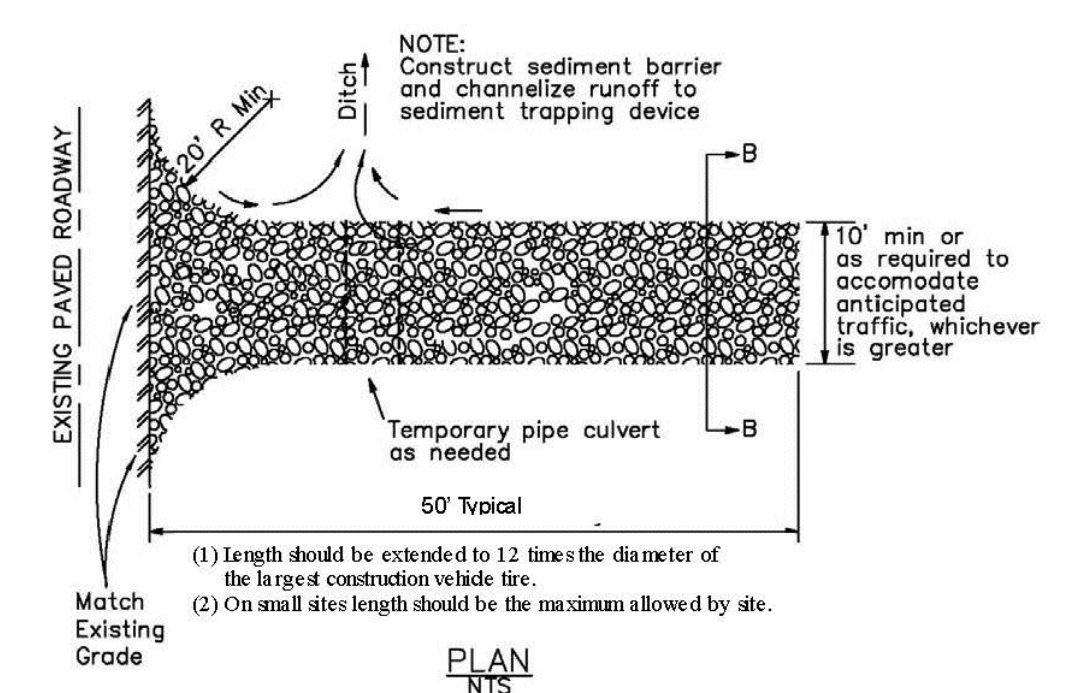
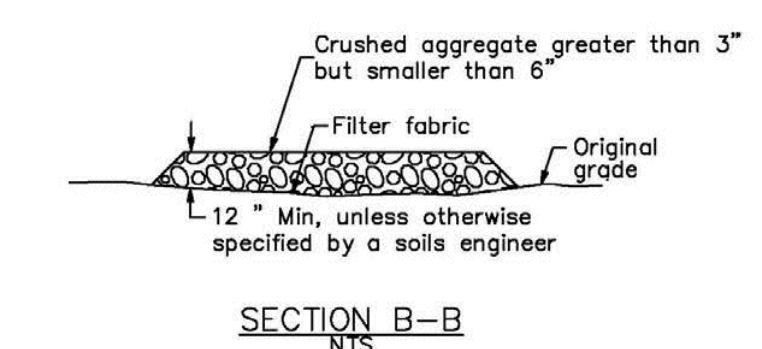
Fiber Rolls SE-5



Concrete Waste Management WM-8

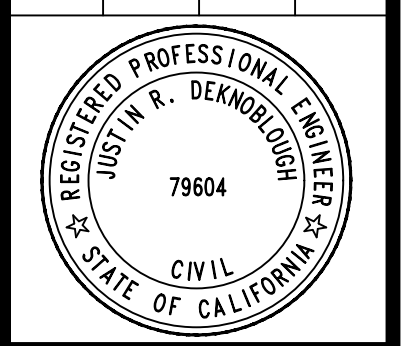


Stabilized Construction Entrance/Exit TC-1

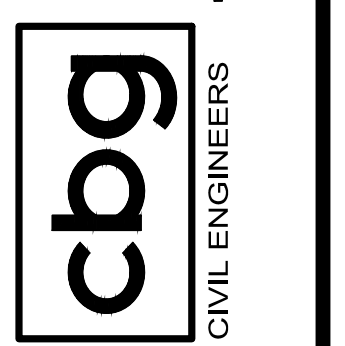


PRELIMINARY PLANS
NOT FOR CONSTRUCTION

DATE: DEC 2021
DRAWN BY: REN
PROJECT ENGR: REN
PROJ. MGR: JRD



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CIVIL ENGINEERS SURVEYORS PLANNERS



4111 CREST DRIVE
THOMAS JAMES HOMES
EROSION CONTROL DETAILS
SAN MATEO COUNTY
CALIFORNIA

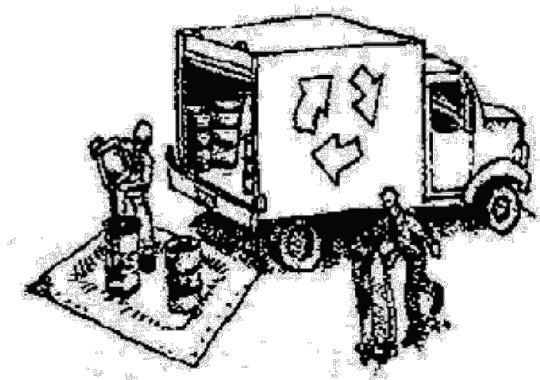
SHEET NUMBER
ECP-2
OF 3
JOB NUMBER
3085-000



Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



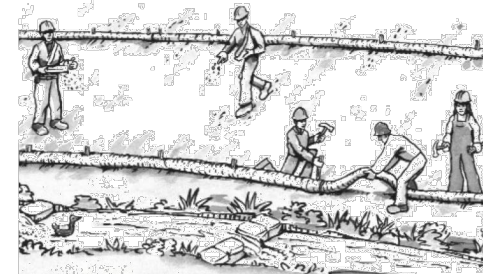
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

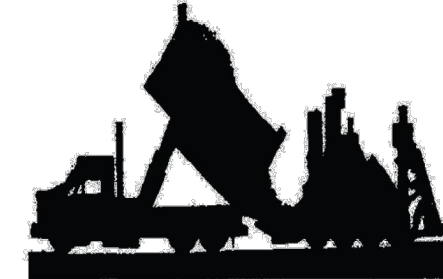


- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

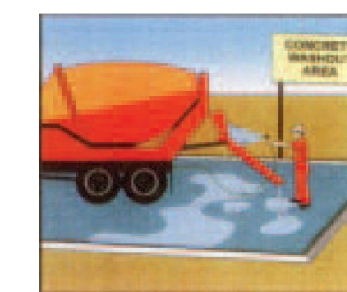


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

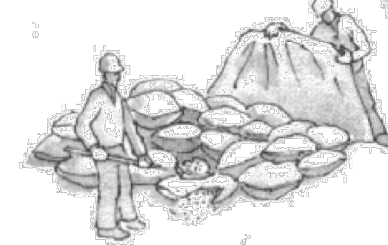
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



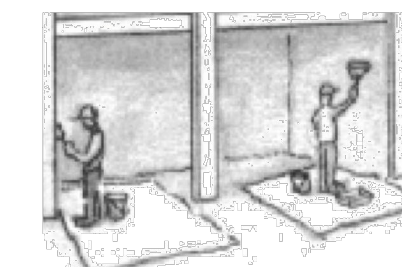
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

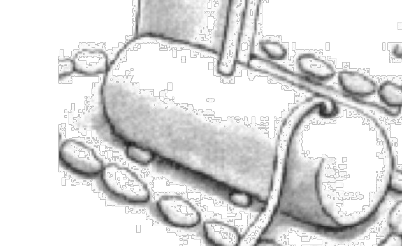
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

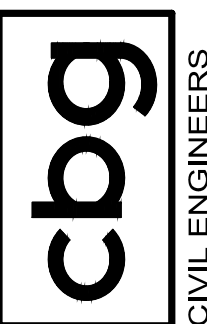
Storm drain polluters may be liable for fines of up to \$10,000 per day!

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

DATE: DEC 2021
DRAWN BY: REN
PROJ. ENGR: REN
PROJ. MGR: JRD



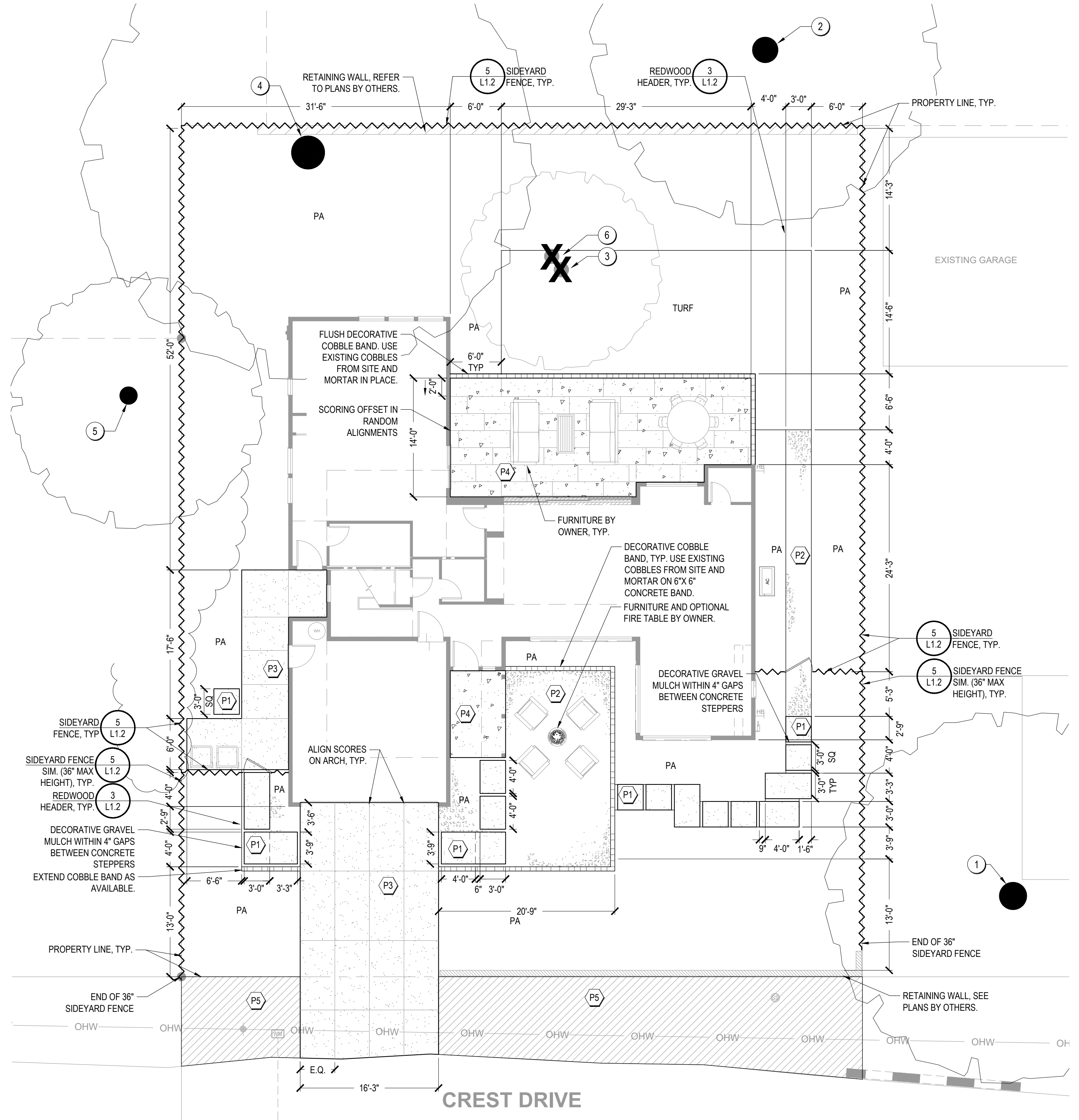
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4111 CREST DRIVE
CALIFORNIA

THOMAS JAMES HOMES
EROSION CONTROL &
CONSTRUCTION BMPs
SAN MATEO COUNTY

SHEET NUMBER
ECP-3
OF 3
JOB NUMBER
3085-000



LAYOUT LEGEND

DETAIL CALLOUT	REFERENCED DETAIL NUMBER	REFERENCED DETAIL SHEET
ADJ.	ADJACENT	
BOC	BACK OF CURB	
BOW	BACK OF WALK	
CJ	CONSTRUCTION/COLD JOINT	
CL	CENTERLINE	
CLR	CLEAR	
EJ	EXPANSION JOINT	
ILO	IN LIEU OF	
MAX	MAXIMUM	
MIN	MINIMUM	
	NATIVE GRASS	
	OH	OVERHANG
	PA	PLANTING AREA
	PL	PROPERTY LINE
	POB	POINT OF BEGINNING
	SIM	SIMILAR TO
	SYM	SYMMETRICAL
	TYP	TYPICAL
	T, TURF	TURF AREA
	UNO	UNLESS NOTED OTHERWISE
	VIF	VERIFY IN FIELD

CONSTRUCTION NOTES

- LOCAL CODES AND ORDINANCES: WORK SHALL CONFORM TO ALL LOCAL CODES, ORDINANCES, AND REQUIREMENTS, INCLUDING FEDERAL ACCESSIBILITY GUIDELINES. NOTHING IN THE CONTRACT DOCUMENTS SHALL BE CONSTRUED AS AN EXEMPTION TO APPLICABLE CODES OR OTHER JURISDICTIONAL REQUIREMENTS.
- UTILITIES: CONTACT COMMON GROUND ALLIANCE (C.G.A.) AT 811, AT LEAST TWO WORKING DAYS IN ADVANCE OF WORK (PER CA GOV. CODE 4216). THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT, AND SHALL PAY FOR ANY REPAIRS REQUIRED DUE TO THE CONTRACTOR'S OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
- DISCREPANCIES: NOTIFY DISTRICT'S REPRESENTATIVE OF ANY VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. DO NOT PROCEED WHERE DIFFERENCES EXIST THAT WOULD AFFECT THE WORK. ALL ADJUSTMENTS DUE TO FIELD CONDITIONS MUST BE APPROVED BY THE DISTRICT'S REPRESENTATIVE PRIOR TO CONTINUING.
- LAYOUT NOTES: THE WRITTEN DIMENSION SUPERCEDES SCALED OR GRAPHIC DENOTATION. DIMENSIONS ARE BETWEEN PARALLEL OR PERPENDICULAR POINTS UNLESS NOTED OTHERWISE. DIMENSIONS ARE TO CENTERLINE OR FACE OF MASONRY, CONCRETE, OR FRAMING SUBSTRATE FINISH SURFACES, UNLESS NOTED OTHERWISE.
- COORDINATION: CONTRACTOR SHALL COORDINATE WORK BETWEEN TRADES. ALL REQUIRED SLEEVING SHALL BE COORDINATED WITH SITE WORK, INCLUDING OTHER UNDERGROUND UTILITIES, CURBS, AND CONCRETE.
- VERTICAL WORK: ALL VERTICAL CONSTRUCTION SHALL BE INSTALLED TRUE AND PLUMB. ALL UNIT COURSING AND TOPS OF WALLS, FENCES, ETC. SHALL BE LEVEL UNLESS NOTED OTHERWISE. ALL CURVES SHALL BE CONTINUOUS AND EVEN, WITH NO BREAKS OR ANGLES AT POINTS OF TANGENCY OR FORMWORK JOINTING.
- LEAD TIME: SPECIFIED MATERIALS MAY REQUIRE A SIGNIFICANT LEAD TIME. CONTRACTOR IS SOLELY RESPONSIBLE TO LEAD TIMES AND TO PROVIDE SUBMITTALS, AND ORDER MATERIAL, AND ENSURE DELIVERY TO THE JOB SITE TO ALLOW TIMELY PROGRESSION OF WORK.
- EXISTING WORK: WHERE NEW CONSTRUCTION ABUTS EXISTING WORK, ALL EXISTING WORK SHALL BE PROTECTED. CONTRACTOR SHALL REPLACE ANY DAMAGED EXISTING WORK AT NO ADDITIONAL EXPENSE TO THE OWNER. ALL NEW WORK WILL CONFORM TO EXISTING WORK, INCLUDING FLATWORK JOINTS, ELEVATIONS, COLOR, AND FINISH.
- FENCING: FENCE LOCATIONS SHOWN ARE DIAGRAMMATIC AND FINAL LOCATIONS ARE TO BE COORDINATED IN THE FIELD BY THE LANDSCAPE CONTRACTOR.

PAVING AND FENCING LEGEND

- P1 CONCRETE PAVERS PER DETAIL 2/L1.2: STANDARD GRAY CONCRETE WITH ACID ETCH FINISH WITH TOP CAST #05 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS. 4" GAP FILL WITH P2.
- P2 DECORATIVE GRAVEL PER DETAIL 4/L1.2: 1/2" CRUSHED GRAVEL, COLOR: CLOUD NINE (BUILDER TO VERIFY), BY DECORATIVE STONE SOLUTIONS (800.699.1878). 2" OVER COMPACTED SUBGRADE OVER FILTER FABRIC, WITH 6" GALVANIZED WIRE STAPLES.
- P3 FIELD CONCRETE PER DETAIL 1/L1.2: STANDARD GRAY CONCRETE WITH ACID ETCH FINISH WITH TOP CAST #05 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS. TOOLED SCORE JOINTS AS SHOWN ON PLANS.
- P4 CONCRETE TO BE POURED WITH ARCHITECTURE. REFER TO ARCHITECTURAL DRAWINGS.
- P5 FIELD: ASPHALT IN RIGHT OF WAY, SEE CIVIL PLANS.
- ~~~~~ SIDEYARD FENCE: PER DETAIL 3/L1.2, 237 LF (CONTRACTOR TO VERIFY, DOES NOT INCLUDE GATE)
- ~~~~~ 36" FENCE SIMILAR TO SIDEYARD FENCE: PER DETAIL 3/L1.2, 60 LF (CONTRACTOR TO VERIFY, DOES NOT INCLUDE GATE)
- REDFWOOD HEADER, TYP. REFER TO PLAN FOR EXACT LOCATIONS AND CONDITIONS.

SITE FURNISHINGS LEGEND

- FIRE BOWL: BY OWNER.

TREE PROTECTION CHART

KEYNOTE	TAG#	PROTECTED TREE	DBH	SCIENTIFIC NAME	COMMON NAME	STATUS
1	9555	YES	24"	PINUS RADIATA	MONTEREY PINE	RETAIN AND PROTECT
2	9556	YES	47"	SEQUOIA SEMPERVIRENS	COAST REDWOOD	RETAIN AND PROTECT
3	9557	YES	18"	OLEA EUROPAEA	OLIVE	REMOVE
4	9558	YES	33"	SHINUS MOLLE	CALIFORNIA PEPPER	RETAIN AND PROTECT
5	9559	YES	16"	SEQUOIA SEMPERVIRENS	COAST REDWOOD	RETAIN AND PROTECT
6	NOT TAGGED	NO	6"	OLEA EUROPAEA	OLIVE	REMOVE

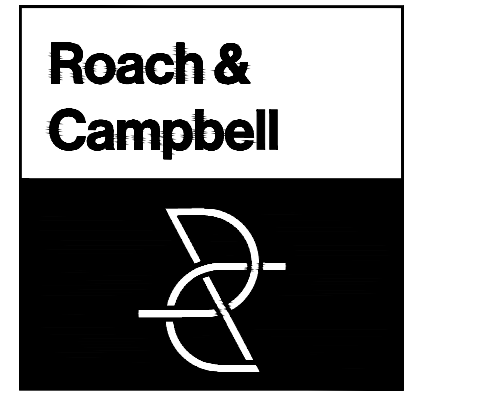
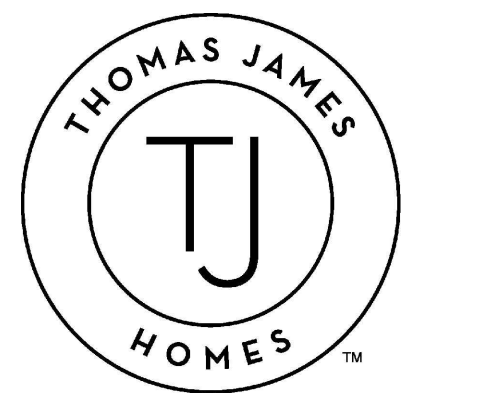
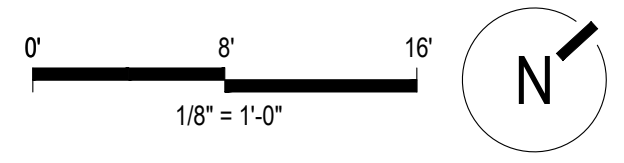
SITE CALCULATIONS

411 CREST DRIVE	SF	% OF LOT AREA
EXISTING		
TOTAL LOT SF	7,999	
TOTAL PERMEABLE AREA	4,939	62%
PROPOSED LOT LANDSCAPE AREA (% OF TOTAL AREA)	4,212	53%
*SHRUB AND GROUND COVER AREA (% OF TOTAL LANDSCAPE AREA)	3,641	86%
*PROPOSED TURF AREA (% OF TOTAL LANDSCAPE AREA)	571	14%
AGGREGATE PATH/PATIO	511	
WALKABLE/DRIVABLE CONCRETE PADS WITH GAPS	216	
TOTAL IMPERMEABLE AREA	2,925	37%
RESIDENCE/ GARAGE FOOTPRINT (% OF TOTAL AREA)	1,900	24%
DRIVEWAY (CONCRETE)	332	
CALIFORNIA ROOM	463	
FRONT PORCH	37	
ADU ACCESS/ TRASH AREA PAD (CONCRETE)	193	

SEE SHEET L1.2 FOR CONSTRUCTION DETAILS

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL0) AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLANS.

[Signature] 08/25/21
LANDSCAPE ARCHITECT DATE



111 Scripps Drive
Sacramento,
California 95825
916.945.8003 | 916.342.7119
4409 CRLA 5044

LANDSCAPE IMPROVEMENT PLANS FOR

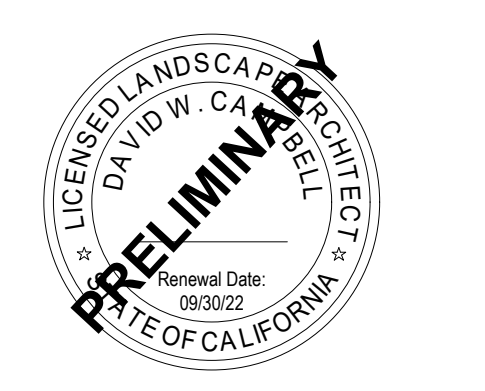
**411 CREST WAY
EMERALD HILLS, CA**

**BY
THOMAS JAMES HOMES**

KEYMAP:

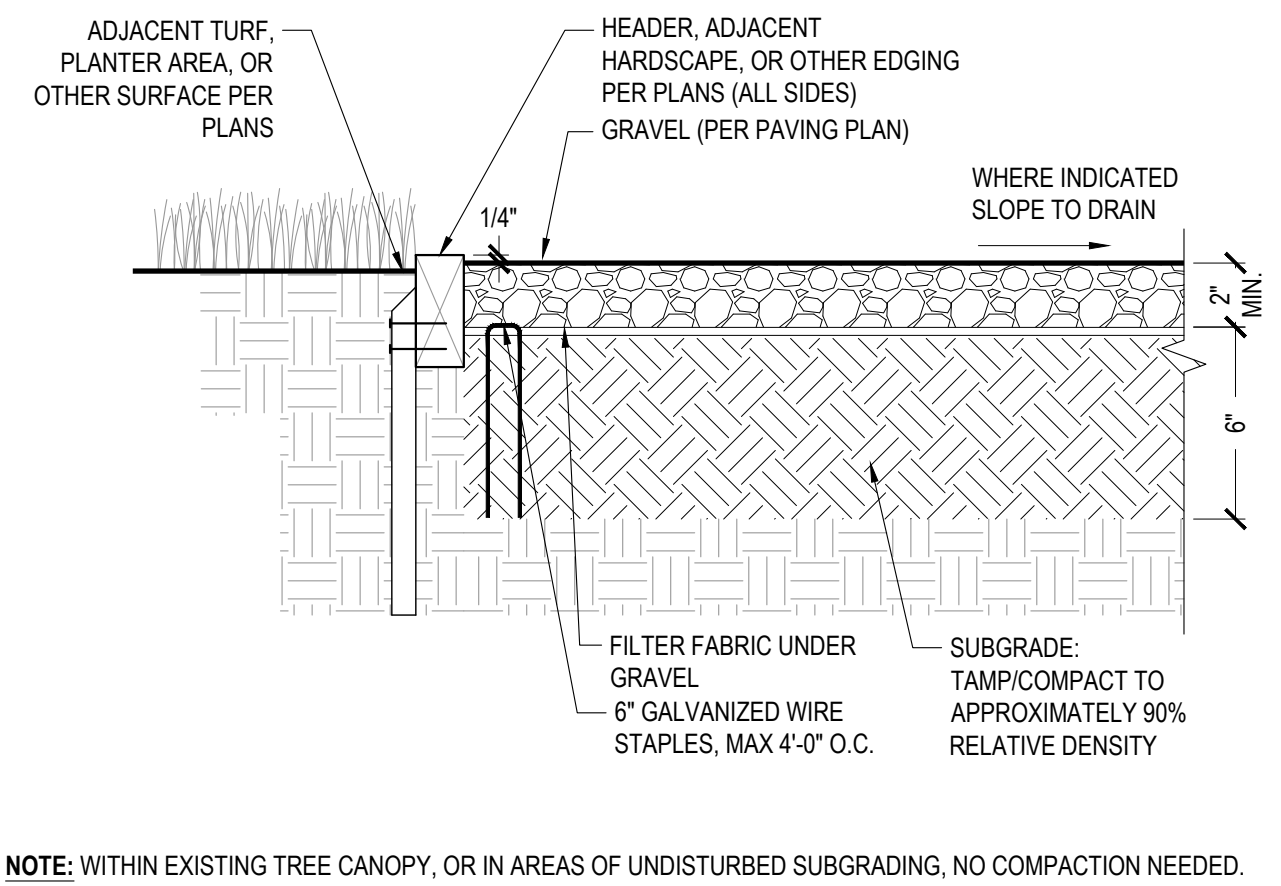
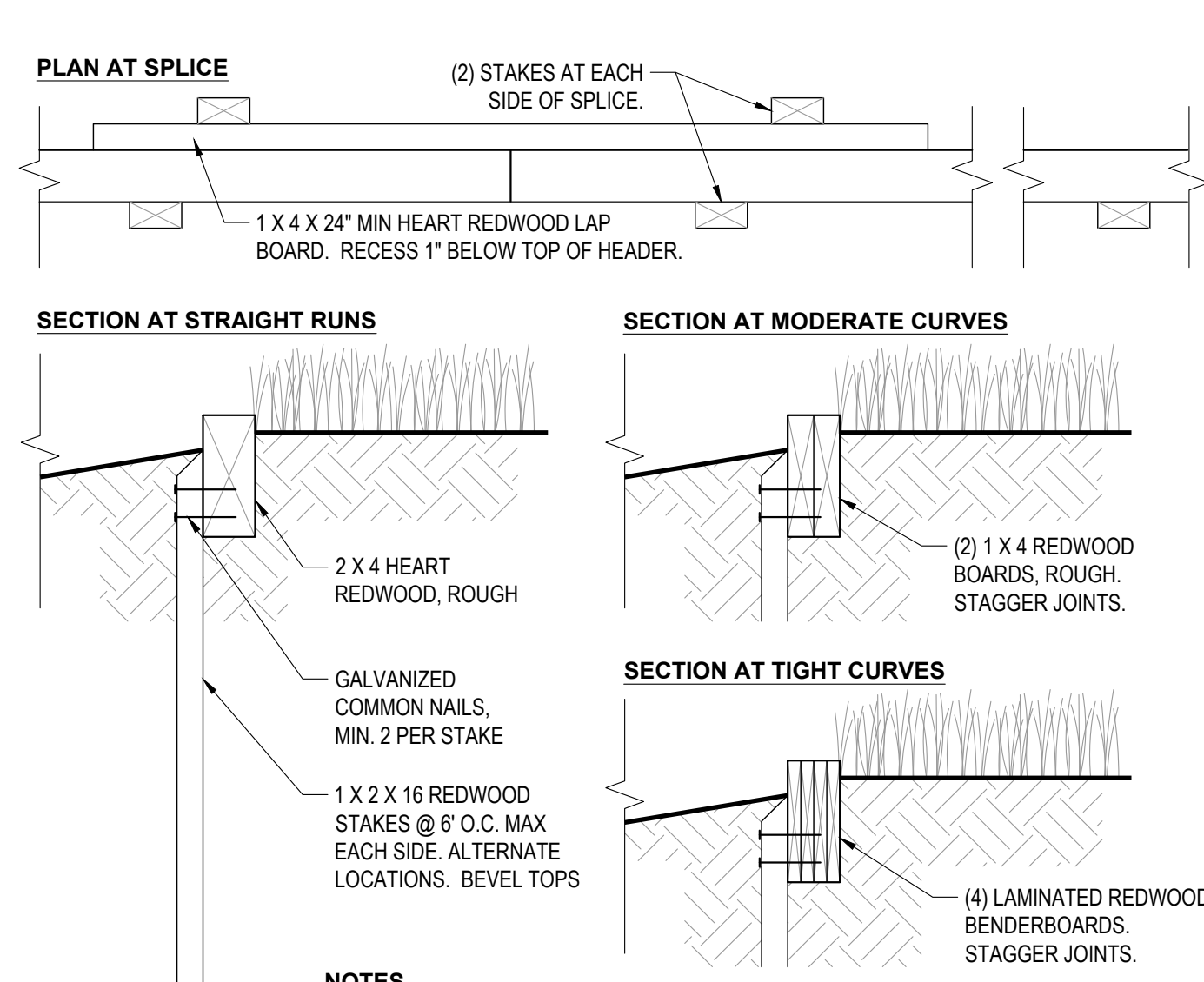
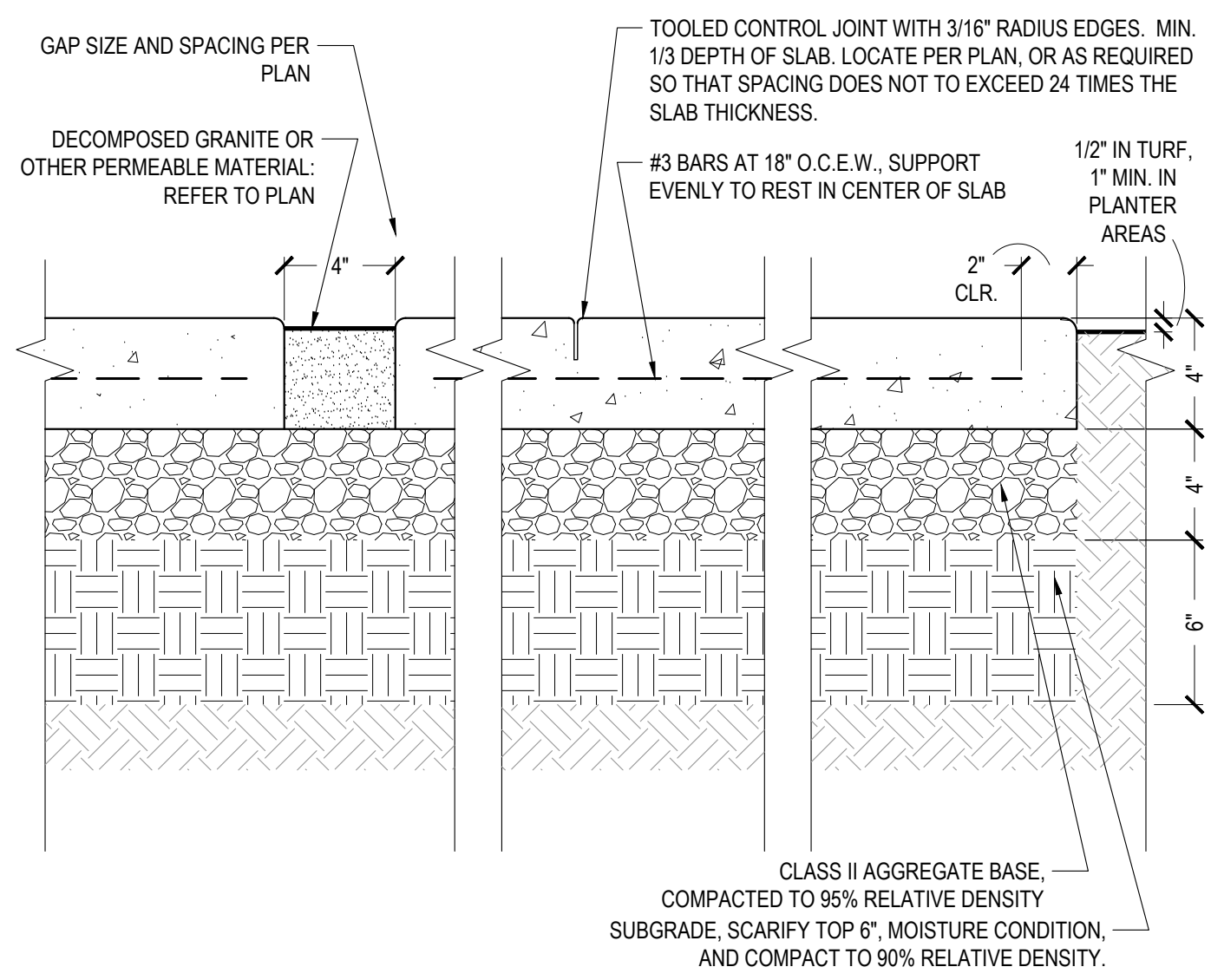
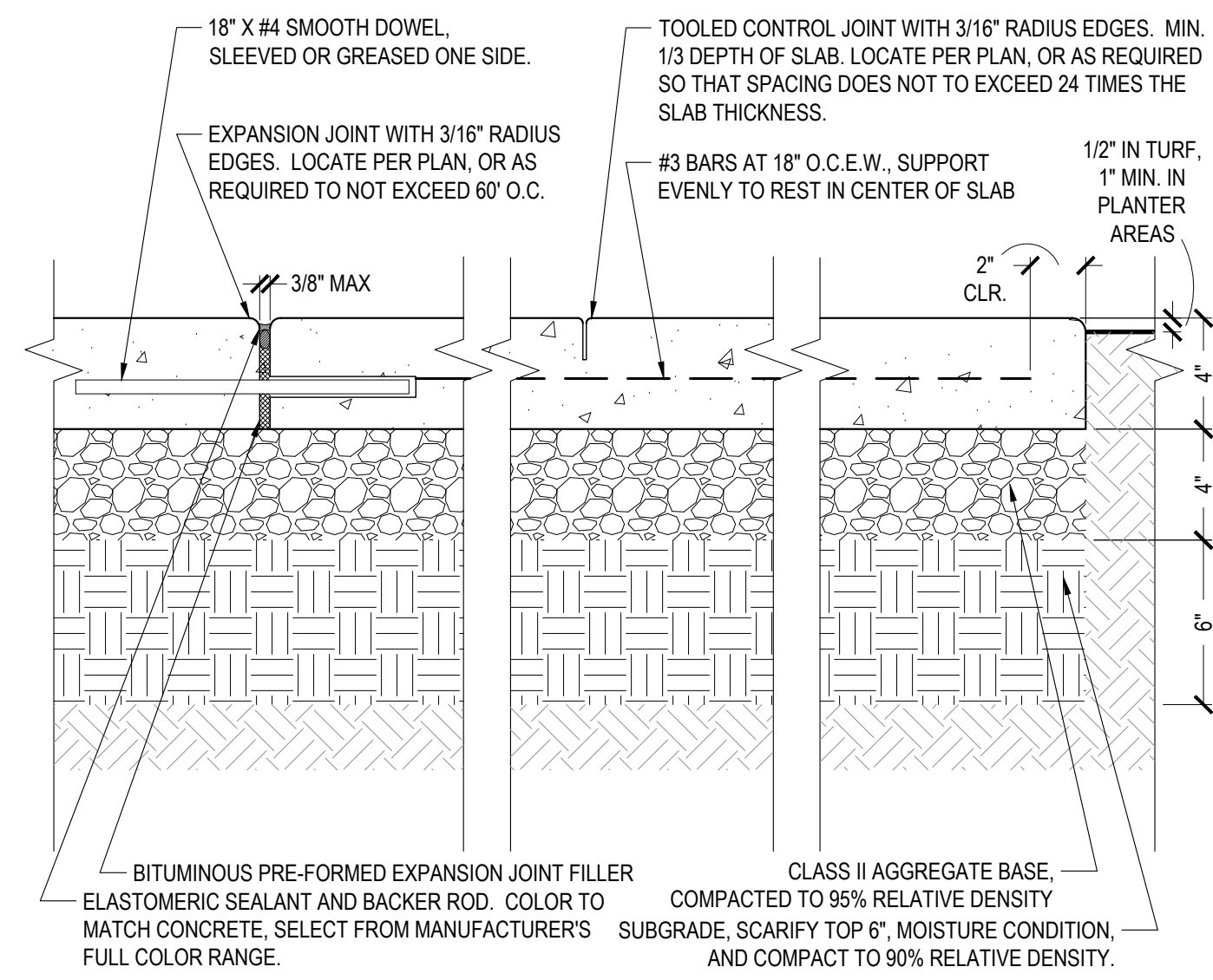
LAYOUT PLAN

DRAWN BY:
STAFF
CHECKED BY:
DWC
JOB NO.
20035
DATE
AUGUST 18, 2021
REVISIONS:



L1.1

DESIGN REVIEW SUBMITTAL - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ).



NOTES

A. PAVEMENT DEPTHS AND REQUIREMENTS HEREIN ARE SUPERCEDED BY THE PROJECT GEOTECHNICAL REPORT AND RECOMMENDATIONS, IF EXISTING.

1 CONCRETE PAVING (PEDESTRIAN)

1" = 0'-6"

SECTION

NOTES

A. PAVEMENT DEPTHS AND REQUIREMENTS HEREIN ARE SUPERCEDED BY THE PROJECT GEOTECHNICAL REPORT AND RECOMMENDATIONS, IF EXISTING.

2 CONCRETE PAVERS

1" = 0'-6"

SECTION

3 REDWOOD HEADER

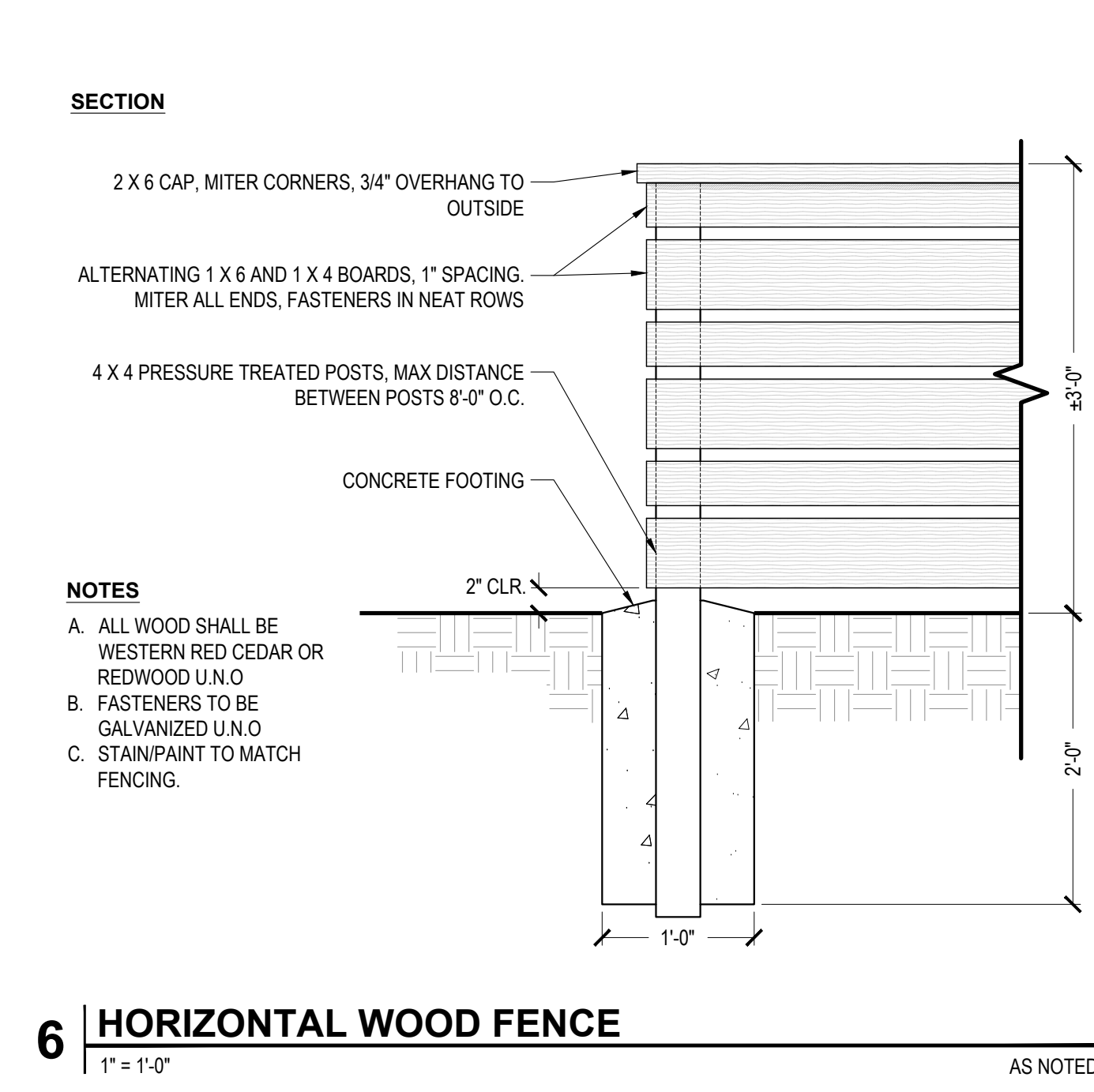
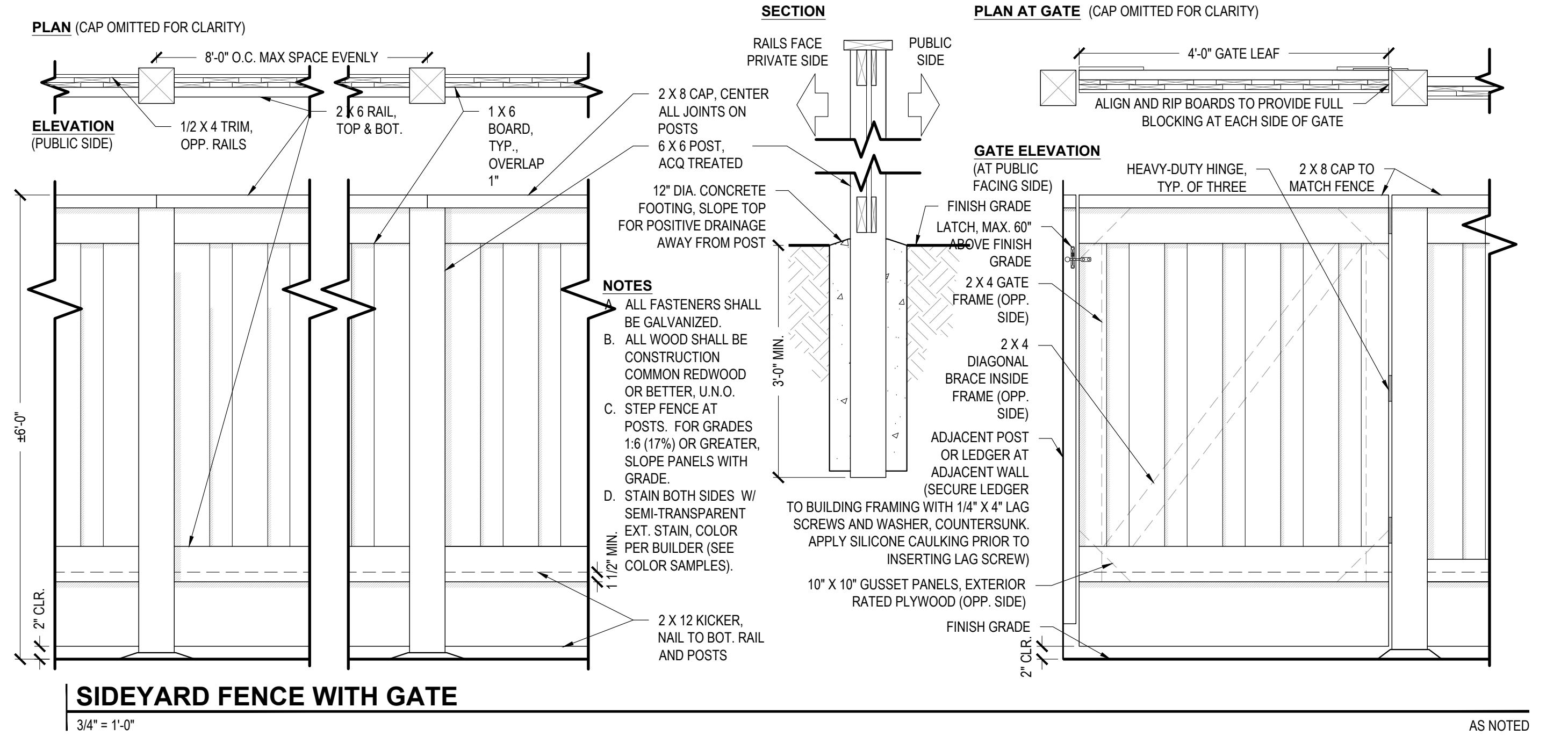
NO SCALE

AS NOTED

4 CRUSHED GRAVEL (PEDESTRIAN)

1" = 0'-6"

SECTION



REPRESENTATIVE STAIN COLORS



THOMAS JAMES HOMES

Roach & Campbell

111 Scripps Drive
Sacramento, California 95825
916.945.8003 | 916.342.7119
4409 CRA 5044

LANDSCAPE IMPROVEMENT PLANS FOR

411 CREST WAY

EMERALD HILLS, CA

BY
THOMAS JAMES HOMES

KEYMAP:

CONSTRUCTION DETAILS

DRAWN BY: _____

STAFF _____

CHECKED BY: _____

DWC _____

JOB NO. _____

20035 _____

DATE _____

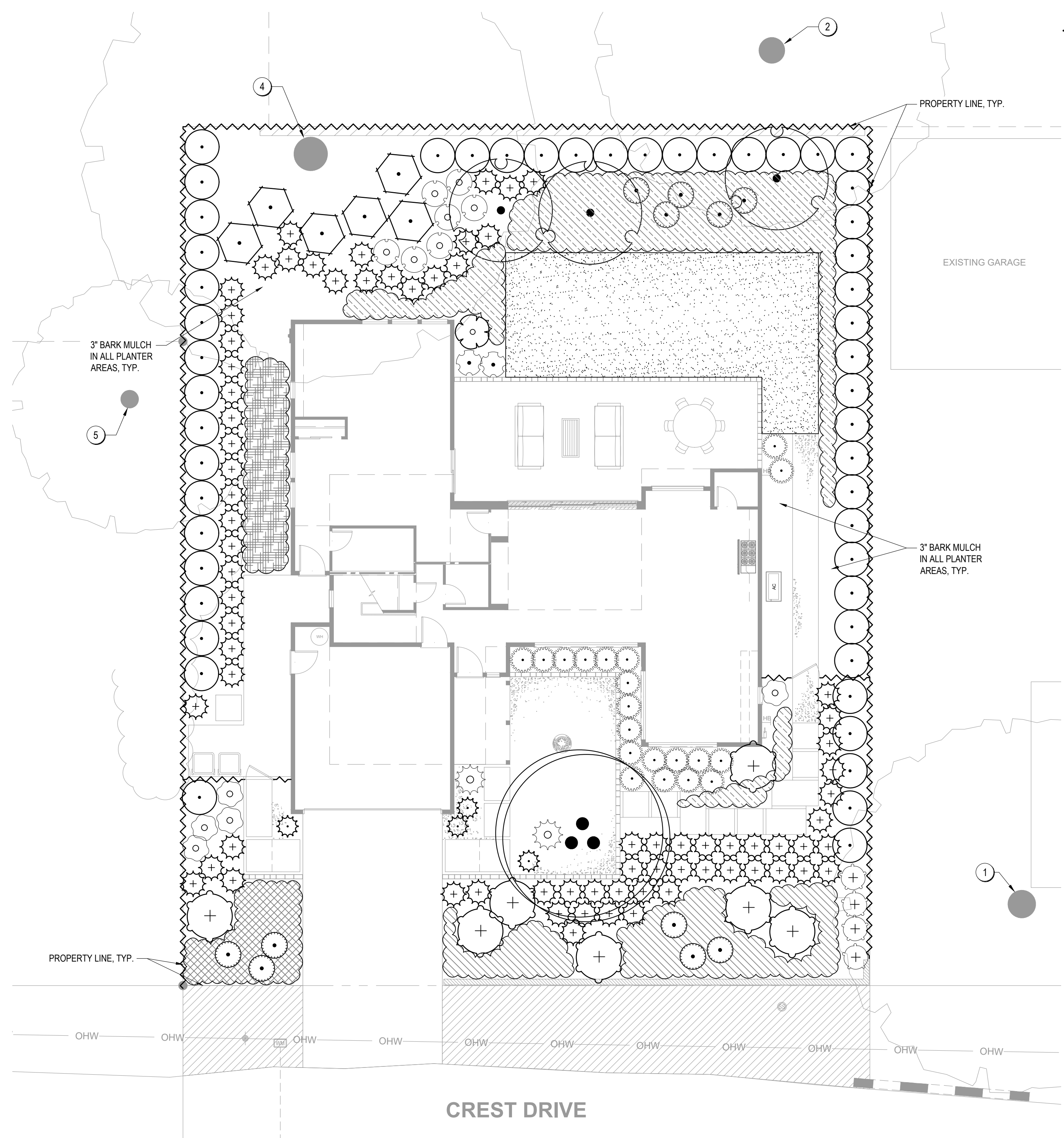
AUGUST 18, 2021 _____

REVISIONS: _____



L1.2

DESIGN REVIEW SUBMITTAL - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ).



PLANTING NOTES

- SITE ACCEPTANCE: THE CONTRACTOR SHALL OBSERVE THE SITE AND VERIFY THAT ROUGH GRADING AND ALL OTHER WORK HAS BEEN COMPLETED TO THE CONTRACTOR'S SATISFACTION. ANY PREVIOUS WORK THAT IS NOT COMPLETE SHALL BE BROUGHT TO THE OWNER'S OR LANDSCAPE ARCHITECT'S ATTENTION IN WRITING. BEGINNING WORK CONSTITUTES ACCEPTANCE OF THE SITE.
- SITE PREPARATION: ALL EXISTING VEGETATION SHALL BE REMOVED (CLEAR AND GRUB) PRIOR TO ROUGH GRADING OPERATIONS. PRESERVE ALL TOPSOIL BY STOCKPILING ON SITE. TOPSOIL SHALL BE REPLACED IN PLANTING AREAS TO ACHIEVE FINAL FINISH GRADES. FOR PLANTERS IN LIME-TREATED AREAS, REMOVE AND DISPOSE OF EXISTING SOIL TO A DEPTH OF 24" THROUGHOUT THE ENTIRE PLANTER, AND REPLACE WITH CLEAN TOPSOIL.
- POSITIVE DRAINAGE: ENSURE POSITIVE DRAINAGE IN ALL LANDSCAPE AREAS, AND SHALL ADJUST ELEVATIONS AS REQUIRED. MINIMUM SLOPE IN TURF AREAS SHALL BE 0.5% TO OUTLET, MINIMUM SLOPE IN PLANTED AREAS SHALL BE 1.0%.
- EXPLANATION OF DRAWINGS: PLANTING INTENT IS TO COMPLETELY FILL ALL PLANTING AREAS, UNLESS SPECIFICALLY NOTED OTHERWISE. QUANTITIES, IF SHOWN ARE FOR CONTRACTOR'S CONVENIENCE ONLY, AND SHALL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATION TO INSTALL PLANTS TO MEET THIS INTENT. PLANTING DETAILS ARE CONSIDERED TYPICAL AND ALL WORK SHALL CONFORM TO THESE DETAILS.
- SUBSTITUTIONS: IN THE EVENT ANY PLANT MATERIAL SPECIFIED IS NOT AVAILABLE, CONTRACTOR SHALL SUBMIT PROPOSED SUBSTITUTION IMMEDIATELY TO LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO DETERMINE THE SUITABILITY OF ANY PROPOSED SUBSTITUTION. SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- PLANTING PIT DRAINAGE: EXCAVATED PLANTING PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN 2 HOURS OF FILLING. IF PLANTING PITS DO NOT DRAIN, OTHER MEASURES, INCLUDING A 1' DIAMETER X 8' DEEP AUGURED HOLE BACKFILLED WITH CRUSHED DRAIN ROCK, WILL BE REQUIRED.
- PLANT MATERIAL: ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z60.1 "STANDARD FOR NURSERY STOCK," NOTES AND DETAILS ON THE DRAWINGS. UNLESS OTHERWISE NOTED MINIMUM PLANT SIZES SHALL BE AS FOLLOWS. EVERGREEN SHRUBS (EXCEPT DWARF VARIETIES): 3" H. X 3" W. FOR 1-GALLON (#1), 15" H. X 12" W. FOR 5-GALLON (#5), AND 30" H. X 24" W. FOR 15-GALLON (#15). SINGLE TRUNK TREES: 5" H. W/ 1" CALIPER FOR 15-GALLON (#15); 8" H. W/ 2" CALIPER FOR 24" BOX (#25). CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES 36" AND ABOVE FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO PURCHASE OR DELIVERY. APPROVAL OF PHOTOS DOES NOT PRECLUDE ON-SITE REJECTION OF UNSUITABLE PLANT MATERIAL.
- SITE CLEANLINESS: THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN, FOR SOIL EROSION CONTROL, MEASURES, AND FOR ANY OTHER GENERAL REQUIREMENTS SHOULD EXISTING CONDITIONS REQUIRE MITIGATION, THE CONTRACTOR SHALL ALERT THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO PERFORMING WORK.
- UNDERGROUND UTILITIES: THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. CALL C.G.A. (811) TO LOCATE EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY DAMAGED UTILITIES, TO THE SATISFACTORY OF THE OWNER AND GOVERNING AGENCY AT NO COST TO THE OWNER OR INCREASE IN BID AMOUNT.
- BARK MULCH: A 3" LAYER OF "WALK-ON" BARK MULCH SHALL BE INSTALLED IN ALL PLANTING BEDS. CONTRACTOR SHALL SUBMIT A MULCH SAMPLE PRIOR TO ORDER. APPLY PRE-EMERGENT PRIOR TO PLACING MULCH. IF MAINTENANCE PERIOD EXTENDS PAST 60 CALENDAR DAYS FROM APPLICATION, APPLY AGAIN PER MANUFACTURER'S INSTRUCTIONS.
- SOIL FERTILITY ANALYSIS AND AMENDMENT: THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SOIL SAMPLE AND LABORATORY SOIL FERTILITY ANALYSIS FOR EACH 10,000SF OF PLANTED AREA, AND FOR ALL SOURCES OF IMPORT (IF APPLICABLE). SUBMIT ANALYSIS TO LANDSCAPE ARCHITECT FOR REVIEW, AND DOCUMENTATION OF AMENDMENT FOR COMPLIANCE WITH WATER EFFICIENT LANDSCAPE ORDINANCE. ALL PLANTING AREAS, INCLUDING PLANTING PITS, SHALL BE AMENDED PER THE SOILS REPORT, AND PER LOCAL ORDINANCE, INCLUDING INCORPORATING COMPOST AT THE RATE OF A MINIMUM OF 4 CU YD PER 1,000 SF OF LANDSCAPE AREA TO A DEPTH OF SIX INCHES. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP SIX INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING. BACKFILL FOR ALL SUCCULENTS SHALL BE 50% CLEAN WASHED SAND.
- CERTIFICATE OF COMPLETION: A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT AT THE COMPLETION OF THE PROJECT AND SUBMITTED WITH THE SOIL ANALYSIS REPORT TO THE AUTHORITY HAVING JURISDICTION.
- ESTABLISHMENT PERIOD: SHALL BE A MINIMUM OF 60 CALENDAR DAYS, BEGINNING UPON WRITTEN VERIFICATION OF SUBSTANTIAL COMPLETION BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ESTABLISHMENT PERIOD SHALL CONSIST OF REGULAR LANDSCAPE MAINTENANCE BY THE INSTALLING CONTRACTOR, ENSURING ALL PLANTING IS IN A VIGOROUS AND HEALTHY CONDITION, AND ALLOWING PLANTS TO GROW-IN AND ACCLIMATIZE TO THE SITE. ANY PLANT THAT HAS BEEN REPLACED DURING THE ESTABLISHMENT PERIOD SHALL BE SUBJECT TO AN ADDITIONAL ESTABLISHMENT PERIOD EQUAL TO THE ORIGINAL ESTABLISHMENT PERIOD, BEGINNING ON THE DATE OF REPLACEMENT. ANY DAY OF IMPROPER MAINTENANCE, AS DETERMINED BY THE LANDSCAPE ARCHITECT OR LOCAL JURISDICTION, SHALL NOT COUNT TOWARD THE ESTABLISHMENT PERIOD.
- WHERE STREET TREES ARE WITHIN 3 FEET OF THE SIDEWALK OR CURB, PROVIDE A ROOT CONTROL BARRIER PANEL ALONG THE FACE OF SIDEWALK/CURB. PANELS SHALL BE 12" DEEP ALONG SIDEWALKS, AND 18" DEEP ALONG CURBS. CENTER PANELS AT EACH TREE AND EXTEND 10' IN EACH DIRECTION.
- UTILITY CLEARANCE: NO TREES SHALL BE PLANTED WITHIN 5' OF WATER AND SANITARY SEWER LINES. NO TREES SHALL BE PLANTED UNDER EXISTING OR FUTURE OVERHEAD POWERLINES, AND ALL REQUIRED CLEARANCES SHALL BE MAINTAINED. ALL PLANTING EXCEPT LOW-GROWING GROUNDCOVER SHALL BE 3' CLEAR OF ALL FIRE APPURTENANCES PER NFPA 18.5.7.
- WORK IN RIGHT-OF-WAY: ALL WORK WITHIN THE RIGHT OF WAY OR TO BE MAINTAINED BY THE LOCAL AGENCY SHALL BE INSTALLED PER THE LATEST EDITION OF THE AGENCY CONSTRUCTION STANDARDS, AND ALL OTHER AGENCY REQUIREMENTS.
- TURF INSTALLATION: CONTRACTOR SHALL PLACE AND ESTABLISH SOD IN ALL AREAS AS DELINEATED ON THE PLANS AS FOLLOWS.
 - REMOVE ALL ROCKS AND OTHER DELETERIOUS MATERIAL GREATER THAN 3/4" IN DIAMETER. ESTABLISH SMOOTH GRADES, WITH NO PONDING. ENSURE ADEQUATE SOIL COMPACTION TO AVOID SETTLEMENT, WITHOUT EXCEEDING 85% RELATIVE DENSITY. SUBSEQUENT SETTLEMENT SHALL BE CLEAR EVIDENCE OF INADEQUATE COMPACTION.
 - WITHIN 24 TO 48 HOUR OF SODDING, MOISTEN AREA TO BE SODDED TO A DEPTH OF AT LEAST 6" AND MAINTAIN MOISTURE UNTIL SODDING. DO NOT ALLOW SOIL TO BE COME SATURATED.
 - APPLY A STARTER FERTILIZER PRIOR TO LAYING SOD.
 - INSTALL SOD WITHIN 12 HOURS OF DELIVERY. DO NOT ALLOW SOD TO SIT IN DIRECT SUNLIGHT OR TO DRY OUT.
 - STARTING AT A STRAIGHT EDGE, LAY SOD IN STAGGERED ROWS, OFFSETTING JOINTS A MINIMUM OF 2 FEET.
 - AFTER LAYING, ROLL SOD WITH A LIGHT-WEIGHT WATER-DRUM ROLLER (APPROXIMATELY 50 LBS), AND ENSURE FULL CONTACT WITH SOIL. WATER AS SOON AS POSSIBLE, AND IN ALL CASES, WITHIN 1 HOUR AFTER LAYING.

PLANT LEGEND

TREES	CODE	BOTANICAL / COMMON NAME	CONT	QTY	
	ARB MRN	ARBUTUS X 'MARINA' / MARINA STRAWBERRY TREE STANDARD WUCOLS (L) 20 - 30 (HW)	24" BOX	3	
	OLE MUL	OLEA EUROPAEA / OLIVE MULTI-TRUNK WUCOLS (L)	36" BOX	1	
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	QTY	
	AGA BLF	AGAVE X 'BLUE FLAME' / BLUE FLAME AGAVE WUCOLS (L), (HW) 2.5'-3'	5 GAL.	2	
	AGA BL2	AGAVE X 'BLUE GLOW' / BLUE GLOW AGAVE WUCOLS (L), (H) 2' X (W) 3'	5 GAL.	4	
	ARC HOW	ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' / HOWARD MCMINN MANZANITA WUCOLS (L), (H) 5'-6' X (W) 7'	1 GAL.	6	
	CHO TEC	CHONDROPETALUM TECTORUM / CAPE RUSH WUCOLS (L) 2'-3' (HW)	1 GAL.	20	
	DIA LI3	DIANELLA REVOLUTA 'LITTLE REV' / LITTLE REV FLAX LILY WUCOLS (M), 2'-3' (H) X 1'-2' (W)	1 GAL.	2	
	FES MA2	FESTUCA MAIREI / ATLAS FESCUE	1 GAL.	74	
	LAU XSA	LAURUS X 'SARATOGA' / SARATOGA LAUREL WUCOLS (L) (H) 15'-40' FULLY BRANCHED COLUMNAR FORM FOR SCREEN HEDGE	5 GAL.	50	
	LEU SAF	LEUCADENDRON X 'SAFARI SUNSET' / CONEBUSH WUCOLS (L), 8'-10' (H) X 6'-8' (W)	15 GAL.	7	
	LEU HYB	LEUCADENDRON X 'JESTER' / JESTER CONEBUSH WUCOLS (L), 4' (HW)	5 GAL.	1	
	PEN FA5	PENNISETUM X 'FAIRY TAILS' / EVERGREEN FOUNTAIN GRASS WUCOLS (L), SW EXPOSURE	1 GAL.	7	
	RHA MIN	RHAPHIOLEPS UMBELLATA 'MINOR' / YEDDA HAWTHORN WUCOLS (L), ALL EXPOSURES	5 GAL.	4	
	ROS BA5	ROSMARINUS OFFICINALIS 'BARBEQUE' / ROSEMARY WUCOLS (L), 3'-4' (H) X 2'-3' (W)	1 GAL.	5	
	YUC COL	YUCCA FILAMENTOSA 'COLOR GUARD' / ADAM'S NEEDLE WUCOLS (L), 3' (HW)	7 GAL.	11	
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	ARC ECR	ARCTOSTAPHYLOS EDMUNDSONII 'CARMEL SUR' / CARMEL SUR LITTLE SUR MANZANITA WUCOLS (M), 1' (H) X 10' (W)	1 GAL.		99 SF
	JUN BL6	JUNIPERUS HORIZONTALIS 'BLUE RUG' / BLUE RUG JUNIPER WUCOLS (L), ALL EXPOSURES	1 GAL.	36" o.c.	15
	MYO PUC	MYOPORUM X 'PUTAH CREEK' / PUTAH CREEK MYOPORUM WUCOLS (L), 1' (H) X 10'-15' (W)	1 GAL.	48" o.c.	16
	ROS HUN	ROSMARINUS OFF. 'HUNTINGTON CARPET' / PROSTRATE ROSEMARY WUCOLS (L), 1'-2' (H) X 4'-8' (W)	1 GAL.	36" o.c.	60
	TUR SOD	TURF / 90% DWARF FESCUE / 10% KENTUCKY BLUE. WUCOLS (H)	SOD		571 SF

WATER USE CALCULATIONS

Water Efficient Landscape Worksheet							Project:	20035
411 Crest Drive							Date:	7/15/2021
Hydrozone/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency	ETAF	Landscape Area (sf)	ETAF x Area	Estimated Total Water Use	
Regular Landscape Areas								
Backyard Turf (High)	0.8	MultiSim	0.75	1.07	667	403	19,123	
Front Yard - Shrub and Groundcover (Low to Moderate)	0.5	DripLine	0.81	0.62	1,326	1,155	22,000	
Backyard - Shrub and groundcover (Low)	0.2	DripLine	0.81	0.25	2,220	519	14,733	
					Totals	4,213	2,077	
Special Landscape Areas								
					Totals	-	-	
Nearest Data Location: Redwood City							Estimated Total Water Use (ETWU) ¹	55,857
Reference Eto: 42.8							Maximum Allowed Water Allowance (MAWA) ²	61,488
Reference ETAF: 0.55								
ETAF Calculations/Regular Landscape								
Total ETAF x Area							2,077	
Total Area (sf)							4,213	
Average ETAF							0.49	
ETAF Calculations/All Landscape								
Total ETAF x Area							2,077	
Total Area (sf)							4,213	
Average ETAF							0.49	

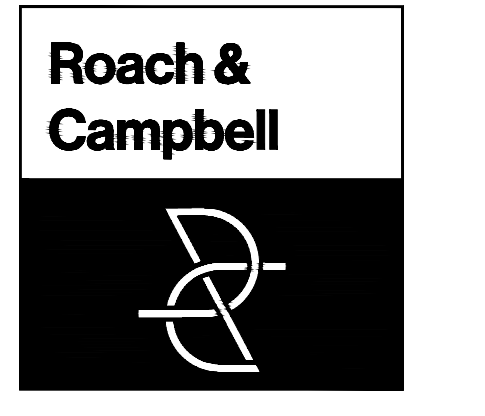
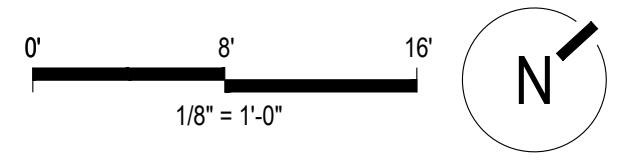
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, 0.45 or below for non-residential areas, and 0.65 for DSA projects. These values are also reference values for determining MAWA.

¹ETWU= Eto x 0.62 x ETAF x Area
²MAWA = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
³ETWU must be less than or equal to MAWA

SEE SHEET L2.2 FOR PLANT DETAILS AND SHEET L2.3 FOR TREE PROTECTION PLAN

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLANS.

[Signature] 08/25/21
 LANDSCAPE ARCHITECT DATE



111 Scripps Drive
 Sacramento, California 95825
 916.945.8003 | 916.342.7119
 4409 CRLA 5044

LANDSCAPE IMPROVEMENT PLANS FOR

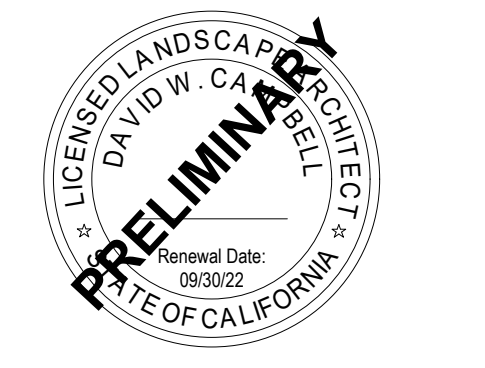
**411 CREST WAY
 EMERALD HILLS, CA**

**BY
 THOMAS JAMES HOMES**

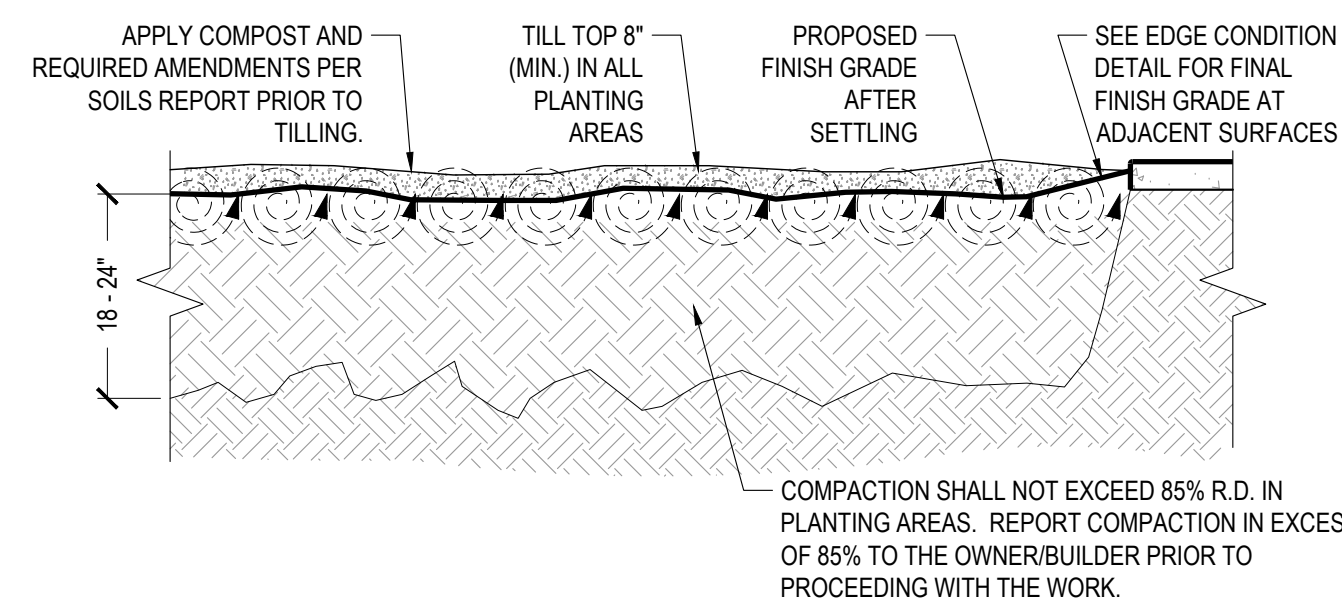
KEYMAP:

PLANTING PLAN

DRAWN BY:
 STAFF
 CHECKED BY:
 DWK
 JOB NO.
 20035
 DATE
 AUGUST 18, 2021
 REVISIONS:

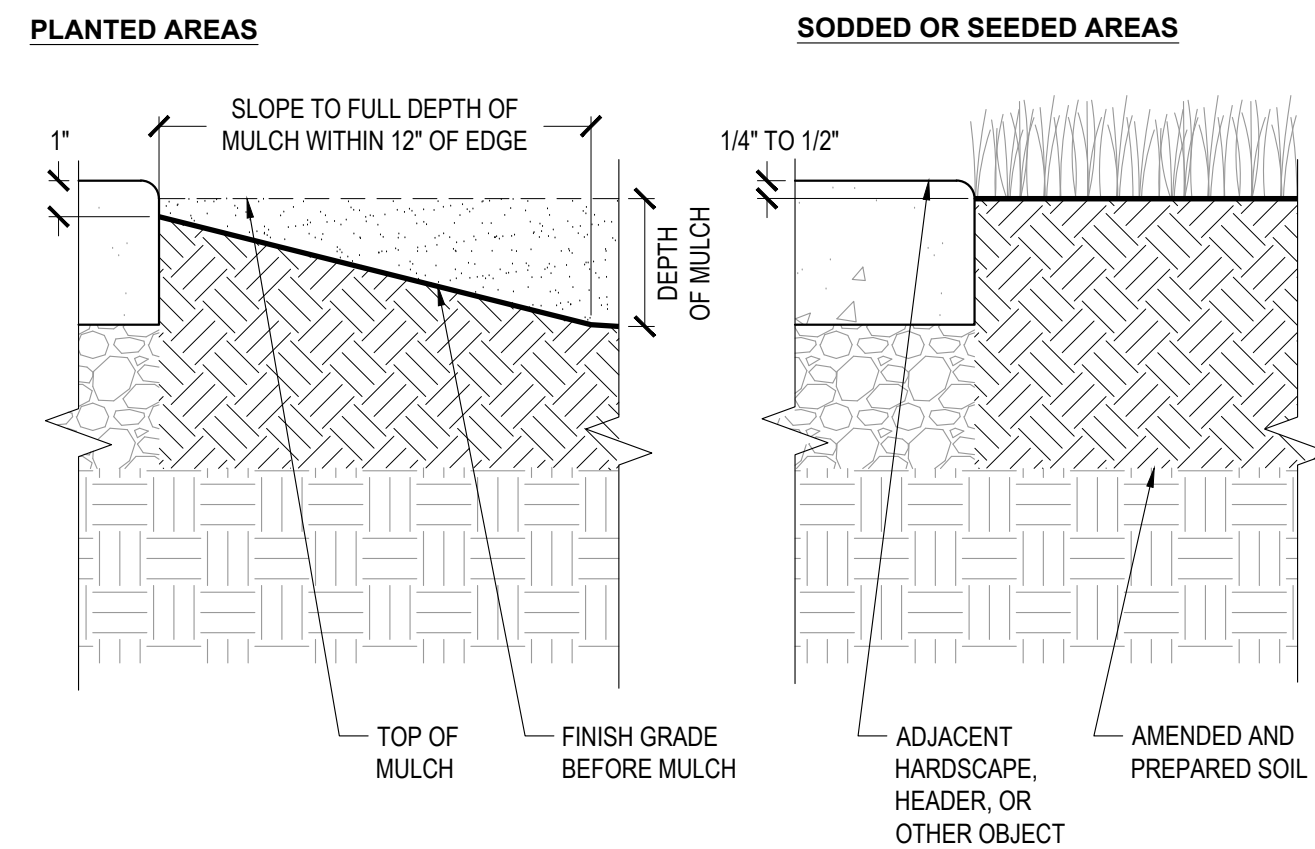


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1 PLANTING AREA SOIL PREPARATION

NO SCALE SECTION

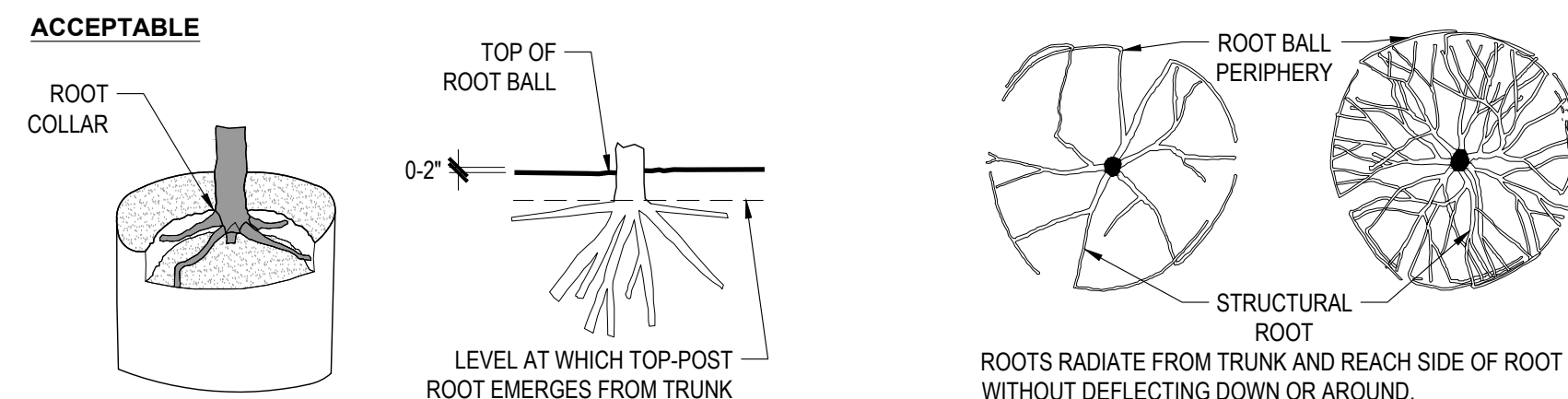


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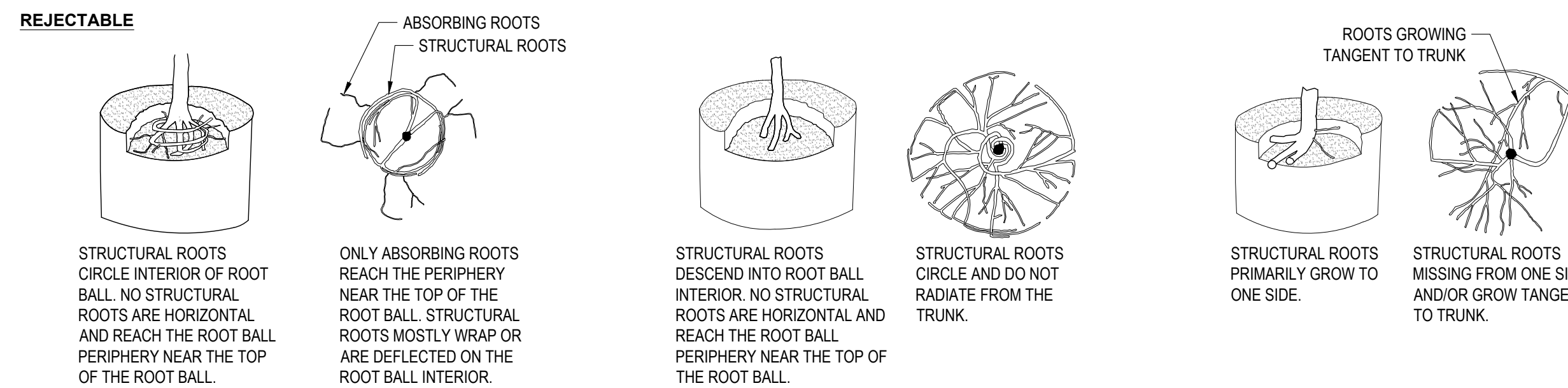
A. PROVIDE POSITIVE DRAINAGE TO OUTLET IN ALL PLANTED AREAS. DO NOT ALLOW SURFACE DRAINAGE ONTO WALKWAYS, DRIVEWAYS, OR OTHER HARDSCAPE, OR SURFACE DRAINAGE TOWARD OR AGAINST STRUCTURES.

2 PLANTED AREA EDGE CONDITION AT HARDSCAPE

NO SCALE SECTION



THE POINT WHERE TOP-MOST ROOT(S) EMERGES FROM THE TRUNK (ROOT COLLAR) SHOULD BE WITHIN THE TOP 2" OF SUBSTRATE. THE ROOT COLLAR AND THE ROOT BALL INTERIOR SHOULD BE FREE OF DEFECTS INCLUDING CIRCLING, KINKED, ASCENDING, AND STEM GIRDLING ROOTS. STRUCTURAL ROOTS SHALL REACH THE PERIPHERY NEAR THE TOP OF THE ROOT BALL.



3 ROOT STRUCTURE: CONTAINERIZED PLANTS

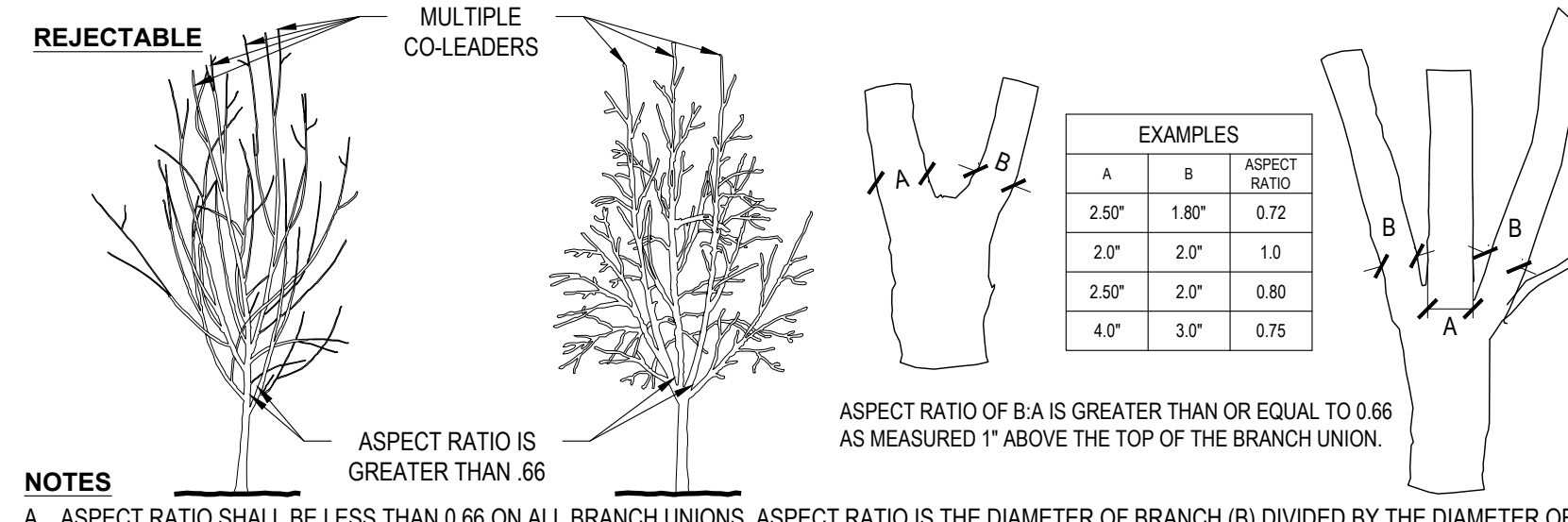
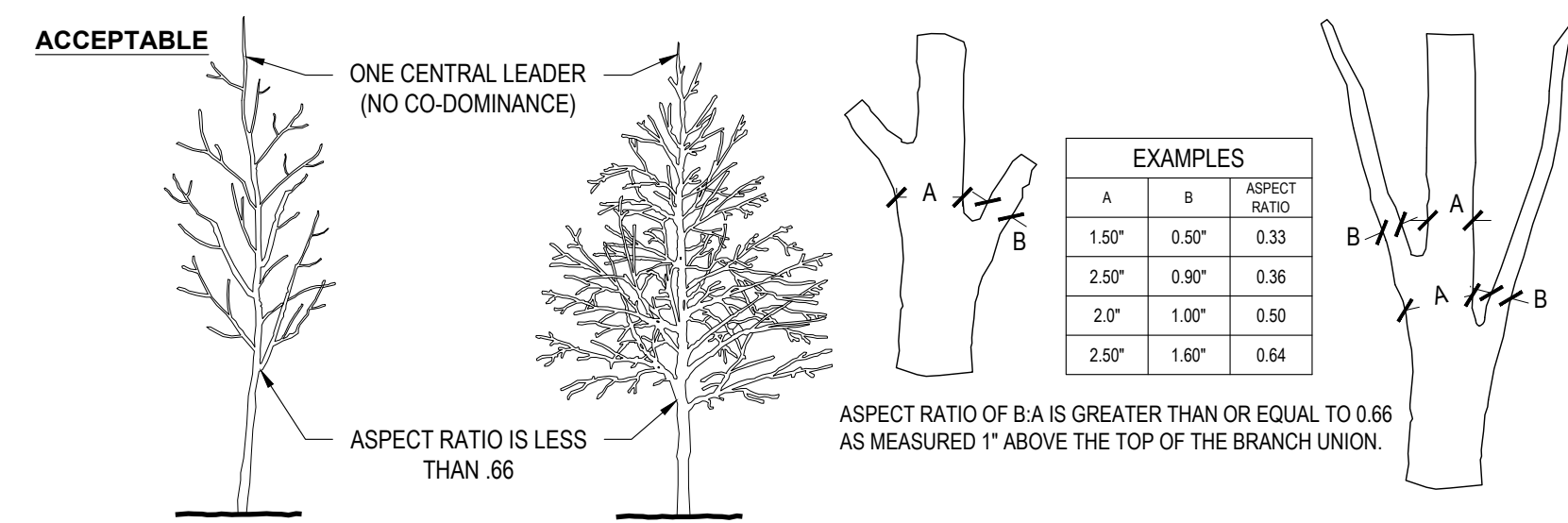
NO SCALE AS NOTED

NOTES

A. OBSERVATIONS OF ROOTS SHALL OCCUR PRIOR TO ACCEPTANCE. ROOTS AND SUBSTRATE MAY BE REMOVED DURING THE OBSERVATION PROCESS. SUBSTRATE/SOIL SHALL BE REPLACED AFTER OBSERVATION HAS BEEN COMPLETED.

B. SMALL ROOTS (1/4" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY MAY BE REMOVED AT THE TIME OF PLANTING.

C. SEE SPECIFICATIONS FOR OBSERVATION PROCESS AND REQUIREMENTS.



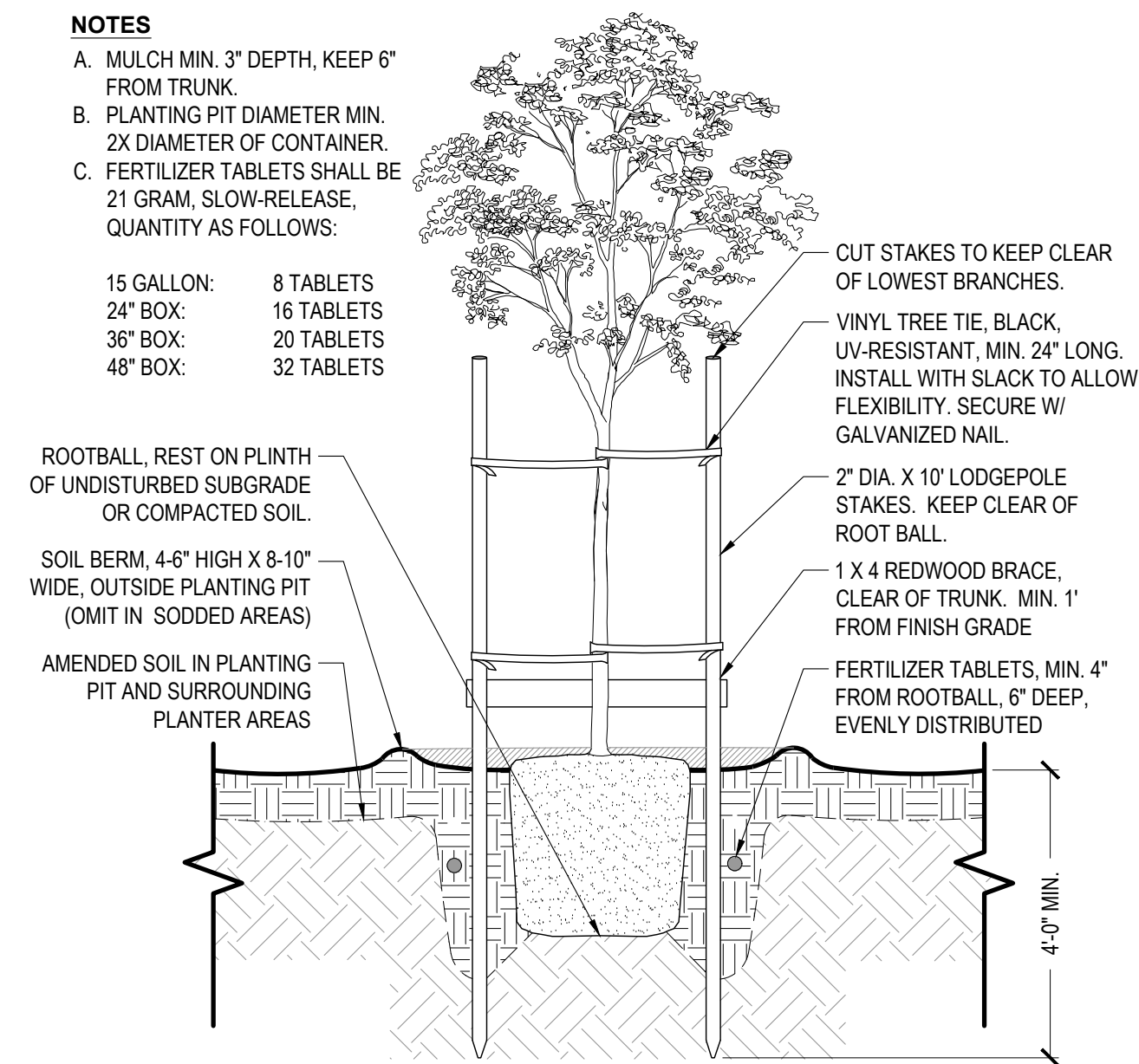
4 TREE BRANCHING STRUCTURE

NO SCALE AS NOTED

NOTES

A. ASPECT RATIO SHALL BE LESS THAN 0.66 ON ALL BRANCH UNIONS. ASPECT RATIO IS THE DIAMETER OF BRANCH (B) DIVIDED BY THE DIAMETER OF THE TRUNK (A) AS MEASURED 1" ABOVE THE TOP OF THE BRANCH UNION.

B. ANY TREE NOT MEETING THESE REQUIREMENTS MAY BE REJECTED, EXCEPTING THOSE NOTED AS "MULTI-TRUNKED"



5 TREE PLANTING: STANDARD UP TO 36" BOX

NO SCALE SECTION

SOIL FERTILITY ANALYSIS: NOTE: CONTRACTOR SHALL OBTAIN A SOILS TEST AFTER ROUGH GRADING IS COMPLETE, SEE PLANTING NOTE #11.

CERTIFICATE OF COMPLETION: NOTE: SEE PLANTING NOTE #12.

CERTIFICATE OF COMPLETION

This certificate is filled out by the project applicant upon completion of the landscape project.

PART 1. PROJECT INFORMATION SHEET

Date		
Project Name		
Name of Project Applicant	Telephone No.	
	Fax No.	
Title	Email Address	
Company	Street Address	
City	State	Zip Code

Project Address and Location:

Street Address	Parcel, tract or lot number, if available.
City	Latitude/Longitude (optional)
State	Zip Code

Property Owner or his/her designee:

Name	Telephone No.	
	Fax No.	
Title	Email Address	
Company	Street Address	
City	State	Zip Code

Property Owner

"I/we certify that I/we have received copies of all the documents within the Landscape Documentation Package and the Certificate of Completion and that it is our responsibility to see that the project is maintained in accordance with the Landscape and Irrigation Maintenance Schedule."

Property Owner Signature _____ Date _____

PART 2. CERTIFICATION OF INSTALLATION ACCORDING TO THE LANDSCAPE DOCUMENTATION PACKAGE

"I/we certify that based upon periodic site observations, the work has been completed in accordance with the ordinance and that the landscape planting and irrigation installation conform with the criteria and specifications of the approved Landscape Documentation Package."

Signature*	Date	
Name (print)	Telephone No.	
	Fax No.	
Title	Email Address	
License No. or Certification No.		
Company	Street Address	
City	State	Zip Code

*Signer of the landscape design plan, signer of the irrigation plan, or a licensed landscape contractor.

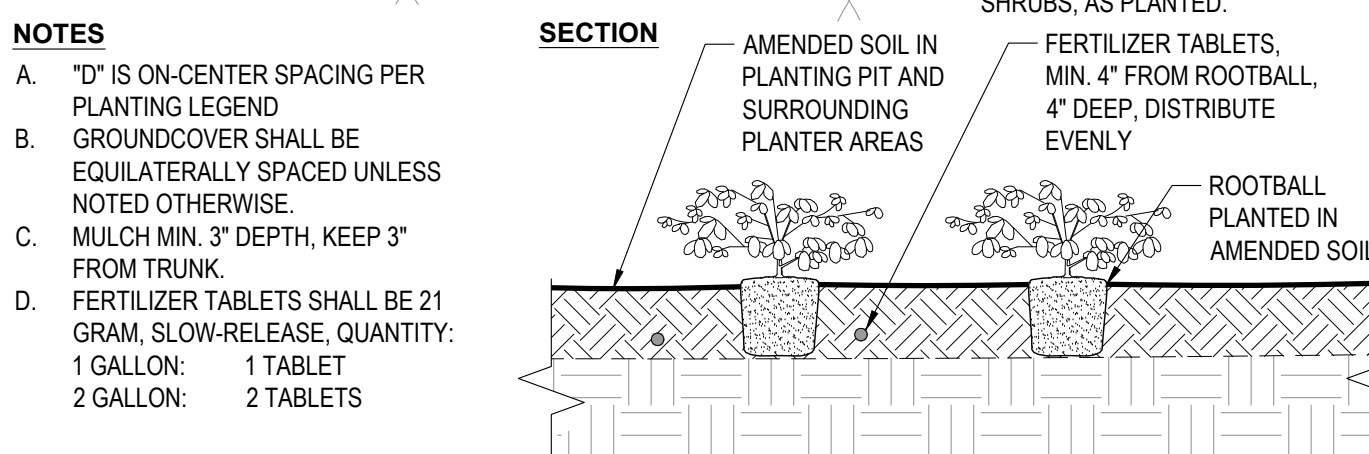
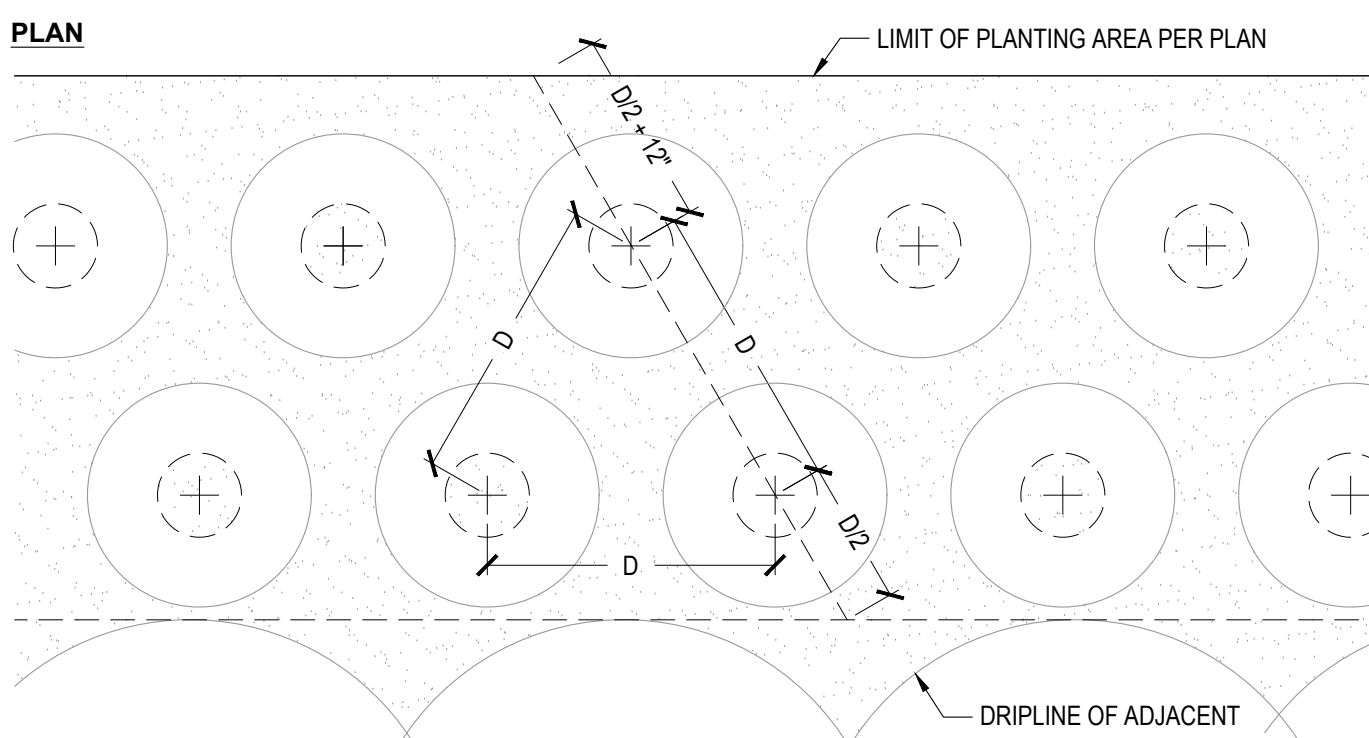
PART 3. IRRIGATION SCHEDULING
Attach parameters for setting the irrigation schedule on controller per ordinance Section 492.10.

PART 4. SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE
Attach schedule of Landscape and Irrigation Maintenance per ordinance Section 492.11.

PART 5. LANDSCAPE IRRIGATION AUDIT REPORT
Attach Landscape Irrigation Audit Report per ordinance Section 492.12.

PART 6. SOIL MANAGEMENT REPORT
Attach soil analysis report, if not previously submitted with the Landscape Documentation Package per ordinance Section 492.6.

Attach documentation verifying implementation of recommendations from soil analysis report per ordinance Section 492.6.



NOTES

A. "D" IS ON-CENTER SPACING PER PLANTING LEGEND

B. GROUNDCOVER SHALL BE EQUILATERALLY SPACED UNLESS NOTED OTHERWISE.

C. MULCH MIN. 3" DEPTH, KEEP 3" FROM TRUNK.

D. FERTILIZER TABLETS SHALL BE 21 GRAM, SLOW-RELEASE, QUANTITY: 1 GALLON: 1 TABLET 2 GALLON: 2 TABLETS

7 GROUNDCOVER PLANTING

NO SCALE SECTION

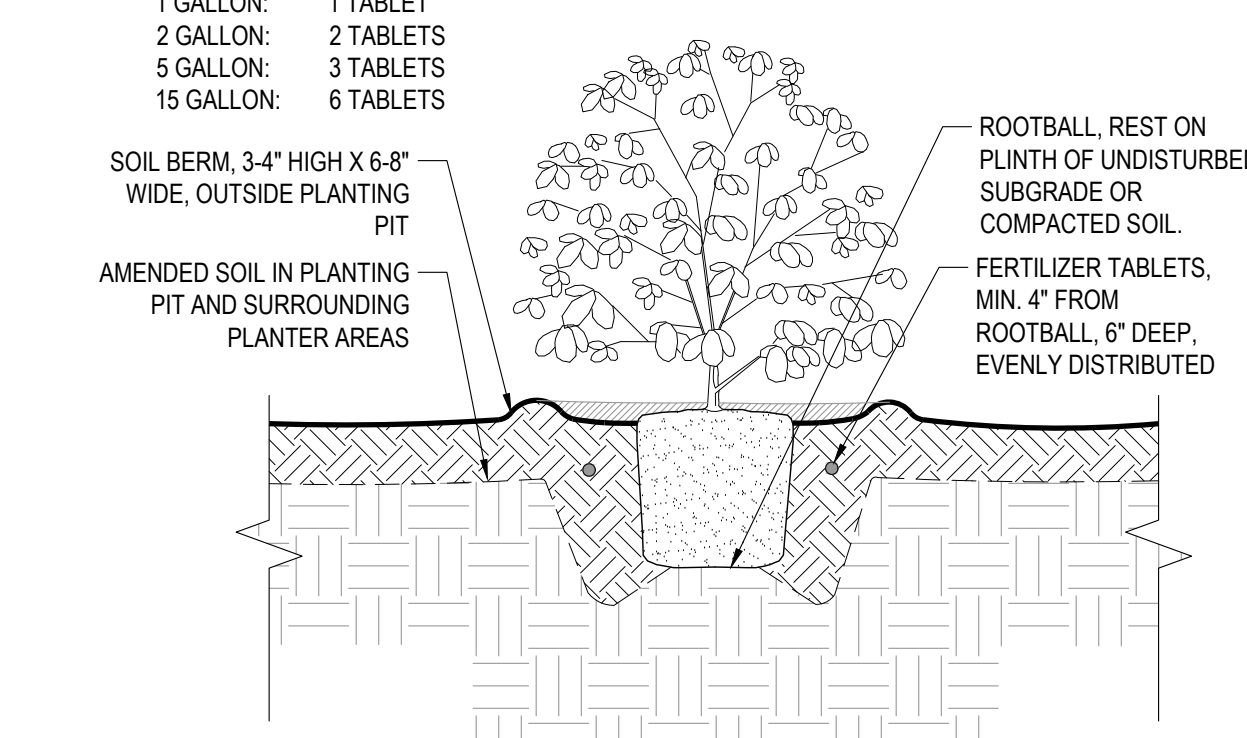
NOTES

A. MULCH MIN. 3" DEPTH, KEEP 6" FROM TRUNK.

B. PLANTING PIT DIAMETER MIN. 2X DIAMETER OF CONTAINER.

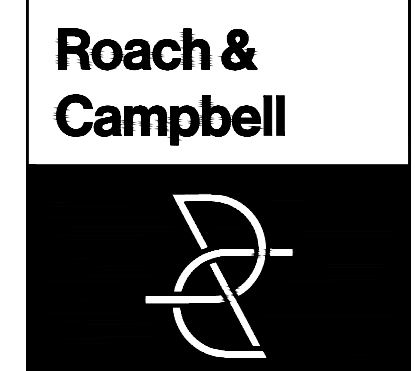
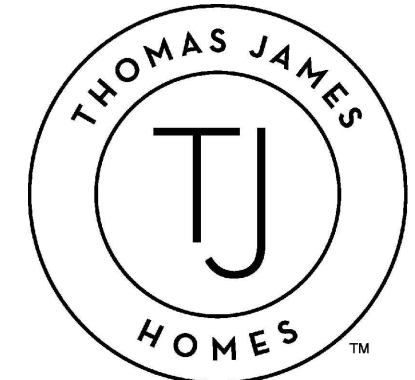
C. FERTILIZER TABLETS SHALL BE 21 GRAM, SLOW-RELEASE, QUANTITY AS FOLLOWS:

1 GALLON: 1 TABLET
2 GALLON: 2 TABLETS
5 GALLON: 3 TABLETS
15 GALLON: 6 TABLETS



6 SHRUB PLANTING

NO SCALE SECTION



111 Scripps Drive
Sacramento,
California 95825
916.945.8003 | 916.342.7119
4409 CRA 5044

LANDSCAPE IMPROVEMENT PLANS FOR

**411 CREST WAY
EMERALD HILLS, CA**

BY
THOMAS JAMES HOMES

KEYMAP:

PLANTING DETAILS

DRAWN BY: _____

CHECKED BY: _____

DWC

JOB NO. _____

20035

DATE _____

AUGUST 18, 2021

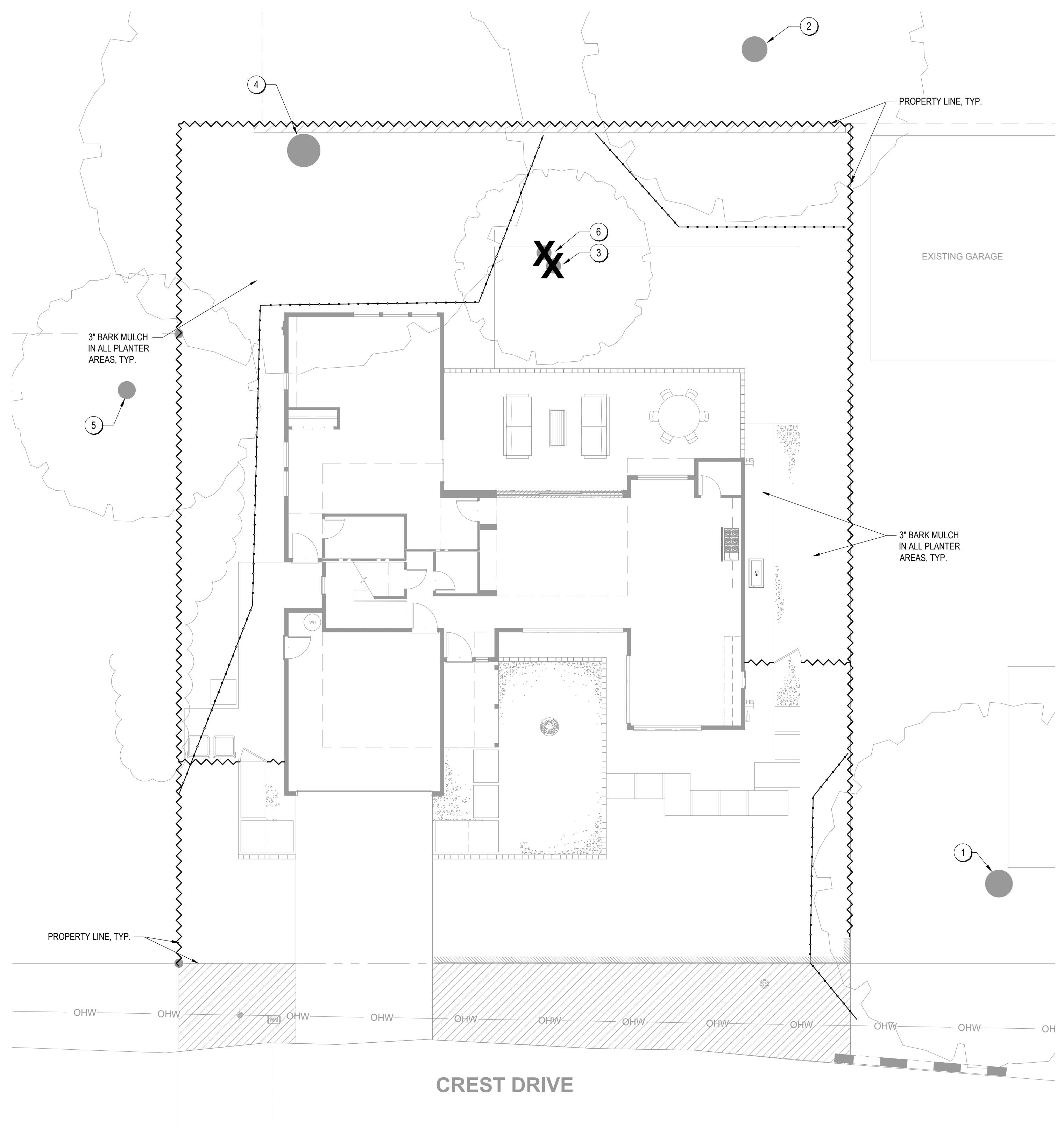
REVISIONS: _____



L2.2

DRAWINGS IN SET: 5

DESIGN REVIEW SUBMITTAL - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ).

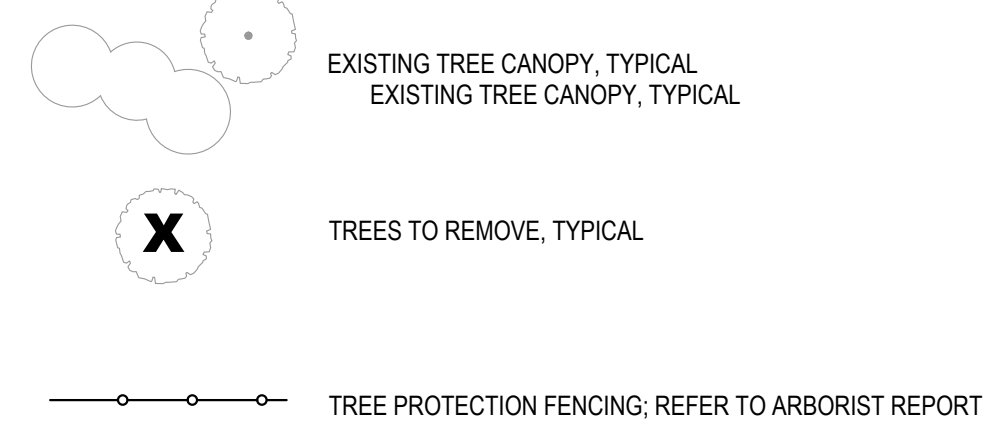


TREE PROTECTION CHART

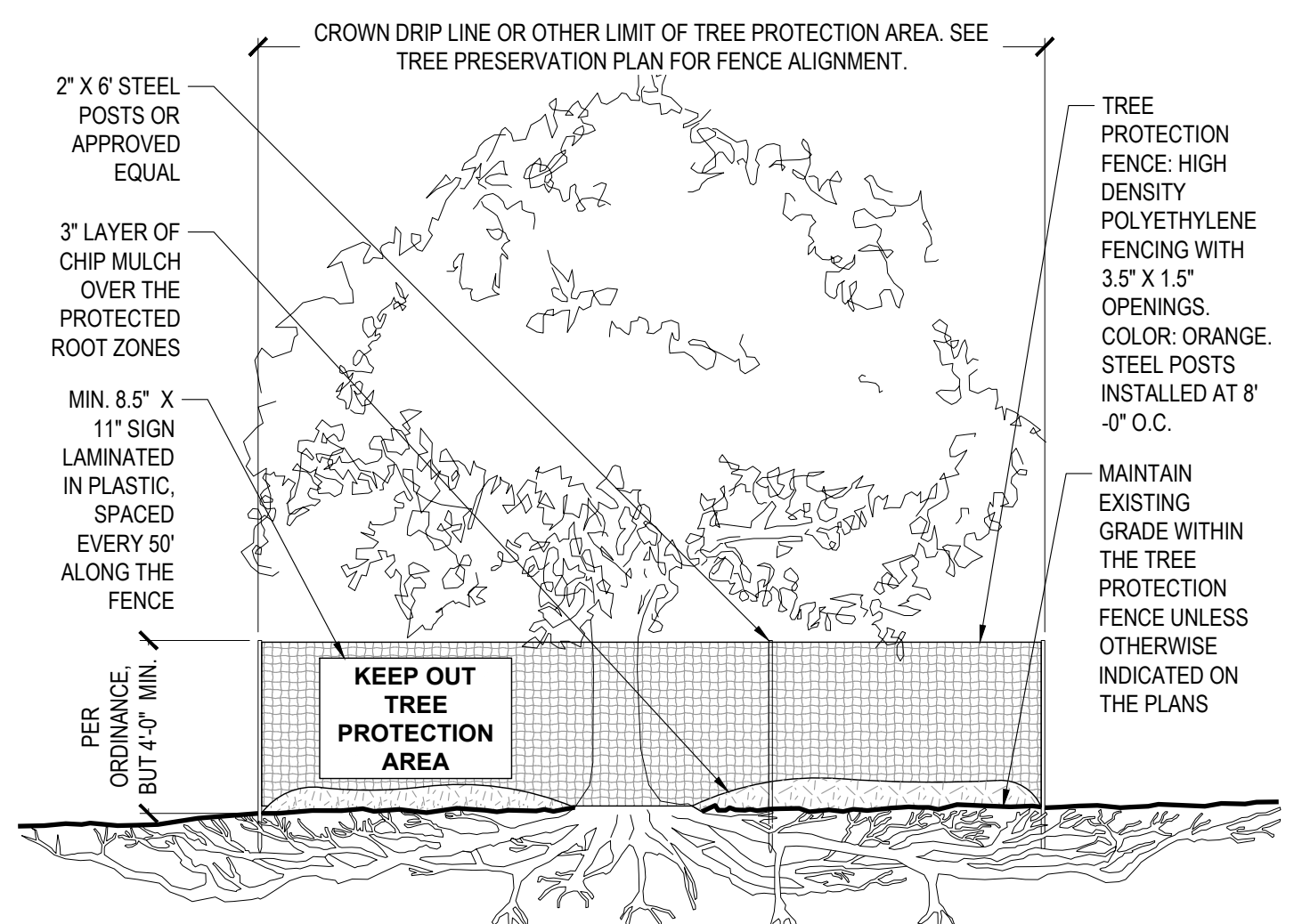
KEYNOTE	TAG#	PROTECTED TREE	DBH	SCIENTIFIC NAME	COMMON NAME	STATUS
1	9555	YES	24"	PINUS RADIATA	MONTEREY PINE	RETAIN AND PROTECT
2	9556	YES	47"	SEQUOIA SEMPERVIRENS	COAST REDWOOD	RETAIN AND PROTECT
3	9557	YES	18"	OLEA EUROPAEA	OLIVE	REMOVE
4	9558	YES	33"	SHINUS MOLLE	CALIFORNIA PEPPER	?
5	9559	YES	16"	SEQUOIA SEMPERVIRENS	COAST REDWOOD	RETAIN AND PROTECT

- NOTES:**
- REFER TO THE ARBORIST REPORT "TREE INVENTORY, CONSTRUCTION IMPACT ASSESSMENT AND TREE PROTECTION PLAN 411 CREST DRIVE, EMERALD HILLS, COUNTY OF SAN MATEO, CALIFORNIA" PREPARED BY CALIFORNIA TREE AND LANDSCAPE CONSULTING, INC. DATED JUNE 22, 2021 FOR FULL DETAILS.
 - TREES AND SHRUBS NOT IDENTIFIED WITHIN THE REPORT, BUT AS PART OF THE TOPOGRAPHICAL SURVEY, ARE INCLUDED FOR REFERENCE ONLY.
 - PROTECT ALL EXISTING ITEMS NOTED TO REMAIN OR OTHERWISE UN-LABELED.
 - EXISTING TREES TO REMAIN UNLESS NOTED OTHERWISE. DO NOT STOCKPILE, DRIVE OVER, OR OTHERWISE DISTURB SOIL UNDER DRIPLINES OF EXISTING TREES, EXCEPT AS REQUIRED FOR PLANTING OPERATIONS.
 - USE HAND TOOLS ONLY FOR SOIL CULTIVATION UNDER DRIPLINES OF EXISTING TREES TO REMAIN.
 - TREES NOTED TO BE REMOVED SHALL BE COMPLETELY REMOVED, INCLUDING STUMP AND ROOT MASS. REFER TO ARBORIST REPORT FOR INSTRUCTIONS ON REMOVING TREE STUMPS WITHIN PROTECTED TREE ROOT ZONES.
 - NO ROOTS OVER 2" IN DIAMETER SHALL BE CUT EXCEPT UNDER THE DIRECTION OF AN ARBORIST. ALL CUT ROOTS SHALL BE COVERED WITH BURLAP OR STRAW AND SHALL REMAIN MOIST UNTIL RE-BURIED IN SOIL.
 - CALL COMMON GROUND ALLIANCE (811) AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING WORK. CONTRACTOR IS RESPONSIBLE TO PROTECT FOR ALL EXISTING UTILITIES. SEE GENERAL NOTES, SHEET L1.1, FOR MORE INFORMATION.

LEGEND



NOTE: CONTRACTOR TO REFER TO FINAL ARBORIST REPORT FOR TREE PROTECTION FENCING LOCATIONS

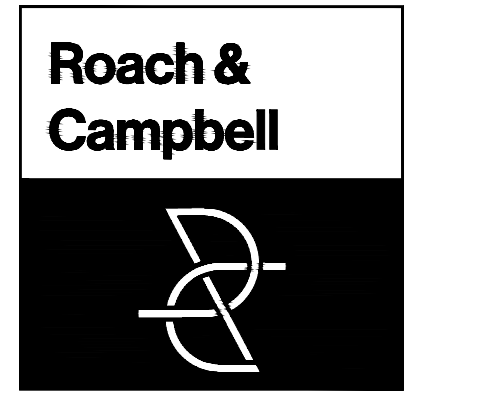
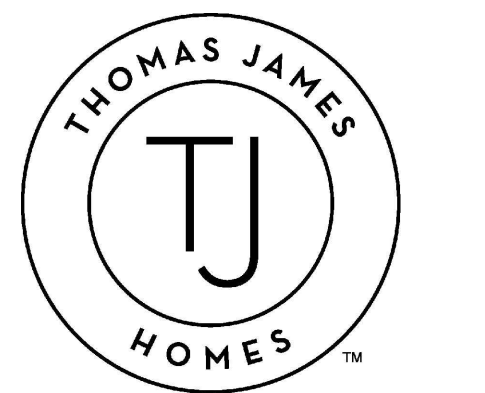
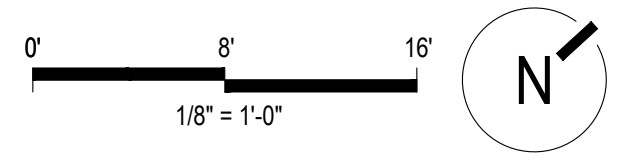


- NOTES**
- SEE ARBORIST REPORT FOR ADDITIONAL PROTECTION REQUIREMENTS. COMPLY WITH ALL TREE PROTECTION REQUIREMENTS PER JURISDICTION.
 - IRRIGATE AS NEEDED TO MAINTAIN HEALTH OF TREE.
 - KEEP EXPOSED ROOTS MOIST.
 - NO PRUNING SHALL BE PERFORMED EXCEPT UNDER THE DIRECTION OF APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - NO MATERIALS SHALL BE STORED INSIDE FENCE.

1 TREE PROTECTION FENCING
NO SCALE SECTION

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL0) AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLANS.

David W. Campbell 08/25/21
LANDSCAPE ARCHITECT DATE



111 Scripps Drive
Sacramento,
California 95825
916.945.8003 | 916.342.7119
4409 CRLA 5044

LANDSCAPE IMPROVEMENT PLANS FOR

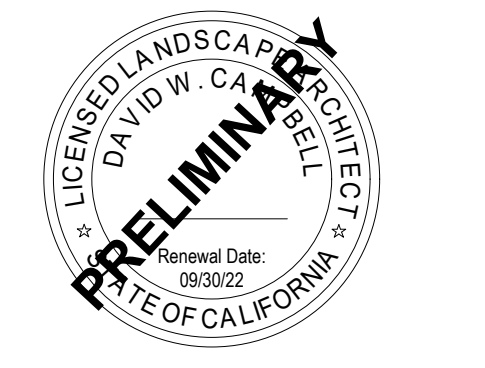
**411 CREST WAY
EMERALD HILLS, CA**

**BY
THOMAS JAMES HOMES**

KEYMAP:

TREE PROTECTION PLAN

DRAWN BY:
STAFF
CHECKED BY:
DWC
JOB NO.
20035
DATE
AUGUST 18, 2021
REVISIONS:



L2.3

DESIGN REVIEW SUBMITTAL - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ).